



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: August 7, 2025 REPORT NO. PC-25-026

HEARING DATE: August 14, 2025

SUBJECT: 12105 World Trade Drive, Process Four

PROJECT NUMBER: [PRJ-1076451](#)

OWNER/APPLICANT: World Trade CM LLC, Owner / Latitude 33, Applicant

SUMMARY

Issue: Should the Planning Commission approve a Planned Development Permit to construct a 3,363-square-foot car wash facility with associated site improvements on a vacant 1.0-acre site at 12105 World Trade Drive within the Carmel Mountain Ranch Community Plan?

Staff Recommendation: Approve Planned Development Permit No. PMT-3269467.

Fiscal Considerations: None with this action. All costs associated with the processing of this application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: N/A

Housing Impact Statement: N/A

Community Planning Group Recommendation: On March 8, 2023, the Carmel Mountain Ranch Community Council voted 7-0-4 to recommend approval of the project with the understanding that the ownership discuss specific colors with the Community Council prior to construction (Attachment 7).

Environmental Impact: The project was determined to be categorically exempt pursuant to Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act on May 16, 2025, and the opportunity to appeal that determination ended June 2, 2025 (Attachment 6). There were no appeals to this environmental determination.

BACKGROUND

The 1.0-acre site is located at 12105 World Trade Drive in the Commercial Community (CC) -3-5 Zone, the Marine Corps Air Station Miramar, Airport Influence Area (MCAS Miramar Review Area 2), and the Residential Tandem Parking Overlay Zone within the Carmel Mountain Ranch Community Plan area (Community Plan). The project site is vacant and surrounded by neighborhood commercial and civic uses. The project site does not contain nor is it adjacent to the City's Multi-Habitat Planning Area (MHPA) (Attachments 1-3).

DISCUSSION

The proposed project consists of the construction of a 3,363 square-foot car wash facility with associated site improvements (Attachment 9 – Project Plans). As previously mentioned, the project is located in the CC-3-5 zone, which is intended to provide for a range of development patterns from pedestrian-friendly commercial streets to shopping centers and auto-oriented strip commercial streets. Pursuant to SDMC Section [126.0602\(b\)\(1\)](#), a Planned Development Permit is required for requested deviations for a car wash facility (new personal vehicle repair and maintenance use) on the project site. Staff has reviewed and accepted the following requested deviations to the CC-3-5 Zone regulations:

Requested Deviations

CC-3-5 Zone Requirement	Required	Proposed
Maximum Front Setback	10 feet	Approximately 60 feet
Maximum Street Side Setback	10 feet	Approximately 15-20 feet
Minimum Lot Coverage	35%	Approximately 17%
Transparency	Minimum of 50% transparency of street wall area is required between 3 and 10 feet above the sidewalk.	Windows along Highland Ranch Road are not transparent to minimize visibility into the car wash tunnel.

Maximum Front Setback Deviation: Deviation to SDMC Table [131-05E](#) to allow for an approximately 60-foot front setback along World Trade Drive, where the zone requires a maximum 10-foot front setback.

Justification: The deviation is necessary for the main building to be placed in a manner that facilitates internal circulation of vehicles from the car wash into the customer parking area. The deviation will result in a more desirable project that will provide for safe and efficient internal circulation on site for customers and pedestrians while providing ample space for detailing and drying of vehicles.

Maximum Street Side Setback Deviation: Deviation to SDMC Table [131-05E](#) to allow for an approximately 15 to 20-foot side setback along Highland Ranch Road, where the zone requires a 10-foot side setback.

Justification: The deviation is necessary to provide an adequate landscape buffer for physical and visual separation from the car wash drive-through aisle and main building and enhanced public safety at a key intersection. The deviation will result in a more desirable project by providing adequate sight visibility at the World Trade Drive and Highland Ranch Road intersection along the project's frontage, thereby maintaining a safe environment on site for both customers and pedestrians.

Additionally, the landscape buffer offers more landscaping than the code requires. It protects existing deciduous trees and provides space for new trees to grow and mature to their full canopy. This approach aligns with the intent of SDMC Table 131-05E and the Community Plan and enhances the project's aesthetic quality and public safety.

Minimum Lot Coverage Deviation: Deviation to SDMC Table [131-05E](#) to allow for a lot coverage of approximately 17%, where the zone requires a 35% minimum lot coverage.

Justification: The deviation is necessary to provide a car wash facility that is designed to meet industry standards and operational requirements. The deviation will result in a more desirable project by providing a layout that ensures public safety, meets parking requirements, reduces vehicle queuing and stacking, and addresses landscaping requirements without adversely impacting public safety, access, or internal circulation.

Transparency Deviation: Deviation to Table SDMC Table [131-05E](#) to waive the transparency requirement, where SDMC Section 131.055 requires a minimum 50% of transparency of street wall area between 3 and 10 feet above the sidewalk.

Justification: The deviation is necessary to reduce visibility into the car wash tunnel from the public right-of-way. This change will enhance the overall design of the project by creating a more visually appealing facility. It will address unattractive views into the car wash tunnel, improve the streetscape, and incorporate aesthetically pleasing architecture. This includes the use of complementary neutral color schemes and high-quality materials such as stone veneers and stucco cladding, which will ensure compatibility with the surrounding neighborhood while minimizing ongoing maintenance.

Additionally, the project complies with SDMC Section [142.0810](#) and Table [142-08C](#) which addresses on-site areas for storing refuse, organic waste, and recyclable materials. Staff has also reviewed and accepted a Hydrology and Hydraulics Report and Storm Water Quality Management Plan for the project which addresses drainage, storm water construction best management practices (BMPs) and ongoing permanent BMP maintenance.

Community Plan Analysis:

The Community Plan designates the project site as Community Commercial, and the development of a car wash facility, a neighborhood serving commercial use, is consistent with this land use

designation. Additionally, the project is consistent with the Community Plan goal (Commercial and Industrial Element Goal) of providing convenient commercial development to meet the shopping, service, and recreation needs of the community. The project is also consistent with the Community Plan policies (Commercial and Industrial Element, Policies 3 and 8) of providing sufficient small commercial sites to offer accessible service facilities for future users and locating traffic-generating development in proximity to circulation corridors capable of handling the volume.

Required Actions:

Pursuant to SDMC Section [126.0602\(b\)](#), a Process 4 Planned Development Permit is required for requested deviations to allow for a car wash facility (new personal vehicle repair and maintenance use) on the project site. Therefore, the decision to approve, conditionally approve, or deny the project shall be made by the Planning Commission, and the decision is appealable to the City Council.

The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The permit includes requirements that address sound attenuation measures, maintaining visibility areas along driveways and installing public improvements, private water and sewer facilities, landscaping and maintenance, signage, lighting, and parking.

Conclusion:

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with the adopted City Council policies and regulations of the Land Development Code. Staff has provided draft resolutions and conditions of approval and recommends Planning Commission approval of the project.

ALTERNATIVES

1. APPROVE Planned Development Permit No. PMT-3269467, with modifications.
2. DO NOT APPROVE Planned Development Permit No. PMT-3269467, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



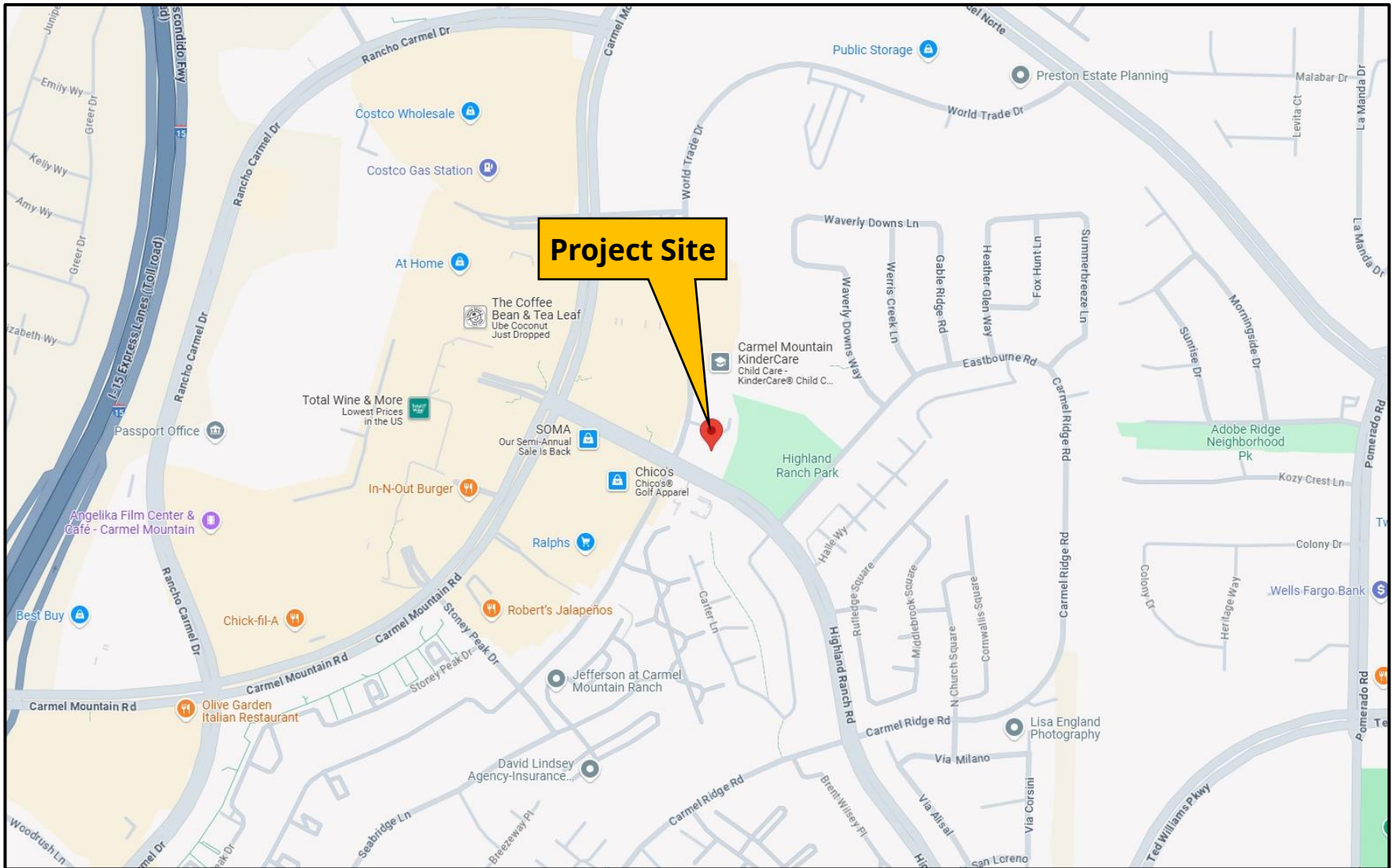
Michael Prinz
Interim Assistant Deputy Director
Development Services Department



Blake Sonuga
Development Project Manager
Development Services Department

Attachments:

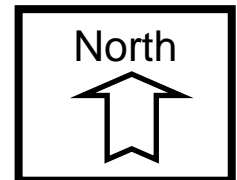
1. Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Permit Resolution with Findings
5. Permit with Conditions
6. CEQA Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

12105 World Trade Drive

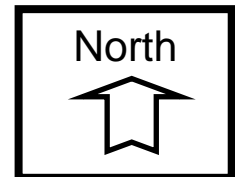
PRJ-1076451: 12105 World Trade Drive





Aerial Photograph

12105 World Trade Drive
PRJ-1076451: 12105 World Trade Drive

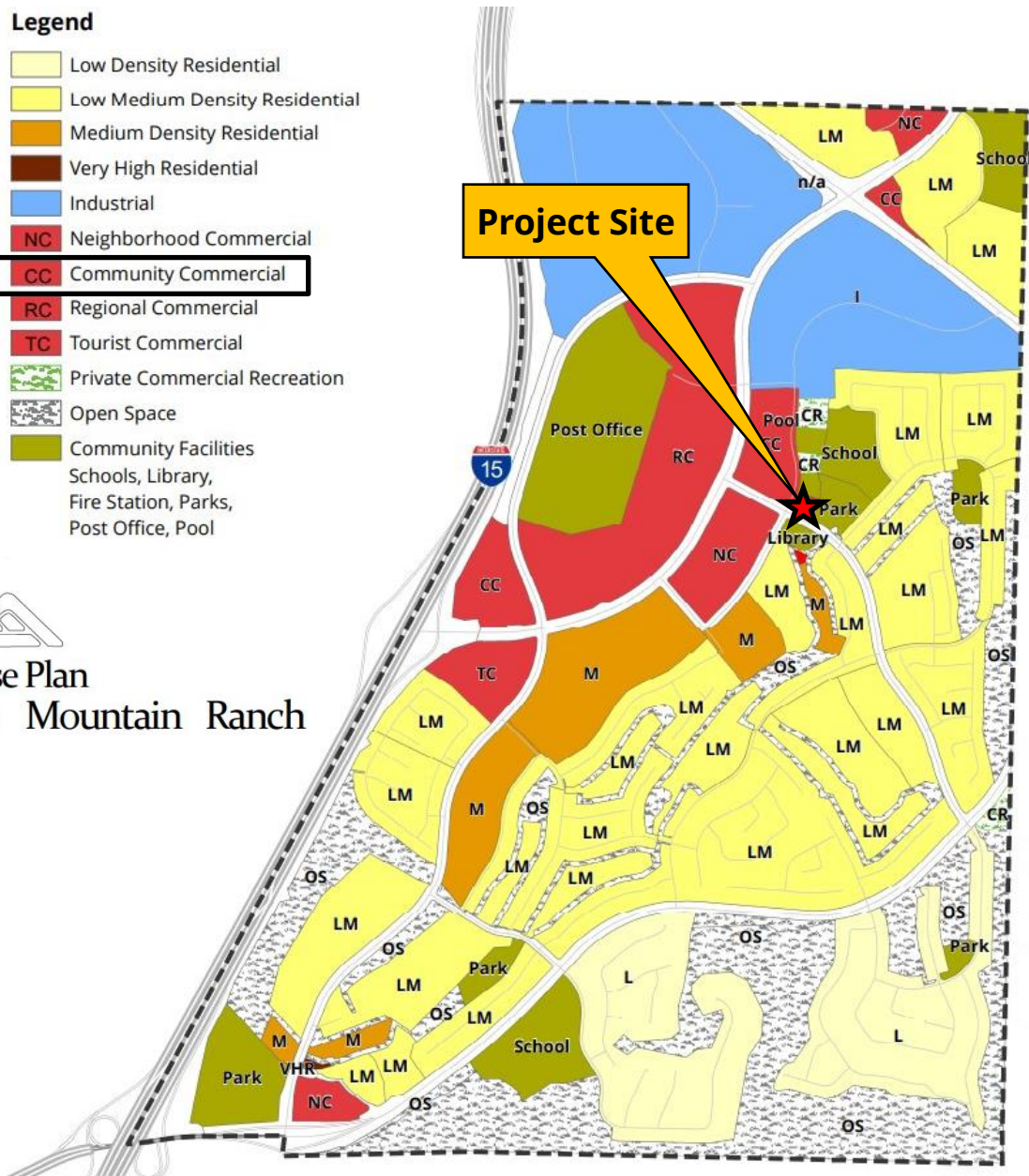


Legend

- Low Density Residential
- Low Medium Density Residential
- Medium Density Residential
- Very High Residential
- Industrial
- NC Neighborhood Commercial
- CC Community Commercial**
- RC Regional Commercial
- TC Tourist Commercial
- Private Commercial Recreation
- Open Space
- Community Facilities
Schools, Library,
Fire Station, Parks,
Post Office, Pool



Land Use Plan Carmel Mountain Ranch



12105 World Trade Drive
PRJ-1076451: 12105 World Trade Drive

PLANNING COMMISSION RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. PMT-3269467
12105 WORLD TRADE DRIVE: PRJ-1076451

WHEREAS, WORLD TRADE CM LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a car wash facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit No. PMT-3269467), on portions of a vacant 1.0-acre site;

WHEREAS, the project site is located at 12105 World Trade Drive in the CC-3-5 Zone, the Airport Land Use Community Plan area (MCAS Miramar), the Airport Influence Area (MCAS Miramar Review Area 2), and the Residential Tandem Parking Overlay Zone within the Carmel Mountain Ranch Community Plan area;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 14678, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, February 12, 1987 as File No. 87-079344 of Official Records;

WHEREAS, on May 16, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development Projects) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 14, 2025, the Planning Commission of the City of San Diego considered Planned Development Permit No. PMT-3269467 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. PMT-3269467:

A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605(a)]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project consists of the construction of a 3,363 square-foot car wash facility with associated site improvements on a vacant 1.0-acre site at 12105 World Trade Drive within the Carmel Mountain Ranch Community Plan (Community Plan) area. The Community Plan designates the project site as Community Commercial and the development of a car wash facility, a neighborhood commercial serving use is consistent with this land use designation. Additionally, the project is consistent with the Community Plan goal (Commercial and Industrial Element Goal) of providing convenient commercial development to meet the shopping, service, and recreation needs of a balanced community. The project is also consistent with the Community Plan policies (Commercial and Industrial Element, Policy 3 and 8) of providing sufficient small commercial sites to offer accessible service facilities for future users and locating traffic-generating development in proximity to circulation corridors capable of handling the volume. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project site is vacant and surrounded by neighborhood commercial and civic uses. The project complies with SDMC Section [142.0810](#) and Table [142-08C](#) which addresses on-site areas for storing refuse, organic waste, and recyclable materials. Staff has also reviewed and accepted a Hydrology and Hydraulics Report and Storm Water Quality Management Plan for the project which addresses drainage, storm water construction best management practices (BMPs) and ongoing permanent BMP maintenance.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The permit includes requirements that address sound attenuation measures, maintaining visibility areas along driveways and providing public improvements, private water and sewer facilities, landscaping and maintenance, signage, lighting, and parking. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

- c. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project is located in the CC-3-5 Zone (Commercial Community) which is intended to provide for a range of development patterns from pedestrian-friendly commercial streets to shopping centers and auto-oriented strip commercial streets. Pursuant to SDMC Section [126.0602\(b\)](#), a Planned Development Permit is required for requested deviations for a car wash facility (new personal vehicle repair and maintenance use) on the project site. Staff has reviewed and accepted the following requested deviations to the CC-3-5 Zone regulations:

CC-3-5 Zone Requirement	Required	Proposed
Maximum Front Setback	10 feet	Approximately 60 feet
Maximum Street Side Setback	10 feet	Approximately 15-20 feet
Minimum Lot Coverage	35%	Approximately 17%
Transparency	Minimum of 50% transparency of street wall area is required between 3 and 10 feet above the sidewalk.	Windows along Highland Ranch Road are not transparent to minimize visibility into the car wash tunnel.

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Justification: The deviation is necessary for the main building to be placed in a manner that facilitates internal circulation of vehicles from the car wash into the customer parking area. The deviation will result in a more desirable project that will provide for safe and efficient internal circulation on site for customers and pedestrians while providing ample space for detailing and drying of vehicles.

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and enhanced public safety at a key intersection. The deviation will result in a more desirable project by providing adequate sight visibility at the World Trade Drive and Highland Ranch Road intersection along the project's frontage, thereby maintaining a safe environment on site for both customers and pedestrians.

Additionally, the landscape buffer offers more landscaping than the code requires. It protects existing deciduous trees and provides space for new trees to grow and mature to their full canopy. This approach aligns with the intent of SDMC Table 131-05E and the Community Plan and enhances the project's aesthetic quality and public safety.

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Additionally, the project complies with SDMC Section [142.0810](#) and Table [142-08C](#) which addresses on-site areas for storing refuse, organic waste, and recyclable materials. Staff has also reviewed and accepted a Hydrology and Hydraulics Report and Storm Water Quality Management Plan for the project which addresses drainage, storm water construction best management practices (BMPs) and ongoing permanent BMP maintenance.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the

development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. PMT-3269467 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. PMT-3269467, a copy of which is attached hereto and made a part hereof.

Blake Sonuga
Development Project Manager
Development Services

Adopted on August 14, 2025

IO#: 24009430

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009430

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. PMT-3269467
12105 WORLD TRADE DRIVE: PRJ-1076451
PLANNING COMMISSION

This Planned Development Permit No. PMT-3269467 is granted by the Planning Commission of the City of San Diego to WORLD TRADE CM LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0602. The vacant 1.0-acre site is located at 12105 World Trade Drive in the Commercial--Community -3-5 Zone and the Airport Land Use Community Plan (MCAS Miramar), the Airport Influence Area (MCAS Miramar Review Area 2), and the Residential Tandem Parking Overlay Zone within the Carmel Mountain Ranch Community Plan area. The project site is legally described as: Parcel 1 of Parcel Map No. 14678, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, February 12, 1987 as File No. 87-079344 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a car wash facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 14, 2025, on file in the Development Services Department.

The project shall include:

- a. Construction of a 3,363-square-foot car wash facility with associated site improvements;
- b. Deviations from SDMC:

CC-3-5 Zone Requirement	Required	Proposed
Maximum Front Setback	10 feet	Approximately 60 feet
Maximum Street Side Setback	10 feet	Approximately 15-20 feet
Minimum Lot Coverage	35%	Approximately 17%
Transparency	Minimum of 50 percent transparency of street wall area between 3 and 10 feet above the sidewalk is required.	Windows along Highland Ranch Road are not transparent to avoid visibility into the car wash tunnel.

- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 28, 2028.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL REQUIREMENTS:

11. Prior to issuance of the building permit, the Permit Holder shall incorporate the requirements of project design features on the appropriate construction documents as described in the Noise Impacts Study prepared by MD Acoustics, LLC dated September 27, 2024. The Assistant Deputy Director (ADD) Environmental designee shall verify that the following sound attenuation measures have been incorporated into the design of the development:

- a. The Project will incorporate a 12 Sonny's blower system with the silencer package installed or equivalent to meet these acoustical benchmarks.

- b. An acoustic liner (Acoustiblok perforated metal panels or equivalent) will line 15 feet from the exit (see Appendix C of the Noise Study).
- c. The Project will include a variable frequency drive system (VFD). The operation frequency of the blower system will be lowered to 55 Hz from 7:00 p.m. to 9:00 p.m.

ENGINEERING REQUIREMENTS:

- 12. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond to construct current City standard directional curb ramps at the intersection of Highland Ranch Road and World Trade Drive per Exhibit "A," satisfactory to the City Engineer.
- 13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for the project. All grading shall comply with the requirements of the SDMC, to the satisfaction of the City Engineer.
- 14. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond to construct a City standard sidewalk adjacent to the site on Highland Ranch Road and World Trade Drive as shown on Exhibit "A," satisfactory to the City Engineer.
- 15. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond to construct a curb and gutter per current City standards adjacent to the site on Highland Ranch Road and World Trade Drive as shown on Exhibit "A", satisfactory to the City Engineer.
- 16. Prior to the issuance of any building permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- 17. The drainage system proposed for the development as shown on the site plan is subject to approval by the City Engineer.
- 18. Prior to the issuance of any building permits, a Drainage Study shall be prepared to the satisfaction of the City Engineer. The Drainage Study shall include a 100-year inflow hydrograph based on the San Diego County Hydrology Manual and generation of the routed outflow 100-year hydrograph, to the satisfaction of the City Engineer.
- 19. Prior to the issuance of any building permits, the Owner/Permittee shall submit a Technical Report (Stormwater Quality Management Plan) that will be subject to final review and approval by the City Engineer based on the Stormwater Standards Manual in effect at the time of the construction permit issuance.
- 20. Prior to the issuance of any building permits, the Owner/Permittee shall enter into a Maintenance Agreement (SWMDCMA) detailing the ongoing permanent (Best Management Practices) BMP maintenance, satisfactory to the City Engineer.

21. The development shall comply with all stormwater construction requirements of the State Construction General Permit Order No. 2022-0057-DWQ. In accordance with this order or any subsequent order, a Risk Level Determination shall be calculated for the site and a Stormwater Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

22. Prior to issuance of a grading or construction permit, a copy of the Notice of Intent (NOI), including a valid Waste Discharge ID number (WDID#), shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. If ownership of the entire site or any portion of the site changes prior to the filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with Section II.C of Order No. 2022-0057-DWQ, and a copy shall also be submitted to the City.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

24. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for public right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)6.

26. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the public right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services

Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

28. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

29. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

30. The project site shall provide on-site areas for storing refuse, organic waste, and recyclable materials, per SDMC Section 142.0810 and Table 142-08C.

31. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

33. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

34. Prior to the issuance of the first building permit, the Owner/Permittee shall assure by permit and bond the closure of all non-utilized driveways along the project site frontages on World Trade Drive and replace them with a current City standard curb height, gutter, and sidewalk, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

35. Prior to issuance of the first building permit, the Owner/Permittee shall dedicate twelve feet of public right-of-way along the project frontage on Highland Ranch Road to provide a 22-foot-wide parkway, as shown on Exhibit "A," per current City standards, satisfactory to the City Engineer.

36. Prior to issuance of the first building permit, the Owner/Permittee shall dedicate four (4) feet of public right-of-way along the project frontage on World Trade Drive to provide a 14-foot-wide parkway, as shown on Exhibit "A" per current City standards, satisfactory to the City Engineer.
37. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond the construction of two (2) driveways along the project's frontage on World Trade Drive per current City standards as shown on Exhibit "A," satisfactory to the City Engineer, including an 18-foot-wide one-way inbound-only access driveway north of the intersection of World Trade Drive and Highland Ranch Road and an 18-foot-wide one-way outbound-only access driveway closer to the intersection of World Trade Drive and Highland Ranch Road. All improvements shall be completed and operational prior to first occupancy.
38. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond a traffic signal modification plan to include the following improvements at the intersection of World Trade Drive and Highland Ranch Road per current City standards, satisfactory to the City Engineer: Installation of a high visibility (continental) crosswalk on the northbound and southbound approaches of World Trade Drive and the installation of bicycle loop detectors on the eastbound and westbound approaches on Highland Ranch Road. All improvements shall be completed and operational prior to first occupancy.
39. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond a traffic signal modification plan to include the following improvements at the intersection of Eastbourne Road and Highland Ranch Road per current City standards, satisfactory to the City Engineer: Installation of a bicycle loop detectors on the eastbound and westbound approaches of Highland Ranch Road and restriping the southbound approach of Eastbourne Road as an exclusive right-turn pocket and a through-left turn lane. All improvements shall be completed and operational prior to first occupancy.
40. The Owner/Permittee shall provide and maintain a sight visibility area on each side of both driveways along the new property line on World Trade Drive and at the intersection of World Trade Drive and Highland Ranch Road per Exhibit "A." No obstacles higher than 36 inches shall be located in this area (e.g., shrubs, landscape, walls, columns, signs, etc.).
41. Prior to first occupancy, the Owner/Permittee shall provide and maintain the following Transportation Demand Management (TDM) measures satisfactory to the City Engineer: Owner/Permittee will offer a 75% subsidy of a monthly transit pass to all employees for the first five years of the car wash operations to reduce vehicle trips by employees to the project site. Owner/Permittee shall provide the City Engineer with an annual monitoring report each year during the five-year period.

WATER AND SEWER DEVELOPMENT REQUIREMENTS:

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public

right-of-way adjacent to the project site, satisfactory to the Public Utilities Department and City Engineer.

43. The Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. The BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the public right-of-way.

44. All proposed private water and sewer facilities shall be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

45. No trees or shrubs exceeding three (3) feet in height at maturity shall be installed within ten feet of any sewer facilities and five (5) feet of any water facilities.

46. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private sewer facilities encroaching into the public right-of-way.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 14, 2025, and [Approved Resolution Number].

ATTACHMENT 5

Planned Development Permit No. PMT-3269467
August 14, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Blake Sonuga
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**WORLD TRADE CM LLC
Owner/Permittee**

By _____
DANIEL CURRAN
Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: May 16, 2025

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009430

PROJECT NAME / NUMBER: 12105 World Trade Drive / PRJ-1076451**COMMUNITY PLAN AREA:** Carmel Mountain Ranch**COUNCIL DISTRICT:** 5**LOCATION:** 12105 World Trade Drive, San Diego, CA 92128

PROJECT DESCRIPTION: The project proposes a Planned Development Permit (PDP) with deviations for maximum front setback of approximately 60 feet where 10 feet is required, maximum street side setback of approximately 15 to 20 feet where 10 feet is required, minimum lot coverage of approximately 17 percent where 35 percent is required, and waiver of transparency requirements where minimum 50 percent transparency of street wall area between 3 and 10 feet above the sidewalk is required for a 3,363 square-foot (sf) car wash on an undeveloped, vacant, and previously graded parcel located at 12105 World Trade Drive. The project also includes associated site improvements, including new concrete walkways, drive aisles, curbs, landscaping, vacuum stations, utilities, and associated fixtures, furnishings, and equipment. The 1.0-acre site is located in the CC-3-5 zone and is designated Community Commercial within the Carmel Mountain Ranch Community Plan area. Existing overlays include Airport Land Use Community Plan - MCAS Miramar, Airport Influence Area (MCAS Miramar Review Area 2), and Residential Tandem Parking Overlay Zone. **LEGAL DESCRIPTION:** Parcel 1 of Parcel Map No. 14678.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Planning Commission**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332, In Fill Development Projects.**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project is consistent with the applicable general plan designation and all

applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of less than 5 acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species as it is a disturbed, graded site. The project does not have the bulk and scale to cause any obstruction in the implementation of the existing air quality plan or otherwise cause any adverse air movement within the area. A Noise Impact Study (MD Acoustics, LLC, 2024) was reviewed and accepted for the project, which determined that impacts related to noise would be less than significant. The project is scoped out of Vehicle Miles Traveled (VMT) analysis as it meets the screening criteria for locally serving retail and is presumed to have a less than significant VMT impact. A Hydrology and Hydraulics Report (Tait & Associates Inc., 2025) and a Preliminary Priority Development Project Storm Water Quality Management Plan (Tait & Associates Inc., 2025) were prepared and they identified proper drainage, Best Management Practices and compliance measures from the City Storm Water Regulations that would preclude impacts to water quality. As such, the project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

DEVELOPMENT PROJECT MANAGER:	Blake Sonuga
MAILING ADDRESS:	1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL:	(619) 687-5928 / msonuga@sandiego.gov

On May 16, 2025 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, please contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by the Development Services Department to the City Council must be filed in the office of the City Clerk by 5:00 p.m. within ten (10) business days from the date of the posting of this Notice (June 2, 2025). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00 p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City

Administration Building-Public Information Counter (Open 8:00 a.m. to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00 p.m. on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.

POSTED ON THE CITY'S CEQA WEBSITE

POSTED: 5/16/2025

REMOVED: 6/2/2025

POSTED BY: Leilani Phillips

**CARMEL MOUNTAIN RANCH/SABRE SPRINGS COMMUNITY
COUNCIL**
10152 Rancho Carmel Dr., San Diego, CA 92128

MINUTES for March 8, 2023
Meeting held via Zoom

QUORUM/CALL TO ORDER 6:30 p.m. A quorum was established.

BOARD OF DIRECTORS		
	PRESENT	ABSENT
Eric Edelman, Chairperson/Business Owner	X	
Dan Thompson, Business Owner		X
Rich Krejci, Home Owner	X	
John Schroeder, Secretary/Home Owner	X	
Marc Clark, Home Owner		X
Michelle Mullin, Home Owner		X
Kurt Carlson, Home Owner	X	
Dustin Leal, Home Owner		X
Bruce Bergman, Home Owner	X	
Larry Fontaine, Home Owner	X	
Kirsten Greer, Home Owner	X	

- I. Call to Order and Welcome by Chairperson: Eric Edelman
- II. Introduction of Board Members
- III. Approve Agenda/Approve Meeting Minutes from previous meeting.
 - Agenda was approved unanimously.
 - Minutes from the February 8, 2023 meeting were approved unanimously.
- IV. CMRCC Business:
 - A. Public Comments - Non-agenda items (3-minute limit)
 - B. Neighborhood Police Report - Officer Julie Dragt
 - Officer Dragt provided a brief overview of the "Smart Streetlight" proposal and directed the audience to the San Diego city website for a schedule of community meetings regarding this issue.
 - C. CMR Fire Station/SD Fire – Representative
 - Not Present
 - D. State Senator Brian Jones – Representative Marc Schaefer
 - Not Present
 - E. Assemblyman Brian Maienschein – Representative Rik Hauptfeld
 - Not Present
 - F. County Supervisor Joel Anderson – Representative, Mike Fredenburg
 - Not Present
 - G. City Councilmember Marni von Wilpert - Representative, Khayri Carter
 - Infrastructure remains a high priority for Councilmember von Wilpert.
 - Councilmember von Wilpert is now the Chair of the City Council's Public Safety Committee.
 - H. Mayor Todd Gloria – Representative, Emily Piatanesi
 - Not Present
 - I. San Diego Planning Department – Representative, Tony Kempton
 - Not Present
 - J. Congressman Scott Peters – Representative
 - Not Present

- K. Quick Quack Car Wash Proposal for northeast corner of Highland Ranch Road and World Trade Drive (ACTION ITEM)
- Dan Curran of Coast Income Properties, representatives of Latitude 33 (including Randi Coopersmith and Brad Sonnenburg) and representatives of Quick Quack Car Wash (including Erica Hernandez and Chad Terry) presented a detailed site plan and 3D images of the proposed car wash.
 - A motion to recommend approval of rezoning this lot from CC-3-5 to CC-1-3 to allow for a stand-alone car wash was adopted unanimously.
 - A motion to recommend approval of the proposed improvements, with the understanding that the owners will discuss specific colors with the CMRSSCC prior to construction, was adopted unanimously.
- L. Lennar Homes (Information Item) – Transfer of “The Trails at Carmel Mountain Ranch” property from New Urban West to Lennar Homes
- Arlene Tendick, a representative of Lennar Homes, introduced herself as a Lennar representative.
 - Lennar Homes is now the owner of the entire property which was owned by New Urban West.
 - The Trails at Carmel Mountain Ranch will be constructed as currently approved by the city.
 - The current approved plan includes a total of 827 units, with 126 of these units classified as affordable units.
 - There was no timeline available for renovation of spaces designated as open space.
 - The construction of the city parks is currently planned to occur after the residential units are completed.
 - For more information, refer to www.LennarSDbuilds.com
- M. Chair’s Report– Eric Edelman
- None
- N. Old Business
- None
- O. New Business
- None
- P. Action Items
- None

Adjournment: 9:11 p.m.

Next Meeting: Wednesday, April 12, 2023, at 6:30 p.m.

Location: Zoom

John Schroeder, CMRSSCC Secretary

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM <h2 style="margin: 0;">DS-318</h2> October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☒ **Other** Rezone

Project Title: World Trade Car Wash **Project No. For City Use Only:** PRJ-1076451

Project Address: 12105 World Trade Dr.

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? California Corporate Identification No. 87-1713002
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

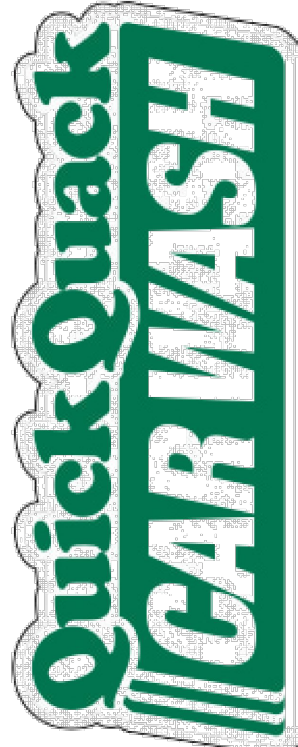
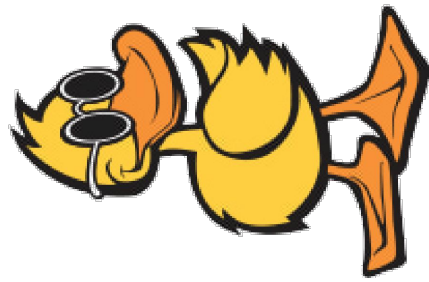
Name of Individual: World Trade CM, LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 12230 El Camino Real, Suite 140
 City: San Diego State: CA Zip: 92130
 Phone No.: 858-587-9192 x-19 Fax No.: _____ Email: dcurran@coastincome.com
 Signature: *Paul C. UP* Date: 11-3-22
 Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: World Trade CM, LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 12230 El Camino Real, Suite 140
 City: San Diego State: CA Zip: 92130
 Phone No.: 858-587-9192 Fax No.: _____ Email: dcurran@coastincome.com
 Signature: *Paul C. UP* Date: 11/3/22
 Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No



6020 WEST OAKS BLVD, SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE # 48-267
NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS
DATE DESCRIPTION

5/19/2024	CITY COMMENTS
10/28/2024	CITY COMMENTS
01/31/2025	CIVIL CHANGES



1801 Lampton Lane
Norco, CA 92860
P: 9514753300
www.tait.com

PROJECT DESCRIPTION

CONSTRUCTION OF:

NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO: NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES, AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

PARKING ANALYSIS

VACUUM STALLS	16 STALLS @ 9'-0" X 19'-0" (1 ADA VACUUM STALL @ 20'-0" X 19'-0")
PARKING STALLS	3 STAFF STALLS @ 9'-0" X 19'-0" (1 ADA STAFF STALL @ 19'-0"D X 17'-0"W)
MOTORCYCLE	2 STALLS @ 3'-0" X 8'-0"
BIKE RACK	5 SPACES
BIKE LOCKER	1 SPACE

ZERO EMISSIONS/EV READY: PER (CGBC) TABLE 5.106.4.3.3. RATIO OF 8% OF PARKING SPACES (20) OR TWO SPACES WHICHEVER IS GREATER. 8% IS 1.6 SPACES 2 SPACES FOR EV AND/ OR ZERO EMISSIONS PROPOSED.

SHEET INDEX

SHEET LIST	DESCRIPTION
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ARCHITECTURAL

A1.00	OVERALL SITE PLAN
A1.01	ARCHITECTURAL SITE PLAN
A2.00	FLOOR PLAN
A3.00	BUILDING ELEVATIONS
A3.01	BUILDING ELEVATIONS
A3.02	REMOTE QB ELEVATIONS
A4.00	COLORLED BUILDING ELEVATIONS
A4.01	COLORLED BUILDING ELEVATIONS
A5.00	PAY CANOPY
A5.01	VACUUM CANOPY NO. 1
A5.02	VACUUM CANOPY NO. 1 COLORED
A5.03	VACUUM CANOPY NO. 2
A5.04	VACUUM CANOPY NO. 2 COLORED
A6.00	SITE ELEMENTS ENCLOSURES
A6.01	SITE ELEMENTS ENCLOSURES

LANDSCAPE

L1	LANDSCAPE PLAN - RENDERED
L1	LANDSCAPE PLAN
L2	YARD CALCULATIONS
L3	VUA CALCULATIONS

CIVIL

1 OF 6	PRELIMINARY SITE PLAN
2 OF 6	PRELIMINARY SITE VISIBILITY PLAN
3 OF 6	PRELIMINARY GRADING PLAN
4 OF 6	PRELIMINARY GRADING SECTIONS
5 OF 6	PRELIMINARY WATER QUALITY MANAGEMENT PLAN
6 OF 6	PRELIM. WATER QUALITY MANAGEMENT DETAILS

LIGHTING

1 OF 1	SITE PHOTOMETRIC
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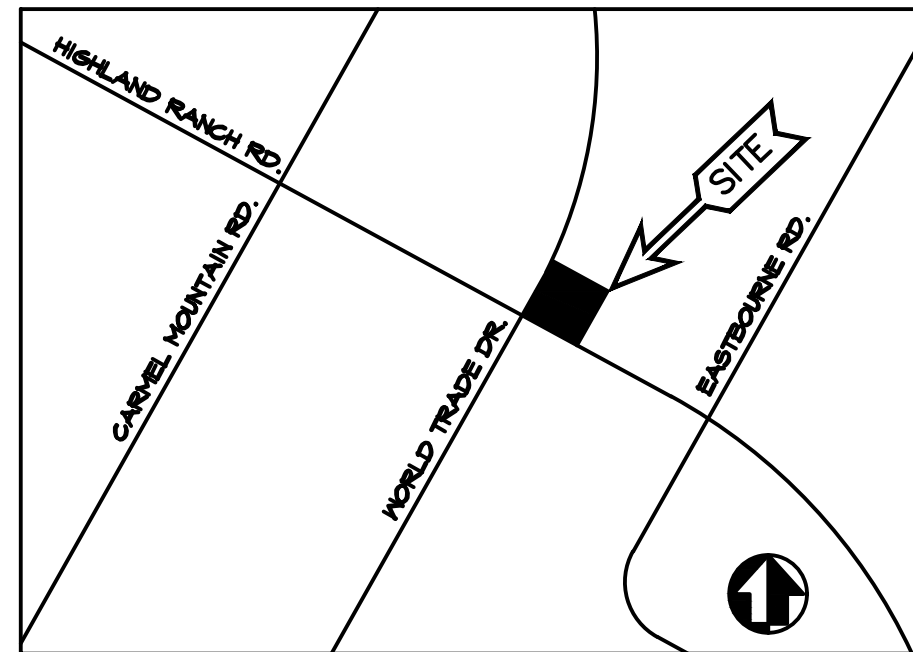
LAND USAGE CALCULATION

LAND TYPE	SQUARE FOOTAGE	USE PERCENTAGE
BUILDING:	3,760	9%
LANDSCAPING:	14,261	33%
PAVEMENT:	21,730	49%
CONCRETE:	3,665	8%
*MISC:	572	1%

SITE TOTAL SQ. FT. = 43,988

*CATAGORY INCLUDES ALL EXISTING SITE ITEMS NOT BEING ADJUSTED, MINOR ITEMS APART OF OTHER CATAGORIES NOT EXCEEDING 100+ SQ.FT. THAT OTHERWISE COULD NOT BE CALCULATED SEPARATE.

VICINITY MAP



NTS

OVERALL SITE PLAN

DATE: JANUARY, 2024
TAIT JOB #: QQ0034

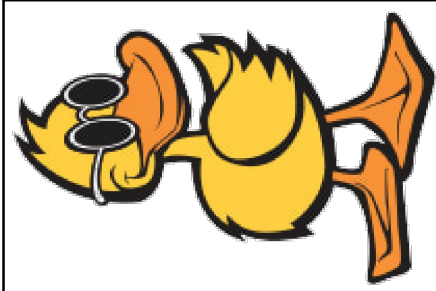
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PLANNING PACKAGE

A

A1.00

OVERALL SITE PLAN
SCALE: 1" = 20'-0"



6020 WEST OAKS BLVD, SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS
DATE DESCRIPTION

1	5/19/2024	CITY COMMENTS
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4		
5		
6		



1801 Lampton Lane
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P: 951.475.3300
www.tait.com

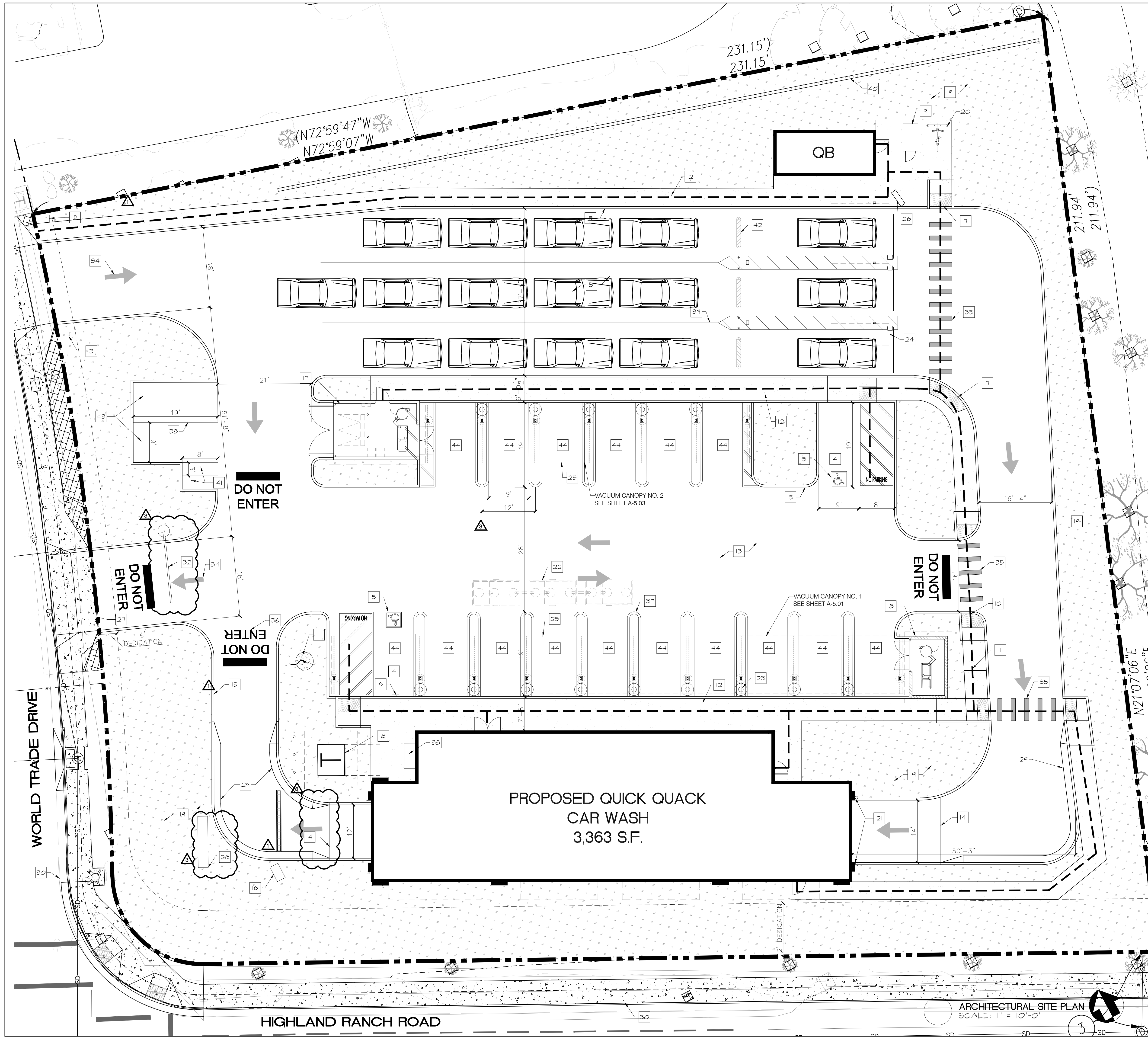
ARCHITECTURAL SITE PLAN

DATE: JANUARY, 2024
TAIT JOB #: QQ0034

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PLANNING PACKAGE



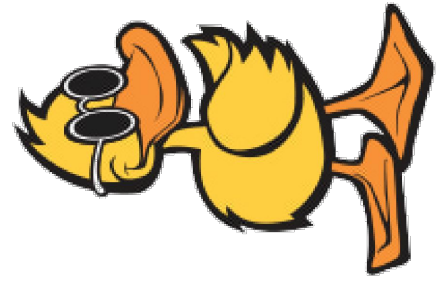
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KEYNOTES

- 1 ADA PATH OF TRAVEL SHOWN DASHED.
- 2 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL.
- 3 NEW TOW AWAY ACCESSIBILITY PARKING SIGN AT ENTRANCE.
- 4 NEW VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
- 5 NEW INTERNATIONAL SYMBOL AT PARKING STALL (TYP. 2 PLACES)
- 6 NEW ACCESSIBLE PARKING SIGN. (TYPICAL 2 PLACES)
- 7 NEW TRUNCATED DOMES (TYPICAL ALL PLACES)
- 8 PROPOSED ELECTRICAL TRANSFORMER LOCATION. FINAL APPROVED LOCATION PER UTILITY COMPANY
- 9 NEW LONG TERM BIKE LOCKER
- 10 NEW FLUSH SURFACE AT TRANSITION (TYPICAL)
- 11 FLAG POLE PROVIDED AND INSTALLED BY VENDOR. GC TO INSTALL FOOTING
- 12 NEW 4" THICK CONCRETE WALK. MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 2%.
- 13 NEW CONCRETE DRIVE - SEE CIVIL DRAWINGS
- 14 GRADE BREAK LINE - SEE CIVIL DRAWINGS
- 15 NEW 6" CONCRETE CURB (TYPICAL)
- 16 NEW WAIT/GO SIGN.
- 17 NEW TRASH ENCLOSURE
- 18 NEW VACUUM EQUIPMENT ENCLOSURE
- 19 NEW LANDSCAPING - SEE LANDSCAPE DRAWINGS
- 20 NEW BICYCLE RACK
- 21 NEW 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE (TYPICAL 2 PLACES)
- 22 NEW UNDERGROUND GREASE INTERCEPTOR - SEE CIVIL DRAWINGS
- 23 NEW TRASH RECEPTACLES (TYPICAL 15 PLACES)
- 24 NEW PAY CANOPY.
- 25 NEW VACUUM CANOPY.
- 26 NEW MENU BOARD.
- 27 EXISTING DRIVEWAY
- 28 NEW MONUMENT SIGN - CONTRACTOR TO COORDINATE INSTALLATION OF MONUMENT SIGN FOOTING PRIOR TO LANDSCAPE WORK. MONUMENT SIGN AND BUILDING SIGNS UNDER A SEPARATE PERMIT
- 29 24" ROLLED CONCRETE CURB
- 30 EXISTING PUBLIC CONCRETE CURB, AND GUTTER TO REMAIN.
- 31 NEW DRIVE AISLE. REFER TO CIVIL DRAWINGS
- 32 NEW POND GATE
- 33 ELECTRICAL SWITCH GEAR
- 34 NEW DIRECTIONAL ARROW
- 35 NEW PEDESTRIAN STRIPING
- 36 NEW "DO NOT ENTER" PAVEMENT MARKING
- 37 NEW VACUUM PARKING STRIPING
- 38 NEW PARKING STRIPING PER CITY STANDARDS (TYP)
- 39 NEW DRIVEWAY LANE STRIPING
- 40 NEW 6' HIGH CMU SCREEN WALL
- 41 NEW MOTORCYCLE PARKING
- 42 NEW SPEED BUMPS
- 43 NEW TEAM MEMBER PARKING
- 44 NEW VACUUM STALL

ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



6020 WEST OAKS BLVD, SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
NE CORNER OF WORLD
TRADE DR. AND
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REVISIONS		
#	DATE	DESCRIPTION



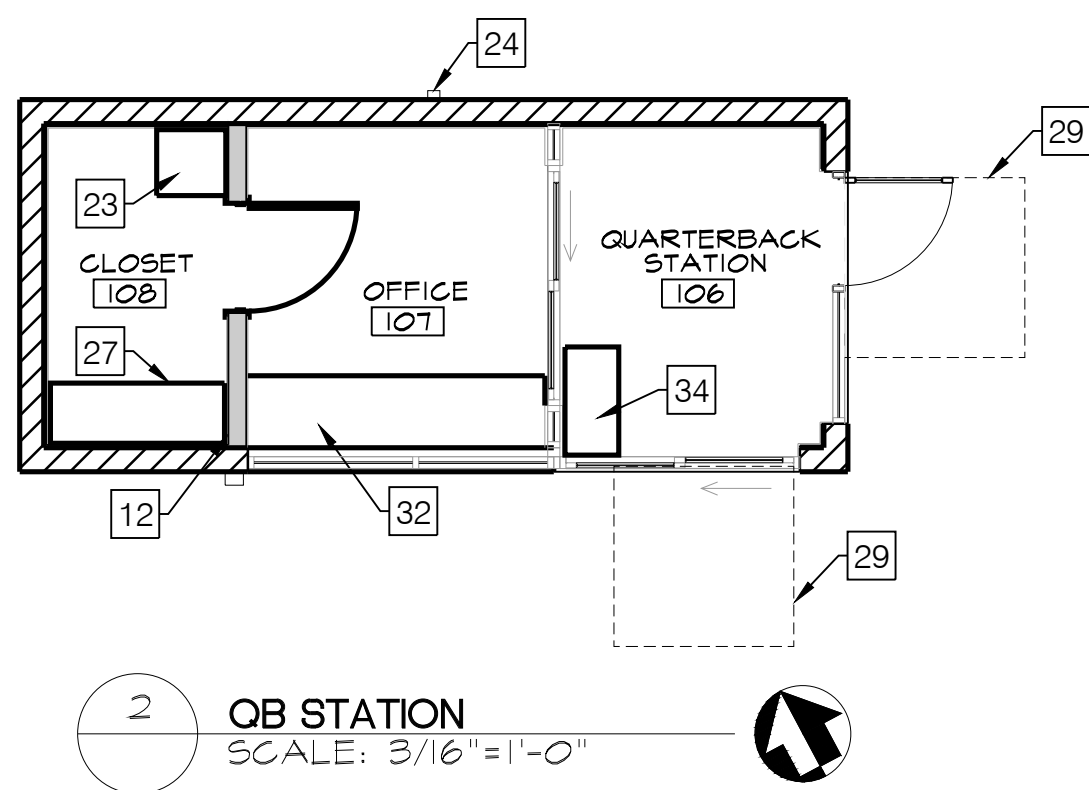
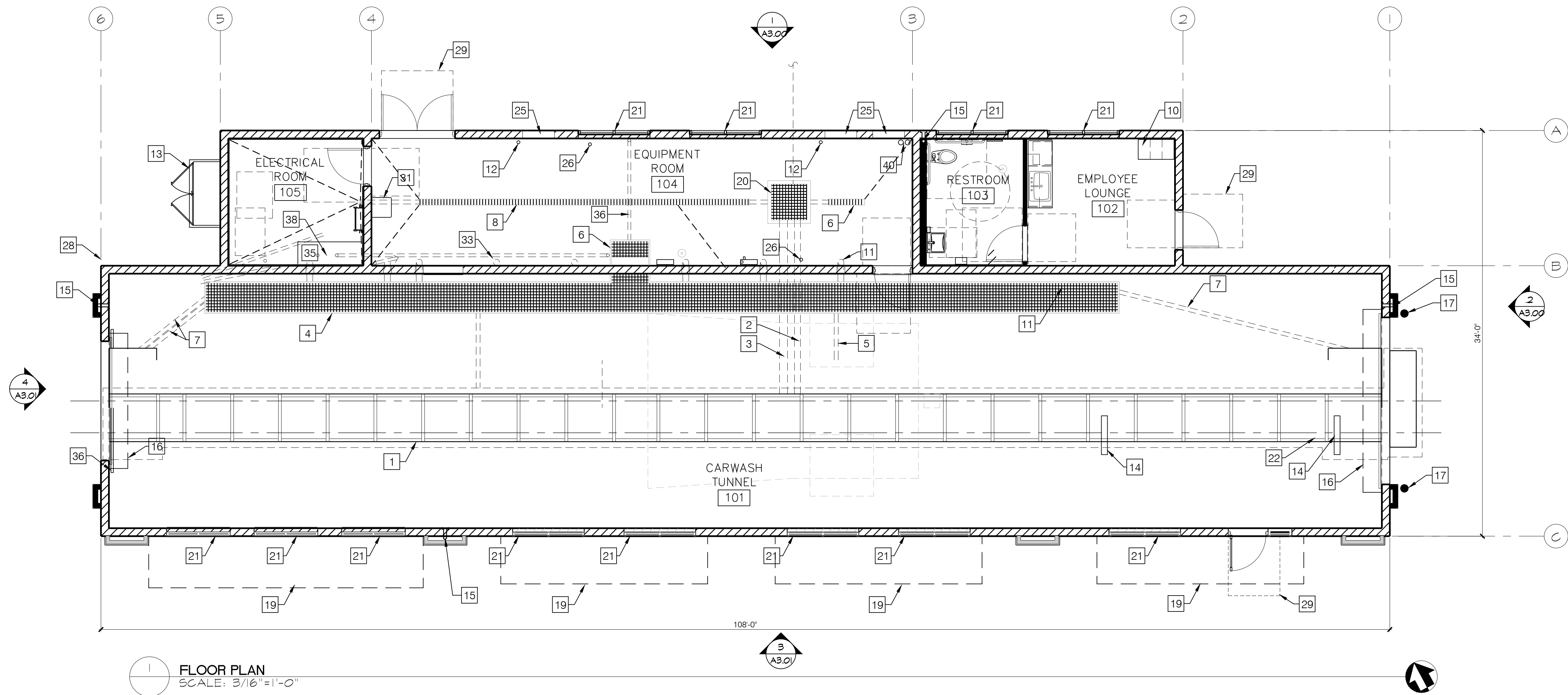
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FLOOR PLAN

DATE: JANUARY, 2024
TAIT JOB #: QQ0034

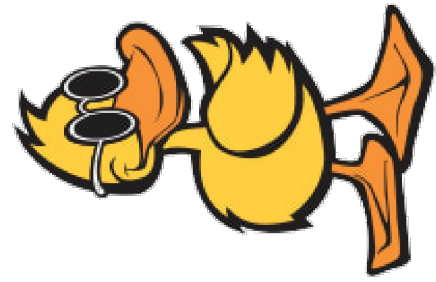
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KEY NOTES

- 1 CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN.
- 2 8" CONVEYOR TRENCH DRAIN PIPE.
- 3 6" CONVEYOR TRENCH OVERFLOW.
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH
- 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH. (TYPICAL 6 PLACES)
- 8 TRENCH DRAIN. PROVIDE 2 AT THE EXIT - EXTEND PAST WALL 1'-0" BEYOND OPENING
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) CONTRACTOR SUPPLIED AND INSTALLED
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES)
- 12 ROOF DRAIN LEADER (TYPICAL 3 PLACES)
- 13 ELECTRICAL SERVICE SWITCHGEAR
- 14 CUT RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL 2 PLACES) GO TO CONFIRM LOCATION
- 15 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS. (TYPICAL 4 PLACES)
- 16 COILING ROLL-UP DOOR. (TYPICAL 2 PLACES)
- 17 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES)
- 18 NOT USED
- 19 WALL MOUNTED CANOPY ABOVE. (TYPICAL 4 PLACES)
- 20 3'-0" X 3'-0" RECLAIM CLEAN-OUT
- 21 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
- 22 1/2" CONDUIT TO TIRE SWITCH TERMINATE AT END OF RECESS. CONDUIT TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 23 WALL MOUNTED IT CABINET
- 24 KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- 25 24" WIDE X 16" HIGH AIR VENT - SEE EXTERIOR ELEVATIONS (TYP. 3 PLACES)
- 26 4" DRAIN PIPE STUBBED UP 12" AFF. (TYPICAL 2 PLACES)
- 27 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 84" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE.
- 28 3" CHASE (NEXT TO CONTROL PANEL TO UTILITY TRENCH)
- 29 LEVEL LANDING PER CBC 11B-404.2.4 AND TABLE 11B404.2.4.1 (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING
- 30 NOT USED
- 31 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION
- 32 34" MAXIMUM A.F.F. COUNTER TOP.
- 33 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM (TYPICAL 6 PLACES) VERIFY WITH OWNER FOR EXACT LOCATIONS)
- 34 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET
- 35 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PANEL
- 36 3/4" X 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES) EXTEND PAST EXIT OPENING 1'-0" MINIMUM
- 37 1" PVC CHASE TO BUG JUICE CONTROL PANEL. SWEEPS ONLY. NO 90 DEGREES.
- 38 2 - 3" CHASE AT CENTER OF MCC PANEL "HOUSE KEEPING PAD". RUN ONE CHASE TO EQUIPMENT TRENCH AND ONE NEXT TO ACCESS OPENING
- 39 3" CHASE FROM ACCESS OPENING TO FACE OF WALL
- 40 NEED CHASES TO EACH VACUUM ENCLOSURES. SWEEPS ONLY. GO TO INSTALL AND PULL 3/4" PEX LINE FROM EQUIPMENT ROOM TO ENCLOSURES WOUND UP TO 10' COIL ON EACH END



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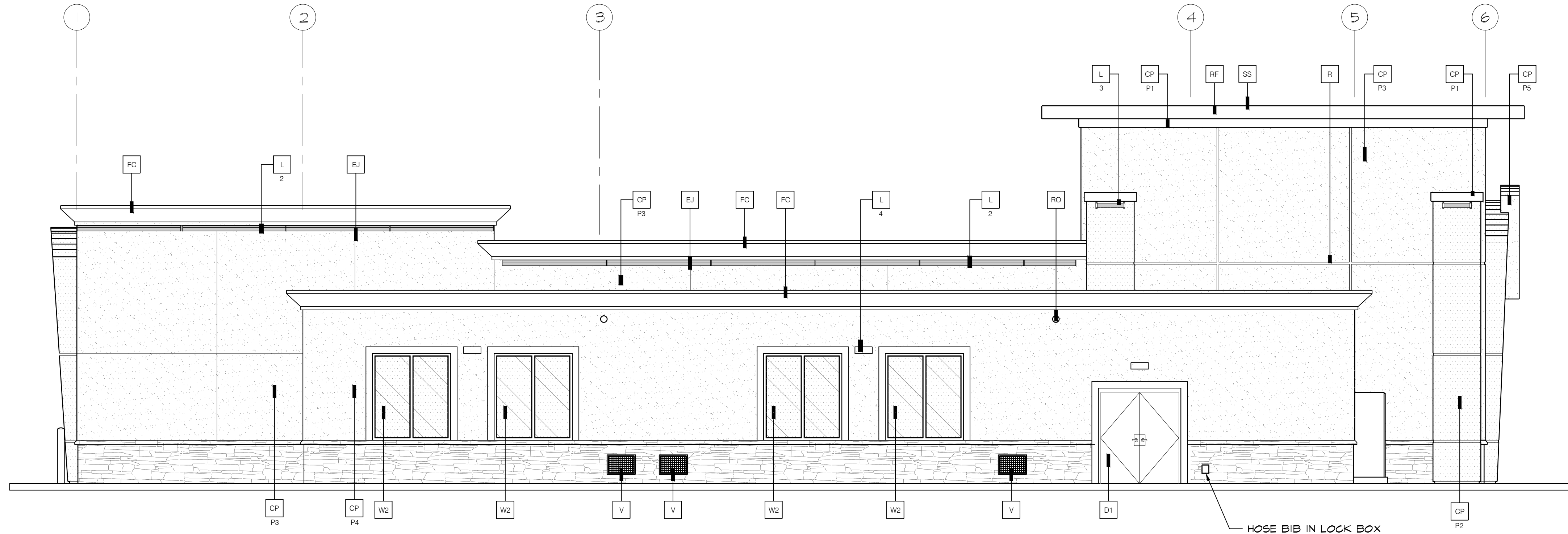
EXTERIOR ELEVATIONS

DATE: JANUARY, 2024
TAIT JOB #: QQ00034

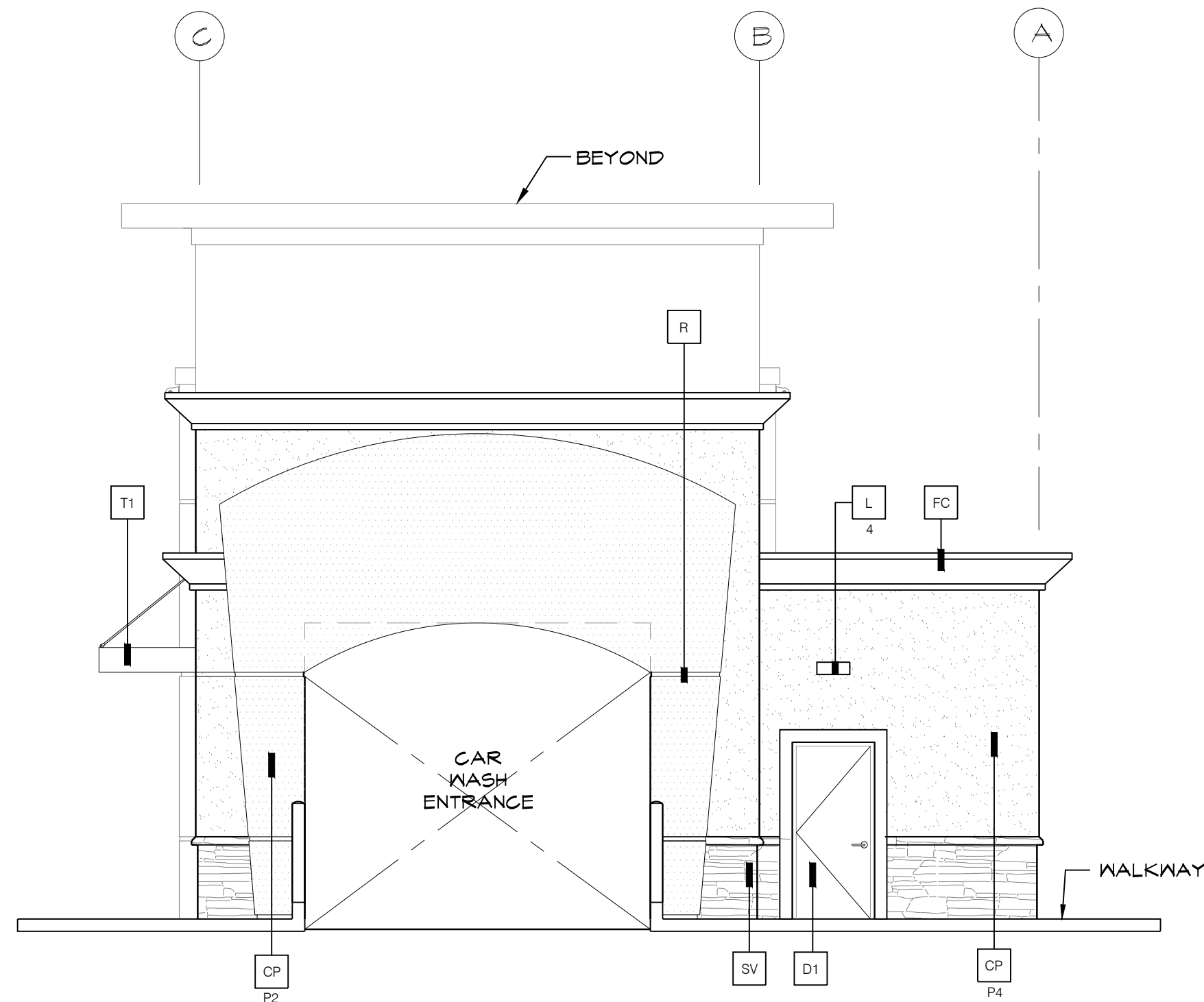
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1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 EAST ELEVATION
SCALE: 3/16"=1'-0"

KEY NOTES:

CM BASALITE #441 HONED 8X8X16 CONCRETE MASONRY UNITS - WALL CONSTRUCTION WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. GROUT TO MATCH CMU UNIT

CP ACRYLIC PLASTER COLOR COAT

COLOR DESIGNATION:

P1 = MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
P2 = MATCH SHERWIN WILLIAMS #6374 "TORCHLIGHT"
SAND FINISH, THREE COAT SYSTEM OVER METAL STUDS
P3 = MATCH SHERWIN WILLIAMS #6120 "BELIEVABLE BUFF"
P4 = MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
P5 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"

PLASTER COLOR COAT TO BE SAND FINISH

D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

DS COLLECTOR AND DOWNSPOUT, PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

EJ 1/4" DEEP REVEAL EXPANSION JOINT

FC FOAM CORNICE - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

L LIGHT FIXTURE

TYPE:

L1 = LED RADIAL WALL SCNGE (DOWN ONLY)
L2 = LINEAR FAGADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)

CONTACT STEVE FRIEDMAN 1.262.504.5479 WITH GREE LIGHTING FOR ORDERING LIGHTING

MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6374 "TORCHLIGHT"

R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL

RF METAL ROOF FASCIA - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

RO 3" DIA PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY

SS STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK AUBURN"

SV CORONADO QUICK STACK LEDGESTONE CARMEL MOUNTAIN WITH CHISELED STONE SILL BUFF WITH INTEGRAL STONE SILL

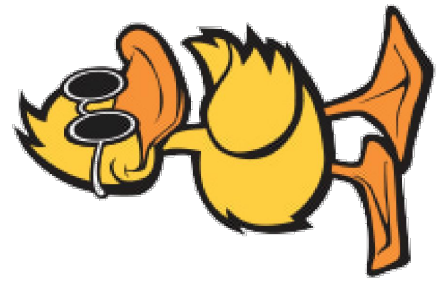
T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT



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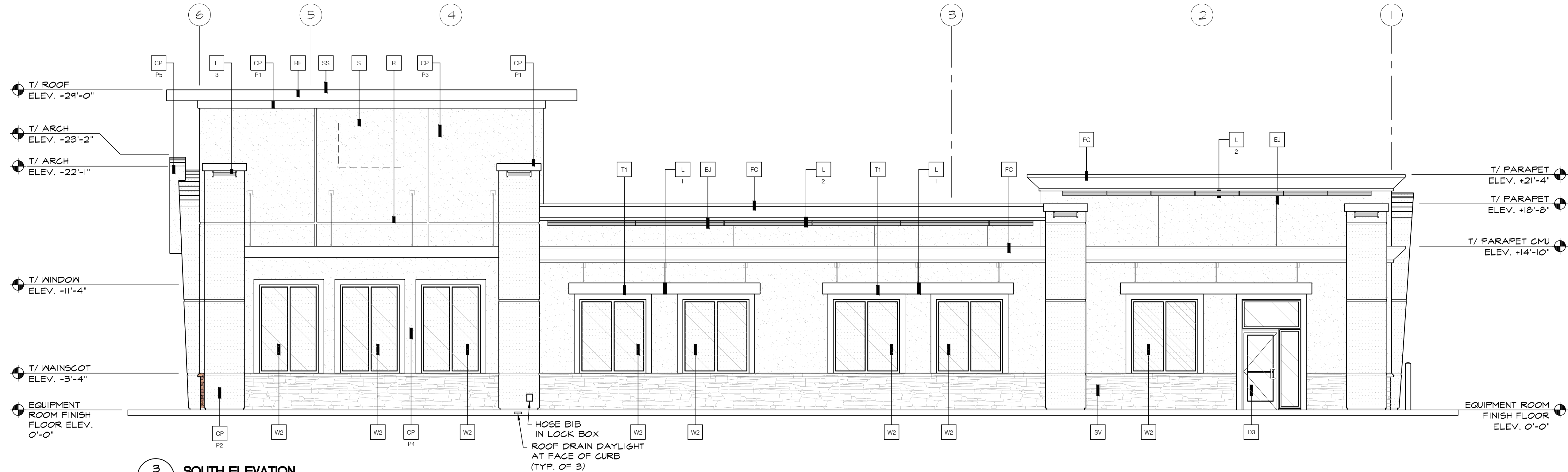
EXTERIOR ELEVATIONS

DATE: JANUARY, 2024
TAIT JOB #: QQ0034

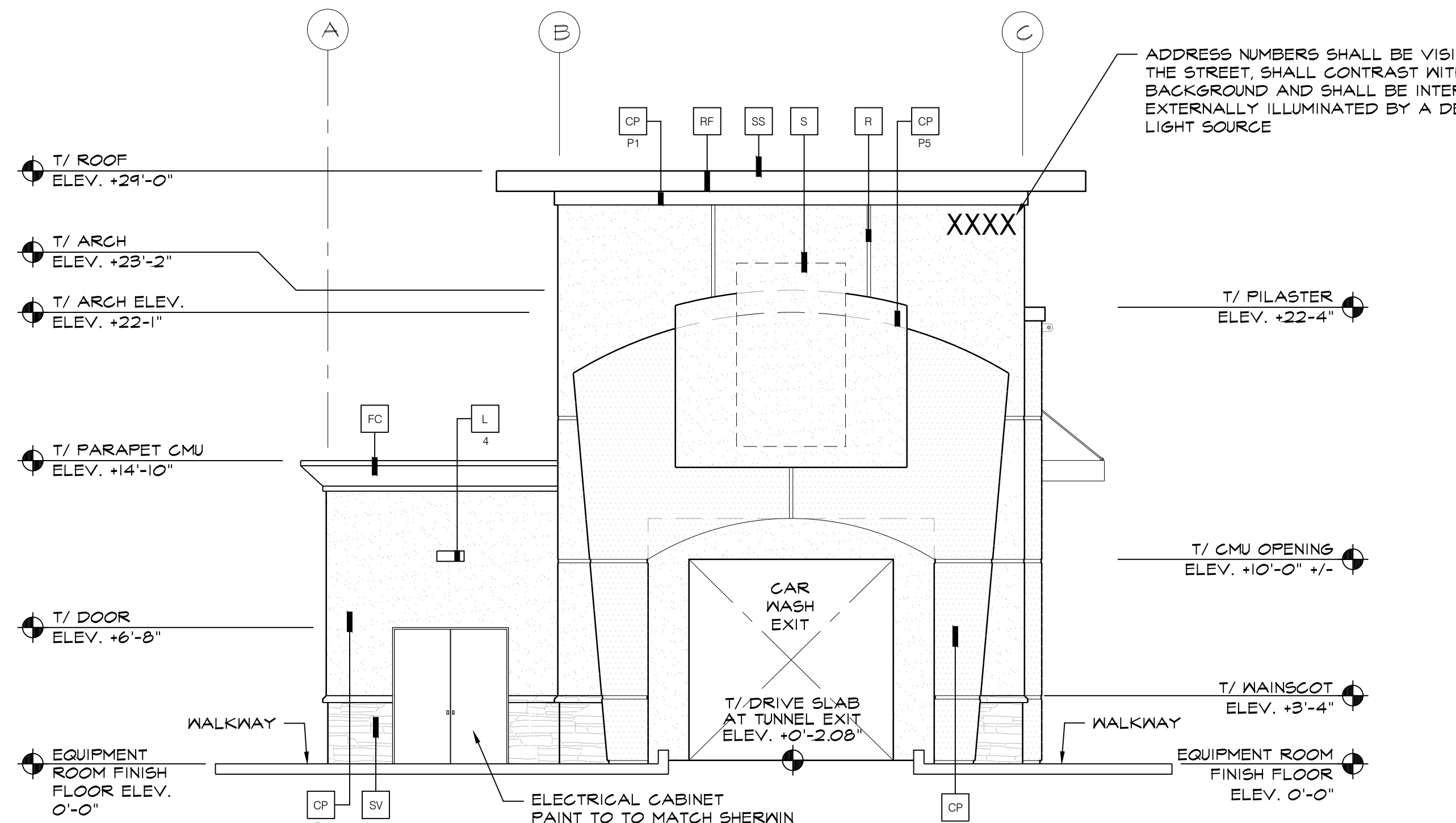
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3 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



4 WEST ELEVATION
SCALE: 3/16"=1'-0"

KEY NOTES:

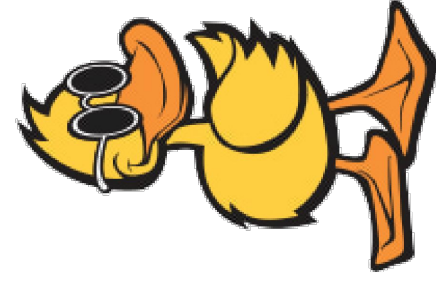
- CM BASALITE #441 HONED 8X8X16 CONCRETE MASONRY UNITS - WALL CONSTRUCTION WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. GROUT TO MATCH CMU UNIT
- CP ACRYLIC PLASTER COLOR COAT
- COLOR DESIGNATION:
- P1 = MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
P2 = MATCH SHERWIN WILLIAMS #6314 "TORCHLIGHT"
SAND FINISH, THREE COAT SYSTEM OVER METAL STUDS
P3 = MATCH SHERWIN WILLIAMS #6120 "BELIEVABLE BUFF"
P4 = MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
P5 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"
- PLASTER COLOR COAT TO BE SAND FINISH

- D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
- D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
- D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR
- D8 COLLECTOR AND DOWNSPOUT. PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
- EJ 1/4" DEEP REVEAL EXPANSION JOINT
- FC FOAM CORNICE - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

- L LIGHT FIXTURE
- TYPE:
- L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)
- CONTACT STEVE FRIEDMAN 1.262.504.5479 WITH CREE LIGHTING FOR ORDERING LIGHTING
- MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
- P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6314 "TORCHLIGHT"

- R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
- RF METAL ROOF FASCIA - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
- RO 3" DIA PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
- S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY
- SS STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK AUBURN"
- SV CORONADO QUICK STACK LEDGESTONE CARMEL MOUNTAIN WITH CHISELED STONE SILL BUFF WITH INTEGRAL STONE SILL

- T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
- T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
- V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
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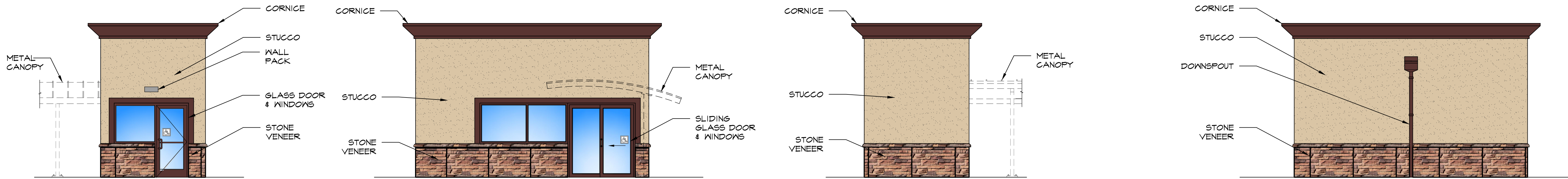
REMOTE QB ELEVATIONS

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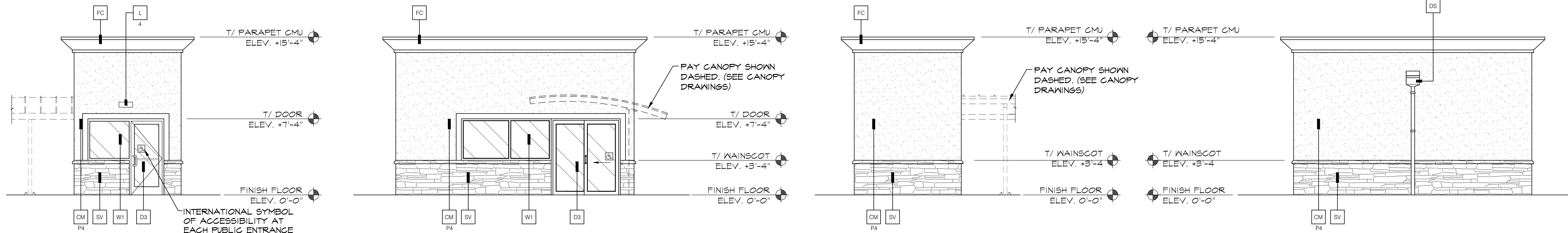


1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



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SCALE: 3/16" = 1'-0"

3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

FINISHES

SHERWIN WILLIAMS 6034 - "DARK AUBURN"	
SHERWIN WILLIAMS 6374 - "TORCHLIGHT"	
SHERWIN WILLIAMS 6120 - "BELIEVABLE BUFF"	
SHERWIN WILLIAMS 6122 - "CAMELBACK"	
SHERWIN WILLIAMS 1004 - "SNOWBOUND"	
DARK GRAY	
FINISH STUCCO	
STONE VENEER - CORONADO STONE W/ SILL CAP	

KEY NOTES:

CM BASALITE #441 HONED 8X8X16 CONCRETE MASONRY UNITS - WALL CONSTRUCTION WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. GROUT TO MATCH CMU UNIT

CP ACRYLIC PLASTER COLOR COAT

P COLOR DESIGNATION:

P1 = MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"
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SAND FINISH, THREE COAT SYSTEM OVER METAL STUDS
P3 = MATCH SHERWIN WILLIAMS #6120 "BELIEVABLE BUFF"
P4 = MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
P5 = MATCH SHERWIN WILLIAMS #1004 "SNOWBOUND"

PLASTER COLOR COAT TO BE SAND FINISH

D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

D5 COLLECTOR AND DOWNSPOUT. PAINT TO TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

EJ 1/4" DEEP REVEAL EXPANSION JOINT

FC FOAM CORNICE - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

L LIGHT FIXTURE

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P 6" PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHERWIN WILLIAMS #6374 "TORCHLIGHT"

R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL

RF METAL ROOF FASCIA - PAINT TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

RO 3" DIA PVC ROOF OVERFLOW SCUPPER - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

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SS STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK AUBURN"

SV CORONADO QUICK STACK LEDGESTONE CARMEL MOUNTAIN WITH CHISELED STONE SILL BUFF WITH INTEGRAL STONE SILL

T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS #6034 "DARK AUBURN"

V 24" WIDE X 16" HIGH VENT - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT



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1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 EAST ELEVATION
SCALE: 3/16"=1'-0"

FINISHES	
SHERWIN WILLIAMS 6034 - "DARK AUBURN"	
SHERWIN WILLIAMS 6374 - "TORCHLIGHT"	
SHERWIN WILLIAMS 6120 - "BELIEVABLE BUFF"	
SHERWIN WILLIAMS 6122 - "CAMELBACK"	
SHERWIN WILLIAMS 7004 - "SNOWBOUND"	
DARK GRAY	
FINISH STUCCO	
STONE VENEER - CORONADO STONE W/ SILL CAP	



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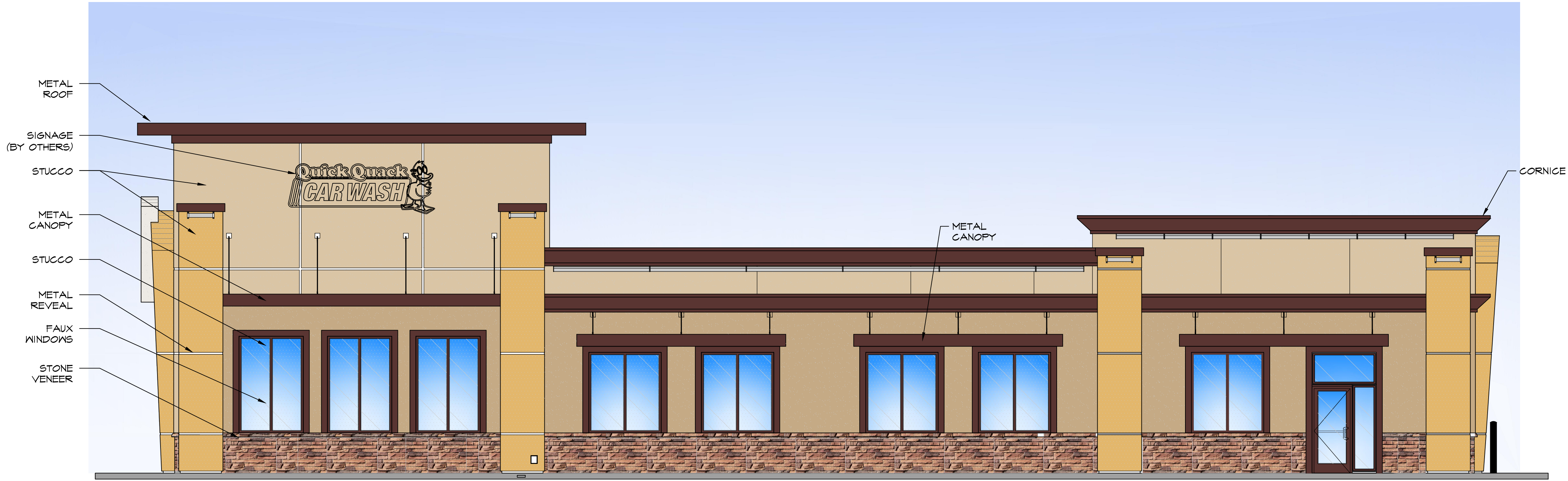


COLORED ELEVATIONS

DATE: JANUARY, 2024
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3 SOUTH ELEVATION
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4 WEST ELEVATION
SCALE: 3/16"=1'-0"

FINISHES	
SHERWIN WILLIAMS 6034 - "DARK AUBURN"	
SHERWIN WILLIAMS 6374 - "TORCHLIGHT"	
SHERWIN WILLIAMS 6120 - "BELIEVABLE BUFF"	
SHERWIN WILLIAMS 6122 - "CAMELBACK"	
SHERWIN WILLIAMS 7004 - "SNOWBOUND"	
DARK GRAY	
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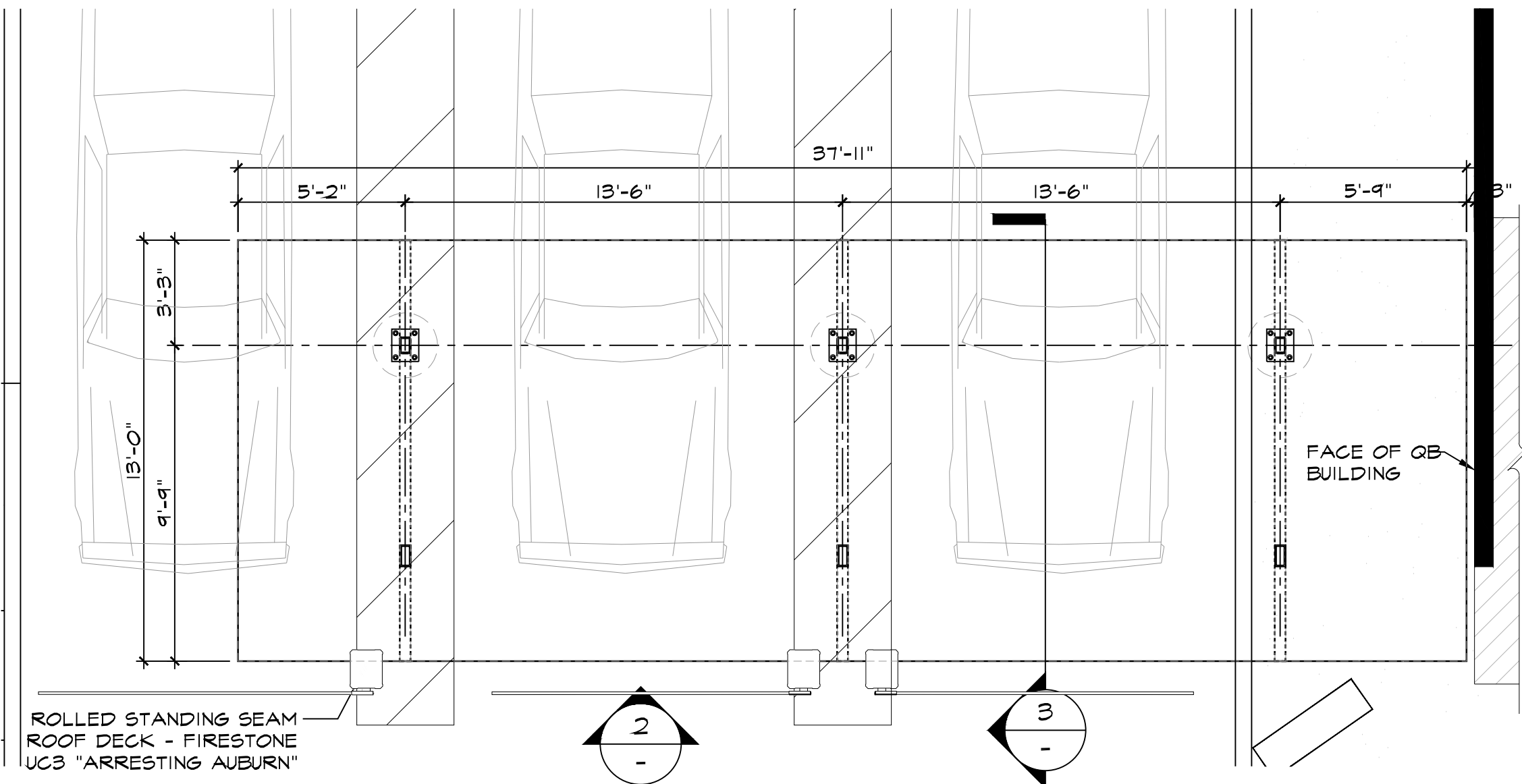
PAY CANOPY

DATE: JANUARY, 2024
TAIT JOB #: QQ0034

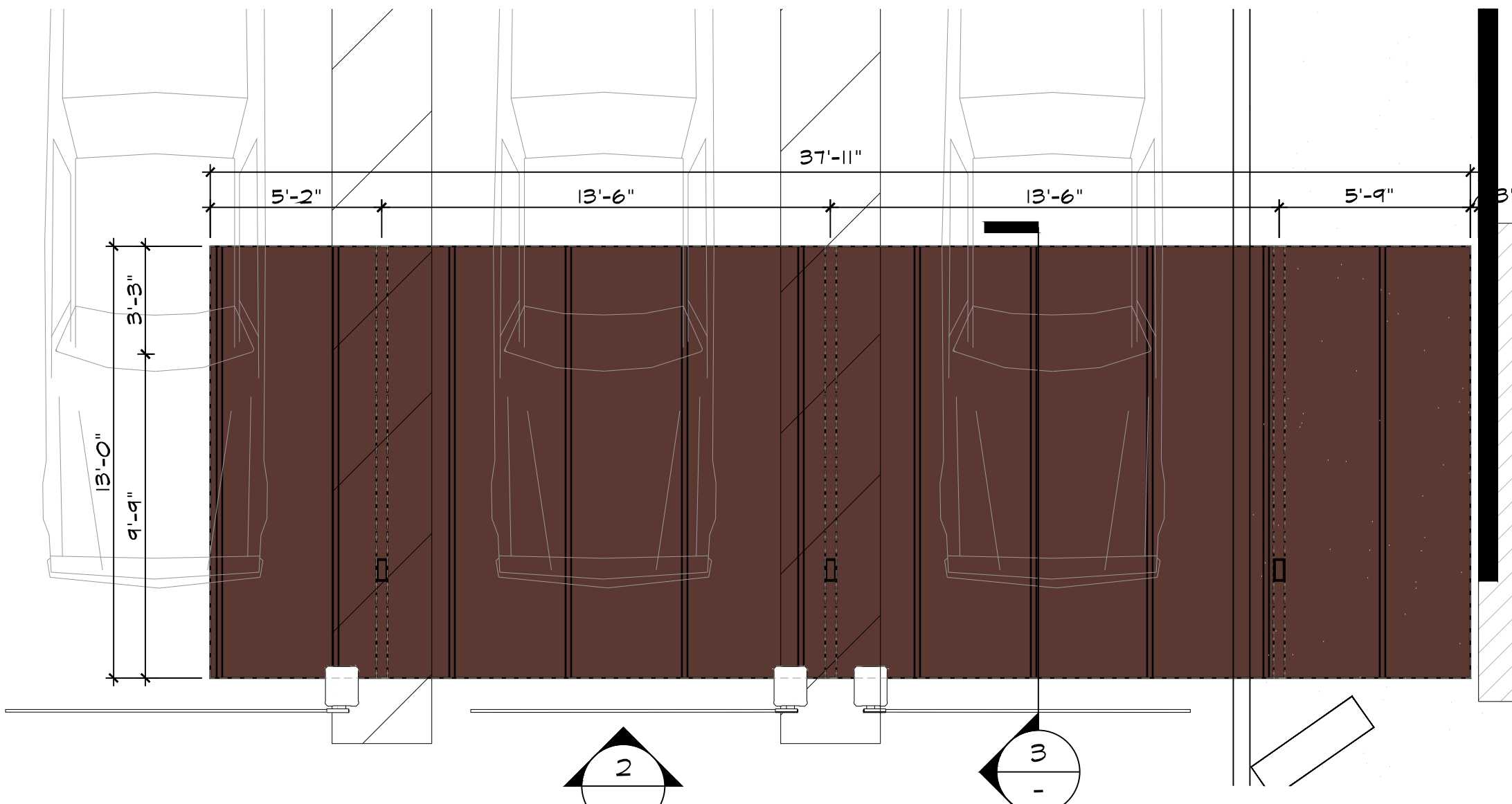
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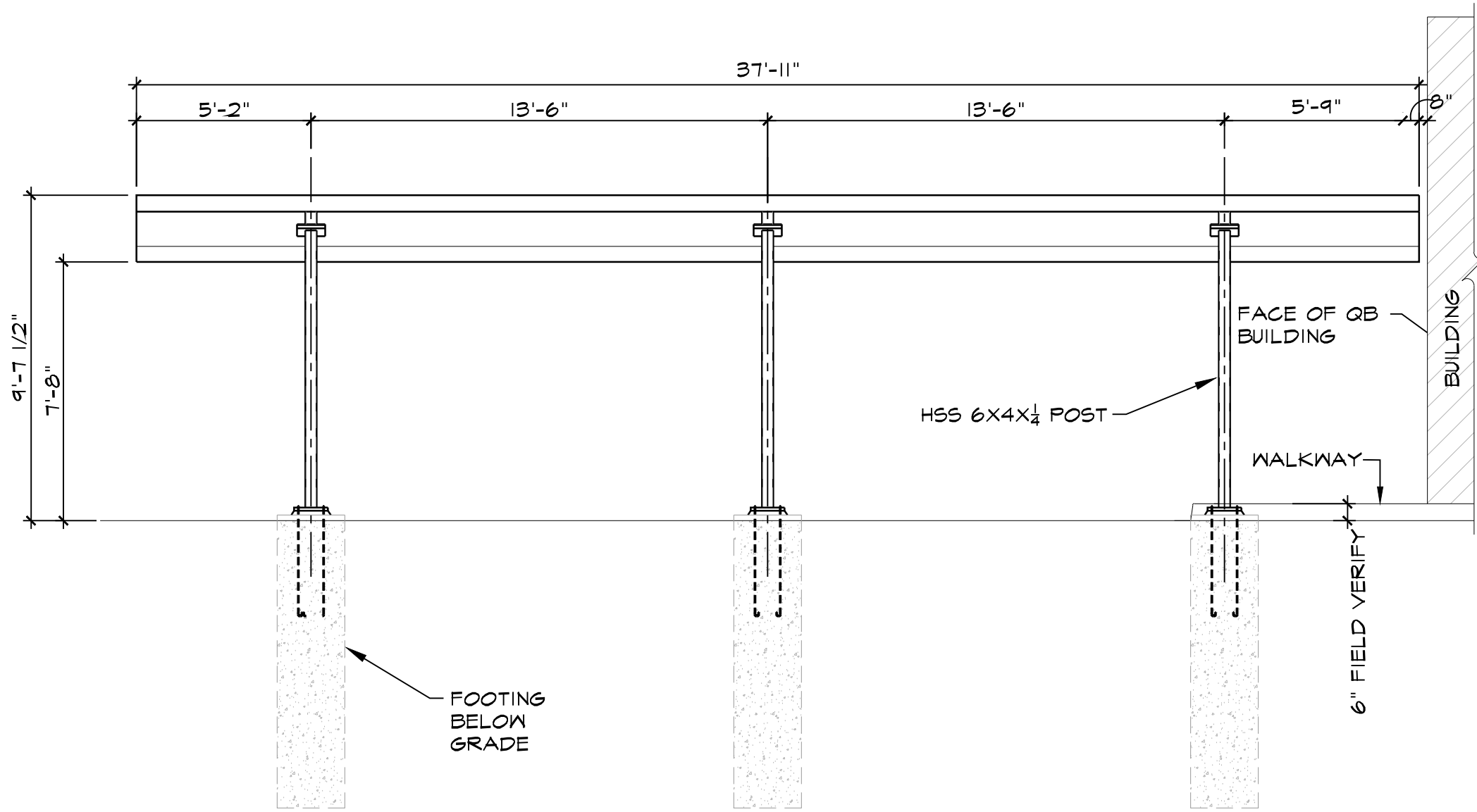
A5.00



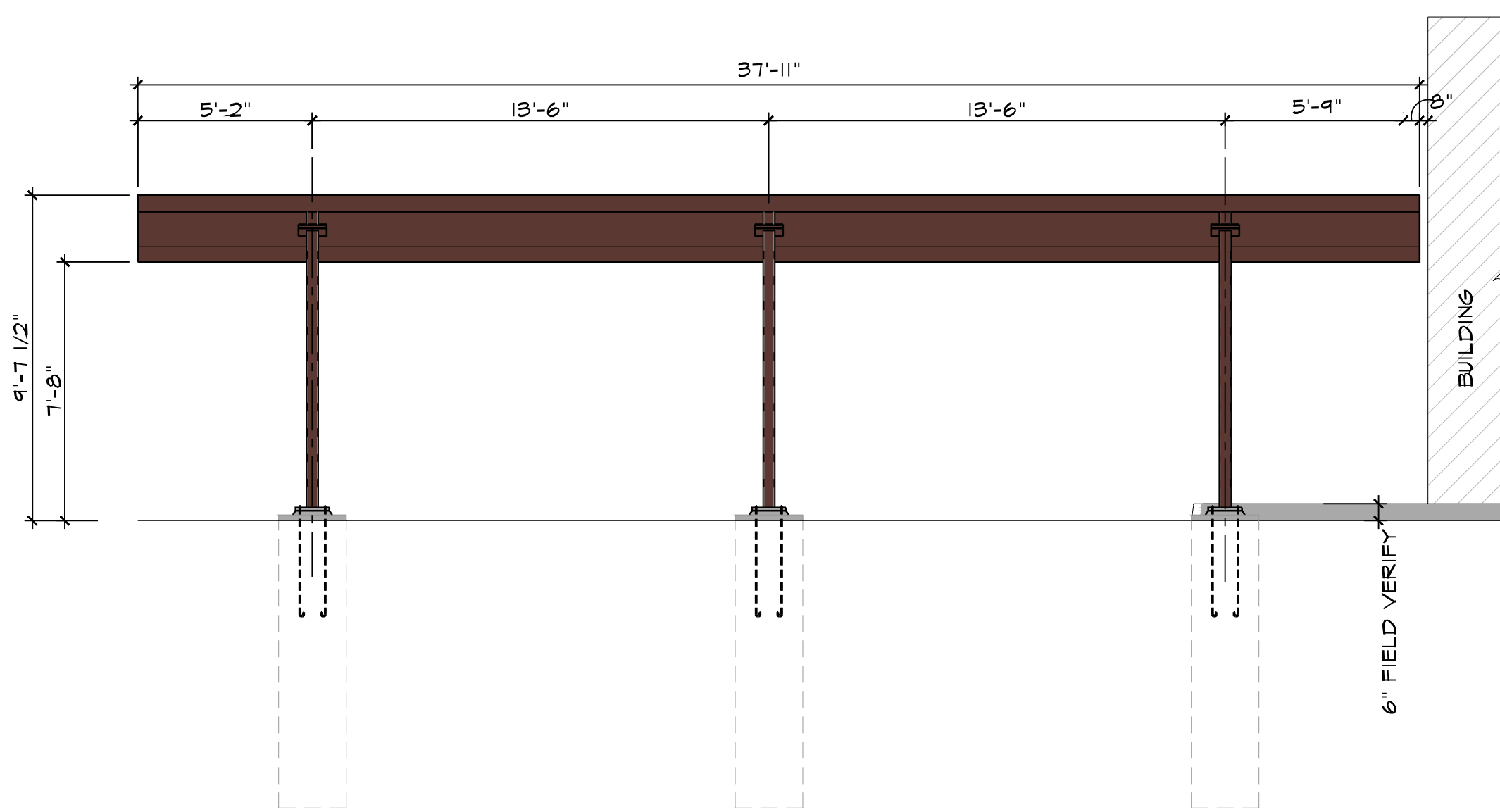
1 PAY STATION CANOPY PLAN
SCALE: 1/4" = 1'-0"



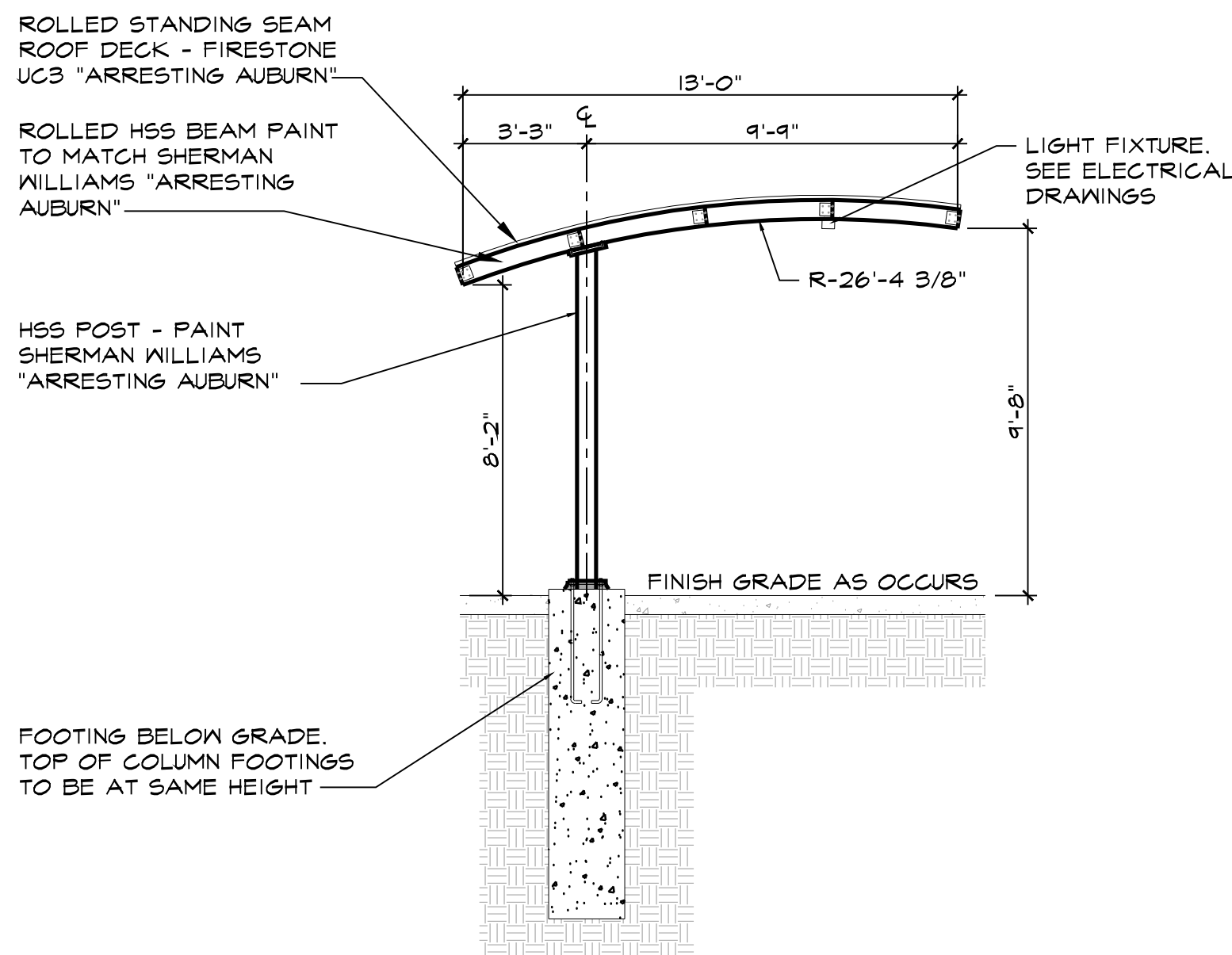
5 PAY STATION CANOPY COLOR PLAN VIEW
SCALE: 1/4" = 1'-0"



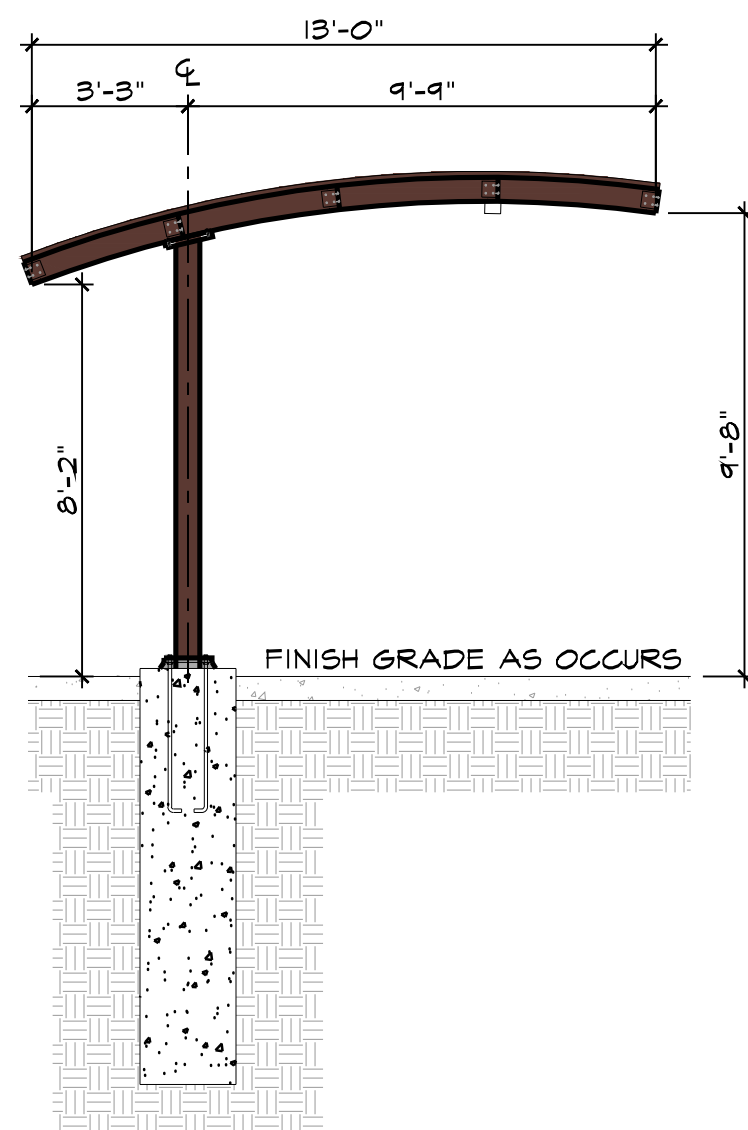
2 PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



6 PAY STATION CANOPY COLOR ELEVATION
SCALE: 1/4" = 1'-0"

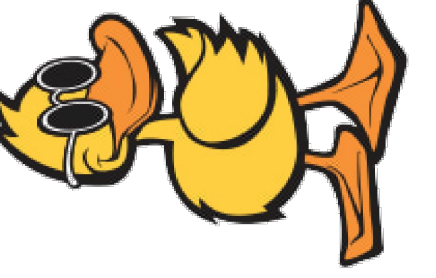


3 TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



4 PAYL CANOPY SIDE COLOR ELEVATION
SCALE: 1/4" = 1'-0"

FINISHES	
COLUMN - FIRESTONE UC3 "DARK AUBURN"	
ROOF DECK - FIRESTONE UC3 "DARK AUBURN"	



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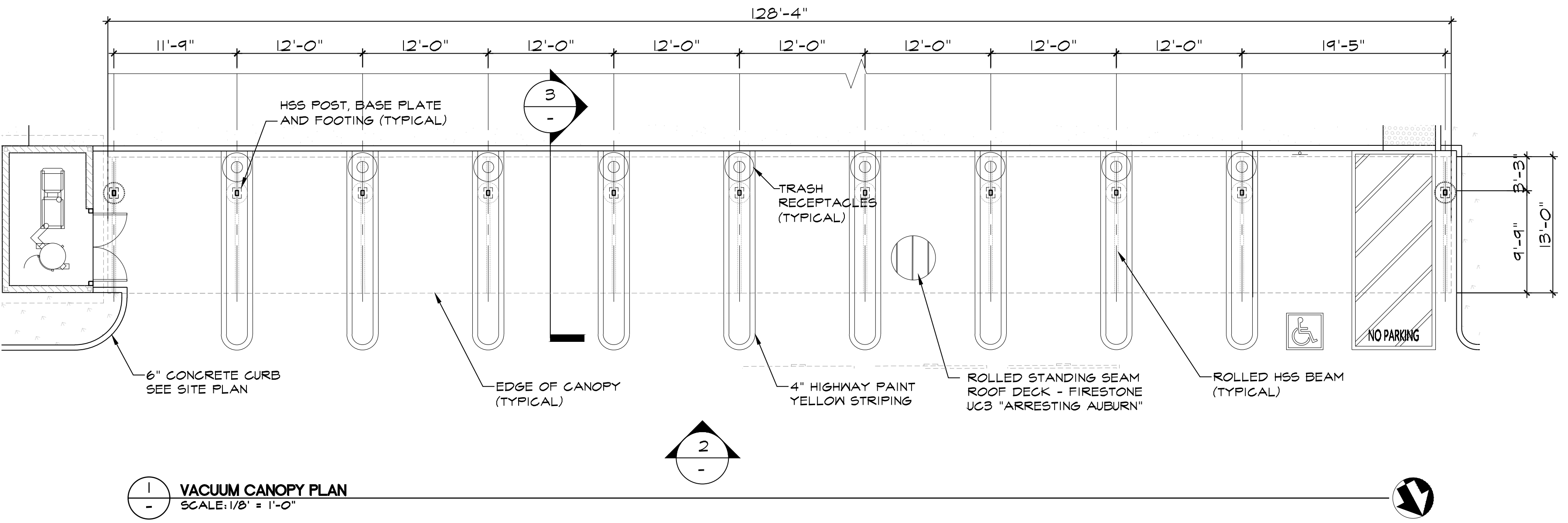
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DATE: JANUARY, 2024
TAIT JOB #: 000034

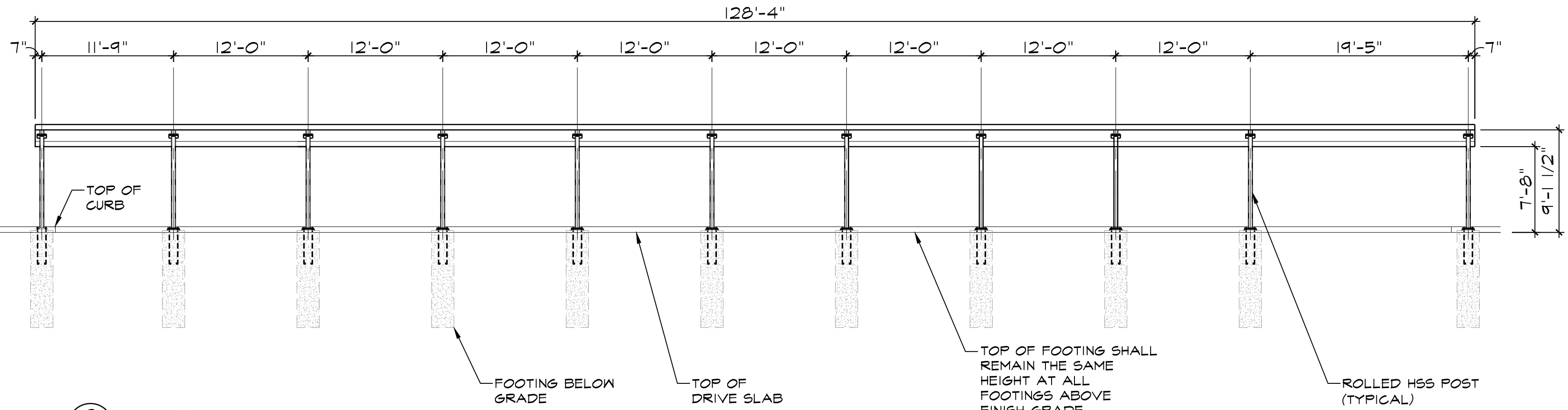
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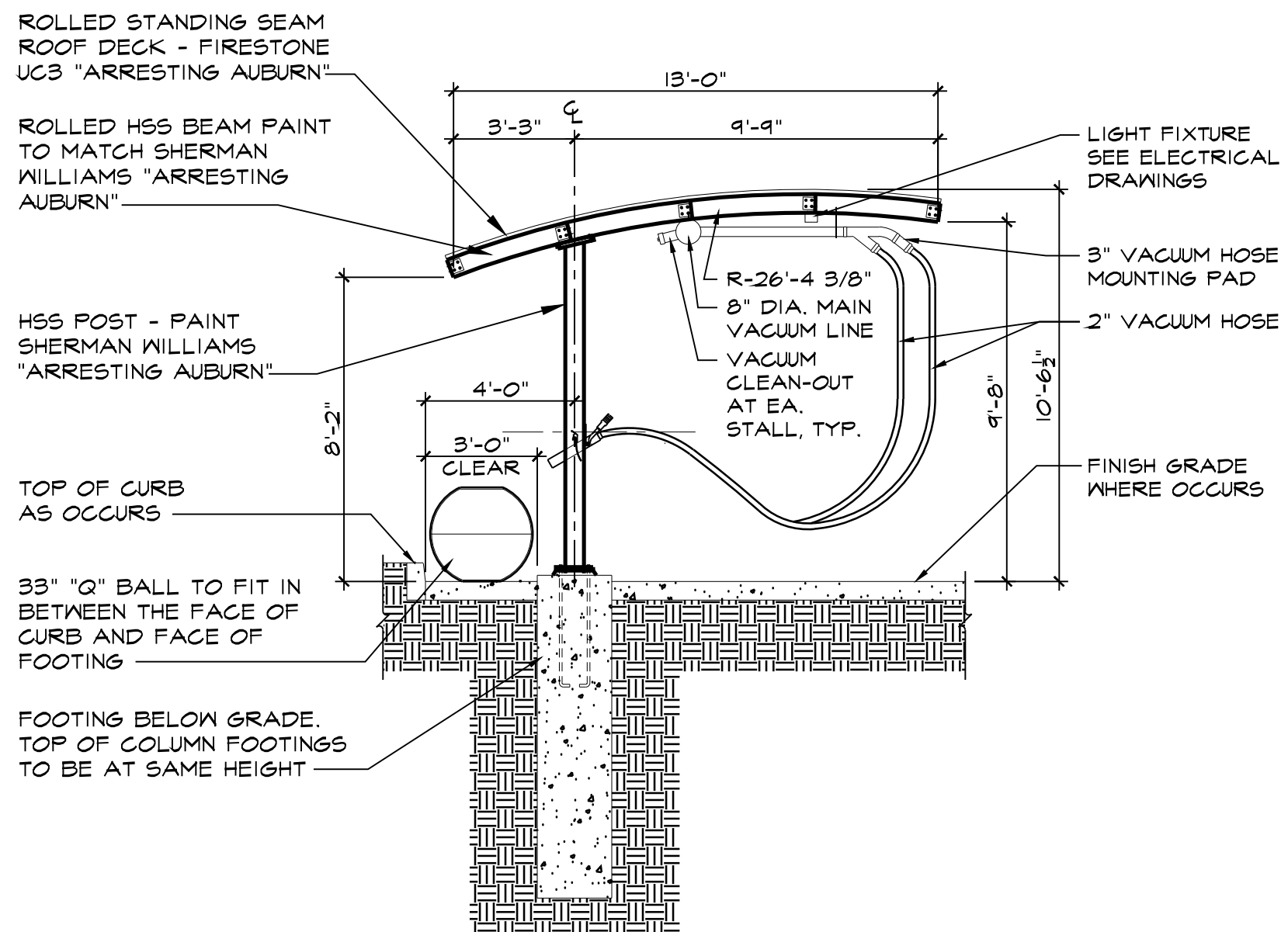
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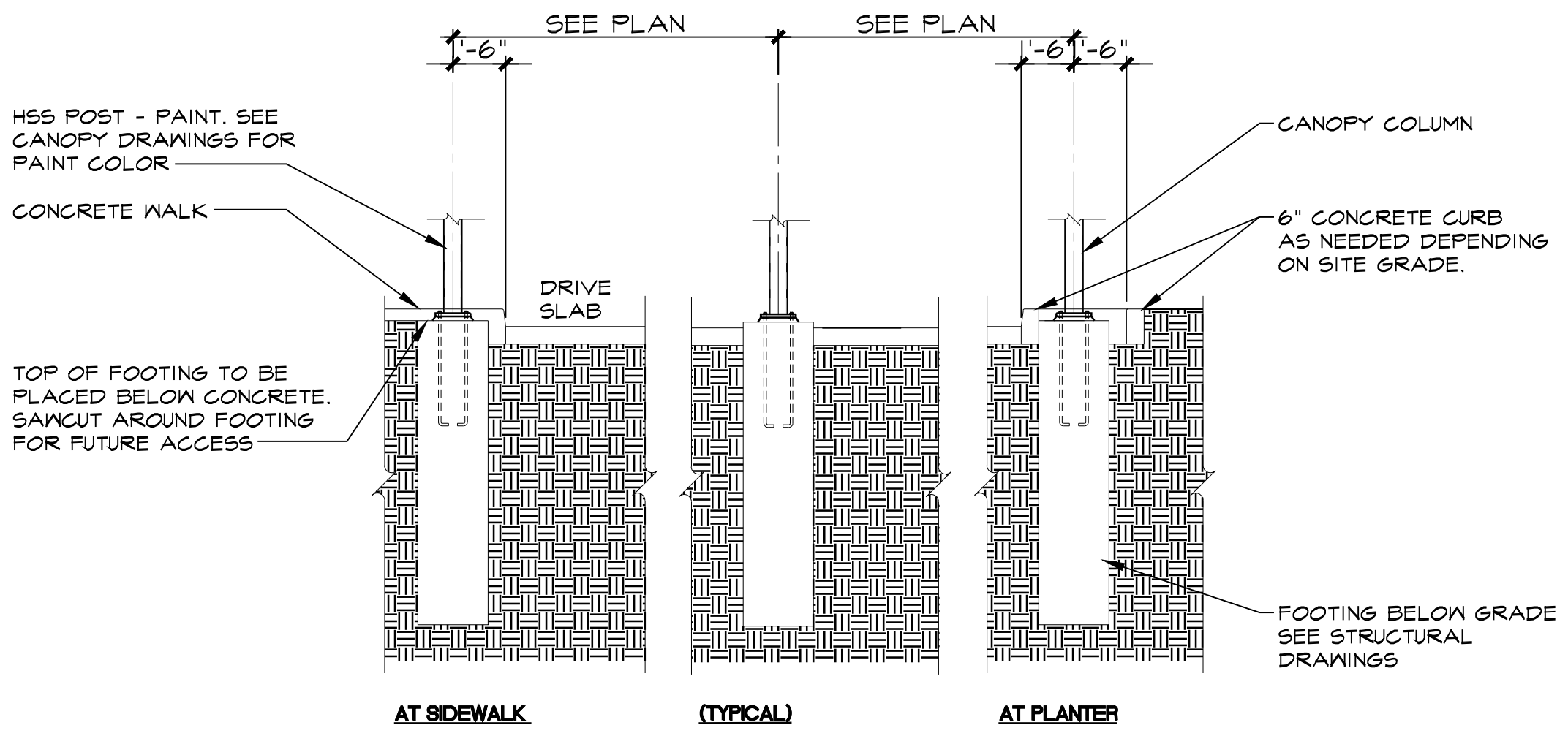
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VACUUM CANOPY PLAN
SCALE: 1/8" = 1'-0"



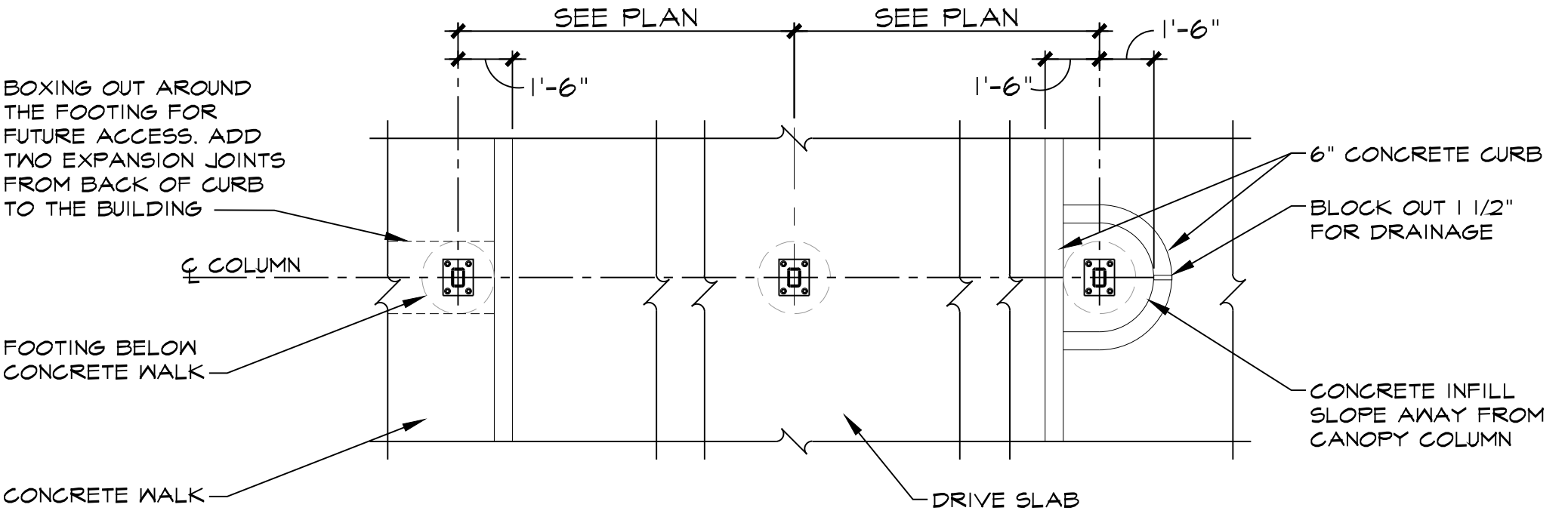
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VACUUM CANOPY ELEVATION
SCALE: 1/8" = 1'-0"



3
-
TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"

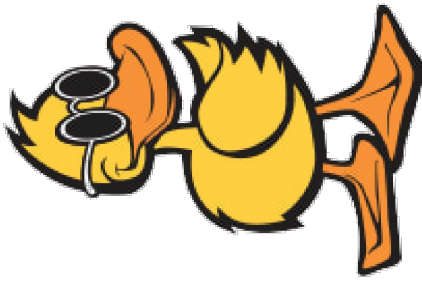


4
-
TYPICAL CANOPY CROSS SECTION
SCALE: 1/4" = 1'-0"



5
-
TYPICAL CANOPY CROSS SECTION PLAN VIEW
SCALE: 1/4" = 1'-0"

- CANOPY FOOTING NOTES:
- FOR EACH CANOPY (PAY OR VACUUM), THE TOP OF EACH FOOTING SHALL BE THE SAME ELEVATION.
 - THE ELEVATION OF EACH SET OF FOOTINGS WILL BE DETERMINED BY THE HIGHEST GRADE ADJACENT TO THE CONTROL FOOTING.
 - THE CONTROL FOOTING IS SET 2" ABOVE THE HIGHEST ADJACENT FINISHED CONCRETE PAVEMENT GRADE.



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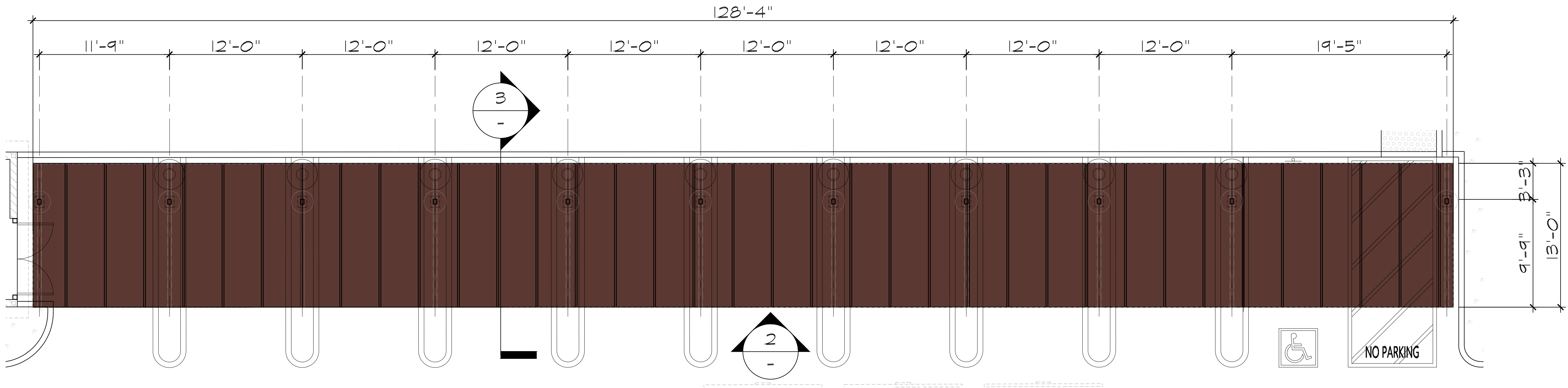
VACUUM CANOPY NO. 1
COLOR

DATE: JANUARY, 2024
TAIT JOB #: 000034

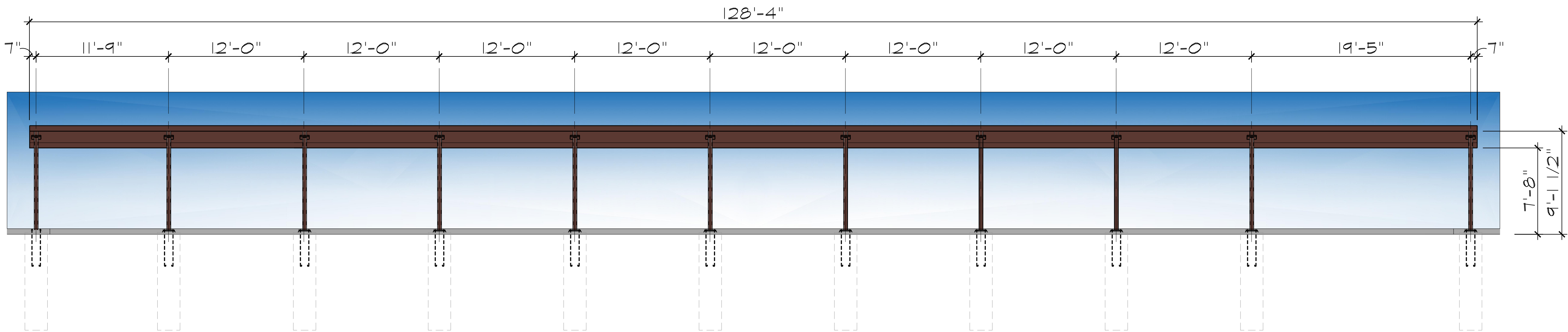
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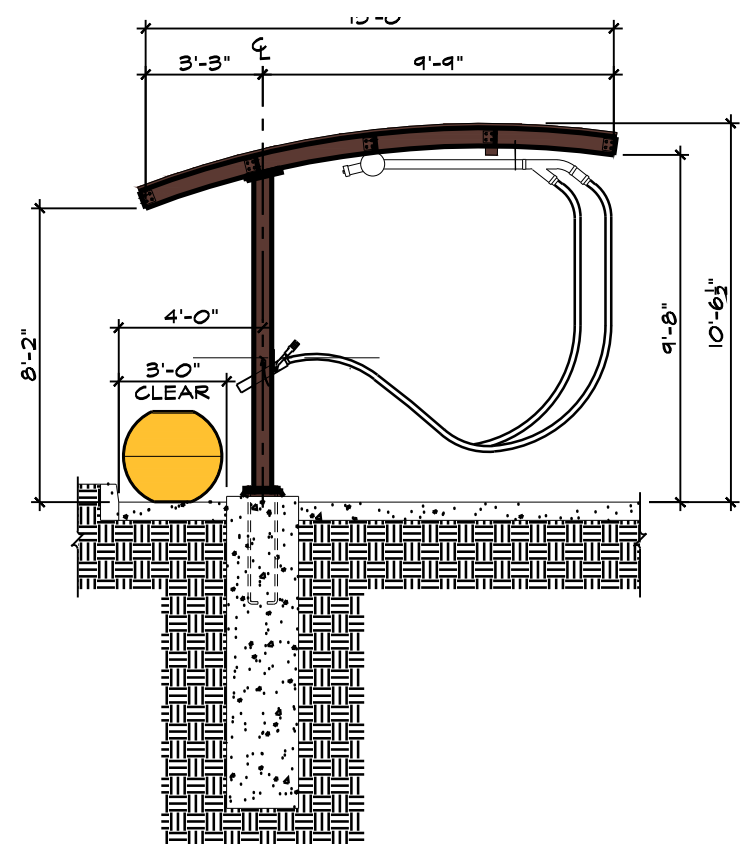
A5.02



1 VACUUM CANOPY COLOR PLAN
SCALE: 3/16"=1'-0"



2 VACUUM CANOPY COLOR ELEVATION
SCALE: 3/16"=1'-0"



3 TYPICAL VACUUM CANOPY SIDE ELEVATION
SCALE: 3/16"=1'-0"

FINISHES

COLUMN - FIRESTONE UC3 "DARK AUBURN"



ROOF DECK - FIRESTONE UC3 "DARK AUBURN"





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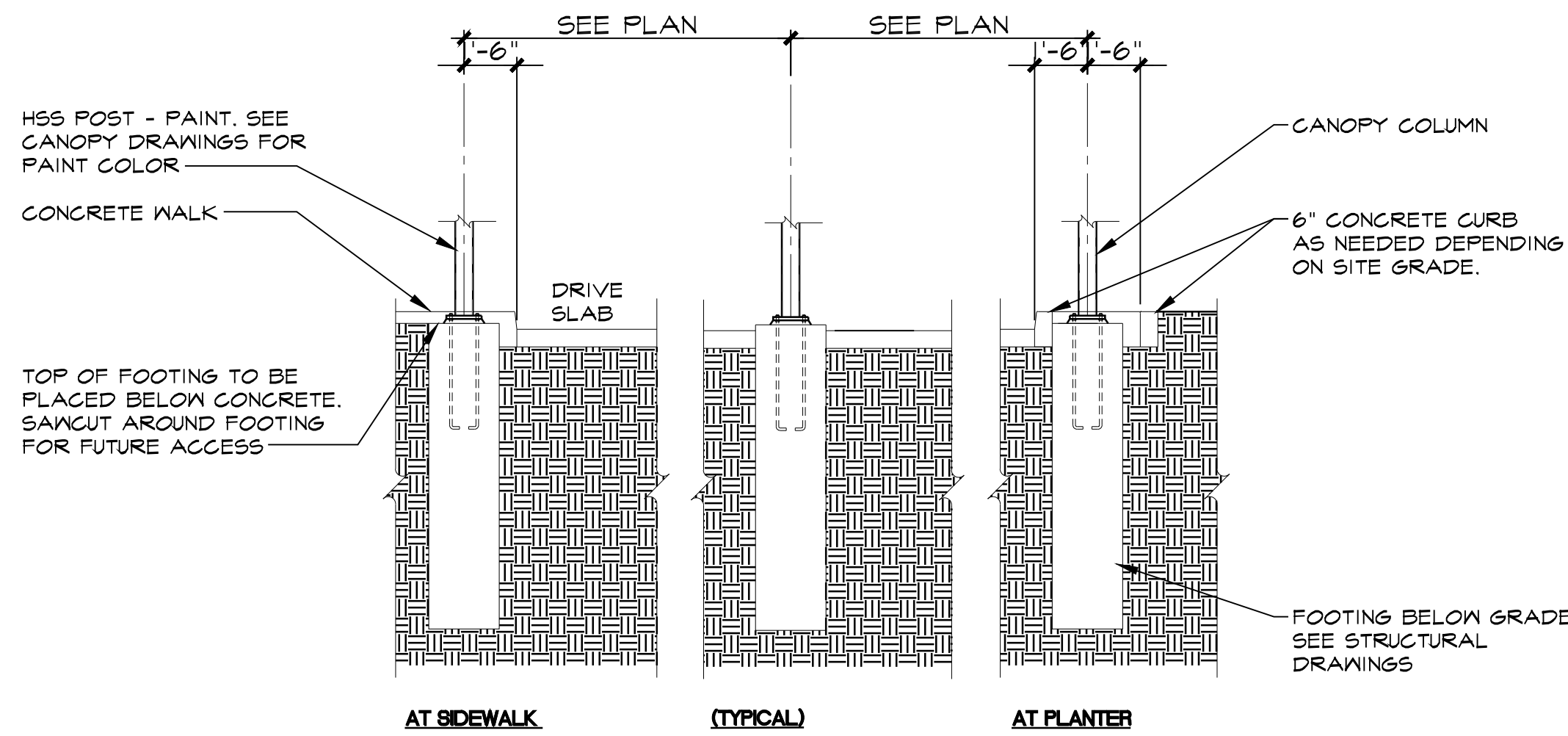
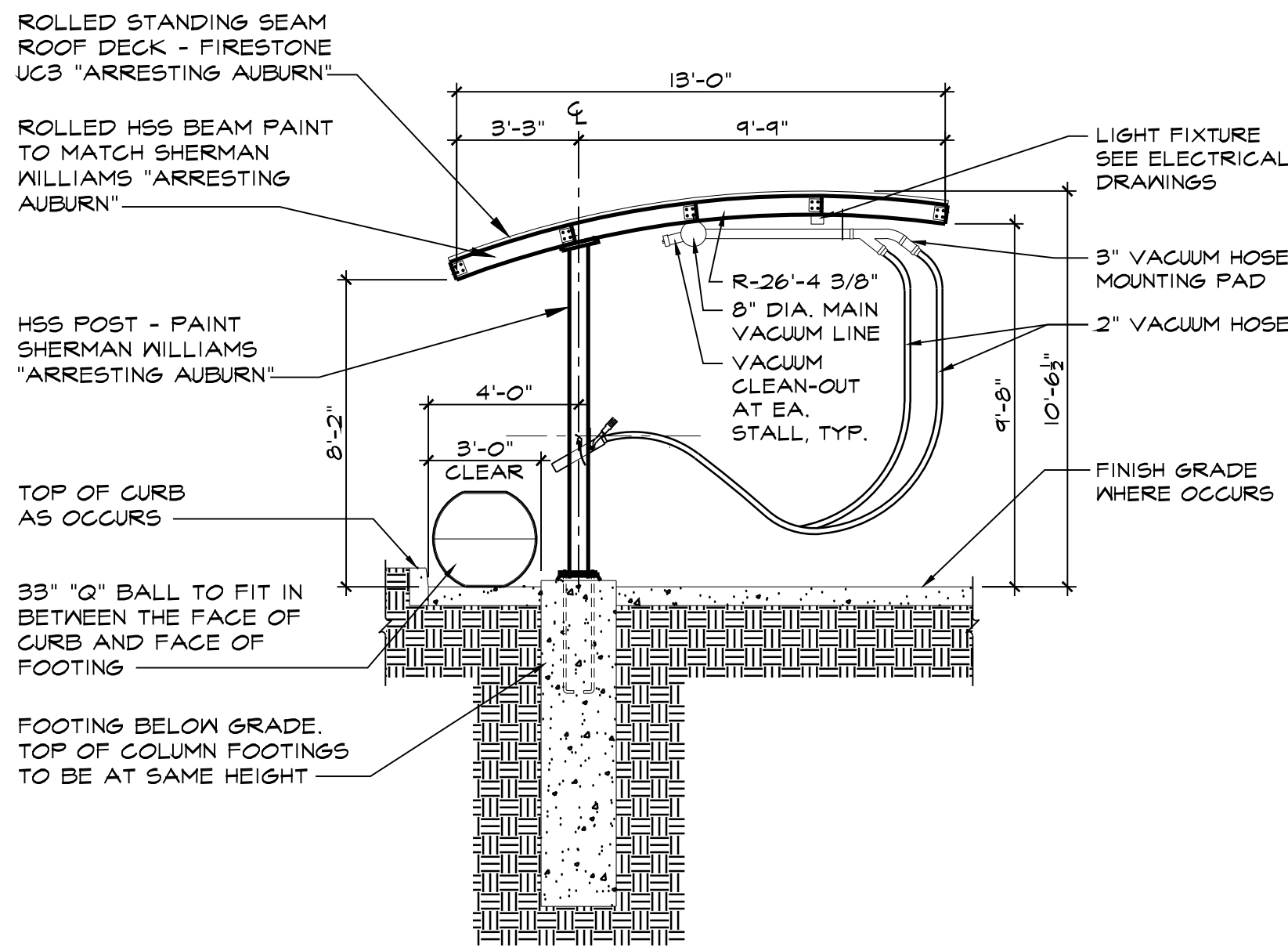
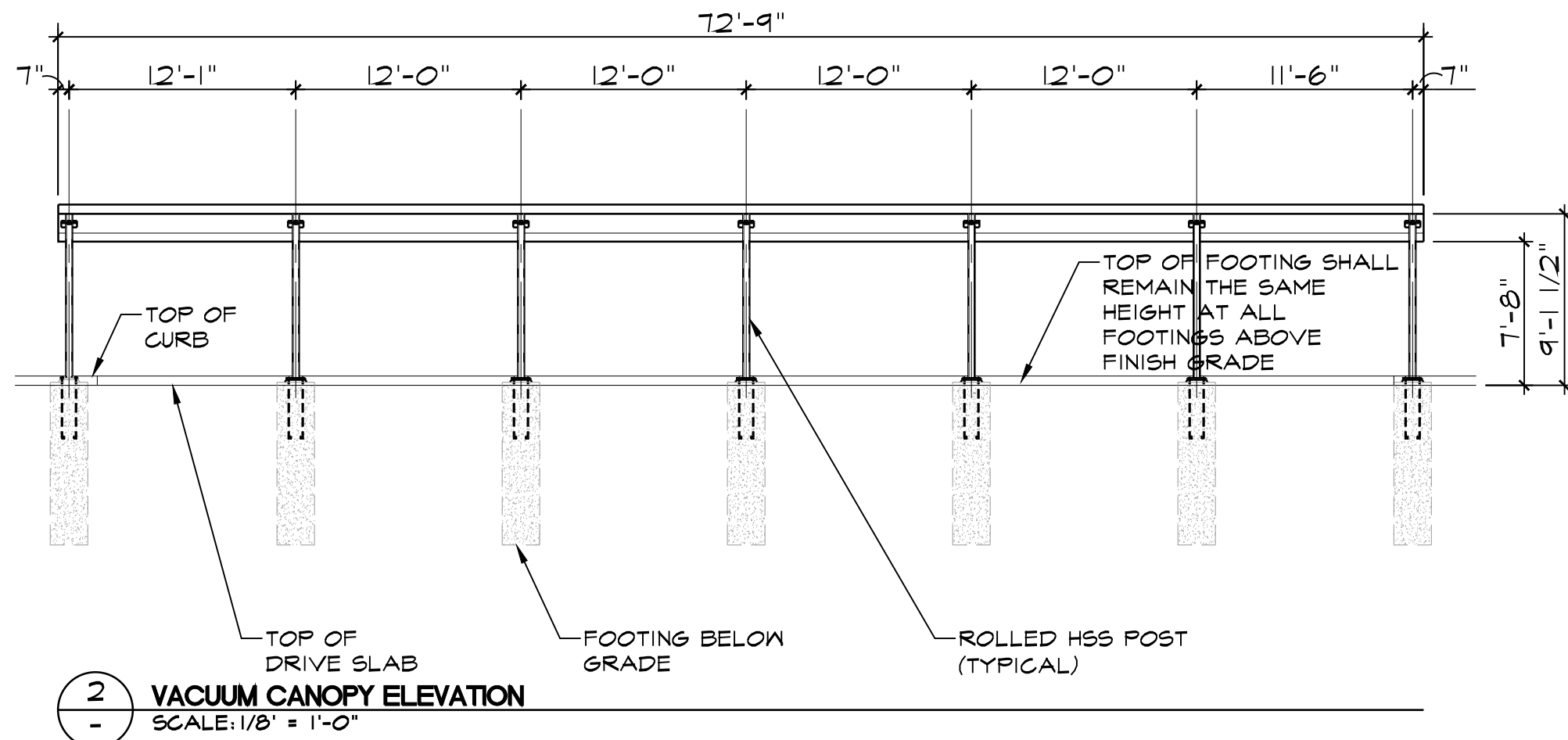
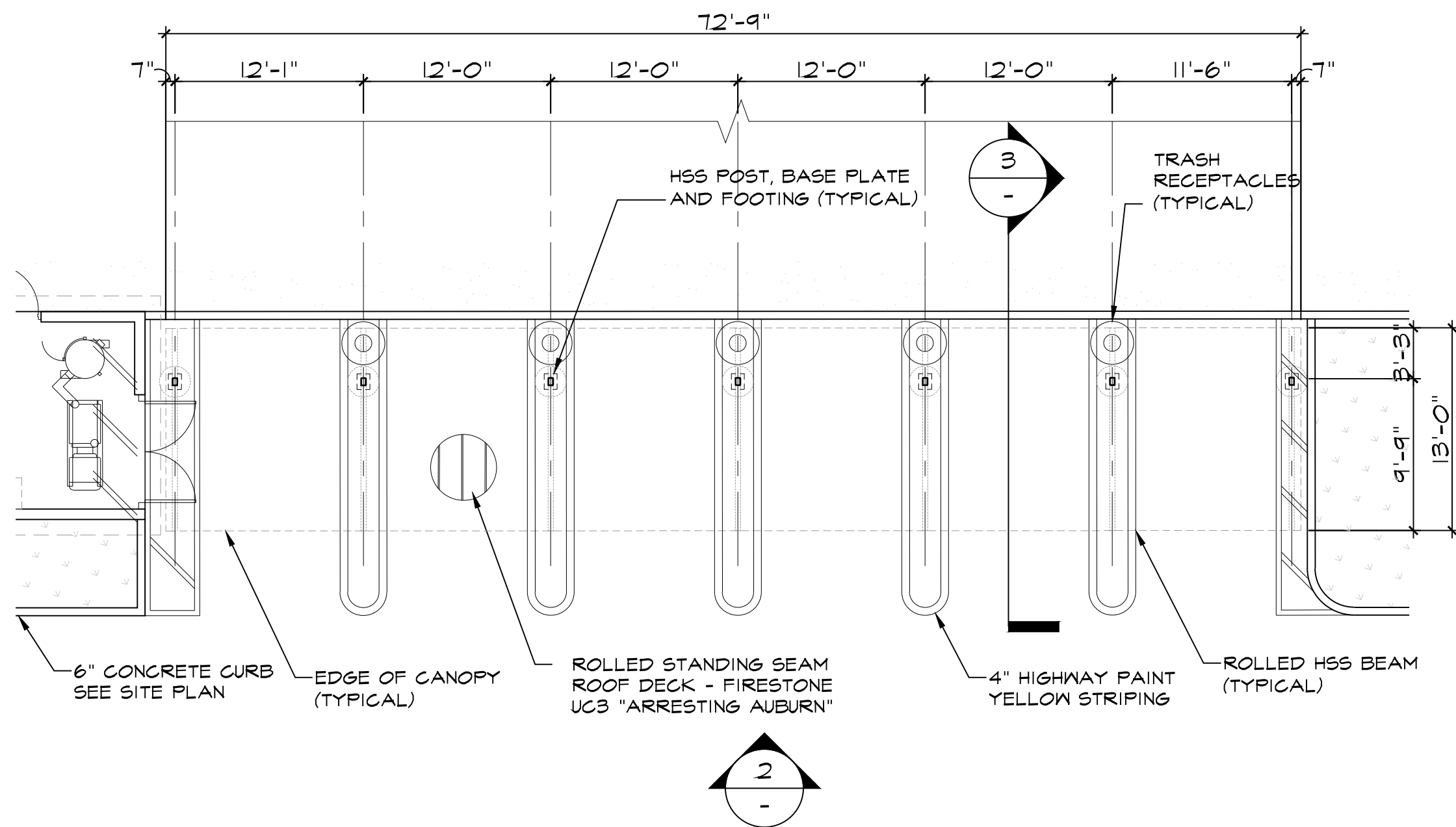
VACUUM CANOPY NO. 2

DATE: JANUARY, 2024
TAIT JOB #: 000034

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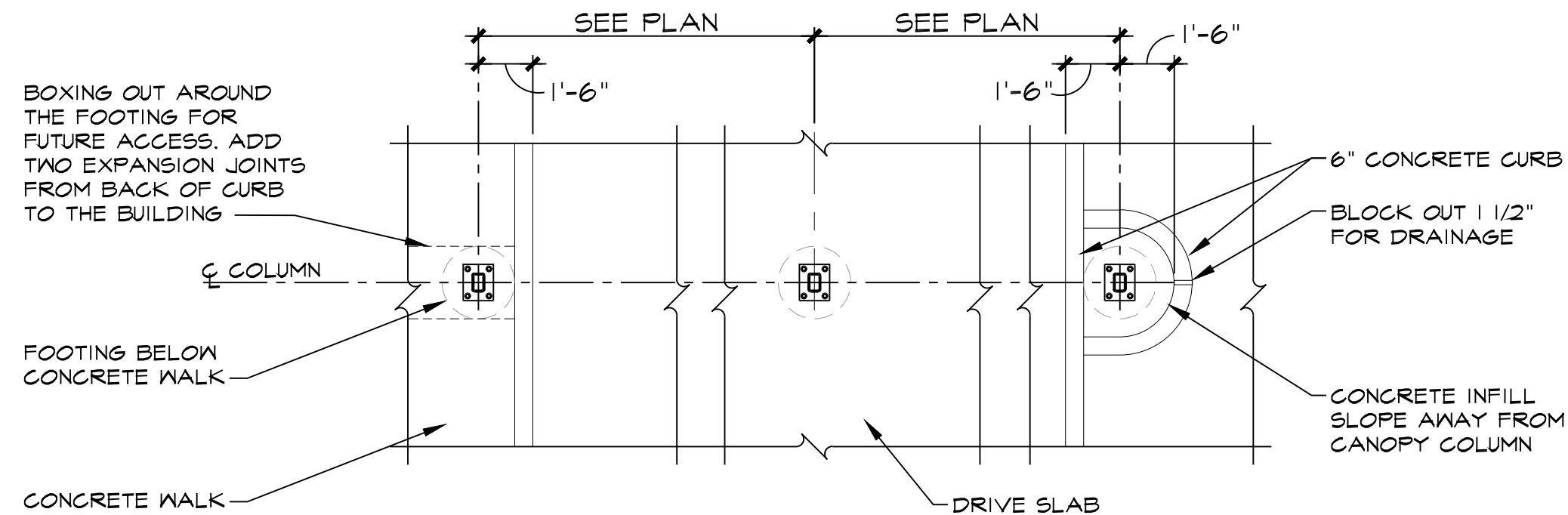
PLANNING PACKAGE

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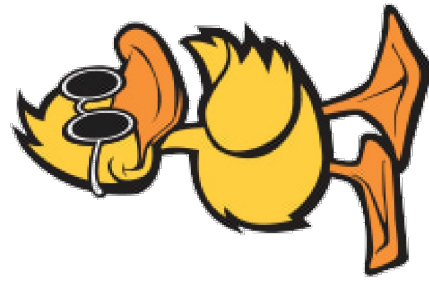


- CANOPY FOOTING NOTES:
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 - THE CONTROL FOOTING IS SET 2" ABOVE THE HIGHEST ADJACENT FINISHED CONCRETE PAVEMENT GRADE.

4 TYPICAL CANOPY CROSS SECTION
SCALE: 1/4" = 1'-0"



5 TYPICAL CANOPY CROSS SECTION PLAN VIEW
SCALE: 1/4" = 1'-0"



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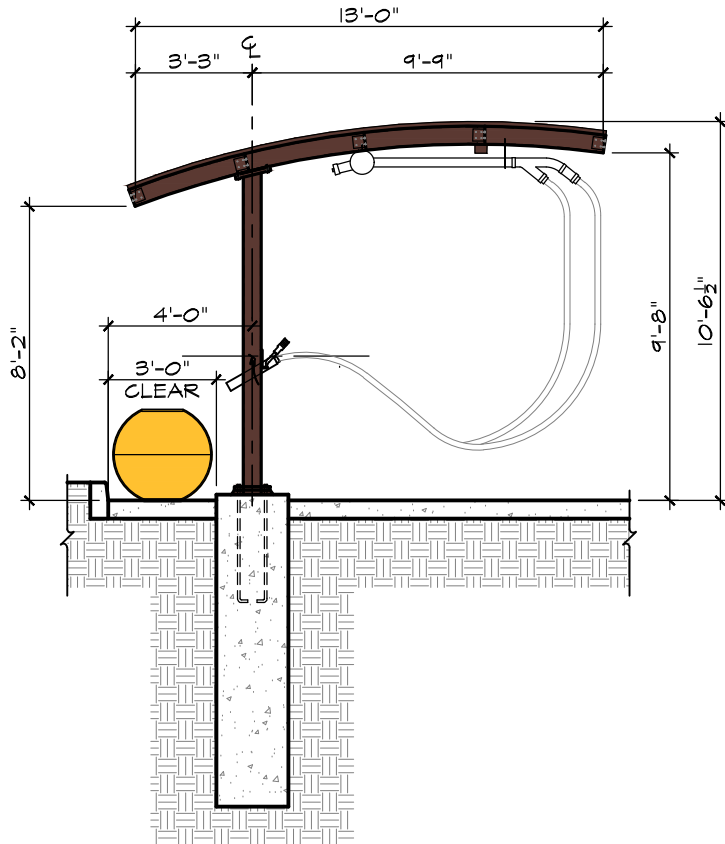
VACUUM CANOPY NO. 2
COLOR

DATE: JANUARY, 2024
TAIT JOB #: 000034

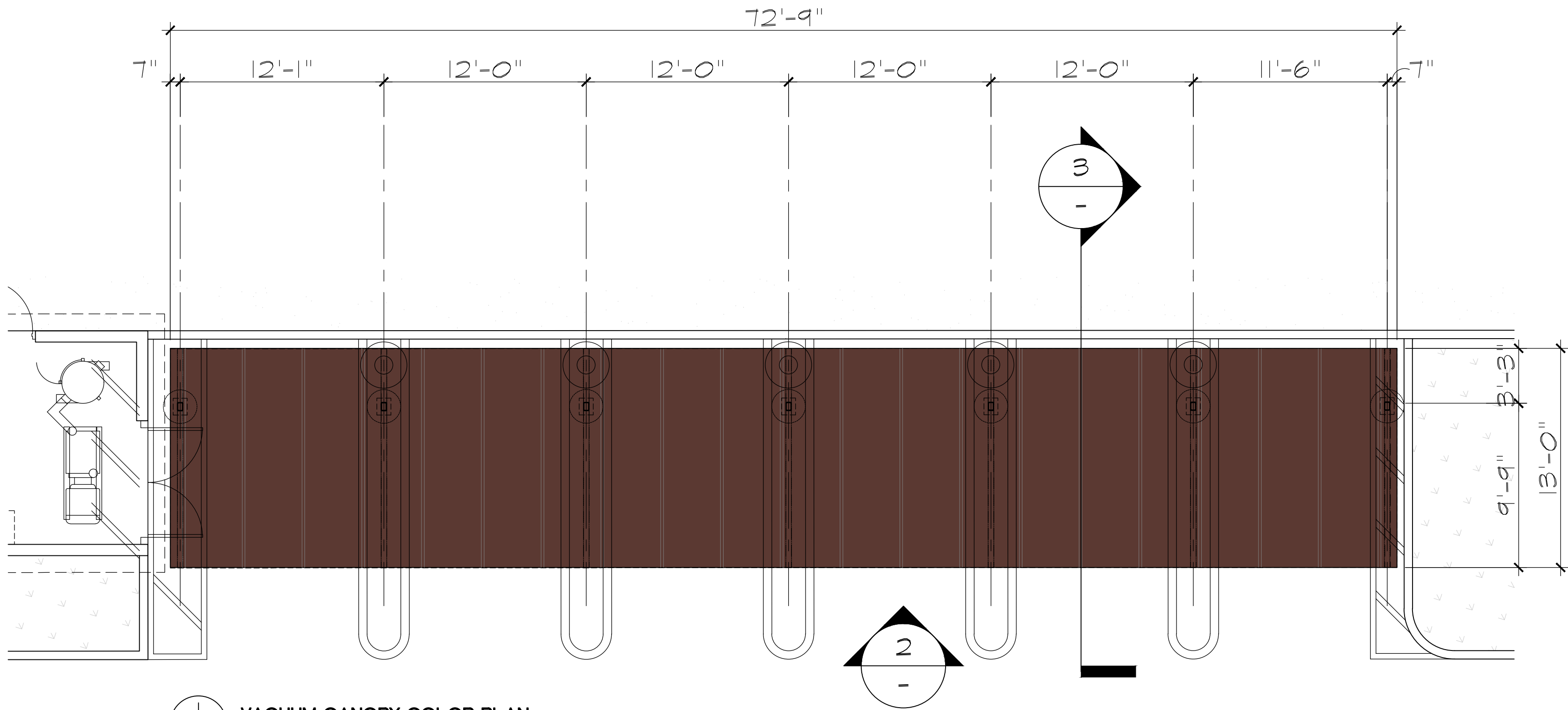
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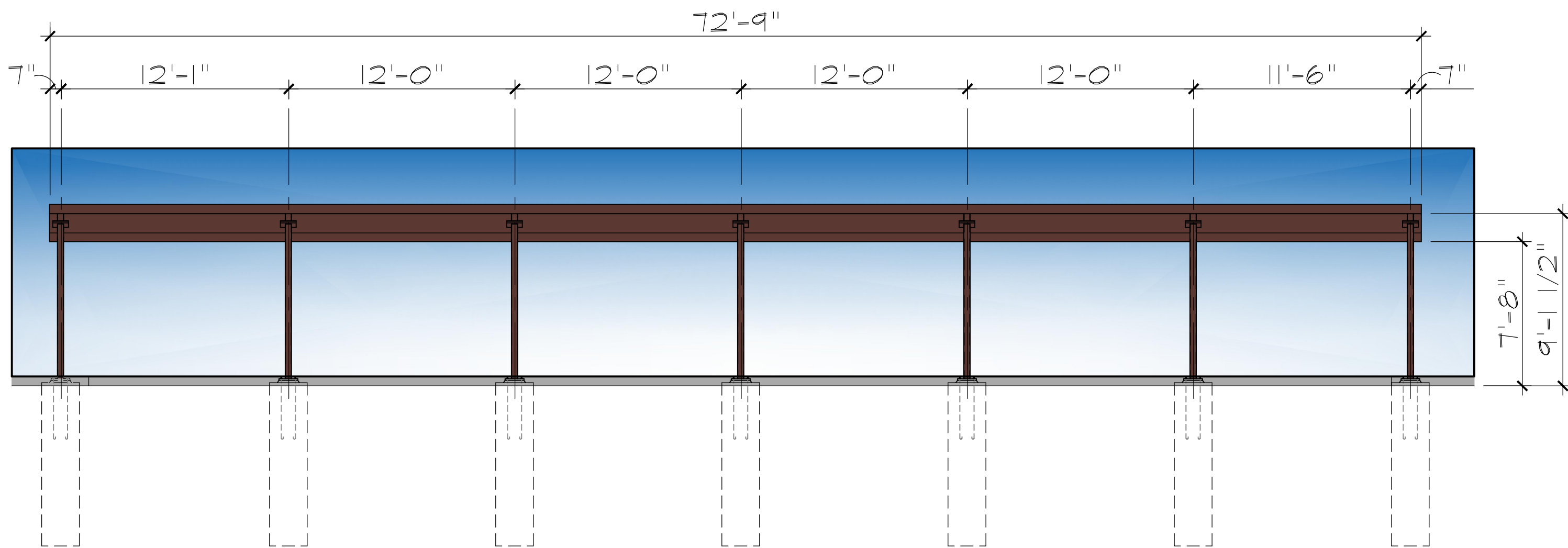
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3 TYPICAL VACUUM CANOPY SIDE ELEVATION
SCALE: 3/16"=1'-0"



1 VACUUM CANOPY COLOR PLAN
SCALE: 3/16"=1'-0"



2 VACUUM CANOPY COLOR ELEVATION
SCALE: 3/16"=1'-0"

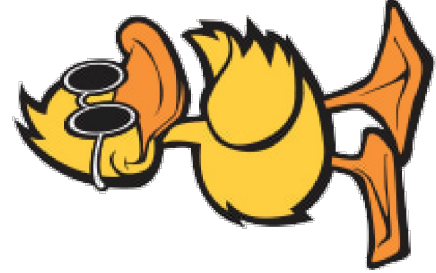
FINISHES

COLUMN - FIRESTONE UCS "DARK AUBURN"



ROOF DECK - FIRESTONE UCS "DARK AUBURN"





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1	5/19/2024	CITY COMMENTS
2		
3		
4		
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6		



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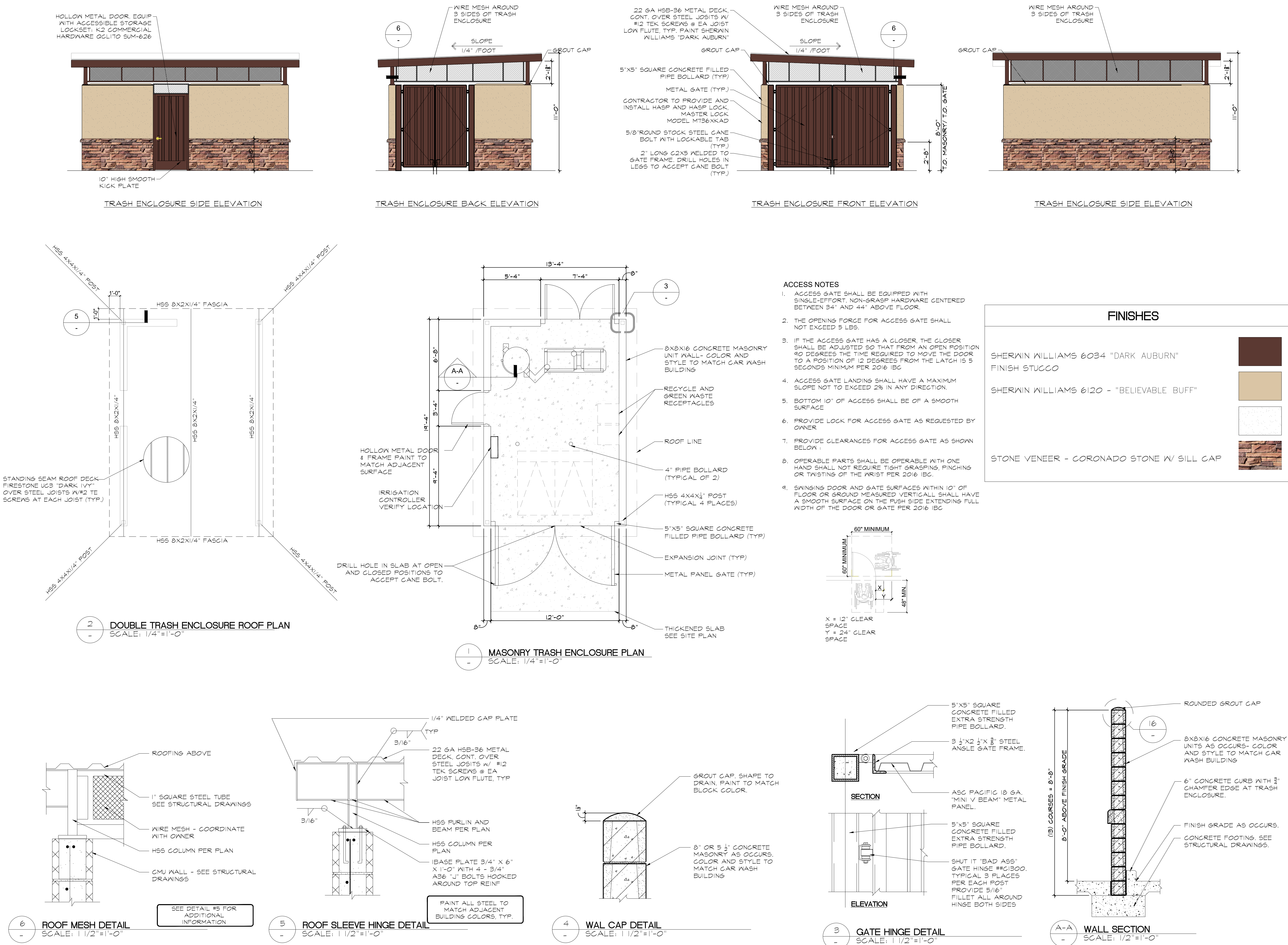
SITE ELEMENTS
ENCLOSURES

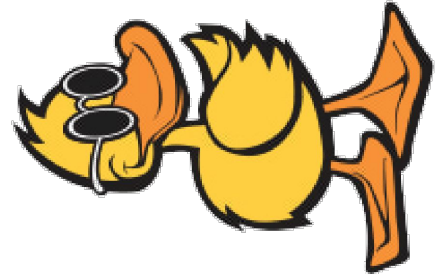
DATE: JANUARY, 2024
TAIT JOB #: 000034

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A6.00





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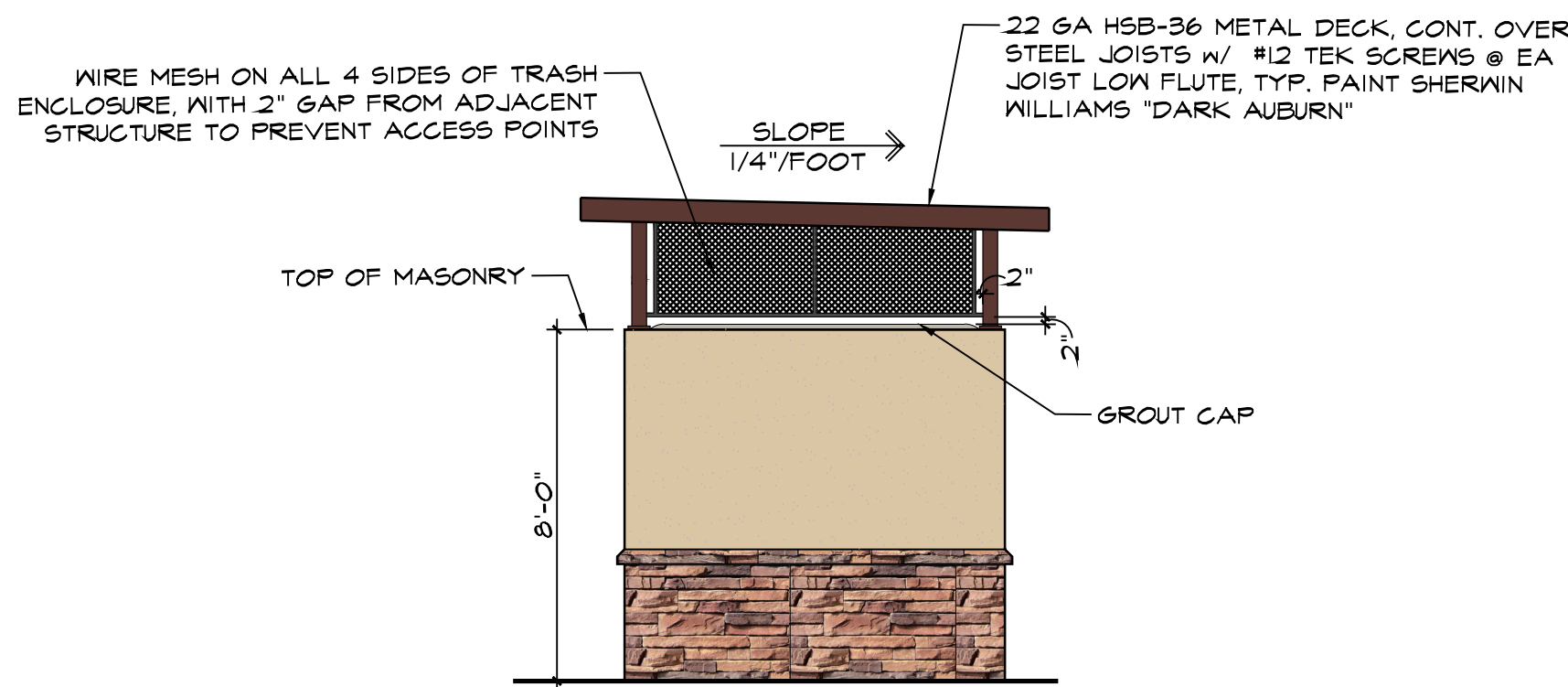
SITE ELEMENTS
ENCLOSURES

DATE: JANUARY, 2024
TAIT JOB #: QO0034

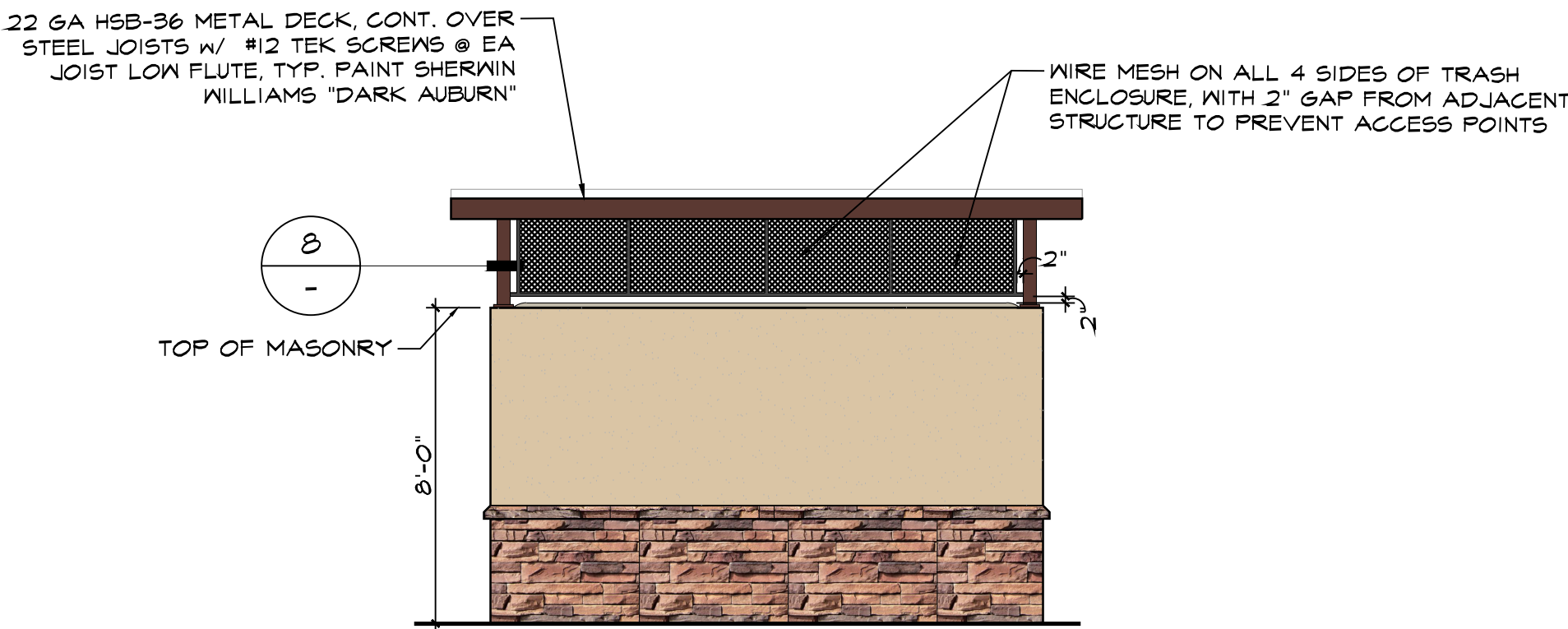
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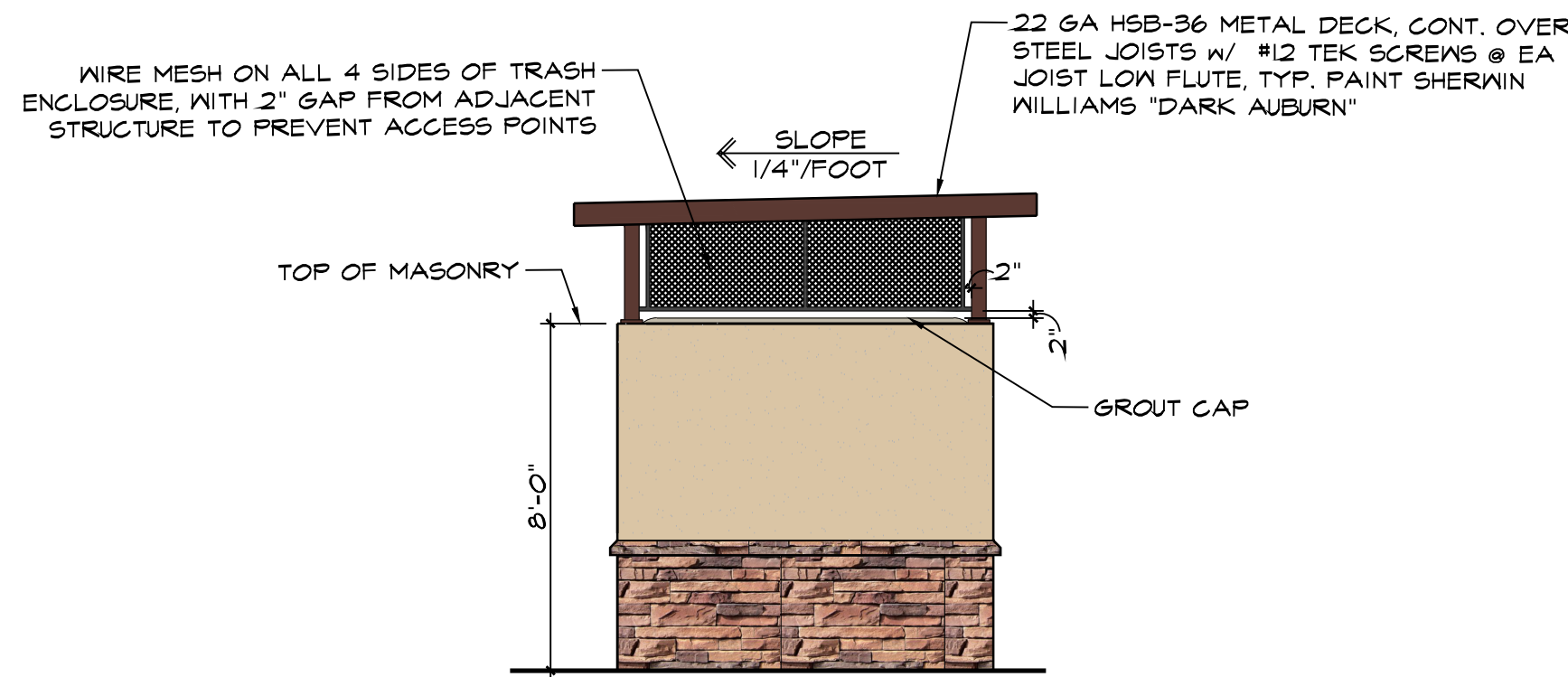
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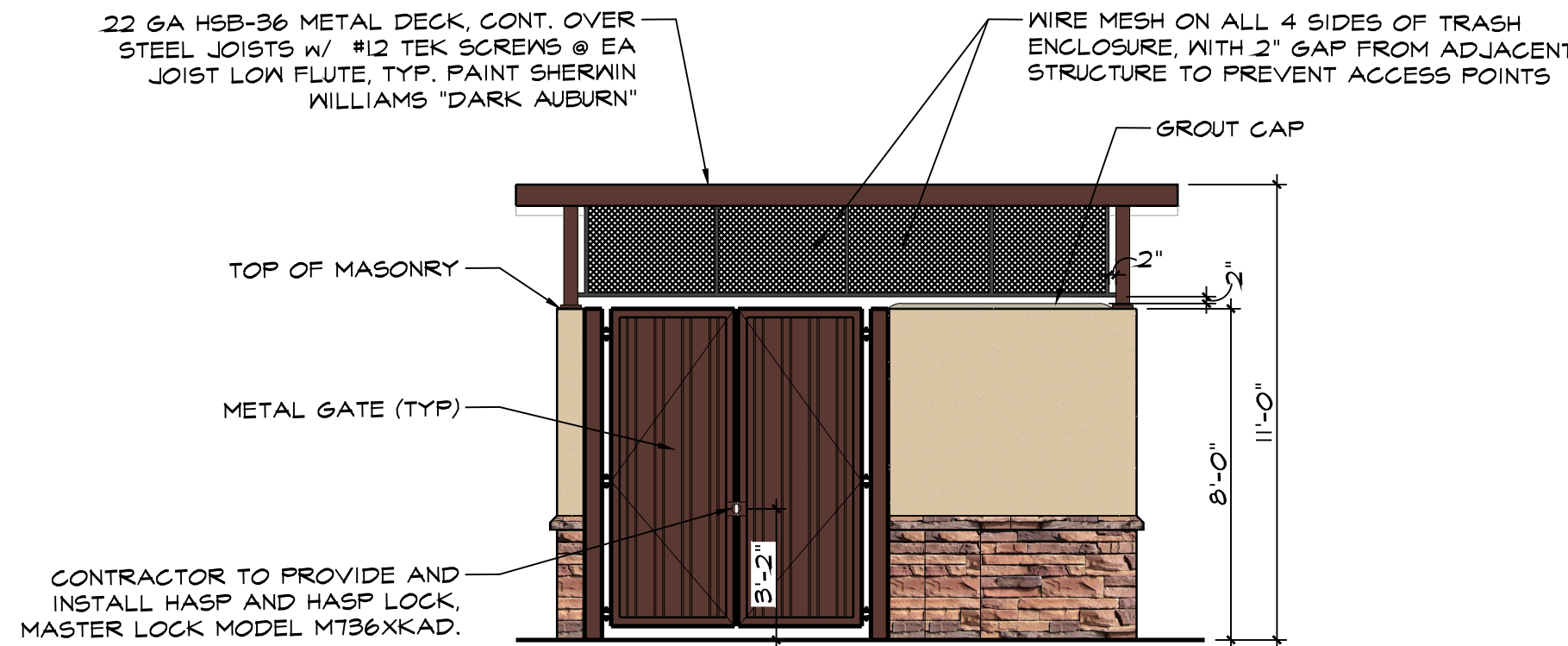
VACUUM ENCLOSURE SIDE ELEVATION



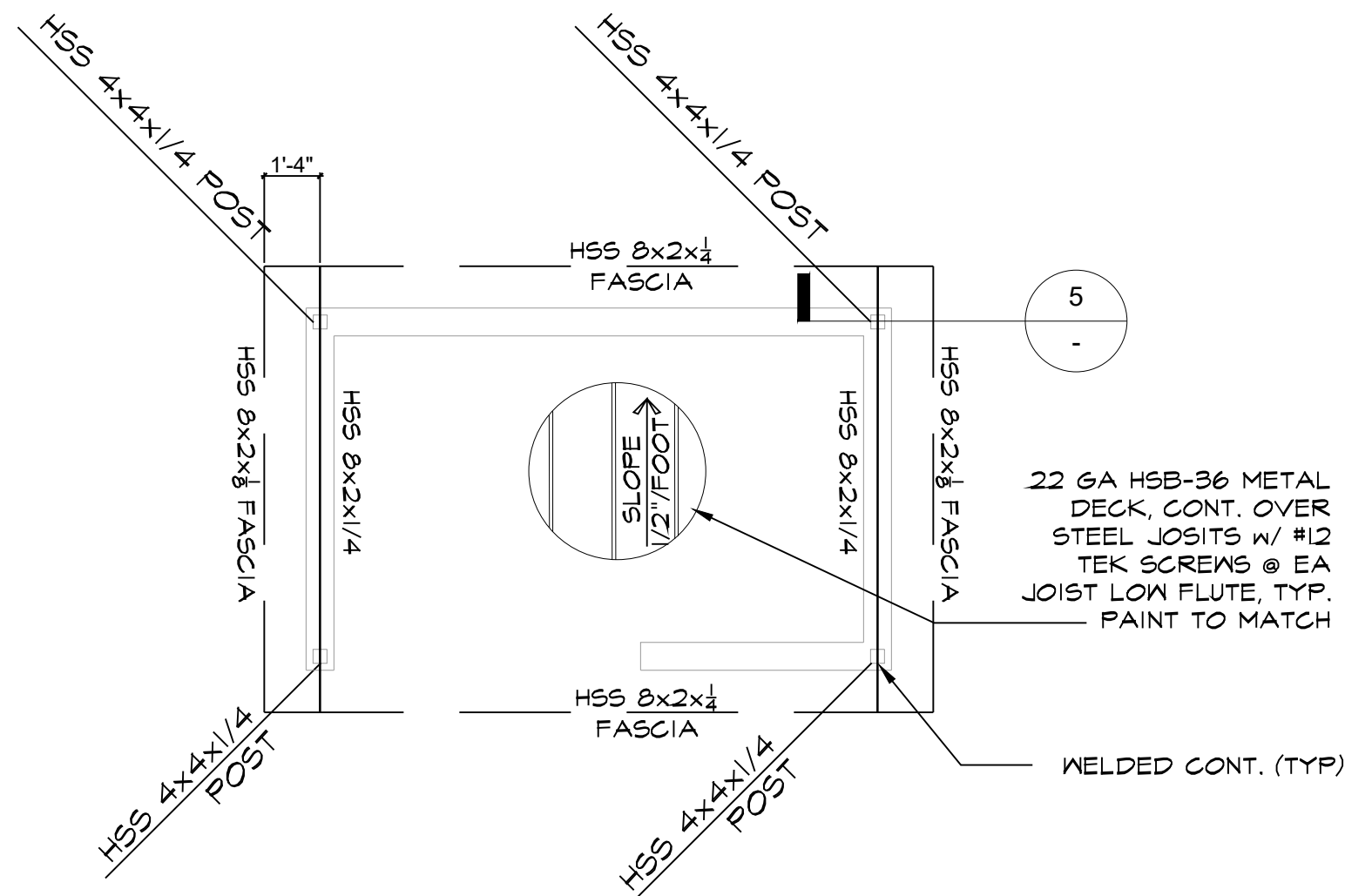
VACUUM ENCLOSURE BACK ELEVATION



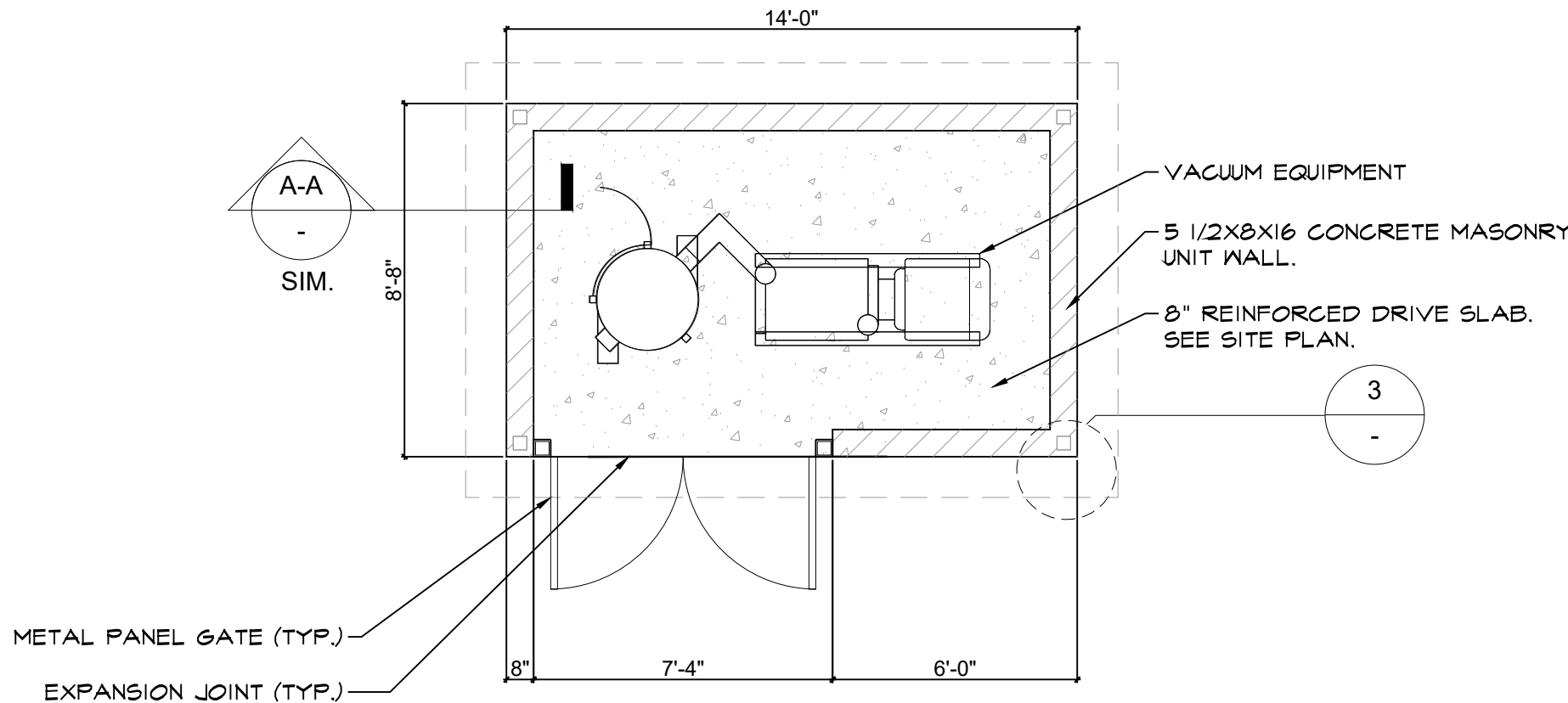
VACUUM ENCLOSURE SIDE ELEVATION



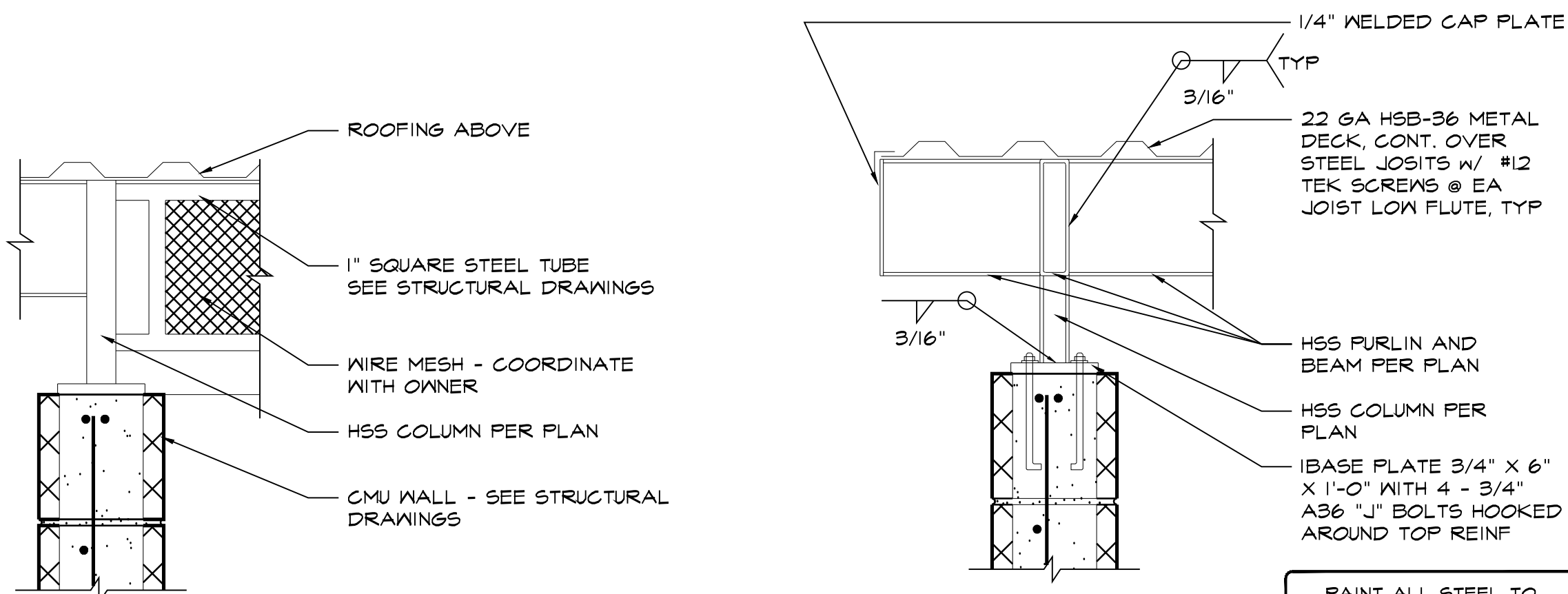
VACUUM ENCLOSURE FRONT ELEVATION



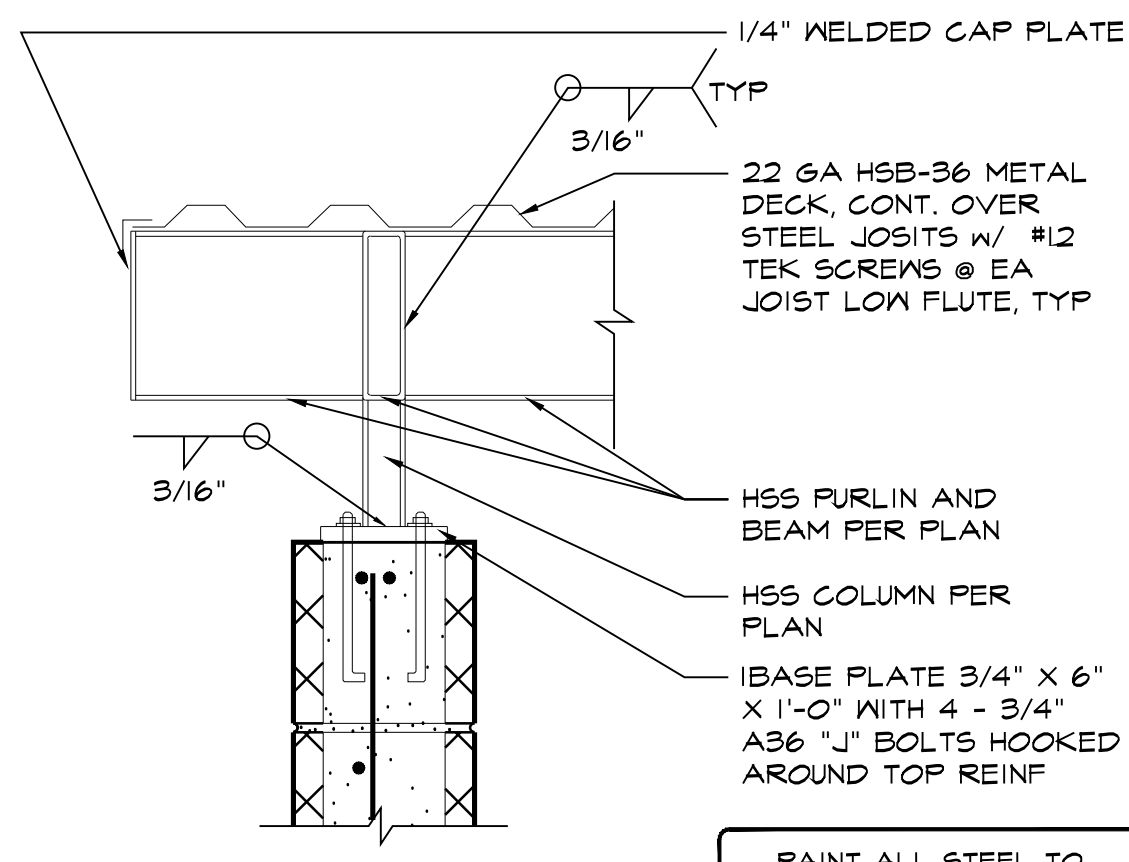
2 VACUUM ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0"



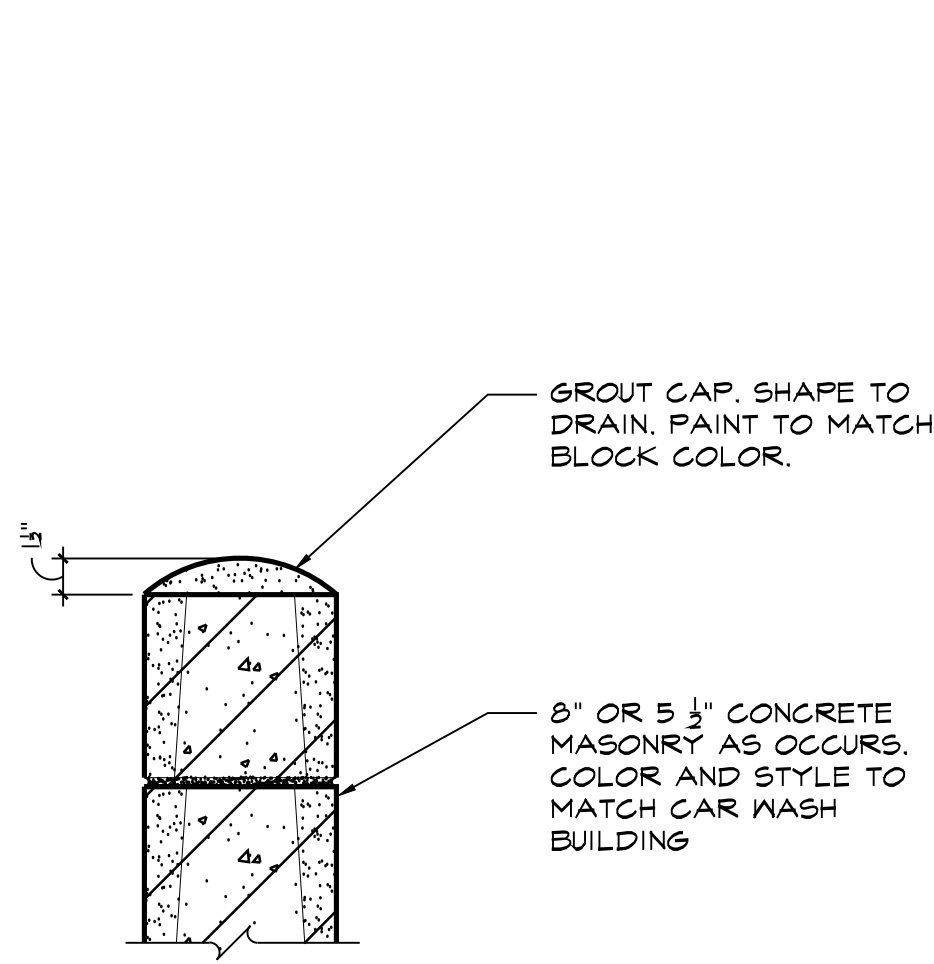
1 MASONRY VACUUM ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



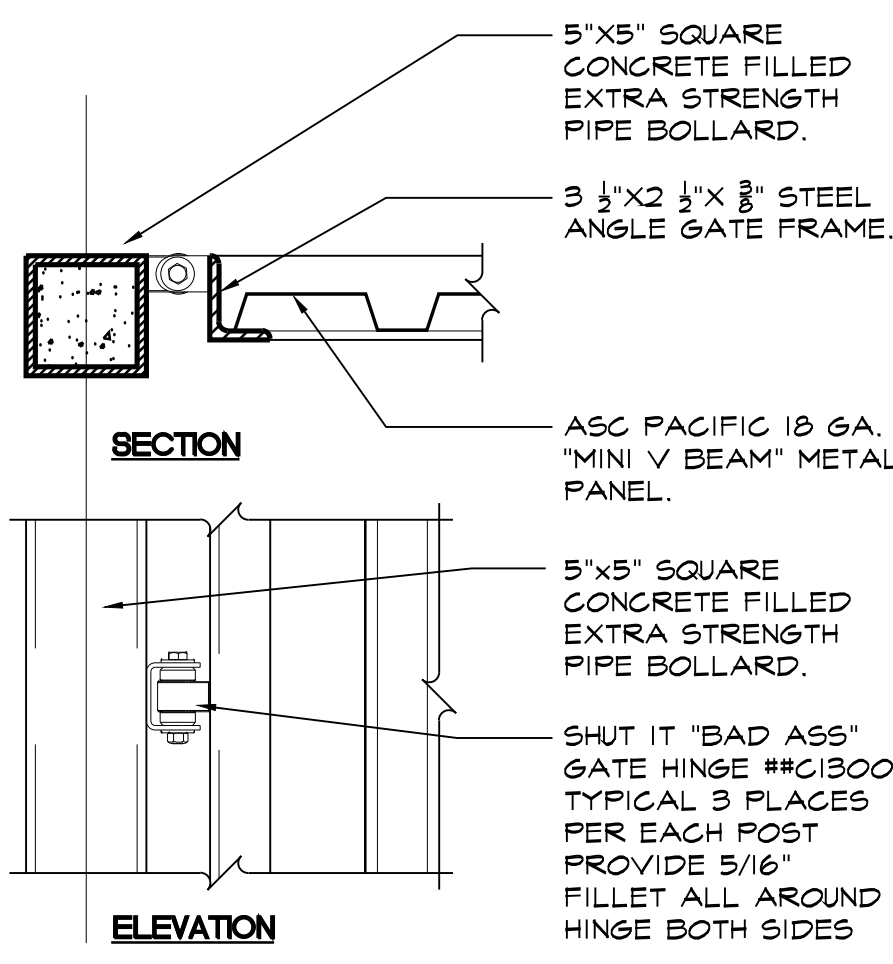
6 ROOF MESH DETAIL
SCALE: 1 1/2" = 1'-0"



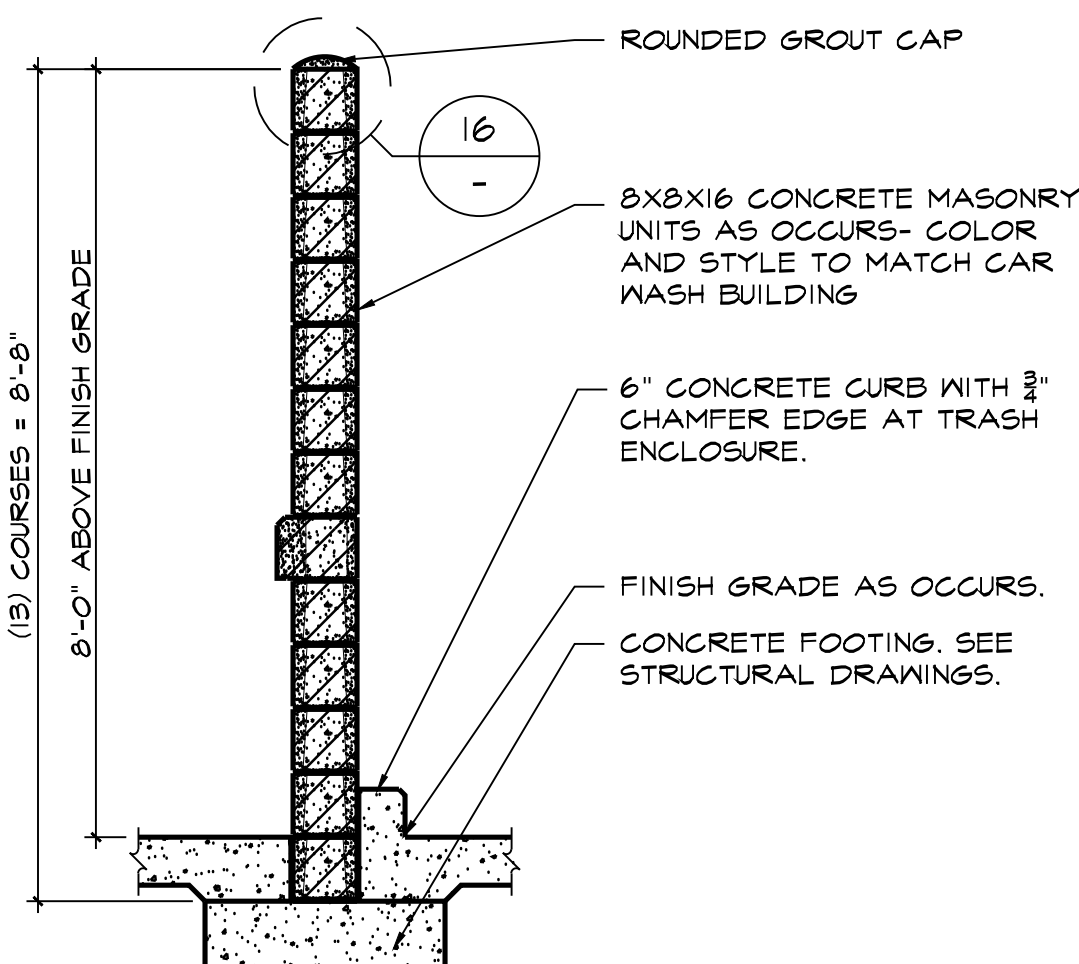
5 ROOF SLEEVE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



4 WAL CAP DETAIL
SCALE: 1 1/2" = 1'-0"



3 GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



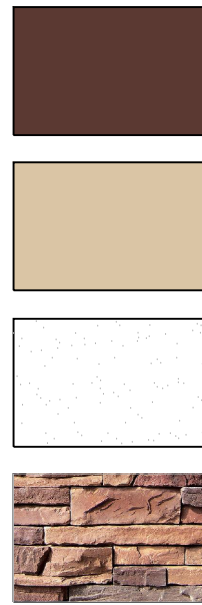
A-A WALL SECTION
SCALE: 1/2" = 1'-0"

FINISHES

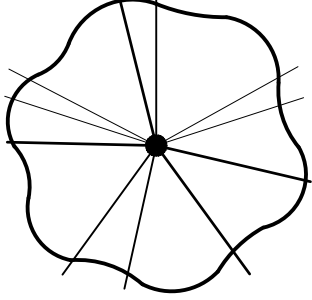
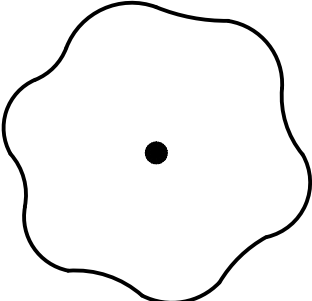
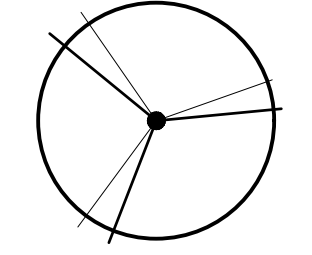
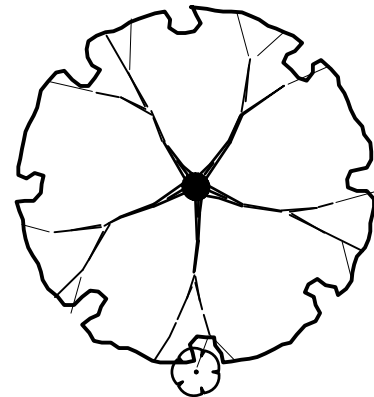





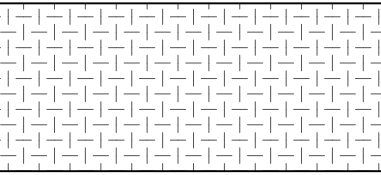
SHERWIN WILLIAMS 6034 "DARK AUBURN"
FINISH STUCCO

SHERWIN WILLIAMS 6120 - "BELIEVABLE BUFF"

STONE VENEER - CORONADO STONE W/ SILL CAP

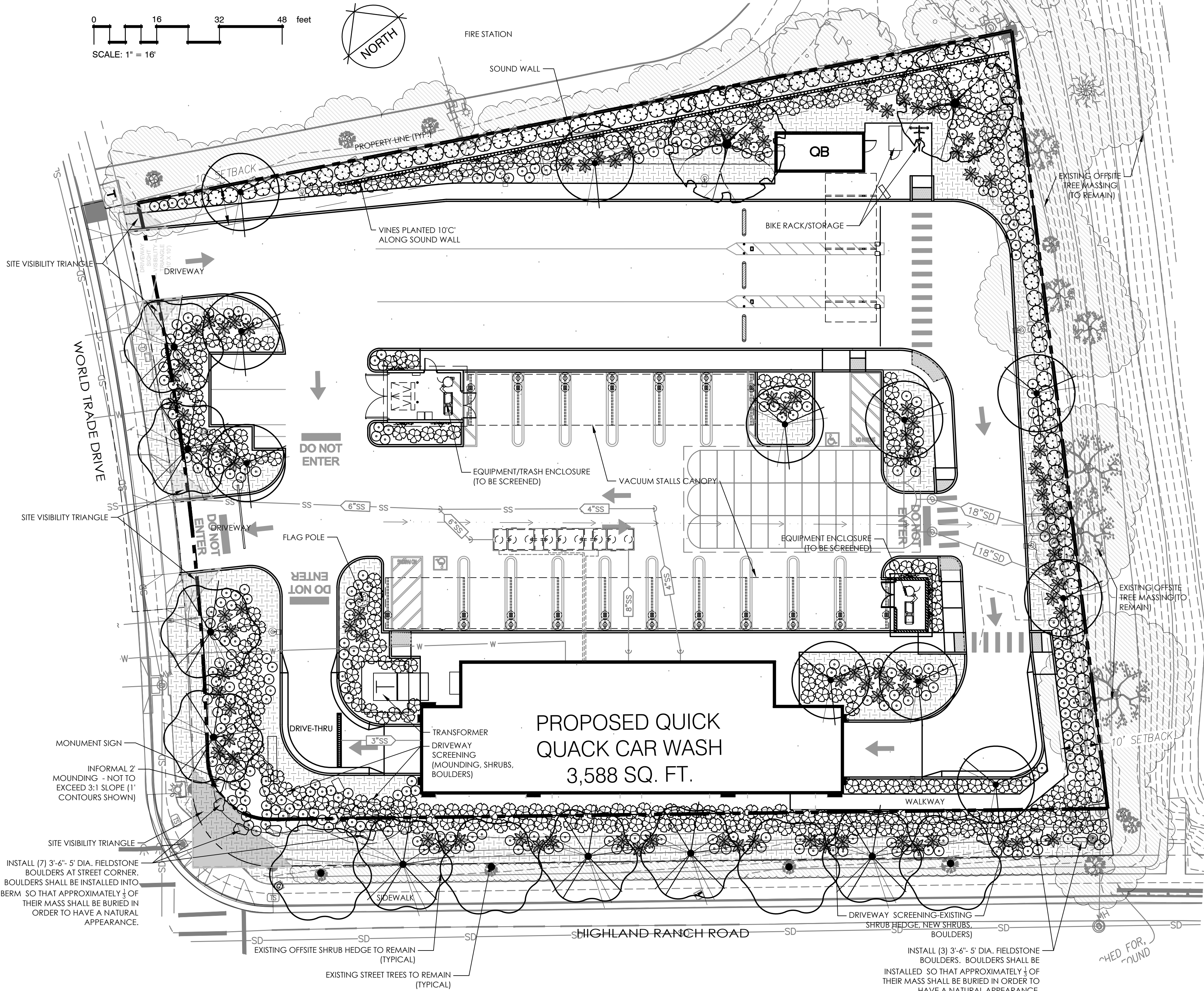


CONCEPT PLANT SCHEDULE OVERALL

	STREET TREES Lagerstroemia indica 'Red Rocket' / Cape Myrtle Platanus x acerifolia / London Plane Tree Tilia cordata / Littleleaf Linden	8	24" box, Low 24" box, Moderate 24" box, Moderate
	EXISTING STREET TREE Platanus x acerifolia / London Plane Tree	4	Existing
	ACCENT TREE Arbutus x 'Marina' / Marina Strawberry Tree Cercis occidentalis / Western Redbud Lagerstroemia indica 'Catawba' / Catawba Cape Myrtle	11	36" box, Low 36" box, Low 36" box, Low
	LARGE TREE Jacaranda mimosifolia / Jacaranda Quercus agrifolia / Coast Live Oak	2	36" box, Moderate 36" box, Low
	LARGE SCREEN SHRUB Arctostaphylos x 'John Dourley' / John Dourley Manzanita Callistemon citrinus 'Jeffersii' / Purple Lemon Bottlebrush Ceanothus x 'Dark Star' / Dark Star Wild Lilac Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	104	5 gal., Low 5 gal., Low 5 gal., Low 5 gal., Low
	LARGE ACCENT PLANT Agave americana 'Marginata' / Variegated Century Plant Phormium tenax 'Dark Delight' / Dark Delight Flax	93	5 gal., Low 5 gal., Low
	VINES/ESPALLIERS Ficus pumila / Creeping Fig Maccladyna unguis-cati / Cat's Claw Creeper Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia Podocarpus gracilior / Fern Pine Espalier	23	5 gal., Moderate 5 gal., Low 5 gal., Moderate 5 gal., Moderate
	SMALL SCREEN SHRUB Callistemon viminalis 'Better John' / Weeping Bottlebrush Westringia fruticosa 'Blue Gem' / Coast Rosemary	302	5 gal., Low 5 gal., Low
	SMALL ACCENT PLANT Dianella revoluta 'DTN03' / Bobby Bliss™ Flax Lily Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage Yucca x 'Bright Star' / Variegated Spanish Dagger	327	1 gal., Low 1 gal., Low 1 gal., Low
	GROUNDCOVER Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea Lantana montevidensis / Trailing Lantana Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	4,452 sf	1 gal., 379 1 gal., Low 379 1 gal., Low 744 1 gal., Low

GENERAL NOTES

- All landscape planting areas shall receive a minimum 3" layer of non-combustible organic bark mulch top dressing. Shredded 'Gorilla Hair' type mulch shall not be used.
- An automatic irrigation system shall be installed to provide coverage for all planting areas shown on the plan. Low volume equipment shall provide sufficient water for plant growth with a minimum water loss due to water run-off. Irrigation systems shall use high quality, automatic control valves, controllers and other necessary irrigation equipment. All components shall be of non-corrosive material. All drip systems shall be adequately filtered and regulated per the manufacturer's recommended design parameters. All irrigation improvements shall follow the San Diego Guidelines and Water Conservation Ordinance.
- Root barriers shall be installed adjacent to all paving surfaces where a paving surface is located within 6 feet of a tree trunk on site (private) and within 10 feet of a tree trunk in the right-of-way (public). Root barriers shall extend 5 feet in each direction from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be a minimum 24 inches in depth. Installing a root barrier around the tree's root ball is unacceptable.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- Maintenance: All required landscape areas shall be maintained by Quick Quack. Landscape and irrigation areas in the public right-of-way shall be maintained by City of San Diego. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs - 20 feet
Underground utility lines - 5 feet ±10' for sewer)
Above ground utility structures - 10 feet
Driveway (entries) - 10 feet
Intersections (intersecting curb lines of two streets) - 25 feet



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE
REGULAR LANDSCAPE AREA							
LOW (SHRUBS)	0.3	DRIP	0.81	0.37	13,454	4,983	143350
MODERATE (TREES/VINES)	0.5	BUBBLERS	0.81	0.62	780	481	13851
TOTALS					14,234	5,464	157201

ETAF Calculations

Total ETAF x Area	5,464
Total Area	14,234
Average ETAF	38%

Note:

1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA). MAWA= (ETo) (Conversion factor) ((ETAF)(Landscape Area)) + ((1-ETAF) x SLA)
(.464) (.62) (.45 x 14,234) + (1-.45) X 0) = 184268

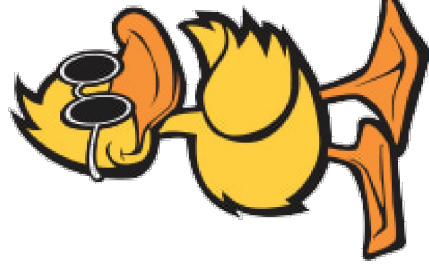
Estimated Total Water use (ETWU). ETWU= (ETo) (Conversion factor) ((ETAF) (Area)).
(.464) (.62) (5,464) = 157201

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the Landscape design plan.

Rodney L. Scoccalone

12-18-24



Quick Quack
CAR WASH

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REVISIONS

DATE DESCRIPTION

- 5/22/24 PLAN CHECK
- 10/25/24 PLAN CHECK RESPONSE
- 12/18/24 PLAN CHECK RESPONSE



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LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com

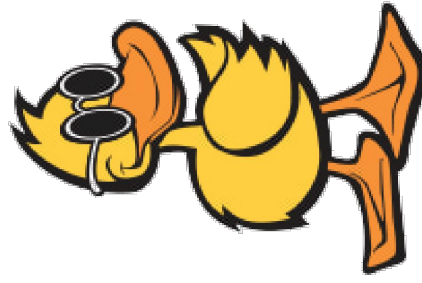


LANDSCAPE PLAN

DATE: DECEMBER 18, 2024
TAIT JOB #: 000034

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L1



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HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS

#	DATE	DESCRIPTION
1	5/22/24	PLAN CHECK
2	10/25/24	PLAN CHECK RESPONSE
3	12/18/24	PLAN CHECK RESPONSE



YARD CALCULATIONS

DATE: DECEMBER 18, 2024
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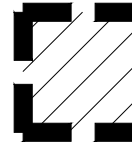
L2

CONCEPT PLANT SCHEDULE STREET YARD

	STREET TREES Lagerstroemia indica 'Red Rocket' / Crape Myrtle Platanus x acerifolia / London Plane Tree Tilia cordata / Littleleaf Linden	8	24" box, Low 24" box, Moderate 24" box, Moderate
	EXISTING STREET TREE Platanus x acerifolia / London Plane Tree	4	Existing
	ACCENT TREE Arbutus x 'Marina' / Marina Strawberry Tree Cercis occidentalis / Western Redbud Lagerstroemia indica 'Catawba' / Catawba Crape Myrtle	3	36" box, Low 36" box, Low 36" box, Low
	LARGE SCREEN SHRUB Arctostaphylos x 'John Dourley' / John Dourley Manzanita Callistemon citrinus 'Jeffersii' / Purple Lemon Bottlebrush Ceonothus x 'Dark Star' / Dark Star Wild Lilac Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	15	5 gal., Low 5 gal., Low 5 gal., Low 5 gal., Low
	LARGE ACCENT PLANT Agave americana 'Marginata' / Variegated Century Plant Phormium tenax 'Dark Delight' / Dark Delight Flax	46	5 gal., Low 5 gal., Low
	VINES/ESPALLIERS Ficus pumila / Creeping Fig Macfadyena unguis-cati / Cat's Claw Creeper Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia Podocarpus gracilior / Fern Pine Espalier	4	5 gal., Moderate 5 gal., Low 5 gal., Moderate 5 gal., Moderate
	SMALL SCREEN SHRUB Callistemon viminalis 'Better John' / Weeping Bottlebrush Westringia fruticosa 'Blue Gem' / Coast Rosemary	200	5 gal., Low 5 gal., Low
	SMALL ACCENT PLANT Dianella revoluta 'DTN03' / Baby Bliss™ Flax Lily Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage Yucca x 'Bright Star' / Variegated Spanish Dagger	203	1 gal., Low 1 gal., Low 1 gal., Low
	GROUNDCOVER Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea Lantana montevidensis / Trailing Lantana Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	2,800 sf	1 gal., Low 1 gal., Low 1 gal., Low 1 gal., Low

CONCEPT PLANT SCHEDULE REMAINING YARD

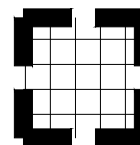
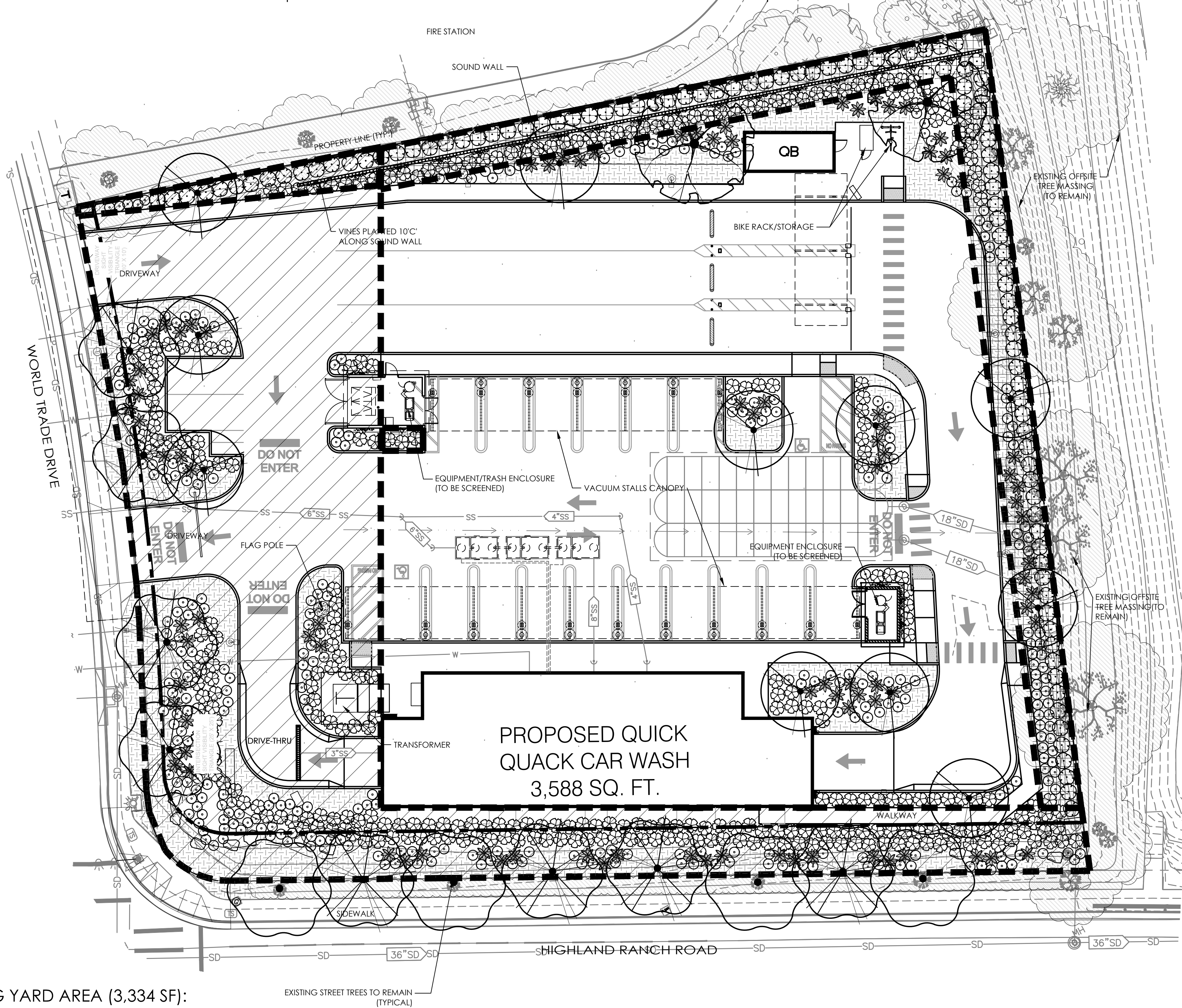
	ACCENT TREE Arbutus x 'Marina' / Marina Strawberry Tree Cercis occidentalis / Western Redbud Lagerstroemia indica 'Catawba' / Catawba Crape Myrtle	2	36" box, Low 36" box, Low 36" box, Low
	LARGE SCREEN SHRUB Arctostaphylos x 'John Dourley' / John Dourley Manzanita Callistemon citrinus 'Jeffersii' / Purple Lemon Bottlebrush Ceonothus x 'Dark Star' / Dark Star Wild Lilac Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	87	5 gal., Low 5 gal., Low 5 gal., Low 5 gal., Low
	LARGE ACCENT PLANT Agave americana 'Marginata' / Variegated Century Plant Phormium tenax 'Dark Delight' / Dark Delight Flax	11	5 gal., Low 5 gal., Low
	VINES/ESPALLIERS Ficus pumila / Creeping Fig Macfadyena unguis-cati / Cat's Claw Creeper Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia Podocarpus gracilior / Fern Pine Espalier	15	5 gal., Moderate 5 gal., Low 5 gal., Moderate 5 gal., Moderate
	SMALL SCREEN SHRUB Callistemon viminalis 'Better John' / Weeping Bottlebrush Westringia fruticosa 'Blue Gem' / Coast Rosemary	49	5 gal., Low 5 gal., Low
	SMALL ACCENT PLANT Dianella revoluta 'DTN03' / Baby Bliss™ Flax Lily Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage Yucca x 'Bright Star' / Variegated Spanish Dagger	49	1 gal., Low 1 gal., Low 1 gal., Low
	GROUNDCOVER Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea Lantana montevidensis / Trailing Lantana Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	365 sf	1 gal., Low 1 gal., Low 1 gal., Low 1 gal., Low



STREET YARD AREA (14,178 SF):
POINTS REQUIRED(.05 X14,178) = 710 POINTS

(441) 1 GAL. SHRUBS @ 1 PT. =	441
(265) 5 GAL. SHRUBS @ 2 PTS=	530
(8) 24" BOX TREE @ 20 PTS=	160
(4) EXISTING STREET TREE @ 20 PTS=	80
(3) 36" BOX TREE @ 50 PTS=	150
TOTAL:	1,361 PTS

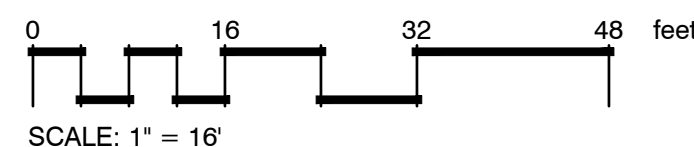
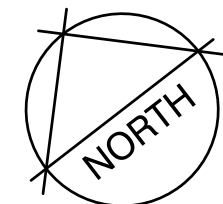
STREET YARD [5142.0404 - 5142.0405] Industrial and Commercial Development (except Auto Service Stations—see below)		
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area <u>14,178</u> sq. ft. x 25% = <u>3,545</u> sq. ft.	<u>7,576</u> sq. ft.	<u>4,001</u> sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area <u>14,178</u> sq. ft. x 0.05* = <u>710</u> points	<u>1,361</u> points	<u>651</u> points
Plant Points Achieved with Trees (50%)		
		<u>390</u> points



REMAINING YARD AREA (3,334 SF):
POINTS REQUIRED(.05 x 3,334) = 172


(80) 1 GAL. SHRUBS @ 1 PT. =	80
(165) 5 GAL. SHRUBS @ 2 PTS=	330
(2) 36" BOX TREE @ 50 PTS=	100
TOTAL:	510 PTS

REMAINING YARD [5142.0404 - 5142.0405]		
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area <u>3,434</u> sq. ft. x 30% = <u>1,030</u> sq. ft.	<u>3,434</u> sq. ft.	<u>2,404</u> sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area <u>3,434</u> sq. ft. x 0.05 = <u>172</u> points	<u>510</u> points	<u>338</u> points
Plant Points Achieved with Trees (50%)		
		<u>100</u> points



(78) 1 GAL. SHRUBS @ 1 PT. =	78
(74) 5 GAL. SHRUBS @ 2 PTS=	112
<u>(3) 36" BOX TREE @ 50 PTS=</u>	<u>150</u>
	340 PTS

	ACCENT TREE <i>Arbutus x 'Marina'</i> / Marina Strawberry Tree <i>Cercis occidentalis</i> / Western Redbud <i>Lagerstroemia indica 'Catawba'</i> / Catawba Crape Myrtle	3 36" box, Low 36" box, Low 36" box, Low
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	<u>LARGE SCREEN SHRUB</u>	14	
	Arctostaphylos x 'John Dourley' / John Dourley Manzanita		5 gal., Low
	Callistemon citrinus 'Jeffersii' / Purple Lemon Bottlebrush		5 gal., Low
	Ceanothus x 'Dark Star' / Dark Star Wild Lilac		5 gal., Low
	Leucophyllum langmaniae 'Lynn's Sage' / Lynn's Legacy Langman's Sage		5 gal., Low

	LARGE ACCENT PLANT	9	
	Agave americana 'Marginata' / Variegated Century Plant		5 gal., Low
	Phormium tenax 'Dark Delight' / Dark Delight Flax		5 gal., Low


VINES/ESPALLIERS		4	
	<i>Ficus pumila</i> / Creeping Fig		5 gal., Moderate
	<i>Macfadyena unguis-cati</i> / Cat's Claw Creeper		5 gal., Low
	<i>Magnolia grandiflora</i> 'Little Gem' / Espaller Little Gem Dwarf Southern Magnolia		5 gal., Moderate
	<i>Podocarpus gracilior</i> / Fern Pine Espalier		5 gal., Moderate

	SMALL SCREEN SHRUB	47	
	<i>Callistemon viminalis</i> 'Better John' / Weeping Bottlebrush <i>Westringia fruticosa</i> 'Blue Gem' / Coast Rosemary		5 gal., Low 5 gal., Low

○	SMALL ACCENT PLANT Dianella revoluta 'DTN03' / Baby Bliss™ Flax Lily Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage Yucca x 'Bright Star' / Variegated Spanish Dagger	53 1 gal., Low 1 gal., Low 1 gal., Low
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GROUNDCOVER		288 sf
Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita		1 gal.
Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea	25	1 gal., Low
Lomandra montevicensis / Trailing Lantana	25	1 gal., Low
Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	49	1 gal., Low

5) 1 GAL. SHRUBS @ 1 PT. =	88
3) 5 GAL. SHRUBS @ 2 PTS=	126
1) 15 GAL TREE @ 10 PTS=	0
4) 36" BOX TREE @ 50 PTS=	250
	<hr/>
	464 PTS

	ACCENT TREE <i>Arbutus x 'Marina'</i> / Marina Strawberry Tree <i>Cercis occidentalis</i> / Western Redbud <i>Lagerstroemia indica</i> 'Catawba' / Catawba Grape Myrtle	5 36" box, Low 36" box, Low 36" box, Low
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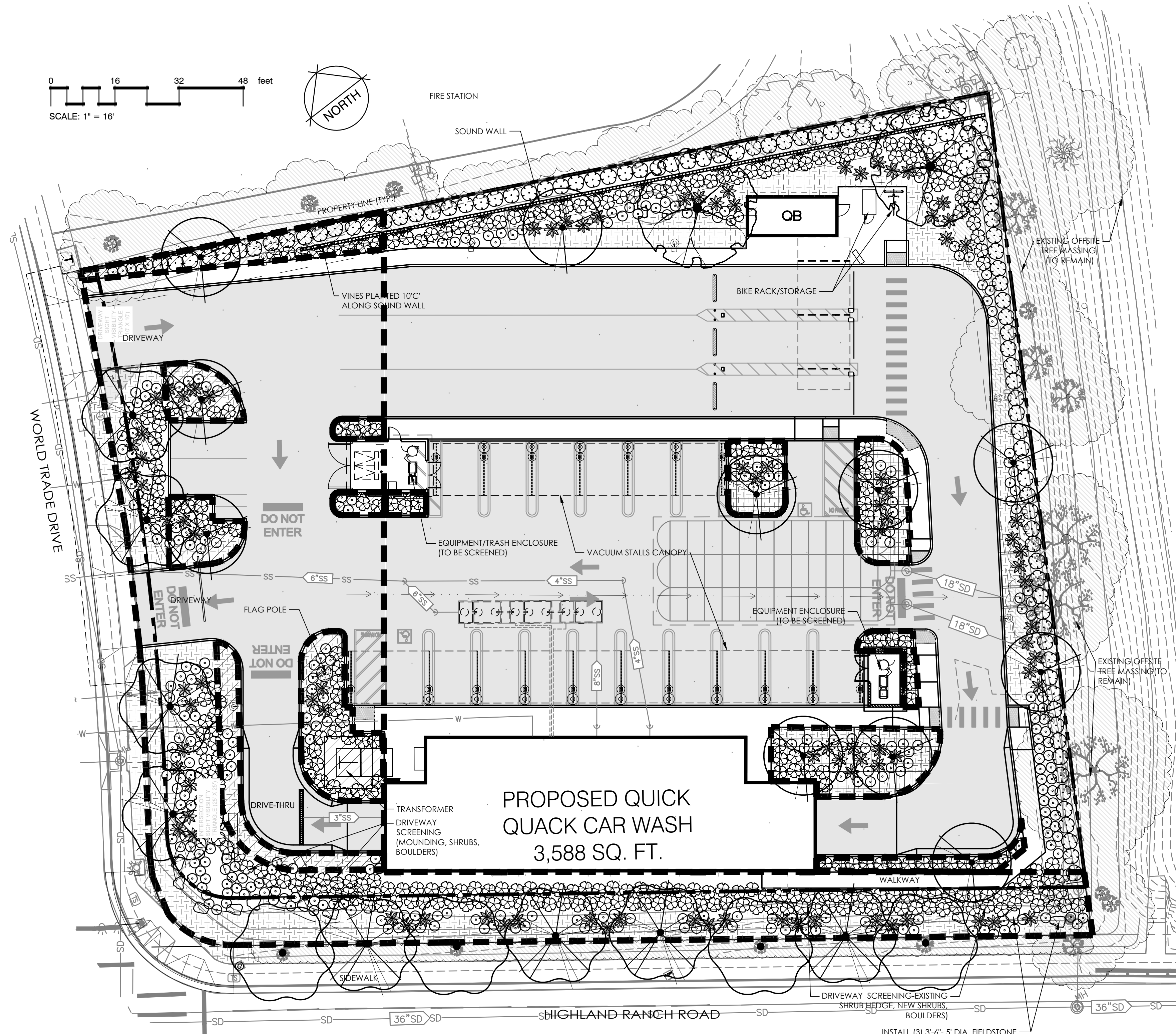
	LARGE ACCENT PLANT	17	
	Agave americana 'Marginata' / Variegated Century Plant		5 gal., Low
	Phormium tenax 'Dark Delight' / Dark Delight Flax		5 gal., Low

	VINES/ESPALLIERS	4	
	<i>Ficus pumila</i> / Creeping Fig		5 gal., Moderate
	<i>Macadaya unguis-cati</i> / Cat's Claw Creeper		5 gal., Low
	<i>Magnolia grandiflora</i> 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia		5 gal., Moderate
	<i>Podocarpus gracilior</i> / Fern Pine Espalier		5 gal., Moderate

	SMALL SCREEN SHRUB	42	
	Callistemon viminalis 'Better John' / Weeping Bottlebrush		5 gal., Low
	Westringia fruticosa 'Blue Gem' / Coast Rosemary		5 gal., Low

	<p>SMALL ACCENT PLANT</p> <p><i>Dianella revoluta</i> 'DTN03' / Baby Bliss™ Flax Lily</p> <p><i>Salvia greggii</i> 'Furmans Red' / Furman's Red Autumn Sage</p> <p><i>Yucca</i> x 'Bright Star' / Variegated Spanish Dagger</p>	<p>45</p> <p>1 gal., Low</p> <p>1 gal., Low</p> <p>1 gal., Low</p>
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GROUND COVER		503 sf
Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita		1 gal.
Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea	43	1 gal., Low
Lantana montevidensis / Trailing Lantana	43	1 gal., Low
Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	84	1 gal., Low



Plant Points Required		Plant Points Provided	Excess Points Provided
VUA inside Street Yard	<u>5,670</u> sq. ft. x 0.05 = <u>284</u> points	<u>329</u> points	<u>6</u> points
		Plant Points Achieved with Trees (50%)	
		<u>150</u> points	
VUA outside Street Yard	<u>15,618</u> sq. ft. x 0.03 = <u>469</u> sq. ft.	<u>504</u> points	<u>59</u> points
		Plant Points Achieved with Trees (50%)	
		<u>250</u> points	

#	DATE	DESCRIPTION
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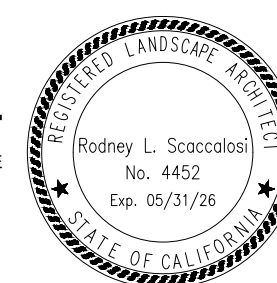
1	5/22/24	PLAN CHECK
2	10/25/24	PLAN CHECK RESPONSE
3	12/18/24	PLAN CHECK RESPONSE



1801 Lampton Lane
Norco, CA 92860
P: 951/475/3300
www.tait.com



OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com



VUA CALCULATIONS

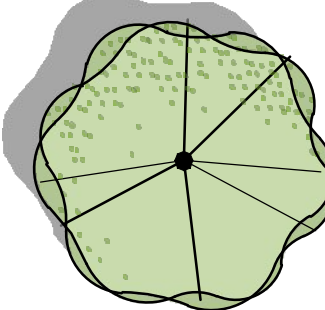
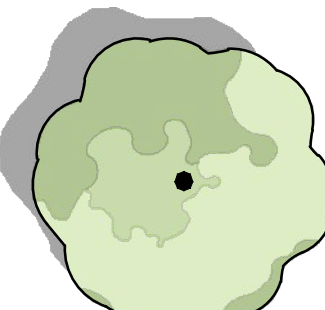
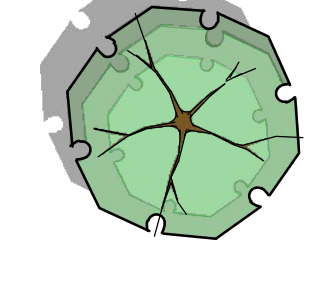

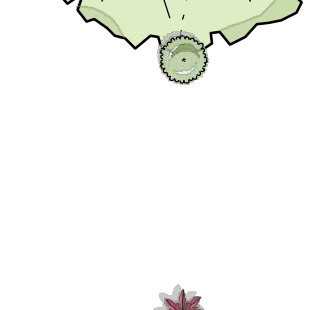

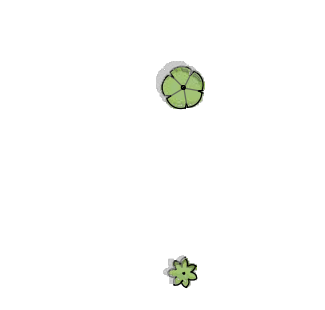



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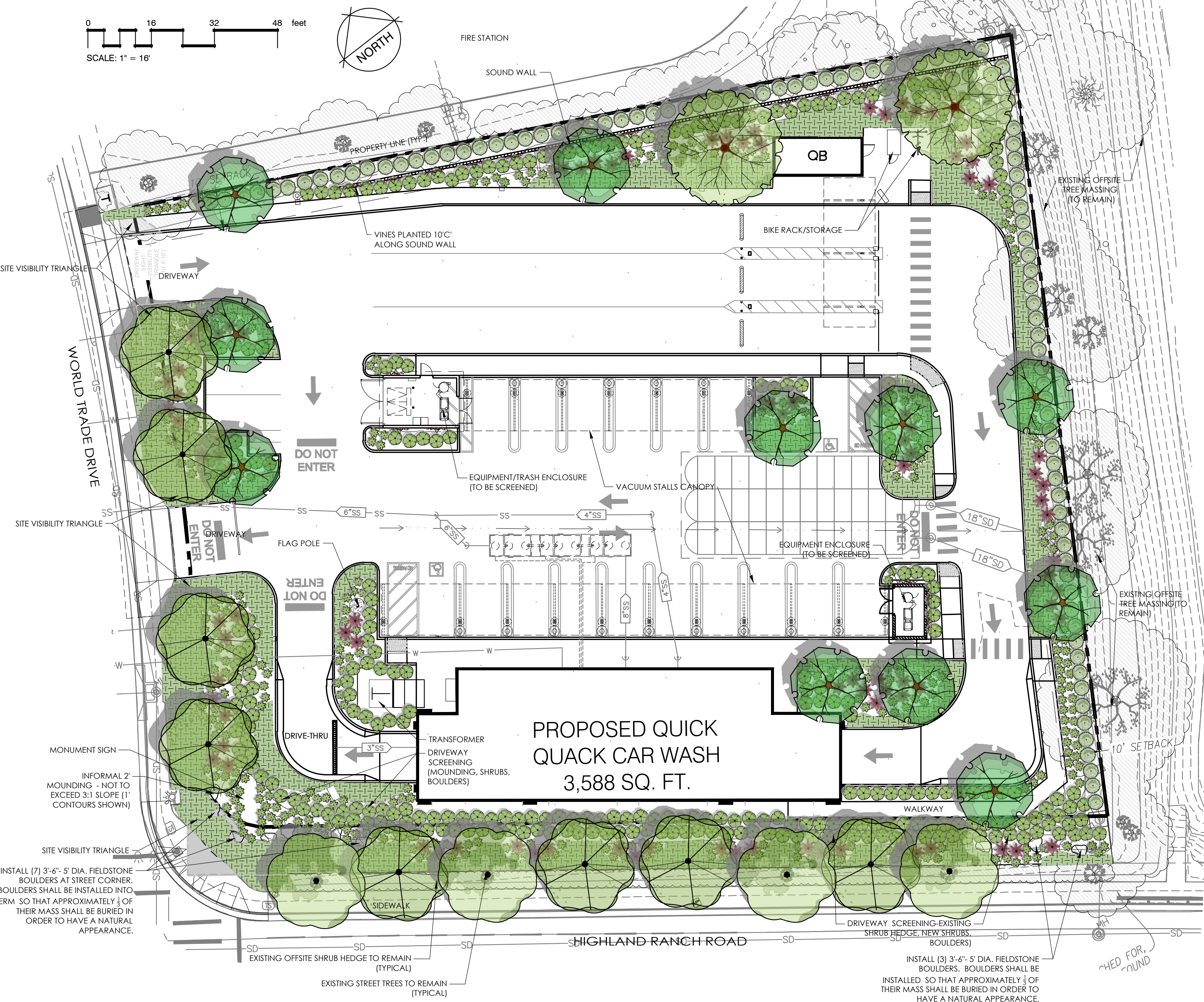
L3

CONCEPT PLANT SCHEDULE OVERALL

	STREET TREES Lagerstroemia indica 'Red Rocket' / Cape Myrtle Platanus x acerifolia / London Plane Tree Tilia cordata / Littleleaf Linden	8	24" box, Low 24" box, Moderate 24" box, Moderate
	EXISTING STREET TREE Platanus x acerifolia / London Plane Tree	4	Existing
	ACCENT TREE Arbutus x 'Marina' / Marina Strawberry Tree Cercis occidentalis / Western Redbud Lagerstroemia indica 'Catawba' / Catawba Cape Myrtle	11	36" box, Low 36" box, Low 36" box, Low
	LARGE TREE Jacaranda mimosifolia / Jacaranda Quercus agrifolia / Coast Live Oak	2	36" box, Moderate 36" box, Low
	LARGE SCREEN SHRUB Arctostaphylos x 'John Dourley' / John Dourley Manzanita Callistemon citrinus 'Jeffersii' / Purple Lemon Bottlebrush Ceanothus x 'Dark Star' / Dark Star Wild Lilac Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	104	5 gal., Low 5 gal., Low 5 gal., Low 5 gal., Low
	LARGE ACCENT PLANT Agave americana 'Marginata' / Variegated Century Plant Phormium tenax 'Dark Delight' / Dark Delight Flax	93	5 gal., Low 5 gal., Low
	VINES/ESPALLIERS Ficus pumila / Creeping Fig Maccladaya unguis-cati / Cat's Claw Creeper Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia Podocarpus gracilior / Fern Pine Espalier	23	5 gal., Moderate 5 gal., Low 5 gal., Moderate 5 gal., Moderate
	SMALL SCREEN SHRUB Callistemon viminalis 'Better John' / Weeping Bottlebrush Westringia fruticosa 'Blue Gem' / Coast Rosemary	302	5 gal., Low 5 gal., Low
	SMALL ACCENT PLANT Dianella revoluta 'DTN03' / Baby Bliss™ Flax Lily Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage Yucca x 'Bright Star' / Variegated Spanish Dagger	327	1 gal., Low 1 gal., Low 1 gal., Low
	GROUND COVER Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea Lantana montevidensis / Trailing Lantana Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	4,452 sf	1 gal. 1 gal., Low 1 gal., Low 1 gal., Low

GENERAL NOTES

- All landscape planting areas shall receive a minimum 3" layer of non-combustible organic bark mulch top dressing. Shredded 'Gorilla Hair' type mulch shall not be used.
- An automatic irrigation system shall be installed to provide coverage for all planting areas shown on the plan. Low volume equipment shall provide sufficient water for plant growth with a minimum water loss due to water run-off. Irrigation systems shall use high quality, automatic control valves, controllers and other necessary irrigation equipment. All components shall be of non-corrosive material. All drip systems shall be adequately filtered and regulated per the manufacturer's recommended design parameters. All irrigation improvements shall follow the San Diego Guidelines and Water Conservation Ordinance.
- Root barriers shall be installed adjacent to all paving surfaces where a paving surface is located within 6 feet of a tree trunk on site (private) and within 10 feet of a tree trunk in the right-of-way (public). Root barriers shall extend 5 feet in each direction from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be a minimum 24 inches in depth. Installing a root barrier around the tree's root ball is unacceptable.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- Maintenance: All required landscape areas shall be maintained by Quick Quack. Landscape and irrigation areas in the public right-of-way shall be maintained by City of San Diego. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs - 20 feet
Underground utility lines - 5 feet (10' for sewer)
Above ground utility structures - 10 feet
Driveway (entries) - 10 feet
Intersections (intersecting curb lines of two streets) - 25 feet



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE
REGULAR LANDSCAPE AREA							
LOW (SHRUBS)	0.3	DRIP	0.81	0.37	13,454	4,983	143350
MODERATE (TREES/VINES)	0.5	BUBBLERS	0.81	0.62	780	481	13851
TOTALS					14,234	5,464	157201

ETAF Calculations	
Total ETAF x Area	5,464
Total Area	14,234
Average ETAF	38%

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA). MAWA= (ETo) (Conversion factor) ((ETAF)(Landscape Area)) + ((1-ETAF) x SIA)
(.464) (.62) (.45 x 14,234) + (1-.45) X 0 = 184268

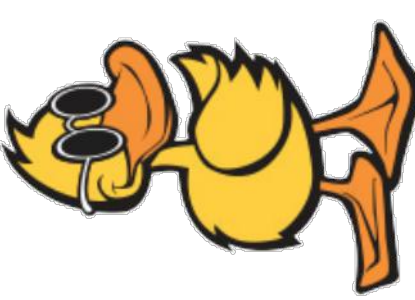
Estimated Total Water use (ETWU). ETWU= (ETo) (Conversion factor) ((ETAF) (Area))
(.464) (.62) (5,464) = 157201

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the Landscape design plan.

Rodney Deccala

12-18-24



6020 WEST OAKS BLVD. SUITE 300. ROCKLIN, CA 95765

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NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

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1	5/22/24	PLAN CHECK
2	10/25/24	PLAN CHECK RESPONSE
3	12/18/24	PLAN CHECK RESPONSE



LANDSCAPE PLAN

DATE: DECEMBER 18, 2024
TAIT JOB #: QQ0034

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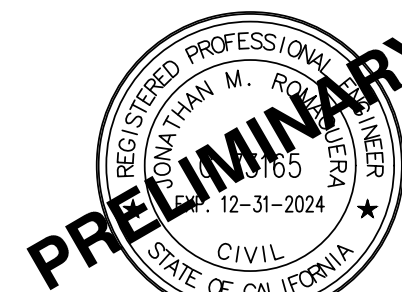
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HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

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#	DATE DESCRIPTION



TAIT
SINCE 1964

11280 TRADE CENTER D
RANCHO CORDOVA, CA
95742
P: (916) 635-2444
www.tait.com



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PLANNING PACKAGE

PRELIMINARY SITE PLAN

SHEET 1 OF 7

A map of the Project Site area. The map shows a network of roads including Camino del Norte, Trade Drive, Signal And, Carmel Ridge Rd, Carmel Rd, Rancho Rd, and Carmel Mountain Rd. A bus stop is marked near the intersection of Trade Drive and Signal And. The Project Site is indicated by a large arrow pointing to a specific location. The map also shows the location of the Carmel Mountain and Rancho areas. A north arrow is present in the top left corner.

ASSESSOR'S PARCEL NUMBER:	313-540-20-00
GROSS SITE AREA:	#43,571 SF (#1.0 ACRES)
FLOOR AREA:	3,826 SF
FLOOR AREA RATIO:	$3,826 / 43,571 = 9\%$
LANDSCAPE AREA:	13,790 SF = 32%
ADDRESS:	12100 WORLD TRADE DRIVE SAN DIEGO, CA 92128

LEGAL DESCRIPTION:	PARCEL 1 OF PARCEL MAP NO. 14678, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 12, 1987 AS FILE NO. 87-079344 OF OFFICIAL RECORDS.
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PROJECT DESCRIPTION:	NEW CONSTRUCTION
SCOPE OF WORK:	CONSTRUCTION OF NEW CAR WASH FACILITY, INCLUDING GRADING, UTILITY SERVICE CONNECTIONS, SURROUNDING PARKING LOT MODIFICATIONS, ETC.

EXISTING ZONING:	CC-3-5 COMMERCIAL COMMUNITY DISTRICT WITHIN THE AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR), AIRPORT INFLUENCE AREA OVERLAY ZONE (MCAS MIRAMAR - REVIEW AREA 2), RESIDENTIAL PARKING TANDEM OVERLAY (RTPDZ) AND THE CARMEL MOUNTAIN RANCH COMMUNITY PLAN
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EXISTING LAND USE:	VACANT / UNDEVELOPED LAND
PROPOSED LAND USE:	CARWASH
GEOLOGIC HAZARD CATEGORY:	SEISMIC ZONE 4
ADJACENT LAND USES:	
NORTH:	SD FIRE RESCUE - STATION 45
EAST:	PARK / BASEBALL
SOUTH:	LIBRARY
WEST:	MERCANTILE (RETAIL)

SETBACKS:	
MINIMUM SIDE:	10'
MINIMUM REAR:	10'

MINIMUM REAR:	10'
FLOODPLAIN:	FLOOD ZONE "X (UNSHADED)"; "AREAS OUTSIDE THE SPECIAL FLOOD HAZARD AREA AND HIGHER THAN THE ELEVATION OF THE 0.2% ANNUAL CHANCE FLOOD" PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV .

PARKING REQUIREMENTS:	4 SPACES PER 1,000 SF OF BUILDING
-----------------------	-----------------------------------

PARKING PROVIDED:	
VACUUM STALLS	17 SPACES
PARKING STALLS	2 SPACES
ADA STALLS	1 SPACE
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	B

PROJECT TEAM:	
CIVIL ENGINEER:	TAIT & ASSOCIATES 11280 TRADE CENTER DRIVE

11280 TRADE CENTER DRIVE RANCHO CORDOVA, CA 95742
--

SURVEYOR:	LATITUDE 33 PLANNING & ENGINEERING 9968 HILBERT STREET, 2ND FLOOR SAN DIEGO, CA 92131
-----------	---

ARCHITECT:	TAIT & ASSOCIATES 1801 LAMPTON LANE NORCO, CA 92860
------------	---

OWNER:	QUICK QUACK CAR WASH 1380 LEAD HILL BOULEVARD #260 ROSEVILLE, CA 95661
--------	--

SHEET INDEX:	1 – PRELIMINARY SITE PLAN
	2 – PRELIMINARY SITE VISIBILITY PLAN
	3 – PRELIMINARY GRADING PLAN
	4 – PRELIMINARY GRADING SECTIONS
	6 – PRELIMINARY WATER QUALITY MANAGEMENT PLAN
	7 – PRELIMINARY WATER QUALITY MANAGEMENT DETAIL

NOTES:

1. NO EASEMENTS SHOWN. AGREEMENT RELATING TO THE INSTALLATION, MAINTENANCE AND POSSIBLE REMOVAL OF 18" PRIVATE STORM DRAIN CONNECTION AS SET FORTH BELOW:

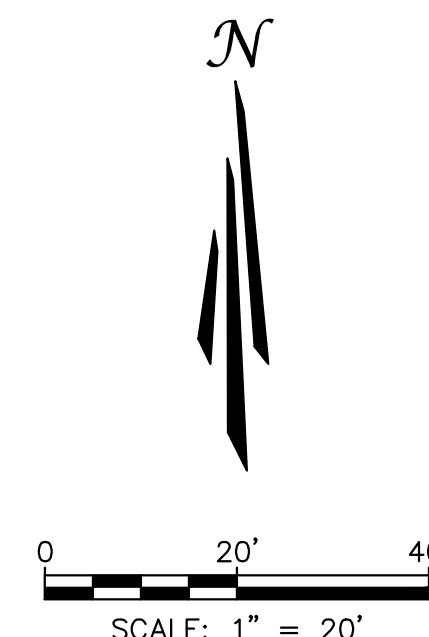
BETWEEN: CITY OF SAN DIEGO
AND: CARMEL MOUNTAIN PROPERTIES, OWNER
RECORDING DATE: MARCH 26, 1987
RECORDING NO: AS INSTRUMENT NO. 87-159407 OF OFFICIAL RECORDS

2. NO EXISTING OR PROPOSED TRANSIT STOPS ADJACENT TO PROJECT.

3. PROVIDED BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

(E)	EXISTING
(P)	PROPOSED
	EXISTING BOULDER
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING TELEPHONE PULLBOX
	EXISTING TELEPHONE RISER
	EXISTING TRAFFIC SIGNAL
	EXISTING TRAFFIC SIGNAL PULLBOX
	EXISTING TREE
	EXISTING WATER VALVE
	FOUND 2" IRON PIPE W/TAG STAMPED "RCE 15795" PER MAP 11568
	FOUND LEAD & DISK STAMPED "RCE 2231" PER PM 14678
	PROPOSED BACKFLOW PREVENTER
	PROPOSED CATCH BASIN
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED WATER METER

————— EXISTING CENTER LINE
 - - - - - EXISTING EASEMENT LINE
 ————— EXISTING LOT LINE
 - - - - - EXISTING PROPERTY LINE
 ————— PROPOSED PROPERTY LINE
 ————— EXISTING ELECTRICAL LINE
 ————— EXISTING SANITARY SEWER LINE
 ————— EXISTING WATER LINE
 ————— PROPOSED IRRIGATION LINE
 ————— PROPOSED SANITARY SEWER LINE
 ————— PROPOSED WATER LINE
 - - - - - ACCESSIBLE PATH OF TRAVEL





6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

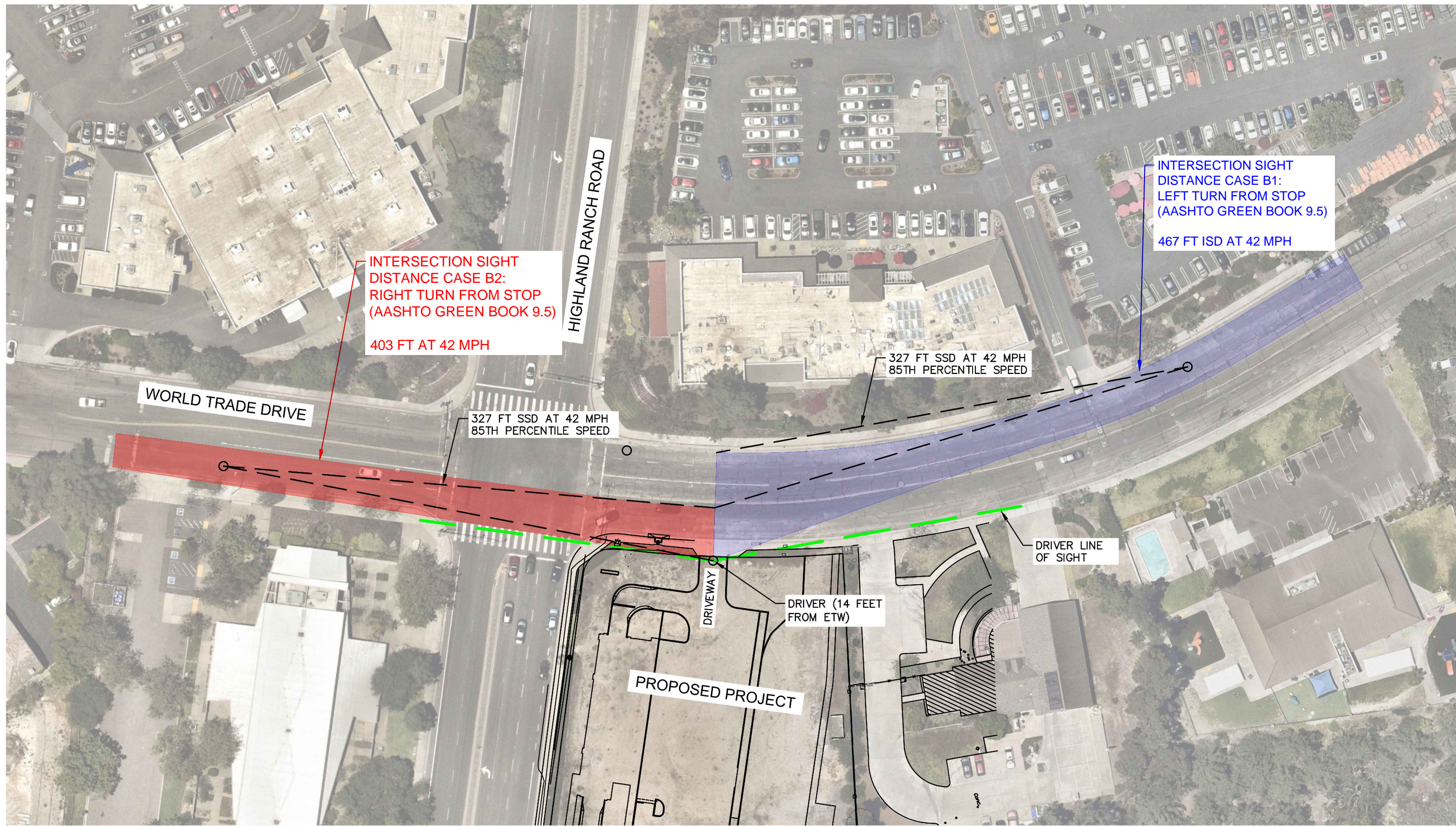
REVISIONS
DATE DESCRIPTION



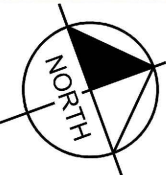
DATE: 1/14/2025
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PLANNING PACKAGE
PRELIMINARY SITE VISIBILITY
PLAN



Kimley»Horn

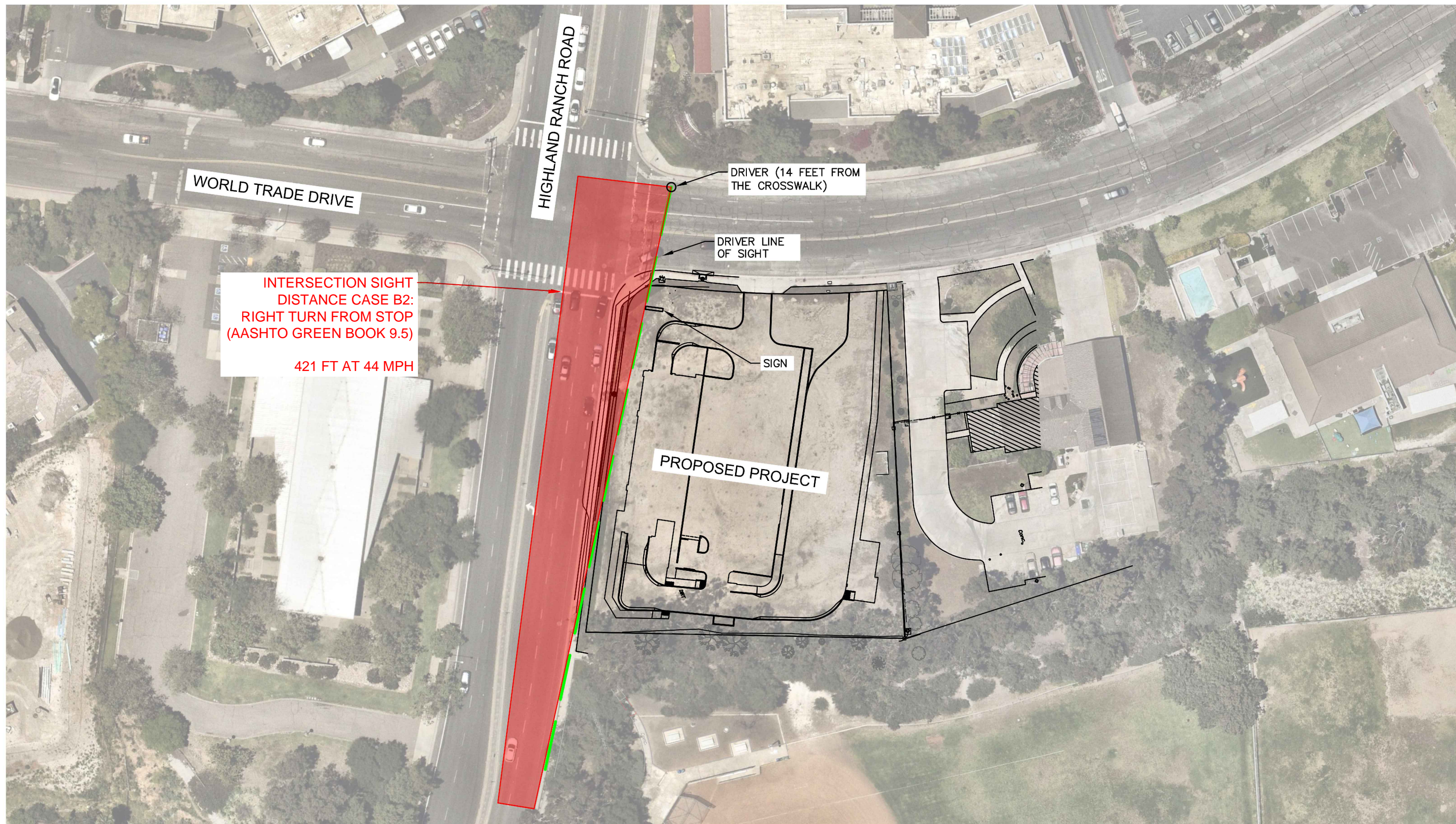


GRAPHIC SCALE IN FEET
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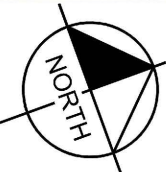
CONCEPT LAYOUT FOR
PLANNING PURPOSES.
NOT FOR CONSTRUCTION

DRIVEWAY SIGHT DISTANCE ANALYSIS

CITY OF SAN DIEGO - QUICK QUACK STORE #48-267



Kimley»Horn

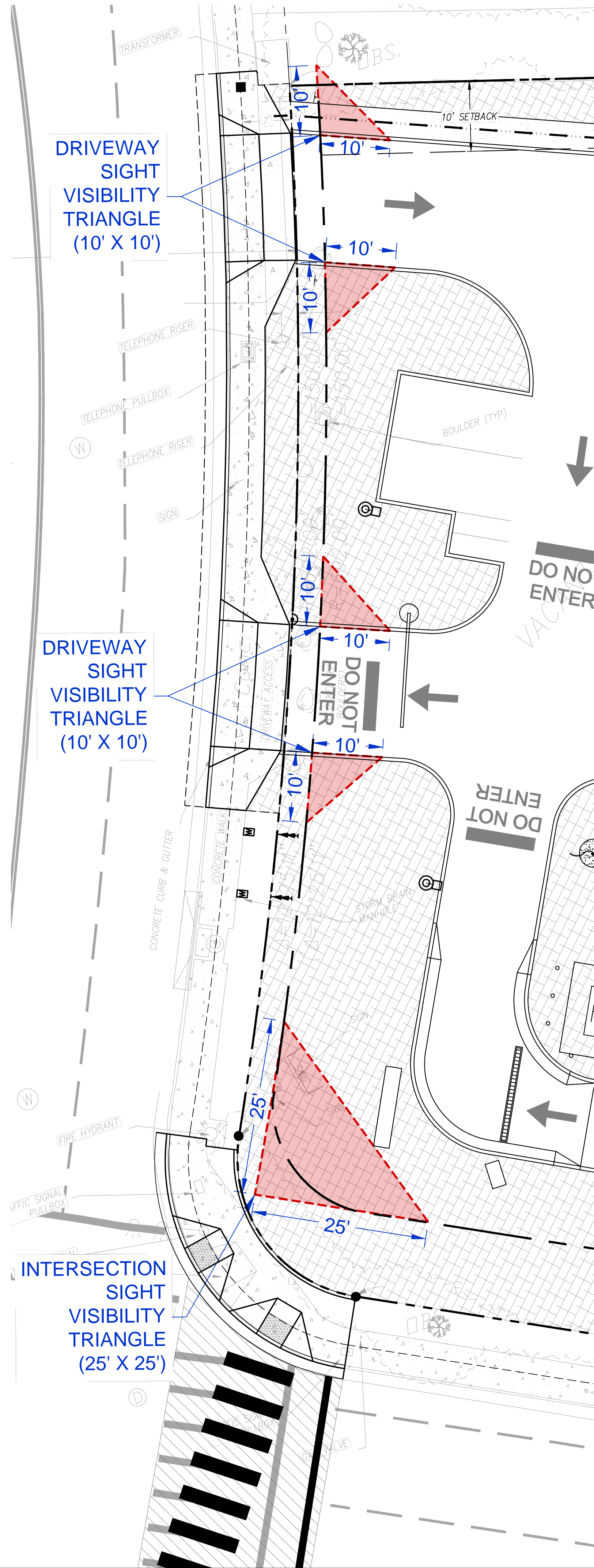


GRAPHIC SCALE IN FEET
0 30 60 120

CONCEPT LAYOUT FOR
PLANNING PURPOSES.
NOT FOR CONSTRUCTION

WORLD TRADE DRIVE - SOUTHBOUND
RIGHT TURN INTERSECTION SIGHT DISTANCE

CITY OF SAN DIEGO - QUICK QUACK STORE #48-267



VISIBILITY TRIANGLE NOTE:
1. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

LEGEND

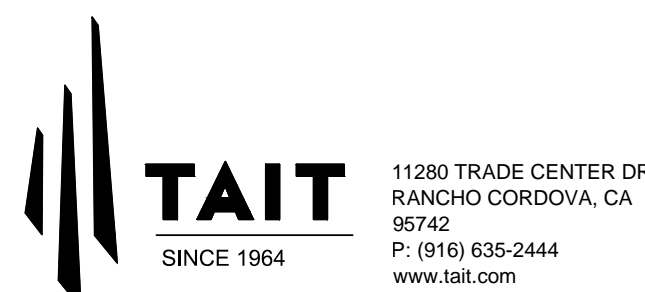
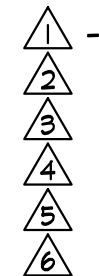
- (E) EXISTING
- (P) PROPOSED
- EXISTING BOULDER
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING TELEPHONE PULLBOX
- EXISTING TELEPHONE RISER
- EXISTING TRAFFIC SIGNAL
- EXISTING TRAFFIC SIGNAL PULLBOX
- EXISTING TREE
- EXISTING WATER VALVE
- FOUND 2" IRON PIPE W/TAG STAMPED "RCE 15795" PER MAP 11568
- FOUND LEAD & DISK STAMPED "RCE 22312" PER PM 14678
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CATCH BASIN
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER METER
- EXISTING CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING LOT LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- VISIBILITY AREA



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
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HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

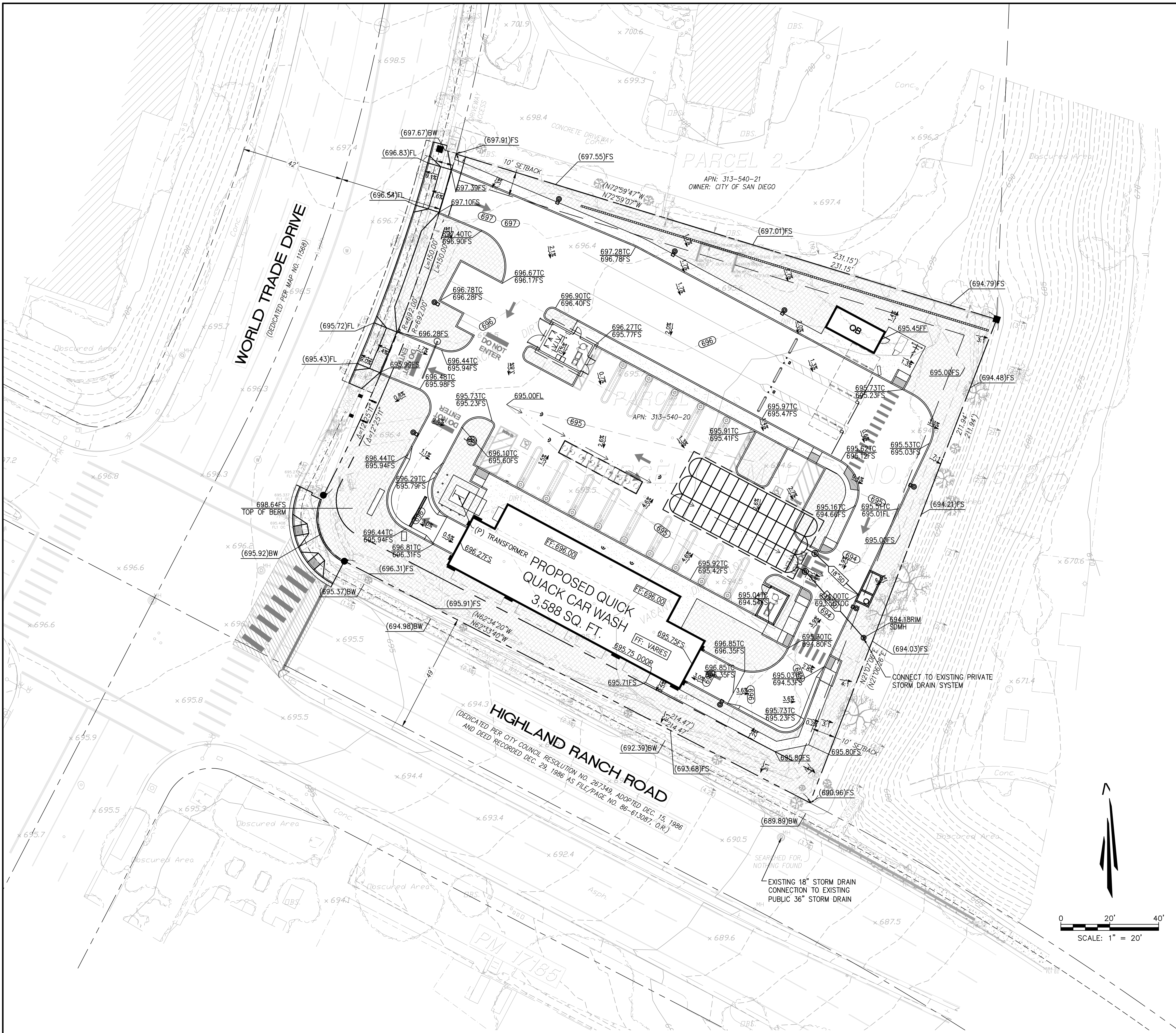
REVISIONS
DATE DESCRIPTION



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PLANNING PACKAGE

PRELIMINARY GRADING PLAN



LEGEND

- BW BACK OF WALK
- (E) EXISTING
- FF FINISH FLOOR
- FS FINISH SURFACE
- FL FLOWLINE
- (P) PROPOSED
- TC TOP OF CURB
- TG TOP OF GRATE

- EXISTING BOULDER
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING TELEPHONE PULLBOX
- EXISTING TELEPHONE RISER
- EXISTING TRAFFIC SIGNAL
- EXISTING TRAFFIC SIGNAL PULLBOX
- EXISTING TREE
- EXISTING WATER VALVE

- FOUND 2" IRON PIPE W/TAG STAMPED "RCE 15795" PER MAP 11568
- FOUND LEAD & DISK STAMPED "RCE 22312" PER PM 14678

- PROPOSED BACKFLOW PREVENTER
- PROPOSED CATCH BASIN
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER METER
- EXISTING ELEVATION

- PROPOSED ELEVATION
- DRAINAGE ARROWS

- EXISTING CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING LOT LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE

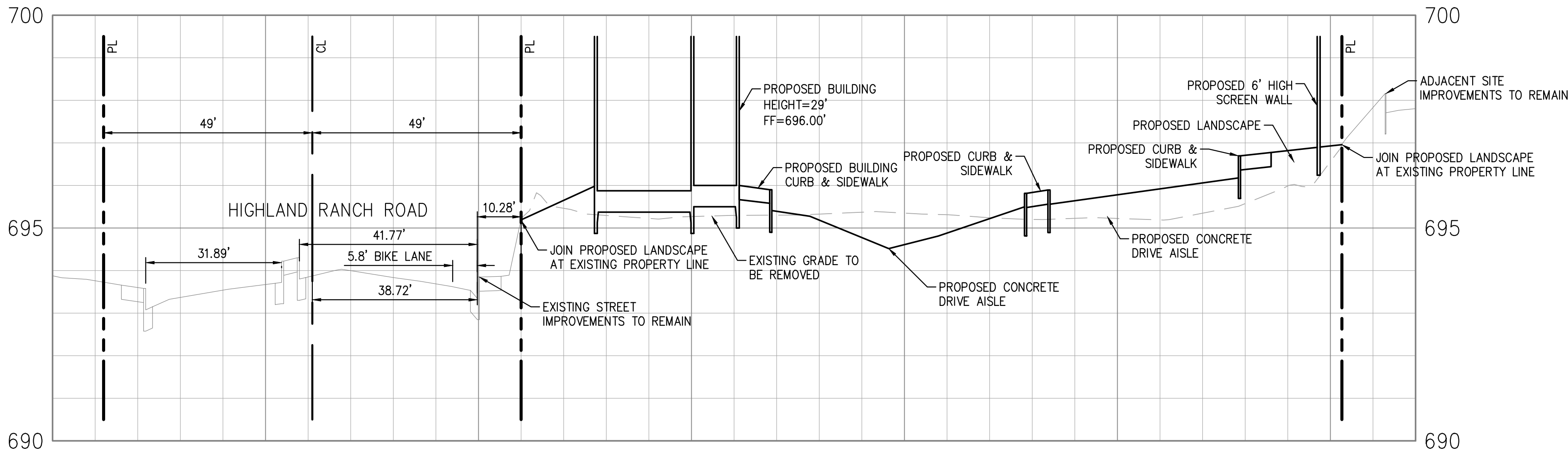
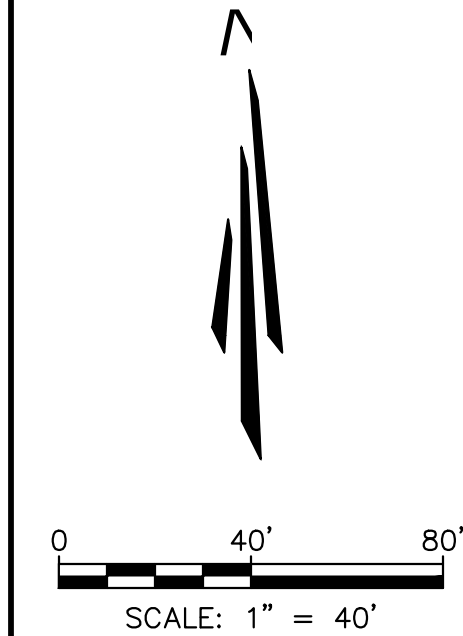
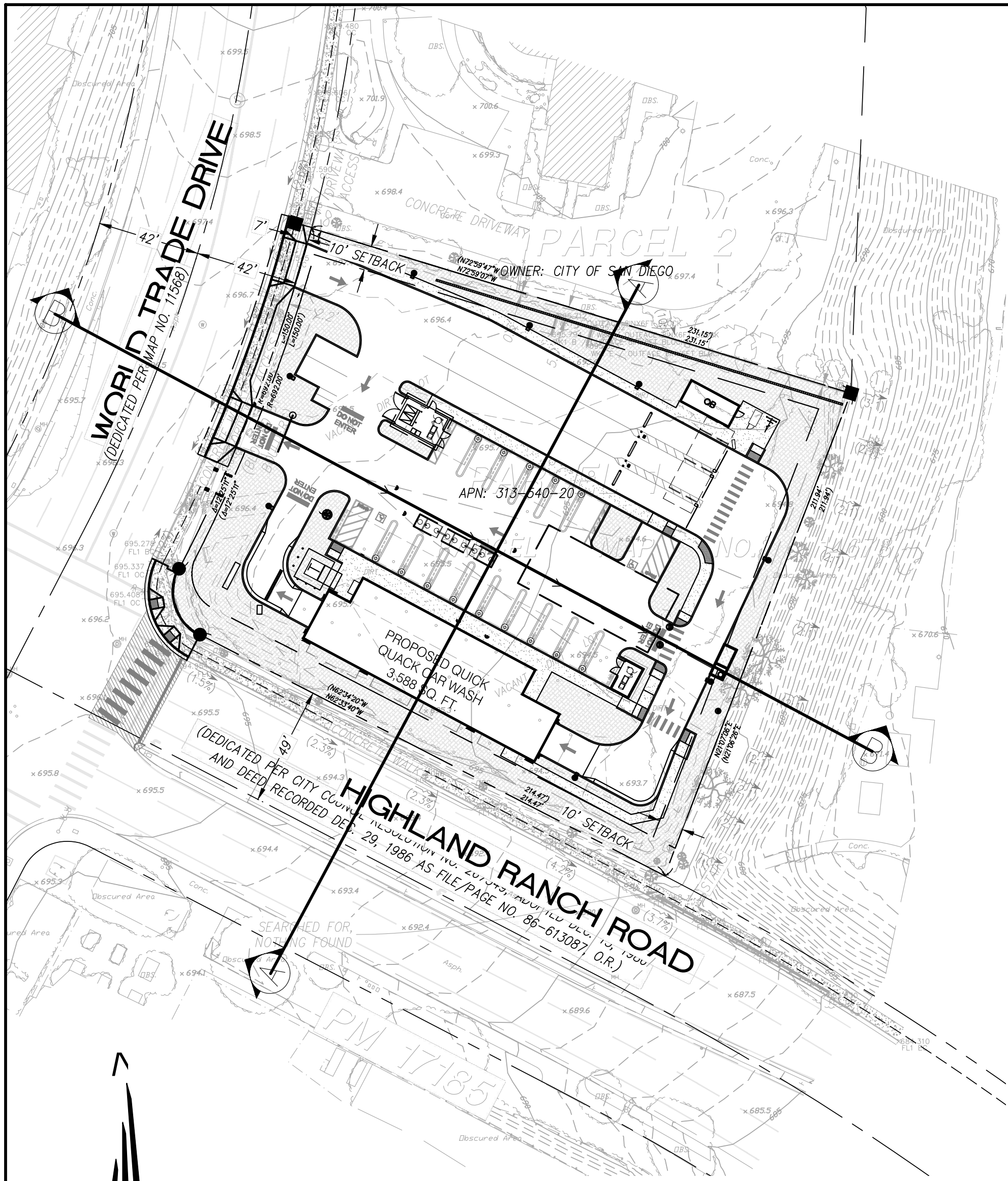
- PROPOSED CONCRETE SIDEWALK

- PROPOSED LANDSCAPE AREA

PRELIMINARY GRADING TABULATIONS

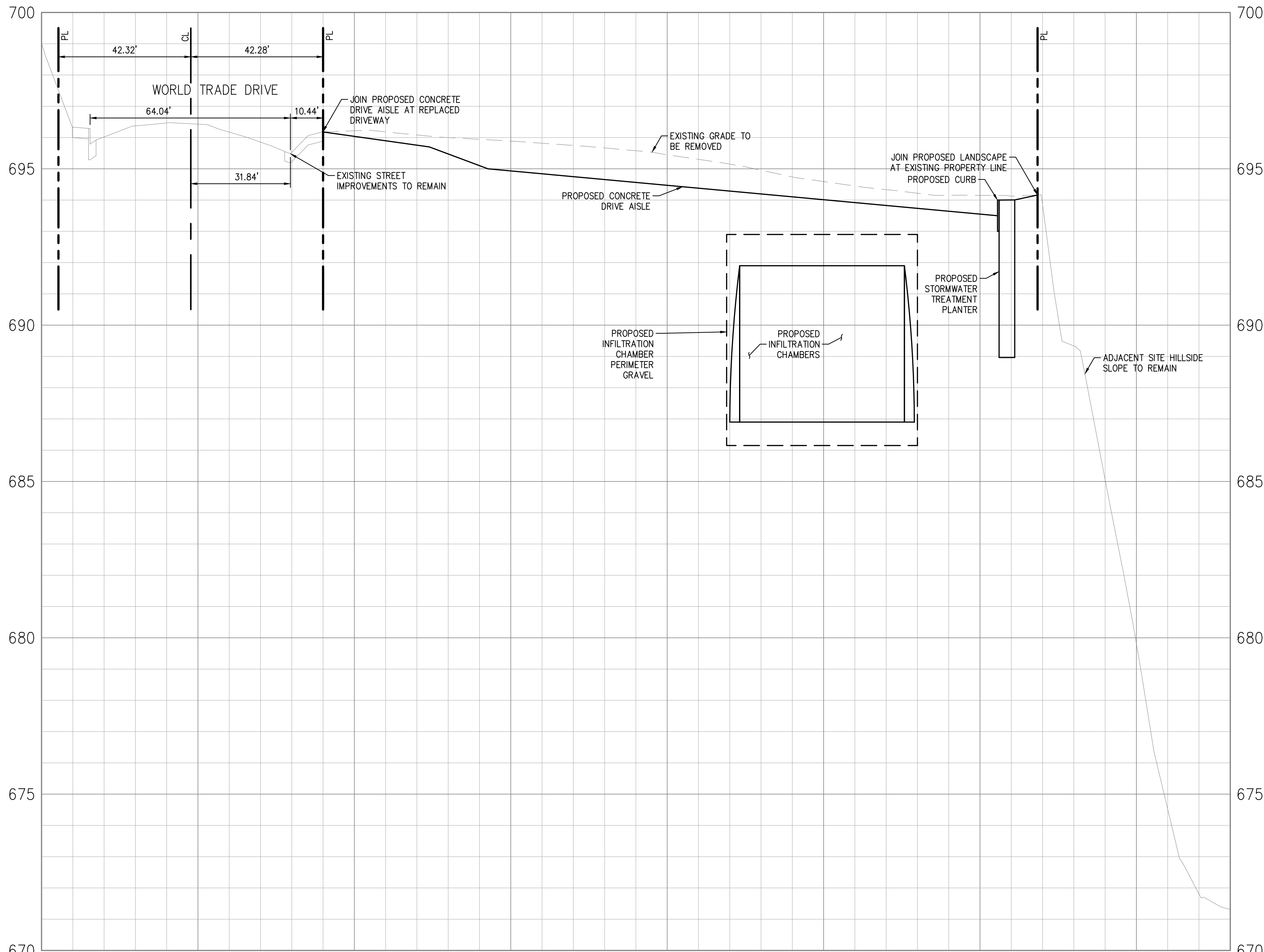
TOTAL AMOUNT OF SITE TO BE GRADED: 43,571 SF (1.00 ACRES)
% OF TOTAL SITE: 100%
AMOUNT OF CUT: 230 CY
MAXIMUM DEPTH OF CUT: 0.9 FEET
AMOUNT OF FILL: 474 CY
MAXIMUM DEPTH OF FILL: 3.0 FEET
MAXIMUM HEIGHT OF FILL SLOPES: 3:1
MAXIMUM HEIGHT OF CUT SLOPES: 10:1
AMOUNT OF IMPORT SOIL: 244 CY
RETAINING WALLS: N/A
LENGTH: N/A
MAXIMUM HEIGHT: N/A

NOTE: THE QUANTITIES AS SHOWN HEREON ARE FOR PERMIT AND/OR BONDING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES PRIOR TO THE START OF GRADING AND ACCOUNT FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING ANY DEFICIENCIES TO BRING TO DESIGN GRADE.



SECTION AA

HORIZONTAL SCALE: 1"=20'-0"
VERTICAL SCALE: 1"=2'-0"



SECTION BB

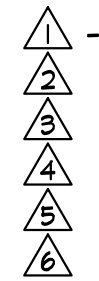
HORIZONTAL SCALE: 1"=20'-0"
VERTICAL SCALE: 1"=2'-0"



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS
DATE DESCRIPTION



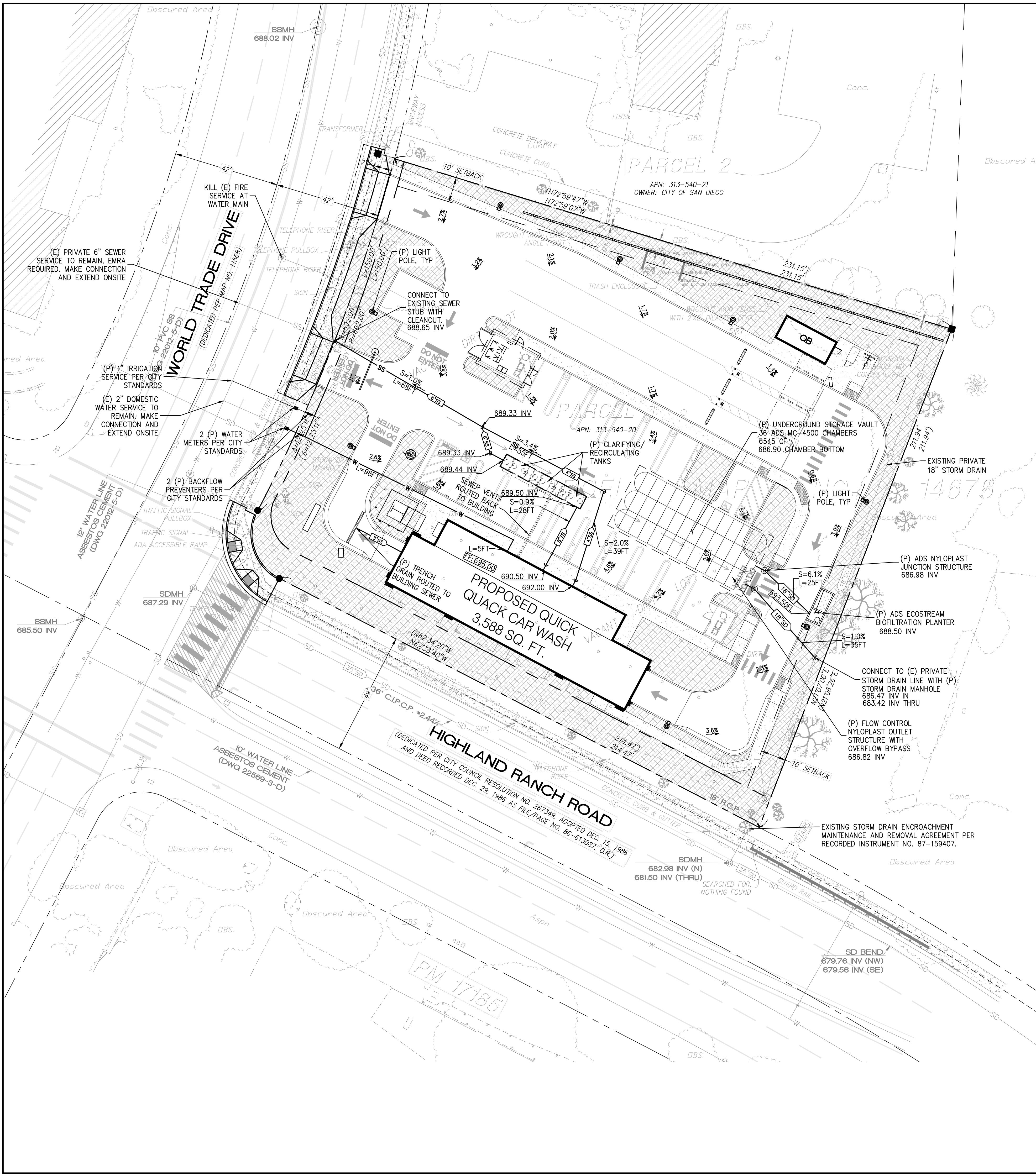
11280 TRADE CENTER DR.
RANCHO CORDOVA, CA
95742
P: (916) 635-2444
www.tait.com



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PLANNING PACKAGE
PRELIMINARY GRADING
SECTIONS



LEGEND

- (E) EXISTING
- (P) PROPOSED
- EXISTING BOULDER
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING TELEPHONE PULLBOX
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- EXISTING LOT LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING ELECTRICAL LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED IRRIGATION LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE



0 20' 40'
SCALE: 1" = 20'



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STORE #: 48-267
NE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS	DATE	DESCRIPTION
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TAIT
SINCE 1964
11280 TRADE CENTER DR.
RANCHO CORDOVA, CA
95742
P: (916) 635-2444
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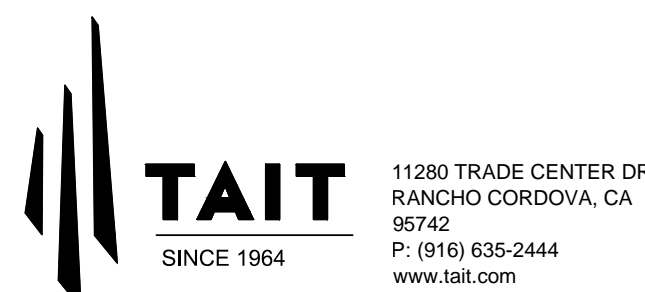
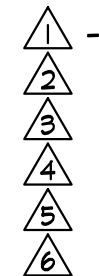
PLANNING PACKAGE
PRELIMINARY UTILITY PLAN



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PLANNING PACKAGE
PRELIMINARY WATER QUALITY
MANAGEMENT PLAN

SITE SURFACES					
TYPE	IMPERVIOUS AREA [SQFT]	PERVIOUS AREA [SQFT]	COMBINED AREA [SQFT]	COMBINED AREA [AC]	DRAINS TO
EXISTING SITE (PROPERTY)	0	43571	43571	1.00	OFFSITE
DMA-1	29685	7799	37485	0.86	BMP-1
DMA-2	0	4342	4342	0.10	SELF MITIGATING; OFFSITE
DMA-3	0	1743	1743	0.04	SELF MITIGATING; PUBLIC ROW
TOTAL ONSITE	29685	13885	43570	1.00	
DMA-4 (OFFSITE DISTURBANCE)	1616	297	1913	0.04	PUBLIC ROW
TOTAL PROPOSED	31302	14181	45483	1.04	

"C" RUNOFF COEFFICIENTS					
	C - LANDSCAPE*	C - HARDSCAPE*	EXISTING SITE ADJUSTED C	PROPOSED SITE ADJUSTED C	
	0.10	0.90	0.29	0.65	

STORMWATER TREATMENT			
85TH PERCENTILE 24-HOUR RAINFALL DEPTH [INCHES]	DESIGN CAPTURE VOLUME (DCV) [CUFT]	UNDERGROUND STORM WATER INFILTRATION VAULT VOLUME [CUFT]	REQUIRED TREATMENT FLOW [CFS]
0.66	1512	6545	0.189

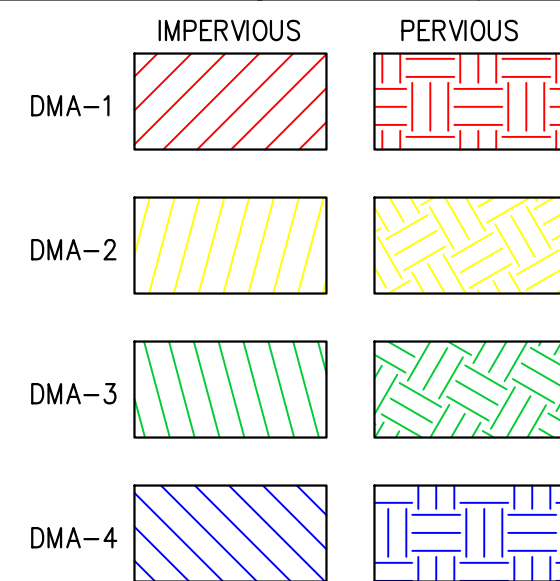
HYDROLOGY				RETENTION	
2-YEAR RECURRENCE INTERVAL DISCHARGE [CFS]	10-YEAR RECURRENCE INTERVAL DISCHARGE [CFS]	REQUIRED HYDROLOGIC STORAGE VOLUME [CUFT]	UNDERGROUND STORM WATER INFILTRATION VAULT VOLUME [CUFT]	REQUIRED RETENTION VOLUME PER WORKSHEET B.5-2 [CUFT]	DESIGN RETENTION VOLUME, STORED IN BASE GRAVEL OF INFILTRATION VAULT [CUFT]
0.32	0.65	4051	6545	425	489

FLOW CONTROL					
2-YEAR RECURRENCE INTERVAL DISCHARGE [CFS]	PROPOSED MITIGATED OUTFLOW [CFS]	ORIFICE DIAMETER [IN]	WEIR V-NOTCH HEIGHT (FROM TOP) [FT]	WEIR V-NOTCH ANGLE	
0.32	0.03	0.75	1.75	30°	

STORMWATER DEVICES					
BMP-#	TYPE/PURPOSE	MANUFACTURER	MODEL	FEATURES	
BMP-1	WATER QUALITY TREATMENT PLANTER BOX	ADVANCED DRAINAGE SYSTEMS (ADS)	ECOPURE BIOFILTER 120	PROVIDED WATER QUALITY FLOW RATE = 0.27 CFS	
BMP-2	UNDERGROUND INFILTRATION STORAGE VAULT	ADVANCED DRAINAGE SYSTEMS (ADS)	MC-4500; 36 CHAMBERS	STORAGE VOLUME = 6545 CUFT	INFILTRATION AREA = 1629 SF
BMP-3	FLOW CONTROL MANHOLE, WEIR WITH ORIFICE	ADVANCED DRAINAGE SYSTEMS (ADS)	30" NYLOPLAST MANHOLE W/ WEIR PLATE	MITIGATED OUTFLOW = 0.03 CFS	OVERFLOW CAPACITY = 7.45 CFS

*PER TABLE B.1-1 OF THE CITY OF SAN DIEGO BMP DESIGN MANUAL

LEGEND

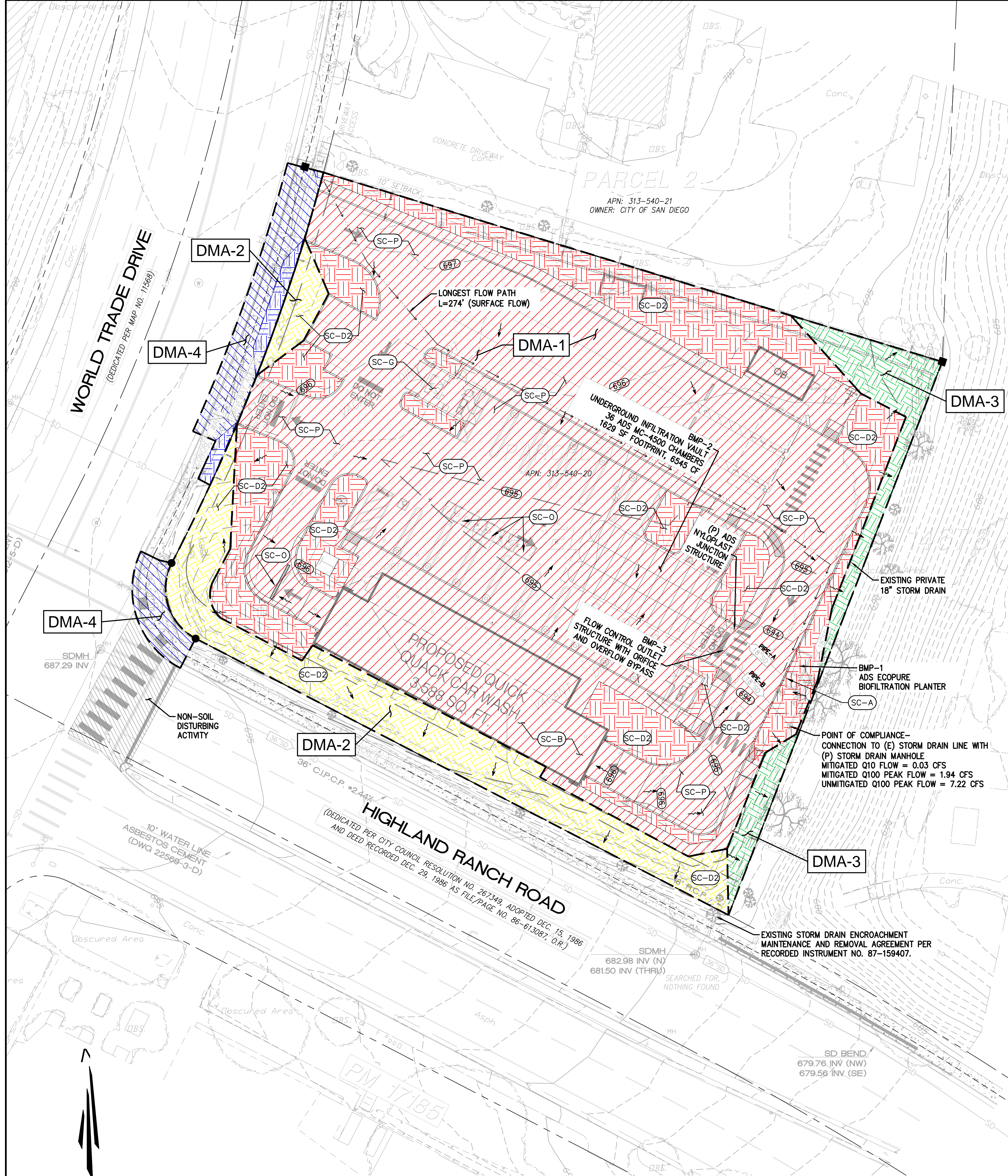


UNDERLYING HYDROLOGIC SOIL GROUP: C

APPROXIMATE DEPTH TO GROUNDWATER: NONE ENCOUNTERED ABOVE 20' BELOW GROUND SURFACE.
GROUNDWATER IS ESTIMATED TO BE APPROXIMATELY 50' BELOW GROUND SURFACE.

EXISTING NATURAL HYDROLOGIC FEATURES: NONE

CRITICAL COARSE SEDIMENT YIELD AREAS: NONE



POTENTIAL SOURCE CONTROL:

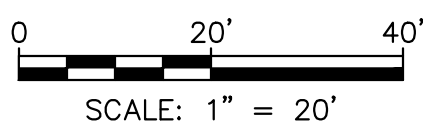
- SC-A ONSITE STORM DRAIN INLETS
- SC-B INTERIOR FLOOR DRAINS AND ELEVATOR SUMP PUMPS
- SC-D2 LANDSCAPE/OUTDOOR PESTICIDE USE
- SC-G REFUSE AREAS
- SC-O MISC. DRAIN OR WASH WATER, BOILER DRAIN LINES, ROOFTOP EQUIPMENT, DRAINAGE SUMPS, ROOFING, GUTTERS AND TRIM
- SC-P SIDEWALKS AND PARKING DRIVEWAYS

EXISTING SITE CONDITIONS:

- SITE DESCRIPTION: PREVIOUSLY GRADED BUT VACANT
- UNDERLYING HYDROLOGIC SOIL GROUP: NRCS TYPE C
- APPROXIMATE DEPTH TO GROUNDWATER: >20FT
- EXISTING NATURAL HYDRAULIC FEATURES: NONE
- CRITICAL COARSE SEDIMENT YIELD AREAS: NONE
- EXISTING PERVIOUS AREA: 1 ACRE
- EXISTING IMPERVIOUS AREA: NONE

STORMWATER NOTES:

- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.



ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS				
	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	ASHTO M141 ¹ A-1, A-2.4, A-3 OR ASHTO M43 ¹ 3, 3S7, 4, 4S7, 5, 5S, 57, 6, 67, 68, 7, 7S, 8, 8S, 9, 10	BEGIN COMPACTORS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX. LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" (CHAMBER CLASSIFICATION 60x10x12).



1. 4000 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

2. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.

3. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

5. REQUIREMENTS FOR HANDLING AND INSTALLATION:

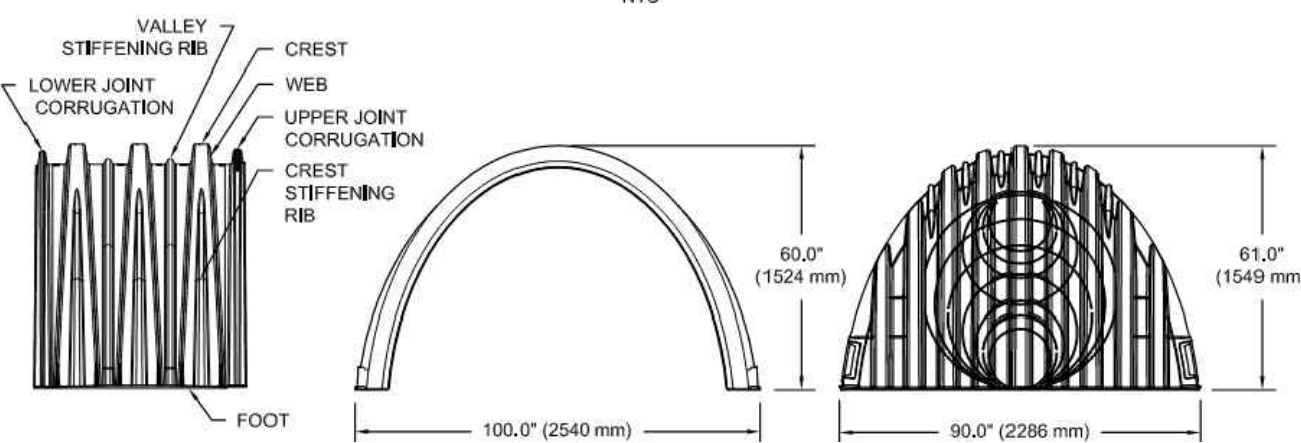
- a) TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
- b) TO ENSURE A SECURE JUNT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1/4".
- c) TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, *a* THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.5 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN.²
- d) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

 HILLIARD DESIGN SERVICES, INC. 4640 TRUHEMAN BLVD HILLIARD, OH 43026	 STORMTECH <small>Stormwater Management Technology</small> 10000 ROCKY CREEK RD. SUITE 100 COLUMBUS, OH 43240 TEL: 614.882.8210 FAX: 614.882.8200 WWW.STORMTECH.COM	DATE: 05-15-19	PROJECT #:	MC-4500
		DRAWN: KR	CHECKED: KR	STANDARD CROSS SECTION



PLAN VIEW

MC-4500 TECHNICAL SPECIFICATION



ECOPURE TREATMENT RATE	
UNIT SIZE (FT. (m))	CFS (L/s)*
4X8 (1.2 X 2.4)	0.134 (3.8)
5X8 (1.5 X 4.0)	0.134 (3.8)
5X13 (1.5 X 4.0)	0.27 (7.6)
5X20 (1.5 X 6.1)	0.4 (11.3)
10X13 (3.0 X 4.0)	0.53 (15.0)
10X20 (3.0 X 6.1)	0.8 (22.7)
CUSTOM	CUSTOM

* BASED ON NJCAT/DEP FILTRATION TESTING PROTOCOL.

ISOLATOR ROW PLUS FLOW RATES			
CHAMBER MODEL	SURFACE LOADING RATE GPM/FT ² (L/S/m ²)	EFFECTIVE FILTRATION TREATMENT AREA FT ² (m ²)	MTFR CFS (L/S)
SC-160	4.13 (2.8)	11.45 (1.064)	0.11 (2.983)
SC-310	4.13 (2.8)	17.7 (1.644)	0.16 (4.612)
SC-740	4.13 (2.8)	27.8 (2.583)	0.26 (7.244)
DC-780	4.13 (2.8)	27.8 (2.583)	0.26 (7.244)
SC-800	4.13 (2.8)	27.3 (2.541)	0.25 (7.128)
MC-3500	4.13 (2.8)	42.9 (3.986)	0.40 (11.178)
MC-4500	4.13 (2.8)	30.1 (2.796)	0.28 (7.843)
MC-7200	4.13 (2.8)	50.0 (4.645)	0.46 (13.028)

* PER CHAMBER LOADING RATES BASED ON NJCAT VERIFICATION TESTING OF THE STORMTECH SC-740 ISOLATOR ROW PLUS IN ACCORDANCE WITH NJDEP LABORATORY PROTOCOL TO ACCESS TOTAL SUSPENDED SOLIDS REMOVAL BY FILTRATION MANUFACTURED TREATMENT DEVICES, 2013.



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(7) INTEGRATED DUCTILE IRON FRAME & SOLID COVER TO MATCH BASIN O.D.

(5) ADAPTER ANGLES VARIABLE 0° - 30° ACCORDING TO PLANS

(6) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 30" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SOVER (EX: SDR 35), PVC DWW (EX: SCH 40), PVC C300/C305, CORRUGATED & RIBBED PVC

FIRST-FLUSH OUTLET

INLET PIPE

HIGH-FLOW/SECONDARY OUTLET

24" - 30" FRAME & SOLID COVER

(1) 24" - 30" DRAIN BASIN BODY

INLET PIPE

(1) OUTLET WEIR

WEIR HEIGHT = 6.75 FT
ORIFICE: 0.75 IN Ø BOTTOM
V-NOTCH HEIGHT: 5 FT FROM BOTTOM
V-NOTCH ANGLE: 30°

1 - WEIR AVAILABLE FOR ALL 24" - 30" STRUCTURE OPTIONS (CUSTOM BASIN, ROAD & HIGHWAY, & CURB INLET)

2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. DIMENSIONS ARE NOTED FOR BASIN DRAINAGE RESTRICTIONS.


THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

SIDE SECTION & TOP VIEW:
ENLARGED TO SHOW DETAIL.

WEIR HEIGHT = 6.75 FT
ORIFICE: 0.75 IN @ BOTTOM
V-NOTCH HEIGHT: 5 FT FROM BOTTOM
V-NOTCH ANGLE: 30°

1. WEIR AVAILABLE FOR ALL 24" - 30" STRUCTURE OPTIONS (CUSTOM BASSIN, ROAD & HIGHWAY, & CURB JUMP).
2. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE REQUIRED FOR BASINS OVER 8'4" DUE TO SHIPPING RESTRICTIONS (MAXIMUM LENGTH AND WIDTH 16'0" EACH).
3. HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. **WEIR HEIGHT CANNOT EXCEED 8'4" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.**
4. WEIR MANUFACTURED TO MINIMIZE LOSS OF OPEN TOP OPEN AREA.
5. ADJUSTERS TO BE PROVIDED FOR ANY ANGLE UP TO 30° TO DETERMINE MINIMUM LENGTH BETWEEN ADJUSTERS (SEE DRAWING NO. 17001-110U-01).
6. DRAINAGE CONNECTION STUB JOINT THIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADD N=12HANCOR DUAL WALL).
7. N=12 HP, 3" B.P. SEWER (8" - 24").
8. FRAMES, GRATES, COVERED HOLES, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A336 GRADE 70-50-05.

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DRAWN BY NMH		MATERIAL		 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-8609 www.nyloplast-usa.cc	
DATE	9-19-16				
APP'D BY NMH		PROJECT NO./NAME		TITLE	
DATE	9-19-16			DRAIN BASIN WITH STRAIGHT W/RE QUICK SECT INSTALLATION DETAIL.	
DWG SIZE	A	SCALE	1:40	SHEET	1 OF 1
DWG NO.				7004-119-134	REV A

PART B			
STUB	STUB	B	C
MC4500EPP0P02	6" (150 mm)	42.54" (1081 mm)	—
MC4500EPP0P06	8" (200 mm)	—	0.86" (22 mm)
MC4500EPP0P07	8" (200 mm)	40.50" (1029 mm)	—
MC4500EPP0P08	—	—	1.01" (26 mm)
MC4500EPP0P10T	10" (250 mm)	38.37" (975 mm)	—
MC4500EPP0P10B	10" (250 mm)	—	1.33" (34 mm)
MC4500EPP0P12T	12" (300 mm)	35.69" (907 mm)	—
MC4500EPP0P12B	12" (300 mm)	—	1.55" (39 mm)
MC4500EPP1P15T	15" (375 mm)	32.72" (831 mm)	—
MC4500EPP1P15B	15" (375 mm)	—	1.70" (43 mm)
MC4500EPP0P18T	18" (450 mm)	29.36" (746 mm)	—
MC4500EPP1P18B	18" (450 mm)	—	1.97" (50 mm)
MC4500EPP1P18W	18" (450 mm)	—	—
MC4500EPP0P24T	24" (600 mm)	23.05" (585 mm)	—
MC4500EPP2P24TW	24" (600 mm)	—	2.26" (57 mm)
MC4500EPP2P24B	24" (600 mm)	—	2.95" (76 mm)
MC4500EPP2P24W	30" (750 mm)	—	2.95" (76 mm)
MC4500EPP3P36W	36" (900 mm)	—	3.25" (83 mm)
MC4500EPP4P26W	42" (1050 mm)	—	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

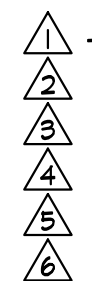
CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC4 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #: 48-267
ONE CORNER OF WORLD
TRADE DR. AND
HIGHLAND RANCH RD.
SAN DIEGO, CA 92128

REVISIONS	
#	DATE DESCRIPTION



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SINCE 1964

11280 TRADE CENTER D
RANCHO CORDOVA, CA
95742
P: (916) 635-2444
www.tait.com

DATE: 1/30/2025
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PLANNING PACKAGE

PRELIMINARY WATER QUALITY MANAGEMENT DETAILS

SHEET 7 OF 7