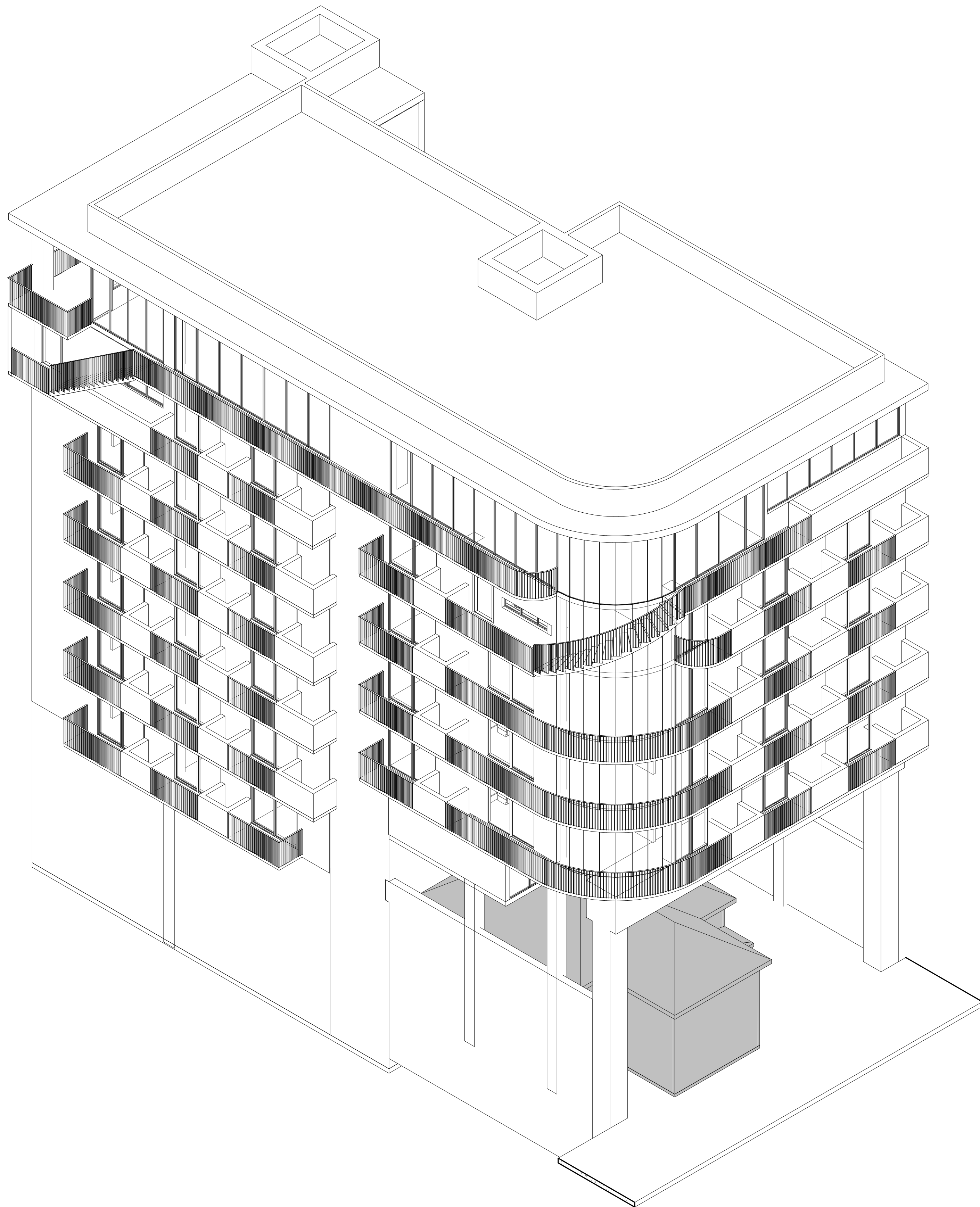
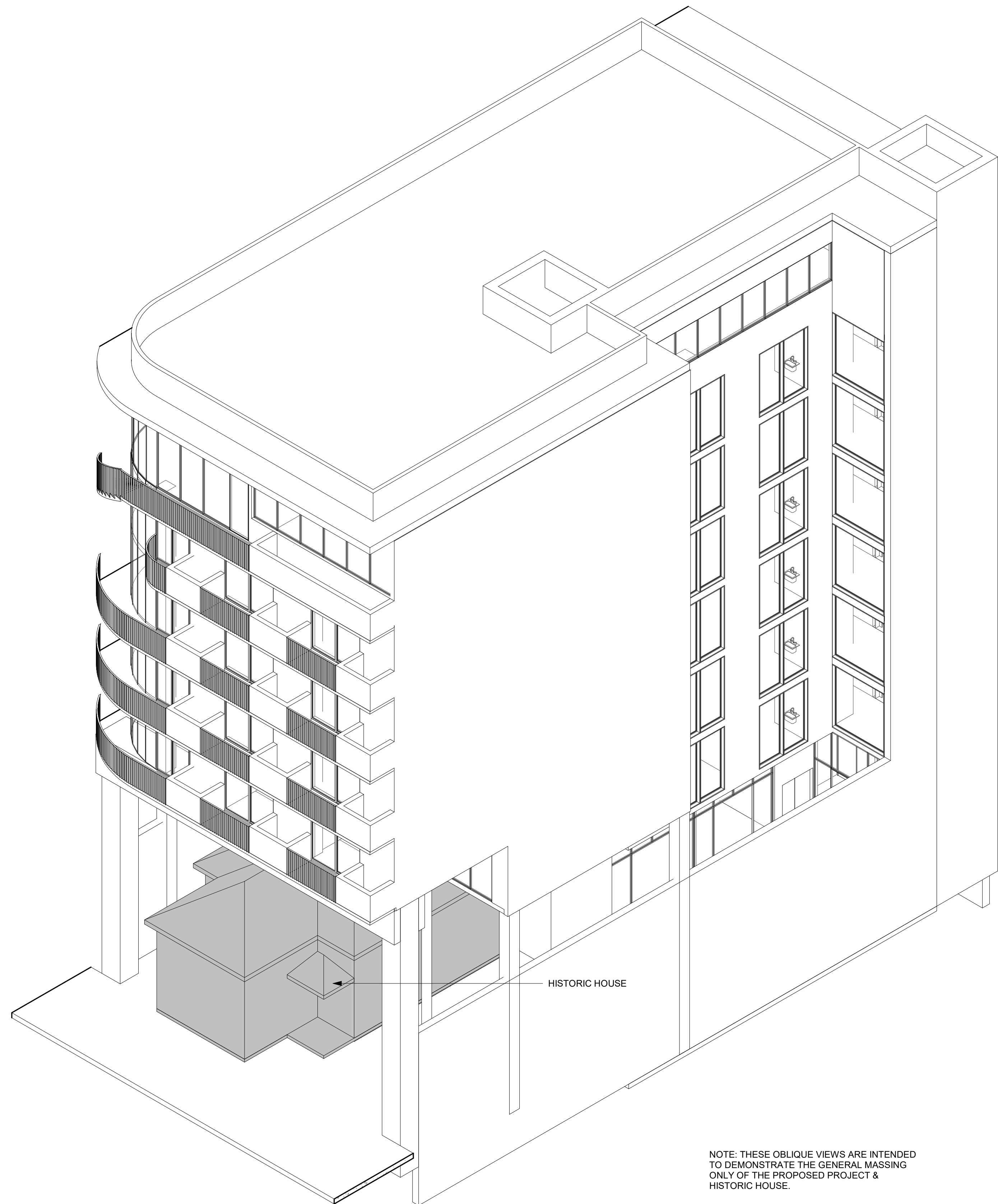


CELINE

GENERAL NOTES		CLIMATE ACTION PLAN REQUIREMENTS	PROJECT DATA	SHEET INDEX	RESIDENTIAL DEVELOPMENT REQS																																																																																																																																																																																																																																																																							
1. THE SPECIFICATIONS, INCLUDED HEREWITH, ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH. 2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHAL, THE CITY OF SAN DIEGO BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: • 2024 CALIFORNIA BUILDING CODE (BASED ON THE 2009 IBC) • 2024 CALIFORNIA ELECTRICAL CODE • 2024 CALIFORNIA MECHANICAL CODE • 2024 CALIFORNIA PLUMBING CODE • 2024 CALIFORNIA ENERGY CODE • 2022 CALIFORNIA FIRE CODE • 2024 CALIFORNIA GREEN BUILDING CODE 3. AMERICANS WITH DISABILITIES ACT THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA- TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO. REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM.WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATING REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES, CONFLICT, THE MORE STRINGENT SHALL APPLY. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM THE BUILDING OFFICIALS AND THE LOCAL FIRE MARSHAL BEFORE THE BUILDING IS OCCUPIED. FIRE DEPT. APPROVAL SHALL BE REQUESTED PRIOR TO FRAMING INSPECTION. 4. CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL, ELECTRICAL ITEMS, ETC.(WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONSOR DISCREPANCIES. 5. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE AFOREMENTIONED CODES. 6. THIS PROJECT IS REQUIRED TO MEET THE REQUIREMENTS IN CFC SECTION 510 FOR EMERGENCY RESPONDER RADIO COVERAGE. 7. IF THIS BUILDING DOES NOT MEET THE SIGNAL STRENGTH REQS IN 95% OF ALL AREAS ON EA FLOOR, AN APPROVED ERRCS WILL BE PROVIDED TO ACHIEVE THE REQD COVERAGE. 8. THE PROJECT MUST COMPLY WITH SAN DIEGO MUNICIPAL CODE SECTION 59.5.0404 LIMITING THE HOURS OF ALLOWABLE CONSTRUCTION ACTIVITIES & ESTABLISHING PERFORMANCE STANDARDS FOR CONSTRUCTION NOISE. COMPLIANCE WITH THIS ORDINANCE WILL AVOID CONSTRUCTION NOISE IMPACTS.		CAP STRATEGIES 1. COOL/GREEN ROOFS PROJECT TO INCLUDE A COMBINATION OF ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION & THERMAL EMITTANCE OR SRI EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTARY MEASURES UNDER CGBSC AND A THERMAL MASS OVER THE ROOF MEMBRANE, INCLUDING AREAS OF VEGETATED (GREEN) ROOFS, WEIGHING AT LEAST 25 POUNDS PER SQ. FT. AS SPECIFIED IN THE VOLUNTARY MEASURES UNDER CGBSC 2. PLUMBING FIXTURES AND FITTINGS KITCHEN FAUCETS: MAX. FLOW RATE 1.5 GPM AT 60 PSI STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE; COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE; AND CLOTHES WASHERS: WATER FOACTOR OF 6 GAL./CUBIC FEET OF DRUM CAPACITY 4. ELECTRIC VEHICLE CHARGING NOT APPLICABLE, NO PARKING PROVIDED 5. BICYCLE PARKING SPACES COMMERCIAL SPACES (SHORT TERM): REQ'D = 2, PROVIDED = 2 COMMERCIAL SPACES (LONG TERM): REQ'D = 1, PROVIDED = 1(< 11 FULL TIME EMPLOYEES) RESIDENTIAL SPACES: ONE BIKE PARKING SPACE WILL BE PROVIDED IN EACH UNIT 6. SHOWER FACILITIES NOT APPLICABLE, < 10 TENANT OCCUPANTS 7. DESIGNATED PARKING SPACES RESIDENTIAL PARKING SPACED REQ'D BY PERMIT, 0 DESIGNATED PARKING SPACES REQ'D 8. TRANSPORTATION DEMAND MANAGEMENT PROGRAM NOT APPLICABLE, < 50 TENANT OCCUPANTS ABBREVIATIONS<table><tr><td>AC</td><td>ASPHALT CONCRETE</td><td>FD</td><td>FLOOR DRAIN</td><td>PL</td><td>PLATE/PROPERTY LINE</td></tr><tr><td>AD</td><td>ACOUSTICAL CEILING TILE</td><td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>PL LAM</td><td>PLASTIC LAMINATE</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>FIN</td><td>FINISH</td><td>PLYD</td><td>PLYWOOD</td></tr><tr><td>ALT</td><td>ALTERNATE</td><td>FLR</td><td>FLOOR</td><td>POL</td><td>POLISHED</td></tr><tr><td>AP</td><td>ACCESS PANEL</td><td>FLR</td><td>FLOOR</td><td>PT</td><td>PRESSURE TREATED</td></tr><tr><td>ARCH</td><td>ARCHITECT</td><td>FT</td><td>FEET</td><td>PNT</td><td>PAINTED</td></tr><tr><td>BD</td><td>BOARD</td><td>FURR</td><td>FURRING</td><td>QTY</td><td>QUANTITY</td></tr><tr><td>BLDG</td><td>BUILDING</td><td>GA</td><td>GAUGE</td><td>R</td><td>RADIUS</td></tr><tr><td>BLDG</td><td>BLOCKING</td><td>GB</td><td>GALV</td><td>RD</td><td>ROOF DRAIN</td></tr><tr><td>BM</td><td>BEAM</td><td>GL</td><td>GLASS</td><td>REF</td><td>REFERENCE</td></tr><tr><td>BOT</td><td>BOTTOM</td><td>GSM</td><td>GALVANIZED SHT. METAL</td><td>REFIN</td><td>REFINISHING</td></tr><tr><td>CAB</td><td>CABINET</td><td>GYP</td><td>GYP</td><td>RM</td><td>ROOM</td></tr><tr><td>C.A.P.</td><td>CLIMATE ACTION PLAN</td><td>HDR</td><td>HEADER</td><td>RO</td><td>ROUGH OPENING</td></tr><tr><td>CAR</td><td>CARPET</td><td>HDR</td><td>HDWD</td><td>RUB</td><td>RUBBER</td></tr><tr><td>CEM</td><td>CEMENT</td><td>HDR</td><td>HDWD</td><td>SC</td><td>SOLID CORE</td></tr><tr><td>CL</td><td>CENTERLINE</td><td>HDR</td><td>HDWD</td><td>SCHED</td><td>SCHEDULE</td></tr><tr><td>CLG</td><td>CEILING</td><td>HDR</td><td>HDWD</td><td>SCHD</td><td>SCHEDULE</td></tr><tr><td>CLR</td><td>CLEAR</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHOWER</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>HDR</td><td>HDWD</td><td>SHT</td><td>SHEET</td></tr><tr><td>CTR</td><td>COUNTER</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>COL</td><td>COLUMN</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>CONSTR</td><td>CONSTRUCTION</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>CORR</td><td>CORRIDOR</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DEPT</td><td>DEPARTMENT</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DF</td><td>DRINKING FOUNTAIN</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DIAM</td><td>DIAMETER</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DISP</td><td>DISPENSER</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DN</td><td>DOWN</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DR</td><td>DRAIN</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DET</td><td>DETAIL</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DWG</td><td>DRAWING</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>DWR</td><td>DRAWER</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EA</td><td>EACH</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>ELECT</td><td>ELECTRICAL</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>ENCL</td><td>ENCLOSURE</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EQ</td><td>EQUAL</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EW</td><td>EACH WAY</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EW</td><td>ELECT WATER COOLER</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>ENG</td><td>EXISTING</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>ETR</td><td>EXISTING TO REMAIN</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>HDR</td><td>HDWD</td><td>SHR</td><td>SHEET</td></tr></table>	AC	ASPHALT CONCRETE	FD	FLOOR DRAIN	PL	PLATE/PROPERTY LINE	AD	ACOUSTICAL CEILING TILE	FEC	FIRE EXTINGUISHER CABINET	PL LAM	PLASTIC LAMINATE	ALUM	ALUMINUM	FIN	FINISH	PLYD	PLYWOOD	ALT	ALTERNATE	FLR	FLOOR	POL	POLISHED	AP	ACCESS PANEL	FLR	FLOOR	PT	PRESSURE TREATED	ARCH	ARCHITECT	FT	FEET	PNT	PAINTED	BD	BOARD	FURR	FURRING	QTY	QUANTITY	BLDG	BUILDING	GA	GAUGE	R	RADIUS	BLDG	BLOCKING	GB	GALV	RD	ROOF DRAIN	BM	BEAM	GL	GLASS	REF	REFERENCE	BOT	BOTTOM	GSM	GALVANIZED SHT. 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ALSO PROVIDE FIRE ALARM SYSTEM (DEFERRED SUBMITTAL) SETBACKS ALLOWABLE FRONT MAX - 0'-0" SIDE MIN - 0'-0" FLOOR MIN - 0'-0" REAR OPT - 0'-0" PROPOSED FRONT 0'-0" SIDE 0'-0" REAR 0'-0" ALLOWABLE BUILDING HEIGHT (FEET) 1A: UL (CBC TABLE 504.3) / 100'-0" (SDMC TABLE 131-05E). CPIOZ-A EXEMPT PER SDMC 143.1010(d) ALLOWABLE BUILDING HEIGHT (STORIES) 1A: UL (CBC TABLE 504.4) ALLOWABLE BUILDING HEIGHT (SDMC) 150' PROPOSED HEIGHT 91' - 6" / 8 STORIES LOT SIZE 4,979 SF ALLOWABLE F.A.R. 3.5 MIN 6.0 MAX BASE PROPOSED F.A.R. 6.54 EARNED = 6.0 BASE + .54 BONUS (9%, TABLE 143-07C) 6.39 PROPOSED = 31,853 GFA / 4,979 SF LOT AREA (SEE SHEET T107) ALLOWABLE BUILDING AREA (CBC TABLE 506.2): UNLIMITED (R2, M & A2) 106,500 SF (U) PROPOSED BUILDING AREA: 37,720 SF (SEE SHEET T107) COM. PARKING REQ. 0 STALLS COM. PARKING PROVIDED 0 STALLS RES. PARKING REQ. 0 STALLS RES. PARKING PROVIDED 0 STALLS LANDSCAPE AREA 245 SF	1. FIRE ALARM SYSTEM (TO INCLUDE HEARING IMPAIRED EMERGENCY WARNING SYSTEM PER NFPA 72 & CBC SEC 1009.12) 2. STANDPIPE SYSTEM (CLASS III STANDPIPE) 3. FIRE SPINKLER SYSTEM (NFPA 13 THROUGHOUT) 4. STOREFRONT 5. PV SYSTEM BASED ON 2019 CALIFORNIA ENERGY CODE SEC 110.10 NOTES: 1. PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NO LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. 2. IWE UNDERSTAND THAT IWE WILL NOT BE AUTHORIZED ANY INSPECTION OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS. 3. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. 4. THE REGISTERED & RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS & SUBMIT THEM TO THE BUILDING OFFICIAL, WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED & FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.
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X GRID / COLUMN CENTERLINE X ACCESSORY/EQUIPMENT TAG XX WALL TAG, WITHOUT SOUND ATTENUATION WALL TAG, WITH SOUND ATTENUATION XXXX WINDOW TAG X KEYNOTE TAG NORTH ARROW INDICATES AREA OUTSIDE SCOPE OF THIS PROJECT, NOT IN CONTRACT (N.I.C.) ALIG N ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH ROOM NAME XXXXX XXX ROOM NAME/ ROOM NUMBER/ AREA AX.XX.XX EXTERIOR ELEVATION SHEET / ELEVATION NUMBER XX XX AX.XX XX INTERIOR ELEVATION NUMBER / ELEVATION SHEET XX AX.XX SECTION NUMBER / SECTION SHEET XX AX.XX DETAIL NUMBER / DETAIL SHEET XXXX XX AX.XX ENLARGED PLAN CALLOUT NUMBER / DETAIL SHEET XXX 1 DIMENSION FROM FACE OF STUD TO FACE OF STUD, UON VICINITY MAP WALKING DISTANCES BUS STOP A 685 FT BUS STOP B 970 FT LIGHT RAIL C 1,346 FT PACIFIC HWY W DATE ST 100' PROJECT RADIUS FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST INDIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT W DATE ST INDIA ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP PROJECT SITE FIRE HYDRANT UNION ST FRONT ST STATE ST COLUMBIA ST KETTNER BLVD W CEDAR ST BUS STOP																																																																																																																																																																																																																																																																												



OBLIQUE FROM SE

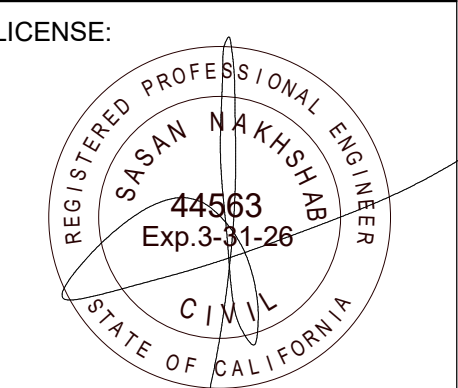


OBLIQUE FROM NE

NOTE: THESE OBLIQUE VIEWS ARE INTENDED
TO DEMONSTRATE THE GENERAL MASSING
ONLY OF THE PROPOSED PROJECT &
HISTORIC HOUSE.



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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

OBLIQUES

SHEET NO.:

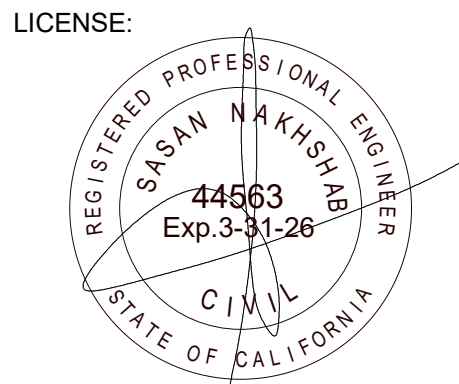
T101



NOTE: RENDERING IS INTENDED TO REPRESENT BUILDING MASSING ONLY.



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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

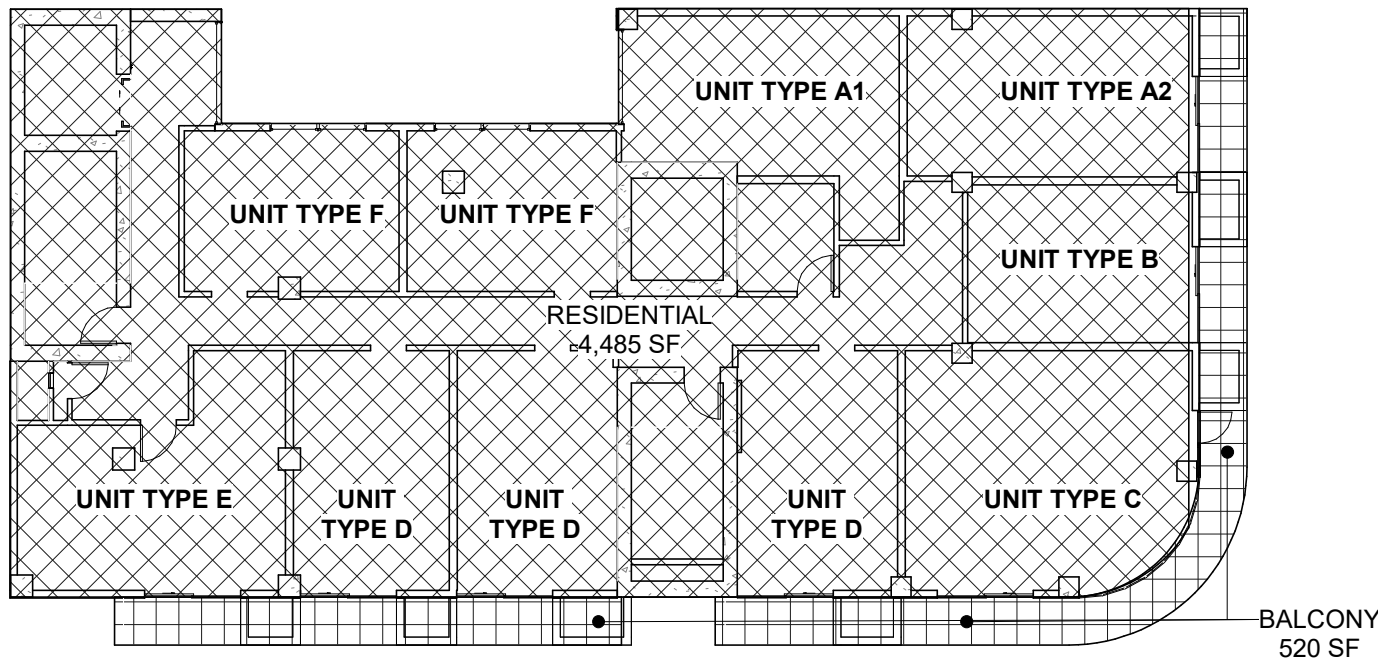
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

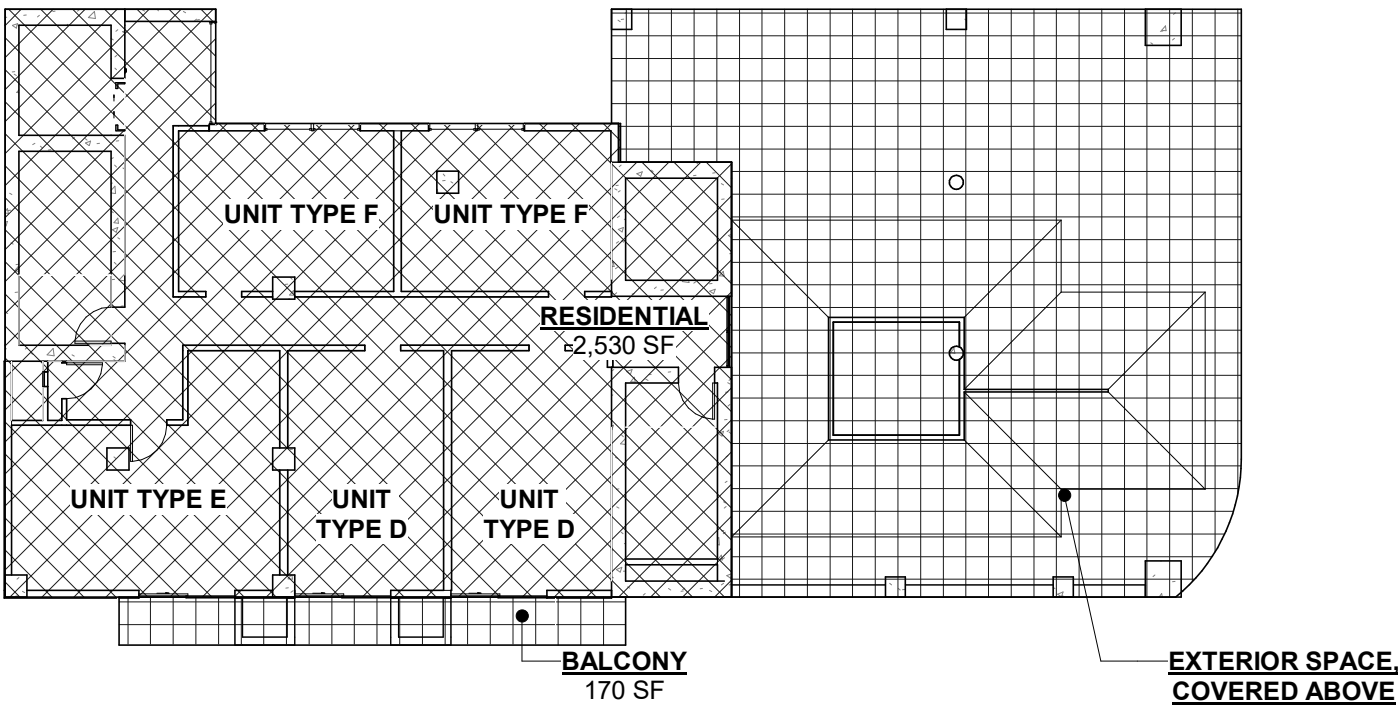
RENDERING

SHEET NO.:

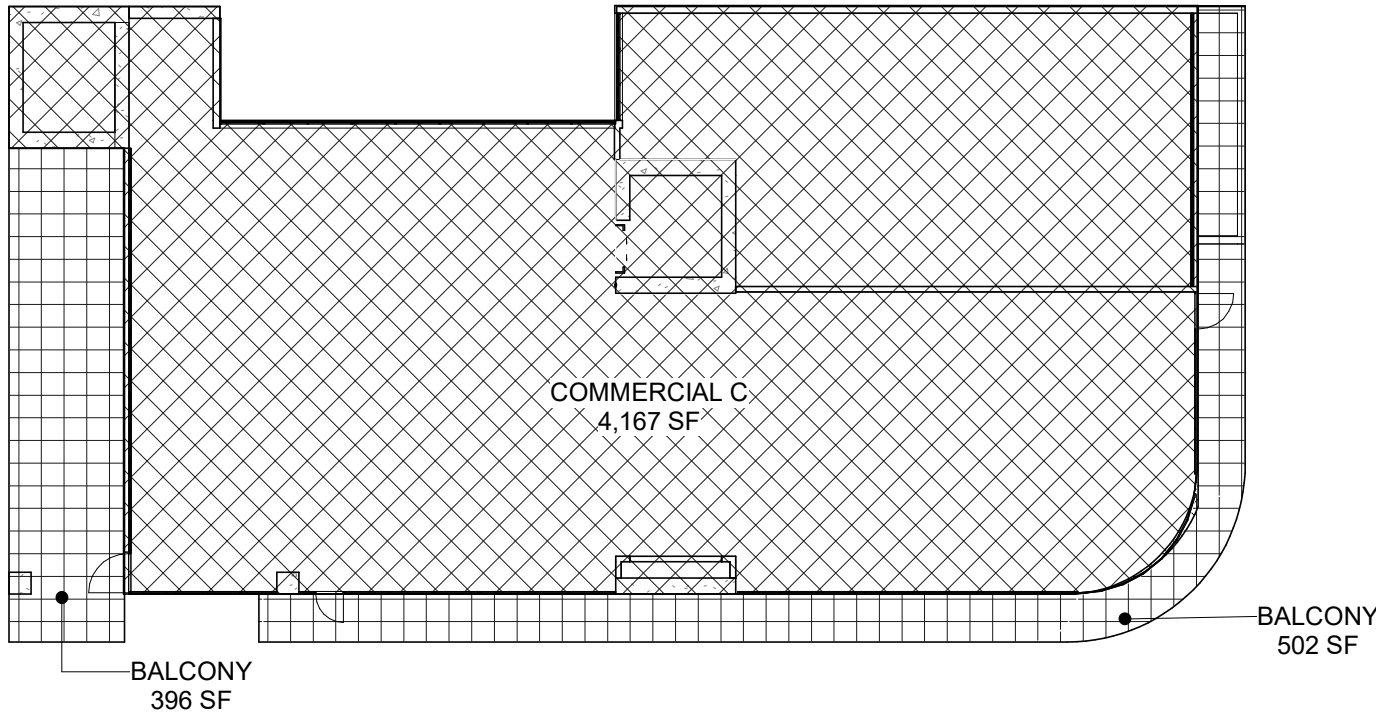
T102



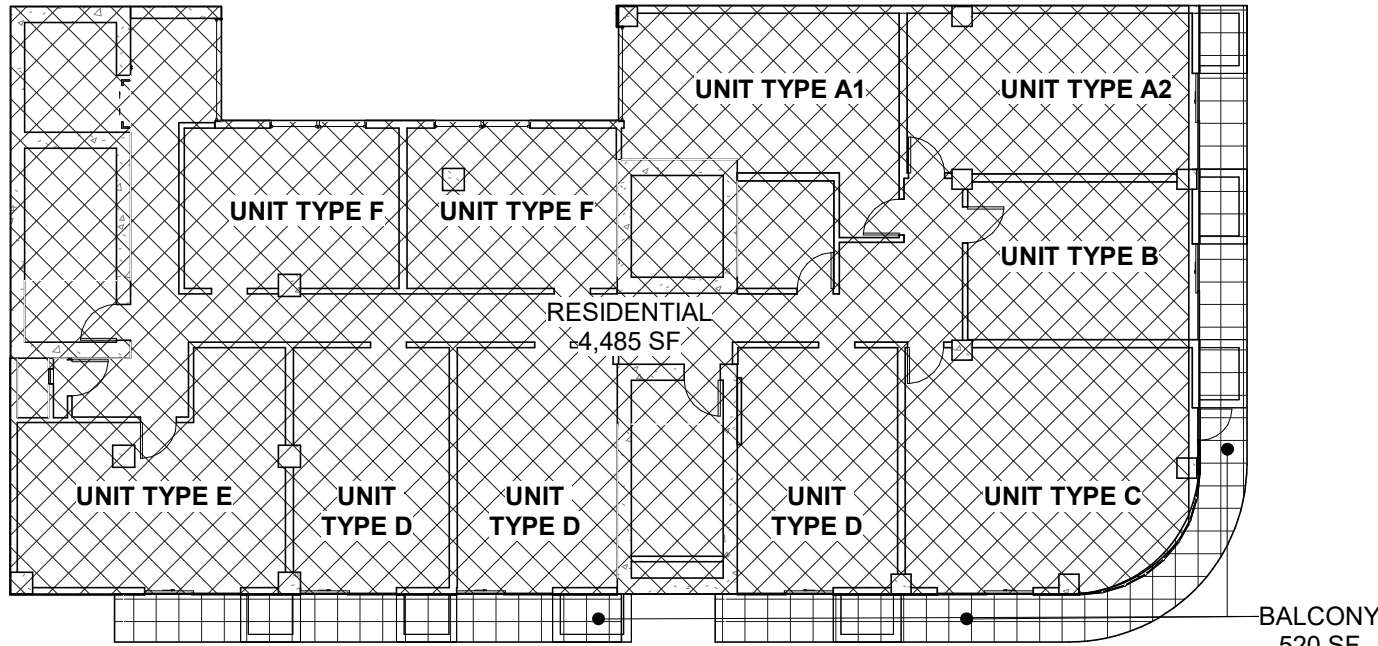
TYP LEVEL 5-6
1/16" = 1'-0"



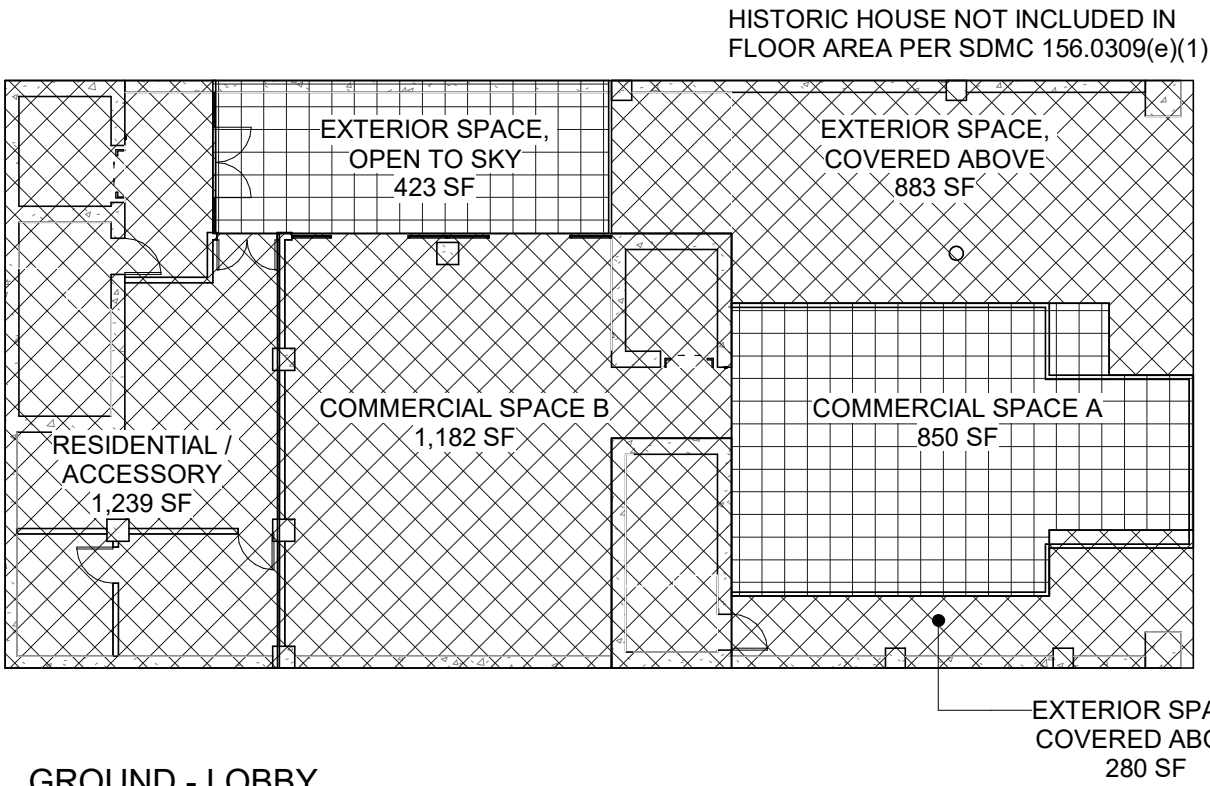
LEVEL 2
1/16" = 1'-0"



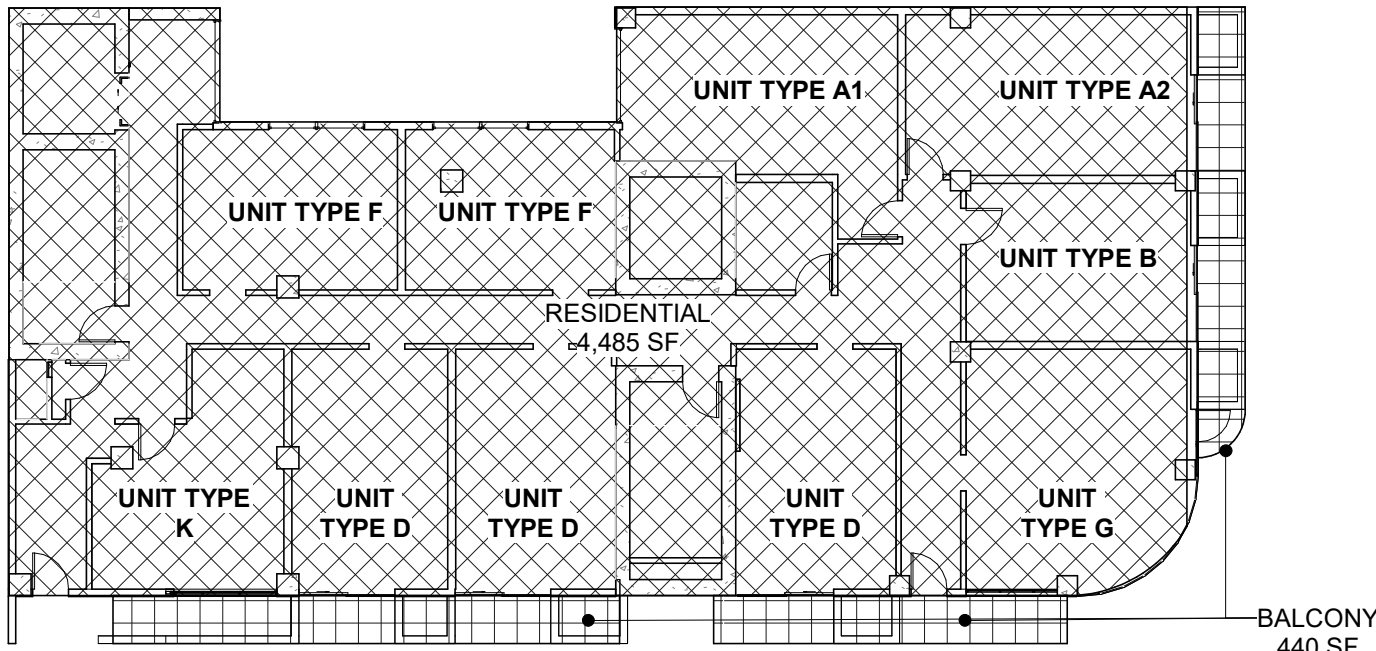
LEVEL 8
1/16" = 1'-0"



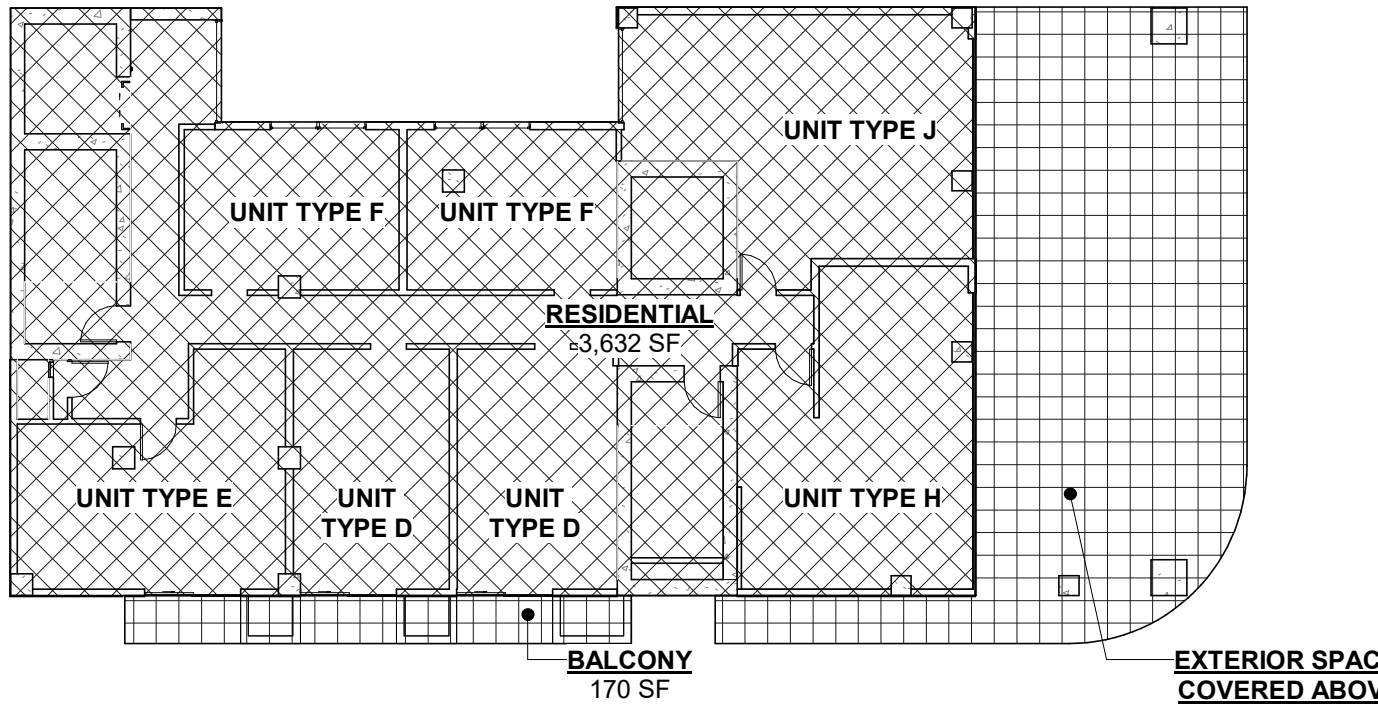
LEVEL 4
1/16" = 1'-0"



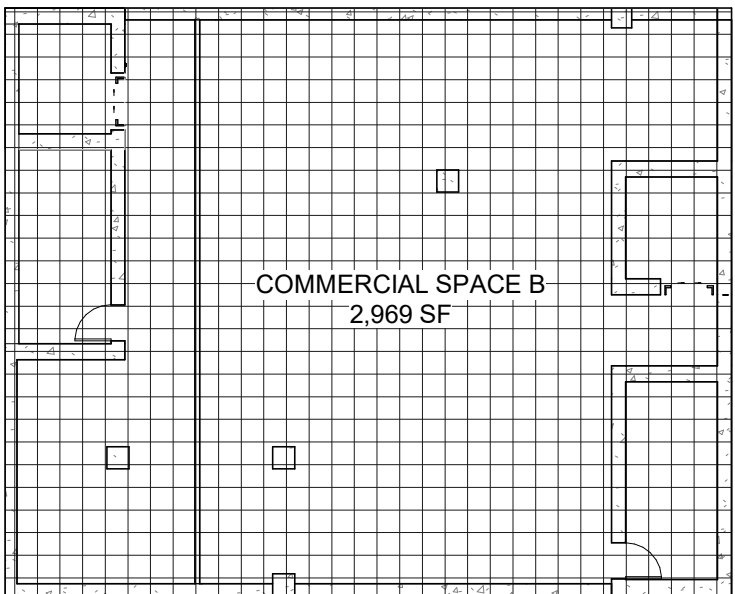
GROUND - LOBBY
1/16" = 1'-0"



LEVEL 7
1/16" = 1'-0"



LEVEL 3
1/16" = 1'-0"



BASEMENT
1/16" = 1'-0"

GENERAL NOTES

BUILDING AREA

PER CBC

	COMMERCIAL	RES / ACC.	TOTAL
LEVEL 8	5,038	0	5,038
LEVEL 7	0	4,925	4,925
LEVEL 6	0	5,005	5,005
LEVEL 5	0	5,005	5,005
LEVEL 4	0	5,005	5,005
LEVEL 3	0	3,802	3,802
LEVEL 2	0	2,700	2,700
LEVEL 1	2,032	1,239	3,271
BASEMENT	2,969	0	2,969
TOTAL	10,039	27,829	37,720

GROSS FLOOR AREA

PER SDMC

	COMMERCIAL	RES / ACC.	TOTAL
LEVEL 8	4,167	0	4,167
LEVEL 7	0	4,485	4,485
LEVEL 6	0	4,485	4,485
LEVEL 5	0	4,485	4,485
LEVEL 4	0	4,485	4,485
LEVEL 3	0	3,632	3,632
LEVEL 2	0	2,530	2,530
LEVEL 1	2,065	1,519	3,584
BASEMENT	0	0	0
TOTAL	6,232	25,621	31,853

UNIT SUMMARY & NET AREA

RESIDENTIAL												
	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H	UNIT J	UNIT K	TOTAL	
UNIT TYPE	STUDIO	STUDIO	1-BD	STUDIO	1-BD	STUDIO	1-BD	1-BD	1-BD	STUDIO	-	
UNIT SIZE	320 SF	251 SF	485 SF	280 SF	358 SF	240 SF	358 SF	464 SF	530 SF	260 SF	-	
HOUSING TYPE	MDU	MDU	MDU	MDU	MDU	MDU	MDU	MDU	MDU	MDU	-	
MARKET RATE UNITS	7	3	3	15	4	11	1	1	1	1	47	
AFFORDABLE UNITS	1	1	0	1	1	1	0	0	0	0	5	
TOTAL DU	8	4	3	16	5	12	1	1	1	1	52	

COMMERCIAL SPACES				
	UNIT A	UNIT B	UNIT C	TOTAL
UNIT SIZE	850 SF	4,151	4,167	9,168
USE TYPE	CAFE	MERCANTILE	RESTAURANT/KITCHEN	-

PARKING SUMMARY

	REQ'D	PROVIDED	CODE REF (SDMC)
RES BIKE PARKING	1 / 5 DU = 11	52	156.0313(a)(1)
COM. BIKE PARKING - SHORT TERM	2	2	142.0530(e)(1)
COM. BIKE PARKING - LONG TERM	1	1	142.0530(e)(2)
VEHICLE PARKING (RATIO / # STALLS)	0 / 0	0	156.0313

NOTE: UNIT SUMMARY & NET AREA TABLE FOR LAND USE DETAILS

LEGEND

AREA INCLUDED IN FAR CALCULATION

AREA NOT INCLUDED IN FAR CALCULATION

162' SAN

APN

SHEET TITLE:

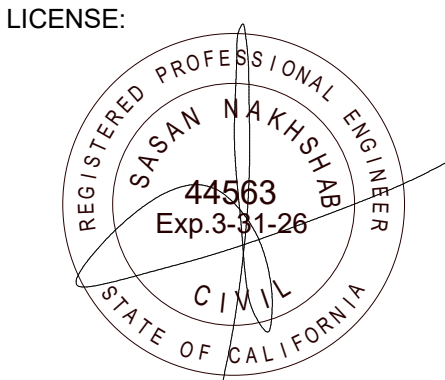
AREA PLANS

SHEET NO.:

T107



ARCHITECTURE
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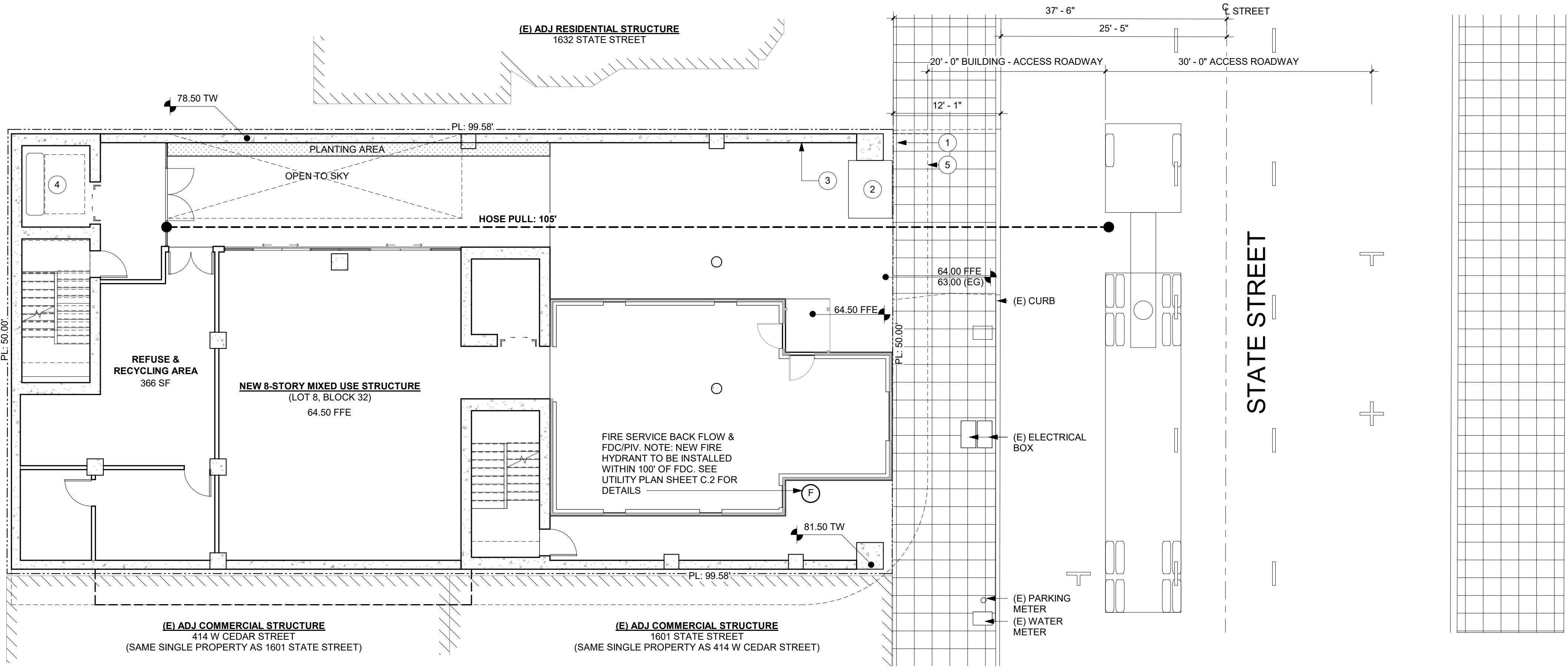
REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

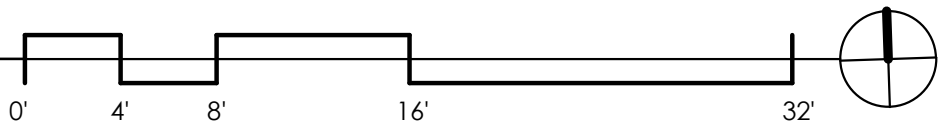
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:
**FIRE ACCESS
PLAN**

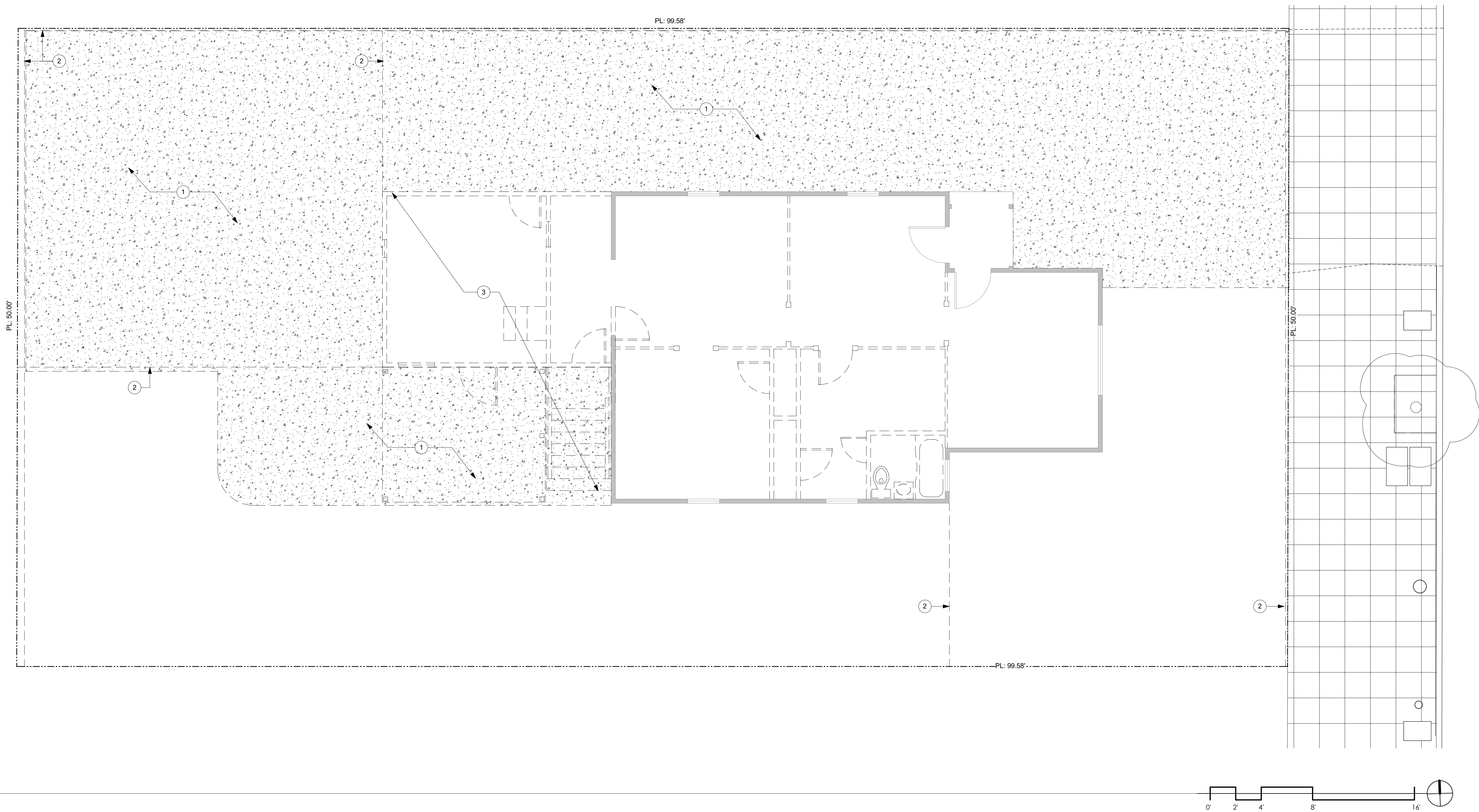
SHEET NO.:
T110



1 FIRE ACCESS PLAN
1/8" = 1'-0"



GENERAL NOTES	SHEETNOTES	LEGEND
NOTES: 1. ALL FIRE ACCESS ROADS WILL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF AT LEAST 75,000 LBS & WILL NOT EXCEED 10% OF GRADE. ALL FEATURES OF THE FIRE ACCESS ROADS INCLUDING TURNING RADIUS & DEAD END DESIGN WILL BE IN ACCORDANCE WITH OFC 503 APPENDIX D 2. THERE IS CURRENTLY NO FIRE HYDRANT ON THE PROJECT SIDE OF THE STREET AND WITHIN 100'. PROJECT WILL PROVIDE A NEW FIRE HYDRANT MEETING THESE REQUIREMENTS. 3. SEE VICINITY MAP, SHEET T100, FOR FIRE HYDRANT LOCATIONS 4. THIS PROJECT SHALL FULLY COMPLY W/ CAL FIRE CODE CHPTR 33. FIRE SAFETY DURING CONSTRUCTION & DEMO. THE PROJECT'S OWNER AND/OR OWNER'S AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, AND MAINTAINING A WRITTEN CHPTR 33 COMPLIANT SITE SAFETY PLAN ESTABLISHING A FIRE PREVENTION PROGRAM AT THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION, REPAIR, ALTERATION, OR DEMO WORK. THE SITE SAFETY PLAN SHALL BE PREPARED BY A QUALIFIED INDIVIDUAL, KEPT AT THE PROJECT'S SITE AT ALL TIMES, & MADE AVAILABLE FOR REVIEW.	1 BUILDING ADDRESS PER FHPS P-00-6 (UFC 901.4.4) 2 TRANSFORMER 3 KNOX BOX PER FPB POLICY K-15-2. MTD 5' - 7' AFF 4 24" X 84" GURNERY & 50" X 80" CLR SPACE 5 EDGE OF BALCONY ABOVE 6 METERED, TIME LIMITED GREEN ZONE PARKING STALL. DIM: 9' X 22' 7 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD	⬇○ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS 1i WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS 1t WINDOW TAG, SEE A600 FOR DETAILS 1t WINDOW TAG, SEE A600 FOR DETAILS LANDSCAPE LANDING: SLOPE NOT TO EXCEED 1:48 (2%) ELEC SUBPANEL RELOCATED HISTORIC HOUSE WALL NEW METAL STUD WALL/PARTITION NEW CONCRETE WALL/PARTITION



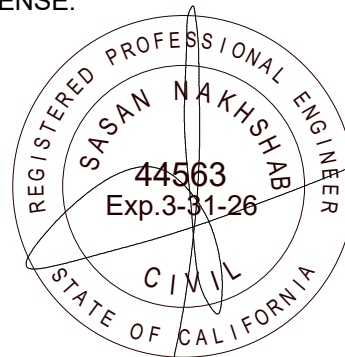
1 DEMO PLAN
1/4" = 1'-0"

GENERAL NOTES		SHEETNOTES		LEGEND	
1. SALVAGE AS MUCH REMOVED MATERIAL AS POSSIBLE, SUCH AS TILE, PLUMBING FIXTURES, PIPES, WOOD FLOOR, ELECTRICAL FIXTURES, CABINETS, ETC. FOR SALE OR DONATION TO ORGANIZATIONS SUCH AS HABITAT FOR HUMANITY. 2. RECYCLE REMOVED METAL, WOOD, CONCRETE, PLANT, GYPSUM BOARDS. LIST OF RECYCLING FACILITIES ON CITY OF SAN DIEGO WEBSITE.		1 REMOVE SITE PAVEMENT 2 REMOVE FENCE 3 REMOVE NON-HISTORICAL PORTION OF STRUCTURE TO INCLUDE: FOUNDATION, FLOOR, WALLS, WINDOWS, DOORS, ROOF & TRELLIS		DISMANTLE & RETAIN FOR RELOCATION DEMOLISH	
				1620 STATE STREET SAN DIEGO, CA 92101 APN 533-352-09-00 CELINE	
				SHEET TITLE: DEMO PLAN	
				SHEET NO.: A100A	



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LICENSE:



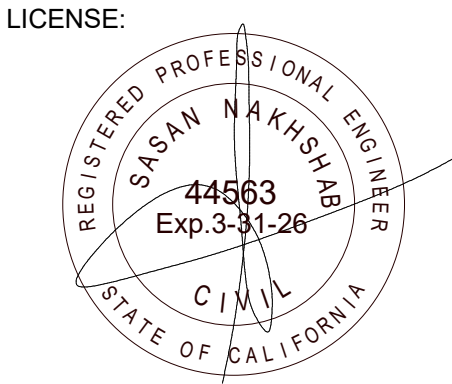
REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE



ARCHITECTURE
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BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

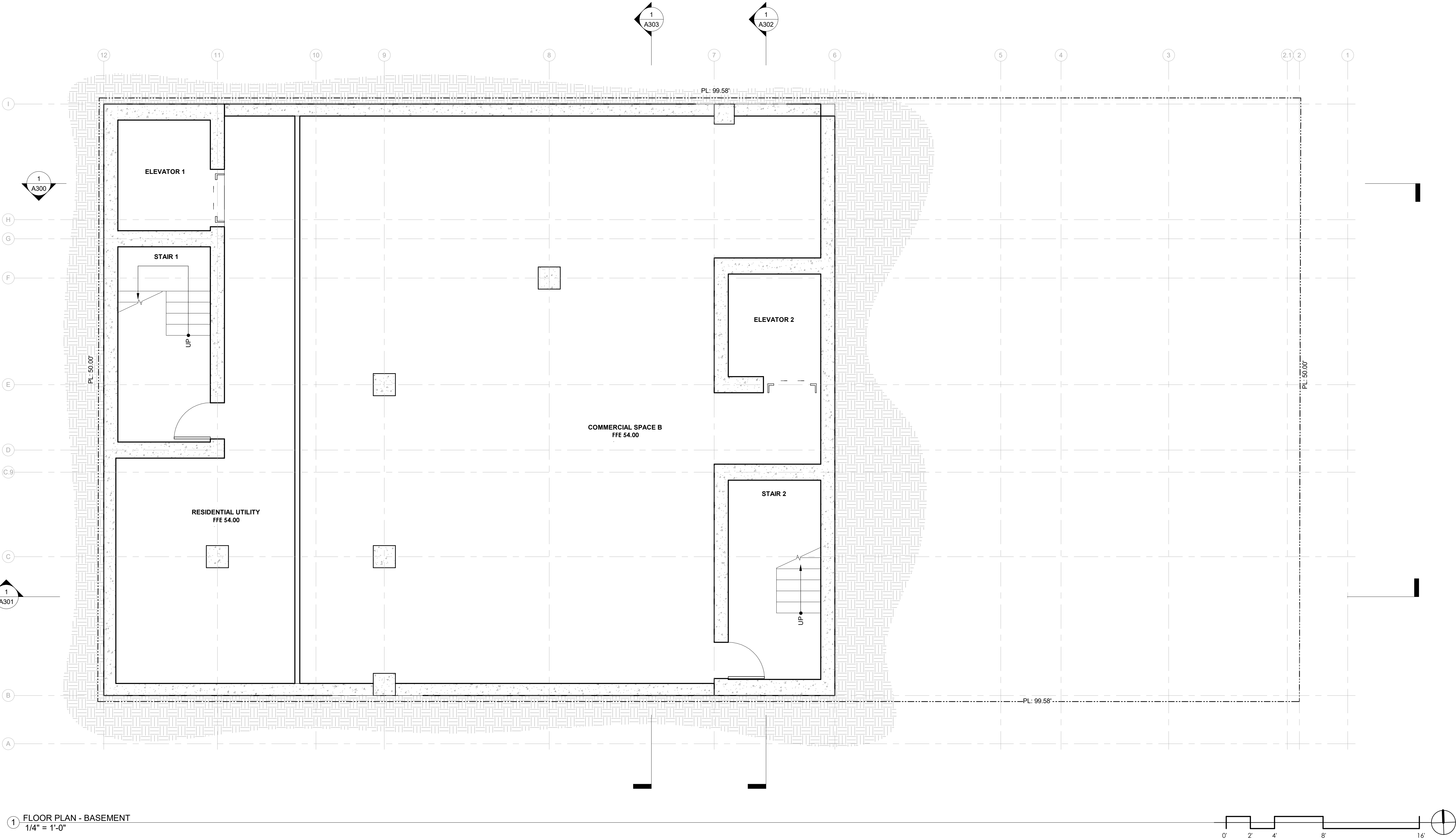
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

FLOOR PLAN -
BASEMENT

SHEET NO.:

A101



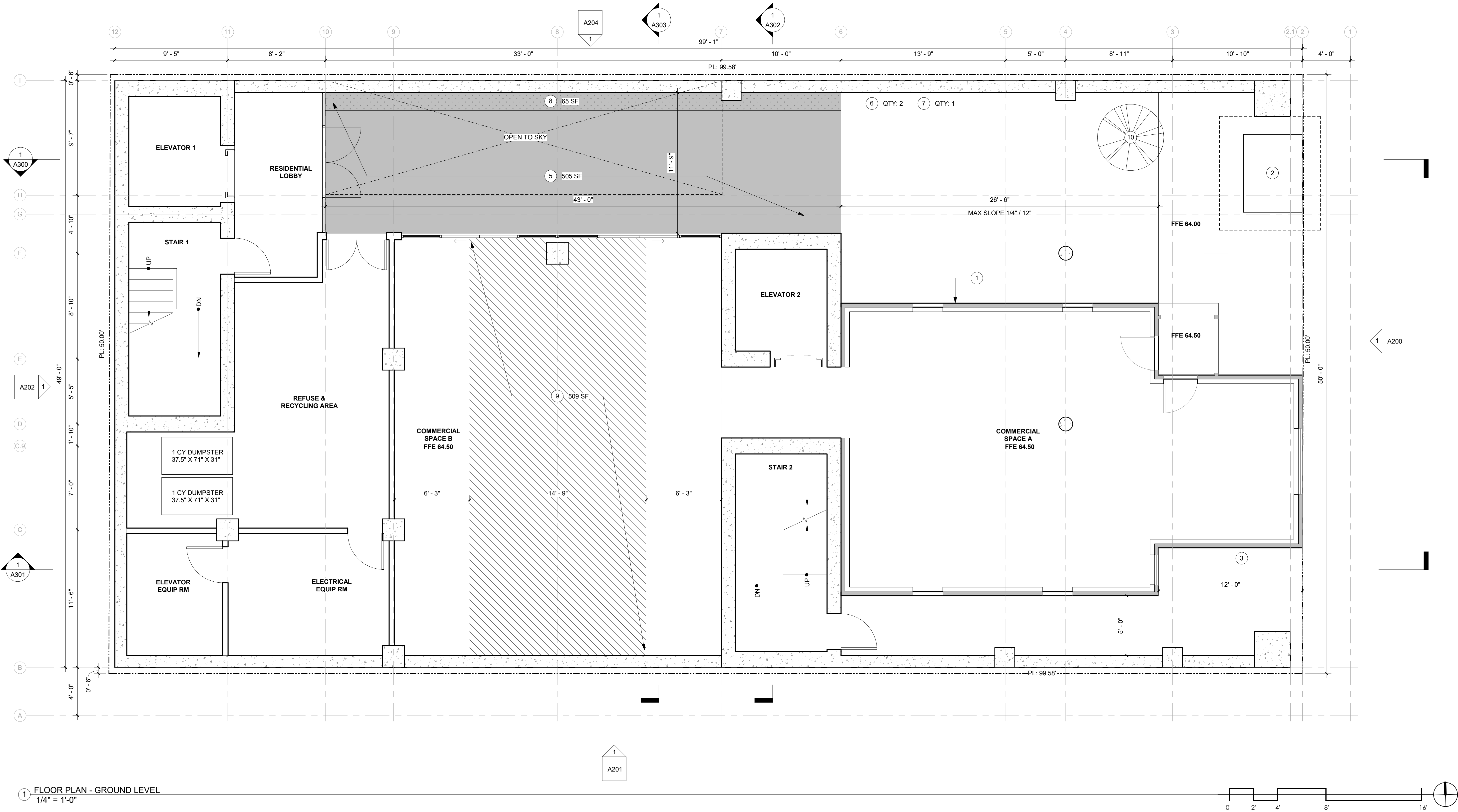
GENERAL NOTES

- PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM
- PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC # _____.

SHEETNOTES

LEGEND

- ⬇️ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- 11 WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



GENERAL NOTES

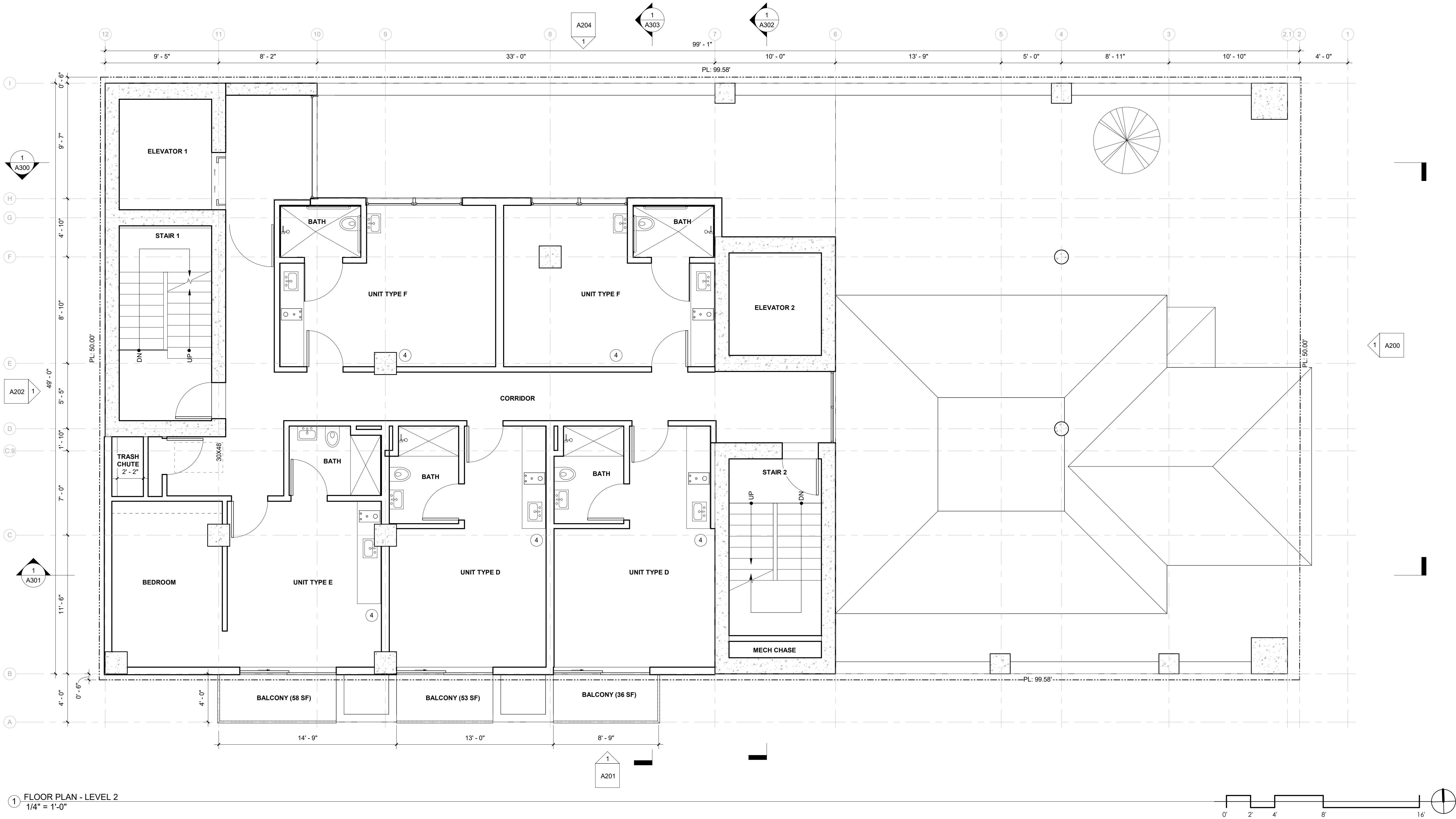
1. PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM.
2. PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC # _____.

SHEETNOTES

- 1 RELOCATED HISTORIC HOUSE WALL W/ 3-HR FIRE RATED ASSEMBLY ON INTERIOR & INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING ON EXTERIOR
- 2 TRANSFORMER
- 3 DOMESTIC & FIRE WATER BACKFLOW PREVENTION DEVICES
- 4 WALL MTD BIKE STORAGE W/ E-BIKE CHARGING OUTLET
- 5 COMMON OUTDOOR OPEN SPACE
- 6 SHORT TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 7 LONG TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 8 LANDSCAPE/PLANTING AREA
- 9 COMMON INDOOR OPEN SPACE
- 10 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD

LEGEND

- ⬇ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- 1 WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
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GENERAL NOTES

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SHEETNOTES

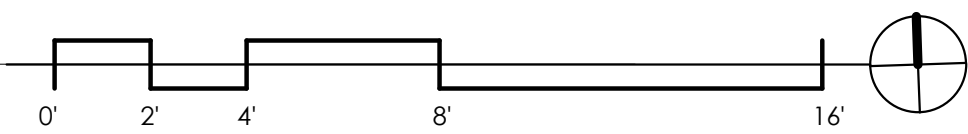
- 1 RELOCATED HISTORIC HOUSE WALL W/ 3-HR FIRE RATED ASSEMBLY ON INTERIOR & INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING ON EXTERIOR
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LEGEND

- ⬇ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
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- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



1 FLOOR PLAN - LEVEL 3
1/4" = 1'-0"



GENERAL NOTES

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SHEETNOTES

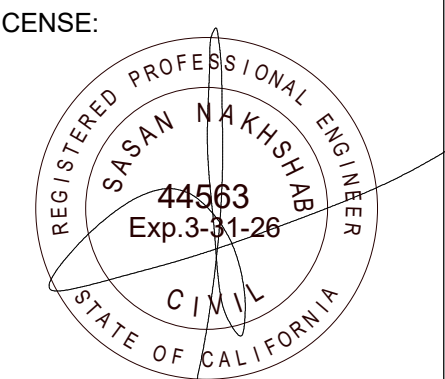
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- 8 LANDSCAPE/PLANTING AREA
- 9 COMMON INDOOR OPEN SPACE
- 10 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD

LEGEND

- DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- 1 WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



ARCHITECTURE
ENGINEERING
BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

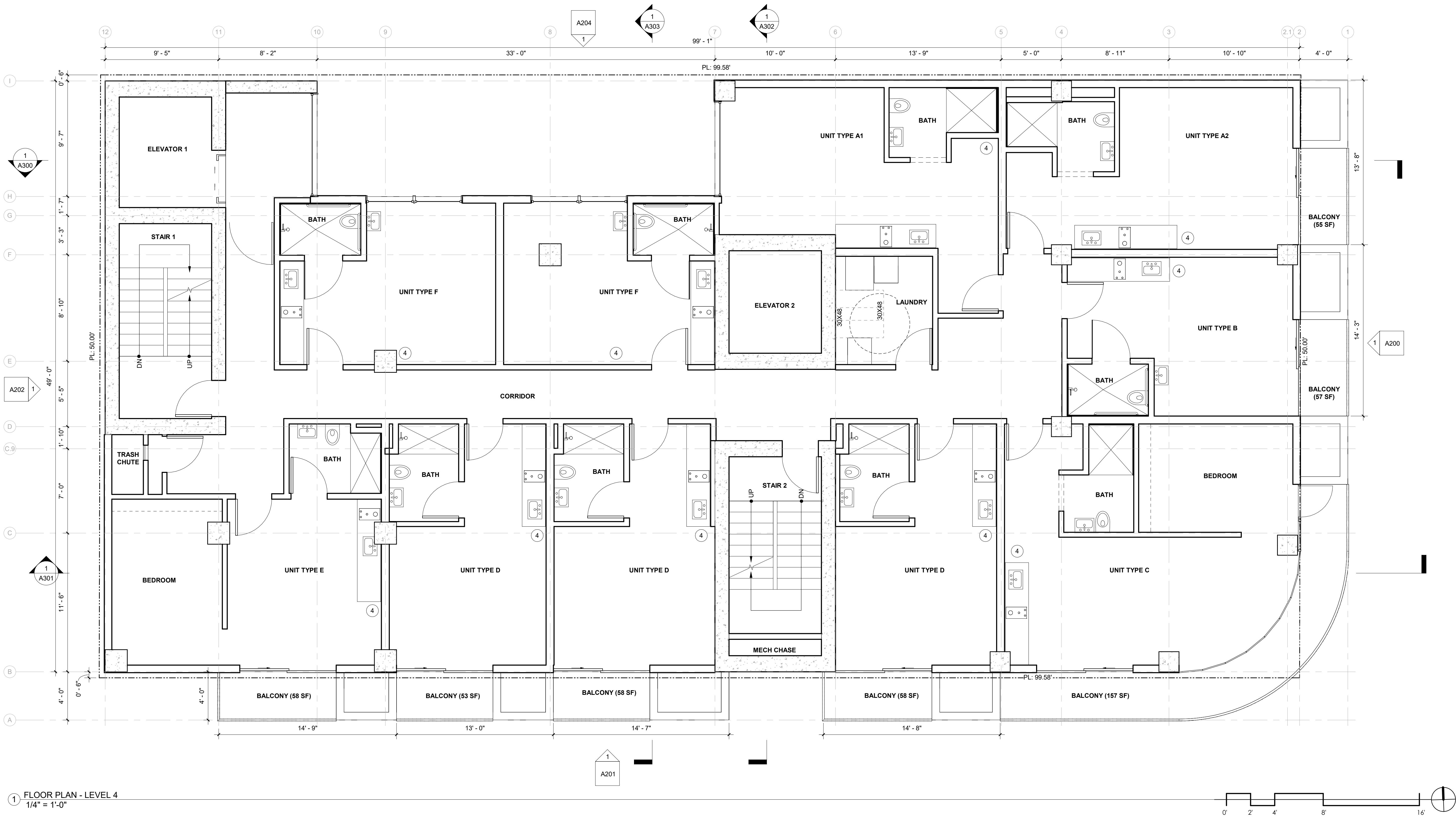
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

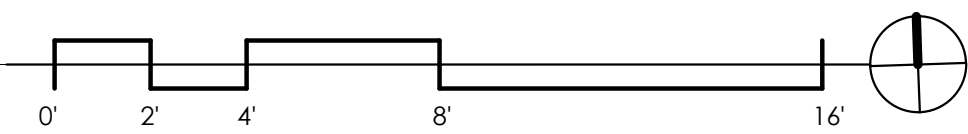
FLOOR PLAN -
LEVEL 3

SHEET NO.:

A104



1 FLOOR PLAN - LEVEL 4
1/4" = 1'-0"



GENERAL NOTES

1. PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM.
2. PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC # _____.

SHEETNOTES

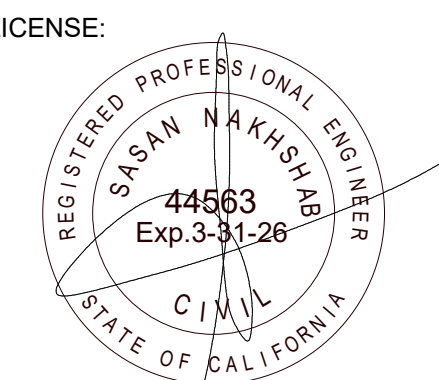
- 1 RELOCATED HISTORIC HOUSE WALL W/ 3-HR FIRE RATED ASSEMBLY ON INTERIOR & INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING ON EXTERIOR
- 2 TRANSFORMER
- 3 DOMESTIC & FIRE WATER BACKFLOW PREVENTION DEVICES
- 4 WALL MTD BIKE STORAGE W/ E-BIKE CHARGING OUTLET
- 5 COMMON OUTDOOR OPEN SPACE
- 6 SHORT TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 7 LONG TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 8 LANDSCAPE/PLANTING AREA
- 9 COMMON INDOOR OPEN SPACE
- 10 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD

LEGEND

- ⬇ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- 1 WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



ARCHITECTURE
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BUILD
GREEN
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SAN DIEGO CA 92101
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2	06.04.25	Comment Response 2

PROJECT/CLIENT:

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SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

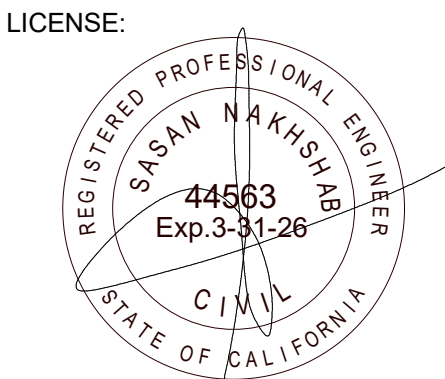
FLOOR PLAN -
LEVEL 4

SHEET NO.:

A105



ARCHITECTURE
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BUILD
GREEN
598 W LAUREL STREET UNIT 11
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REV #	DATE	DESCRIPTION
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PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:
**FLOOR PLAN -
LEVEL 5-6
(TYPICAL)**

SHEET NO.:

A106



1 FLOOR PLAN - TYP LEVELS 5-6
1/4" = 1'-0"

GENERAL NOTES

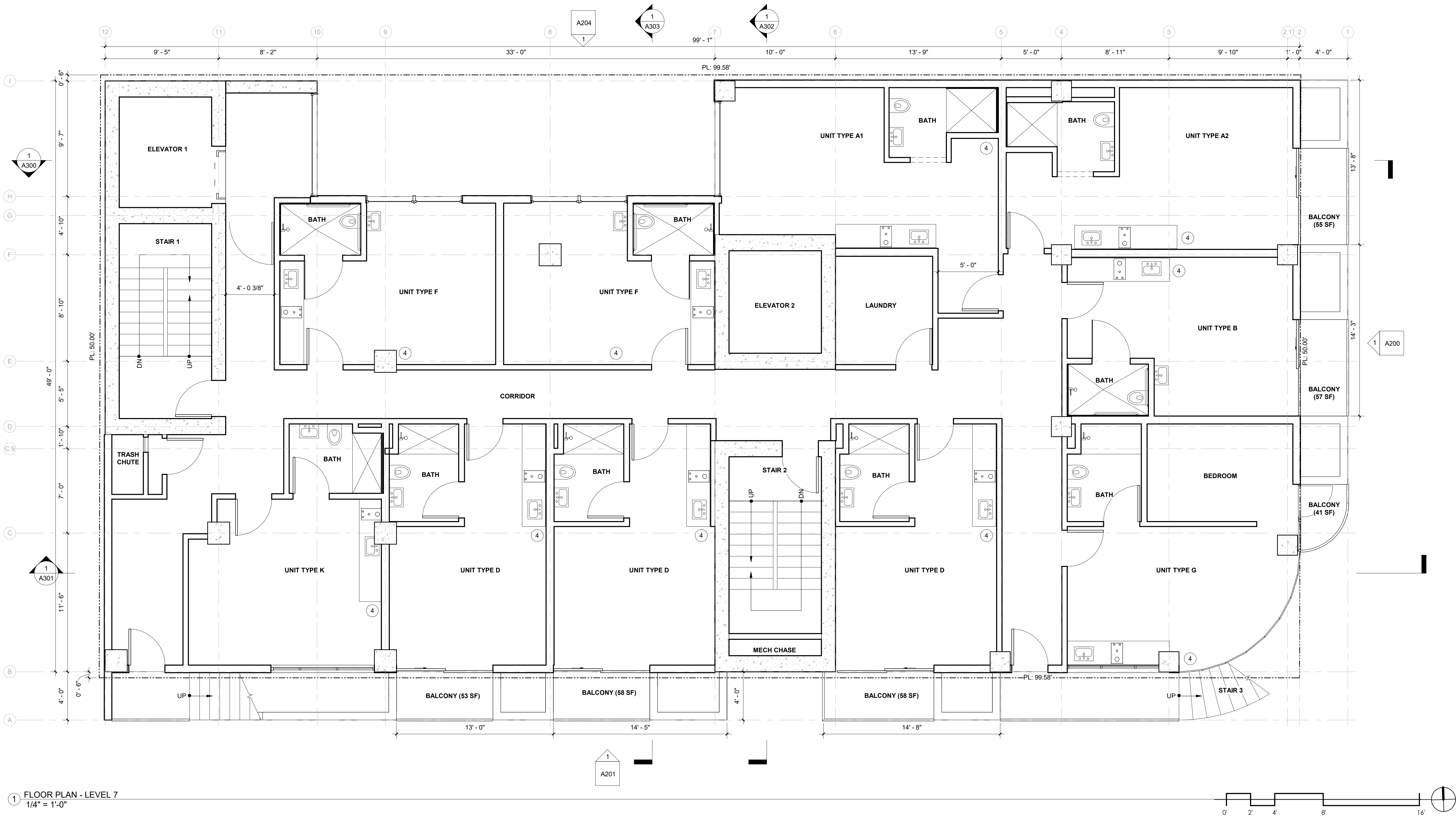
1. PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM.
2. PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC # _____.

SHEETNOTES

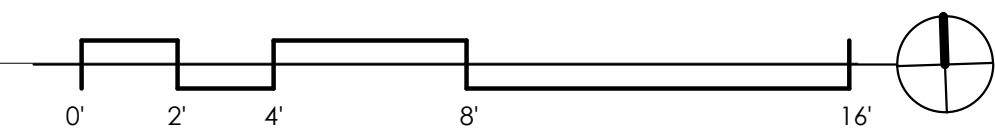
- 1 RELOCATED HISTORIC HOUSE WALL W/ 3-HR FIRE RATED ASSEMBLY ON INTERIOR & INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING ON EXTERIOR
- 2 TRANSFORMER
- 3 DOMESTIC & FIRE WATER BACKFLOW PREVENTION DEVICES
- 4 WALL MTD BIKE STORAGE W/ E-BIKE CHARGING OUTLET
- 5 COMMON OUTDOOR OPEN SPACE
- 6 SHORT TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 7 LONG TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 8 LANDSCAPE/PLANTING AREA
- 9 COMMON INDOOR OPEN SPACE
- 10 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD

LEGEND

- DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- WINDOW TAG, SEE A600 FOR DETAILS
- WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



1 FLOOR PLAN - LEVEL 7
1/4" = 1'-0"



GENERAL NOTES

1. PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM.
2. PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC # _____.

SHEETNOTES

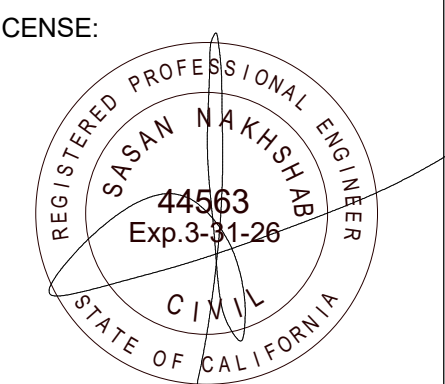
- 1 RELOCATED HISTORIC HOUSE WALL W/ 3-HR FIRE RATED ASSEMBLY ON INTERIOR & INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING ON EXTERIOR
- 2 TRANSFORMER
- 3 DOMESTIC & FIRE WATER BACKFLOW PREVENTION DEVICES
- 4 WALL MTD BIKE STORAGE W/ E-BIKE CHARGING OUTLET
- 5 COMMON OUTDOOR OPEN SPACE
- 6 SHORT TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 7 LONG TERM BIKE PARKING W/ E-BIKE CHARGING OUTLET
- 8 LANDSCAPE/PLANTING AREA
- 9 COMMON INDOOR OPEN SPACE
- 10 REPLACEMENT STREET TREE: CERCIS CANADENSIS, EASTERN REDBUD

LEGEND

- ⬇ DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- 1 WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



ARCHITECTURE
ENGINEERING
BUILD
GREEN
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REV # DATE DESCRIPTION
2 06.04.25 Comment Response 2

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

FLOOR PLAN -
LEVEL 7

SHEET NO.:

A107



44563
Exp. 3-31-26

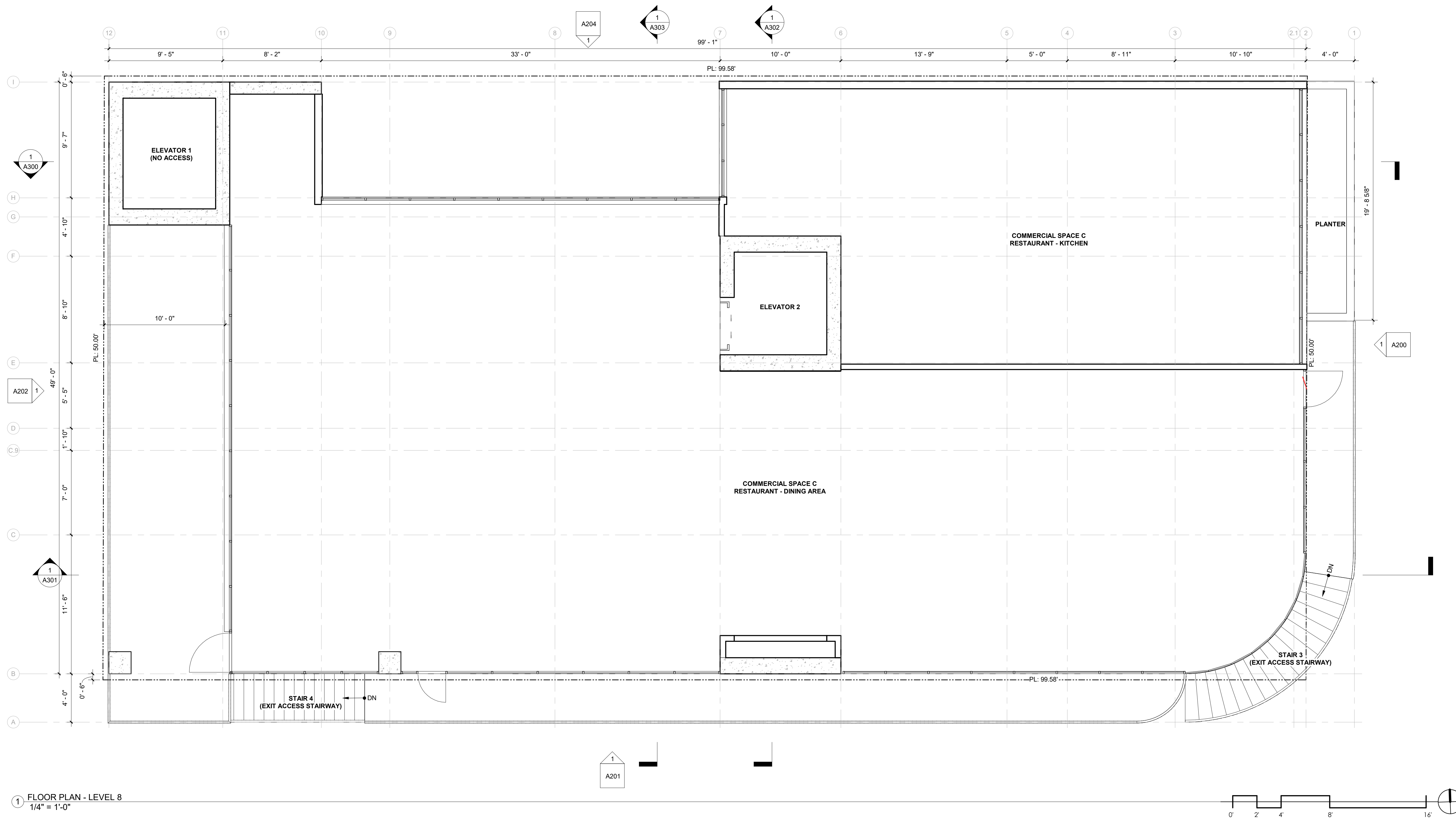
PROJECT/CLIENT:

APN 533-352-09-00

CELINE

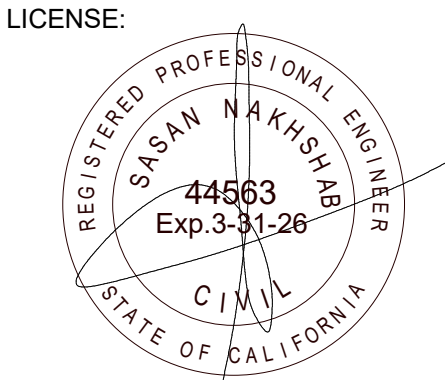
FLOOR PLAN -
LEVEL 8

A108





ARCHITECTURE
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BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

PROJECT/CLIENT:

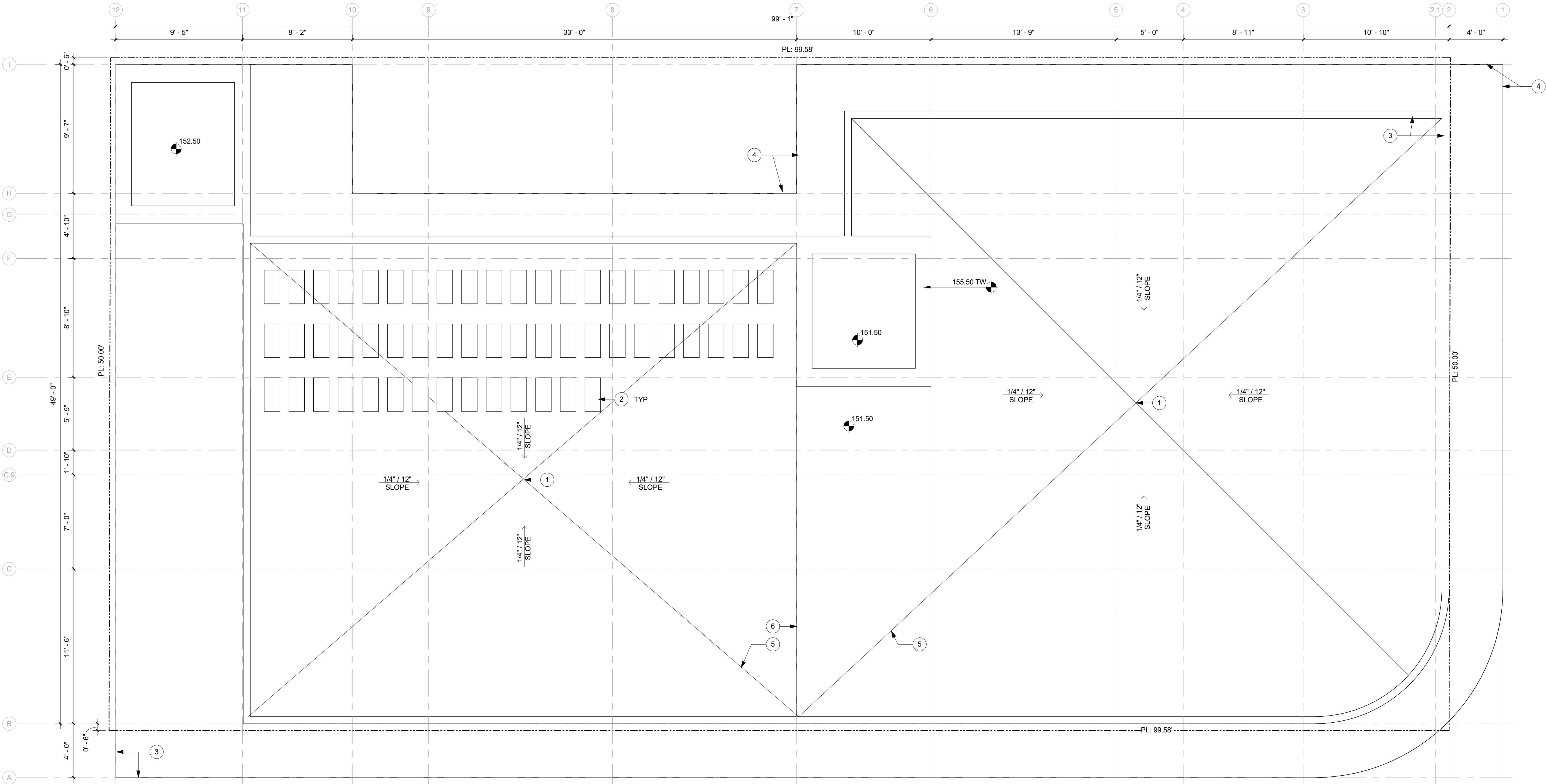
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

ROOF PLAN

SHEET NO.:

A109



1 ROOF PLAN
1/4" = 1'-0"

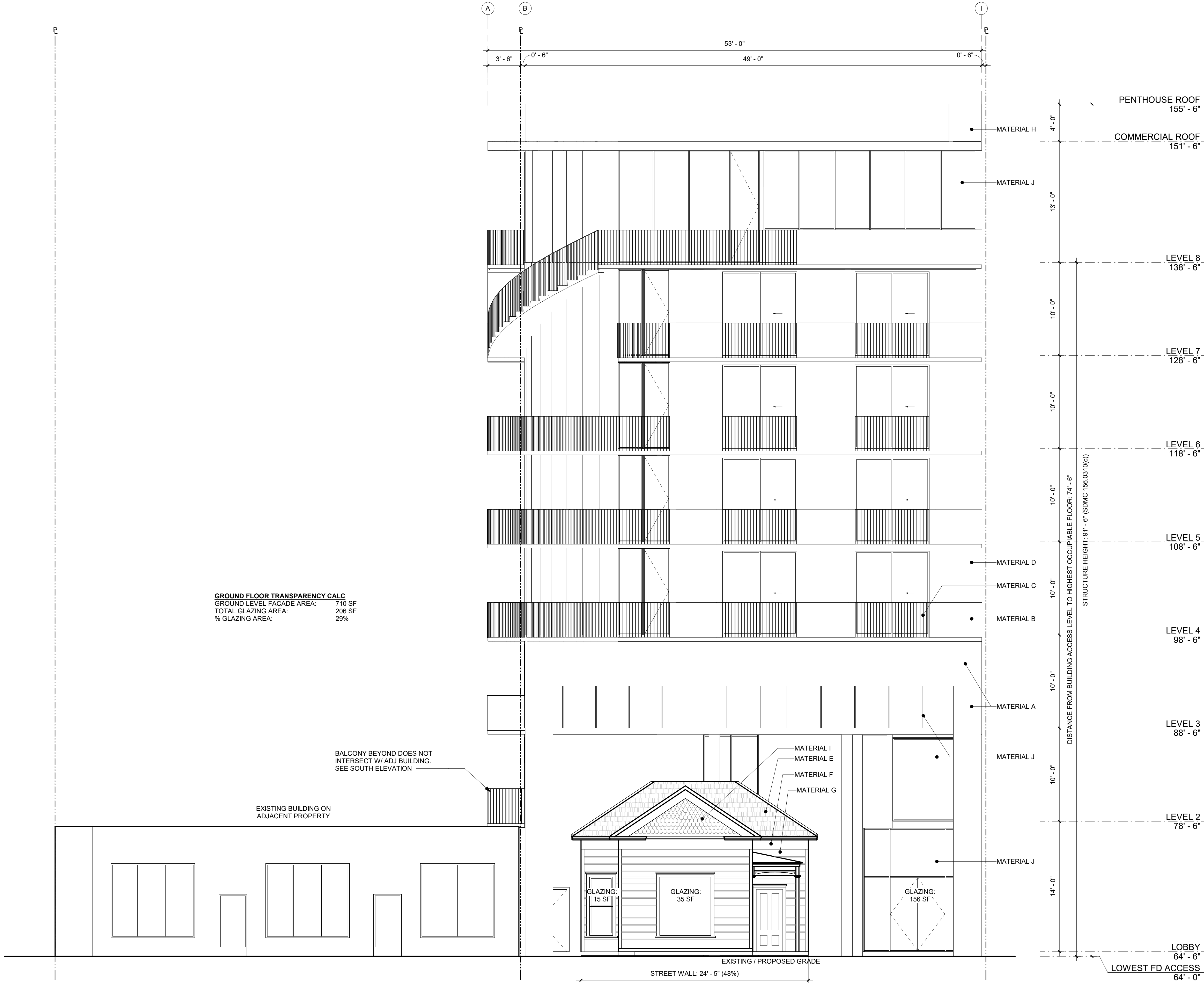
GENERAL NOTES

- PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITHY CBC 903.2.11.2 IN THE TRASH CHUTE AND TRASH CHUTE DISCHARGE ROOM.
- PROJECTIONS BEYOND THE SOUTHERN PROPERTY LINE ARE PERMISSIBLE PER AIR EASEMENT FILED W/ THE COUNTY OF SAN DIEGO, DOC #_____.

SHEETNOTES

- ROOF DRAIN
- MINISPLIT CONDENSING UNIT
- 42" PARAPET
- EDGE OF ROOF
- ROOF SLOPE VALLEY
- ROOF SLOPE RIDGE

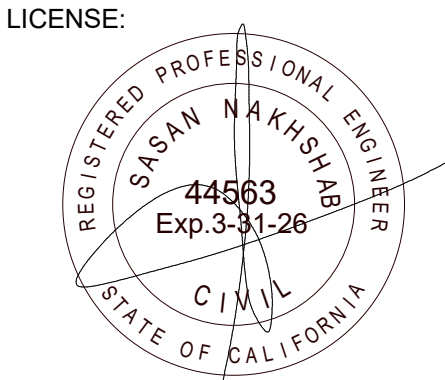
- DOWNSPOUT, SEE CIVIL & PLUMBING DWGS FOR DETAILS
- WALL TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- WINDOW TAG, SEE A600 FOR DETAILS
- WINDOW TAG, SEE A600 FOR DETAILS
- LANDSCAPE
- LANDING: SLOPE NOT TO EXCEED 1:48 (2%)
- ELEC SUBPANEL
- RELOCATED HISTORIC HOUSE WALL
- NEW METAL STUD WALL/PARTITION
- NEW CONCRETE WALL/PARTITION



GENERAL NOTES



ARCHITECTURE
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BUILD
GREEN
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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

MATERIALS

- A CAST-IN-PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- B CAST IN PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- C PTD STL GUARDRAIL
- D ACRYLIC STUCCO
- E ROOF SHINGLE
- F PTD WD FASCIA BD
- G PTD WD SIDING
- H ACRYLIC STUCCO
- I PTD WD SHINGLE
- J STOREFRONT GLAZING SYSTEM

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

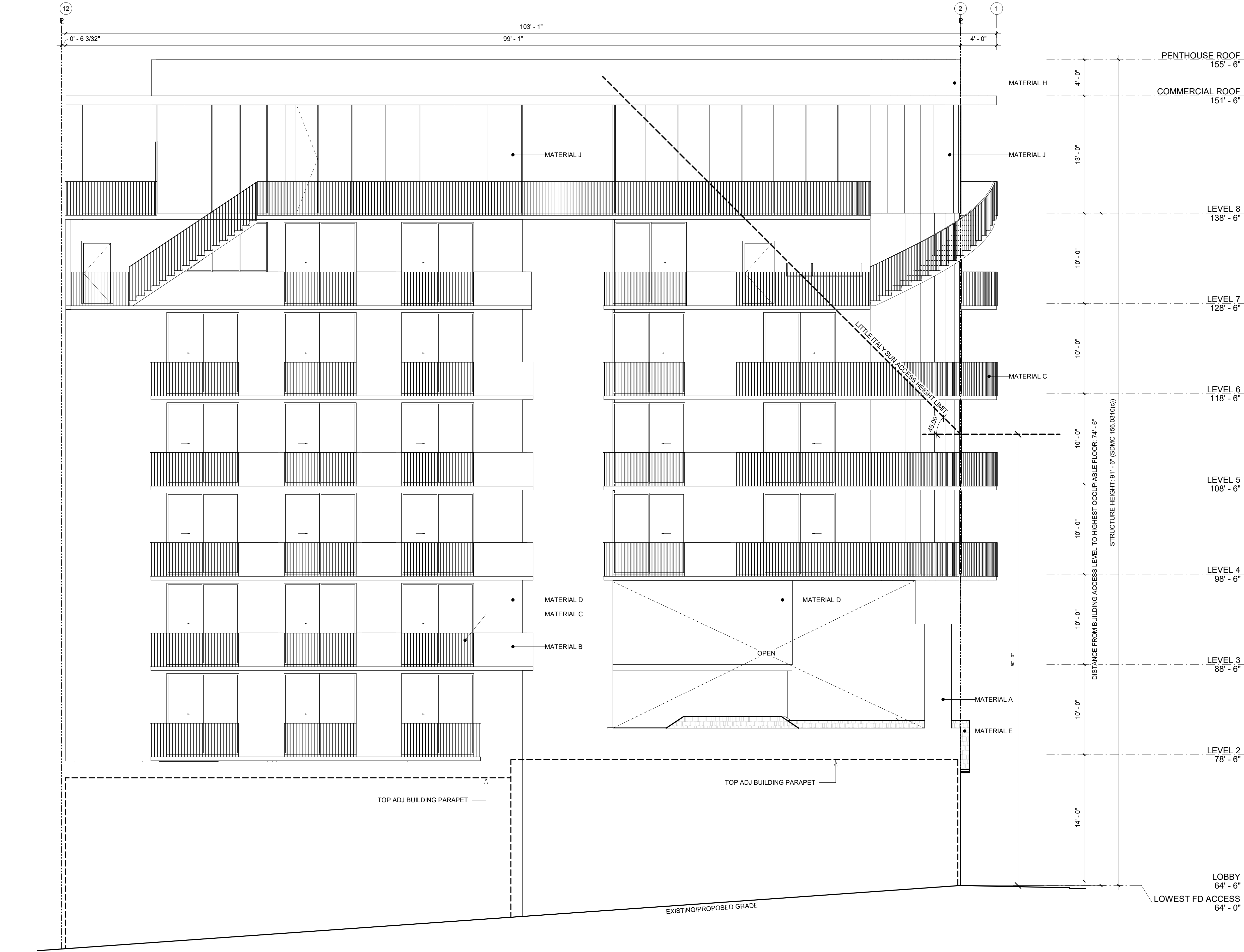
- 1 WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

ELEVATION - EAST

SHEET NO.:

A200



1 ELEVATION - SOUTH
3/16" = 1'-0"

GENERAL NOTES



ARCHITECTURE
ENGINEERING
BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET

LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

MATERIALS

- A CAST-IN-PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- B CAST IN PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- C PTD STL GUARDRAIL
- D ACRYLIC STUCCO
- E ROOF SHINGLE
- F PTD WD FASCIA BD
- G PTD WD SIDING
- H ACRYLIC STUCCO
- I PTD WD SHINGLE
- J STOREFRONT GLAZING SYSTEM

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

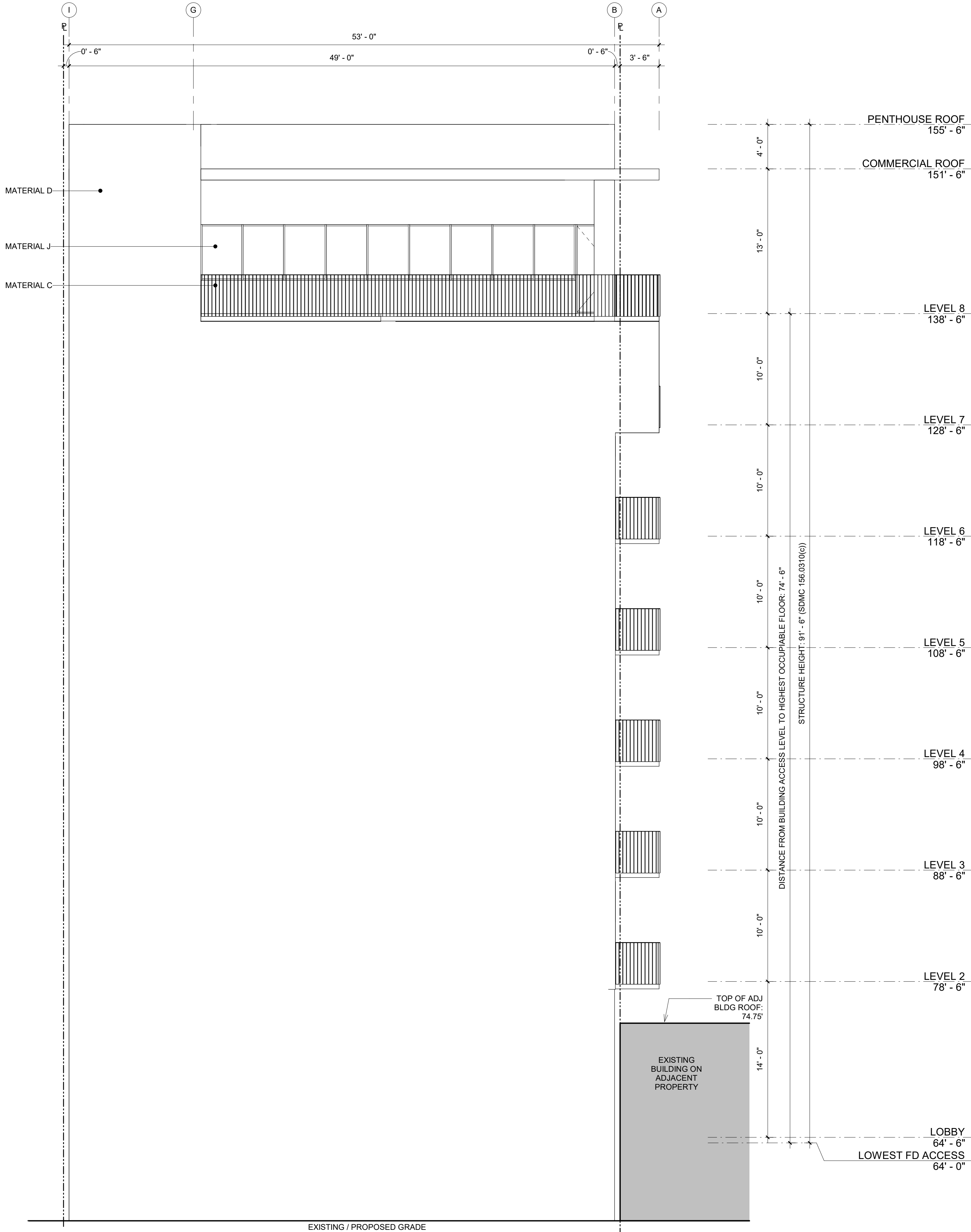
- 1i WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

ELEVATION -
SOUTH

SHEET NO.:

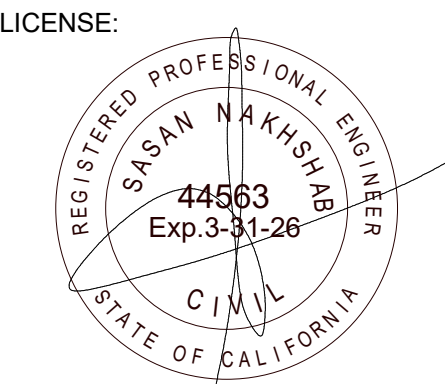
A201



GENERAL NOTES



ARCHITECTURE
ENGINEERING
BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
P:619.255.7257 F:619.255.7833
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REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

MATERIALS

- A CAST-IN-PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- B CAST IN PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- C PTD STL GUARDRAIL
- D ACRYLIC STUCCO
- E ROOF SHINGLE
- F PTD WD FASCIA BD
- G PTD WD SIDING
- H ACRYLIC STUCCO
- I PTD WD SHINGLE
- J STOREFRONT GLAZING SYSTEM

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

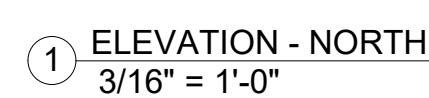
- 1i WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

ELEVATION - WEST

SHEET NO.:

A202



LICENSE:



REGISTERED PROFESSIONAL ENGINEER
SASAN NAKHSHAB
44563
Exp. 3-31-26
CIVIL
STATE OF CALIFORNIA

MATERIALS

- PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

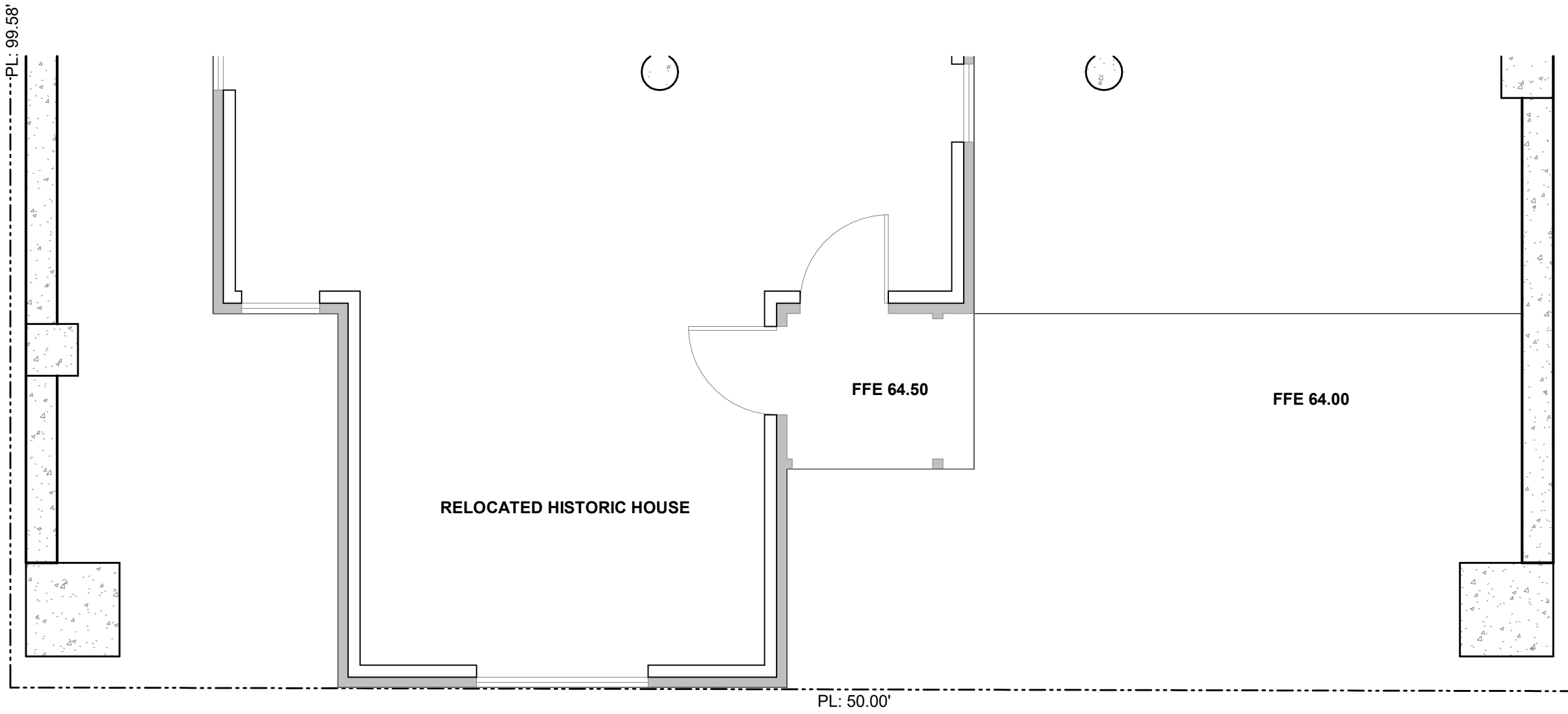
	WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
	ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
	WINDOW TAG, SEE A600 FOR DETAILS
	WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

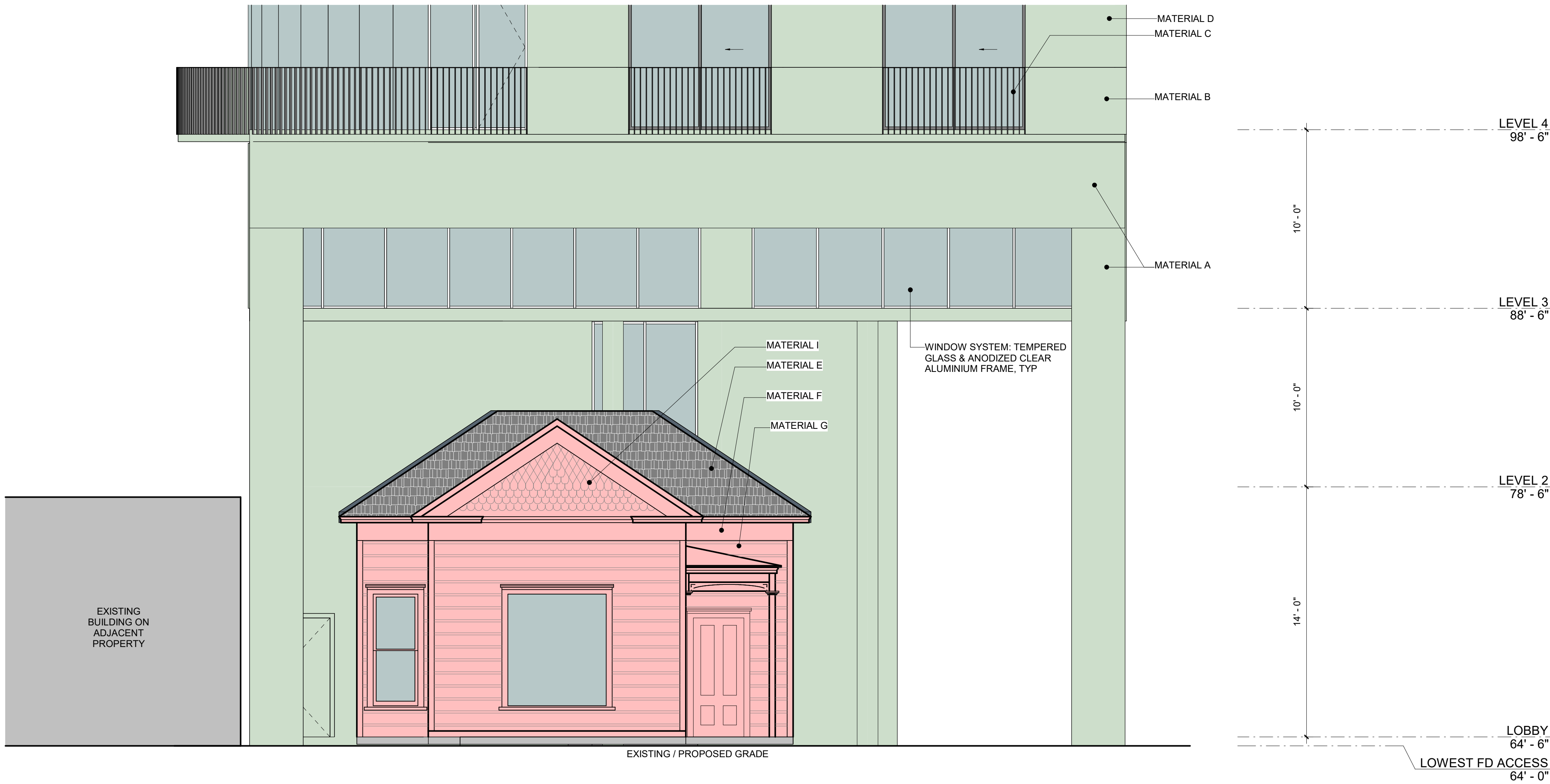
ELEVATION -
NORTH

SHEET NO.:

A204



② ENLARGED PLAN
1/4" = 1'-0"



① ENLARGED ELEVATION - EAST
1/4" = 1'-0"

GENERAL NOTES



ARCHITECTURE
ENGINEERING
BUILD
GREEN
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LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

MATERIALS

- A CAST-IN-PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- B CAST IN PLACE CONCRETE TO MATCH STUCCO COLOR ABOVE
- C PTD STL GUARDRAIL
- D ACRYLIC STUCCO
- E ROOF SHINGLE
- F PTD WD FASCIA BD
- G PTD WD SIDING
- H ACRYLIC STUCCO
- I PTD WD SHINGLE
- J STOREFRONT GLAZING SYSTEM

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

SHEET TITLE:

ENLARGED
ELEVATION

SHEET NO.:

A205



GENERAL NOTES

- 'LOWEST FD ACCESS' IS LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
- ELEVATIONS ARE RELATIVE SEA LEVEL & INDICATE FINISH FLOOR ELEVATION



ARCHITECTURE
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GREEN
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LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

SHEET NOTES

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

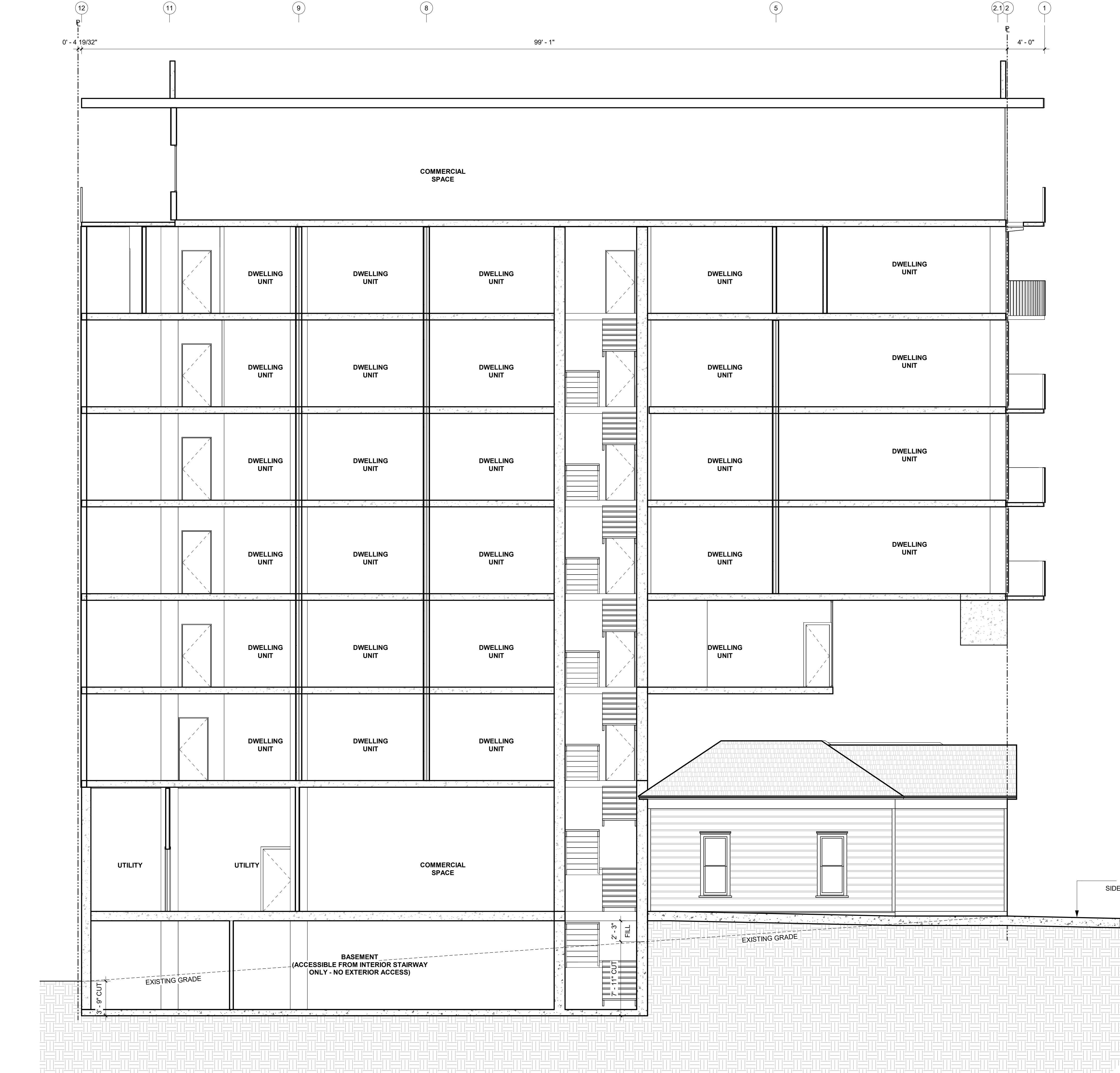
**BUILDING
SECTION**

SHEET NO.:

A300

LEGEND

- 1i WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS



1 BUILDING SECTION A
3/16" = 1'-0"

GENERAL NOTES

- 'LOWEST FD ACCESS' IS LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
- ELEVATIONS ARE RELATIVE SEA LEVEL & INDICATE FINISH FLOOR ELEVATION



ARCHITECTURE
ENGINEERING
BUILD
GREEN
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SAN DIEGO CA 92101
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LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

SHEET NOTES

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

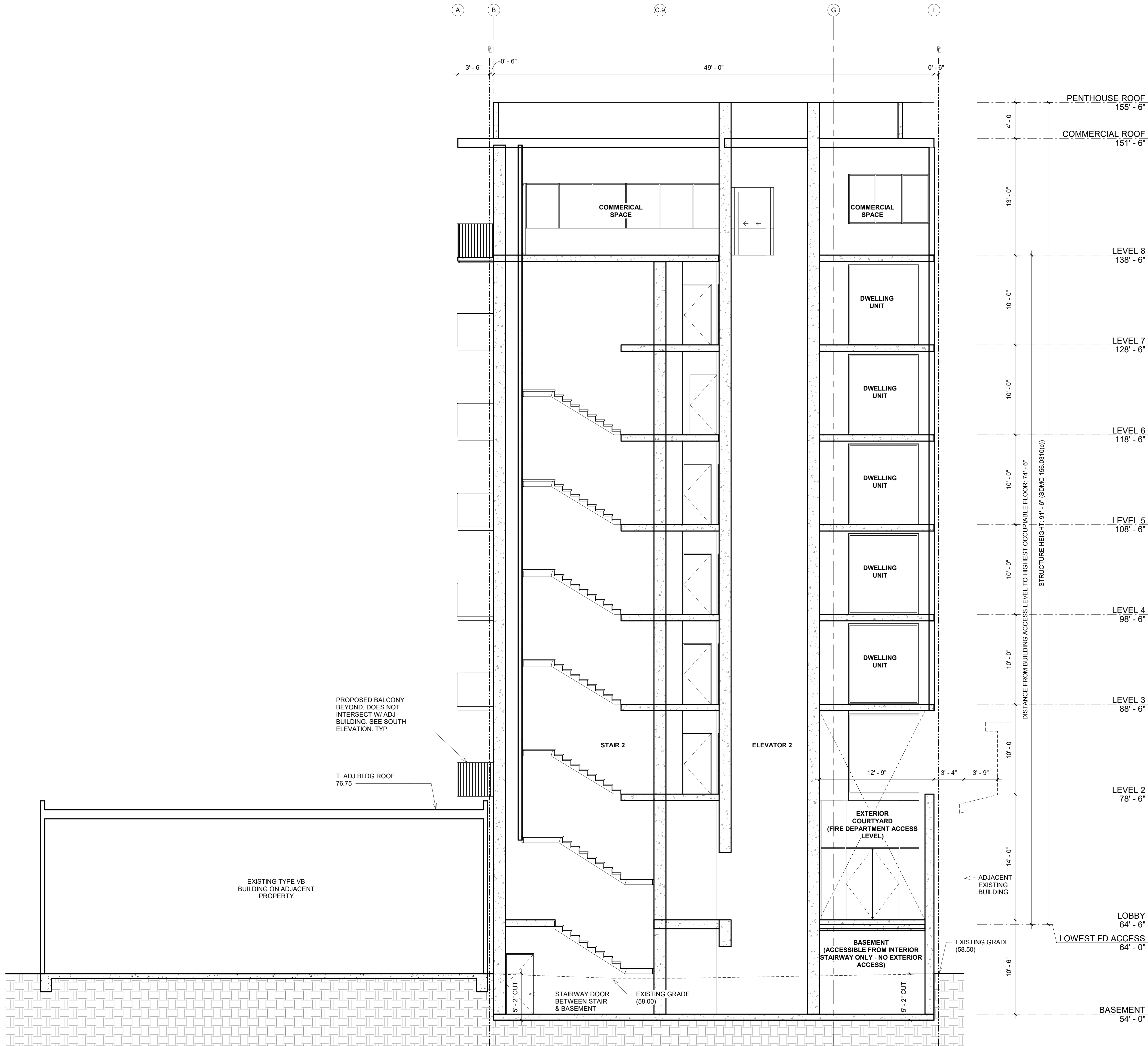
**BUILDING
SECTION**

SHEET NO.:

A301

LEGEND

- 1 WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS



1 BUILDING SECTION C
3/16" = 1'-0"

GENERAL NOTES

- 'LOWEST FD ACCESS' IS LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
- ELEVATIONS ARE RELATIVE SEA LEVEL & INDICATE FINISH FLOOR ELEVATION



ARCHITECTURE
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BUILD
GREEN
598 W LAUREL STREET UNIT 11
SAN DIEGO CA 92101
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LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

SHEET NOTES

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

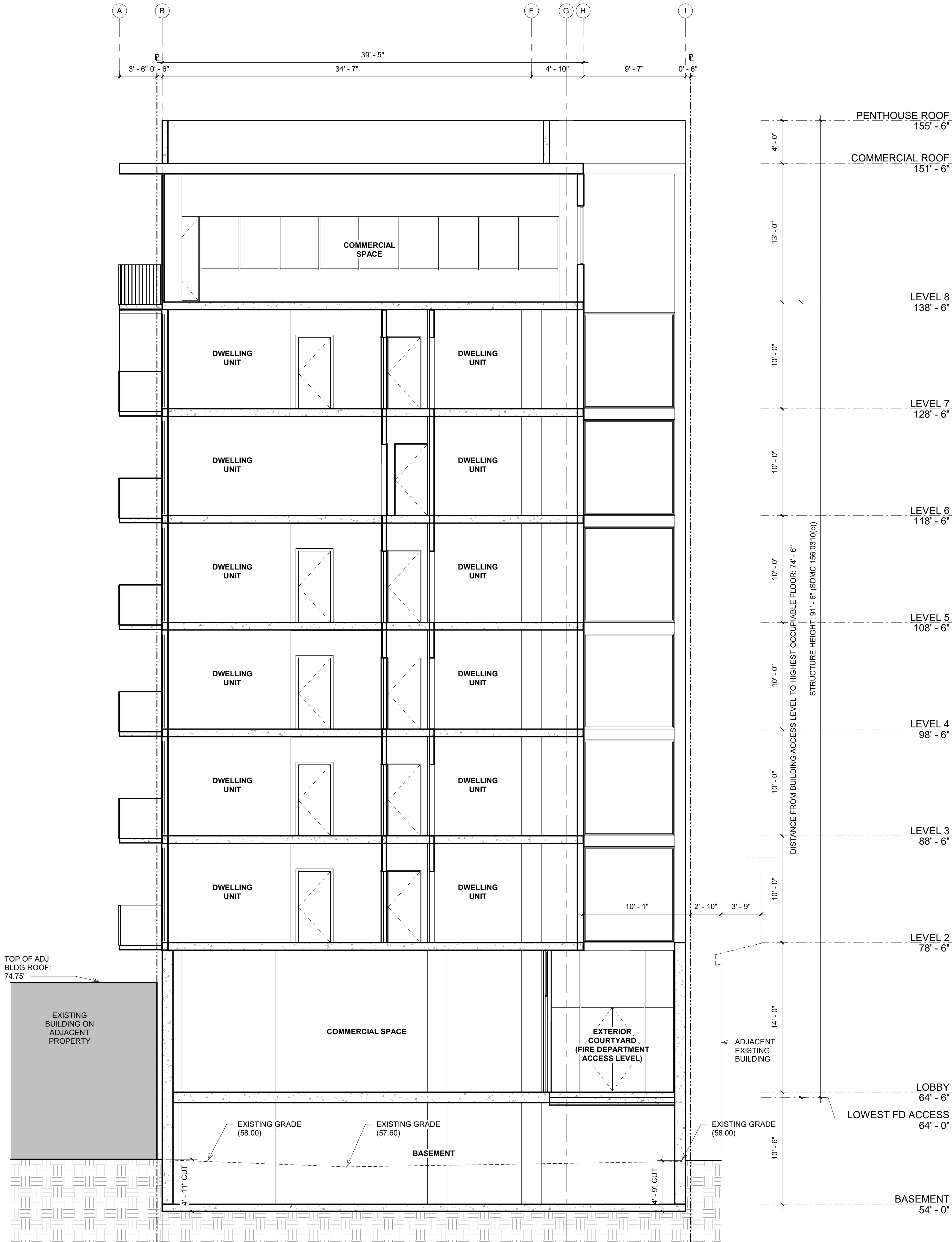
- 1i WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

**BUILDING
SECTION**

SHEET NO.:

A302



1 BUILDING SECTION D
3/16" = 1'-0"

GENERAL NOTES

1. 'LOWEST FD ACCESS' IS LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
2. ELEVATIONS ARE RELATIVE SEA LEVEL & INDICATE FINISH FLOOR ELEVATION



ARCHITECTURE
ENGINEERING
BUILD
GREEN
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LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response 2

SHEET NOTES

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

LEGEND

- 1i WALL/FLOOR TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- R# ROOF TAG, SEE ASSEMBLIES SHEETS FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS
- 1t WINDOW TAG, SEE A600 FOR DETAILS

SHEET TITLE:

BUILDING
SECTION

SHEET NO.:

A303



LICENSE:



REV #	DATE	DESCRIPTION
2	06.04.25	Comment Response

PROJECT/CLIENT:

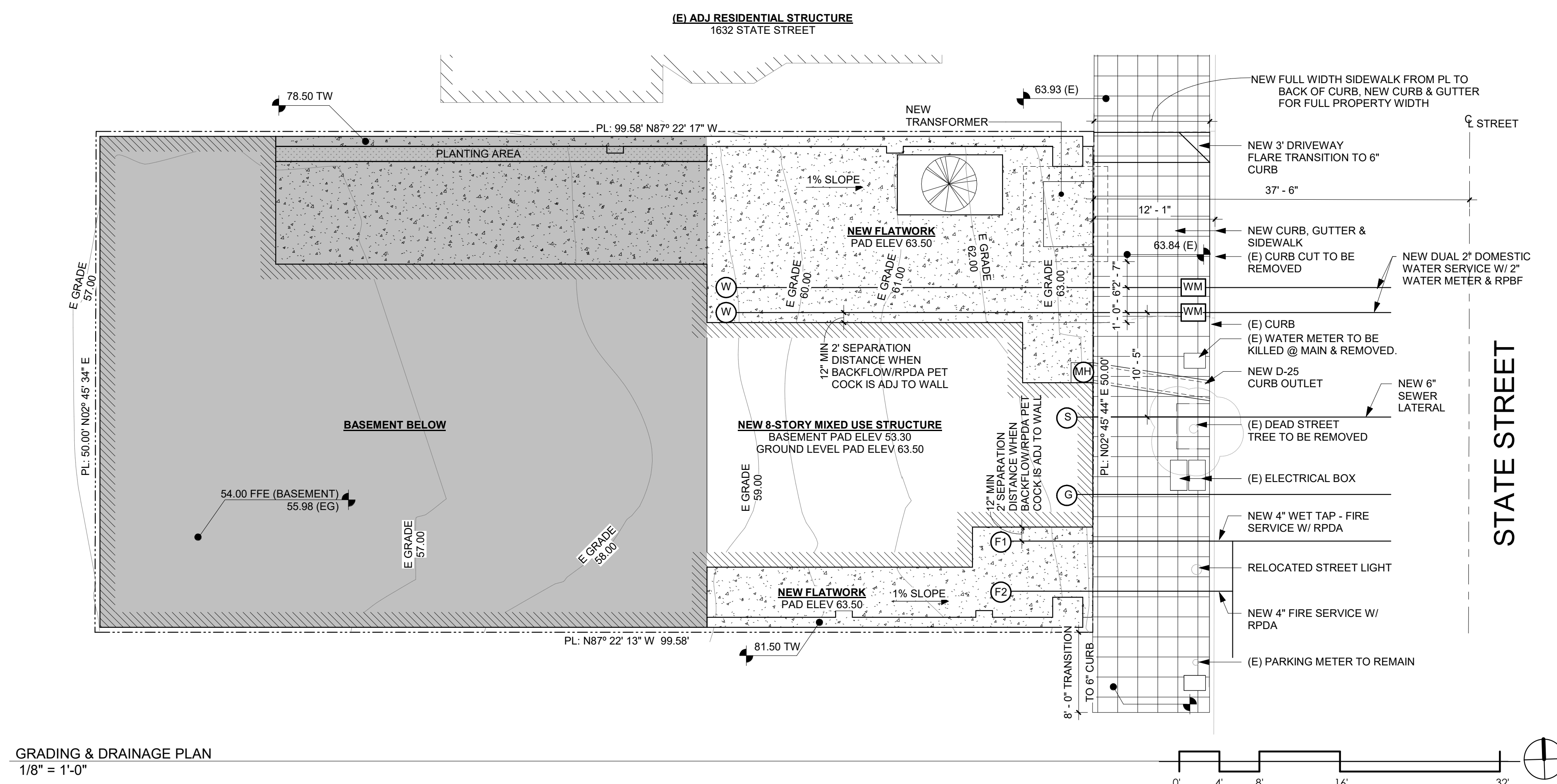
1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00
CELINE

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.:

C.1



GENERAL NOTES		GRADING TABULATIONS		IMPERVIOUS SURFACES		BENCHMARK	
		TOTAL GRADING AREA	4,979 SF 100 % SITE	TOTAL LOT AREA:	4,979 SF	FOUND SWBP @ STATE ST & DATE ST ELEV: 65.12' DATUM: NGVD 29 SOURCE: CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK	
		AMOUNT OF CUT:	460 CY 0 FT MAX DEPTH (OUTSIDE BLDG FOOTPRINT) 9.1 FT MAX DEPTH (INSIDE BLDG FOOTPRINT)	EXISTING IMPERVIOUS AREA:	3,220 SF		
				NEW IMPERVIOUS AREA:	1,587 SF		
				REPLACED IMPERVIOUS AREA:	3,220 SF		
				TOTAL NEW/REPLACED IMPERVIOUS AREA:	4,807 SF		
		AMOUNT OF FILL:	180 CY 4.9 FT MAX DEPTH (OUTSIDE BLDG FOOTPRINT)				
		FILL SLOPES:	2.5 FT MAX HEIGHT 0 SLOPE RATIO				
		CUT SLOPES:	N/A FT MAX HEIGHT 0 SLOPE RATIO				
		IMPORT:	0 CY				
		EXPORT:	280 CY				
		RETAINING WALLS:	78 LF 4.6 FT MAX HEIGHT				

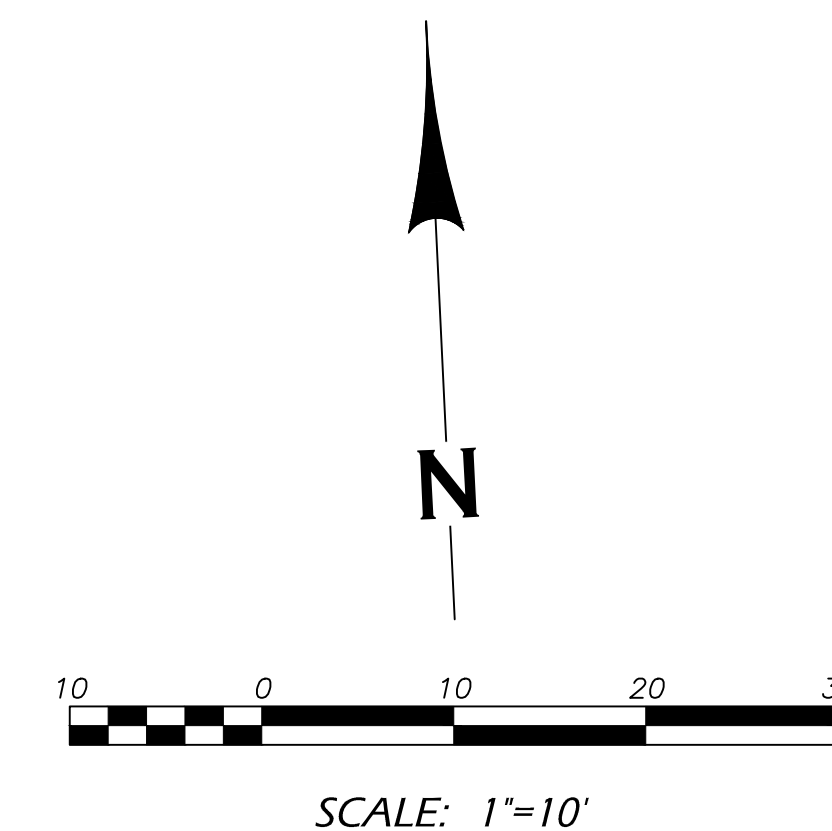
1620 SAN APN

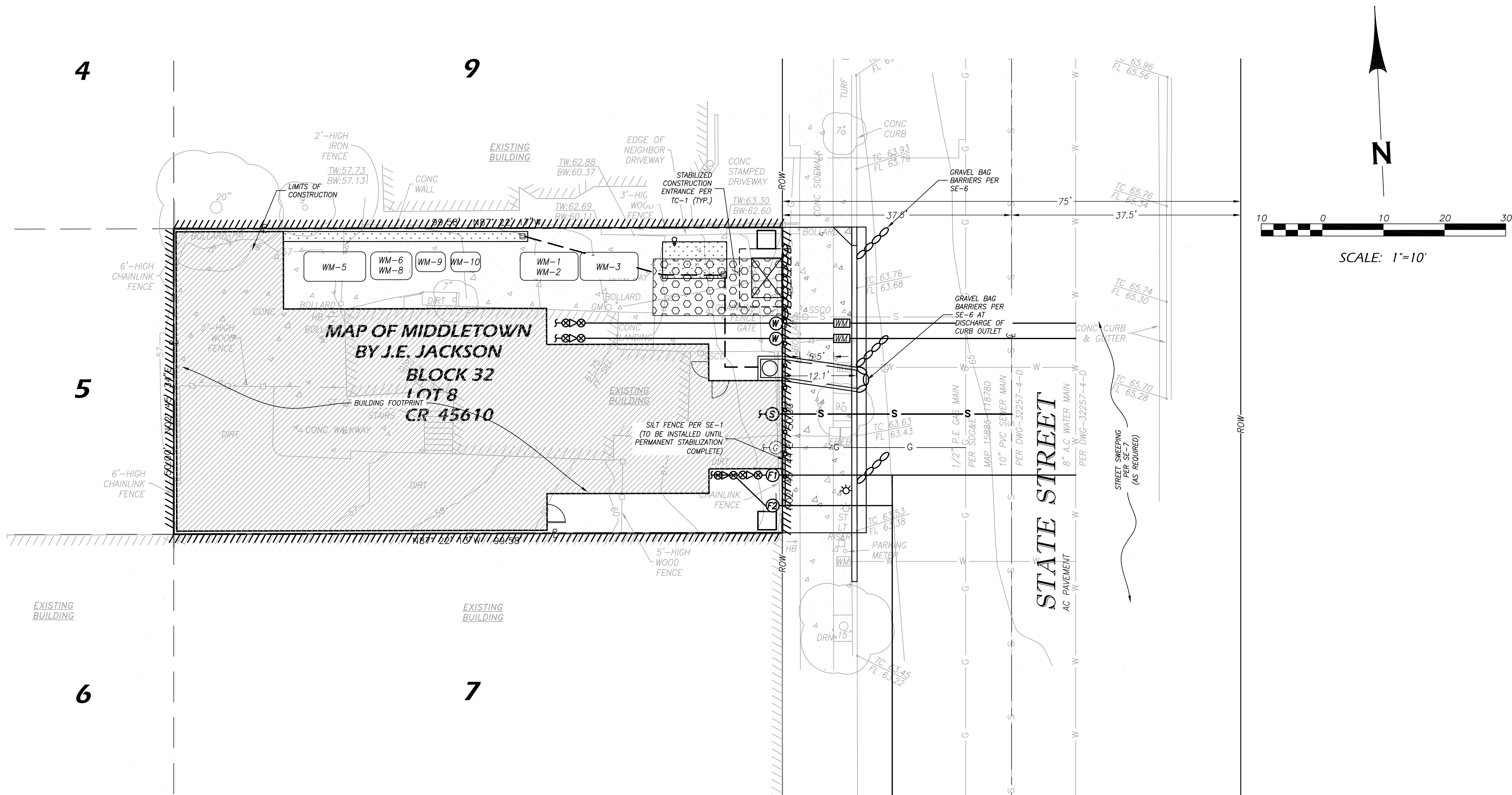
SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.:

C.1





STORM WATER QUALITY NOTES CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

RECEIVING WATER BODY: PACIFIC OCEAN SHORELINE, SCRIPPS HA

LEGEND

DESCRIPTION	CASQA BMP	SYMBOL
PROPERTY LINE		N45°45'45"W
LIMITS OF CONSTRUCTION		
DIRECTION/COURSE OF FLOW		
GRAVEL BAG BERM/BARRIER	SC-6, SC-8	
MATERIALS STORAGE AND HANDLING	WM-1	
	WM-2	
STOCKPILE MANAGEMENT	WM-3	
SOLID WASTE MANAGEMENT	WM-5	
HAZARDOUS/CONCRETE WASTE MANAGEMENT	WM-6, WM-8	
SANITARY WASTE MANAGEMENT	WM-9	
LIQUID WASTE MANAGEMENT	WM-10	
STREET SWEEPING	SC-7	(NO SYMBOL)

** THESE CONSTRUCTION BMPs ARE INTENDED TO BE IMPLEMENTED AS OUTLINED IN THE WATER POLLUTION CONTROL PLAN (WPCP). THESE CONSTRUCTION BMPs ARE NON-PLOTTABLE IN PLAN VIEW. STANDARD DRAWINGS CAN BE FOUND AT THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) WEBSITE: <https://www.casqa.org/resources/bmp-handbooks>

STORMWATER POLLUTION CONTROL BMP NOTES FOR CONSTRUCTION ACTIVITIES

- CONCRETE WASHOUT**
- CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS ILLEGAL TO WASH CONCRETE, SLURRY, MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.
- CONSTRUCTION SITE ACCESS**
- A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS GRAVEL AND/OR CORRUGATED STEEL PANELS/PLATES.
- CONSTRUCTION VEHICLES**
- A SPECIFIC AREA AWAY FROM GUTTERS AND STORMDRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING, VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.
- EROSION CONTROL**
- EROSION CONTROL MUST BE PROVIDED FOR ALL EROSION SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GROUND COVER VEGETATION, AND BONDED FIBER MATRIX.
 - NO EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.
 - DIVERSION DIKES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION SITE. CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.
 - REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER. DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY; THEY HELP DECREASE EROSION.
 - TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL PURPOSES. EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO SHIELD AND BIND THE SOIL.
 - PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE, ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.
 - WATER USAGE FOR DUST CONTROL SHALL BE MINIMIZED.
- ON-SITE CONSTRUCTION MATERIAL STORAGE**
- STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE.
 - ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, PAVING MATERIALS, ASPHALT CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER FLOWS AND STORMDRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.
- TRAINING**
- CONTRACTORS' EMPLOYEES WHO PERFORM CONSTRUCTION IN THE CITY OF ENCINITAS SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF ENCINITAS STORMWATER POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNER(S) AND THE PRIME CONTRACTOR MUST INFORM SUBCONTRACTORS ABOUT STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.
- WASTE MANAGEMENT**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED.
 - NO SEEPAGE FROM DUMPSTERS SHALL BE DISCHARGED INTO STORMWATER. BERMS/DIKES SHALL BE PLACED AROUND DUMPSTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPSTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPSTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPSTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARPS IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL.
 - MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEARED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. FOR INFORMATION ON DISPOSAL OF HAZARDOUS MATERIAL, CALL THE HAZARDOUS WASTE HOTLINE TOLL FREE AT (800) 714-1195. FOR INFORMATION ON LANDFILLS AND TO ORDER DUMPSTERS CALL EDCO AT (760) 436-4151.
 - POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE.
 - PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORMDRAIN INLETS ON PERVIOUS SURFACES.
 - ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORMDRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

CONSTRUCTION BMP NOTES

SITE MANAGEMENT REQUIREMENTS: DRY SEASON REQUIREMENTS (APRIL 1 THRU SEPT 30)

- A. EXPOSED DISTURBED AREAS MUST HAVE EROSION PROTECTION BMPs PROPERLY INSTALLED. THIS WOULD INCLUDE ALL BUILDING PADS, UNFINISHED ROADS AND SLOPES. THE ONLY RELIEF FROM THIS REQUIREMENT FOR SLOPES GREATER THAN 3:1 (HOR TO VERT) IS IF THE SITE HAS PROPERLY-DESIGNED DE-SILTING BASINS AT ALL DISCHARGE POINTS.
- B. ADEQUATE PERIMETER PROTECTION BMP'S MUST BE INSTALLED AND MAINTAINED.
- C. ADEQUATE SEDIMENT CONTROL BMP'S MUST BE INSTALLED AND MAINTAINED.
- D. ADEQUATE BMP'S TO CONTROL OFF-SITE SEDIMENT TRACKING MUST BE INSTALLED AND MAINTAINED.
- E. A MINIMUM OF 125% OF THE MATERIAL NEEDED TO INSTALL STANDBY BMP'S NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION, AND TO PREVENT SEDIMENT DISCHARGES, MUST BE STORED ON SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMP'S AS DESCRIBED BELOW ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
- F. THE PROJECT PROPONENT MUST HAVE AN APPROVED "WEATHER TRIGGERED" ACTION PLAN AND HAVE THE ABILITY TO DEPLOY STANDBY BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT. A PREDICTED STORM EVENT IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN. ON REQUEST, THE PROJECT PROPONENT MUST PROVIDE PROOF OF THIS CAPABILITY.
- G. DEPLOYMENT OF PHYSICAL OR VEGETATION EROSION CONTROL BMP'S MUST COMMENCE AS SOON AS SLOPES ARE COMPLETED FOR ANY PORTION OF THE SITE. THE PROJECT PROPONENT MAY NOT CONTINUE TO RELY ON THE ABILITY TO DEPLOY STANDBY BMP MATERIALS TO PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.
- H. THE AREA THAT CAN BE CLEARED OR GRADED AND LEFT EXPOSED AT ONE TIME IS LIMITED TO THE AMOUNT OF ACREAGE THAT THE PROJECT PROPONENT CAN ADEQUATELY PROTECT PRIOR TO A PREDICTED RAINSTORM.

RAINY SEASON REQUIREMENTS (OCT 1 THRU MARCH 31)

- IN ADDITION TO THE REQUIREMENTS LISTED UNDER THE DRY SEASON REQUIREMENTS:
1. PERIMETER PROTECTION AND SEDIMENT CONTROL BMP'S MUST BE UPGRADED IF NECESSARY TO PROVIDE SUFFICIENT PROTECTION FOR STORMS LIKELY TO OCCUR DURING THE RAINY SEASON.
 2. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMP'S MUST BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO THE START OF THE RAINY SEASON. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP SHOWS THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENT MUST THEREFORE PUT A MORE ROBUST BMP IN PLACE.
 3. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMP'S PRIOR TO A PREDICTED RAINSTORM.
 4. A DISTURBED AREA THAT IS NOT COMPLETED BUT THAT IS NOT BEING ACTIVELY GRADED MUST BE FULLY PROTECTED FROM EROSION IF LEFT FOR 10 OR MORE DAYS. THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. BMP'S MUST ACTUALLY BE DEPLOYED.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND PERMIT HOLDER TO SELECT, INSTALL AND MAINTAIN APPROPRIATE BMP'S.

COFFEY ENGINEERING, INC.



9446 BUSINESSPARK AVE. SUITE 210
SAN DIEGO, CA 92131
PH (619) 581-0111 FAX (619) 581-0179

LICENSE:



REV DATE DESCRIPTION
#

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101

APN 533-352-09-00

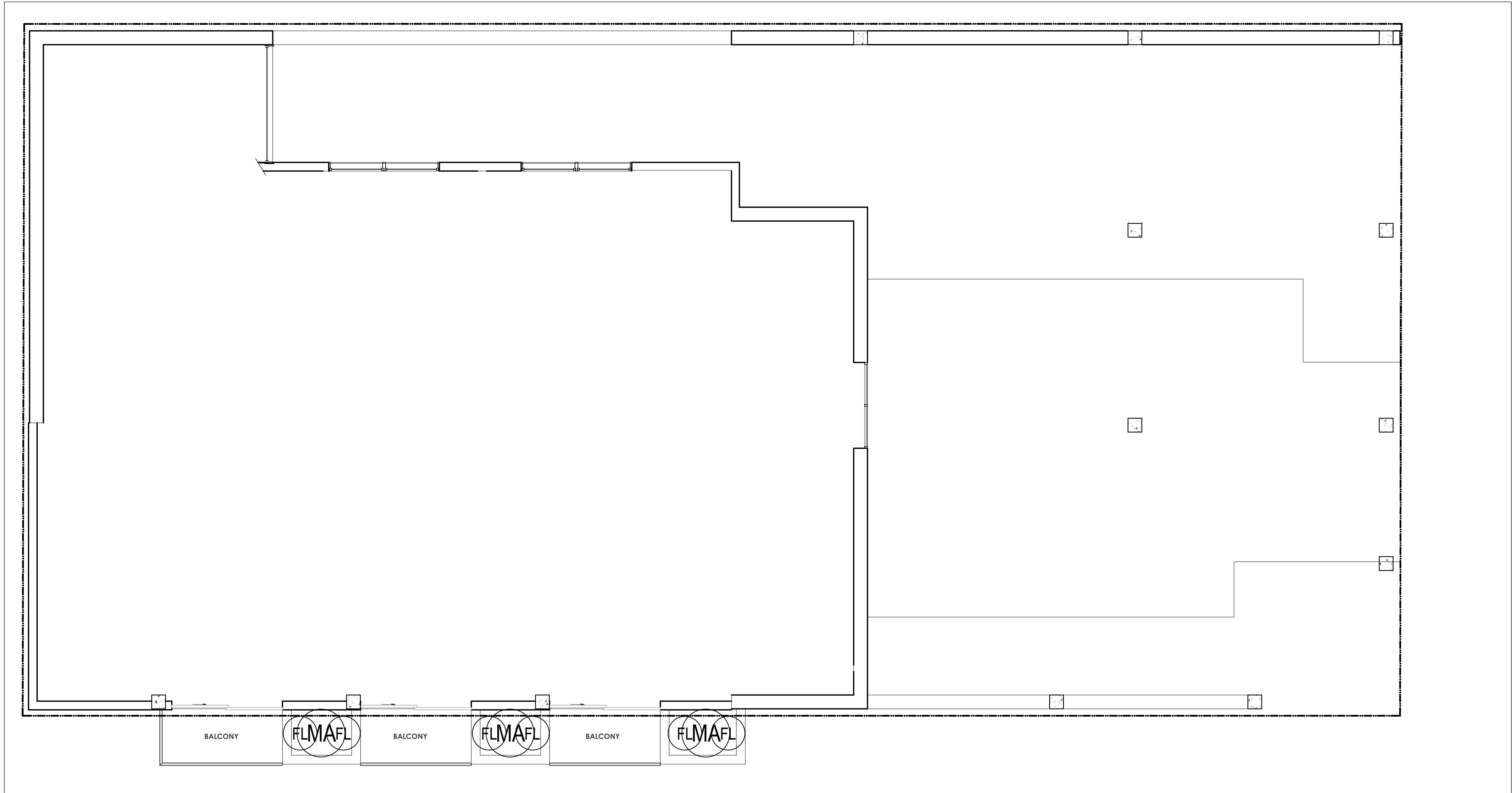
CELINE

SHEET
TITLE:

LID BMP PLAN

SHEET
NO.:

C.3



LANDSCAPE CONCEPT PLAN - LEVELS 2 & 3

1/4" = 1'-0"

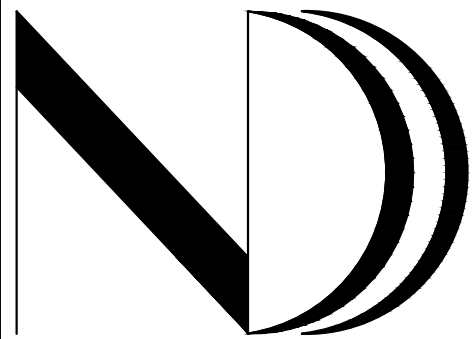
PLANTING LEGEND FOR LEVELS 2 - 8

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / %	FORM & FUNCTION/ HT. X SPR./LEVEL
SHRUBS				
FL	DIANELLA T. 'SILVER STREAK' BULBINE FRUTESCENS	SILVER STREAK FLAX LILY ORANGE STALKED BULBINE	5 GALLON/100% 1 GALLON/100%	UNDERSTORY ORNAMENTAL GRASS/30" X 2' / LEVEL 2 UNDERSTORY ACCENT SUCCULENT/2" X 2'/LEVEL 3
CT	CHODROPETALUM TECTORUM	CAPE RUSH	5 GALLON/100%	ORNAMENTAL GRASS/4' X 3'
MA	ALOE MARLOTHII	MOUNTAIN ALOE	5 GALLON/100%	SPECIMEN SUCCULENT/3' X 3', LEVEL 2
	FURCRAEA FOETIDA	MAURITIUS HEMP	5 GALLON/100%	SPECIMEN SUCCULENT/4' X 3', LEVEL 3
PLANTING NOTES: 1. NO INVASIVE PLANTS ARE PROPOSED FOR THIS PROJECT. 2. UNDERPLANT ALL BALCONY PLANTERS WITH CONVOLULUS MAURITANICA (GROUND MORNING GLORY), 2 PER PLANTER, 100% 1 GALLON.				

IRRIGATION & MAINTENANCE NOTES:

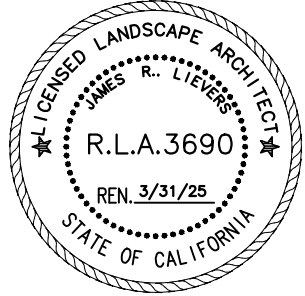
1. IRRIGATION WILL BE BY A FULLY AUTOMATIC DRIP DISTRIBUTION SYSTEM STAKED ON GRADE. RAIN SENSORS AND WEATHER BASED CONTROLLER WILL BE USED FOR EFFICIENT USE OF WATER.

2. MAINTENANCE OF BALCONY PLANTERS SHALL BE BY UNIT OWNER.



NAK H S H A B
DEVELOPMENT.DESIGN
ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15th ST, SUITE 100
SAN DIEGO, CA 92101
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LICENSE:



DATE DESCRIPTION MARK

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00

CELINE

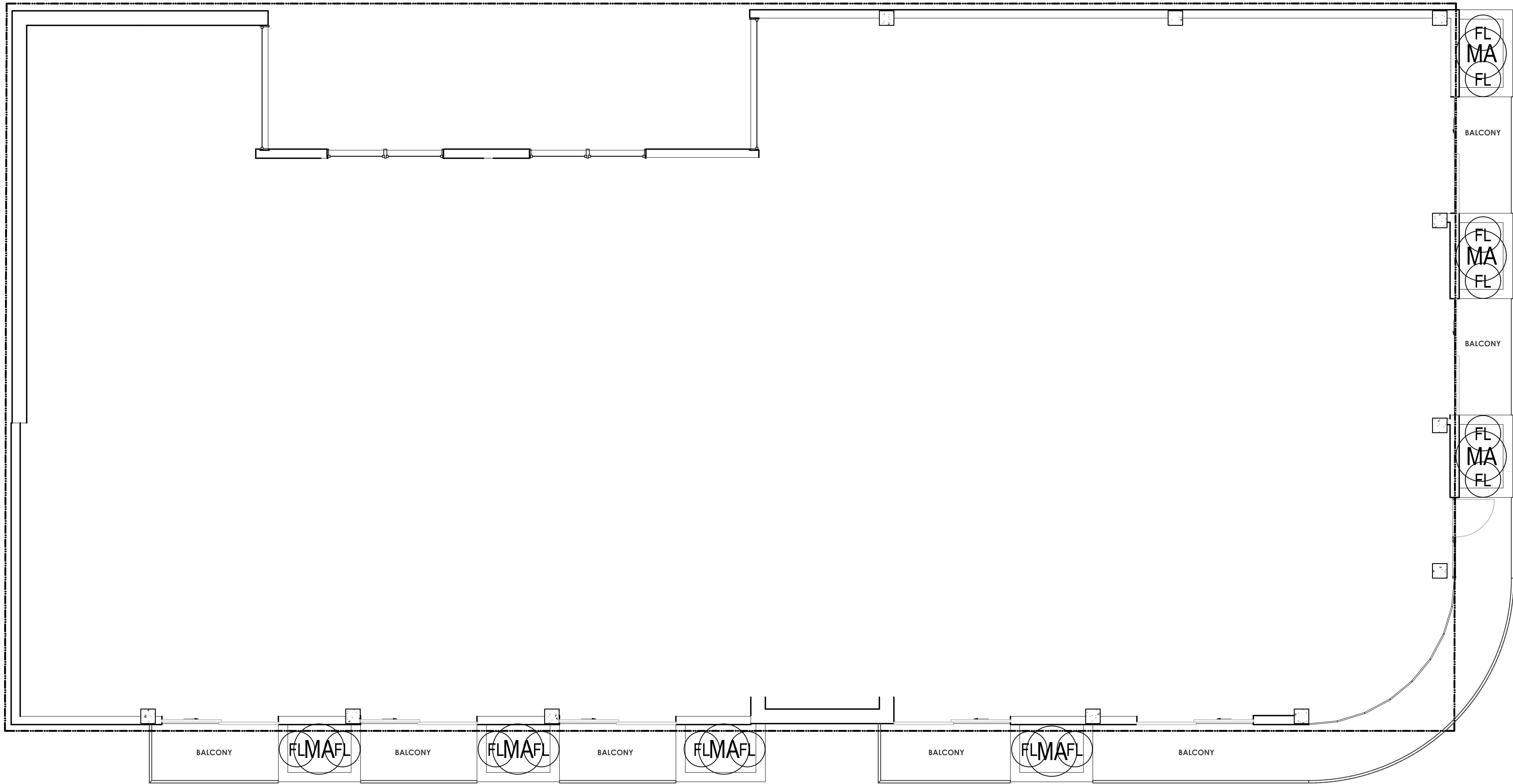
SHEET TITLE:

LANDSCAPE
CONCEPT PLAN -
LEVELS 2 & 3

SHEET NO.:

L102

MAK
DESIGN
LANDSCAPE
ARCHITECTURE
1537 BIRCH BRIAR LN.
ESCONDIDO, CA 92027
PHONE (760) 715-0732



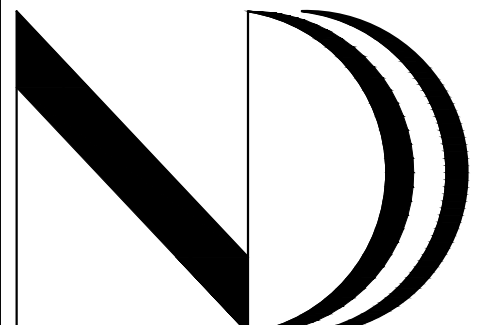
LANDSCAPE CONCEPT PLAN - LEVELS 4-7

1/4" = 1'-0"

PLANTING LEGEND FOR LEVELS 4-7

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / %	FORM & FUNCTION/ HT. X SPR./LEVEL
SHRUBS				
FL	DIANELLA T. 'SILVER STREAK' BULBINE FRUTESCENS	SILVER STREAK FLAX LILY ORANGE STALKED BULBINE	5 GALLON/100% 1 GALLON/100%	UNDERSTORY ORNAMENTAL GRASS/30" X 2' / LEVELS 4, 6 UNDERSTORY ACCENT SUCCULENT/2" X 2'/LEVELS 5, 7
MA	ALOE MARLOTHII FURCRAEA FOETIDA	MOUNTAIN ALOE MAURITIUS HEMP	5 GALLON/100% 5 GALLON/100%	SPECIMEN SUCCULENT/3' X 3', LEVELS 4, 6 SPECIMEN SUCCULENT/4' X 3', LEVELS 5, 7
PLANTING NOTES: 1. NO INVASIVE PLANTS ARE PROPOSED FOR THIS PROJECT. 2. UNDERPLANT ALL BALCONY PLANTERS WITH CONVOLULUS MAURITANICA (GROUND MORNING GLORY). 2 PER PLANTER, 100% 1 GALLON.				

IRRIGATION & MAINTENANCE NOTES:
1. IRRIGATION WILL BE BY A FULLY AUTOMATIC DRIP DISTRIBUTION SYSTEM STAKED ON GRADE. RAIN SENSORS AND WEATHER BASED CONTROLLER WILL BE USED FOR EFFICIENT USE OF WATER.
2. MAINTENANCE OF BALCONY PLANTERS SHALL BE BY UNIT OWNER.



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LICENSE:



DATE	DESCRIPTION	MARK

PROJECT/CLIENT:

1620 STATE STREET
SAN DIEGO, CA 92101
APN 533-352-09-00

CELINE

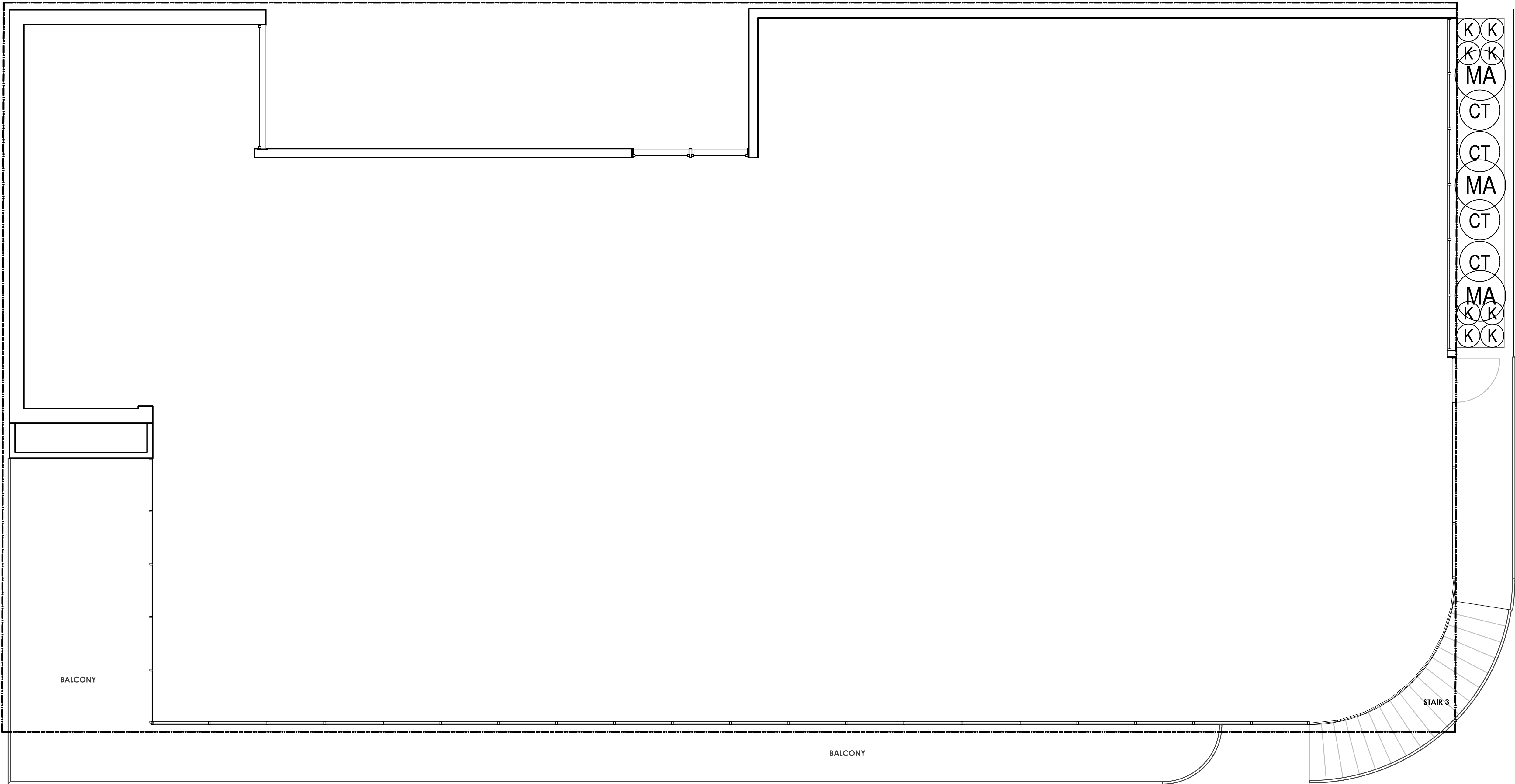
SHEET TITLE:

LANDSCAPE
CONCEPT PLAN -
LEVELS 4-7

SHEET NO.:

L103

MAK
DESIGN
LANDSCAPE
ARCHITECTURE
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ESCONDIDO, CA 92027
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LANDSCAPE CONCEPT PLAN - LEVEL 8

1/4" = 1'-0"

PLANTING LEGEND FOR LEVEL 8

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / %	FORM & FUNCTION/ HT. X SPR./LEVEL
SHRUBS				
CT	CHODROPETALUM TECTORUM	CAPE RUSH	5 GALLON/100%	ORNAMENTAL GRASS/4' X 3'
MA	ALOE MARLOTHII	MOUNTAIN ALOE	5 GALLON/100%	SPECIMEN SUCCULENT/3' X 3', LEVEL 8
K	AEONIUM H. 'KIWI'	NCN	5 GALLON/100%	UNDERSTORY SUCCULENT/2' X 2'
PLANTING NOTES: 1. NO INVASIVE PLANTS ARE PROPOSED FOR THIS PROJECT. 2. UNDERPLANT ALL BALCONY PLANTERS WITH CONVOLULUS MAURITANICA (GROUND MORNING GLORY), 2 PER PLANTER, 100% 1 GALLON.				

IRRIGATION & MAINTENANCE NOTES:

1. IRRIGATION WILL BE BY A FULLY AUTOMATIC DRIP DISTRIBUTION SYSTEM STAKED ON GRADE. RAIN SENSORS AND WEATHER BASED CONTROLLER WILL BE USED FOR EFFICIENT USE OF WATER.

2. MAINTENANCE OF BALCONY PLANTERS SHALL BE BY UNIT OWNER.