

## La Jolla Shores Planned District Advisory Board (LJSPDAB) APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

### For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):  
**PRJ-1134889 – Woodford Residence**
- Address and APN(s):  
**2955 (TBD) Woodford Dr., La Jolla, CA 92037, APN: 346-741-31-00**
- Project contact name, phone, e-mail:  
**Sarah Horton for Golba Architecture, 619-231-9905, shorton@golba.com**
- Project description:  
**Application for a site development permit to construct a new 2-story single family residence with an attached 3-car garage and an attached 2-story ADU in the back of the house. The lot is currently vacant.**
- Please indicate the action you are seeking from the Advisory Board:
  - ☐ Recommendation that the Project is minor in scope (Process 1)
  - ☒ Recommendation of approval of a Site Development Permit (SDP)
  - ☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
  - ☐ Other: \_\_\_\_\_
- In addition, provide the following:
  - lot size: **20,108 s.f.**
  - existing structure square footage and FAR (if applicable): **N/A**
  - proposed square footage and FAR: **8,319 s.f. / 0.41 FAR**
  - existing and proposed setbacks on all sides:

|                  |                                |
|------------------|--------------------------------|
| <b>Existing:</b> | <b>N/A</b>                     |
| <b>Proposed:</b> | <b>F.Y.S.B.: 25'-0"</b>        |
|                  | <b>S.Y.S.B. (East): 5'-5"</b>  |
|                  | <b>S.Y.S.B. (West): 23'-6"</b> |
|                  | <b>R.Y.S.B.: 44'-1"</b>        |
  - height if greater than 1-story (above ground): **28'-1 ½"**

### For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): **N/A**
- Address and APN(s): **N/A**
- Project contact name, phone, e-mail: **N/A**
- Project description: **N/A**
- In addition to the project description, please provide the following:
  - lot size: **N/A**
  - existing structure square footage and FAR (if applicable): **N/A**
  - proposed square footage and FAR: **N/A**

- existing and proposed setbacks on all sides: **N/A**
  - height if greater than 1-story (above ground): **N/A**
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): **N/A**

**Exhibits and other materials to provide:**

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
  - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
  - B. Elevations for all sides;
  - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
  - D. If the proposal is for a building with more than one story, show:
    - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
    - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
    - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

**PLEASE DO NOT PROVIDE THE FOLLOWING:**

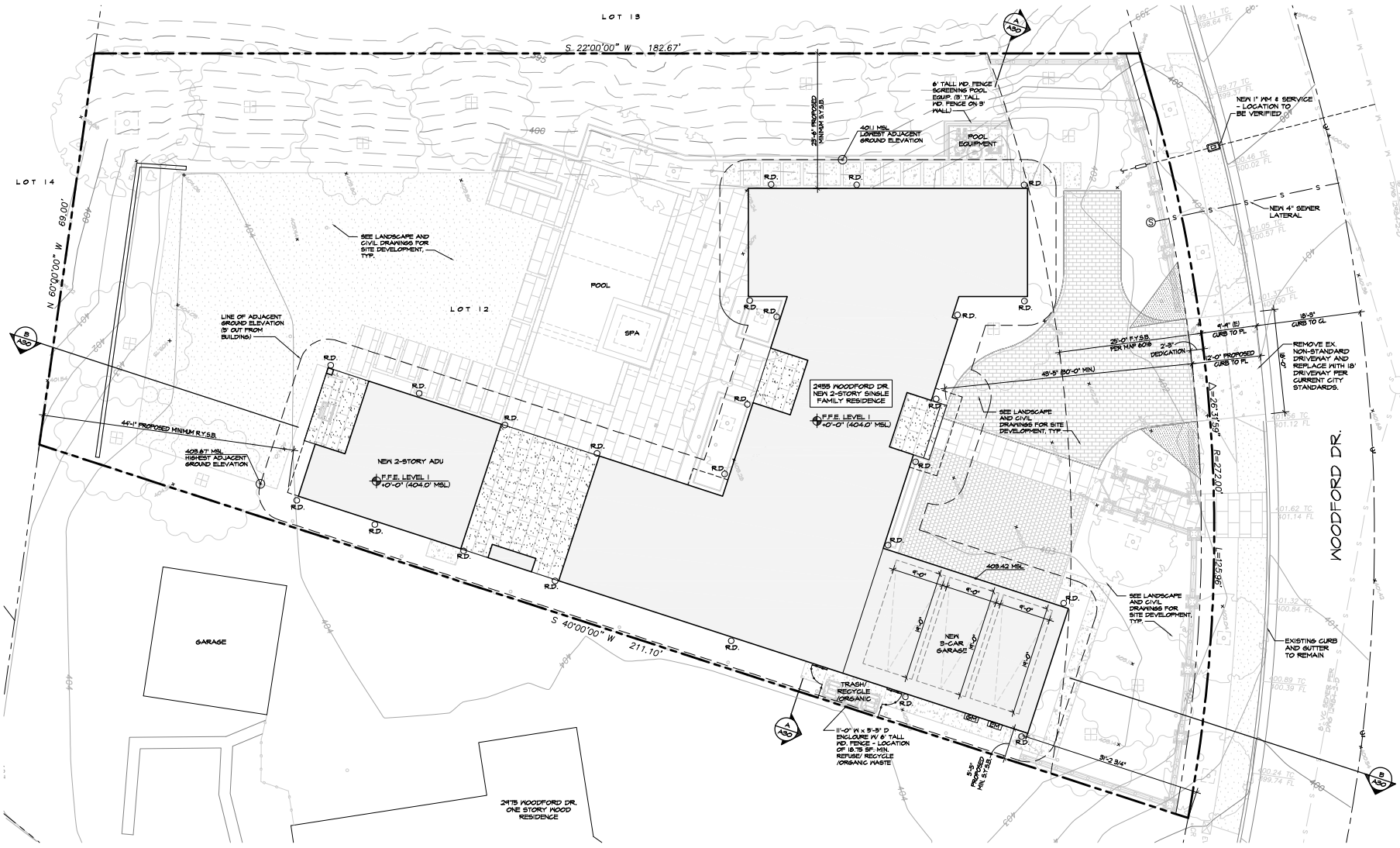
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner  
[magarcia@sandiego.gov](mailto:magarcia@sandiego.gov)  
 City Planning Department  
 619-236-6173



#### SITE NOTES:

1. THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMG SECTION 19.0210.
2. THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
3. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UPC 101.4.4).
4. METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDME.
5. SEE ATTACHED TOPOGRAPHIC SURVEY FOR THE SOURCE OF TOPOGRAPHIC INFORMATION.
6. SEE HYDRANT MAP ON SHEET T82 FOR LOCATION OF FIRE HYDRANTS.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
8. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.0404 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
9. MECHANICAL EQUIPMENT MAY ENCRoACH INTO SETBACKS IF SOUND ATTENUATION FEATURES ARE INCLUDED AND MEET SECTION 143.0401.
10. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
11. SEE ATTACHED CIVIL PLANS FOR GRADING, DRAINAGE, EROSION CONTROL, AND CONSTRUCTION BMPs.
12. SEE ATTACHED LANDSCAPE DRAWINGS FOR SITE DESIGN INFORMATION.

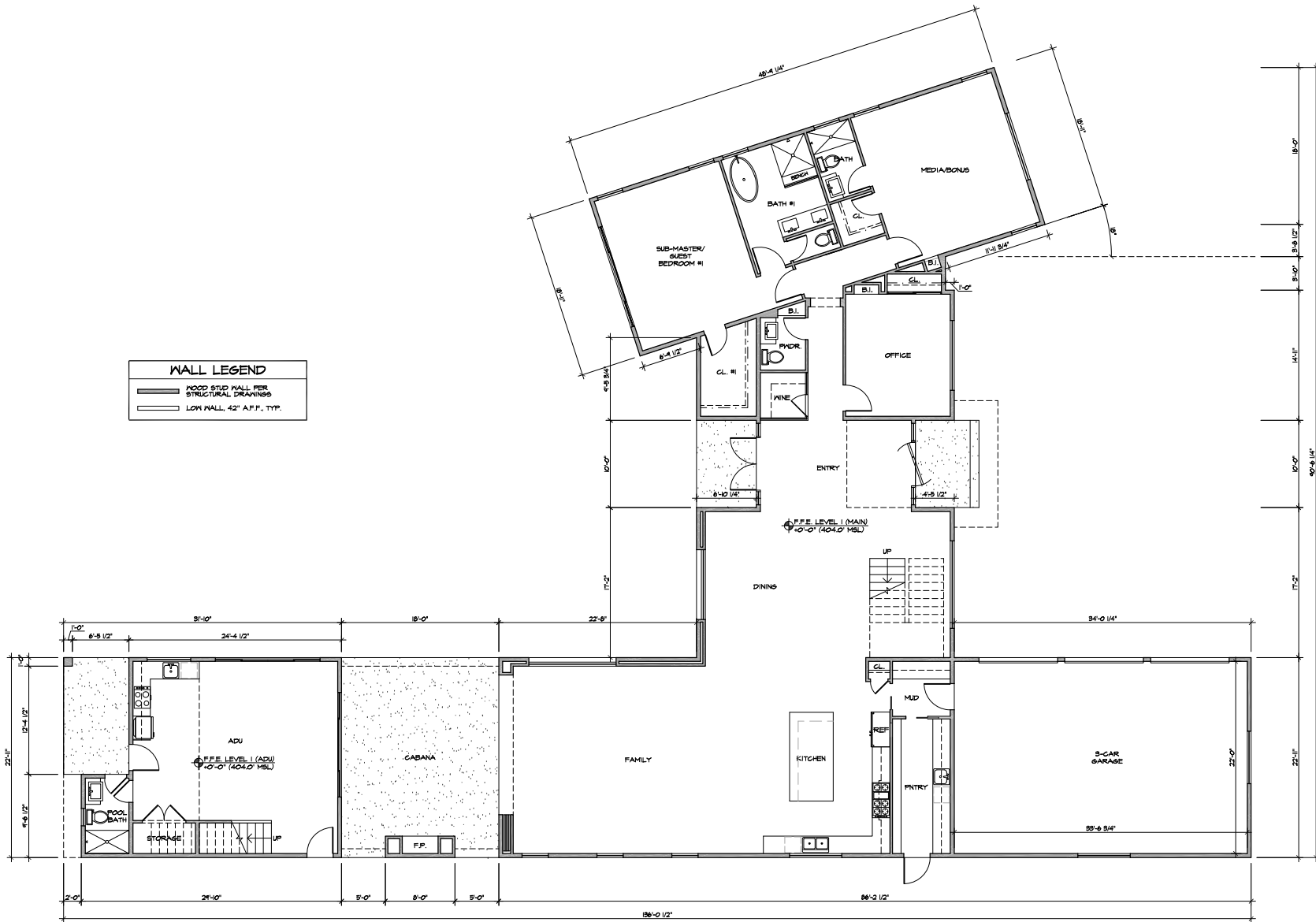
#### SITE LEGEND:

- |  |                                                                                                                        |  |                                                                |
|--|------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------|
|  | NEW FOOTPRINT                                                                                                          |  | INDICATES PROPERTY LINE                                        |
|  | NEW CONCRETE PAVING                                                                                                    |  | INDICATES SETBACK LINE                                         |
|  | VISIBILITY AREA - NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT |  | ELECTRIC METER                                                 |
|  |                                                                                                                        |  | GAS METER                                                      |
|  |                                                                                                                        |  | WATER METER                                                    |
|  |                                                                                                                        |  | ROOF DRAIN/DECK DRAIN DOWNSPOUT: DISCHARGE INTO LANDSCAPE AREA |

EHRA:  
ALL PRIVATE & NON-STANDARD IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE CITY ENGINEER'S APPROVAL VIA ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EHRA).

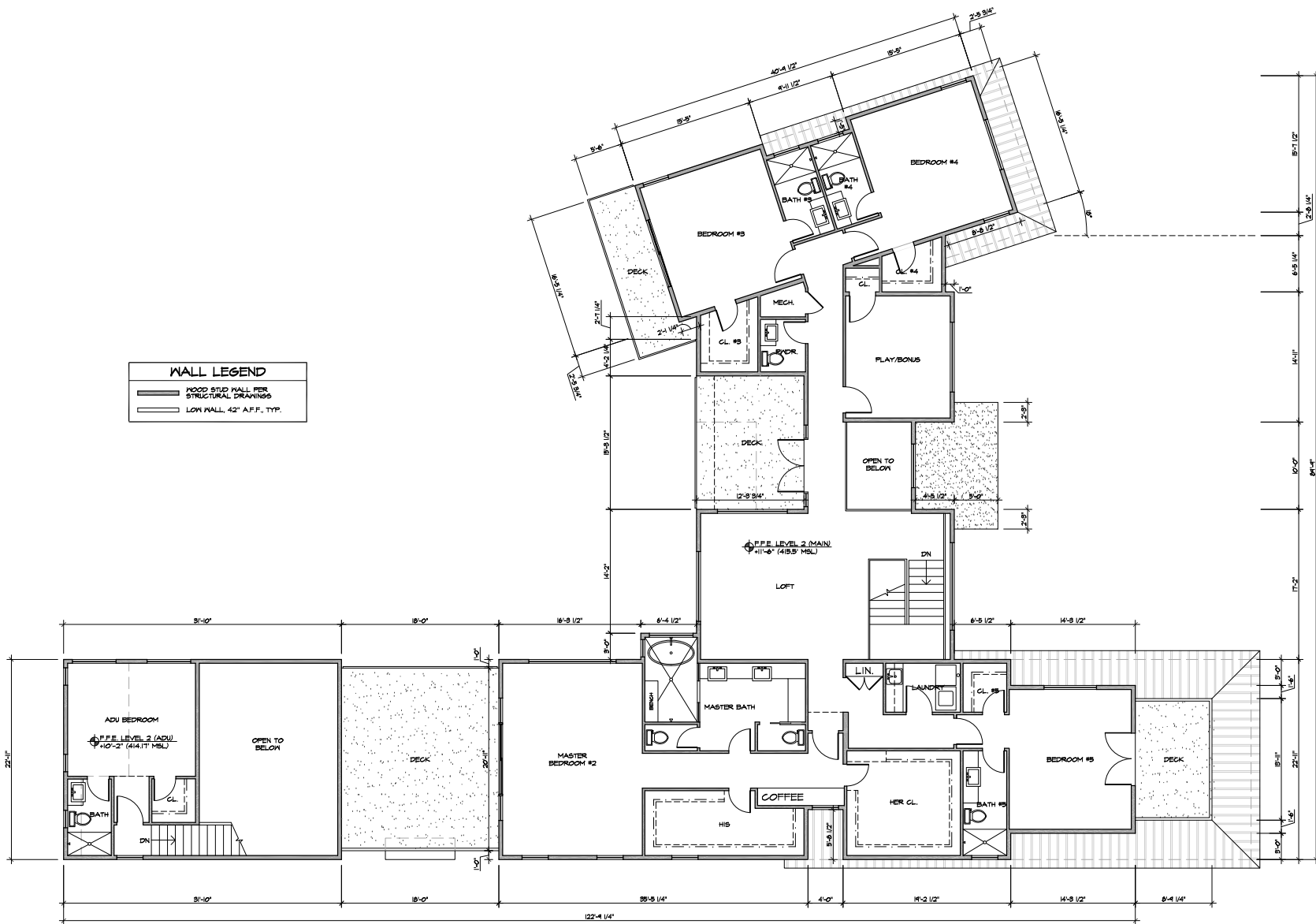
SITE PLAN  
SCALE: 1/8"=1'-0"





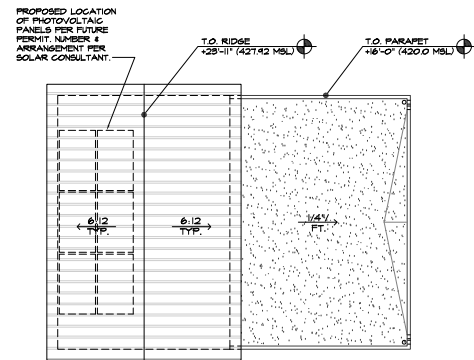
FIRST FLOOR PLAN  
SCALE: 3/8"=1'-0"



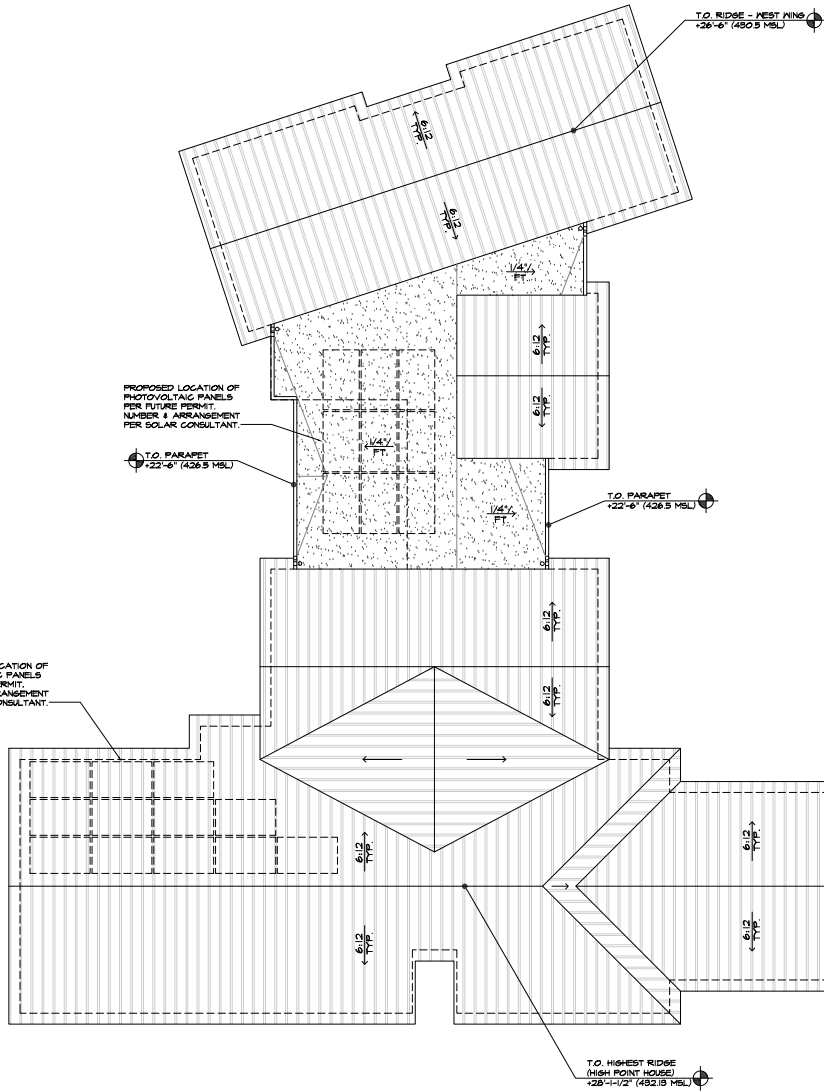


SECOND FLOOR PLAN  
SCALE: 3/8"=1'-0"





PROPOSED LOCATION OF PHOTOVOLTAIC PANELS PER FUTURE PERMIT. NUMBER & ARRANGEMENT PER SOLAR CONSULTANT.



NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 50'-0" ABOVE THE GRADE (SDMG 18.0270)

ROOF PLAN  
SCALE: 3/8"=1'-0"



**GOLBA ARCHITECTURE inc**  
Architecture ■ Space Planning ■ Interior Design  
4455 La Jolla Village Drive, Suite 101 San Diego, CA 92108  
Phone: (619) 231-9905 www.golba.com

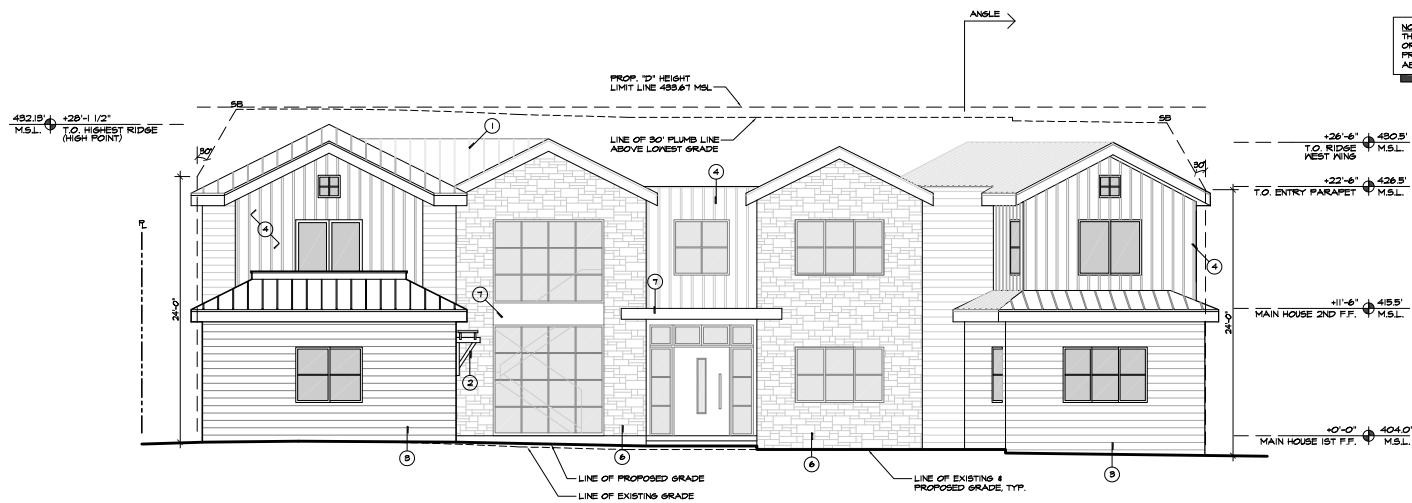
**WOODFORD RESIDENCE**  
2955 WOODFORD DR.  
LA JOLLA, CA 92037



**A13**

DATE: 08-04-20

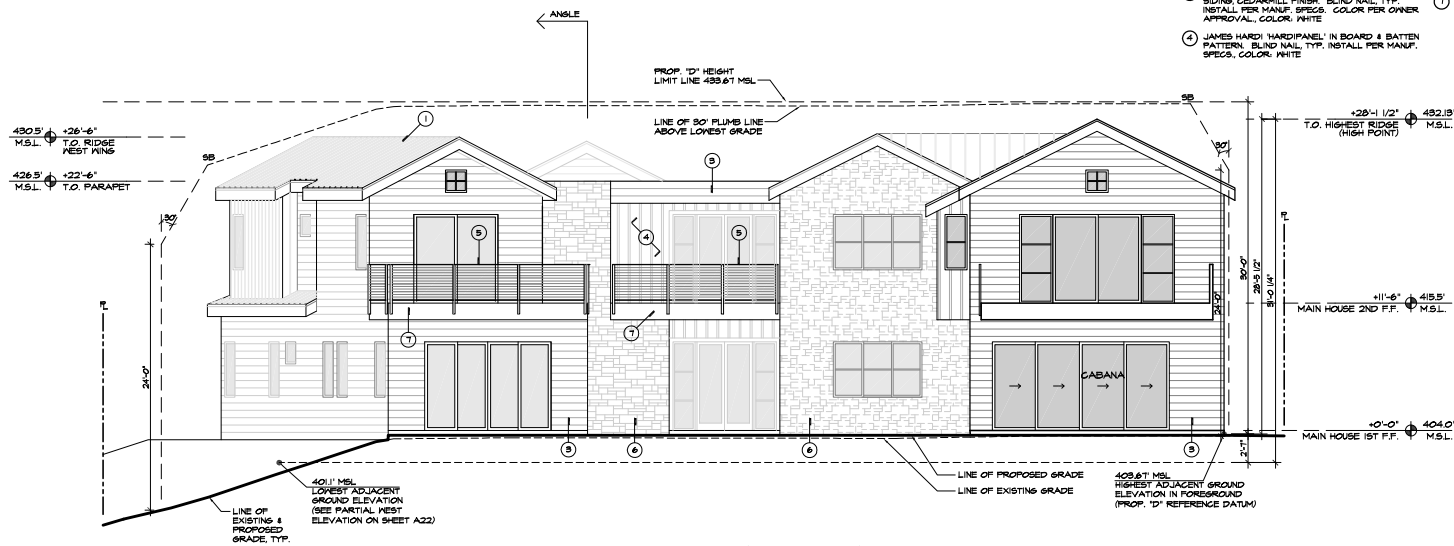
PROFESSIONAL DESIGN, THE DRAWING, DESIGN, AND SPECIFICATIONS CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, INC. AND ARE LOANED TO THE CLIENT FOR THE PROJECT ONLY. ANY REPRODUCTION OR MODIFICATION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC. IS STRICTLY PROHIBITED. THE CLIENT AGREES TO HOLD GOLBA ARCHITECTURE, INC. HARMLESS FROM ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, FOR ANY REPRODUCTION OR MODIFICATION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC. ANY USE OF THIS SHEET FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC. IS STRICTLY PROHIBITED. THE CLIENT AGREES TO HOLD GOLBA ARCHITECTURE, INC. HARMLESS FROM ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, FOR ANY REPRODUCTION OR MODIFICATION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC.



NORTH (FRONT) ELEVATION  
SCALE: 3/16"=1'-0"

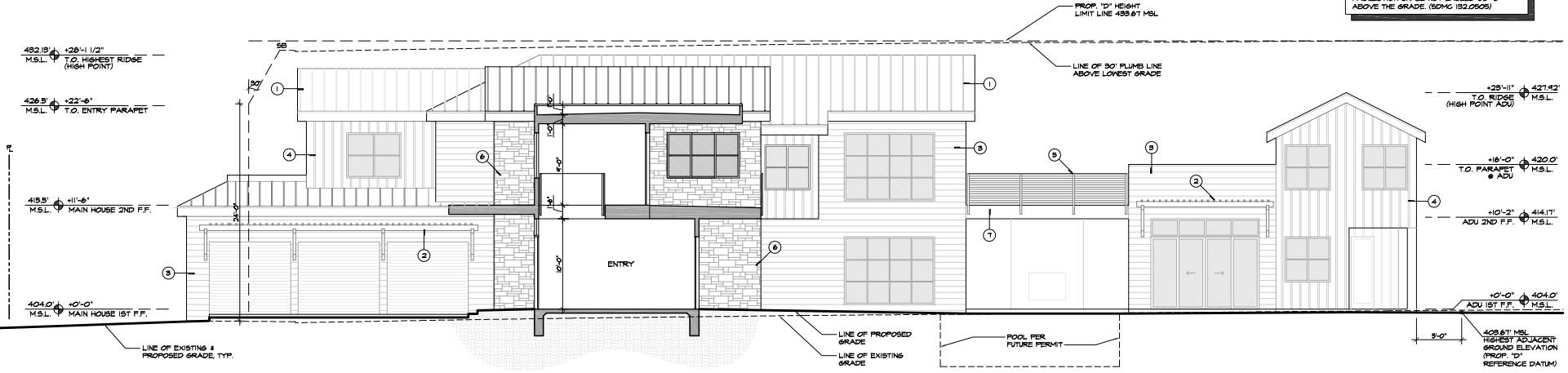
ELEVATION NOTES:

1. PREFINISHED STANDING SEAM METAL ROOF - CLASS 44" MIN. CUSTOM-BUILT METALS SD-150, ICC-ESR-2048, INSTALL PER MANUFACTURER'S SPECS. & DETAILS. PROVIDE BUTTERS & DOWNGUTS TO MATCH COLOR. STORM GRAY.
2. DECORATIVE KNEE BRACE PER OWNER APPROVAL. COLOR: DARK GRAY.
3. JAMES HARDY HARDIPANEL B' EXPOSURE LAP SIDING, CEDARHILL FINISH, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL. COLOR: WHITE.
4. JAMES HARDY HARDIPANEL IN BOARD & BATTEN PATTERN, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR: WHITE.
5. POWDER COATED ALUMINUM # ST.B. CABLE RAILING, 42" ABOVE FINISHED SURFACE, COLOR: DARK GRAY.
6. ELDORADO STONE VENEER, COLOR/PATTERN PER OWNER APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1318, STYLE "LIMESTONE", COLOR "GRAND BANKS".
7. KYNAR FINISH ALUM. METAL TRIM AT DECK EDGES & ON EYEBROW PROJECTIONS, 22 GA. COLOR PER OWNER APPROVAL. COLOR: DARK GRAY.



SOUTH (BACK YARD) ELEVATION - MAIN HOUSE  
SCALE: 3/16"=1'-0"

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE. (SDMC 132.0505)

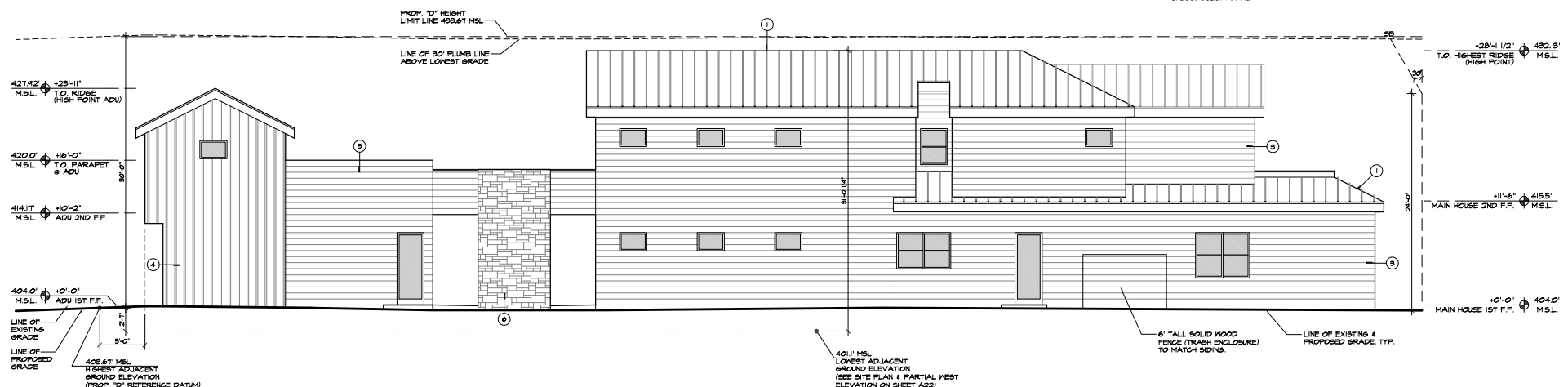


WEST ELEVATION W/ PARTIAL SECTION THROUGH ENTRY

SCALE: 3/16"=1'-0"

ELEVATION NOTES:

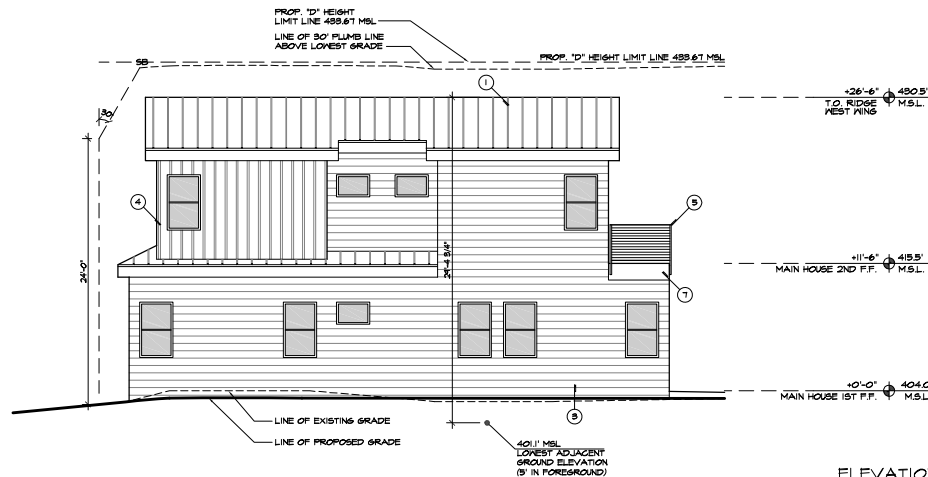
1. PREFINISHED STANDING SEAM METAL ROOF - CLASS 14" MIN. CUSTOM-BUILT METALS SD-150, ICC-ESR-2048, INSTALL PER MANUFACTURER'S SPECS & DETAILS. PROVIDE BUTTERS & DOWNGUTS TO MATCH COLOR. STORM GRAY
2. DECORATIVE KNEE BRACE PER OWNER APPROVAL. COLOR: DARK GRAY
3. JAMES HARDY 'HARDIPANEL' 8" EXPOSURE LAP SIDING, CEDAR/KILL FINISH, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL. COLOR: WHITE
4. JAMES HARDY 'HARDIPANEL' IN BOARD & BATTEN PATTERN, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR: WHITE
5. POWDER COATED ALUMINUM 8" ST.B. CABLE RAILING, 42" ABOVE FINISHED SURFACE, COLOR: DARK GRAY
6. ELDORADO STONE VENEER, COLOR/PATTERN PER OWNER APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1035, STYLE 'LIMESTONE', COLOR 'GRAND BANKS'
7. KYNAR FINISH ALUM. METAL TRIM AT DECK EDGES & ON EXTERIOR PROJECTIONS, 22 GA. COLOR PER OWNER APPROVAL. COLOR: DARK GRAY



EAST ELEVATION

SCALE: 3/16"=1'-0"

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA OR OTHER  
PROJECTION SHALL NOT EXCEED 80'-0"  
ABOVE THE GRADE. (SDMG 152.0505)

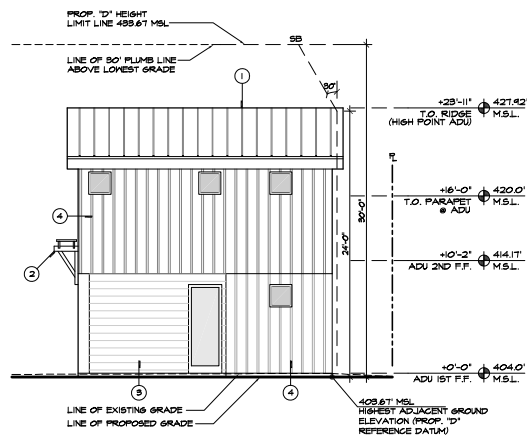


PARTIAL WEST ELEVATION OF ANGLED WING OF HOUSE

SCALE: 3/16"=1'-0"

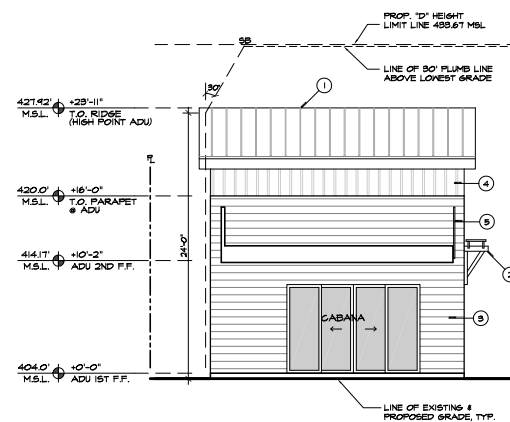
#### ELEVATION NOTES:

1. PREFINISHED STANDING SEAM METAL ROOF - CLASS "A" MIN. CUSTOM-BILT METALS SB-80, 12-25R-204B. INSTALL PER MANUFACTURER'S SPECS. & DETAILS. PROVIDE BUTTERS & DOWNSPOUTS TO MATCH COLOR. STORM GRAY.
2. DECORATIVE KNEE BRACE PER OWNER APPROV. COLOR. DARK GRAY.
3. JAMES HARDY HARDIPANEL: 8" EXPOSURE LAP SIDING, CEDARWILL FINISH. BLIND NAIL TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL. COLOR. WHITE.
4. JAMES HARDY HARDIPANEL: IN BOARD & BATTEN PATTERN. BLIND NAIL TYP. INSTALL PER MANUF. SPECS. COLOR. WHITE.
5. POWDER COATED ALUMINUM # 57.5. CABLE RAILING, 42" ABOVE FINISHED SURFACE. COLOR. DARK GRAY.
6. ELDERADO STONE VENEER. COLOR/PATTERN PER OWNER APPROVAL. INSTALL PER MANUF. SPECS. 12G-ES REPORT 68K-01B, STYLE "LIMESTONE". COLOR "GRAND BANKS".
7. KYNAR FINISH ALUM. METAL TRIM AT DECK EDGES & ON EYEBROW PROJECTIONS. 22 GA. COLOR PER OWNER APPROVAL. COLOR. DARK GRAY.



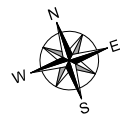
SOUTH ELEVATION OF ADU

SCALE: 3/16"=1'-0"



NORTH ELEVATION OF ADU

SCALE: 3/16"=1'-0"



|    |                                                           |
|----|-----------------------------------------------------------|
| 16 | PROPOSED 72" HIGH WOOD GATE - SELF CLOSING, SELF LATCHING |
| 17 | PROPOSED 36" HIGH MAX, TUBULAR STEEL & CABLE FENCE        |
| 18 | PROPOSED 72" HIGH MAX, WOOD ENTRY GATE                    |
| 19 | PROPOSED WOOD PERGOLA AT ENTRY GATE                       |
| 20 | PROPOSED SWIMMING POOL PER SEPARATE PERMIT                |
| 21 | PROPOSED RAISED SPA PER SEPARATE PERMIT                   |
| 22 | PROPOSED POOL EQUIPMENT                                   |
| 23 | PROPOSED BUILT-IN BARBECUE COUNTER & GRILL                |
| 24 | PROPOSED 16" HIGH MASONRY FIREPIT WITH STONE VENEER       |
| 25 | PROPOSED RETAINING WALL PER CIVIL ENGINEER                |
| 26 | PROPOSED 42" HIGH GLASS GUARDRAIL ON RETAINING WALL       |





THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

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**Project Address** 1222 01st  
San Diego, CA

**Project Type** Discretionary Project

**Primary Contact** Sarah Horton  
shorton@golba.com

**Instructions**

<p>The following issues require corrections to the documents submitted.</p>

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Other

**Community Planning Group**

Hilda Davison  
HDavison@sandiego.gov  
(619) 446-5462

**[ Comment 00001 | Page | Open ]**

This project is within the La Jolla Community Planning Area. The La Jolla Community Planning Association (LJCPA) is officially recognized by the City to provide project recommendations. If you have not already done so, please contact Harry Bubbins, Chairperson of the LJCPA, at [info@lajollacpa.org](mailto:info@lajollacpa.org) to schedule a project presentation before the group at their next available meeting.

The project is also within the La Jolla Shores Planned District. Therefore, it shall also be presented to the La Jolla Shores Planned District Advisory Board (LJSPDAB). Please contact Melissa Garcia at [MAGarcia@sandiego.gov](mailto:MAGarcia@sandiego.gov). A formal recommendation from the LJSPDAB is required.

2025-09-16; to date, we have not received a formal recommendation and/or meeting minutes and vote from the community planning groups listed above.

**DSD-Engineering Review**

Layth Al Ani  
lalani@sandiego.gov  
619-236-7713

**[ Comment 00045 | Page | Conditional ]**

Prior to the issuance of any building permit, the Owner/Permittee shall dedicate additional right-of-way along Woodford Drive for a 12-foot-wide parkway, satisfactory to the City Engineer.

**[ Comment 00046 | Page | Conditional ]**



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

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Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing driveway and the installation of a new City standard driveway adjacent to the site on Woodford Drive, satisfactory to the City Engineer.

**[ Comment 00047 | Page | Conditional ]**

Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the landscape, irrigation, curb outlet, sidewalk underdrains and private walkway located within the City's right of way, satisfactory to the City Engineer.

**[ Comment 00048 | Page | Conditional ]**

The drainage system proposed for this development is private and subject to approval by the City Engineer.

**[ Comment 00049 | Page | Conditional ]**

Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

**[ Comment 00050 | Page | Conditional ]**

Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

**[ Comment 00051 | Page | Conditional ]**

Prior to the issuance of any construction permit, the applicant shall ensure that no dry weather flows are discharged to the receiving storm conveyance system in accordance with ASBS requirements.

**DSD-Environmental**

Marlene Watanabe  
mwatanabe@sandiego.gov

**[ Comment 00024 | Page | Open ]**

*GENERAL:*

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

**[ Comment 00025 | Page | Open ]**

*RESUBMITTAL REQUIREMENTS:*

Applicant written response to all staff comment is required with each resubmittal. Any technical report requiring revisions must be submitted in a WORD strikeout/underline (SOUL) format. The City's expectation is that the applicant/consultant respond to comments and text edits; revisions are carried through the technical report as necessary; a thorough quality control/assurance is provided (i.e. complete read through of document beyond specific



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

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edits/comments). Failure to resubmit a SOUL format or complete revisions may extend the review of the technical study.

**[ Comment 00065 | Page | Open ]**

Other Review Disciplines:

Please address any remaining issues with other review disciplines. Any open comments must be addressed before EAS can make an environmental determination on the project. As such, the environmental timeline will be held in abeyance.

**[ Comment 00066 | Page | Open ]**

*ENVIRONMENTAL DETERMINATION:*

Until the requested information has been provided, staff is not able to complete the environmental review for the project and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts.

Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or additional technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted information.

**DSD-Landscape Review**

Rey Rebolledo  
RRebolledo@sandiego.gov  
619-446-5140

**[ Comment 00056 | Page | Conditional ]**

Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

**[ Comment 00057 | Page | Conditional ]**

Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. (see below for continuation of condition)

**[ Comment 00058 | Page | Conditional ]**

Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

**[ Comment 00059 | Page | Conditional ]**

The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

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Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

**[ Comment 00060 | Page | Conditional ]**

If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

---

Site Development Plans PRJ-1134889.pdf

**DSD-Planning Review**

Adan Pacheco Palma  
APachecoPalm@sandiego.gov

**[ Comment 00018 | Sheet TS2 | Conditional ]**

**Conditions of Approval**

28. Conditional Comment: DPM, please include all standard conditions of approval for the project in your documentation.

**[ Comment 00067 | Sheet TS2 | Open ]**

**3rd Review Comments**

1. Clearly label the side and rear yard setbacks on the site plan.

**[ Comment 00068 | Sheet TS2 | Open ]**

2. Include a measurement for the proposed guardrails not exceeding 42 inches in height per section 131.0461(a)(10) of the SDMC.

**[ Comment 00069 | Sheet TS2 | Open ]**

3. Per section 113.0234(a)(5) of the SDMC, gross floor area (GFA) includes the horizontal projection of each floor in plan view for interior stairwells. Sheet A30 does not appear to account for the horizontal projection of the interior stairwell in the GFA calculations. Revise the section drawing to indicate that the stairwell area is included in the GFA calculations, and add the square footage if it was previously omitted.

**[ Comment 00070 | Sheet TS2 | Open ]**

4. Please clarify the proposed wall and fence heights. Sheet L2 indicates both at 36 inches, while Sheet C-3 depicts differing dimensions. Provide an elevation and section drawing showing the wall and fence in relation to the existing and proposed grade to evaluate how the height interacts with the line of grade. Per section 113.0270(b)(1)(B) of the SDMC,



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

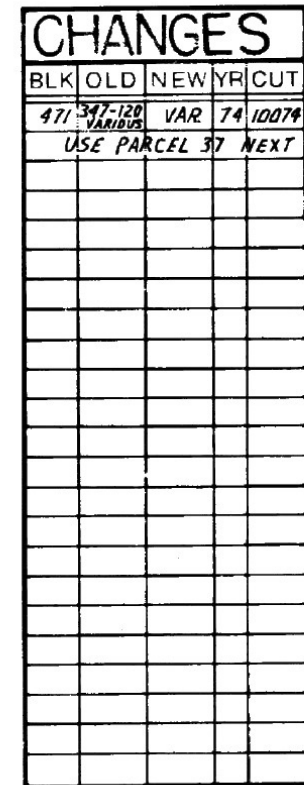
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fence and wall height shall be measured from grade using an imaginary straight line along the top of the fence or wall to determine the average height, which shall not exceed the maximum permitted height within the front yard setback.

[ **Comment 00071** | **Sheet TS2** | **Open** ]

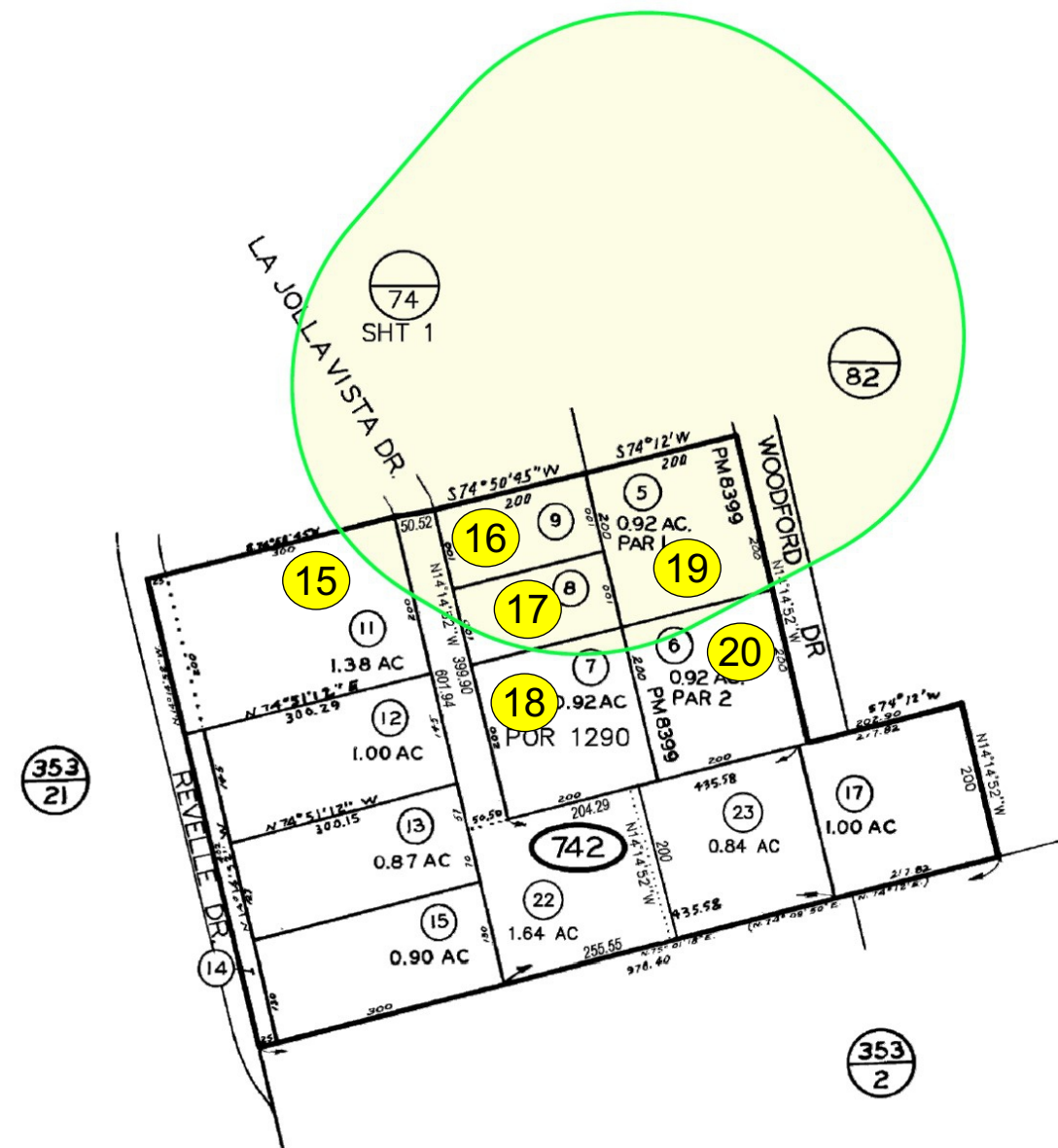
**La Jolla Community Plan Association**

5. After the Notice of Application and initial assessment letter have been distributed, the applicant is required to present the proposed project to the La Jolla Community Planning Association. Please contact Harry Bubbins, Chair, at (858) 459-9490 or via email at [info@lajollacpa.org](mailto:info@lajollacpa.org). Please provide the meeting minutes and any recommendations received from the association.



# 2955 WOODFORD DRIVE - SETBACK & FAR SURVEY KEY MAP

08/25/2004 EK

[illegible]

ES  
1/10/94

SAN DIEGO COUNTY  
ASSESSOR'S MAP  
BOOK 346 PAGE 74 SHT 2 OF 2

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

MM 36 - PUEBLO LANDS  
ROS 2173,4220,14752,15383,18286

# 2955 WOODFORD DRIVE - SETBACK & FAR SURVEY KEY MAP





4455 Lamont Street Suite 101  
San Diego, CA 92109

## 2955 WOODFORD DRIVE

### LA JOLLA SHORES NEIGHBORHOOD FLOOR AREA RATIO

| LOT #            | LOT ADDRESS               | APN #      | FRONT SETBACK | SIDE SETBACK | SIDE SETBACK | LOT SIZE     | GROSS S.F.  | F.A.R.      |
|------------------|---------------------------|------------|---------------|--------------|--------------|--------------|-------------|-------------|
| 1                | 2975 Woodford Drive       | 346-741-30 | 16.0          | 6.0          | 6.0          | 20,037       | 4,004       | 0.20        |
| 2                | 2955 Woodford Drive       | 346-741-31 | 25.0          | 24.0         | 5.5          | 20,108       | 7,529       | 0.37        |
| 3                | 7881 Revelle Drive        | 346-741-32 | 11.0          | 5.0          | 18.0         | 20,125       | 3,125       | 0.16        |
| 4                | 7867 La Jolla Vista Drive | 346-741-33 | 15.0          | 4.0          | 6.0          | 19,602       | 3,750       | 0.19        |
| 5                | 7855 La Jolla Vista Drive | 346-741-34 | 7.0           | 4.0          | 4.0          | 19,870       | 4,326       | 0.22        |
| 6                | 7866 La Jolla Vista Drive | 346-741-35 | 15.0          | 3.0          | 12.0         | 19,870       | 3,590       | 0.18        |
| 7                | 7878 Revelle Drive        | 346-741-22 | 20.0          | 4.0          | 4.0          | 19,870       | 3,546       | 0.18        |
| 8                | 2915 Woodford Drive       | 346-741-23 | 15.0          | 4.0          | 6.0          | 20,108       | 3,501       | 0.17        |
| 9                | 2908 Woodford Drive       | 346-741-24 | 10.0          | 12.0         | 9.0          | 25,700       | 2,393       | 0.09        |
| 10               | 2922 Woodford Drive       | 346-741-25 | 28.0          | 4.0          | 6.0          | 20,473       | 3,850       | 0.19        |
| 11               | 2940 Woodford Drive       | 346-741-27 | 15.0          | 15.0         | 8.0          | 20,037       | 2,527       | 0.13        |
| 12               | 2946 Woodford Drive       | 346-741-26 | 20.0          | 12.0         | 12.0         | 25,700       | 3,492       | 0.14        |
| 13               | 2954 Woodford Drive       | 346-741-28 | 20.0          | 5.0          | 20.0         | 45,000       | 4,092       | 0.09        |
| 14               | 2974 Woodford Drive       | 346-741-29 | 20.0          | 9.0          | 8.0          | 23,522       | 2,258       | 0.10        |
| 15               | 7856 La Jolla Vista Drive | 346-742-11 | 10.0          | 10.0         | 28.0         | 66,211       | 3,842       | 0.06        |
| 16               | 7845 La Jolla Vista Drive | 346-742-09 | 8.0           | 8.0          | 6.0          | 20,908       | 3,200       | 0.15        |
| 17               | 7835 La Jolla Vista Drive | 346-742-08 | 10.0          | 4.0          | 8.0          | 19,602       | 3,517       | 0.18        |
| 18               | 7819 La Jolla Vista Drive | 346-742-07 | 12.0          | 12.0         | 4.0          | 39,204       | 5,498       | 0.14        |
| 19               | 2995 Woodford Drive       | 346-742-05 | 24.0          | 4.0          | 16.0         | 40,900       | 6,208       | 0.15        |
| 20               | 3011 Woodford Drive       | 346-742-06 | vacant        | vacant       | vacant       | vacant       | vacant      | vacant      |
| 21               | 7880 Avenida Kirjah       | 346-820-23 | 12.0          | 9.0          | 4.0          | 21,344       | 4,110       | 0.19        |
| 22               | 7870 Avenida Kirjah       | 346-820-22 | 22.0          | 4.0          | 4.0          | 18,900       | 2,674       | 0.14        |
| 23               | 2994 Woodford Drive       | 346-820-21 | 9.0           | 15.0         | 4.0          | 18,730       | 3,230       | 0.17        |
| 24               | 2975 Woodford Drive       | 346-820-20 | 25.0          | 4.0          | 4.0          | 20,473       | 5,520       | 0.27        |
| 25               | 7837 Avenida Kirjah       | 346-820-17 | 5.0           | 8.0          | 4.0          | 21,085       | 4,360       | 0.21        |
| 26               | 7871 Avenida Kirjah       | 346-820-16 | 14.0          | 8.0          | 5.0          | 22,651       | 4,100       | 0.18        |
|                  |                           |            |               |              |              |              |             |             |
|                  |                           |            |               |              |              |              |             |             |
| <b>AVERAGES:</b> |                           |            | <b>14.37</b>  | <b>7.30</b>  | <b>7.83</b>  | <b>23334</b> | <b>4093</b> | <b>0.20</b> |
|                  |                           |            |               |              |              |              |             |             |
| (APPLICANT)      |                           |            | 25.0          | 24.0         | 5.5          | 20,108       | 7,529       | 0.37        |



## Sarah Horton

---

**From:** Mike Wintringer <Mike@sglwlaw.com>  
**Sent:** Tuesday, June 10, 2025 9:16 AM  
**To:** Tim Golba  
**Cc:** Sarah Horton  
**Subject:** RE: PRJ-1134889 - Woodford Residence

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Thanks Tim, appreciate the response and offer to share proposed design and other relevant specifics. Please keep us posted.

Thanks again,

Mike Wintringer  
(619) 977-5947

---

**From:** Tim Golba <tgolba@golba.com>  
**Sent:** Tuesday, June 10, 2025 7:29 AM  
**To:** Mike Wintringer <Mike@sglwlaw.com>  
**Cc:** Sarah Horton <shorton@golba.com>  
**Subject:** RE: PRJ-1134889 - Woodford Residence  
**Importance:** High

Mike,

I hope all is well with you and Sarah Horton from my office sent me the email you had copied her on regarding our firm's design on Woodford. I would be happy to arrange a way for you to review the proposed design and have noted your request and as we get a little further into the process I will reach back out to you to discuss. We have not even received our first set of review comments from City staff and while we wait for those we are busily developing a 3-D model to assist in understanding the design for the Planning Group and for interested parties.

Feel free to reach out to me if you have any questions as well!

Tim Golba, Principal  
Golba Architecture Inc  
4455 Lamont Street Suite 101 San Diego, CA 92109  
[TGolba@Golba.com](mailto:TGolba@Golba.com)  
[www.Golba.com](http://www.Golba.com)  
619.231.9905



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**From:** Mike Wintringer <[Mike@sglwlaw.com](mailto:Mike@sglwlaw.com)>  
**Sent:** Wednesday, May 28, 2025 1:05 PM  
**To:** Davison, Veronica <[HDavison@sanidiego.gov](mailto:HDavison@sanidiego.gov)>  
**Cc:** Sarah Horton <[shorton@golba.com](mailto:shorton@golba.com)>  
**Subject:** RE: PRJ-1134889 - Woodford Residence

Thanks Veronica. I'm familiar with review process at 1222 First Ave, and will let you know if we need to schedule an appointment. In the interim, am hoping Sarah Horton (cc'd here) will agree to provide us with requested information via email.

Thanks again,

Mike Wintringer  
2954 Woodford Drive  
La Jolla, CA 92037  
(619) 977-5947

---

**From:** Davison, Veronica <[HDavison@sanidiego.gov](mailto:HDavison@sanidiego.gov)>  
**Sent:** Wednesday, May 28, 2025 12:56 PM  
**To:** Mike Wintringer <[Mike@sglwlaw.com](mailto:Mike@sglwlaw.com)>  
**Cc:** [shorton@golba.com](mailto:shorton@golba.com)  
**Subject:** PRJ-1134889 - Woodford Residence

Hello Mike,

Thank you for your email. The project plans are currently in review and cannot be shared with the public without the architect's and owner's consent. However, we can facilitate an in-person meeting to view the plan submittal on a screen at the City Operations Building, 1222 First Avenue, third floor. Please know that no pictures may be taken, and printing is not available.

You may also contact the project applicant (copied) to see if they would be willing to review the project with you and answer any questions you may have.

In addition, the general public is encouraged to provide input at Community Planning group meetings, where the project is presented in detail to obtain a formal recommendation. Please contact the [Community Planning Group](#) to inquire about meeting dates for this project's presentation.

Please let me know if you would like to schedule a 15 to 30-minute meeting at DSD.  
Thank you

**H Veronica Davison**  
City of San Diego  
Development Services Department  
☎: 619-446-5462  
[SanDiego.gov/DSD](http://SanDiego.gov/DSD)

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- Tune in to our [City in Motion](#) podcast.

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**From:** Mike Wintringer <[Mike@sglwlaw.com](mailto:Mike@sglwlaw.com)>

**Sent:** Wednesday, May 28, 2025 11:30 AM

**To:** Davison, Veronica <[HDavison@sandiego.gov](mailto:HDavison@sandiego.gov)>

**Subject:** [EXTERNAL] Project No. PRJ-1134889 (Woodford Drive Residence)

**\*\*This email came from an external source. Be cautious about clicking on any links in this email or opening attachments.\*\***

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Hi Veronica,

We recently received the attached Notice of Application. Our home is located across the street from the proposed project. Is there any more information you can send us regarding proposed plans, setbacks, height, footprint, design/style, etc.? Since this would be the first large two-story home in our 55+ year old development, we are obviously concerned with whether the proposed size and setbacks, let alone design/style, are consistent with other homes in the area.

Thank you,

Mike Wintringer  
2954 Woodford Drive  
La Jolla, CA 92037  
(619) 977-5947