



Dear Mr. Lin,

June 29, 2023

The La Jolla Historical Society has reviewed the HRRR for 1424 Olivet Lane and respectfully disagrees with the authors' findings that the property is not eligible for historic designation under any criteria. It is the opinion of the La Jolla Historical Society that 1424 Olivet Lane is eligible for historic designation under Criterion B: Important Person and Criterion C: Architectural Style. Please find our rationale below.

Criterion B: Important Person

The HRRR acknowledges the national significance of the home's second owner Harry Child for his "contributions to the development of the National Parks systems through the development of transportation throughout Yellowstone National Park;" however, the report dismisses Criterion B because this was a vacation home of Mr. Child. The report fails to investigate if Mr. Child's primary residence or other structures where he may have conducted business are still extant. If his other homes and place of business are not extant, then 1424 Olivet Lane could be eligible for Criterion B as the last surviving structure that represents the important contributions he made in the development of the National Parks Service.

Criterion C: Architectural Style

The HRRR identifies the architectural style as a "Craftsman architectural style with Tudor-style influences," but states that, due to a lack of character-defining features, excessive building modifications, and a lack of integrity, the residence does not rise to the level significance for historic designation under Criterion C. The La Jolla Historical Society disagrees with this finding on the following grounds:

1. The main residence's style is accurately categorized as "Craftsman with Tudor influences," but the analysis disqualifies the architecture under each style independently, rather than recognizing it as a typical regional hybrid. A more accurate analysis would note that the building features elements from both the English Arts & Crafts, as well as the American Craftsman movement. From England come: two stories, steeper roof pitch, multiple gables, dormers, stucco w/half timbering, and a brick skirt; hence, "Tudor influences." The residence is also "Craftsman:" wide, open eaves, knee braces and exposed rafter tails, and characteristic Craftsman fenestration. Images provided unfortunately hide the window details, which if visible, would portray a strong association with the American Craftsman period. 1424 Olivet is a hybrid, with elements of both styles, and therefore characteristic of San Diego's eclectic stylistic mix--a feature, not a flaw--of our region's history. Locally, the English Arts & Crafts was strongly associated with early work of William Hebbard and Irving Gill, trend setters who clearly influenced the unknown designer of this home. The Arts & Crafts Style is described in the architectural styles guide tailored for the Uptown Survey (pp. 39-42) and is a better reference than the one cited in the HRRR.
2. We disagree that the main residence has had too many building modifications to qualify for historic designation. While the construction chronology diagram shows locations and dates of building modifications, all modifications are located at the rear of the main residence. A non-historic porch that was added to the front of the residence circa 1963 was removed by 1977. Non street-facing modifications have less visual impact than street-facing modifications. They are often insignificant in the evaluation of the seven aspects of integrity, or in facilitating new additions per the Secretary of the Interior's Standards. We

agree the garage and studio do not contribute to the architectural significance of the property due to significant modifications.

3. The HRRR states the property only meets one of the seven aspects of integrity (Location). The evaluation of "setting" (eg. "integrity of setting and feeling were lost due to the transformation of the surrounding area") is incorrect. "Setting" is usually considered the area within the property's boundaries. The "design" evaluation does not consider whether a majority of character defining features are extant, but only notes that the rear has been modified. Likewise, the "materials" and "workmanship" evaluations note changes, but do not specify whether changes are in-kind (thus meeting the Secretary of the Interior's Standards for Preservation or Rehabilitation), or whether a majority of materials and their workmanship are so compromised as to negatively affect the criteria for integrity. In the case of 144 Olivet Lane, the residence still occupies a sizable parcel, as do its neighbors on each side, which helps preserve its original setting and feeling. Sufficient design and materials remain on the front façade to support the property's association with the Craftsman period, as well as its association with its second owner, Harry Childs, who would have no difficulty recognizing the house. The home is also strongly associated with the Education and Cultural Development Era of La Jolla (1895-1918). It has been included in two earlier surveys and is a well-known landmark in the community. Based on our analysis above, the property qualifies for all seven aspects of integrity.

The Jolla Historical Society requests City staff recommend the report author:

1. Further research if any of Harry Childs other homes or places of business are extant;
2. Re-evaluate the home's architecture; and,
3. Re-evaluate the seven aspects of integrity.

Unless proven otherwise, the La Jolla Historic Society requests City staff to recommend historic designation under Criterion B: Important Person and/or Criterion C: Architectural Style. All future improvements should comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Thank you,

A handwritten signature in black ink, appearing to read 'Lauren Lockhart', written in a cursive style.

Lauren Lockhart  
Executive Director

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

State use only

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
UTM \_\_\_\_\_ Q \_\_\_\_\_ NW \_\_\_\_\_ SWL \_\_\_\_\_  
Lat \_\_\_\_\_ Lon \_\_\_\_\_ Eri \_\_\_\_\_ Sig \_\_\_\_\_  
Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

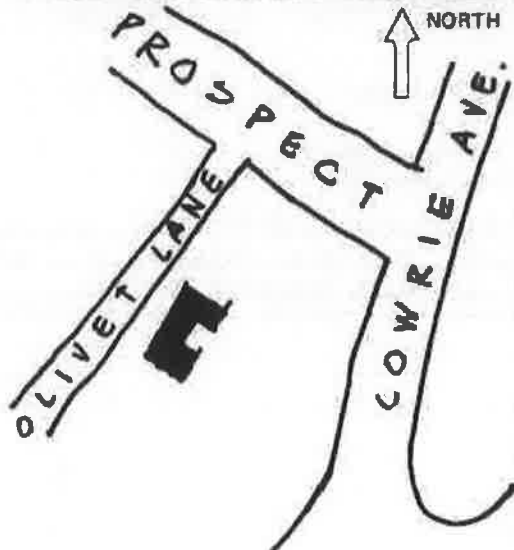
1. Common name: None known
2. Historic name, if known: None known
3. Street or rural address: 1424 Olivet Lane  
City: La Jolla ZIP: 92037 County: San Diego
4. Present owner, if known: Rose Clarke Address: 1424 Olivet Lane  
City: La Jolla, California ZIP: 92037 Ownership is: Public ☐ Private ☒
5. Present Use: Residence Original Use: Residence  
Other past uses: None known

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

A superb California bungalow with many gable roofs. An irregular plan offered the architect an option to articulate roof forms. The front elevation has two gabled elements projecting perpendicular from the gable of the main house. A large gabled dormer projects from the main roof. The gable ends of the roofs and the dormer have wide fascia boards spanning between heavy 4 x 4 triangular brackets. Large picture windows have small narrow side panes. The exterior uses half timber and plaster and brick. The brick wraps around the bungalow at the sill line of the equi-height windows. The entry door has square glass panes to match side fixed windows. The interplay of gable roofs makes this bungalow unique. The house is in excellent condition with well manicured grounds.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



8. Approximate property size:  
Lot size (in feet) Frontage 100  
Depth 150  
or approx. acreage \_\_\_\_\_
9. Condition: (check one)  
a. Excellent ☐ b. Good ☒ c. Fair ☐  
d. Deteriorated ☐ e. No longer in existence ☐
10. Is the feature a. Altered? ☐ b. Unaltered? ☒
11. Surroundings: (Check more than one if necessary)  
a. Open land ☐ b. Scattered buildings ☐  
c. Densely built-up ☐ d. Residential ☒  
e. Commercial ☐ f. Industrial ☐  
g. Other ☐
12. Threats to site:  
a. None known ☒ b. Private development ☐  
c. Zoning ☐ d. Public Works project ☐  
e. Vandalism ☐ f. Other ☐
13. Date(s) of enclosed photograph(s): 1977

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone ☐ b. Brick ☐ c. Stucco ☒ d. Adobe ☐ e. Wood ☒  
f. Other ☐
15. Is the structure: a. On its original site? ☒ b. Moved? ☐ c. Unknown? ☐
16. Year of initial construction c 1905 This date is: a. Factual ☐ b. Estimated ☒ on architectural evaluation
17. Architect (if known): None known
18. Builder (if known): None known
19. Related features: a. Barn ☐ b. Carriage house ☐ c. Outhouse ☐ d. Shed(s) ☐ e. Formal garden(s) ☐  
f. Windmill ☐ g. Watertower/tankhouse ☐ h. Other ☐ i. None ☒

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):  
This house purportedly was built c. 1915 by its earliest owner, Henry W. Childs. However, there is disagreement on this point and it may have been built earlier by another owner. Childs first came to La Jolla in 1890 for a visit. A few years later, he returned with his wife Adelaide and son and daughter. It was his winter home thereafter until his death in 1931. Childs was President of the Yellowstone National Park Hotel and Transportation Corporation. He is important to the community in that he was a part time resident, coming from Helena Montana, and unlike many other such residents, he became a part of its community. He was well known for his eccentric and rumpled dress, for his elegant chauffeured yellow car. About 1920, he constructed a small frame building for his office on the canyon rim in back of the house. Members of his family joined him in La Jolla. Adelaide's sister, Dr. Marian Dean and her mother, Mrs. Dean both had residence here. The Childs daughter married William Nichols, also of Helena. They built a home at 7964 Prospect Place. A home which is identified both with the Childs and the Nichols is listed in a roster of historic homes in Helena, Montana.
21. Main theme of the historic resource: (Check only one): a. Architecture ☒ b. Arts & Leisure ☐  
c. Economic/Industrial ☐ d. Exploration/Settlement ☐ e. Government ☐ f. Military ☐  
g. Religion ☐ h. Social/Education ☐
22. Sources: List books, documents, surveys, personal interviews, and their dates:  
Interview: Robert Wilson; Mrs. Gladys Ochi-Albe; Mrs. Bonnie Strong; Mrs. Marian Kenyon  
Helena, Her Historic Homes by Jean Baucus  
La Jolla Light 6-13-19; 2-29-24; 2-8-31
23. Date form prepared: 11-15-77 By (name): Pat Schaelchlin, Supervisor  
Address: 1257 Virginia Way City: La Jolla, California ZIP: 92037  
Phone: (714) 459-8409 Organization: La Jolla Research Program

