



THE CITY OF SAN DIEGO

Report to the Historical Resources Board

DATE ISSUED: July 10, 2025 REPORT NO. HRB-25-031

HEARING DATE: July 24, 2025

SUBJECT: **ITEM #3 – Le Rondelet Condominiums**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\)](#)

APPLICANT: Le Rondelet Homeowners Association represented by Heritage Architecture & Planning

LOCATION: 1150 Anchorage Lane, Peninsula Community, Council District 2
APNs 531-200-05-01 thru 531-200-05-81

DESCRIPTION: Consider the designation of the Le Rondelet Condominiums located at 1150 Anchorage Lane as a historical resource.

STAFF RECOMMENDATION

Designate the Le Rondelet Condominiums located at 1150 Anchorage Lane as a historical resource with a period of significance of 1967 under HRB Criteria C. The designation excludes the pool, spa, and cabana built outside the period of significance. This recommendation is based on the following findings:

The resource embodies the distinctive characteristics through the retention of character defining features of the Brutalist style with Googie style elements and retains a good level of architectural integrity from its 1967 period of significance. Specifically, the resource retains Brutalist features such as exposed and expressive concrete structural system, monumental massing, exposed concrete finish, repetitive façade pattern and intentional avoidance of traditional elements/ornament. The resource retains Googie style elements such as semi-circular shape, expressive flat roof form, large porte-cochere, and continuous bands of anodized dark-finished aluminum windows and sliding glass doors.

This item is being brought before the Historical Resources Board in conjunction with the owner's desire to have the site designated as a historical resource.

The property has not been identified in any historic surveys, as the subject area has not been previously surveyed.

The historic name of the resource, the Le Rondelet Condominiums has been identified consistent with the Board's adopted naming policy and reflects the original name of the condominium building at the time of its construction.

In order to be eligible for designation and listing on the City's Register, a resource must meet one or more of the City's designation criteria as specified in the Historical Resources Guidelines of the Land Development Manual and retain integrity as it relates to the significance of the resource. Integrity is the ability of a property to convey its significance, which requires an understanding of the physical features and characteristics that existed during the resource's period of significance. The National, California, and City of San Diego Registers recognize location, design, setting, materials, workmanship, feeling, and association as the seven aspects of historical integrity.

Although not all seven aspects of integrity need to be present for a property to be eligible for designation, the record must demonstrate that the property retains enough physical and design characteristics to reflect and convey the significance of the property. Each resource depends on certain aspects of integrity, more than others, to express its historic significance. Determining which of the aspects are most important to a particular property requires an understanding of the property's significance and its essential physical features. The [*Guidelines for the Application of Historical Resources Board Designation Criteria*](#) provide information regarding the City's designation criteria, as well as guidance on their application and how to evaluate the integrity of a resource.

ANALYSIS

The property located at 1150 Anchorage Lane is a six-story, Brutalist style with Googie-style elements, multi-family residential building constructed in 1967 in the Peninsula Community Planning Area. Other buildings and structures present on site include a pool, spa, and pool cabana building. The property is located in a relatively flat, mixed residential and commercial area near the entrance to Shelter Island in the Point Loma community. The property is in its original location.

Since its construction in 1967 the property has been modified as follows: in 1972 the building was converted from 77 apartments to 82 condominiums. This included interior changes but no exterior changes. In 1973 the pool and cabana structure was added to the courtyard and "apartment" signage was removed. In 1977 solar support structure atop the pool cabana was added. Between 1985-1990 "Le Rondelet" signage was added at the porte-cochere. In 2006, the common wall was repaired on the sixth floor between units 601 and 602, repairs were done in-kind. In 2010 the original lobby doors were replaced with glass storefronts. At an unknown date the "Le Rondelet" sign at the north gate wall was removed. Between 1973-2025, seven of the 82 upper balconies have been renovated where sliding glass doors have been moved outward to expand the interior space rather than retain the balcony space (these include units 304, 402, 510, 518, 602, 612, and 614). The fenestration for these units matches the first floor sliding glass doors and window placements and materials were replaced in-kind. All of the exterior railings are original and were retained.

A Historical Resource Research was prepared by Heritage Architecture & Planning, which concludes that the resource is significant under HRB Criteria C and D. Staff concurs that the site is a significant historical resource under HRB Criterion C but not HRB Criterion D. This determination is consistent with the *Guidelines for the Application of Historical Resources Board Designation Criteria*, as follows.

CRITERION C - *Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of natural materials or craftsmanship.*

The subject property is a six-story, 82-unit multi-family residential building that was constructed in 1967 in the Brutalist style with Googie-style elements. The building is an overall C-shape and is arranged on top of an underground garage structure.

The south elevation is the building's primary facade, facing the entry drive and serving as the main public entrance. At the center of this elevation is a double-height, glass storefront framed in dark anodized aluminum, marking the main lobby entry. In front of the lobby entrance is a prominent porte-cochere, a single-story flat-roofed canopy clad with standing-seam sheet metal fascia. A curved sculptural cast-in-place concrete wall supports its outer edge, visually anchoring the entrance. Above the lobby, the elevation continues with full-height sliding glass doors and windows for each unit, framed by the building's exposed concrete structure. Depending on the unit, this glass curtain wall is paired either with wide balconies or simple metal guardrails. Each vertical band maintains the same curtain wall and balcony system but the pattern is inconsistent from band to band, providing visual interest.

The north elevation faces the inner landscaped courtyard, forming the inward curve of the C-shaped structure. This elevation contains the unit entries accessed via open-air walkways on each floor, which cantilever from the structural slab. These walkways are bordered by integrally colored white precast concrete guardrails featuring a distinctive white seeded-aggregate finish. The unit entry walls are finished with contrasting precast concrete panels, integrally colored, and also featuring a seeded-aggregate finish. The entry doors are decoratively carved wood, with resin-applied detailing.

the main south façade wraps around to the east and west elevations which maintain the same architectural vocabulary. These sides maintain the same structural concrete frame and extensive glazing as the south elevation, featuring floor-to-ceiling glass doors and windows arranged rhythmically across each level. Units on these elevations also vary between balconies and guardrail-fronted facades, depending on the original floor plan. These elevations maintain visual continuity with the rest of the building while framing the open end of the courtyard.

Located opposite the open end of the C-shaped building, the single-story pool cabana features a low-slung, modern profile and houses shared amenities including a community room, gym, and locker rooms with saunas. Though simple in form, it complements the main building and frames the view from many of the residential units, contributing to the sense of a private retreat. A simple kidney shaped pool is fenced in within the courtyard, along with a mature Morton-bay fig tree.

Brutalism as an architectural style has been identified by the [San Diego Modernism Context Statement](#) as having a period of significance in the City from 1965-1975. Named after the French term for raw concrete, *béton brut*, Brutalism is a sub-type of Modern architecture directly associated with the "honest expression of materials". Brutalism buildings are generally blockish, geometric, and composed of repetitive shapes. The predominant building material is concrete, frequently revealing the intentional textures of the wood framework. The concrete is intended to be fully expressed as both the primary structural material and finish. Brutalism rejected the use of glass curtain walls as found in Contemporary architecture in favor of bulky, angular designs with less visible glass

surfaces. Common features of the style include an exposed and expressive structural system, monumental massing, angular form, exposed concrete and unornamented facades.

Of the seven aspects of integrity, design, materials, and workmanship are the most critical to the property's ability to convey significance under HRB Criterion C as a resource that embodies the distinctive characteristics of the Brutalist style with Googie style elements. The modifications, as detailed in the beginning of the analysis section, do not significantly impair integrity of design, materials, workmanship, feeling or association and the building retains integrity as it relates to architectural significance. Therefore, the property does retain integrity to its 1967 period of significance under HRB Criterion C.

Significance Statement: The subject property continues to convey the historic significance of the Brutalist style with Googie style elements by embodying the historic characteristics associated with the styles. The resource embodies the distinctive characteristics through the retention of character defining features of the Brutalist style with Googie style elements and retains a good level of architectural integrity from its 1967 period of significance. Specifically, the resource retains Brutalist features such as exposed and expressive concrete structural system, monumental massing, exposed concrete finish, repetitive façade pattern and intentional avoidance of traditional elements/ornament. The resource retains Googie style elements such as circular shape, expressive flat roof form, dramatic porte-cochere, and continuous bands of anodized dark-finished aluminum windows and sliding glass doors. Therefore, staff recommends designation of the subject property under HRB Criterion C.

CRITERION D - Is representative of a notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist or craftsman.

Le Rondelet was built by local contractor and builder Leonard Teyssier, who established Teyssier & Teyssier with his father in 1955. Teyssier is not currently established as a Master Builder in the City of San Diego and is proposed to be established as a Master Builder in the Historical Resource Research Report. The designation nomination provides all relevant information required to establish a Master Builder, however Staff does not concur that the overall work of Leonard Teyssier rises to the level of significance to establish a Master Builder.

While Teyssier operated a successful construction firm primarily throughout the 1950s to 1970s, his role in projects was almost exclusively as a general contractor. In contrast, according to the [HRB Criteria Guidelines](#), the establishment of a Master Builder requires evidence through an analytical narrative and supporting documentation in the attachments to show the high quality of their craftsmanship and/or whether peers considered them to be a Master. Beyond Le Rondelet, there is a lack of information available currently about any distinctive or original design work, innovation, or substantial influence on the architectural development of San Diego by Teyssier. Nearly all significant projects attributed to Teyssier & Teyssier were designed by prominent architects, including Donald Campbell, Kenneth S. Wing, Frank L. Hope & Associates, and Mosher & Drew. Besides the subject property, Teyssier did not typically provide architectural plans or design vision; instead, he implemented others' designs. Teyssier's project portfolio does not reveal a consistent stylistic identity or innovation that advanced San Diego's architectural character in a meaningful way. In high-profile endeavors, such as the Starlight Express elevator at the El Cortez Hotel or the Ocean Beach Pier, Teyssier functioned as a contractor under the direction of architectural or engineering

firms. These projects, while significant, reflect collaborative or subordinate contributions, not the independent and visionary leadership associated with master builder recognition.

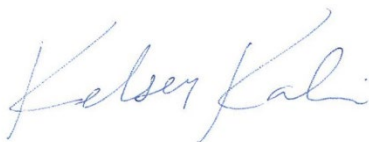
While Teyssier & Teyssier completed a moderate number of institutional, ecclesiastical, and civic projects, the quantity of work alone does not meet the criteria for master designation. Without a record of exceptional quality, innovation, or influence, volume alone is not a sufficient basis for designation. Therefore, staff does not recommend designation under HRB Criterion D. As the property is not significant under Criterion D, an evaluation of integrity as it relates to Criterion D is not relevant or required.

OTHER CONSIDERATIONS

Designation brings with it the responsibility of maintaining the building in accordance with the Secretary of the Interior's Standards. The benefits of designation include the availability of the Mills Act Program for reduced property tax; the use of the more flexible Historical Building Code; flexibility in the application of other regulatory requirements; the use of the Historical Conditional Use Permit which allows flexibility of use; and other programs which vary depending on the specific site conditions and owner objectives. If the property is designated by the HRB, conditions related to restoration or rehabilitation of the resource may be identified by staff during the Mills Act application process, and included in any future Mills Act contract.

CONCLUSION

Based on the information submitted and staff's field check, it is recommended that the Le Rondelet Condominiums located at 1150 Anchorage Lane be designated with a period of significance of 1967 under HRB Criterion C, as a good example of the Brutalist style with Googie-style elements. The designation excludes the pool, spa, and cabana built outside the period of significance.



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City Planning Department



Suzanne Segur
Senior Planner/ HRB Liaison
City Planning Department

KK/SS

Attachment(s):

1. Draft Resolution
2. Applicant's Historical Report under separate cover

RESOLUTION NUMBER N/A
ADOPTED ON

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on , to consider the historical designation of the **LE RONDELET CONDOMINIUMS** (with various property owners as identified in the table below) located at **1150 Anchorage Lane, San Diego, CA 92106**, as identified in the table below; in the City of San Diego, County of San Diego, State of California; and

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 124	531-200-0501	LOT 1 US124 PER DOC73-211935&UND 0.59% INT IN	ERLANDSON DANIEL R & CHRISTINE LIVING TRUST 11-27-01 13208 N HAYDEN RD SCOTTSDALE, AZ 85260
XX	1150	ANCHORAGE UNIT 122	531-200-0502	LOT 1 US122 PER DOC73-211935&UND 0.64% INT IN	FRESQUEZ VIVIAN F TRUST 12-03-20 1150 ANCHORAGE LN UNIT #122 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 120	531-200-0503	LOT 1 US120 PER DOC73-211935&UND INT IN DOC81-290900&IN	TORRES JIM LIVING TRUST 10-08-18 2991 DOHERTY ST CORONA, CA 92879
XX	1150	ANCHORAGE UNIT 118	531-200-0504	LOT 1 US118 PER DOC73-211935&UND 0.67% INT IN	GONZALES EDWARD R P.O BOX 9012 DENVER, CO 80209
XX	1150	ANCHORAGE UNIT 116	531-200-0505	LOT 1 US116 PER DOC73-211935&UND 0.71% INT IN	ALEXANDER DONNA J TR 1150 ANCHORAGE LN UNIT #116 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 114	531-200-0506	LOT 1 US114 PER DOC73-211935&UND 0.67% INT IN	ROTTER-SHINN TRUST 11-10-23, SHINN GEORGE H TRUST 12-06-05 950 COUNTRY CLUB LN CORONADO, CA 92118
XX	1150	ANCHORAGE UNIT 112	531-200-0507	LOT 1 US112 PER DOC73-211935&UND INT IN DOC81-290900&IN	BEDDOWS JACQUELINE P TRUST 06-28-16 1150 ANCHORAGE LN UNIT #112 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 110	531-200-0508	LOT 1 US110 PER DOC73-211935&UND INT IN DOC81-290900&IN	MCQUEEN JUDITH FAMILY TRUST 05-03-22 2445 CAMINITO ZOCALO SAN DIEGO, CA 92107

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 108	531-200-0509	LOT 1 US108 PER DOC73-211935&UND INT IN DOC81-290900&IN	SMITH GEORGINA O 1150 ANCHORAGE LN UNIT #108 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 106	531-200-0510	LOT 1 US106 PER DOC73-211935&UND INT IN DOC81-290900&IN	MORTON JANET H LIVING TRUST 11-11-16 1150 ANCHORAGE LN UNIT #106 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 104	531-200-0511	LOT 1 US104 PER DOC73-211935&UND 0.64% INT IN	MADRUGA ROBERT E & ROSE M TRUST 01-07-99 3657 DUDLEY ST SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 102	531-200-0512	LOT 1 US102 PER DOC73-211935&UND 0.47% INT IN	COOPER RENTALS LLC 1150 ANCHORAGE LN UNIT #207 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 101	531-200-0513	LOT 1 US101 PER DOC73-211935&UND INT IN DOC81-290900&IN	KIMMEL FAMILY TRUST 11-26-18 1150 ANCHORAGE LN UNIT #101 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 103	531-200-0514	LOT 1 US103 PER DOC73-211935&UND INT IN DOC81-290900&IN	KIMMEL LAUREN R TRUST 10-31-19, FINE JOHANNA G TRUST 10-31-19 9247 NAGLE AVE MORTON GROVE, IL 60053
XX	1150	ANCHORAGE UNIT 105	531-200-0515	LOT 1 US105 PER DOC73-211935&UND 0.69% INT IN	CHAPMAN WILLIAM 1150 ANCHORAGE LN UNIT #105 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 107	531-200-0516	LOT 1 US107 PER DOC73-211935&UND 0.69% INT IN	MORRISON JAMES & WENDY 1401 PLAZA SONADA NW ALBUQUERQUE, NM 87107
XX	1150	ANCHORAGE UNIT 109	531-200-0517	LOT 1 US109 PER DOC73-211935&UND 0.71% INT IN	ROSA LINDSAY L LIVING TRUST 04-24-08 1150 ANCHORAGE LN UNIT #109 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 111	531-200-0518	LOT 1 US111 PER DOC73-211935&UND 0.71% INT IN	DAVIS MARGO P REVOCABLE TRUST 09-30-15 1150 ANCHORAGE LN UNIT #414 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 220	531-200-0519	LOT 1 US220PER DOC73-11935&UND INT IN DOC81-290900&IN	BLECKSMITH FRED R TRUST 04-10-20 1150 ANCHORAGE LN UNIT #220 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 218	531-200-0520	LOT 1 US218PER DOC73-11935&UND INT IN DOC81-290900&IN	REITER BRENDA L 1150 ANCHORAGE LN UNIT #218 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 216	531-200-0521	LOT 1 US216PER DOC73-11935&UND INT IN DOC81-290900&IN	MAZZA PETER & MEGAN TRUST 09-02-15 4437 ALHAMBRA ST SAN DIEGO, CA 92107
XX	1150	ANCHORAGE UNIT 214	531-200-0522	LOT 1 US214PER DOC73-11935&UND INT IN DOC81-290900&IN	BOMAN MARC, BOMAN HAILEY 4081 MONTEVERDE DR LINCOLN, CA 95648
XX	1150	ANCHORAGE UNIT 212	531-200-0523	LOT 1 US212PER DOC73-11935&UND INT IN DOC81-290900&IN	PYLES LINFROTH W POINT LOMA TRUST 01-10-24 1150 ANCHORAGE LN UNIT #212 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 210	531-200-0524	LOT 1 US210PER DOC73-11935&UND INT IN DOC81-290900&IN	RUDGE-KARIC KIMBERLY K P.O BOX 378 KASILOF, AK 99610
XX	1150	ANCHORAGE UNIT 208	531-200-0525	LOT 1 US208PER DOC73-11935&UND INT IN DOC81-290900&IN	ALSPAUGH FAMILY SURVIVORS 1998 TRUST 01-07-98 1150 ANCHORAGE LN UNIT #208 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 206	531-200-0526	LOT 1 US206PER DOC73-11935&UND INT IN DOC81-290900&IN	WELLS JOAN M FAMILY TRUST 05-13-92 1150 ANCHORAGE LN UNIT #206 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 204	531-200-0527	LOT 1 US204PER DOC73-11935&UND INT IN DOC81- 290900&IN	BENTON CHARLES & JOYCE BENTON SURVIVORS TRUST 10-24-80 745 ALBION ST SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 202	531-200-0528	LOT 1 US202PER DOC73-11935&UND INT IN DOC81- 290900&IN	HEARD FAMILY TRUST 06-04-07 1150 ANCHORAGE LN UNIT #202 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 201	531-200-0529	LOT 1 US201PER DOC73-11935&UND INT IN DOC81- 290900&IN	FAUST LAURA, FAUST LANI 1785 LINWOOD ST #3 SAN DIEGO, CA 92110
XX	1150	ANCHORAGE UNIT 203	531-200-0530	LOT 1 US203PER DOC73-11935&UND INT IN DOC81- 290900&IN	PHILLIPS STEVEN L SEPARATE PROPERTY TRUST 04-28-99 646 SAN FERNANDO ST SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 205	531-200-0531	LOT 1 US205PER DOC73-11935&UND INT IN DOC81- 290900&IN	SCHRAMM ROBERT & AMY 7998 E VIA BONITA SCOTTSDALE, AZ 85258
XX	1150	ANCHORAGE UNIT 207	531-200-0532	LOT 1 US207PER DOC73-11935&UND INT IN DOC81- 290900&IN	COOPER PAMELA L TRUST 1150 ANCHORAGE LN UNIT #207 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 318	531-200-0533	LOT 1 US318PER DOC73-11935&UND INT IN DOC81- 290900&IN	WILLIAMS MARY M REVOCABLE TRUST 04- 05-23 1150 ANCHORAGE LN UNIT #318 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 316	531-200-0534	LOT 1 US316PER DOC73-11935&UND INT IN DOC81- 290900&IN	BREGANTE R FAMILY TRUST 07-08-9192106 942 TINGLEY LN SAN DIEGO, CA
XX	1150	ANCHORAGE UNIT 314	531-200-0535	LOT 1 US314PER DOC73-11935&UND INT IN DOC81- 290900&IN	JOY MARSHALL RESIDUARY TRUST 08-02-02 1150 ANCHORAGE LN UNIT #314 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 312	531-200-0536	LOT 1 US312PER DOC73-11935&UND INT IN DOC81- 290900&IN	MELLO JOHN TRUST 09-13-17 P.O BOX 1652 AVALON, CA 90704
XX	1150	ANCHORAGE UNIT 310	531-200-0537	LOT 1 US310PER DOC73-11935&UND INT IN DOC81- 290900&IN	JUNIPER KITTY REVOCABLE TRUST 02-14-06 225 E RIVER AVE ORANGE, CA 92866
XX	1150	ANCHORAGE UNIT 308	531-200-0538	LOT 1 US308PER DOC73-11935&UND INT IN DOC81- 290900&IN	LINARELLI LOUI G & KAREN S M FAMILY REVOCABLE TRUST 11-10-92 1150 ANCHORAGE LN UNIT #308 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 306	531-200-0539	LOT 1 US306PER DOC73-11935&UND INT IN DOC81- 290900&IN	OTTER VANESSA A, VIEIRA EDUARDO 1150 ANCHORAGE LN UNIT #306 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 304	531-200-0540	LOT 1 US304PER DOC73-11935&UND INT IN DOC81- 290900&IN	CULVER ROSALYN TRUST 09-10-09, CULVER A M TRUST 11-18-70 (NON-REVERSE QTIP TRUST) P.O BOX 81045 SAN DIEGO, CA 92138
XX	1150	ANCHORAGE UNIT 302	531-200-0541	LOT 1 US302PER DOC73-11935&UND INT IN DOC81- 290900&IN	SHARPE 2022 TRUST 08-25-22 828 CORDOVA ST SAN DIEGO, CA 92107
XX	1150	ANCHORAGE UNIT 301	531-200-0542	LOT 1 US301PER DOC73-11935&UND INT IN DOC81- 290900&IN	ROBERTS JON LIVING TRUST 03-07-95 3550 VILLAGGIO E PALM SPRINGS, CA 92262
XX	1150	ANCHORAGE UNIT 303	531-200-0543	LOT 1 US303PER DOC73-11935&UND INT IN DOC81- 290900&IN	HOPE FAMILY TRUST 3225 KELLOGG ST SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 305	531-200-0544	LOT 1 US305PER DOC73-11935&UND INT IN DOC81- 290900&IN	BOUNDS SALLY & CARDIFF ROBERTS D REVOCABLE TRUST 05-23-19 768 SYCAMORE LN DAVIS, CA 95616

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 307	531-200-0545	LOT 1 US307PER DOC73-11935&UND INT IN DOC81- 290900&IN	PHILLIPS KATHRYN K 1021 DEAD RUN DR MC LEAN, VA, 22101
XX	1150	ANCHORAGE UNIT 418	531-200-0546	LOT 1 US418PER DOC73-11935&UND INT IN DOC81- 290900&IN	MEEHAN ELIZABETH G TRUST 01-28-16 1150 ANCHORAGE LN UNIT #418 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 416	531-200-0547	LOT 1 US416PER DOC73-11935&UND INT IN DOC81- 290900&IN	GRAY SIEBERT FAMILY TRUST 09-03-15 1150 ANCHORAGE LN UNIT #416 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 414	531-200-0548	LOT 1 US414PER DOC73-11935&UND INT IN DOC81- 290900&IN	PAUL PATRICIA K TRUST 02-02-00 1150 ANCHORAGE LN UNIT #414 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 412	531-200-0549	LOT 1 US412PER DOC73-11935&UND INT IN DOC81- 290900&IN	MUIRLANDS INVESTMENTS LLC 3200 HIGHLAND AVE #B4-2 NATIONAL CITY, CA 91950
XX	1150	ANCHORAGE UNIT 410	531-200-0550	LOT 1 US410PER DOC73-11935&UND INT IN DOC81- 290900&IN	TODD SUSAN L 1150 ANCHORAGE LN UNIT #410 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 408	531-200-0551	LOT 1 US408PER DOC73-11935&UND INT IN DOC81- 290900&IN	GOMES NOAH & KAREN FAMILY TRUST 05-10-93 1608 DANNY WAY EL CAJON, CA 92021
XX	1150	ANCHORAGE UNIT 406	531-200-0552	LOT 1 US406PER DOC73-11935&UND INT IN DOC81- 290900&IN	CUFF FAMILY TRUST 04-18-01 1150 ANCHORAGE LN UNIT #406 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 404	531-200-0553	LOT 1 US404PER DOC73-11935&UND INT IN DOC81- 290900&IN	PERKINS WILLIAM J & HOLLIDAY 1150 ANCHORAGE LN UNIT #404 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 402	531-200-0554	LOT 1 US402PER DOC73-11935&UND INT IN DOC81- 290900&IN	SLOOP FAMILY TRUST 04-30-24 1150 ANCHORAGE LN UNIT #402 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 401	531-200-0555	LOT 1 US401PER DOC73-11935&UND INT IN DOC81- 290900&IN	HORNER FAY R FAMILY TRUST 11-18-20 3697 ARLINGTON AVE RIVERSIDE, CA 92506
XX	1150	ANCHORAGE UNIT 403	531-200-0556	LOT 1 US403PER DOC73-11935&UND INT IN DOC81- 290900&IN	SULLIVAN MICHAEL 1150 ANCHORAGE LN UNIT #403 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 405	531-200-0557	LOT 1 US405PER DOC73-11935&UND INT IN DOC81- 290900&IN	DAVIS MARGO P REVOCABLE TRUST 09-30-15 1150 ANCHORAGE LN UNIT #405 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 407	531-200-0558	LOT 1 US407PER DOC73-11935&UND INT IN DOC81- 290900&IN	CARTER DOUGLAS L P.O BOX 22 COLORADO SPRINGS, CO 80901
XX	1150	ANCHORAGE UNIT 518	531-200-0559	LOT 1 US518PER DOC73-11935&UND INT IN DOC81- 290900&IN	STEWART REVOCABLE TRUST 09-01-04 1150 ANCHORAGE LN UNIT #518 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 516	531-200-0560	LOT 1 US516PER DOC73-11935&UND INT IN DOC81- 290900&IN	MITCHELL BRUCE 1150 ANCHORAGE LN UNIT #516 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 514	531-200-0561	LOT 1 US514PER DOC73-11935&UND INT IN DOC81- 290900&IN	WIED COLIN W & ELIZABETH M FAMILY TRUST 05-15-13 1150 ANCHORAGE LN UNIT #514 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 512	531-200-0562	LOT 1 US512PER DOC73-11935&UND INT IN DOC81- 290900&IN	GALLO LESLIE 1150 ANCHORAGE LN UNIT #512 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 510	531-200-0563	LOT 1 US510PER DOC73-11935&UND INT IN DOC81- 290900&IN	SHERMAN CAROLYN FAMILY TRUST 02-19-24 1150 ANCHORAGE LN UNIT #510 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 508	531-200-0564	LOT 1 US508PER DOC73-11935&UND INT IN DOC81- 290900&IN	MUIR FAMILY TRUST 08-15-01 10275 E COCHISE DR SCOTTSDALE, AZ 85258
XX	1150	ANCHORAGE UNIT 506	531-200-0565	LOT 1 US506PER DOC73-11935&UND INT IN DOC81- 290900&IN	FOSTER MARK M EXEMPT TRUST, SULLIVAN PATRICIA A EXEMPT TRUST 02-06-87 2001 KIRBY DR #1200 HOUSTON, TX 77019
XX	1150	ANCHORAGE UNIT 504	531-200-0566	LOT 1 US504PER DOC73-11935&UND INT IN DOC81- 290900&IN	HAGAN SHANNON C TRUST 10-11-05 2727 DOVE ST SAN DIEGO, CA 92103
XX	1150	ANCHORAGE UNIT 502	531-200-0567	LOT 1 US502PER DOC73-11935&UND INT IN DOC81- 290900&IN	TSCHIRGI NECLA, TSCHIRGI JOHN 1150 ANCHORAGE LN UNIT #502 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 501	531-200-0568	LOT 1 US501PER DOC73-11935&UND INT IN DOC81- 290900&IN	CLIFTON SANDRA M TRUST, BLECKSMITH FRED R TRUST 04-10-20 1150 ANCHORAGE LN UNIT #501 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 503	531-200-0569	LOT 1 US503PER DOC73-11935&UND INT IN DOC81- 290900&IN	WILLIAMS 1992 REVOCABLE FAMILY TRUST 08-04-92 3850 NARRAGANSETT AVE SAN DIEGO, CA 92107
XX	1150	ANCHORAGE UNIT 505	531-200-0570	LOT 1 US505PER DOC73-11935&UND INT IN DOC81- 290900&IN	VARNER NORA L PMB 276 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 507	531-200-0571	LOT 1 US507PER DOC73-11935&UND INT IN DOC81- 290900&IN	LAZARSKI EDWARD F JR & NANCY A REVOCABLE LIVING TRUST 12-06-08 1150 ANCHORAGE LN UNIT #507 SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 614	531-200-0572	LOT 1 US614PER DOC73-11935&UND INT IN DOC81- 290900&IN	GLYNN MARY A TRUST 06-18-19 1150 ANCHORAGE LN UNIT #614 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 612	531-200-0573	LOT 1 US612PER DOC73-11935&UND INT IN DOC81- 290900&IN	MELLOS FAMILY TRUST 01-14-14 1150 ANCHORAGE LN UNIT #612 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 610	531-200-0574	LOT 1 US610PER DOC73-11935&UND INT IN DOC81- 290900&IN	OBERSCHMIDT ALEC C & MARY E TRUST 07-26-94 1150 ANCHORAGE LN UNIT #610 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 608	531-200-0575	LOT 1 US608PER DOC73-11935&UND INT IN DOC81- 290900&IN	SCHRIEBMAN FAMILY TRUST 6000 SANBROOK DR RANCHO PALO VERDES, CA 90275
XX	1150	ANCHORAGE UNIT 606	531-200-0576	LOT 1 US606PER DOC73-11935&UND INT IN DOC81- 290900&IN	LERONDELET TRIFECTA LLC 1104 COUNTRY HILLS DR #760 OGDEN, UT 84403
XX	1150	ANCHORAGE UNIT 604	531-200-0577	LOT 1 US604PER DOC73-11935&UND INT IN DOC81- 290900&IN	BLACK MOUNTAIN VENTURES LLC 1104 COUNTRY HILLS DR #760 OGDEN, UT 84403
XX	1150	ANCHORAGE UNIT 602	531-200-0578	LOT 1 US602PER DOC73-11935&UND INT IN DOC81- 290900&IN	OSTH LIVING TRUST 05-07-98 25832 DESERT TRAIL LAGUNA HILLS, CA 92653
XX	1150	ANCHORAGE UNIT 601	531-200-0579	LOT 1 US601PER DOC73-11935&UND INT IN DOC81- 290900&IN	HARDY JOHN W JR & MONIKA M 1150 ANCHORAGE LN UNIT #601 SAN DIEGO, CA 92106
XX	1150	ANCHORAGE UNIT 603	531-200-0580	LOT 1 US603PER DOC73-11935&UND INT IN DOC81- 290900&IN	KRAUSE JAMES C & GALE M 1999 TRUST 06-07-99 3229 TRUMBULL ST SAN DIEGO, CA 92106

HRB Site #	St #	St Name	APN	Legal Description	Owned By
XX	1150	ANCHORAGE UNIT 605	531-200-0581	LOT 1 US605PER DOC73-11935&UND INT IN DOC81-290900&IN	PETERSON FAMILY TRUST 07-01-80 1150 ANCHORAGE LN UNIT #605 SAN DIEGO, CA 92106

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 0**, and

WHEREAS, designated historical resources located within the City of San Diego are regulated by the Municipal Code (Chapter 14, Article 3, Division 2) as such any exterior modifications (or interior if any interior is designated) shall be approved by the City, this includes but is not limited to modifications to any windows or doors, removal or replacement of any exterior surfaces (i.e. paint, stucco, wood siding, brick), any alterations to the roof or roofing material, alterations to any exterior ornamentation and any additions or significant changes to the landscape/ site.

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the **LE RONDELET CONDOMINIUMS** on the following findings:

(1) The property is historically significant under CRITERION C for its distinctive characteristics of the Brutalist style of architecture with Google-style elements and retains a good level of architectural integrity from its 1967 period of significance. Specifically, the resource retains Brutalist features such as exposed and expressive concrete structural system, monumental massing, exposed concrete finish, repetitive façade pattern and intentional avoidance of traditional elements/ornament. The resource retains Google style elements such as semi-circular shape, expressive flat roof form, large porte-cochere, and continuous bands of anodized dark-finished aluminum windows and sliding glass doors. This finding is further supported by the staff report, the historical research report, and written and oral evidence presented at the designation hearing.

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named property. The designation includes the parcel and exterior of the building as Designated Historical Resource **Site No. 0**.

BE IT FURTHER RESOLVED, the designation shall exclude the courtyard spa, cabana and pool.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall cause this resolution to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote:

BY: _____
KRISTI BYERS, Chair
Historical Resources Board

APPROVED: HEATHER FERBERT,
CITY ATTORNEY

BY: _____
JEANNE MACKINNON,
Deputy City Attorney