

Report to the Hearing Officer

DATE ISSUED: November 25, 2025 REPORT NO. HO-25-042

HEARING DATE: December 3, 2025

SUBJECT: <u>403 SEA RIDGE DRIVE</u>, Process Three Decision

PROJECT NUMBER: PRJ-1109256

OWNER/APPLICANT: Sytar Revocable Living Trust, Owner / Mark Lyon, Architect, Applicant

SUMMARY

<u>Issue(s)</u>: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit for the demolition of an existing single dwelling unit, and construction of a new, 4,861-square-foot (sf), two-story single-dwelling unit, attached 800-sf Accessory Dwelling Unit (ADU), and associated site improvements?

Proposed Actions:

- 1. Approve Coastal Development Permit No. PMT-3270176
- 2. Approve Site Development Permit No. PMT-3270175

<u>Fiscal Considerations:</u> All costs associated with the processing of this application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There is no active code enforcement case on this project.

<u>Housing Impact Statement:</u> The project proposes the demolition of an existing single-dwelling unit and the development of a new single-dwelling unit with ADU. The project is a one-to-one replacement of the residential dwelling unit on the project site and would not increase the contribution of available dwelling units for the City of San Diego's portion of the County's Regional Housing Needs Assessment goal.

<u>Community Planning Group Recommendation:</u> On July 9, 2024, the <u>La Jolla Community Planning Association</u> made a motion to recommend approval of the project. The motion was approved, with a vote of 9-0-1 (Attachment 4).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections pursuant to CEQA Guidelines Sections 15301 (Existing Facilities), 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures. The environmental exemption determination for this project was made on August 22, 2025, and the opportunity to appeal that determination ended on September 8, 2025 (See Attachment 7). There were no appeals to the environmental determination. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 0.2-acre project site is located at <u>403 Sea Ridge Drive</u>, between the first public roadway (Sea Ridge Drive) and the Pacific Ocean (Attachment 1). The surrounding neighborhood is a mix of one and two-story single-dwelling units that form a well-established residential neighborhood (Attachment 2). The project site is located in the RS-1-7 zone, the Coastal Overlay Zone (Appealable Area, First Public Roadway), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone, the Sensitive Coastal Overlay Zone, and the Transit Area Overlay Zone within the <u>La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP)</u>. Environmentally sensitive lands in the form of coastal bluffs exist on the site.

DISCUSSION

The project proposes to demolish an existing two-story single-dwelling unit and construct a new two-story, 4,861-square-foot single-dwelling unit, along with an attached 800-square-foot ADU.

The project complies with all required setbacks: front yard setback of eighteen-foot-eight-inches (18'-8"), where 10 feet is required; a side setback of four-foot-four-inches (4'-4"), where four feet is required; a ten-foot-eight-inches (10'-8") street side setback where ten feet is required; and a rear setback of twenty-seven-foot-seven-inches (27'-7") from the property line, where 13 feet is required. The project is permitted to have an allowable floor area ratio (FAR) of 0.56, with the 800-sf ADU not counting toward the FAR as per SDMC Section 141.0302(b)(2)(D).

The project proposes a total of 11,247 square feet of floor area, which includes 4,861 square feet of floor areas that are included in the FAR calculation. The 4,861 square feet of floor area that counts toward the FAR in accordance with SDMC Section 113.0234 includes 4,155 square feet of living area (including the footprint of the elevator), 569 square feet of garage area, and 137 square feet of covered patio and deck areas. The remaining areas are not counted toward the FAR, which include 959 square feet of covered patio and deck areas, 1,070 square feet of second-floor deck and balcony areas, 2,328 square feet of roof deck area, and an 800-sf ADU, which is excluded from the FAR in accordance with SDMC Section 141.0302(b)(2)(D). Additional improvements proposed as part of this development include a pool and cold plunge tank, landscape, hardscape and associated site improvements, including improvements within the public right-of-way, as shown in the Exhibit "A" site development plan set.

Permits Required:

Due to process consolidation, all actions are consolidated and processed as a Process Three Hearing Officer Decision per <u>SDMC Section 112.0103</u>. Development of the proposed project requires:

- 1. Coastal Development Permit per <u>SDMC Section 126.0702</u> for the proposed demolition and construction on property within the Coastal Overlay Zone.
- 2. Site Development Permit is required per <u>SDMC Section 143.0110</u> for development on a premise containing Environmentally Sensitive Lands (ESL) in the form of coastal bluffs.

Community Plan Analysis:

The project site is zoned RS-1-7, which implements the objectives of the LJCP. The Community Plan designates the site as Low Density Residential for five to nine dwelling units per acre (5-9 DU/AC) (Attachment 3). The project proposes the demolition of a single dwelling unit and its replacement on a 0.2-acre site. The proposed project is consistent with the prescribed land use and density.

The project supports the following Residential Land Use policies of the LJCP:

- 1. Designation of Residential Densities:
 - a. Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density (LJCP, pg.70).

The project maintains the existing land use of a single dwelling unit on a single lot in a single dwelling unit zone and plan designation. The project will conform to all RS-1-7 zoning standards as outlined above.

2. Community Character:

a. The City should apply the development recommendations that are contained in this plan to all properties in La Jolla in order to avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures (LJCP, pg. 70).

The project will conform to all RS-1-7 zoning standards as outlined above, which implement the goals and policies of the LJCP at this location.

b. The City should ensure that new residential development within La Jolla complies with the landscape and streetscape guidelines that are identified in this element and in Appendix E of this plan (LJCP, pg. 70).

The project has been reviewed against and complies with the listed guidelines, to include the City of San Diego Land Development Manual Landscape Standards, for the proposed planting, irrigation, and landscape-related improvements as shown in Exhibit 'A'.

The proposed project will observe setbacks to all property lines consistent with other properties in the vicinity and implement a project design that is well established and distinctive to the character of the La Jolla community, which supports the City of San Diego General Plan's Urban Design Element Goal to "design buildings that contribute to a positive neighborhood character and relate to neighborhood and community context" (UD-A.5).

The project site does not provide physical access to the coast because it is located directly adjacent to an existing coastal access (Linda Way), as shown on Figure 6 of the LJCP (LJCP, pg. 23). Linda Drive south of and adjacent to the site is identified as a Scenic Vista in the LJCP, as shown on Figure 9 (LJCP, pg. 35-36). Public views from identified vantage points, to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The project observes required setbacks and height limits and does not encroach on this vista. To protect the public view of the coast and the Pacific Ocean, the permit includes a condition of approval for the preservation of the public view (visual corridors) within the side yard setback areas for the full depth of the project site through a Covenant of Easement.

The project will enhance and protects public views by designing a project that complies with the development standards required by the underlying RS-1-7 Zone, including proposing a building height of 30 feet which conforms with the height restriction of the 30-foot coastal height limit overlay zone and in conformance with the plumb line height, the overall height, Proposition D height as stipulated in <u>SDMC Section 113.0270</u>, and Technical Bulletin BLDG-5-4. As previously described, the project would conform to the prescribed density, FAR and building setbacks. Additionally, the landscape design and materials, including fencing, are in conformance with regulations protecting public view corridors (visual corridors) in accordance with <u>SDMC Section 132.0403</u>.

Project-Related Issues:

COASTAL BLUFFS

The lot contains an approximately 40-foot-tall coastal bluff. A Geotechnical Investigation performed by Geotechnical Investigation, Incorporated, determined that the site has adequate geologic stability, and the proposed development would not adversely affect the stability of the coastal bluff or adjacent properties, provided the recommendations presented in the report are adopted and incorporated. The landscape design and materials selected for use at the project site will not require significant irrigation, resulting in minimal disturbance to the adjacent coastal bluffs. Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to be captured by drains and directed to the public storm water catch basin located within the right-of-way of Linda Way. The project will observe a 25-foot bluff setback from the top of the coastal bluff per Section 143.0143(f)(1), and the coastal bluff face will be preserved as a condition of permit approval.

CONCLUSION

This proposed project is designed to comply with the development regulations of the RS-1-7 zone, the Environmentally Sensitive Lands regulations, and the La Jolla Community Plan and La Jolla Coastal Program Land Use Plan. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends that the Hearing Officer approve Coastal Development Permit No. PMT-3270176 and Site Development Permit No. PMT-3270175, as proposed.

ALTERNATIVES

- 1. Approve <u>Coastal Development Permit No. PMT-3270176</u> and <u>Site Development Permit No. PMT-3270175</u>, with modifications.
- 2. Deny <u>Coastal Development Permit No. PMT-3270176</u> and <u>Site Development Permit No. PMT-3270175</u>, if the findings required to approve the project cannot be affirmed.

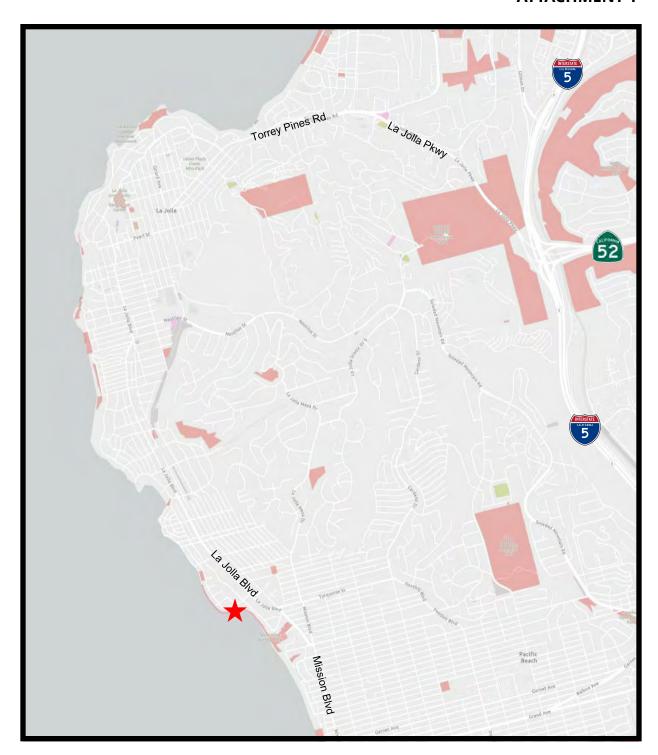
Respectfully submitted,

Martin R. Mendez

Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Aerial Photograph
- 3. Community Plan Land Use Map
- 4. Community Planning Group Recommendation
- 5. Draft Resolution with Findings
- 6. Draft Permit with Conditions
- 7. Environmental Notice of Right to Appeal
- 8. Ownership Disclosure Statement
- 9. Project Plans



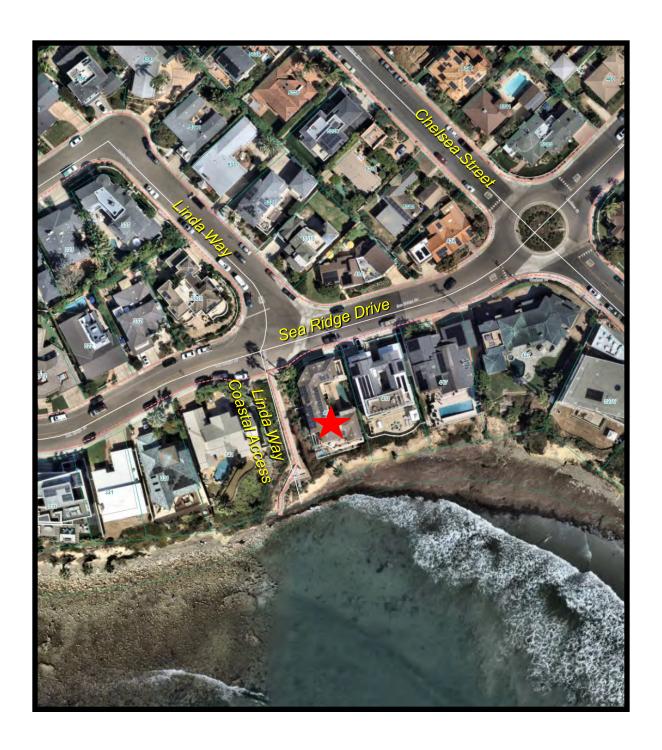


Project Location

403 Sea Ridge Drive Project No. PRJ-1109256



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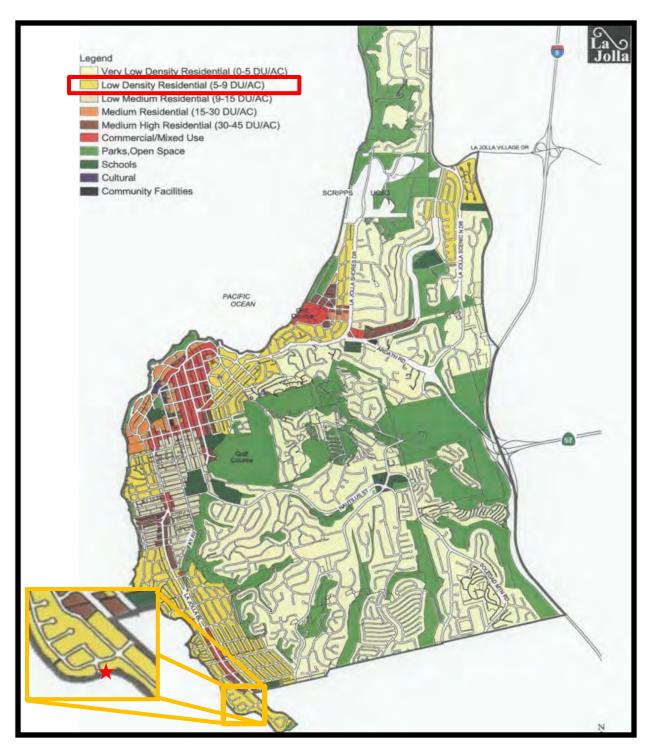


Aerial Photo

403 Sea Ridge Drive Project No. PRJ-1109256



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Land Use Plan

403 Sea Ridge Drive Project No. PRJ-1109256



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August 2018



Community Planning Committee Distribution

	1222 First Ave., MS-302 San Diego, CA 92101			Form	
Project Name: 403 Sea Ridge			Project Number: 1109256		
Community: La	olla				
	log into O	penDSD at https://a	tion (project manager aca.accela.com/SAND Project Number to ac		
 Vote to Approve □ Vote to Approve with Conditions Listed Below □ Vote to Approve with Non-Binding Recommendations Listed Below □ Vote to Deny 				Date of Vote: July 09, 2024	
# of Members Yes 9		# of Members No	# of I	# of Members Abstain 1	
Conditions or Rec NONE	ommendation	s;			
□ No Action (Please specify, e.	g., Need further in	nformation, Split vote, La	ack of quorum, etc.)		
NAME: ADRIAN F	ERAL				
	TITLE: SECRETARY			DATE: July 16, 2024	



La Jolla Community Planning Association

PO Box 889, La Jolla CA 92038 https://lajollacpa.org info@lajollacpa.org

●TUESDAY● 9 Jul 2024, 6pm Riford Library, 7555 Draper President: Harry Bubbins Vice Presidents: Parick Ahern, Glen Rasmussen Secretary: Adrian Feral Treasurer: Lisa Kriedeman

Regular monthly meetings: 1st Thursday. Refer to projects or issues, not to applicants or opponents. For action Items, chair calls on public, then Trustees, closes discussion upon consensus, and calls for motions. Trustees vote by acclamation, roll call, or show of hands. The public is encouraged to participate in Committee/Board meetings before LJCPA discussion:

PDO - Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR - Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC - La Jolla Shores Permit Review Committee, Chair Andy Fotsch, 3rd Thursday, 4:00 pm

T&T - Traffic & Transportation Board, Chair Brian Earley, 3rd Tuesday, 4:00 pm

Meeting start @ 18:02

Present:

Bubbins, Kriedeman, Ahern, Rasmusen, Steck, Terry, , Will, Feral, Dye, Matov,

Present not able to vote: Weiss* Yang*

Absent: Davidson, Fremdling

Absent not able to vote: Brady*, Courtney*, Williams*

* Votes are null, as of June 2nd due to unreceived City Training.

Public statement that votes will not be recorded for trustees that did not complete city required training by Bubbins

1. Approve Agenda

Motion to approve the agenda: Glen 2nd: Dye (9-0-1)

2. Approve Minutes

In regards to previous minutes, Trustee Terry requested they be amended to include the 2nd reason for pulling Camino De La Costa Project:

The DPR and CPA agenda descriptions did not match and needed to set the record accurately. Motion to approve amended Minutes for June meeting: Kriedman 2nd: Terry (9-0-1)

3. Non-Agenda Public Comment

Member Comment:

Janie Emmerson gave an update and passed a sign sheet for the City Of La Jolla and the County of San Diego to get the data on this issue.

Bob Tredway discusses Larry Turner's record and how he would best be fit for the Mayor of San Diego, He handed out cards with links so that we could see Mr. Turner's agendas.

Bob Evans President of Beach and Parks of La Jolla demanded the return of point la jolla to recreation and to educate the community on The City Of San Diego plans to close the beaches to wildlife. He stated that sharing of the beach with seals and humans are not possible, calling it a seal takeover and that we need to petition any calls to close the beaches, specifically the cove, to people by the city.

Shawn MacArthur of La Jolla LandMark Group added to the discussion of Bob Evans and talked about the 100 year history of the cove and its principal attraction that led to the development of La Jolla.

A discussion about recorded seal attacks on social media was had, and a public comment raised the question if any actual injury has been incurred from seals to humans, even though social media shows aggressive behavior, questions about actual injury were had. how those injuries are reported and if the city is responsible were some of the discussion points regarding the seal - human interaction at the cove.

4. Candidate Forum

Greg Jackson announced his candidature for the empty trustee seat. He announced his active participation as a member and that as a trustee, he would lead under five principles of fairness, balance, efficiency, foresight, and robustness through administration.

Marry Soriano also announced candidature for the empty trustee position with her active involvement as a member over ten years with large projects in La Jolla. She would like to have a workshop day to have trustees physically visit project sites and have sight discussion for projects that are to impact la jolla greatly.

She brings into question how projects that are in the pipeline with design standards that are more strict, and how they can or will be affected by more lenient standards the city has enacted during the lengthy review process, mainly calling into question the former Su Casa site and how it will be affected by the more lenient parking standards.

5. Consolidate, Accept, & Adopt Committee Judgments Action

5.1. 403 Sea Ridge (1109256, Lyon) Coastal Development and Site Development Permit to 5,620 square foot remodel of existing single dwelling unit and add a 150 Square Foo t 2nd story Accessory Dwelling Unit and add 260 SQFT 2nd story deck at 403 Sea Ridge Dr. The 0.19 Acre site is in the RS-1-7 Base Zone, Coastal (Appealable) Overlay Zone (OZ), First Public Roadway, CHLOZ, Parking Impact OZ (Coastal and Beach), Transit Area OZ, TPA, Sensitive Coastal OZ (Coastal Bluff), the La Jolla Community Plan Area, Council District 1. DPR 6/18: findings CAN

be made, 6-0-1; Leon recused 5.2. 7280 Carrizo (1109875, Temple) Process 2 Coastal Development Permit to demolish an existing two-story single dwelling unit with detached garage to construct a new 15,987 square foot two-story single dwelling unit with subterranean basement garage, outdoor terraces, pool & spa, and associated site work, located at 7280 Carrizo Dr (APN: 354-214-0100). The 0.42 acre site is in the RS-1-4 Base Zone, Coastal (Non Appealable) Overlay Zone (NAPP-1), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal), La Jolla Community Plan Area, Council District 1. DPR 6/18: findings CAN be made, 8-0-1

- **5.2. 7280 Carrizo (1109875, Temple)** Process 2 Coastal Development Permit to demolish an existing two-story single dwelling unit with detached garage to construct a new 15,987 square foot two-story single dwelling unit with subterranean basement garage, outdoor terraces, pool & spa, and associated site work, located at 7280 Carrizo Dr (APN: 354-214-0100). The 0.42 acre site is in the RS-1-4 Base Zone, Coastal (Non Appealable) Overlay Zone (NAPP-1), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal), La Jolla Community Plan Area, Council District 1. DPR 6/18: findings CAN be made, 8-0-1
- **5.3. 5460 Linda Rosa (1109148, Benton)** Unpermitted interior and exterior demolition and reconstruction of an existing single residential dwelling totaling 1,542 square-foot which includes an existing 400 square-foot Junior Accessory Dwelling Unit on a 4,314 square-foot lot located at 5460 Linda Rosa Avenue in the RS-1-7, Coastal Overlay (Non-Appealable2) Zone, and Coastal Height Limit Overlay Zone Overlay Zone: Parking Impact-PIOZ-Coastal-Impact, and Transit Priority Area (TPA) of the La Jolla Community area. Process 2 Coastal Development Permit pursuant to San Diego Municipal Code (SDMC) Section 126.0702(a). A Coastal Development Permit issued by the City is required for all coastal development of premises within the Coastal Overlay Zone described in Chapter 13, Article 2, Division 4 unless exempted by (SDMC) Section 126.0704, or if the proposed project site lies completely within the Coastal Commission Permit Jurisdiction or the Deferred Certification Area as described in (SDMC) Section 126.0702(b). DPR 6/18: findings CAN be made, 7-0-1

Consent Agenda Motion to approve Brian 2nd: Glen (9-0-1)

Comments from Elected Officials, Agencies, & Other Entities:

Emily from LaCavas office discussed the passing of the city budget and that public safety elements were fully funded. A member requested that La Cavas position on Cove Access be discussed at the next meeting.

Melissa Garcia from the Planning Department gave an update on BluePrint San Diego, the city's general plan. Stated that the De Anza Cove has been approved by the coastal commision. Announcement of the Coastal Commision survey due date for coastal Resilience projects,

mainly affecting la jolla shores . Members requested more information and how la jolla shores would directly be affected.

Local Project Reviews (Action as noted):

6. Pulled from June Meeting (June Item 4.3):

Chandra Slaven gave a project presentation and cleared up any confusion about project description to the project listed on the June CPA agenda. Mark House was not available for the presentation. A discussion about the city vent pipe for the pump station and if it was to be relocated. Conditions were agreed to have the City allow for the old growth trees to remain with a provision to maintain the view corridor as much as possible and that no new encumbrances will be installed in the corridor.

Motion to approve by Brady 2nd Steck (8-0-2)

7. Pulled from June Meeting (June Item 4.8)

Calle de oro trustee Recuse from vote. An in depth view of the property line and existing drainage swale was brought to the designed retention. concern for the mutual maintenance of the drainage ditch and if there was no recorded easement and the property was to be fenced, how would the storm water not flood the adjacent properties?

An agreement was made that a gate on the proposed fence could be installed for maintenance of the drainage ditch, however would not be recorded easement for maintenance and would technically be unusable as it would be trespassing onto the neighbors lot if used.

Motion to approve by Kriedeman 2nd: Steck
(8-0-2)

Officer Reports:

Treasurer No changes to the books to report.

8. View Corridors Committee Update:

Trustee Terry had a 15 minute update on the corridor committee's progress. recommendations of making deed restrictions filed on future projects, and requesting the city to enforce current restrictions on corridors.

An example from other jurisdictions was to recommend a private right of action that would allow private citizens to sue property owners for maintenance of the defined corridors.

Recommendations to DSD are: identify an map parcels with said corridors, use of a standard language on plans and deed, bulletin for staff to reference, create and maintain an essential database

Non Agenda Trustee Comment:

A Trustee brought to attention the location of CPA Meetings and that Bishops have been an accessibility issue for some members. Work to relocate CA to a public venue needs to be completed.

Trustee Terry used the remaining meeting time to bring to attention housing affordability in LaJolla. He proposed that a recommendation to the city be made that allows the city to choose the affordable unit at random from proposed development and not that the least desirable unit within the development go to the affordable quota. He mentions city code distinction between comparability and comparable unit descriptions within the code. Terry calls the current affordable housing bonuses that developers use as a form of housing discrimination.

President announced voting procedures and how to return said ballot for the two prospective candidates.

Meeting Adjourned just before sunset at 735 pm. August 1st meeting TBD.

LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE

LA JOLLA COMMUNITY PLANNING ASSOCIATION

- TUESDAY 4 PM -

Virtual Meeting via Zoom – Link HERE

Presentation Materials via Google Drive – Link HERE

Applicants:

- Please email your submitted plan set and Latest cycle issues and assessment letter to the DPR chair (brianljcpa@gmail.com) and copy Dani Sada (dani@willandfotsch.com) before your projects may be placed on the Agenda.
- Presentation materials for the meeting should also include materials presentation and/or color renderings, Aerial photo and neighborhood context exhibits showing the proposed renderings or site plan in context.
- 1. Public comments are an opportunity to share your opinion with the committee members. Comments should not be directed at the applicant team
- 2. Public comments will be strictly limited to **2 minutes per person**. Please review the following meeting minutes. It is not necessary to repeat previous comments.

COMMITTEE MEMBER ATTENDANCE:

<u>La Jolla CPA</u> <u>La Jolla Town Council</u>

Brian Will (Chair)
Glenn Rasmussen
Greg Jackson
John Fremdling
Kevin Leon

Diane Kane
Angeles Leira
John Shannon
Brian Williams
AJ Remen

NON-AGENDA PUBLIC COMMENT:

Trustee Meeting Tomorrow

POSSIBLE ACTIONS ITEMS

ITEM 1: FINAL REVIEW (Kevin Leon recused from item 1)

Project Name: Kistner Residence - 403 Sea Ridge Dr

Project Number: PRJ- 1109256

Address: 403 Sea Ridge Dr, La Jolla, CA 92037

Applicant's Rep: Kevin Leon

<u>Project Description:</u> Coastal Development and Site Development Permit to demo and remove the existing 5,055 square foot single family dwelling unit and 622 square foot accessory dwelling unit. Construct new 4,861 square foot single family dwelling unit with roof deck and 800 square foot accessory dwelling unit at 403 Sea Ridge Ct. The 0.19 Acre site is in the RS-1-7 Base Zone, Coastal (Appealable) Overlay Zo ne (OZ), First Public Roadway, CHLOZ, Parking Impact OZ (Coastal and Beach), Transit Area OZ, TPA, and Sensitive Coastal OZ (Coastal Bluff) within the La Jolla Community Plan Area, Council District 1.

PRESENTATION – Kevin Leon

- Remove and construct new
- o Maxed out on FAR, existing is over the allowable
- o Addressed comments and awaiting CPA for resubmittal
- o Pulling back from 25' setback 1st and 2nd floor
- o New vs old elevations
- o Increasing view corridors both sides
- o New vs old hardscape reducing hardscape
- o Original house in 1983
- o Will not underground electrical lines
- o 4.5' taller than existing structure.

MOTION

- o Recommend approval of this project (Jackson/Shannon)
- o PASSES 4-0-1 (Chair abstains)

ITEM 2: PRELIMINARY REVIEW

Project Name: Ellen Browning Scripps Neighborhood Park Sidewalk Widening Project

Project Number: PRJ-1135809

Address: 1160 Coast Boulevard, La Jolla, CA 92037

Applicant's Rep: Carlos Parra, Associate Civil Engineer, cparra@sandiego.gov

<u>Project Description:</u> Removal of approximately 450 linear feet of an existing 5-foot-wide concrete sidewalk and the installation of a new 10-foot-wide concrete sidewalk as a replacement. The scope includes minor grading as needed and relocation of existing irrigation. The project site is located at the Ellen Browning Scripps Neighborhood Park at 1160 Coast Boulevard.

• PRESENTATION – Carlos Parra/Mayra Medel

- o Many pedestrians walk off sidewalk and grass is dead, this widening should improve the situation
- o Parks and Rec (turf and irrigation) + Transportation Department (sidewalk demo and construction)
- o 6-10 parking spots may be temporarily occupied during concrete pour
- o No trees being removed, proposing CEQA exemption
- o Hoping for November hearing officer determination
- o 2 phases with trucks likely parking at either end (one at a time)
- o Sidewalk tappers at S/W so as not to impact trees and signage
- o Looking for funding for additional sod/reseeding elsewhere in the park.
- o SHANNON Potential sink hole at corner of Coast and Coast.
- o Janette Williams 4-6 weeks for everything or per phase (total)
- o K Neel What will the permit fees be (city projects only charged per hour)
- B Evans (LJ Parks & Beaches) Consider this a gift from the city and appreciate their work on this.
- o WILLIAMS Will this lead to more vendors to occupy wider sidewalk. Is this resolved with

ATTACHMENT 4
La Jolla Development Permit Review Committee
July 8th, 2025
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new regulations? (Bob responded and it has gotten much better and Rangers active enforcing rules.)

o MOTION

- Make final (Jackson/Williams)
- PASSES 6-0-0
- Recommend Approval (Shannon/Jackson)
- PASSES 5-0-1 (chair abstains)

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HEARING OFFICER RESOLUTION NO. _____ COASTAL DEVELOPMENT PERMIT NO. PMT-3270176 SITE DEVELOPMENT PERMIT NO. PMT-3270175 **403 SEA RIDGE DRIVE - PROJECT NO. PRJ-1109256**

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

- A. SYTAR REVOCABLE LIVING TRUST, Owner/Permittee, submitted an application to the City of San Diego for a Coastal Development Permit (CDP) and a Site Development Permit (SDP) to demolish an existing 5,675-square-foot, two-story single-dwelling unit with an attached garage and accessory dwelling unit (ADU) and existing site improvements; and the construction of a 4,861-square-foot, two-story single-dwelling unit with roof deck, an attached 800-square-foot ADU, and associated site improvements, for a total of 11,247 square feet of improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the 403 Sea Ridge Drive project (Project).
- B. The 0.20-acre site is located at 403 Sea Ridge Drive within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas in the RS-1-7 (Residential Single Unit) zone, the Coastal Overlay Zone (Appealable Area, First Public Roadway), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, the Transit Area Overlay Zone, the Sensitive Coastal Overlay Zone (Coastal Bluff), and a Transit Priority Area. The project site is legally described as: LOT 1 OF BLOCK 4 PACIFIC RIVIERA VILLAS UNIT NO. 1, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP 2531 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 23, 1948. ASSESSOR'S PARCEL NUMBER: 415-062-01-00.
- C. On August 22, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt

from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities), 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

D. On December 3, 2025, the Hearing Officer considered Coastal Development Permit No. PMT-3270176 and Site Development Permit No. PMT-3270175 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

The Hearing Officer adopts the following findings with respect to Coastal
 Development Permit No. PMT-3270176 and Site Development Permit No. PMT-3270175:

A. <u>COASTAL DEVELOPMENT PERMIT (CDP) [San Diego Municipal Code (SDMC)</u> <u>Section 126.0708]</u>

The proposed coastal development will not encroach upon any existing
physical accessway that is legally used by the public or any proposed public
accessway identified in a Local Coastal Program land use plan; and the
proposed coastal development will enhance and protect public views to and
along the ocean and other scenic coastal areas as specified in the Local
Coastal Program land use plan.

The project 0.20-acre site is located at 403 Sea Ridge Drive within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas in the RS-1-7 (Residential – Single Unit) zone, the Coastal Overlay Zone (Appealable Area, First Public Roadway), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, the Transit Area Overlay Zone, the Sensitive Coastal Overlay Zone (Coastal Bluff), and a Transit Priority Area. The project site is oriented in a slightly northwesterly to southeasterly direction; however, for ease of reference, we will refer to the front of the home as facing north and the rear facing south. The property is bounded to the east by a similar residence (411 Sea Ridge Drive) about 5 feet higher in elevation; to the west by a southerly descending public beach access walkway which begins at the approximate same elevation as the subject property and a utility (storm drain) easement; to the north by the

gradual westerly descending Sea Ridge Drive; and to the south by a southerly descending ocean bluff (sea cliff) and the Pacific Ocean.

A Geotechnical Report was prepared for the project site by Geotechnical Exploration Inc., which determined that the site has adequate geologic stability, and the proposed development would not adversely affect the stability of the coastal bluff or adjacent properties. The project site is relatively level and located at the top of a coastal bluff (Environmentally Sensitive Lands [ESL]). The approximately 40-foot-high bluff consists of approximately 5 feet of fill soils over a 35-foot-high coastal bluff face, which descends to a cobble- and boulder-covered beach/cove and the Pacific Ocean. From the southwest corner of the property, the bluff edge descends to the discharge point of a previously filled coastal canyon. The existing building pad is at an approximate elevation of 40 feet above mean sea level (AMSL). The southern corner of the property is located at the base of the bluff at an elevation of approximately six feet AMSL. An existing public access walkway and stair to the shoreline of the Pacific Ocean is located west of the project site along Linda Way. The proposed development will not encroach on the existing public accessway.

The project proposes to demolish an existing 5,675-square-foot, two-story single-dwelling unit with an attached garage and accessory dwelling unit (ADU) and existing site improvements; and the construction of a 4,861-square-foot, two-story single-dwelling unit with roof deck, an attached 800-square-foot ADU, and associated site improvements, for a total of 11,247 square feet of improvements. Demolition work includes the removal of a deck and spa that are encroaching at the southwest property line; the removal of solid walls in the existing side yard view corridors; and the removal of existing obscuring vegetation located within the view corridors. The proposed development is contained within the existing legal lot area, which will not encroach upon any existing or proposed physical access to the coast. The project site is located along the First Public Roadway (Sea Ridge Drive) an identified public view as identified within the La Jolla/La Jolla Shores Local Coastal Program.

The project site is located within the First Public Roadway and is adjacent to the Bird Rock Waterfront. However, public access is limited along portions of the Bird Rock Waterfront due to the steep slopes, sensitive rock formations and restricted parking. The Community Plan identifies Sea Ridge Drive as a designated Public Vantage Point and specifies that public views from identified vantage points, looking both to and from La Jolla's community landmarks and scenic vistas of the ocean, beach, and bluff areas, hillsides, and canyons, shall be retained and enhanced for public use. In addition, public views to the ocean from the first public roadway adjacent to the ocean shall be preserved and enhanced, including visual access across private coastal properties at yards and setbacks. The project complies with these Community Plan goals and will be conditioned to preserve the public view (visual corridors) within the side yard setback area for the full depth of the project site through a Covenant of Easement. Additionally, the landscape design and landscape and fencing materials proposed for the project site are in

conformance with the regulations protecting the public view corridors (visual corridors) in accordance with SDMC §132.0403.

The project will enhance and protects public views by designing a project that complies with the development standards required by the underlying RS-1-7 Zone, including proposing a building height of 30 feet which conforms with the height restriction of the 30-foot coastal height limit overlay zone and in conformance with the plumb line height, the overall height, Proposition D height as stipulated in SDMC section 113.0270, and Technical Bulletin BLDG-5-4. Additionally, the project would conform to the prescribed density, building setbacks by proposing a eighteen-foot-eight-inch (18'-8") front yard setback where ten feet is required, a ten-foot-eight-inch (10'-8") street side setback where ten feet is required, a fourfoot-four-inch (4'-4") side yard setback where four feet is required and a twentyseven-foot-seven-inch (27'-7") rear yard setback where thirteen feet is required, and floor area ratio (0.56) in conformance with the 0.56 maximum allowed floor area ratio listed in SDMC Section 131.0446, Table 131-04J. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project is described in finding A.1 above, incorporated herein by reference. The project site is also outside of the Multiple Habitat Planning Area (MHPA) and would not result in any impacts to biological resources. The proposed development area will be situated within areas of existing development and previously disturbed land. The project site does not contain any biological resources and is outside of the City's Multi-Habitat Planning Area (MHPA). The project site is adjacent to a coastal bluff edge (Environmentally Sensitive Lands [ESL]), and the proposed development will maintain a minimum 25-foot setback from the coastal bluff edge. The project's Geotechnical Report determined that the site has adequate geologic stability, and the proposed development would not adversely affect the stability of the coastal bluff or adjacent properties. The proposed landscape material will not require significant irrigation, resulting in minimal disturbance to the adjacent coastal bluffs. The proposed grading for the project is primarily contained within the building footprint for the foundation and lower level of the structure; therefore, the natural landform will remain the same.

Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to be captured by drains and directed to the public storm water catch basin. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance. The proposed grading areas of the site are primarily within previously

disturbed areas and will not result in or propose any further encroachment into ESL areas. The project will not adversely affect ESL areas and includes a permit condition that prohibits the development on the face of the sensitive coastal bluff.

Although the project does not set back at least 40 feet from the coastal bluff edge, staff reviewed and accepted a Geotechnical Report for the site that concluded that the project adequately addresses the site's soil and geologic conditions. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project is described in finding A.1 and A.2 above, incorporated herein by reference. The existing structures are more than 45 years old, requiring City staff to evaluate the proposal for historic significance. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Reductions from the 40-foot coastal bluff edge setback shall be approved only if the geology report for the project concludes that the structure will not be subject to significant geologic instability and will not require construction of shoreline protection measures throughout the economic life span of the structure.

As previously described, the project does not set back at least 40 feet from the coastal bluff edge. The project's Geotechnical Report concluded that the project adequately addresses the site's soil and geologic conditions.

The project site is designated for low-density residential uses (5-9 dwelling units per acre) within the Community Plan and proposes one dwelling unit with an accessory dwelling unit (ADU) in accordance with the allowed density. The project site is located within the First Public Roadway and is adjacent to the Bird Rock Waterfront. However, public access is limited along portions of the Bird Rock Waterfront due to the steep slopes, sensitive rock formations and restricted parking.

The Community Plan identifies Sea Ridge Drive as an identified Public Vantage Point and specifies that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. In addition, public views to the ocean from the first public roadway adjacent to the ocean shall be preserved and enhanced, including visual access across private coastal properties at yards and setbacks. The project complies with these Community Plan goals and will preserve view corridors within the side yards of the project site through a Covenant of Easement. Additionally, the landscape design and landscape and fencing materials proposed for the project site are in conformance

with the regulations protecting the public view corridors (visual corridors) in accordance with SDMC §132.0403.

The project also complies with the Community Plan goal of addressing transitions between the bulk and scale of new and older development in residential areas and maintaining the existing 30-foot height limit. The project also steps back the second story in accordance with the angled setback requirements and to maintain the integrity of the streetscape. By providing the required building articulation, the design provides adequate amounts of light and air. Additionally, as previously described in Finding A.1, the proposed development will not encroach on the existing public accessway along Linda Way. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project is described in finding A.1 and A.2 above, incorporated herein by reference. The project site is located within the First Public Roadway and is adjacent to the Bird Rock Waterfront. However, public access is limited along portions of the Bird Rock Waterfront due to the steep slopes, sensitive rock formations and restricted parking.

The Community Plan identifies Sea Ridge Drive as an identified Public Vantage Point and specifies that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. In addition, public views to the ocean from the first public roadway adjacent to the ocean shall be preserved and enhanced, including visual access across private coastal properties at yards and setbacks. The project complies with these Community Plan goals and will be conditioned to preserve the public view (visual corridors) within the side yard setback area for the full depth of the project site through a Covenant of Easement. Additionally, as previously described in Finding A.1, the proposed development will not encroach on the existing public accessway along Linda Way.

The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. <u>SITE DEVELOPMENT PERMIT (SDP) [SDMC Section 126.0505]</u>

1. The proposed development will not adversely affect the applicable land use plan.

The project is described in finding A.1 and A.2 above, incorporated herein by reference. The 0.20-acre site is designated for Low Density Residential land use within the Community Plan. The proposed project would demolish the existing single dwelling unit and accessory dwelling unit (ADU) and construct a new 4,861-square-foot, two-story single dwelling unit with an attached garage and an attached 800-square-foot ADU, featuring vehicular access and parking designed to be accessed from a driveway on Sea Ridge Drive. The project site is located within the First Public Roadway and is adjacent to the Bird Rock Waterfront. However, public access is limited along portions of the Bird Rock Waterfront due to the steep slopes, sensitive rock formations and restricted parking.

The Community Plan identifies Sea Ridge Drive as a designated Public Vantage Point and specifies that public views from identified vantage points, looking both to and from La Jolla's community landmarks and scenic vistas of the ocean, beach, and bluff areas, hillsides, and canyons, shall be retained and enhanced for public use. In addition, public views to the ocean from the first public roadway adjacent to the ocean shall be preserved and enhanced, including visual access across private coastal properties at yards and setbacks. The project complies with these Community Plan goals and will be conditioned to preserve the public view (visual corridors) within the side yard setback area for the full depth of the project site through a Covenant of Easement. Additionally, the landscape design and landscape and fencing materials proposed for the project site are in conformance with the regulations protecting the public view corridors (visual corridors) in accordance with SDMC §132.0403.

The project also complies with the Community Plan goal of addressing transitions between the bulk and scale of new and older development in residential areas, and maintaining the existing 30-foot height limit of the single dwelling unit zones and Proposition D. The project also steps back the second story to maintain the integrity of the streetscape and provides adequate amounts of light and air. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is described in finding A.1 and A.2 above, incorporated herein by reference. The project permit contains specific requirements to ensure compliance with the regulations of the LDC, including those adopted to protect the public health, safety and welfare. Permit requirements include, but are not limited to:

 Submitting a Water Pollution Control Plan prepared in accordance with the City's Construction Best Management Practices (BMPs) and Storm Water Standards;

- b. Entering into an Encroachment Maintenance Removal Agreement (EMRA) for all private improvements, including connection to the public storm drain system located within the public right-of-way (ROW) of the Linda Way coastal access adjacent to the project site; and the non-standard driveway, rolled curb, landscapes and irrigation located within the public ROW of Sea Ridge Drive;
- c. Maintenance of all landscape improvements; and
- d. All private water and sewer facilities shall be designed to meet the requirements of the California Uniform Plumbing Code.

The project site contains sensitive coastal bluffs, and the permit conditions prohibit development on the face of the sensitive coastal bluff. The proposed development will maintain a minimum 25-foot setback from the coastal bluff edge. Although the project does not set back at least 40 feet from the coastal bluff edge, the project's Geotechnical Report determined that the site has adequate geologic stability, and the proposed development would not adversely affect the stability of the coastal bluff or adjacent properties. The proposed development will implement geotechnical recommendations and building construction standards for building support in the geologic setting of the project site.

The project will not have any impact on the provision of essential public services. The proposed development will include fire sprinklers and building design features as required by the applicable building codes to reduce and control the risks of fire. During and after construction, the project will be required to conform to the requirements of this permit, all applicable land development codes and building codes designed to protect the public health, safety, and welfare of the community, including but not limited to the California Building Code, California Fire Code, the City of San Diego Storm Water regulations, and all applicable regulations.

Additionally, drainage for the project was designed in accordance with the City's Storm Water Standards and Construction BMPs . The risk of a tsunami affecting the project site is considered low as the site is situated at an elevation of approximately 40 feet AMSL. Sea level rise for the project site over the next 75 years (design life of the structure) is projected to range from 1.25 feet to 4.75 feet (August 2015 California Coastal Commission Sea-Level Rise Policy Guidance). Due to the elevation of the site at 40 feet AMSL, the proposed residence and improvements will not be subject to flooding from ocean water levels. Additionally, the proposed improvements would not be adversely affected by wave run-up.

No active fault lines are known to cross the property. Shaking from known "active" faults presents the greatest seismic risk to the subject site during the lifetime of the proposed project. Structures designed in accordance with the current building codes will reduce the potential for injury or loss of human life. The nearest known "active" faults to the project site are the northwest-trending Rose Canyon Fault,

the Coronado Bank Fault, the Newport-Inglewood Fault and the Elsinore Fault, which are mapped 3.3 miles, 10.8 miles, 25.9 miles and 40 miles, respectively, from the project site.

In accordance with the permit conditions, all construction plans for the proposed development will be reviewed by city staff prior to the issuance of building permits to ensure conformance with all applicable building codes, regulations, and standards. Therefore, the proposed project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is described in finding A.1 and A.2 above, incorporated herein by reference. The proposed project was designed in conformance with the development regulations of the RS-I-7 Zone, including building setbacks, coastal bluff setback, drainage, landscape regulations, the floor area ratio, building height, and development regulations for Environmentally Sensitive Lands (Coastal Bluffs) and the Local Coastal Program for the La Jolla Community Plan area. No variances or deviations to any of the Land Development Code regulations are proposed.

The project site does not contain any biological resources on site. Based on staff's review of the proposed grading plans, landscape plans and the project's Geotechnical Report, it was determined that the site has adequate geologic stability, that the site is a coastal bluff with a minimum 25-foot coastal bluff setback, and the proposed landscape materials will not require any significant irrigation, thus resulting in a minimal disturbance to the adjacent coastal bluffs.

Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to capture stormwater utilizing area drains that are directed to the public stormwater catch basin located west of the project site, within Linda Way. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance. The proposed grading for the project is primarily contained within the building footprint for the foundation and lower level of the structure, so the natural landform will remain the same.

The proposed development is consistent with all of the required development regulations, with exception to the 40-foot coastal bluff setback identified in SDMC Section §143.0143(f). Although the project does not set back at least 40 feet from the coastal bluff edge, staff reviewed and accepted a geotechnical report for the site that concluded that the project adequately addresses the site's soil and geologic conditions and the site is stable enough to support the development at the 25-foot setback distance from the coastal bluff edge and the project can be designed so that it will not be subject to or contribute to significant geologic

instability throughout the anticipated life span of the primary structures, and no shoreline protection is required in accordance with SDMC Section §143.0143(f)(1). Therefore, the proposed development will comply with the regulations of the Land Development Code and the project is not requesting any allowable deviations.

C. <u>SDP SUPPLEMENTAL FINDINGS – ENVIRONMENTALLY SENSITIVE LANDS FINDINGS [SDMC Section 126.0505]</u>

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project is described in the findings above, incorporated herein by reference. The proposed project required a geotechnical investigation and a geotechnical report that analyzed the impacts of the proposed project on the site and confirmed the physical suitability of the project design and location of the proposed improvements on the project site. The scope of the investigation consisted of field reconnaissance, subsurface exploration, laboratory testing, and engineering and geologic analysis of the obtained data.

The project site is outside of the Multiple Habitat Planning Area (MHPA) and would not result in any impacts to biological resources. As previously described, the project site contains ESL in the form of sensitive coastal bluffs. The project site contains sensitive coastal bluffs, and the permit conditions prohibit development on the face of the sensitive coastal bluff. Although the project does not set back at least 40 feet from the coastal bluff edge, staff reviewed and accepted a geotechnical report for the site that concluded that the project adequately addresses the site's soil and geologic conditions. Additionally, drainage for the project was designed in accordance with the City's Storm Water Standards and Construction BMPs.

Landscape material for the proposed development will not require any significant irrigation, resulting in a minimal disturbance to the adjacent coastal bluffs. Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to be captured by drains and directed to the public storm water catch basin. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance. During environmental review, it was determined that the project would not have a significant environmental effect or negative impact to a level of significance.

The proposed development is located on an existing lot that is characterized by a level previously developed area, thereby avoiding a significant alteration to the existing development footprint and drainage of the site. Therefore, the site is physically suitable for the design and siting of the proposed development and the

development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards

The project is described in finding A.1 above, incorporated herein by reference. The proposed development area will be located within the existing area of disturbance and areas of past disturbance. The project site does not contain any biological resources on site. Based on staff's review of the proposed grading plans, landscape plans and the project's Geologic Reports it was determined that the site has adequate geologic stability, that the site is a coastal bluff with a minimum 25foot coastal bluff setback, and the landscape material will not require any significant irrigation, resulting in a minimum disturbance to the adjacent coastal bluffs (environmentally sensitive lands). Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to be captured by drains and directed to the public storm water catch basin. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance. The proposed grading for the project is primarily contained within the building footprint for the foundation and lower level of the structure, so the natural landform will remain the same. During environmental review, it was determined that the project would not have a significant environmental effect or negative impact to a level of significance. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

3. The proposed development will be sited and designed to prevent adverse impact on any adjacent environmentally sensitive lands.

The project is described in finding A.1 above, incorporated herein by reference. The project will not adversely affect Environmentally Sensitive Lands and includes a condition that prohibits the development on the face of the sensitive coastal bluff. The project site is outside of the Multiple Habitat Planning Area (MHPA) and would not result in any impacts to biological resources.

The project site contains "Sensitive Coastal Resources - Coastal Bluffs" along the site's southern edge and is within an area that is developed with single-family residential development on the other three sides. The subject property has previously been disturbed and was not found to contain any biological resources on site. During the environmental review, it was determined that the project would not have a significant environmental effect or negative impact to a level of significance. City staff reviewed the building setbacks, coastal bluff setback, drainage, landscape regulations, the floor area ratio, building height, submitted geologic reports and found the proposed development consistent with all the required development regulations. Therefore, the proposed development will be

sited and designed to prevent adverse impact on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

Although the project site is subject to the City of San Diego's Multiple Species Conservation Program (MSCP), the project site does not contain areas of Multi-Habitat Planning Area (MHPA) or Vernal Pool Habitat Conservation Plan (VPHCP) areas. Therefore, the proposed project does not require consistency with the City of San Diego's MSCP Subarea Plan or the VPHCP.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is described in finding A.1 above, incorporated herein by reference. The property contains coastal bluffs along the southern edge of the property. Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, are designed in accordance with the City's Storm Water Standards and would capture storm water within area drains which would connect to the public storm water catch basin. By controlling rain water from storm events through the proposed storm water management system, the project will not adversely impact local shoreline sand supply and will conform with the Best Management Practices (BMPs) required by the City's Storm Water Standards. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance to address treatment and management of storm water associated with the proposed development. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project is described in finding A.1 above, incorporated herein by reference. The development is entirely within private property that has been previously developed and the proposed development does not require mitigation to alleviate any negative impacts. The project site does contain Environmentally Sensitive Lands (ESL) in the form of sensitive coastal bluffs which requires a permit condition that would prohibits the development on the face of the sensitive coastal bluff. Conformance with the permit conditions will ensure that the new structures being built will reduce the potential for geologic impacts from regional hazards. Additionally, the project site is not within a potentially sensitive area for fire hazards.

Impacts from the proposed development were reviewed and analyzed by City staff, who determined that, by conforming to the permit conditions, applicable

regulations, and standards, the impacts associated with the proposed development will be less than significant. In accordance with the requirements of the California Environmental Quality Act (CEQA) the proposed development was

reviewed for adverse environmental impacts and was determined to be Categorically Exempt per CEQA Guideline Sections 15301 (Existing Facilities),

15302 (Replacement or Reconstruction) and 15303 (New Construction or

Conversion of Small Structures).

2. The above findings are supported by the minutes, maps, and exhibits, all of which

are incorporated by this reference.

Based on these findings adopted by the Hearing Officer, Coastal Development 3.

Permit No. PMT-3270176 and Site Development Permit No. PMT-3270175 are granted by the

Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as

set forth in Coastal Development Permit No. PMT-3270176 and Site Development Permit No. PMT-

3270175, a copy of which is attached to and made a part of this Resolution by this reference.

Martin R. Mendez

Development Project Manager

Development Services

Adopted on: December 3, 2025

IO#: 24009813

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RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION DSD-1A

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24009813

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT PMT-3270176 SITE DEVELOPMENT PERMIT PMT-3270175 403 SEA RIDGE PROJECT NO. PRJ-1109256 HEARING OFFICER

This Coastal Development Permit No. PMT-3270176 and Site Development Permit No. PMT-3270175 is granted by the Hearing Officer of the City of San Diego to the SYTAR REVOCABLE LIVING TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and section 126.0502. The 0.20-acre site is located 403 Sea Ridge Drive in the RS-1-7 zone, the Coastal Overlay Zone (Appealable Area, First Public Roadway), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone, the Sensitive Coastal Overlay Zone, and the Transit Area Overlay Zone within the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP). The project site is legally described as: LOT 1 OF BLOCK 4 PACIFIC RIVERA VILLAS UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP 2531 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing two-story, single dwelling unit and construction of a two-story single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 3, 2025, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing two-story single dwelling unit;
- b. Construction of a new, 4,861-square-foot (sf), two-story single-dwelling unit and 800-sf Accessory Dwelling Unit (ADU);
- c. Landscaping improvements to include planting, irrigation and landscape-related improvements, including ornamental planting at front, side and rear yards in the immediate area of the proposed dwelling unit;
- d. Off-street parking;

e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within 36 months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 17, 2028.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

- 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding, and if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Owner/Permittee shall pay all of the costs related thereto, including, without limitation, reasonable attorney's fees and costs. In the event of a disagreement between the City and the Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

ENGINEERING REQUIREMENTS:

- 11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) for the connection to the public storm drain system, non-standard driveway, rolled curb, landscapes and irrigation, within the right-of-way (ROW), subject to the City Engineer's approval, satisfactory to the City Engineer.
- 12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing sidewalk, with City Standard sidewalk, adjacent to the site on Sea Ridge Drive as shown on the Exhibit "A", satisfactory to the City Engineer.

- 13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
- 14. The project proposes to export 40 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
- 15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
- 16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- 17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- 18. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.
- 19. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual.

LANDSCAPE REQUIREMENTS:

- 20. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
- 21. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- 22. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction

documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

- 23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- 24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction plans is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

- 25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
- 26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
- 28. The Accessory Dwelling Unit shall not be used for a rental term of less than 31 consecutive days, nor may it be sold or conveyed separately from the primary dwelling unit.
- 29. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Sensitive Coastal Bluff Environmentally Sensitive Land on the premises. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands.
- 30. Prior to the issuance of any construction permits, a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises, shall be preserved as a deed restriction.

- 31. In accordance with the requirements of the SDMC (§)143.0143(f)(1), the Owner/Permittee waives all rights to shoreline protective devices associated with the subject property.
- 32. Prior to the issuance of any construction permit, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, in a form and content acceptable to the Development Services Department Director, or designated representative which shall provide:
 - a. That the applicant understands that no new accessory structures and landscape features customary and incidental to residential uses shall be developed within five feet of the Bluff Top, and that
 - b. That the applicant understands that the site may be subject to extraordinary hazard from coastal bluff erosion and the applicant assumes the liability from such hazards; and
 - c. That the applicant unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successor and assigns.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as
 conditions of approval of this Permit, may protest the imposition within ninety days of the
 approval of this development permit by filing a written protest with the City Clerk pursuant to
 California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the He	earing Officer	of the City	y of San Diego	on December	3, 2025, a	and Approved
Resolution Number						

COASTAL DEVELOPMENT PERMIT PMT-3270176 SITE DEVELOPMENT PERMIT PMT-3270175 Project No. PRJ-1109256 Date of Approval: December 3, 2025

AUTHENTICATED BY THE CITY OF SAN	I DIEGO DEVELOPMENT SERVICES DEPARTMENT
Martin R. Mendez Development Project Manager	
NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.	
	, by execution hereof, agrees to each and every condition of each and every obligation of Owner/Permittee hereunder.
	Sytar Revocable Living Trust Owner/Permittee
	By Name: Title:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

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DATE OF NOTICE: August 22, 2025

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009813

PROJECT NAME / NUMBER: 403 Sea Ridge Drive / PRJ-1109256

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 403 Sea Ridge Drive, San Diego, CA 92037

PROJECT DESCRIPTION: A request for a COASTAL DEVELOPMENT and a SITE DEVELOPMENT PERMIT to demolish an existing two-story single-family residence and construct a new, two-story single-family residence. The demolition would include a 5,675 square-foot residence with a garage, covered patio, balcony, 622-square-foot accessory dwelling unit (ADU) and associated hardscape, landscaping, and pool. The proposed 11,247-square-foot residence would include a garage, covered patio, open deck, balcony, 800-square-foot ADU, pool, and a partially covered roof deck. The project also proposes new drainage infrastructure on- and off-site, including a catch basin, dissipater, and drains. The 0.19-acre site located at 403 Sea Ridge Drive is zoned Residential-Single Unit (RS-1-7) and designated Low Density Residential (5-9 dwelling units per acre) in the La Jolla Community Plan. The project site is in the Coastal Overlay Zone (COZ-Appealable), COZ First Public Roadway, Coastal Height Limit Overlay Zone, Transit Priority Area, and Sensitive Coastal Overlay Zone (Coastal Bluff). (LEGAL DESCRIPTION: Lot 1 of Block 4 Pacific Riviera Villas Unit No.1, City of San Diego, County of San Diego, State of California, as per Map 2531 filed in the Office of the County Recorder of San Diego County on December 23, 1948. Assessor's Parcel Number: 415-062-01).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities), 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project qualifies for an exemption pursuant to CEQA Guidelines Section 15301(I)(1) because the project

would demolish an existing single-family residence. The project qualifies for an exemption pursuant to CEQA Guidelines Section 15302 since the project would demolish an existing single-family residence and replace it with a new one on the same site and with substantially the same purpose and capacity as the structure replaced. The project qualifies for the CEQA Guidelines Section 15303(a) exemption since the project would construct a single-family residence with an ADU, in a residential zone. The exceptions listed in CEQA Guidelines Section 15300.2 would not apply considering the project is not located within a particularly sensitive environment; would not significantly contribute to a cumulative impact; is not adjacent to a scenic highway; is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites; and the project would not cause substantial adverse change in the significance of a historical resource.

DEVELOPMENT PROJECT MANAGER: Martin Mendez

MAILING ADDRESS: 7650 Mission Valley Road, MS DSD-2A, San Diego, CA

92108

PHONE NUMBER / EMAIL: (619) 446-5309 / mrmendez@sandiego.gov

On August 22, 2025, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (September 8, 2025). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form DS-3031can be obtained at https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form DS-3031 can be obtained at https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf. Bring the fully completed appeal application DS-3031 (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.

POSTED: 08/18/2025
REMOVED: 09/08/2025
POSTED BY: MysaLee



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

FORM

DS-318

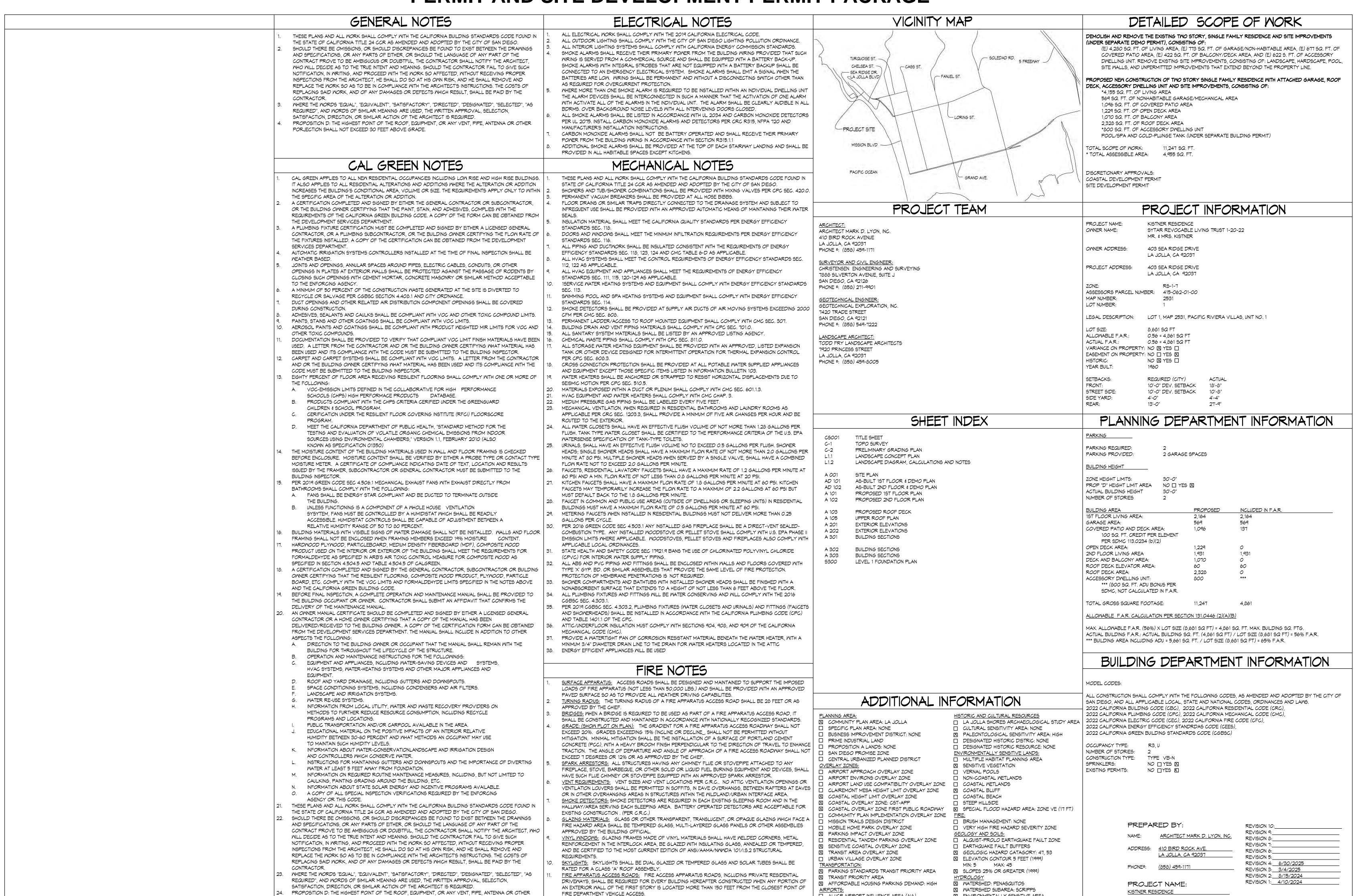
October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood U☐ Neighborhood Development Permit ☑ Site Development Permit ☐ Planned Development Tentative Map ☐ Westing Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment	ent Permit 🗉	I Conditional Use Pe	ent Permit ermit 🖸 Variance
Project Title: Kistner Residence	Project No.	For City Use Only:	PRJ-1109256
Project Address: 403 Sea Ridge Drive, La Jolla CA 92037			
Specify Form of Ownership/Legal Status (please check):			
□ Corporation □ Limited Liability -or- □ General – What State?Corporate	Identification	No	
□ Partnership 🗷 Individual			
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an applic with the City of San Diego on the subject property with the intent to record an encum owner(s), applicant(s), and other financially interested persons of the above referenced pindividual, firm, co-partnership, joint venture, association, social club, fraternal organizat with a financial interest in the application. If the applicant includes a corporation or pai individuals owning more than 10% of the shares. If a publicly-owned corporation, include officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or as trus A signature is required of at least one of the property owners. Attach additional page notifying the Project Manager of any changes in ownership during the time the application ownership are to be given to the Project Manager at least thirty days prior to any public accurate and current ownership information could result in a delay in the hearing process.	brance agair property. A faion, corpora treship, income the name anization or tree or beness if needed. It on is being hearing on t	nst the property. Pinancially interested tion, estate, trust, relude the names, tit is, titles, and address a trust, list the name ficiary of the nonp Note: The applican processed or cons	lease list below the d party includes any eceiver or syndicate les, addresses of all ses of the corporate es and addresses of rofit organization. It is responsible for idered. Changes in
Property Owner			
Name of Individual: Sytar Revocable Living Trust	⊠ Owner	☐ Tenant/Lessee	☐ Successor Agency
Street Address: 7514 Girard Avenue, Suite 1-102			
city: La Jolla		State: <u>CA</u>	Zip: <u>92037</u>
Phone No.: <u>(678) 770-7731</u> Fax No.:	Email: <u>mv</u>	malikina@gm	ail.com
Signature: Non it has	Date: 12/	12/2023	
Additional pages Attached: ☐ Yes ☑ No			
Applicant			
Name of Individual: Architect Mark D. Lyon, Inc	□ Owner	☐ Tenant/Lessee	☐ Successor Agency
Street Address: 410 Bird Rock Drive			
City: La Jolla		State: <u>CA</u>	Zip: <u>92037</u>
Phone No.: <u>(858) 459-1/171</u> Fax No.: <u>-</u>	Email: <u>inf</u>	o@mdla.net	
Signature: Allula ay —	Date: 1/3	/2024	
Additional pages Attached: ☐ Yes ☑ No			
Other Financially Interested Persons			
Name of Individual: Nina Malikina	⊠ Owner	☐ Tenant/Lessee	☐ Successor Agency
Name of Individual: Nina Malikina Street Address: 3927 Bancroft St	⊠ Owner	☐ Tenant/Lessee	☐ Successor Agency
	⊠ Owner	☐ Tenant/Lessee State: CA	□ Successor Agency Zip: 92104
Street Address: 3927 Bancroft St City: San Diego			Zip: <u>92104</u>
Street Address: 3927 Bancroft St City: San Diego	Email:	State: <u>CA</u>	Zip: <u>92104</u>

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KISTNER RESIDENCE

A CUSTOM RESIDENTIAL COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT PACKAGE



INDIVIDUAL DRIVEMAY DIMENSIONS: FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED

IMPROVED WIDTH OF NOT LESS THAN 24 FEET, EXCEPT FOR A SINGLE FAMILY RESIDENTIAL DRIVEWAYS;

SERVING NO MORE THAN TWO SINGLE FAMILY DWELLINGS, SHALL HAVE A MINIMUM OF 16 FEET OF

UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.

PORJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

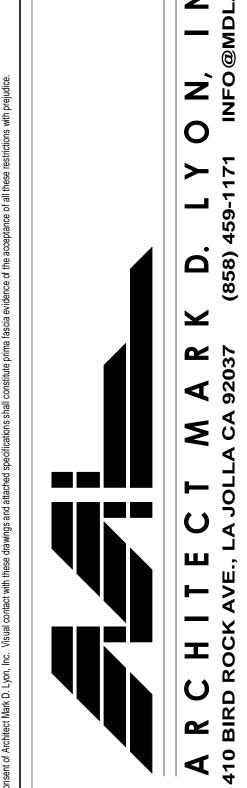
ALUCP AIRPORT INFLUENCE AREA (AIA)

☐ ALUCP NOISE CONTOURS

☐ FAA PART 77 NOTICING AREA

☐ ALUCP SAFETY ZONE

☐ AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE





REVISIONS: 09/30/2025 COASTAL DEV. PERMIT

PROJECT NUMBER:

REVIEWED BY

DRAWN BY: KJL / RH

09/30/2025 SHEET TITLE:

TITLE SHEET

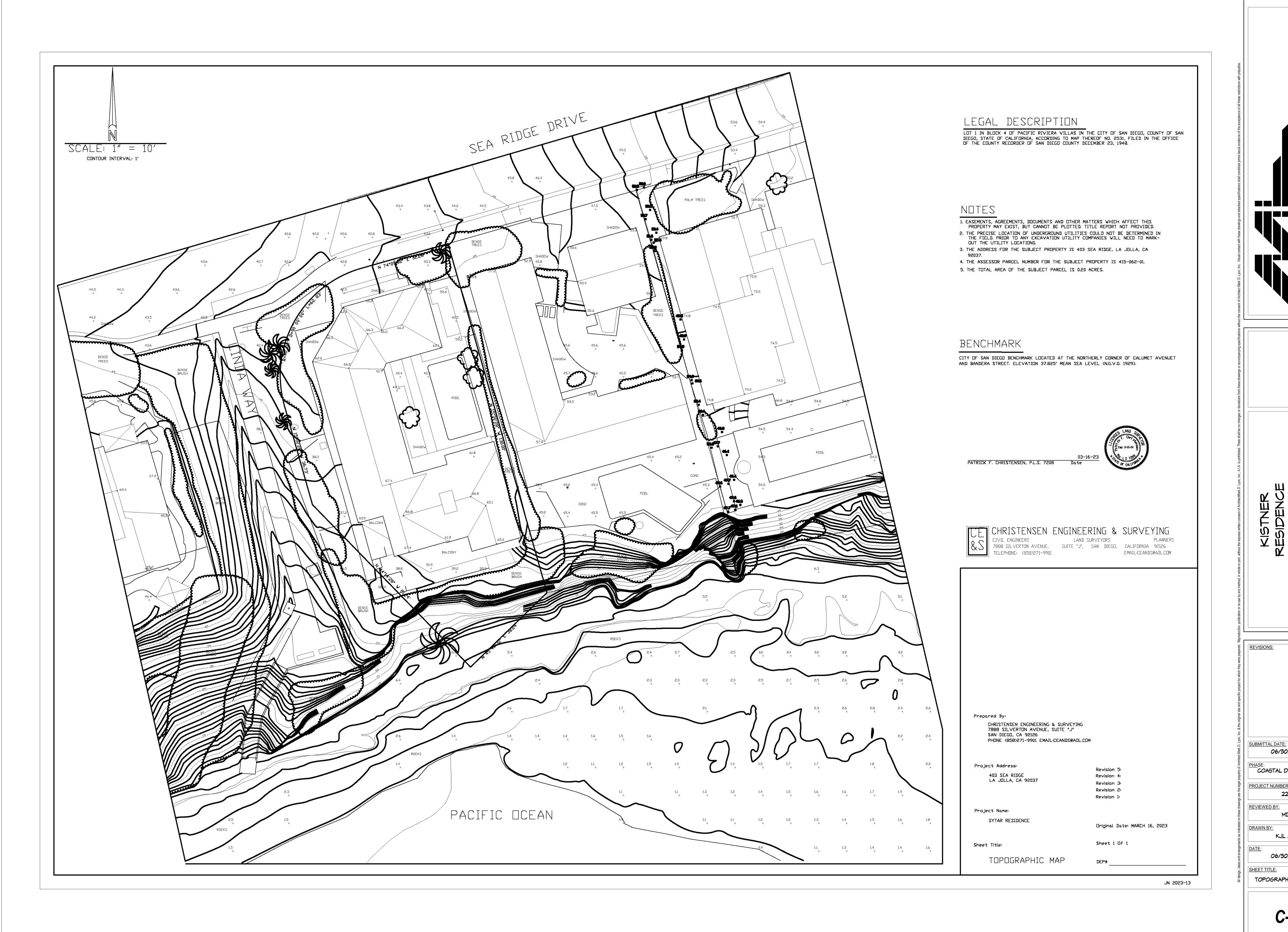
ORIGINAL DATE: 12/4/2023

SHEET 1 OF 18

403 SEA RIDGE DR., LA JOLLA, CA 92037

SHEET TITLE

TITLE SHEET



S F

REVISIONS:

06/30/2025

COASTAL DEV. PERMIT PROJECT NUMBER:

06/30/2025

SHEET TITLE: TOPOGRAPHIC SURVEY

C-1

SITE DEVELOPMENT PERMIT

LEGAL DESCRIPTION

LOT 1 IN BLOCK 4 OF PACIFIC RIVIERA VILLAS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 23, 1948.

NOTES

- 1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED MARCH 16, 2023
- 2. THE PROPOSED USE IS FOR SINGLE-FAMILY RESIDENCE
- 3. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER
- 4. DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- 5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 6. THE ASSESSOR PARCEL NUMBER IS: 415-062-01
- 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- 8. BENCHMARK: CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHERLY CORNER OF CALUMET AVENUE AND BANDERA STREET. ELEVATION 37.825' MEAN SEA LEVEL (N.G.V.D. 1929).
- 9. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED

FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

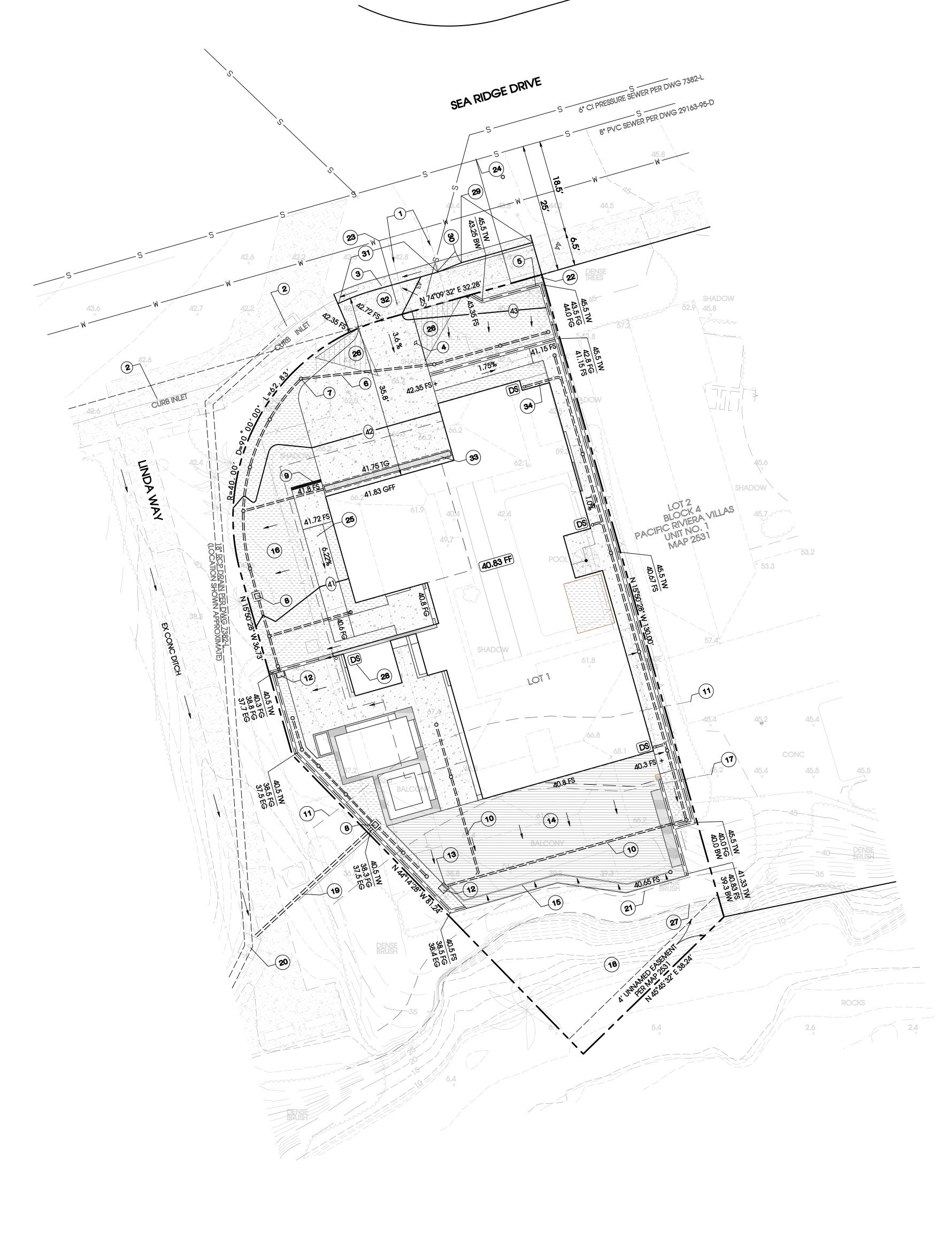
10. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

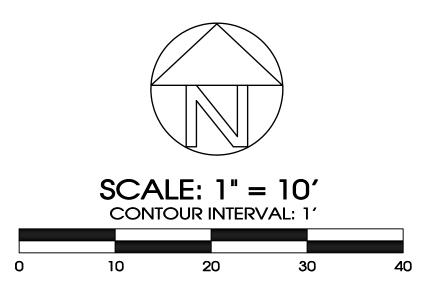
CONSTRUCTION NOTES

- 1 EXISTING PUB SEWER "PUMP HOUSE" PER DWG 7382-L (ABANDONDED)
- (2) EXISTING PUB CURB INLET (TYPICAL)
- (3) EXISTING PUB CURB INLET AND "PUMP HOUSE" WILL NOT ALLOW A STANDARD OR REDUCED RIGHT OF WAY CURB CUT OR STANDARD CURB. RETAIN EXISTING ROLLED CURB TO ALLOW ENTRANCE TO EXISTING/
- PROPOSED GARAGE REMOVE AND REPLACE EXISTING 12"
- TRENCH DRAIN AS SHOWN (PVT) (5) PROPOSED PVT MASONRY WALL (TYP)
- (6) PROPOSED PVT PVC DRAIN (TYP)
- (7) PROPOSED PVT AREA DRAIN (TYP)
- (8) PROPOSED PVT CATCH BASIN
- 9 PROPOSED PVT 6" CURB
- (10) PROPOSED PVT PVC DRAIN BELOW DECK
- (11) APPROXIMATE LOCATION 40' BLUFF SETBACK (12) PROPOSED PVT ROCK ENERGY DISSIPATER (TYP)
- (13) PROPOSED PVT STRAIGHT HEADWALL
- (14) PROPOSED PVT RAISED DECK FAMILY RESIDENCE
- (15) PROPOSED PVT SLOTTED DRAIN
- (16) PROPOSED PVT LANDSCAPE (TYP)

(17) APPROXIMATE LOCATION 25' BLUFF SETBACK

- (18) AREA NOT TO BE DISTURBED
- PROPOSED PVT 6" PVC DRAIN FROM ONSITE CATCH BASIN TO EXISTING TYPE "F" CATCH BASIN
- (20) EXISTING PUB TYPE "F" CATCH BASIN
- (21) APPROXIMATE LOCATION 5' BLUFF SETBACK
- (22) EXISTING PUB GUY WIRE SUPPORT FOR EX PUB UTILITY POLE. PROTECT IN PLACE PER CURRENT CITY STANDARD
- 23) EXISTING WATER METER AND SERVICE PROTECT IN PLACE
- (24) APPROXIMATE LOCATION EX SEWER LATERAL
- ACTUAL LOCATION TO BE DETERMINED BY CONTRACTOR AT TIME OF CONSTRUCTION
- (25) PROPOSED PVT ADA RAMP WITH CURB AND RAILING
- (26) VISIBILITY TRIANGLE (SEE NOTE AT LEFT) (27) APPROXIMATE LOCATION TOP OF BLUFF
- (28) PROPOSED DOWNSPOUT (TYPICAL)
- 29 REMOVE EXISTING ROLLED CURB (MATCH 6" STANDARD CURB & GUTTER FRONTING EASTERLY PROPERTY.
- (30) TRANSITION FROM PROPOSED STANDARD CURB & GUTTER TO REPLACED
- (3) REMOVE AND REPLACE ROLLED CURB. STANDARD DRIVEWAY CURB CUT CANNOT BE CONSTRUCTED AS IT WOULD ALLOW ADDITIONAL STREET RUNOFF TO ENTER SITE AND KEEP STANDARD VEHICLE FROM BEING ABLE FROM ACCESSING GARAGE. THIS ROLLED CURB IS CONSIDERED PART OF A NON-STANDARD DRIVEWAY AND WILL BE ONE OF THE PRIVATE ITEMS IN THE RIGHT OF WAY TO BE INCLUDED IN THE ENCROACHMENT MAINTENACE AND REMOVAL AGREEMENT (SEE NOTE AT LEFT)
- (32) REMOVE AND REPLACE EXISTING SIDEWALK PER CURRENT CITY STANDARD
- (33) PROPOSED PVT 12" TRENCH DRAIN
- (34) PROPOSED DOWNSPOUT WITH DIRECT CONNECTION TO SITE DRAINAGE SYSTEM





LEGEND

PROPERTY LINE

EXISTING CONTOUR

PROPOSED PVC DRAIN

PROPOSED CONCRETE SURFACE

PROPOSED LANDSCAPE AREA

PROPOSED CATCH BASIN

PROPOSED AREA DRAIN

EXISTING SEWER MAIN

EXISTING WATER MAIN

ROOF DRAIN LOCATION

PROPOSED SITE WALL

PROPOSED RETAINING WALL

PROPOSED SLOTTED DRAIN

PROPSOED DOWNSPOUT

(INCLUDES POOL)

NOTE:

PROPOSED ROCK DISSIPATER

GRADING DATA

AREA OF SITE - 8,681 S.F. (0.199 AC)
AREA OF SITE TO BE GRADED - 5,412 SF
PERCENT OF SITE TO BE GRADED - 62.3%
AREA OF SITE WITH 25TE SOPES OR GREATER: AREA - 778 SF

EXISTING IMPERVIOUS AREA = 5,996 SF (0.138 AC) (69.1%) (INCLUDES POOL)

PROPOSED CREATED/REPLACED IMPERVIOUS AREA = 6,122 SF (0.140 AC) (70.5%)

PERVIOUS AREA = 2,559 SF

AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT SHALL BE REQUIRED FOR PVT DRAIN AND NON-STANDARD DRIVEWAY IN PUBLIC RIGHT OF WAY.

PERCENT OF TOTAL SITE - 9 %.

VOLUME OF CUT - 160 C.Y. (TO FINISH SURFACE)

VOLUME OF FILL - 120 C.Y.

VOLUME OF EXPORT - 40 C.Y MAXIMUM HEIGHT OF FILL SLOPE - NONE

MAXIMUM HEIGHT OF FILL SLOPE - NONE MAXIMUM HEIGHT OF CUT SLOPE - NONE MAXIMUM HEIGHT OF VERTICAL CUT: 4 FEET MAXIMUM HEIGHT OF VERTICAL FILL: 4 FEET

PERVIOUS AREA= 2,685 SF

========

——S———S——

——W———W——

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CE CHRISTENSEN ENGINEERING & SURVEYING LAND SURVEYORS 7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126

EMAIL: ceands@aol.com

TELEPHONE: (858) 271-9901

ANTONY K. CHRISTENSEN, RCE 54021

403 SEA RIDGE DRIVE LA JOLLA, CA 92037

CHRISTENSEN ENGINEERING & SURVEYING

7888 SILVERTON AVENUE, SUITE "J"

SAN DIEGO, CA 92126 PHONE (858)271-9901

> Revision 3: 01-20-25 REVISE DESIGN Revision 2: 05-16-24 ADDRESS CITY COMMENTS Revision 1: 01-04-24 ROTATE DRAWING

Project Name:

Sheet Title:

Prepared By:

KISTNER RESIDENCE

Original Date: NOVEMBER 19, 2023

Sheet of Sheets

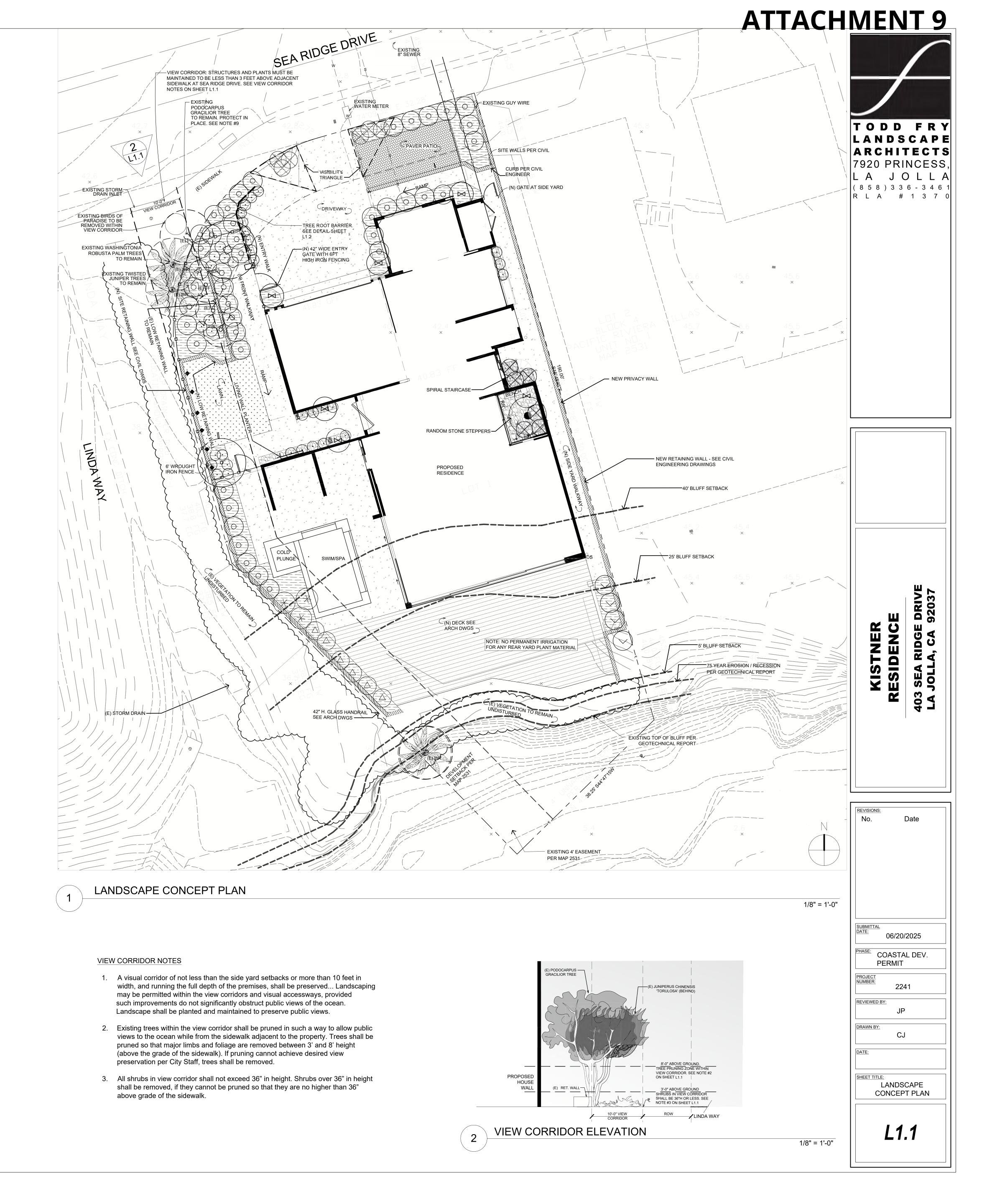
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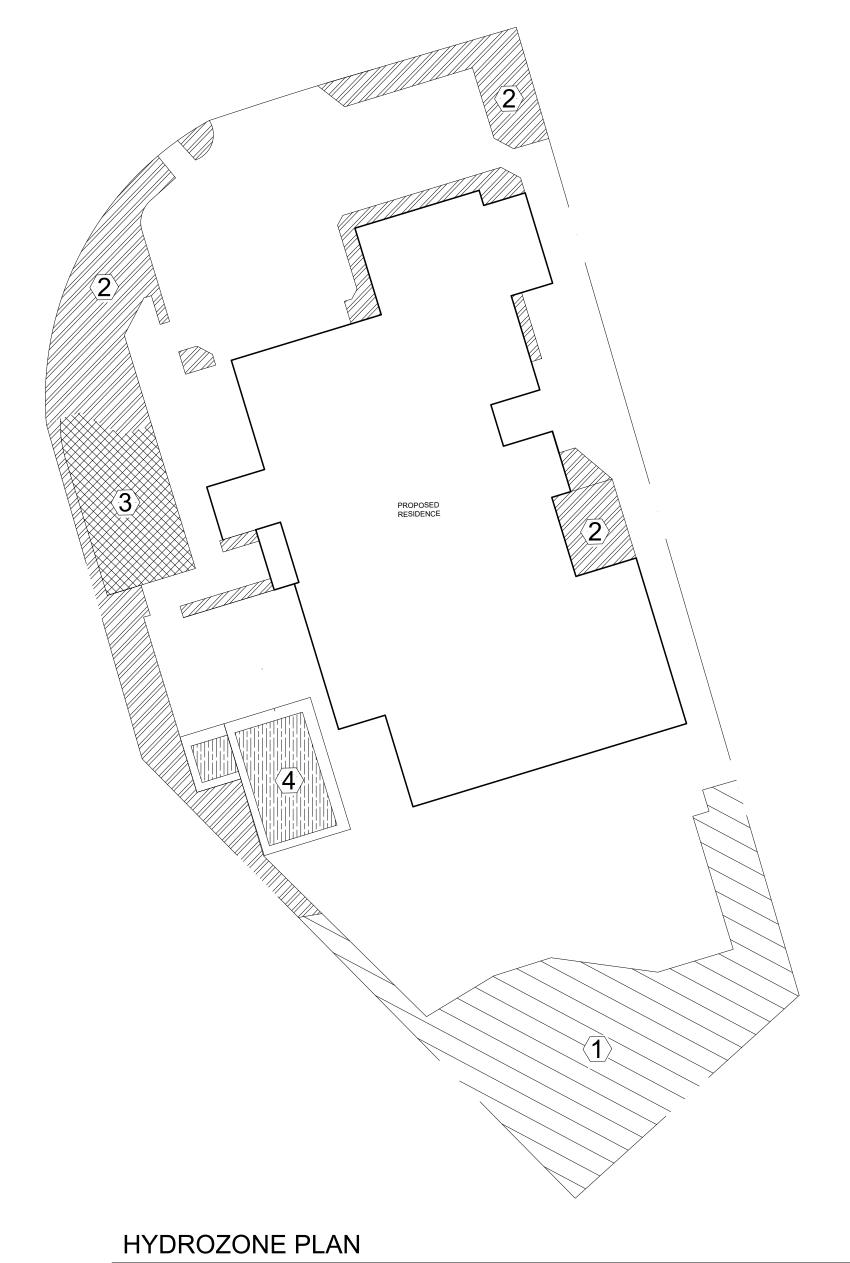
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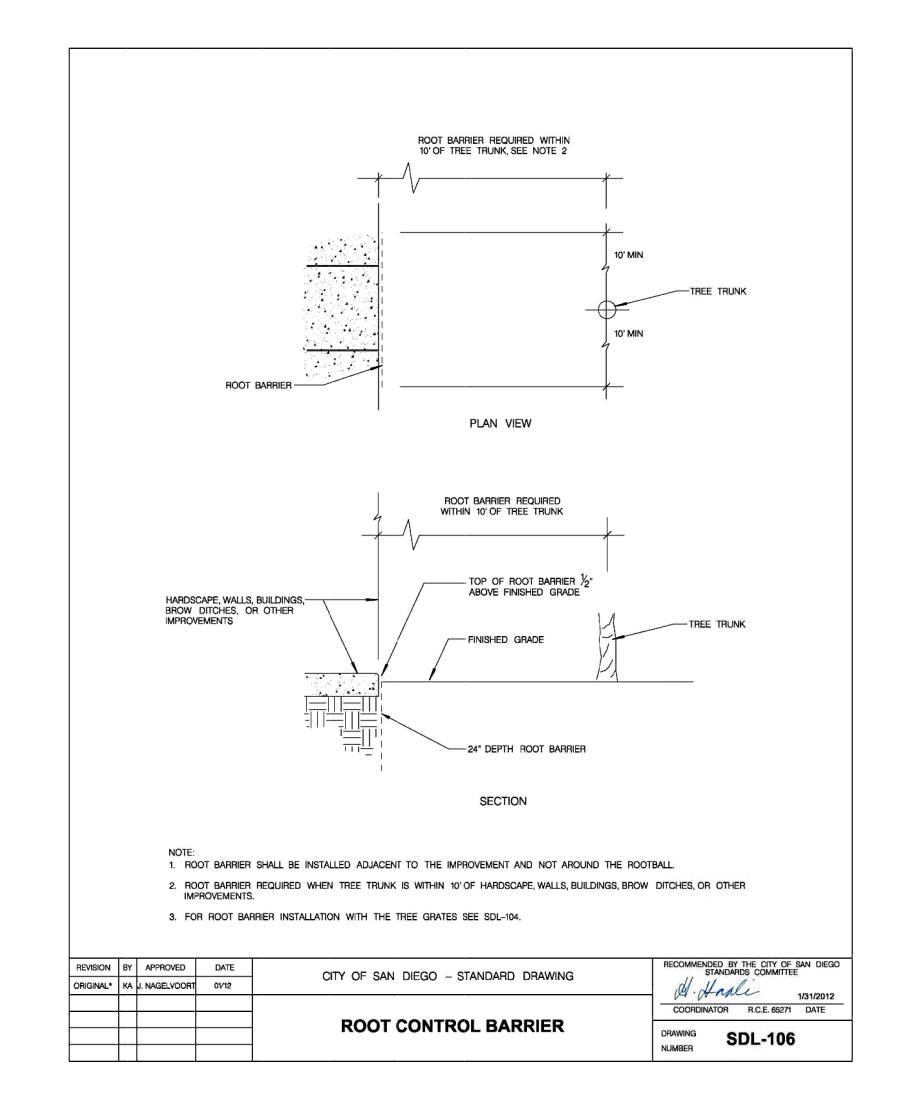
PRELIMINARY GRADING PLAN

JN A2023-13

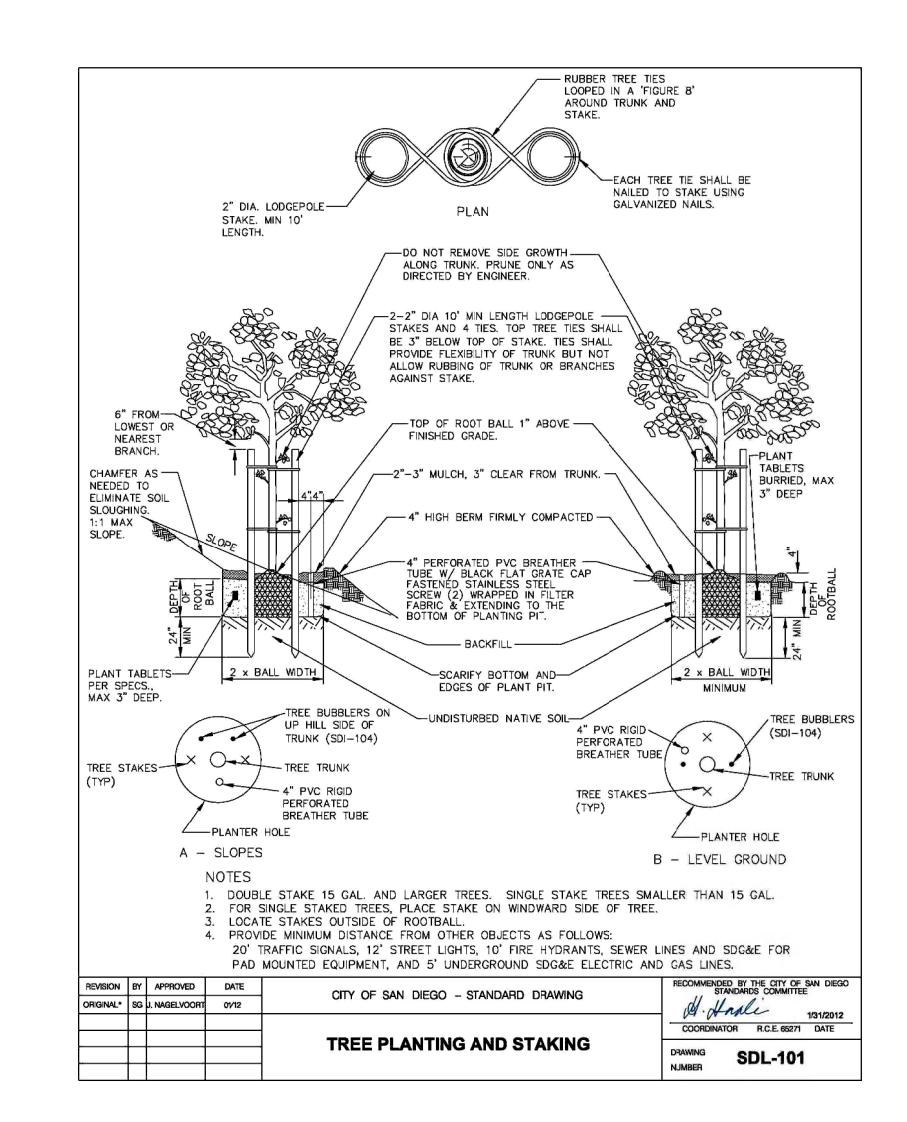
SYMBOL	QUAN	%	SIZE	BOTANICAL NAME	COMMON NAME	SIZE AT MATURITY
REES & PALMS	1	100%	24" box	STREET TREE:		15' h. x 15' w.
	·	10070	24 50%	SUCH AS:		10 II. X 10 W.
				METROSIDEROS COLLINA 'SPRING FIRE' CASSIA LEPTOPHYLLA	SPRING FIRE NZ CHRISTMAS TREE GOLDEN MEDALLION TREE	
	1	100%	24" box	ACCENT TREE:		15' h. x 15' w.
	'	100%	24 DOX	SUCH AS:		15 II. X 15 W.
				METROSIDEROS COLLINA 'SPRING FIRE' AGONIS FLEXUOSA 'BURGUNDY'	SPRING FIRE NZ CHRISTMAS TREE BURGUNDY PEPPERMINT WILLOW	
	1	100%	24" box	SMALL ACCENT TREE:		15' h. x 8' w.
				SUCH AS:	OLIM POTTI ERRUGU	
				CALLISTEMON 'SLIM' PODOCARPUS MACROPHYLLUS	SLIM BOTTLEBRUSH SHRUBBY YEW PINE	
SHRUBS						
minobo	5	100%	24" box	MEDIUM ACCENT:		8' h. x 5' w.
				SUCH AS: RHAPIS EXCELSUS	LADY PALM	
\bowtie				FATSIA JAPONICA	JAPANESE ARALIA	
				CORDYLINE STRICTA	NCN	
	12	100%	5 gal	LOW ACCENT: SUCH AS:		24" h. x 36" w.
				AGAVE ATTENUATA	FOXTAIL AGAVE	
				AGAVE 'BLUE FLAME' DIETES 'VARIEGATA'	BLUE FLAME AGAVE VARIEGATED FORTNIGHT LILY	
				ASPARAGUS MYERSII	FOXTAIL ASPARAGUS FERN	
	3	100%	5 gal	ACCENT:		36" h. x 42" w.
				SUCH AS:	CACO DALM	
(*)				CYCAS REVOLUTA STRELITZIA REGINAE	SAGO PALM BIRD OF PARADISE	
				AGAVE ATTENUATA	FOXTAIL AGAVE	
	as req'd	100%	1 gal	WALL ACCENT:		6' h. x 5' w.
				SUCH AS: LIVING WALL PLANT SYSTEM		
	42	100%	5 gal	MASSING SHRUB		36" h. X 36" w.
				SUCH AS: CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	
				LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	
				RHAPHIOLEPSIS SPP. PORTULCARIA AFRA	HAWTHORNE ELEPHANT'S FOOD	
				SCHEFFLERA ARBORICOLA VARIEGATA	VARIEGATED DWARF UMBRELLA PLANT	
	34	100%	1 gal	CRASSULA SPP. LOW MASSING SHRUB	JADE	18" X 24"
				SUCH AS: CARISSA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	
\bigcirc				EVOLVULUS NODIFLORA	DWARF MORNING GLORY	
				CAREX PANSA CLIVIA MINIATA	CA MEADOW SEDGE KAFIR LILY	
				LIRIOPE GIGANTEA	GIANT TURF LILY	
				CRASSULA 'HOBBIT' ALOE STRIATA	HOBBIT JADE CORAL ALOE	
				LOMANDRA LONGIFOLILA 'BREEZE'	DWARF RUSH MAT 'BREEZE'	
	4	100%	5 gal	PHORMIUM 'AMAZING RED' REAR YARD MASSING SHRUB	(NO PERMANENT IRRIGATION)	36" X 36"
				SUCH AS: ARCHTOSTAPHYLOS BAKERI 'LOUIS		
				EDMUNDS' RHUS INTEGRIFOLIA	LOUIS EDMUNDS LEMONADE BERRY	
	6	100%	5 gal	REAR YARD ACCENT: SUCH AS:	(NO PERMANENT IRRIGATION)	36" h. x 42" wide
				SALVIA CLEVELANDII	CLEVELAND SAGE	
				MUHLENBERGIA RIGENS HESPERLOE PARVIFLORA	DEER GRASS RED YUCCA	
/INE/ESPALIER:	6	100%	5 gal	LOW FENCE COVER:		3' h. x 8' w.
	ŭ	10070		SUCH AS:		0 x 0
♦				PORTULACARIA AFRA PROSTRATA TRACHELOSPERMUM JASMINOIDES	PROSTRATE ELEPHANT'S FOOD STAR JASMINE	
				FICUS REPENS	CREEPING FIG	
GROUND						
COVERS		100%	flats	GROUND COVERS		
ψ ψ ψ ψ <u>ψ</u>				SUCH AS:		
				LAWN RIVER ROCK, SUCH AS: BLACK MEXICAN	MARATHON II TURF GRASS OR EQUAL	
				RIVER ROCK, SUCH AS: BLACK MEXICAN BEACH PEBBLES	2" THICK 3" THICK, TO COVER ALL AREAS OF BARE	
				WALK-ON-BARK MULCH	GROUND	
4 4 4				HARDSCAPE		
EXISTING TREES:				PAVER PATIO		
	4					
(E) JT				JUNIPERUS CHINENSIS 'TORULOSA' 15' H. X 12' W., 5" TO 8" CALIPER	TWISTED JUNIPER	
/-\						
	1			PODOCARPUS GRACILOR	FERN PINE	
(E) PG	•			20' H. X 15' W., 8" CALIPER		
A Maries	3			WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	
				25' H. X 12' W., 12" CALIPER EACH APPROX. 18' BTH		
			i	1		







ROOT BARRIER DETAIL



TREE STAKING DETAIL

NO SCALE

LEGEND: HYDROZONE PLAN

Symbol	Zone	Description of Symbol
	1	No Water Use (existing non-irrigated plant material)
	2	Low Water Use
	3	High Water Use
	4	Water Feature

MAXIMUM ALLOWABLE & ESTIMATED TOTAL WATER USAGE

MAWA:	MAWA Water Budget =	
Maximum	(ETo)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)]	MAWA
Allowable		
Water	For residential landscape areas =	32,385
Allocation	(ETO) (0.62) [(0.55)(LA) + (0.45)(SLA)]	gallons/year
	(41)(0.62)[(0.55)(2076.4) + (0.45)(0)] =	
	$(41)(0.62) \times \{1142 + 0\} =$	
	25.42 x 2402 = 29,030 gallons/year	
ETWU:	Water Budget:	
Estimated	(ETO) (0.62) [PF x HA)/IE + (SLA)] =	ETWU
Total Water	1: (41)(0.62) [0.0 x 1275]/n/a + 0 = 0	20,490
Usage	2: (41)(0.62) [0.3 x 978]/.90 + 0 =	gallons/yea
	$(25.42) \times [326] = 8,263$	
	3: (41)(0.62) [1.0 x 210]/.70 + 0 =	
	$(25.42) \times [300] = 7,626$	
	$4: (41)(0.62) [1.0 \times 181] =$	
	(25.42) x [181] = 4601	

Symbol	Description of Symbol
•	
ЕТо	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
НА	Hydrozone Area (square feet)
IE	Irrigation Efficiency
	(0.81 for Drip System devices)
	(0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

WATER BUDGET LANDSCAPE WORKSHEET This project worksheet is to be submitted to the City of San Diego when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project N	lame:	Kistner Res	idence	Project #:			
Project A	ddress:	403 Sea Rio	dge Drive, La J	olla, CA 92037			
Individua	al/Business	Completing V	Vorksheet:	Jennifer Pho	elps, Too	dd Fry Landsca	pe Architects
Phone N	umber:			858.336.3463	1		
MAWA V	Vater Budg	et Calculation	= (ET ₀) (0.62)	[(ETAF) (LA) -	(1-ETAF)	(SLA) = gallons	s per year
		41 x 0.62 [((0.55) x 2463 s	s.f. – (0.45) 18	1 s.t. =		
			ar 55 – 81] = (25	.42) x 1274 = 3	-		
		(25.42) [13 gallons/yeat	ar 55 – 81] = (25 ar by Zone:	. 42) x 1274 = 3	32,385		
ETWU W HYDRO- ZONE	ater Budge PLANT FACTOR (PF)	(25.42) [13 gallons/ye	ar 55 – 81] = (25 ar		-	% TOTAL LANDSCAPE AREA	TOTAL GALLONS/YEAR
HYDRO-	PLANT FACTOR	(25.42) [13 gallons/yeat et Calculation I HYDROZONE AREA	ar 55 – 81] = (25 ar by Zone: ☐ IRRIGATION	.42) x 1274 = 3	ETO X	LANDSCAPE	
HYDRO- ZONE	PLANT FACTOR (PF)	(25.42) [13 gallons/yeat et Calculation I HYDROZONE AREA (HA)	ar 55 – 81] = (25 ar by Zone: IRRIGATION METHOD	.42) x 1274 = 3 IRRIGATION EFFICIENCY	ETO X 0.62	LANDSCAPE AREA	GALLONS/YEAR
HYDRO- ZONE	PLANT FACTOR (PF) No Irrig.: 0 Low: 0.3	(25.42) [13 gallons/year et Calculation I HYDROZONE AREA (HA)	by Zone: IRRIGATION METHOD None Drip	.42) x 1274 = 3 IRRIGATION EFFICIENCY	ETO X 0.62	LANDSCAPE AREA 48%	0 8,263
HYDRO- ZONE 1	PLANT FACTOR (PF) No Irrig.:	(25.42) [13 gallons/year Calculation I HYDROZONE AREA (HA) 1275 s.f.	star 55 – 81] = (25 ar by Zone: IRRIGATION METHOD None	IRRIGATION EFFICIENCY n/a 0.90	ETO X 0.62 25.42 25.42	LANDSCAPE AREA 48%	GALLONS/YEAR 0

NOTE: Hydrozone #1 represents areas not currently permanently irrigated and will remain non- irrigated (plant material subsisting on yearly precipitation only).

MINIMUM STREET TREE SEPARATION DISTANCES

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
Traffic Signal, Stop Sign	20 feet
Underground Utility Lines	5 feet
Sewer Lines	10 feet
Above Ground Utility Structure (Transformers, hydrants, utility poles, etc.)	10 feet
Driveways	10 feet
Intersections (Intersecting curb lines of two streets)	25 feet

STREET TREES		
Street Trees (in Public Right-of-Way):		
Length of Street Frontage (less driveways/curb cuts):		63.7 linear feet
	Required:	Provided:
Street Trees: (24" box min. canopy form tree for every 30 l.f. of street frontage)	2 (1 per every 30 feet)	3

TREE ROOT BARRIERS, SHOWN ON PLAN WITH DASHED LINE: STANDARD DRAWING DETAIL SDL106 (PROVIDED ON SHEET L2).

STREET TREE STAKING: SEE SAN DIEGO CITY STANDARD DRAWING DETAIL SDL101 (PROVIDED ON SHEET L2).

SHALL BE PROVIDED WHERE TREES ARE PLACED WITHIN 5 FEET FROM PUBLIC IMPROVEMENTS—SEE SAN DIEGO CITY

PLANTING & IRRIGATION NOTES

San Diego Land Development Manual Landscape Standards.

1. All required landscaping shall be maintained in a disease, weed, and litter free condition at all times. 2. The permittee or subsequent owners are responsible for the long-term maintenance of all landscape areas consistent with the City of

3. Irrigation systems are to be installed in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.

4. Irrigation system: Primarily drip irrigation with low-spray micro-emitters to be used for lawn area only. 5. To protect the coastal bluff from additional erosion, no permanent irrigation shall be installed at the property's Rear Yard.

6. All Landscape and Irrigation shall conform to the standards of the City-Wide Landscape Regulations, The City of San Diego Land Development Manual Landscape Standards and other Landscape related City and Regional Standards.

7. Street Trees: Landscape Applicability Street Trees 142.0409, 142.0610, 142.0611: Where public improvements are required per the Public Facility Regulations, the project shall provide street trees. Street trees shall be calculated at the rate of one 24 inch box (min. size) standard trunk, canopy form tree for every 30 linear feet of street frontage, excluding curb cuts.

8. Street Tree Locations (A) Street trees shall be located 7 feet from the face of curb on streets classified in the applicable land use plan as major

streets, primary arterials, or expressways that have a posted speed of 50 miles per hour or greater. For all other street classifications, street trees shall be located no closer than 30 inches to the face of curb or within median islands, no

closer than four feet to the face of curb. (B) Street trees shall be separated from improvements by the minimum distance shown in Table 142-04E. Ch. Art. Div.

14 2 4 22 San Diego Municipal Code Chapter 14: General Regulations (5-2016) Table 142-04E Minimum Tree

Separation Distance Improvement Minimum Distance to Street Tree Traffic signal, Stop Sign 20 feet Underground Utility Lines (except sewer) 5 feet Sewer Lines 10 feet Above Ground Utility Structures (Transformers, Hydrants, Utility poles,

etc) 10 feet Driveways 10 feet Intersections (intersecting curb lines of two streets) 25 feet (C) Trees shall be selected and located so that at maturity they do not cause damage or conflict with overhead utility

9. Street Tree Species Selection. Trees shall be selected in accordance with the landscape standards of the Land Development Manual. Palm trees may only be used to satisfy the street tree requirement where identified as an

acceptable street tree species in an adopted land use plan.

10. Additional Public Right-of-Way Regulations (1) Areas within the public right-of-way that are not paved for required pedestrian walks or for vehicle access shall be

planted or covered with mulch, unattached unit pavers, or other permeable material acceptable to the City. (2) Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24

inches in height, measured from the top of the adjacent curb. 11. A minimum root zone of 40 square feet in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet.

This minimum dimension and root zone area may be reduced with the use of structural soil or where the combination of soil conditions, root zone area, adjacent improvements, and selected tree species can be demonstrated to provide conditions for healthy tree growth that will not damage adjacent improvements.

12. Tree root barriers or structural soil shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavement or where new public improvements are placed adjacent to existing trees. The City Manager may waive this

requirement where the combination of soil conditions, root zone area, adjacent improvements, and selected tree species can be demonstrated to provide conditions for healthy tree growth that will not damage public improvements. The root barrier shall not wrap around root ball. See Detail.

13. No trees or shrubs whose height will be over 3'-0" at maturity shall be retained or installed within 5 feet of any publicly maintained water facilities or within 10 feet of any publicly maintained sewer facilities.

14. Existing trees to remain on site within the area of work will be protected in place. The following protection measures shall be provided:

a) Bright yellow or orange temporary fencing to be placed around existing trees at the drip line. b) Stockpiling, topsoil disturbance, vehicular use, and material storage of any king is prohibited within the drip line.

c) Root systems of existing trees will be protected from flooding, erosion, chemical spills, and excessive wetting and drying during dewatering.

d) The existing grade will be maintained within the drip line of existing trees. e) Roots of existing trees will be cut approximately 6 inches back from new construction.

f) A Certified Consulting Arborist shall oversee pruning of any roots 4-inches or greater in diameter. g) A tree watering schedule shall be maintained and documented during construction.

h) All damaged trees shall be replaced with tree of equal or greater size.

15. Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.04111.

16. No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb. 17. Maintenance: All required landscape areas shall be maintained by Owner. Landscape and irrigation areas on the public right-of-way shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be

maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. 18. Trees shall be maintained so that branches over pedestrian walkways are 6 feet above the walkway grade and branches over vertical

travel ways are 16 feet above the grade of travel way per the 3DMC 142.0403(b). 19. All pruning shall comply with the standards of the American Standards institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning per SDMC 142.0403(b). Topping of trees is not permitted.

20. If any required landscape indicated on the approved construction document plan is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

21. Irrigation: Required plant material shall be irrigated with a permanent, below grade irrigation system for all areas in the front and side yards. Existing irrigation to be utilized for front and side yard plantings. 22. Rear yard: no permanent irrigation to be installed. All plant material in rear yard to be hand watered to minimize erosion on existing

bluff. All existing plant material to remain undisturbed in rear yard. 23. View Corridor: All structures and plant material within the view corridor must be maintained to be less than three feet (36") above adjacent sidewalk at Sea Ridge Drive (for the 10' wide view corridor).

TODD FRY LANDSCAPE ARCHITECTS 7920 PRINCESS, _A JOLLA (858)336-346 R L A # 1 3 7

KISTNER ESIDENCE

REVISIONS: Date

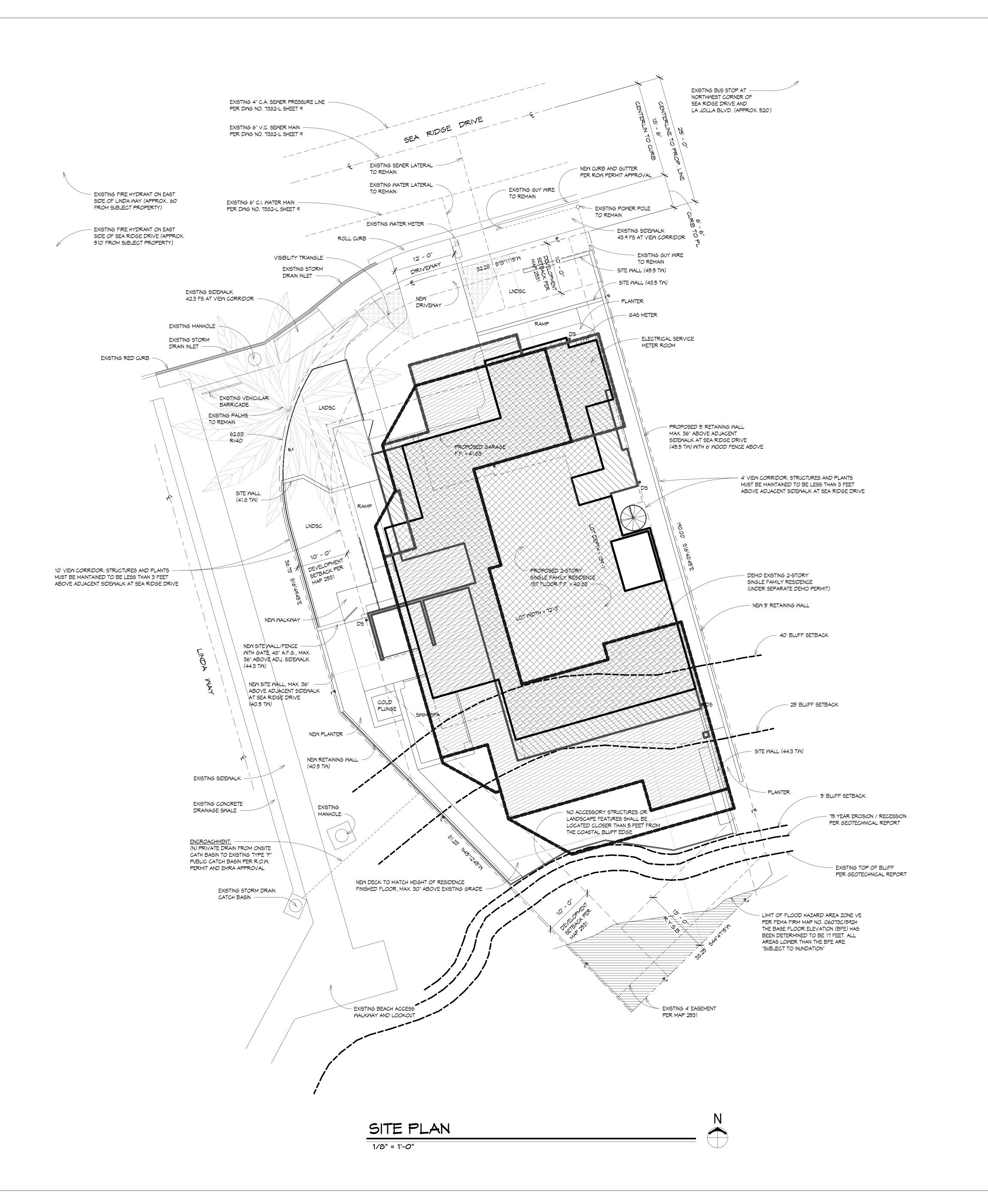
06/20/2025

COASTAL DEV. PERMIT 2241

CJ

02/26/2025

LANDSCAPE DIAGRAM, CALCULATIONS AND NOTES





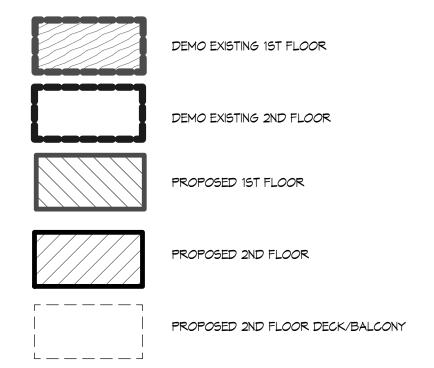
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- B. EXISTING SITE DRAINAGE PATTERN TO REMAIN. NO ADDITIONAL RUNOFF TO PUBLIC RIGHT OF WAY. REDIRECT ALL RUNOFF AWAY FROM COASTAL BLUFF EDGE.
- COASTAL BLUFF EDGE.

 4. LIGHTING SHALL BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO

FALL EXCESSIVELY ON ADJACENT PROPERTIES.

- ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA
- 6. STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS MUST BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- ALL EXISTING AND PROPOSED EASEMENT HAVE BEEN SHOWN ON THE SITE PLAN.

SITE LEGEND



VISIBILITY TRIANGE

MATER METER

RAIN GUTTER DOWN SPOUT

REVISION 10:_ REVISION 9:_

REVISION 8:_ REVISION 7:_

REVISION 6:__

REVISION 5:__

REVISION 4: 6/30/2025

REVISION 3: 3/4/2025

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC.

ARCHITECT MARK D. LYON, INC.

ADDRESS: 410 BIRD ROCK AVE.
LA JOLLA, CA 92037

PHONE#: (858) 459-1171

PROJECT NAME:
KISTNER RESIDENCE
403 SEA RIDGE DR., LA JOLLA, CA 92037
SHEET TITLE
SITE PLAN

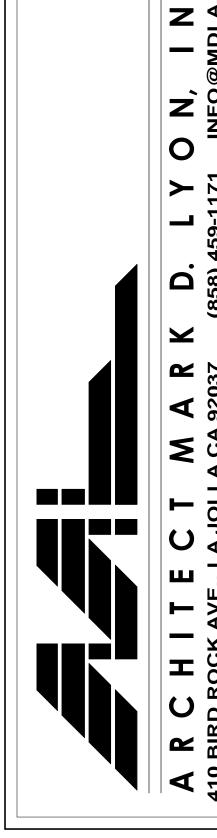
REVISION 2: 8/15/2024

REVISION 1:6 4/10/2024

ORIGINAL DATE: 12/4/2023

SHEET 6 OF 18

DEP#:





RESIDENCE 403 SEA RIDGE DRIVE

REVISIONS:

REVISIONS:

SUBMITTAL DATE:

O9/30/2025

PHASE:

COASTAL DEV. PERMIT

PROJECT NUMBER:

2241

REVIEWED BY:

MDL

DRAWN BY:

KJL / RH

O9/30/2025

SHEET TITLE:

SITE PLAN

A001

APPROX. LOCATION TOP OF BLUFF -75 YEAR EROSION/ RECESSION -APPROX. LOCATION 5' BLUFF SETBACK -APPROX. LOCATION 40' BLUFF SETBACK -APPROX. LOCATION 25' BLUFF SETBACK -(E) ELECTRIC METER — (E) GAS METER - REMOVE (E) ackprime RAILING (E) DECK <u>(E) BEDROOM</u> - PØRTION ØF GRADE /TØBELOWERED -(E) STORAGE STEP/ REMOVE POOL DECK ///////~~~~~~\________ LOWER GRADE -3' - 6" --- --- --- --- --- --- <u>--</u> -- DEMO --- REMOVE PORTION ! OF FLOOR EXISTING PATIO SLAB TO REMAIN - REMOVE FIREPLACE AND CHIMNEY REMOVE (E) GUARDRAIL <u>(E) HALL</u> (E) LIVING ROOM REMOVE PLANTER AND GARDEN WALLS ______ REMOVE
(E) COLUMNS L------ REMOVE CURB (E) BATH (E) OFFICE (E) LAUNDRY . z w= e z w= e z w=_tz *= = e e z = e e z = e*ft *= = e z = =* q z w = e z w = f (E) DINING (E) RAMP -- REMOVE COLUMNS -REMOVE CONCRETÉ MALKWAY / - REMOVE ALL IMPROVEMENTS THAT EXTEND REMOVE CONC. OVER PROPERTY LINES STEPS **REVISIONS**: REMOVE (E) SITE WALL DEMOLITION NOTES REMOVE LANDSCAPE/HARDSCAPE WHERE INDICATED AND PREPARE FOR NEW CONSTRUCTION, U.O.N. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER. SUBMITTAL DATE: 09/30/2025 COASTAL DEV. PERMIT PROJECT NUMBER: DEMO LEGEND REVIEWED BY: PREPARED BY: DRAWN BY: REVISION 10:__ EXISTING WALL TO BE REMOVED REVISION 9:_ KJL / RH ARCHITECT MARK D. LYON, INC. REVISION 8: REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. REVISION 6:___ LA JOLLA, CA 92037 09/30/2025 REVISION 5:_ EXISTING DOOR TO REMOVED REVISION 4: <u>6/30/2025</u> REVISION 3: <u>3/4/2025</u> PHONE#: (858) 459-1171 REVISION 2: 8/15/2024 AS-BUILT 1ST FLOOR & EXISTING WINDOW TO $\equiv \equiv \equiv$ REVISION 1: 4/10/2024 PROJECT NAME: BE REMOVED DEMO PLAN KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 ALL OTHER DASHED LINES REPRESENT SHEET TITLE SHEET 7 OF 18 AS-BUILT 1ST FLOOR & DEMO PLAN ADDITIONAL ITEMS TO BE REMOVED. AS-BUILT 1ST FLOOR AND DEMO PLAN AD101 1/4" = 1'-0" (E) 2,929 SQ. FT.

APPROX. LOCATION
TOP OF BLUFF —— 75 YEAR EROSION/ RECESSION -APPROX. LOCATION APPROX. LOCATION 5' BLUFF SETBACK — 40' BLUFF SETBACK -APPROX. LOCATION 25' BLUFF SETBACK -| | | | + + + + + DN (E) CLOSET (E) BEDROOM (E) DECK (E) LIVING AREA (E) FAMILY ROOM ₫꾸-----(E) KITCHEN (E) BEDROOM/DEN (E) BEDROOM/LIBRARY (E) SITTING ROOM - REMOVE (E) RAILING **REVISIONS**: SUBMITTAL DATE: 09/30/2025 COASTAL DEV. PERMIT PROJECT NUMBER: REVIEWED BY: MDL DEMO LEGEND PREPARED BY: DRAWN BY: REVISION 10:__ REVISION 9:_ KJL / RH NAME: <u>ARCHITECT MARK D. LYON, INC.</u> REVISION 8: REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. REVISION 6:__ EXISTING WALL TO BE REMOVED LA JOLLA, CA 92037 09/30/2025 REVISION 5:__ REVISION 4: <u>6/30/2025</u> REVISION 3: <u>3/4/2025</u> PHONE#: (858) 459-1171 SHEET TITLE: REVISION 2: 8/15/2024 AS-BUILT 2ND FLOOR & REVISION 1: 4/10/2024 PROJECT NAME: EXISTING DOOR TO REMOVED DEMO PLAN AS-BUILT 2ND FLOOR & DEMO PLAN KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 EXISTING WINDOW TO $\equiv \equiv \equiv$ BE REMOVED SHEET TITLE SHEET_ 8 OF_ 18 1/4" = 1'-0" AS-BUILT 2ND FLOOR AND DEMO PLAN (E) 2,746 SQ. FT. AD102 ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.

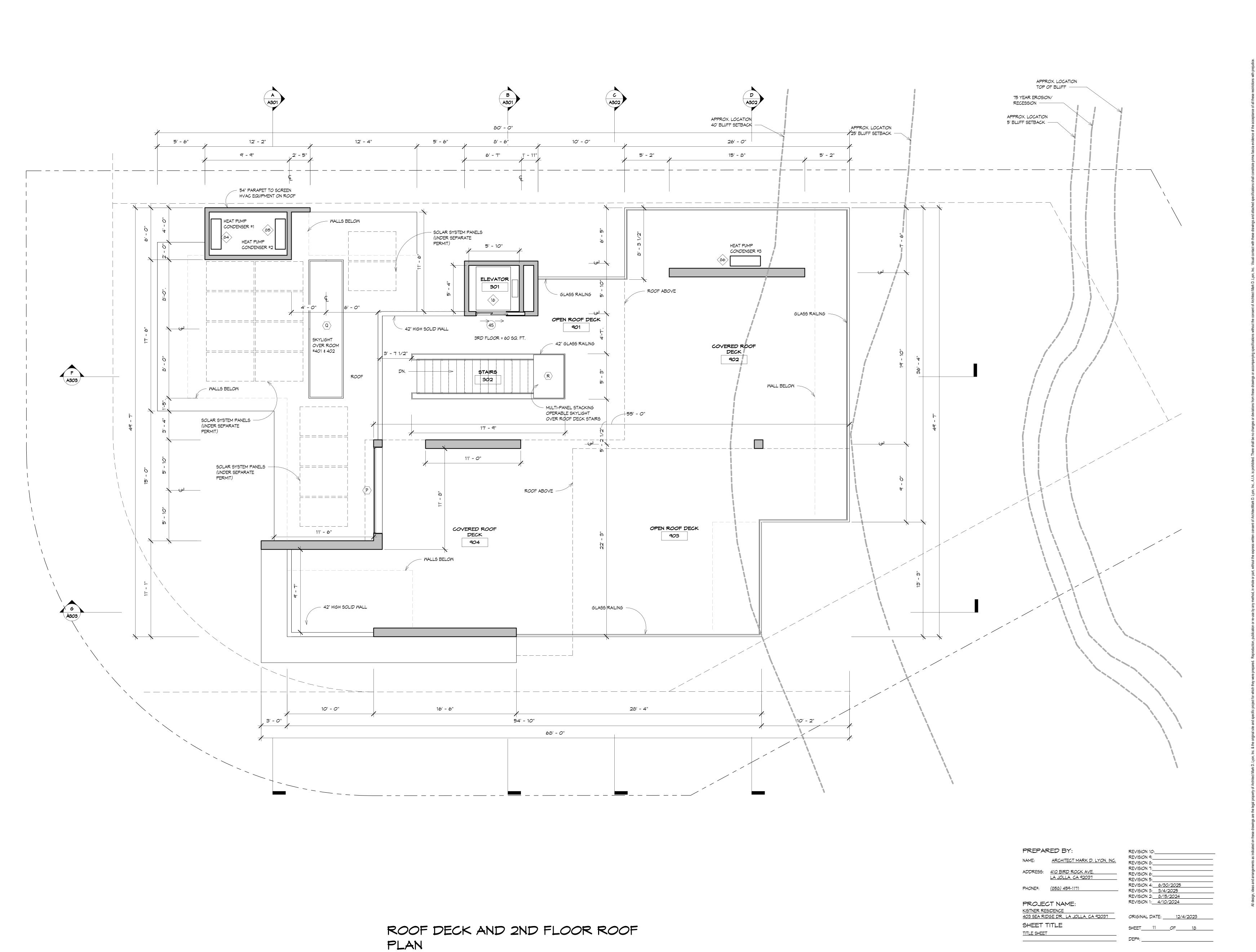
ATTACHMENT 9 APPROX. LOCATION TOP OF BLUFF -APPROX. LOCATION 75 YEAR EROSION/ 25' BLUFF SETBACK RECESSION -82' - 2" APPROX. LOCATION 12' - *0*" 5' - 8" 15' - *0*" 10' - 0" 36' - 6" 7' - 6" 5' BLUFF SETBACK ---9' - 8" 5' - 4" 6' - 4" 10' - 10" 25' - 8" 4' - 8" 2' - 11" . 4' - 7" 9" 2' - 10" 3' - 6" 1' - 5" 3' - 10" 6' - 2" 6' - 0" 1' - 0"-6" 5' - 0" 1' - 0" APPROX. LOCATION LANDSCAPE - (N) 6' FENCE OVER RETAINING WALL 40' BLUFF SETBACK -EXISTING POWER POLE WITH STUCÇO FINISH EXISTING GUY WIRE DOORS PANTRY/ — COFFEE/TEA 10" PREP SINK SPIRAL STAIRS TO ADU BROOM -SPICE DRAWERS -— 2 SQ. FT. NOT INCLUDED IN GFA ELECTRICAL/ MECHANICAL ROOM 20 COOKTOP TRASH/ RECYCLE 400 AMP 2-METER ATRIUM >ELECTRICAL SERVICE KITCHEN POCKET FOR DR 702 POCKET REMOVED 113 15' - 4" 26 27 2 PANELS GUEST BEDROOM LAUNDRY - SITE WALLS PER 110 111 CIVIL ENGINEER -DRAWERS LANDSCAPE ELEVATOR TYPICAL DRW DECK ABOVE 112 BEV REF - NO POST 25' - 2" 12'-0" X 4'-4" ISLAND EXISTING
GUY WIRE 104 FLOATING STAIRS
WITH GLASS RAILING STUDIO 8' - 6" - PAVER 108 15T FLOOR = 3079 SQ. FT. SLOT DRAIN -114 F.F. OF DECK TO BE - 1'-0" 1 \mid succulent garden midAPPROX. 24" ABOVE - SIDEWALK | STORAGE EXISTING GRADE SHOWER STEM WALL 106 COLUMN NO POST IN ----LIVING/DINING AREA REMOVED -(N) 42" GLASS PLANTER (4) 🜟 60"X18" VANITY GUARDRAIL - SOLID WALL DECK - FREESTANDING 703 DECK ABOVE -FIREPLACE LIVING ROOM PV INVERTER 101 - 6' PIVOT ENTRY DOOR 8' - 3" 6' - 6" 9' - 9" 6'-8". TRENCH DRAIN PER CIVIL ENG. BUILDING SETBACK NEW DECK SHALL NOT ENCROACH INTO 5' BLUFF SETBACK GARAGE LANDSCÀPE 102 ADDED 1'-0" A.F.F. OF RESIDENCE COVERED ENTRY DECK ABOVE 100 SQ. FT. GFA -100 SQ. FT. GFA 5' - 0" 1' - 6" LINE OF FLOOR -ABOVE PLANTER -EXISTING SIDEWALK OUTDOOR (36) SHOWER L----+ FREESTANDING OUTDOOR SAUNA (UNDER SEPARATE PERMIT) BY OTHERS -99 SQ. FT. GFA LANDSCAPING WALL LEGEND DECK ABOVE EXISTING WALL TO REMAIN COLD PLUNGE SOLID DECK SURFACE PLANTER (UNDER REVISIONS: NEW CONC. WALL SEPARATE PERMIT) FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED W/ 2X6 STUDS EXISTING MANHOLE -NEW WALL: 2X WOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION 17'-0". EXISTING PALM TREES UNLESS OTHERWISE NOTED. PLANTER PROPERTY LINE TO REMAIN NEW CMU WALL SITE WALL WITH EXISTING STORM GLASS RAILING INTERIOR PARTITIONS: 2X4 CONSTRUCTION DRAIN INLET -NEW DOOR, INSTALLED 4" FROM ADJACENT MALL UNLESS OTHERWISE NOTED 5' - 0" 1' - 6" 4' - 10" 1' - 0" 9' - 2" 4" U.O.N. SUBMITTAL DATE: 09/30/2025 EXISTING STORMMATER NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED COASTAL DEV. PERMIT 4" U.O.N. EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE & PROJECT NUMBER: EXISTING PUBLIC BEACH ACCESS 2241 SEE SP-1 FOR INSULATION SPECIFICATIONS REVIEWED BY: 4' - 1" | 3' - 11" 9'-0". 6' - 0" 5' - 6" 9' - 0" MDL 19' - 6" PREPARED BY: DRAWN BY: 21' - 6" 7' - 7 1/2" 8' - 0" 9' - 5" 7'-0". 19'-0". 5' - 8" 11' - 6" REVISION 10:__ REVISION 9:_ KJL / RH NAME: ARCHITECT MARK D. LYON, INC. REVISION 8: 82' - 2" REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. DATE: REVISION 6:_ <u>LA JOLLA, CA 92037</u> 09/30/2025 REVISION 5:_ REVISION 4: 6/30/2025 REVISION 3: 3/4/2025 PHONE#: (858) 459-1171 SHEET TITLE: REVISION 2: 8/15/2024 PROPOSED 1ST FLOOR REVISION 1: 4/10/2024 PROJECT NAME: KISTNER RESIDENCE ORIGINAL DATE: 12/4/2023 403 SEA RIDGE DR., LA JOLLA, CA 92037 SHEET TITLE SHEET 9 OF 18 1ST FLOOR PLAN PROPOSED 1ST FLOOR PLAN 1/4" = 1'-0"

A101

ATTACHMENT 9 APPROX. LOCATION -40' BLUFF SETBACK APPROX. LOCATION
TOP OF BLUFF —— 75 YEAR EROSION RECESSION -APPROX. LOCATION -25' BLUFF SETBACK APPROX. LOCATION 5' BLUFF SETBACK — 12' - 4" 32' - 6" 9' - 8" 12' - 2" 21' - 9" 5' - 3" 10' - 9" | 2' - 9" | 2' - 9" | 3' - 1" | 3' - 6" | 1' - 5' 5' - 3" 3' - 3" - 5'-6" SPIRAL STAIR FIREPLACE SITTING ROOM AND ABOVE 202 ELEVATOR DRESSER BALCONY 802 TILE DECKING BEDROOM 402 - FLOATING STAIRS WITH GLASS RAILING 404 MASTER BEDROOM SKYLIGHT ABOVE 203 < stairs | MASTER BATH *20*1 _____ 8' - O" 212 214 TELEVISION & ELECTRIC FIREPLACE 10' - 1" WALK-IN CLOSET LIVING ROOM 205 206 403 ADU = 800 SQ. FT. CLOSET 210 EXTEND DECK TO
COVER WALL BELOW BEDROOM #3 KISTNER RESIDENCE 211 BALCONY BEDROOM #2 803 - ADD MINIMAL POST 208 207 AT CORNER OF DOOR SYSTEM TILE DECKING BALCONY SHOWER 58 56 805 TILE DECKING BALCONY TILE DECKING BUILDING SETBACK -15' - *0*" 9' - 5" 9'-11". MALL LEGEND REVISIONS: EXISTING WALL TO REMAIN PROPERTY LINE -NEW CONC. WALL 7' - 3" 3'-8". 9'-3". 3' - 9" 3' - 9" 3' - 10" 7' - 7" 5' - 9" FURRED WALL - EXISTING 2X4 EXTERIOR WALL 15'-1". STUDS SISTERED W/ 2X6 STUDS 11' - 9" 7' - 6" NEM WALL: 2X WOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED. 14' - 6" 34'-4". 4' - 0" 5' - 8" 72' - 6" NEM CMU MALL INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT MALL UNLESS OTHERWISE NOTED SUBMITTAL DATE: 09/30/2025 NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED COASTAL DEV. PERMIT 4" U.O.N. EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. PROJECT NUMBER: INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE $\ensuremath{\mathbb{Q}}$ SEE SP-1 FOR INSULATION SPECIFICATIONS. REVIEWED BY: PREPARED BY: DRAWN BY: REVISION 10:_ REVISION 9:_ KJL / RH ARCHITECT MARK D. LYON, INC. REVISION 8: REVISION 7: ADDRESS: 410 BIRD ROCK AVE. REVISION 6:_ <u>LA JOLLA, CA 92037</u> 09/30/2025 REVISION 5:_ REVISION 4: 6/30/2025 PHONE#: (858) 459-1171 REVISION 3: 3/4/2025 REVISION 2: 8/15/2024 PROPOSED 2ND FLOOR REVISION 1: 4/10/2024 PROJECT NAME: AND LOWER ROOF PLAN KISTNER RESIDENCE 2ND FLOOR AND LOWER ROOF PLAN 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 SHEET TITLE

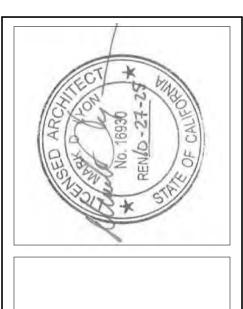
SHEET 10 OF 18

PROPOSED 2ND FLOOR AND LOWER ROOF PLAN



1/4" = 1'-0"

A R C H I T E C T M A R K D. L Y O N, I 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDI



RESIDENCE
403 SEA RIDGE DRIVE
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:
O9/30/2025

PHASE:
COASTAL DEV. PERMIT

PROJECT NUMBER:
2241

REVIEWED BY:

MDL

DRAWN BY:

KJL / RH

DATE:

09/30/2025

3RD FLOOR PLAN

SHEET TITLE:

A103

ATTACHMENT 9 10' - 0" 8' - 6" 35' - 6" 26' - 0" ROOF AT ELEVATOR -F A303 12' - 0" 30' - 0" ADU ROOF BELOW — NEW ROOF AT ROOF DECK — ROOF DECK BELOW REVISIONS: 10' - 2" 36' - O" 32' - *0*" 12' - *0*" 80' - 0" SUBMITTAL DATE:
09/30/2025 PHASE: COASTAL DEV. PERMIT PROJECT NUMBER: REVIEWED BY: MDL PREPARED BY: DRAWN BY: REVISION 10:_ REVISION 9:_ KJL / RH NAME: <u>ARCHITECT MARK D. LYON, INC.</u> REVISION 8:__ REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. LA JOLLA, CA 92037 REVISION 6: 09/30/2025 REVISION 5: REVISION 4: 6/30/2025 REVISION 3: 3/4/2025 PHONE#: (858) 459-1171 SHEET TITLE: REVISION 2: <u>8/15/2024</u> REVISION 1: <u>4/10/2024</u> UPPER ROOF PLAN PROJECT NAME: KISTNER RESIDENCE
403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 UPPER ROOF PLAN SHEET TITLE SHEET 12 OF 18 UPPER ROOF PLAN A105 1/4" = 1'-0"

— 30' HEIGHT LIMIT — TOP OF ROOF 10' - 10" 3RD FLOOR T.PL. 69' - 9" ANGLED SETBACK ELEVATOR **OPEN** - ANGLED SETBACK OPEN MINDOM - 10' SETBACK 3RD FLOOR F.F./ADU BDRM T.O.P. = 61' - 9" 2ND FLOOR T.PL. 60' - 8" 4'-0" SETBACK 2ND FLOOR F.F. 51' - 9" 15T FLOOR T.O.P. 50' - 4" **ADJACENT** SIDEWALK GRADE AT **ADJACENT** SIDEMALK GRADE AT STRUCTURE GARAGE F.F. 41' - 10" 15T FLOOR F.F. 40' - 10" GRADE AT GARAGE FRONT DATUM POINT - HIGHEST ADJACENT GRADE=41'-10" DATUM POINT BEYOND- LOWEST ADJACENT GRADE=36'-0"

MATERIAL SPECIFICATIONS:

GAF EVERGUARD (OR EQUAL): 60# TPO ROOFING MEMBRANE (ESR-4676) OVER VERSASHIELD SOLO FIRE-RESISTANT SLIP SHEET. (SYSTEM NO. 1) CLASS 'A' ROOFING ASSEMBLY. 20-YEAR MINIMUM WARRANTY. COLOR PER OWNER

SDMC SEC 131.0444 & 132.0505

1.) THE HEIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.

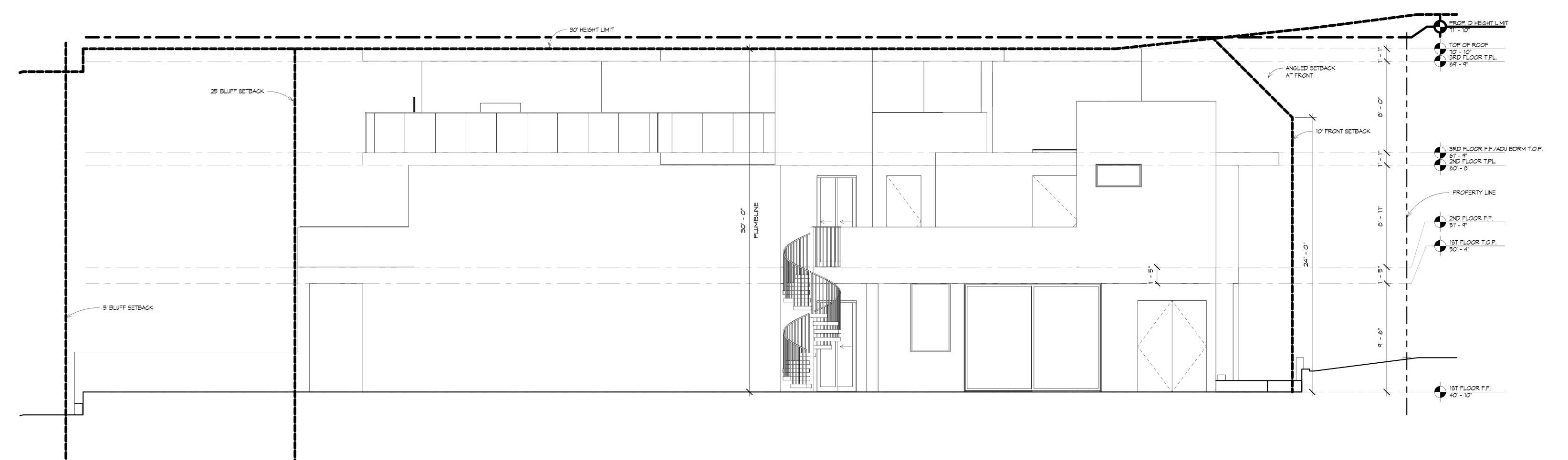
2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER

LA HABRA STUCCO (OR EQUAL): EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER, SEE SHEET GNOO2 FOR SPECS. TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION. COLOR PER OWNER.

GUARDRAIL: C.R. LAWRENCE GLASS RAILING SYSTEM

NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

ADDRESS: 410 BIRD ROCK AVE. LA JOLLA, CA 92037 PHONE#: (858) 459-1171 PROJECT NAME: KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 SHEET TITLE EXTERIOR ELEVATIONS

PREPARED BY:

NAME: <u>ARCHITECT MARK D. LYON, INC.</u>

REVISION 10:__ REVISION 9:_ REVISION 8: REVISION 7:_ REVISION 6:__ REVISION 5:__ REVISION 4: 6/30/2025 REVISION 3: 3/4/2025 REVISION 2: 8/15/2024 REVISION 1: 4/10/2024

SHEET 13 OF 18

A201

37



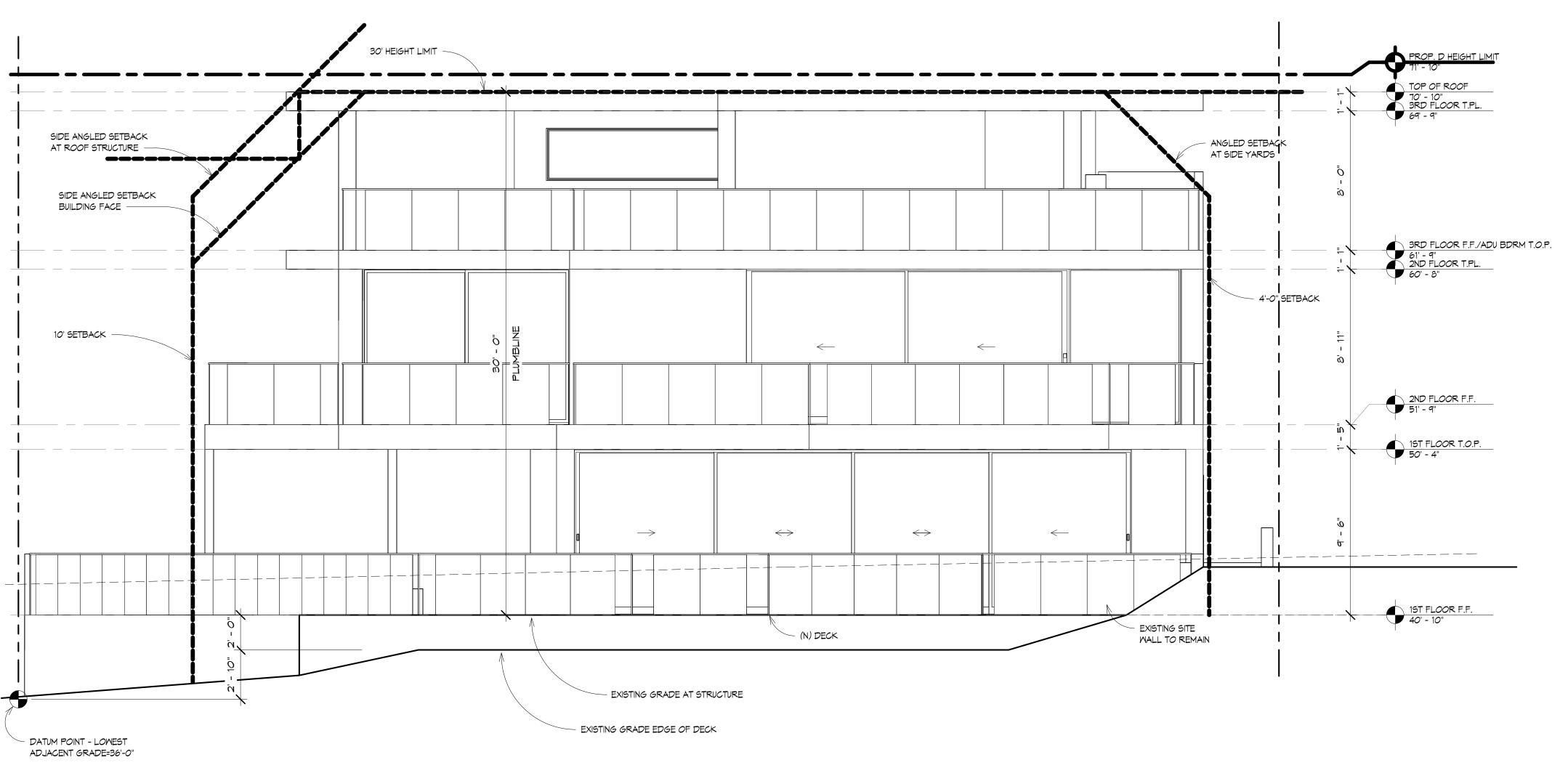
REVISIONS: SUBMITTAL DATE: 09/30/2025 COASTAL DEV. PERMIT

PROJECT NUMBER: 2241 REVIEWED BY:

DRAWN BY: KJL / RH

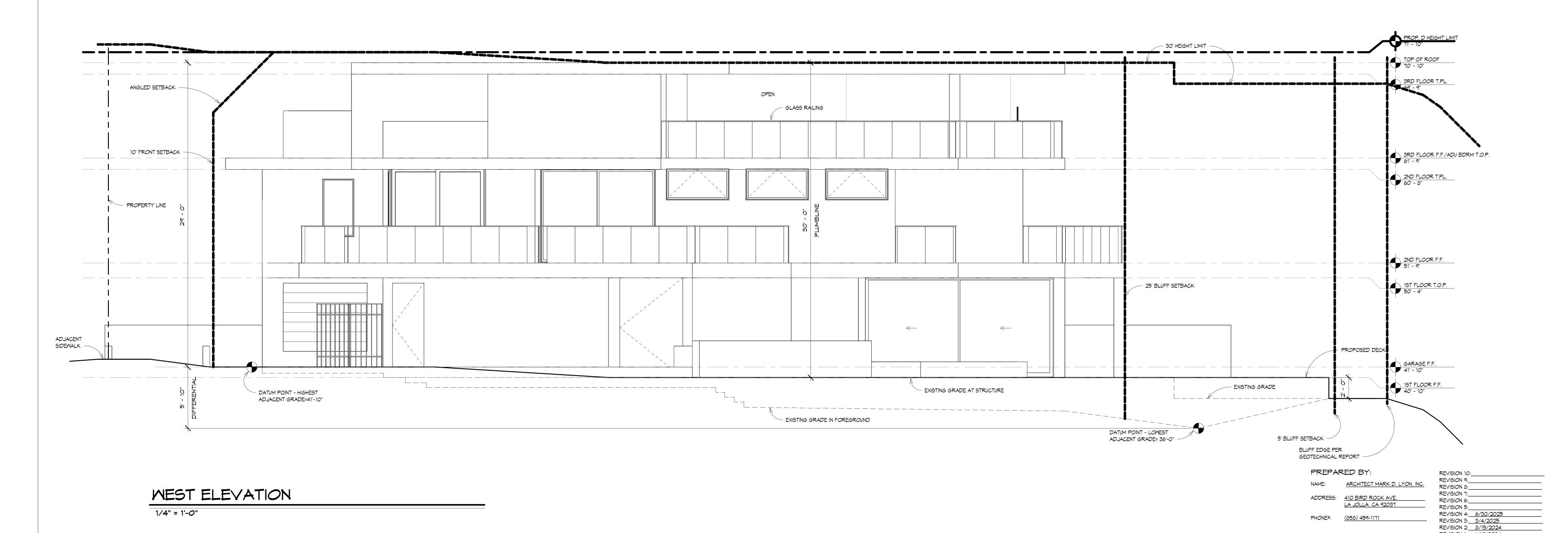
09/30/2025 SHEET TITLE:

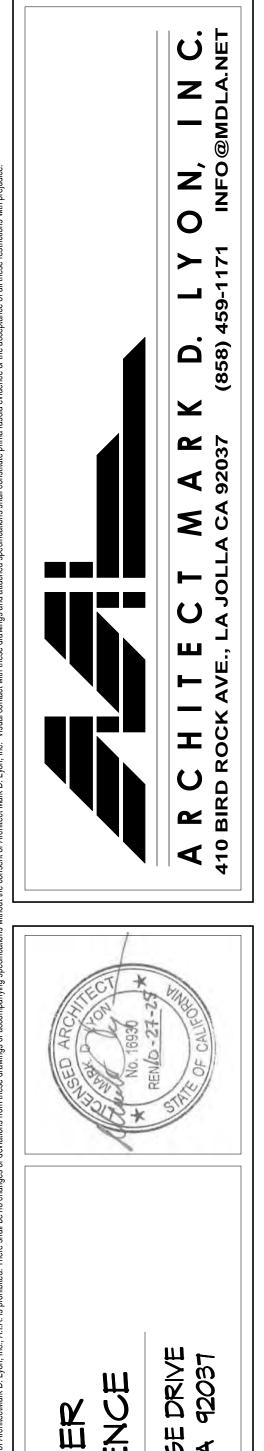
EXTERIOR ELEVATIONS



SOUTH ELEVATION

1/4" = 1'-0"





RESIDENCE
403 SEA RIDGE DRIVE
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:
O9/30/2025

PHASE:
COASTAL DEV. PERMIT

PROJECT NUMBER:
2241

REVIEWED BY:

MJL / RH

DATE:

09/30/2025

SHEET TITLE:

DRAWN BY:

REVISION 1: 4/10/2024

ORIGINAL DATE: 12/4/2023

SHEET 14 OF 18

PROJECT NAME:

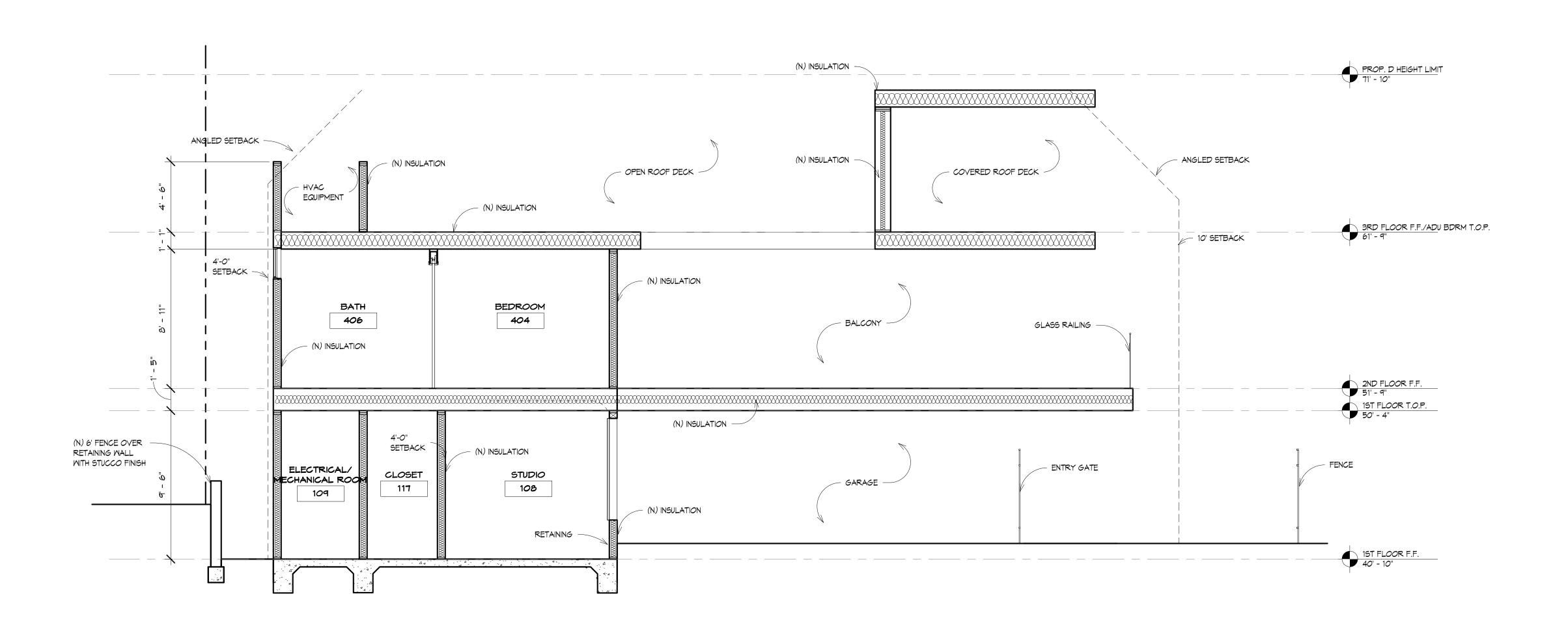
SHEET TITLE

EXTERIOR ELEVATIONS

KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037

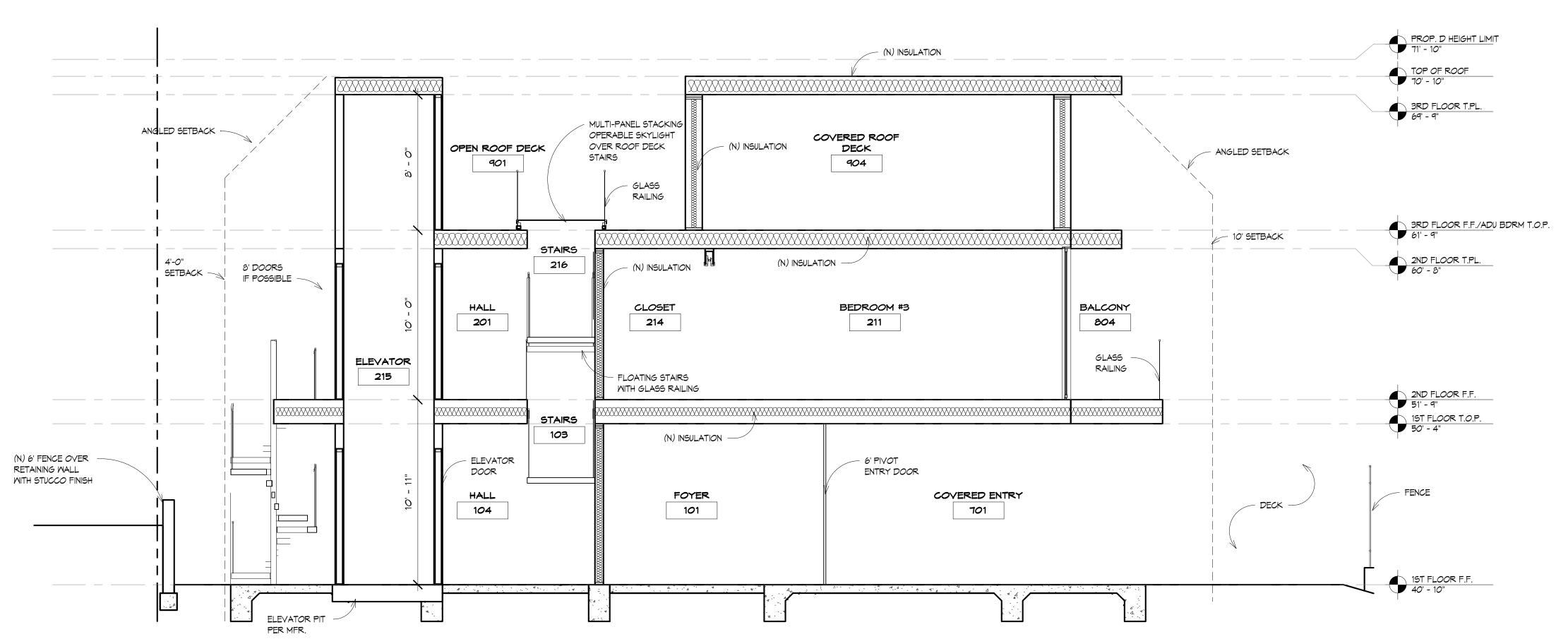
A202

EXTERIOR ELEVATIONS



BUILDING SECTION A

1/4" = 1'-0"



BUILDING SECTION B

1/4" = 1'-0"

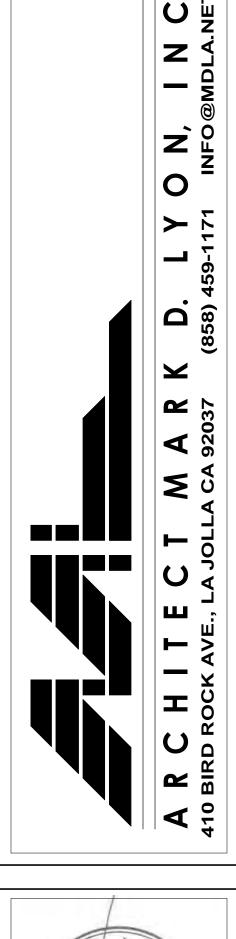
REVISION 8: REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. REVISION 6:_ <u>LA JOLLA, CA 92037</u> REVISION 5: REVISION 4: 6/30/2025 REVISION 3: 3/4/2025 PHONE#: (858) 459-1171 REVISION 2: <u>8/15/2024</u> REVISION 1: <u>4/10/2024</u> PROJECT NAME: KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 SHEET TITLE SHEET 15 OF 18 BUILDING SECTIONS

ARCHITECT MARK D. LYON, INC.

REVISION 10:_

REVISION 9:_

PREPARED BY:

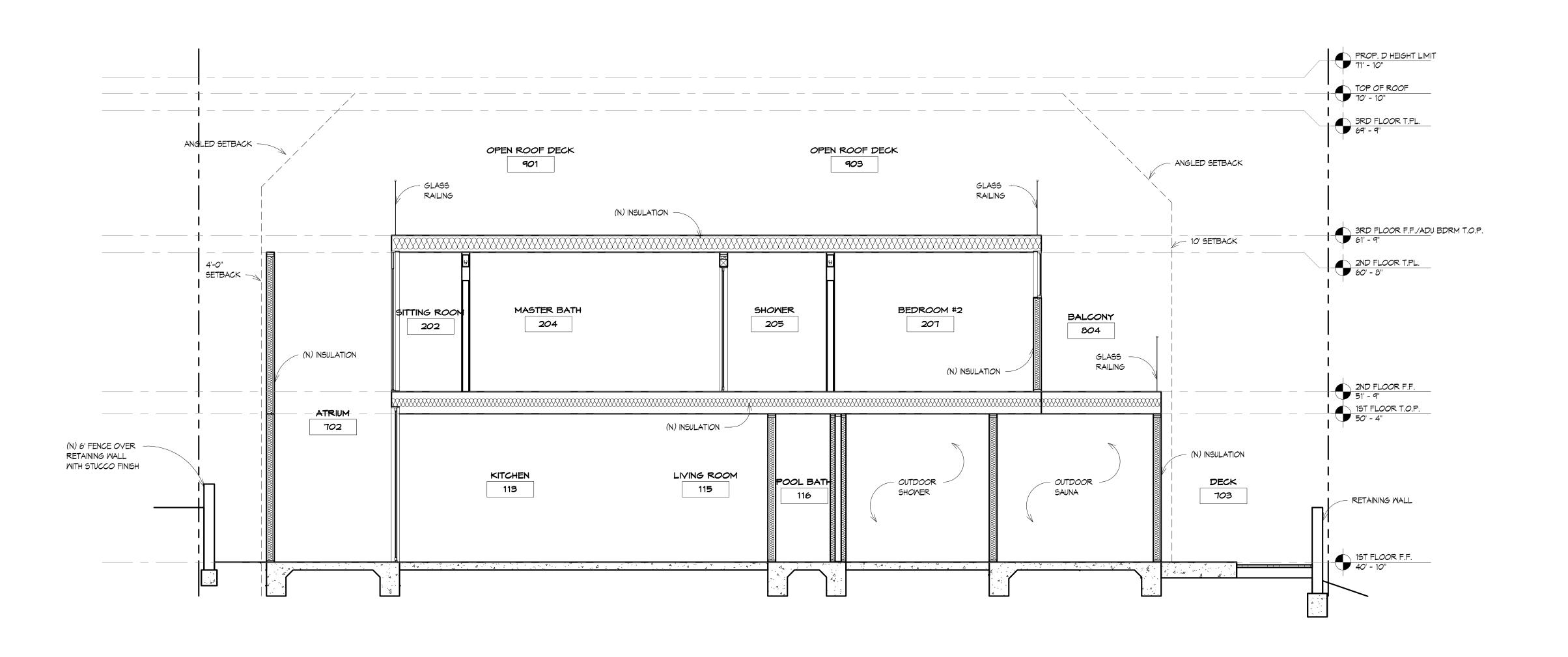




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tect Mark D. Lyc	SUBMITTAL DATE: 09/30/2025
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gs are the legal p	PROJECT NUMBER: 2241
All design, ideas and arrangements as indicated on these drawings are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were	REVIEWED BY:
ents as indicated	DRAWN BY: KJL / RH
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gn, idea	SHEET TITLE:
All desi	BUILDING SECTIONS

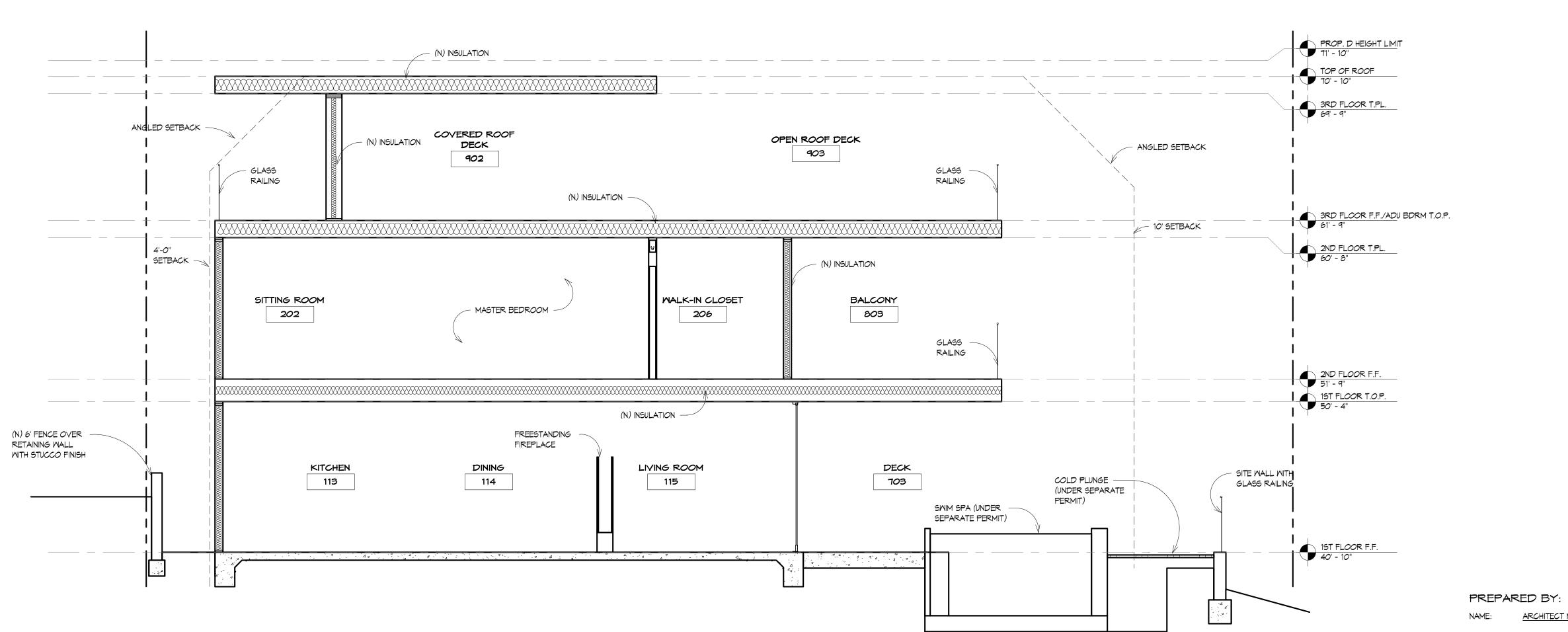
A301

REVISIONS:



BUILDING SECTION C

1/4" = 1'-0"

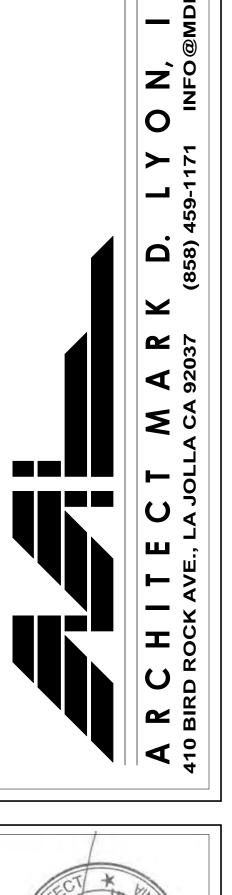


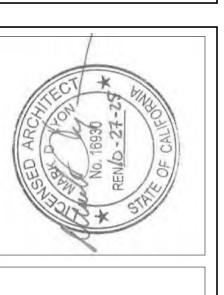
BUILDING SECTION D

1/4" = 1'-0"

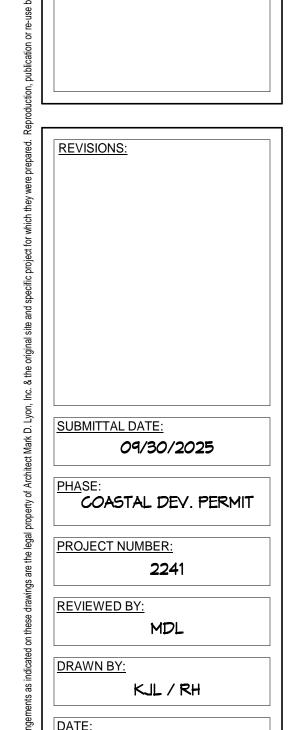
REVISION 9:_ NAME: <u>ARCHITECT MARK D. LYON, INC.</u> REVISION 8: REVISION 7:_ ADDRESS: 410 BIRD ROCK AVE. REVISION 6:_ <u>LA JOLLA, CA 92037</u> REVISION 5:_ REVISION 4: 6/30/2025 REVISION 3: 3/4/2025 PHONE#: (858) 459-1171 REVISION 2: <u>8/15/2024</u> REVISION 1: <u>4/10/2024</u> PROJECT NAME: KISTNER RESIDENCE 403 SEA RIDGE DR., LA JOLLA, CA 92037 ORIGINAL DATE: 12/4/2023 SHEET TITLE SHEET 16 OF 18 BUILDING SECTIONS

REVISION 10:_





RESIDENCE 403 SEA RIDGE DRIVE LA JOLLA, CA 92037

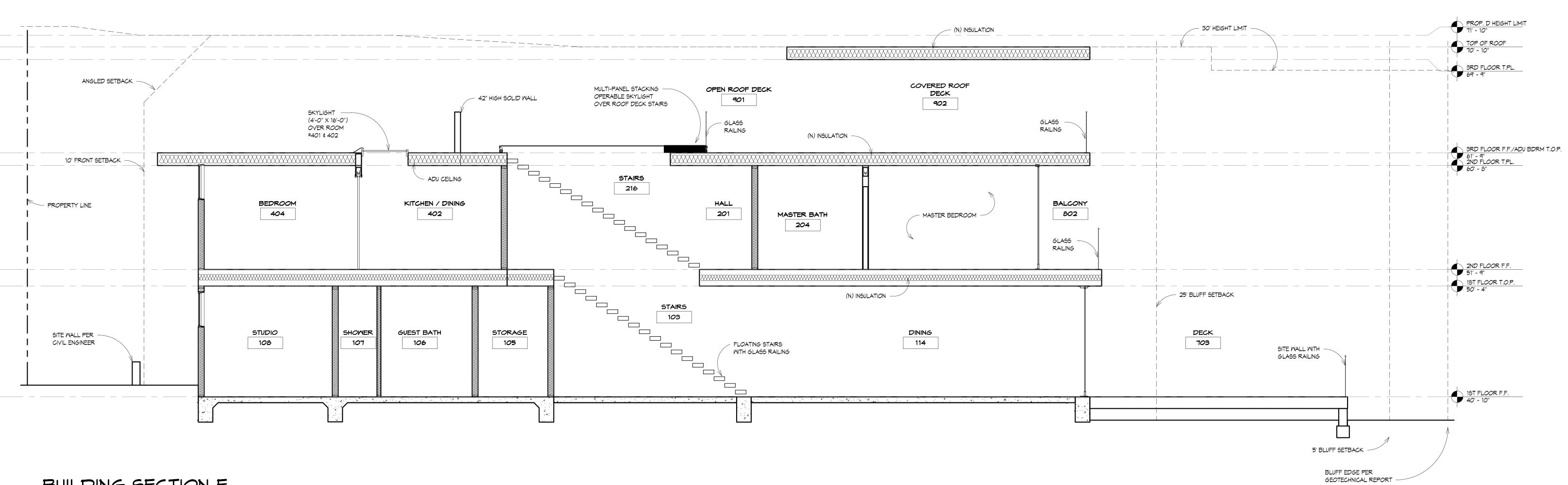


A302

09/30/2025

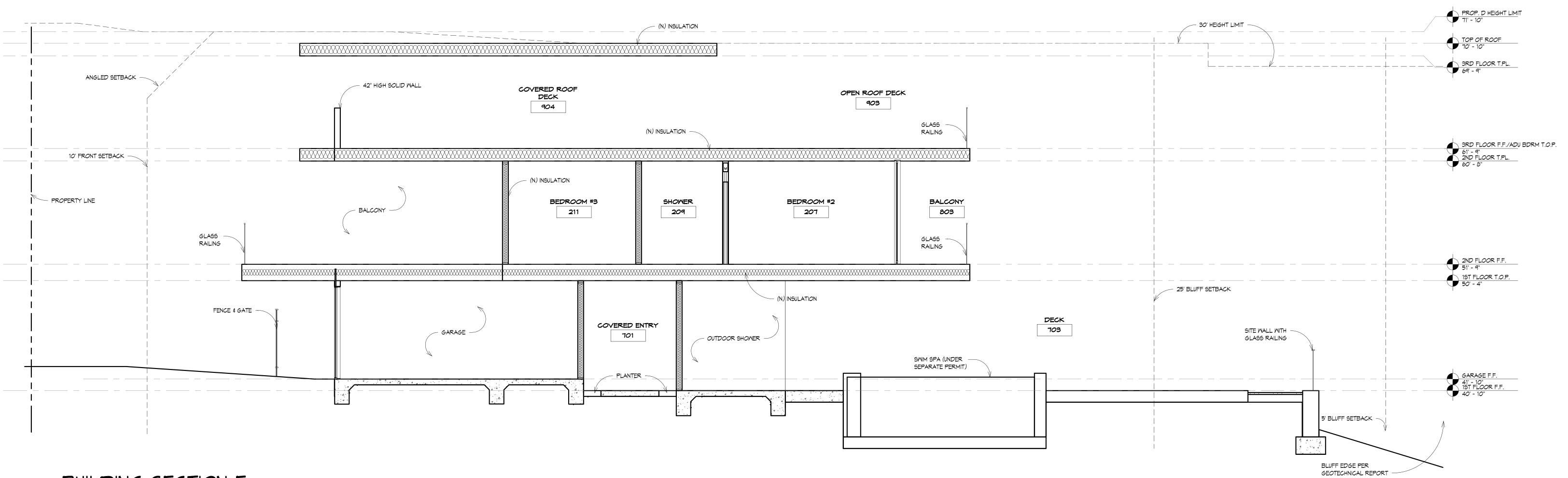
BUILDING SECTIONS

SHEET TITLE:

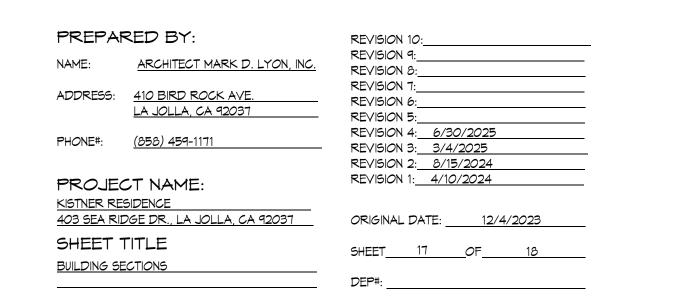


BUILDING SECTION E

1/4" = 1'-0"



BUILDING SECTION F





REVISIONS: OWNER REVISION 10/4/2024 CYCLE ISSUES 10/4/2024 SUBMITTAL DATE: 09/30/2025

COASTAL DEV. PERMIT PROJECT NUMBER: REVIEWED BY:

DRAWN BY: KJL / RH

09/30/2025 SHEET TITLE: BUILDING SECTIONS

LEGEND	
DESCRIPTION	SYMBOL
POST ABOVE	
WALL ABOVE	
THRU-FLOOR STRAP OR HOLDOWN	[∞] csxx
STEP	
FOOTING OR GRADEBEAM	7 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4
PAD FOOTING	F-X.X ∟
BASE PLATE	BP-X ॄ° °
FOOTING STEP	v-

FOUNDATION NOTES 1. DIMENSIONS, STEPS, RECESSES, CURBS, SLOPES, DRAINS, PENETRATIONS, FINISH SURFACES, AND ELEVATIONS SHALL BE LOCATED, COORDINATED, AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. CONTACT SEOR WITH

2. ADDITIONAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND PER STRUCTURAL GENERAL NOTES, S100.

S. SPECIAL INSPECTION REQUREMENTS PER THE SPECIAL INSPECTION

4. FOOTING STEP LOCATIONS SHOWN ON PLAN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BASED ON FINAL GRADING CONDITIONS.

5. THE GRADE SHALL BE SLOPED TO FALL A MINIMUM 6" WITHIN 10'-0" AWAY FROM THE THE BUILDING FOOTPRINT.

7. HOLDOWN SHALL BE TIED IN PLACE PRIOR TO PREPOUR

8. FOOTINGS SHALL BEAR ON WELL-COMPACTED FILL AND/OR UNDISTURBED UNFORMATIONAL SOILMATERIAL. ALL FOOTINGS SHOULD BE FOUNDED AT LEAST 18 INCHES BELOW THE LOWEST

9. 5" SLAB-ON-GRADE W/ #4 @ 16" OC EW, TYPICAL UNLESS NOTED OTHERWISE. INTERIOR SLABS SHALL BE UNDERLAIN WITH A 15 MIL STEGO WRAP VAPOR BARRIER PLACED PER THE MANUFACTURER'S INSTRUCTION AND DIRECTLY ON PROPERLY COMPACTED SUBGRADE.

WALL FOOTING SCHEDULE

10. TYPICAL DETAILS PER: S200 FOUNDATION & REINFORCING

S230 SHEAR WALL & ANCHORAGE

SIZE & REINF F1.1 15" Wx18" DP CONT FTG W/ (2) #5 T&B, TYP

(1) DEPTH IS MEASURED BELOW LOWEST ADJACENT FINISH GRADE PER GEOTECHNICAL REPORT.

	FOOTING SCHEDULE		
MARK	SIZE	REINF	NOTES
F2.0	24" SQx18" DP	(4) #5 T&B EW	
F3.0	36" SQx36" DP	(6) #5 T&B EW	
F4.0	48" SQx24" DP	(5) #6 T&B EW	
F5.0	60" SQx24" DP	(6) #6 T&B EW	
F6.0	72" SQx24" DP	(8) #6 T&B EW	
(1) DEPTH IS MEASURED BELOW LOWEST ADJACENT FINISH GRADE			

928 FORT STOCKTON DR SUITE 201 928 FORT STOCKTO SUITE 201 SAN DIEGO, CA 9210 P: (858) 605-0937 www.pattersoneng.c SAN DIEGO, CA 92103 www.pattersoneng.com

ENGINEERING

NOT FOR CONSTRUCTION

DESIGNER / ARCHITECT

ARCHITECT MARK D. LYON, INC. 410 Bird Rock Ave. La Jolla, CA 92037 858.459.1171 info@mdla.net

REVISION

REVISIONS

DRAWING STATUS ⋈ PRELIMINARY (NOT FOR CONST)

☐ PLAN CHECK

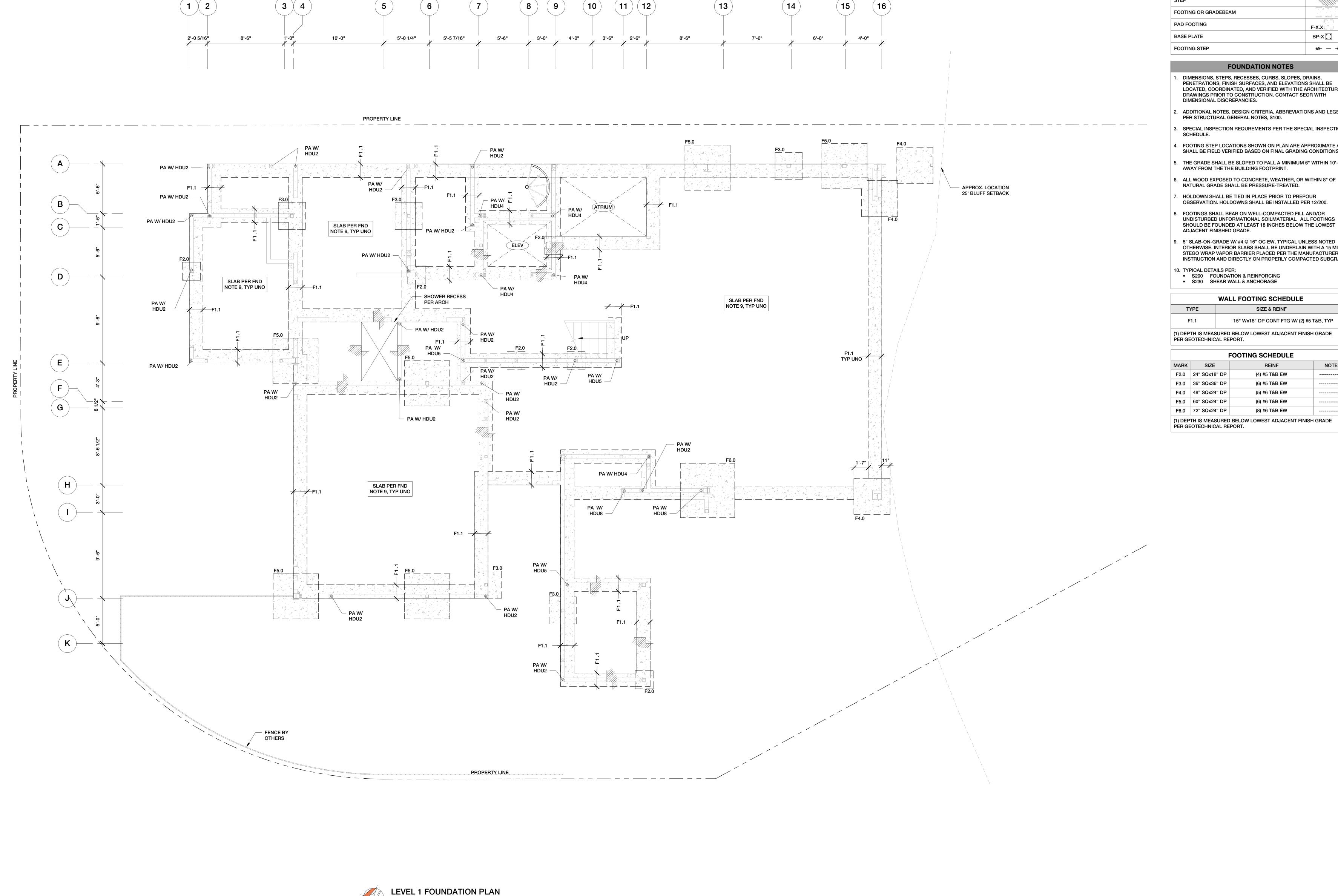
☐ CONSTRUCTION DOCUMENTS ☐ OTHER:

CONTENT **LEVEL 1 FOUNDATION PLAN**

DRAWN:

SCG B. FLORES 03/10/2025

SHEET



1/4" = 1'-0"

DO NOT SCALE PLANS FOR CONSTRUCTION

DIMENSIONS. VERIFY ALL DIMENSIONS WITH ARCH.