



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: November 7, 2025

TO: Historical Resources Board and Interested Parties

FROM: Alvin Lin, Associate Planner, Heritage Preservation, City Planning Department

SUBJECT: **ITEM 2 – 2660-2666 FIRST AVENUE**

The property located at 2660-2666 First Avenue (subject property) was previously docketed for review by the Historical Resources Board (HRB) on October 23, 2025, at which time staff was not recommending designation of the property under any HRB Criteria. Prior to Board discussion, the nominator requested a 30-day continuance to the November 20, 2025, HRB meeting in order to conduct additional research and respond to the property owner's letter of October 17, 2025. The HRB made a motion to continue the item to the November 20, 2025 HRB meeting and the motion passed with a vote of 8-2-0.

On October 31, 2025, the nominator submitted an addendum authored by IS Architecture and a letter of support from Vicki Estrada of Estrada Land Planning. The stated purpose for the addendum is to "comprehensively revise and expand the previous research findings in the Historical Resource Research Report." The addendum continues to argue significance under HRB Criteria C and D, and also finds the property to be significant under HRB Criterion A as a special element of the City's development. Staff finds that the submitted addendum and supporting letter fail to establish significance under any HRB Criteria.

The addendum and Estrada letter assert that the 2660-2666 First Avenue property is eligible for designation under HRB Criterion A as a special element of the City's historical, landscape, architectural and aesthetic development due to its association with the canyon preservation movement and the integration of open space into the urban fabric. This assertion is generally based on the building's location on the edge of Maple Canyon and its connection with Lloyd Ruocco, who was a founder of Citizens Coordinate (CC), now C-3, a planning group that pushed for the preservation of Maple Canyon in the 1960s. The addendum asserts that the subject resource was a "model for development of an urban commercial building with open spaces and canyons;" however, there is no evidence that the building was constructed with that goal in mind. The subject resource was constructed in 1959, prior to the push for preservation of Maple Canyon in the 1960s. Furthermore, per the [San Diego Modernism Historic Context Statement](#), it was common for modern structures to be constructed on steep canyon lots that were previously undeveloped due to advances in construction technology, it is not unique to this property. Additionally, the [Guidelines for the Application of Historical Resources Board Designation Criteria](#) states that in order for a property to be eligible

for designation under Criterion A, a resource must exemplify or reflect a *special element* of development. *Special elements* of development refer to a resource that is distinct among others of its kind or that surpasses the usual in significance. It is not enough for a resource to simply reflect an aspect of development, as all buildings, structures and objects do. There is no information in the addendum that supports the assertion that the subject resource is distinct among other mid-century buildings constructed on canyon lots. Therefore, staff does not recommend designation under HRB Criterion A.

The addendum continues to assert that the property is significant under HRB Criterion C, focusing on a distinction between “applied” and “organic” ornament, asserting that Heritage Preservation staff misinterpreted the *San Diego Modernism Historic Context Statement’s* guidance for evaluating International style buildings. However, the context statement clearly describes the International style as “characterized by a radical simplification of form and a complete rejection of ornament.” A character defining feature of the style is a lack of all types of ornamentation, applied or organic. Staff reiterates its position as detailed in the original staff report that the property, as originally constructed, was not a good example of the International style. Furthermore, the property, in its current condition, does not retain integrity as it relates to architectural significance. Therefore, staff continues to not recommend designation under HRB Criterion C.

The addendum also continues to assert that the property is significant under Criterion D for its association with Master Architects Lloyd Ruocco & Homer Delawie and represents a notable and rare commercial example of their early collaborative work. According to the HRB Criteria Guidelines, rarity is not a qualifier for significance, and not all examples of a Master’s work are eligible for designation. The resource must be representative of the notable work of the Master. The 2660-2666 First Avenue property does not display the quality of design and craftsmanship characteristic of either Delawie or Ruocco’s significant work. Additionally, as discussed in the October 9, 2025 staff report, in its current condition the property lacks integrity as it relates to Criterion D. Therefore, staff continues to not recommend designation under HRB Criterion D.

In conclusion, staff continues to not recommend the designation of the property at 2660-2666 First Avenue as a historical resource under any HRB Criteria, consistent with the analysis and recommendations in the October 9, 2025 staff report to the Historical Resources Board.



Alvin Lin
Associate Planner



Suzanne Segur
Senior Planner/HRB Liaison
City Planning Department

al/SS

Attachments: 1. Staff Report HRB-25-042 dated October 9, 2025
2. IS Architecture addendum dated October 31, 2025
3. Vicki Estrada letter dated October 30, 2025



THE CITY OF SAN DIEGO

Report to the Historical Resources Board

DATE ISSUED: October 9, 2025 REPORT NO. HRB-25-049

HEARING DATE: October 23, 2025

SUBJECT: **ITEM #3 – 2660-2666 FIRST AVENUE**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: Scott A. Moomjian; represented by IS Architecture

OWNER: San Diego American Indian Health Center, Inc.

LOCATION: 2660-2666 First Avenue, Uptown Community, Council District 3
APN 452-706-0600

DESCRIPTION: Consider the designation of the property located at 2660-2666 First Avenue as a historical resource.

STAFF RECOMMENDATION

Do not designate the property located at 2660-2666 First Avenue under any adopted HRB Criteria.

BACKGROUND

This item is being brought before the Historical Resources Board in accordance with [SDMC Section 123.0202](#) and [Section II of the Historical Resources Board Procedures](#) because a nomination was filed by Scott A. Moomjian to designate the property, which is owned by San Diego American Indian Health Center, Inc. and located at 2660-2666 First Avenue, as a historic resource.

The property was located within the boundary of [the 2016 Uptown Community Plan Area Historic Resources Survey Report](#), but was not identified in the survey because it was not evaluated.

On November 29, 2023, in accordance with [SDMC Section 143.0212](#), Heritage Preservation staff conducted a potential historical review for the subject property via a multiple-discipline preliminary review application (record number PRJ-1099623) and determined that the subject property is not significant under any HRB Criteria based on the review of the Assessors Building Record and a current photo survey of the property. On September 9, 2024, Scott A. Moomjian filed for a single-discipline preliminary review application (record number PRJ-1123461) for a potential historical review, which revealed the original architects as the firm of Lloyd Ruocco and Homer Delawie, both

established Master Architects. On October 14, 2024, after evaluating the submitted materials, Heritage Preservation staff reaffirmed their determination that the subject property is not significant under any HRB Criteria. On October 31, 2024, Scott A. Moomjian filed an Individual Historical Resource Nomination application for the property. Months later, in April of 2025, the property owner altered the property by removing wood details from the east and south elevations and replacing the east elevation horizontal band of windows. Subsequently, a member of the public initiated a Building & Land Use Enforcement investigation request (record number CE-0534485), alleging that the April 2025 work violated the San Diego Municipal Code. The Development Services Department investigated the allegations and concluded that no violations occurred, and permits were not required for the work. The investigation was closed in August 2025.

In order to be eligible for designation and listing on the City's Register, a resource must meet one or more of the City's designation criteria as specified in the Historical Resources Guidelines of the Land Development Manual and retain integrity as it relates to the significance of the resource. Integrity is the ability of a property to convey its significance, which requires an understanding of the physical features and characteristics that existed during the resource's period of significance. The National, California, and City of San Diego Registers recognize location, design, setting, materials, workmanship, feeling, and association as the seven aspects of historical integrity.

Although not all seven aspects of integrity need to be present for a property to be eligible for designation, the record must demonstrate that the property retains enough physical and design characteristics to reflect and convey the significance of the property. Each resource depends on certain aspects of integrity, more than others, to express its historic significance. Determining which of the aspects are most important to a particular property requires an understanding of the property's significance and its essential physical features. The [Guidelines for the Application of Historical Resources Board Designation Criteria](#) provide information regarding the City's designation criteria, as well as guidance on their application and how to evaluate the integrity of a resource.

BUILDING CONDITION EVALUATION

This nomination originates from a member of the public under SDMC §123.0202. The "current" or "present" condition of a property, where its nomination originates under [SDMC §123.0202](#), refers to the property's condition when a Historical Resource Research Report or similar documentation, prepared pursuant to the Historical Resources Guidelines, is submitted for a decision to the Historical Resources Board. It does not refer to the property's condition when the report was initially submitted to Heritage Preservation Staff for a completeness check. In considering the designation of the property located at 2660-2666 First Avenue, the Historical Resources Board should evaluate the building's "current" condition as it exists when the nomination is submitted to the Board, inclusive of the alterations which occurred to the property in April 2025.

ANALYSIS

The property at 2660-2666 First Avenue is a one-story commercial office building with a basement-level parking garage, constructed in 1959 in the Uptown Community Planning Area. It is located in the Bankers Hill neighborhood among mid- and low-rise residential and commercial buildings and immediately abuts Maple Canyon Open Space. The property is in its original location.

Since its construction in 1959, the property has been modified as follows: A 1960 wood screening skirt fence that wraps around the north, east, and south elevations was added; The roof was repaired in 1975 which removed existing false parapets; In 2003, ADA upgrades were implemented which included a new entry concrete ramp and new storefront glazing at the east and north elevations. In April 2025, the east and south elevation sunshade wood overhang was removed, leaving only the metal hangers intact. The original east elevation horizontal band of aluminum slider and louvre windows was also replaced with fixed glazing in the existing opening. Lastly, a majority of the east and south elevation 1960 wood screening skirt fence was removed. A permit was not required for the April 2025 work.

IS Architecture prepared a Historical Resources Research Report dated October 2024 and a letter with attachments dated September 11, 2025. The report and letter conclude that the resource is significant under HRB Criteria C and D. Staff disagrees and finds that the building is not eligible under any HRB Criteria. This determination is consistent with the [Guidelines for the Application of Historical Resources Board Designation Criteria](#), as follows.

CRITERION A - Exemplifies or reflects special elements of the City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

Research into the history of the property at 2660-2666 First Avenue did not reveal any information to indicate that the property exemplifies or reflects special elements of the City's or Uptown's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development. Therefore, staff does not recommend designation under HRB Criterion A. As the property is not significant under Criterion A, an evaluation of integrity as it relates to Criterion A is not relevant or required.

CRITERION B - Is identified with persons or events significant in local, state or national history.

Research into the owners and tenants of the property at 2660-2666 First Avenue did not reveal any individuals who could be considered historically significant in local, state or national history. Furthermore, no events of local, state or national significance are known to have occurred at the subject property. Therefore, the property is not eligible for designation under HRB Criterion B. As the property is not significant under Criterion B, an evaluation of integrity as it relates to Criterion B is not relevant or required.

CRITERION C - Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of natural materials or craftsmanship.

The property is a one-story commercial medical building with an open basement-level parking area. It has a rectangular plan. It is located on a sloping grade and is supported by a steel frame. The roof is flat with minimal eave overhang and contains unscreened HVAC equipment. Metal sunshade hangers project from all four elevations at the roof line, although only the north and west elevations are lined with wood slat sunshades because the east and south elevation wood slats were removed. The building is clad in smooth stucco. A band of metal windows, located high on the walls, is present at the north, east, and west elevations. The main entry is accessible through a concrete ramp at the

east (street) elevation. The entry is elaborated with a full-height storefront glazing system. A recessed exit is located at the south elevation and accessible through a flight of stairs.

The Historical Resources Research Report finds the property significant under HRB Criterion C “as a unique expression of the Mid-century Modernist International Style with the influence of the Modernist Post-and-Beam substyle.” However, staff disagrees with this finding and does not find the property to rise to the level of significance to be individually eligible as a good example of any architectural style.

The [*2007 San Diego Modernism Historic Context Statement*](#) identifies 1950-1970 as the period for Post-and-Beam architecture, which is characterized primarily by direct expression of the structural system, usually wood or steel frames; horizontal massing; flat or shallow pitch roofs with deep overhangs or no parapet; and floor-to-ceiling glass. The style is characterized secondarily by repetitive façade geometry; minimal use of solid load-bearing walls; absence of applied decoration; strong interior/exterior connections; open interior floor plans; and exterior finish materials that usually include wood, steel, and glass. The Context Statement notes the relative rarity of the style and identifies the expression of the structural system through expansive floor-to-ceiling glass and wood or steel framing as critical elements to conveying the style.

The International style was a major worldwide architectural trend of the 1920s and 30s and reflects the formative decades of Modernism before World War II. Although the International style originated in Western Europe, it transcended any national or regional identity because International style architecture made no reference to local vernaculars or traditional building forms. The style quickly migrated to the United States as architects from Europe fled prior to WWII. In Los Angeles, immigrant architects Rudolph Schindler and Richard Neutra were instrumental in popularizing the International style. The emergence of International style architecture in San Diego came later, with most examples built after 1935. The International style is characterized by a radical simplification of form and a complete rejection of ornament. The [*2007 San Diego Modernism Historic Context Statement*](#) identifies flat roofs (cantilevered slabs or parapets), lack of applied ornament, horizontal bands of windows, and asymmetrical facades as primary character-defining features of the style. Secondary features include square corners, steel sash windows (typically casement), corner windows, and common exterior materials of concrete, brick, and stucco.

As originally designed, the property displayed several primary and secondary character-defining features of the proposed International style; however, it did not embody the distinctive characteristics of the style. The subject property has a flat roof, although the flat roof is formed neither by cantilevered slabs nor parapets. It has a horizontal band of flush windows, asymmetrical facades, square corners, and stucco cladding. It does not contain steel sash windows or casement windows. Corner windows are expressed in a limited manner, confined only to the northeast and northwest corners. Most importantly, in its original form, the property does not exhibit a “lack of applied ornament” because of its inclusion of an elaborated wood sunshade structure. Similarly, the redwood skirt fence by the original architects, which was displayed prominently at the street elevation, is a feature that functions both as a parking screen and an applied ornament. The intentional implementation of wood projections demonstrates that the property, in fact, exhibits the use of applied ornaments. This design contradicts the International style philosophy of a radical simplification of building facades. Therefore, the property does not embody the distinctive characteristics of the International Style in its original design. In its current condition, with wood

details removed from the east and south elevations, the property displays a “lack of applied ornament.” However, this configuration was caused by contemporary alterations and bears no relationship to the ca. 1935-1955 International style period of significance. Therefore, staff does not recommend designation under HRB Criterion C for the International style.

While the property exhibits some character-defining features of the Post-and-Beam style, such as horizontal massing, a flat roof, and full-height storefront glazing at the entry, it has a limited embodiment of the style due to its lack of expansive use of floor-to-ceiling glass and lack of indoor/outdoor connections. Furthermore, by concealing the steel frame structural system behind solid stucco walls, the property does not directly exhibit the structural system. The steel frame is only visible at the garage level and below, and was further obscured by the wood skirt fence in its original design. Therefore, staff does not recommend designation under HRB Criterion C for the Post-and-Beam style.

Of the seven aspects of integrity, design, materials, and workmanship are the most critical to the property's ability to convey significance under HRB Criterion C as a resource that embodies the distinctive characteristics of the proposed International Style with Post-and-Beam Influences. Staff's position is that the building was never a resource that embodied the distinctive characteristics of the International or Post-and-Beam style as required under Criterion C. Additionally, if the building did embody the distinctive characteristics of International or Post-and-Beam style, the modifications detailed at the beginning of the analysis section of this report degraded the building's expression of its architecture and resulted in a loss of integrity of materials, design, and workmanship. The property does not embody the distinctive characteristics of the proposed International style with Post-and-Beam influences and does not retain critical aspects of integrity. Therefore, staff does not recommend designation under HRB Criterion C.

CRITERION D - Is representative of a notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist or craftsman.

The property was designed by the firm of Lloyd Ruocco & Homer Delawie (Ruocco & Delawie), as evidenced by the title block of the original building construction plans. Lloyd Ruocco and Homer Delawie are both established Master Architects.

Lloyd Pietrantonio Ruocco was born in Maine in 1907 and moved to Canada as a baby. In 1923, he and his family moved to Southern California, first to LA, then to Long Beach, and finally to San Diego. While attending San Diego High School, Ruocco took an architectural drawing class and entered a contest run by Richard Requa for an original home design. Ruocco's design was so unusual that he was awarded a special third prize and a chance to meet Requa. After attending San Diego State College for one term, Ruocco was hired by the office of Requa and Jackson. He then decided to study architecture at UC Berkeley. While at Berkeley, Ruocco was exposed to the Beaux Arts tradition but favored the designs of Le Corbusier, Gropius, Mies van der Rohe and Wright. After graduating from Berkeley in 1933, Ruocco returned to San Diego. He worked for Requa again on the County Administration Building, as well as a model town exhibit for the 1935 California Pacific International Exposition. During World War II, Ruocco worked as an architectural drafter for the U.S. Public Works Office. Ruocco built the Lloyd Ruocco Design Center (HRB #434) in 1950 to serve as the offices for his firm and his wife Ilsa's interior design firm and as a place to mentor young architects, including Homer Delawie. Ruocco and Delawie went on to form a partnership in 1958, which lasted until

around 1961. Ruocco planned to travel internationally in 1960 and 1961, and Delawie agreed to run the firm in his absence.

Ruocco has been called the second most significant Modernist architect in San Diego architectural history (after Irving Gill). Ruocco, along with several other San Diego Modernist architects, was instrumental in establishing the Post-and-Beam style. Characteristics of Ruocco's work include an economy of materials, extensive use of glass to create the visual effect of transparency; simple wood beams; the inclusion of small, private places with lighting, nooks, and window seats; floor-to-ceiling cabinetry of fine wood; walls and ceilings made from redwood; Masonite floors; intricate landscape relationships; sliding panels; and flat roofs with wide eave overhangs. Ruocco was also an advocate for social change and sound city planning. In 1961, he founded Citizens Coordinate for Century Three (C-3), an organization that advocates for strong city planning. He was also a founding member of the San Diego County Creativity Research Committee and a member of the San Diego City Urban Renewal Commission. In 1974, he was elected to the American Institute of Architects (AIA) College of Fellows.

At least nine of Ruocco's works have been designated as historical resources by the City of San Diego Historical Resources Board:

- HRB #434 - Lloyd Ruocco Design Center, 1950 (established him as a Master Architect in 2000)
- HRB #911 - James Don & Rita H. Keller/Lloyd Ruocco House, 1948
- HRB #1228 - Jackson Johnson III/Lloyd Ruocco & Homer Delawie House, 1961
- HRB # 1271 - Park Garden Apartments/Lloyd Ruocco & Homer Delawie Building, 1960
- HRB #1297 - Robert and Alma Lard/Homer Delawie & Lloyd Ruocco House, 1965
- HRB #1340 - Ruth Smith & Louise Neece /Lloyd Ruocco & Homer Delawie Duplex, 1960
- HRB #1491 - Donald and Gladys Clitsome/Lloyd Ruocco House, 1938
- HRB #1494 - Jerome and Joyce Shaw/Lloyd Ruocco House, 1966
- HRB #1511 - Dr. Paul A. Libby/Lloyd Ruocco House, 1967

Homer Delawie was born and raised in Santa Barbara, California, and after serving in the Navy, he enrolled in California Polytechnic College in San Luis Obispo, becoming an architect in 1951. While working in Northern California, he took a vacation in San Diego and discovered the Lloyd Ruocco Design Center. Intrigued by the building, Delawie decided to contact Lloyd Ruocco. Shortly after, Ruocco invited Delawie to work for his firm. One of Delawie's first projects in San Diego was to design the headquarters building for Channel 10. After working with Ruocco for a few years, Delawie started his own firm in 1961. He designed homes overlooking Mission Valley, Mission Hills, and Point Loma. Three of these homes were built for his family, and many of his designs reflect the Post-and-Beam architecture.

Delawie served on several local boards for many years, including the Museum of Man, the Children's Museum, and the UCSD Board of Overseers. From 1969 to 1982, Delawie served on the City's Planning Commission. He also served on the Historical Resources Board for eight years and was involved with the San Diego Historical Society. Delawie's career was diverse, and his list of works includes the Reuben H. Fleet Space Theater expansion, the James R. Mills Building, the Shark Exhibit at SeaWorld, and the Scripps Ranch High School.

Projects designed by Delawie and his firm have received over 65 design awards. In 1973, Delawie received the Cal Poly School of Architecture Distinguished Alumni Award. The National Urban Land Institute and the California and San Diego chapters of the AIA have awarded Delawie their highest honors. From the AIA, Delawie received Service Citations in 1972 and 1973, a Presidential Citation in 1997, and a Lifetime Achievement Award in 1997. Twice, the Department of Defense awarded Delawie its highest award. In 2003, Save Our Heritage Organization presented him with a Lifetime Achievement Award for his work in preserving the works of local Modern architects. At least eight of Delawie's works have been designated as historical resources by the City of San Diego Historical Resources Board:

- HRB #844 - Louis & Bertha Feller/Homer Delawie House, 1962
- HRB #845 - Delawie Residence III - The Village, 1975
- HRB #905 - Delawie Residence II, 1963
- HRB #1105 - Russell and Rosemary Lanthorne/Homer Delawie House, 1963
- HRB #1228 - Jackson Johnson III/Lloyd Ruocco & Homer Delawie House, 1961
- HRB #1271 - Park Garden Apartments/Lloyd Ruocco and Homer Delawie Building, 1960
- HRB #1340 - Ruth Smith and Louise Neece/Lloyd Ruocco and Homer Delawie Duplex, 1960
- HRB #1441 - Delawie #1/Boxcar House, 1958

The [Guidelines for the Application of Historical Resources Board Designation Criteria](#) state that for a resource to be eligible for designation under HRB Criterion D, it must represent the notable work of a Master. Additionally, the property must express a particular phase in the development of the Master's career, an aspect of their work, or a particular idea or theme in the craft. Not all examples of a Master's work are eligible, and Criterion D requires that the resource be representative of the notable work of the Master, as demonstrated in the nomination.

The report concludes that the property is eligible under HRB Criterion D as a "notable representation of the collaborative commercial work of Master Architects Lloyd Ruocco & Homer Delawie." Specifically, it asserts that the property is a rare commercial example of the early collaborative work of the two architects, and that it "exemplifies the combined influences each architect had on the other, as well as their interests in the International Modern Style and the Modern Post-and-Beam substyle, a genre with which both architects would become highly associated." Staff disagrees with the report's conclusion, finding that the property is not representative of Lloyd Ruocco and Homer Delawie's notable collaborative work.

The report does not elaborate on how the property "expresses a particular phase in the development of the Master's career, an aspect of their work, or a particular idea or theme in the craft." The assertion that the property "exemplifies the combined influences each architect had on the other" is unsubstantiated. It is possible that both Lloyd Ruocco and Homer Delawie have influenced each other in their three-year partnership. However, this assertion does not explain how the subject property demonstrates that influence. It is well established that Lloyd Ruocco designed in the International style and the Post-and-Beam style, and some of his works were designated as historical resources. Homer Delawie, on the other hand, is notable for his implementation of Post-and-Beam designs, often featuring a direct expression of the structure, large glass panes, and vertical wood siding. In contrast, the subject property features a uniform stucco façade, which is more associated with Ruocco's design rather than Delawie's. The original wood sunshade is also a feature adopted from Lloyd Ruocco Design Center (HRB #434). Delawie's design language is not

apparent in the subject property. Delawie's typical design at the time featured prominent exposed support posts visible on the exterior walls and embodied Post-and-Beam characteristics, such as through the original design of the Boxcar House (HRB #1441, built 1958); this design language was not implemented in the subject property, as its steel support posts are concealed within stucco walls. The report notes that the use of aluminum windows instead of steel windows was "Delawie's push to incorporate mass-market and standard off-the-shelf materials." However, there is no indication from documentary evidence that this design decision was Delawie's rather than Ruocco's. As such, it is not evident how the subject property demonstrates any design influences from Delawie, and it is not clear if any of Delawie's influence on Ruocco is demonstrated through the design of this property.

Not all examples of a Master's work are eligible for designation under HRB Criterion D. The subject property is not a good representative example of Ruocco & Delawie's notable work, either individually or through their partnership. Individually, Ruocco is notable for his International style and Post-and-Beam style designs. Similarly, Delawie is notable for his Post-and-Beam designs, especially residential examples. As described under HRB Criterion C analysis above, the property does not embody any specific architectural style evaluated under the [2007 San Diego Modernism Historic Context Statement](#) and therefore does not reflect International or Post-and-Beam designs that Ruocco and Delawie are notable for. Thus, this property is not representative of Ruocco & Delawie's notable work and is not eligible for designation under HRB Criterion D.

Three Ruocco & Delawie properties, all residential and Contemporary-styled, were designated as historical resources by the HRB – HRB #1228, HRB #1271, and HRB #1340. Historical landmark HRB #1228 is a single-family home that was designated as a resource that possesses many of the signature characteristics that represent Lloyd Ruocco and Homer Delawie's distinguished bodies of work, both in their independent architectural practices and during their partnership. HRB #1271 is a low-rise apartment building that was designated as a rare example of Ruocco and Delawie's work in multifamily residences, both in their independent architectural practices and during their partnership. Similarly, HRB #1340 was designated as a rare example of a duplex designed by Ruocco and Delawie, both in their independent architectural practices and during their partnership.

The report identifies the subject property as a rare example of Ruocco & Delawie's known, collaborative commercial work. However, a rare example still needs to represent a notable work of the Masters' to be eligible for designation under HRB Criterion D, as demonstrated in the nomination. Staff disagrees with the report's findings that the property is representative of Lloyd Ruocco and Homer Delawie's notable work.

Furthermore, In contrast to the three Ruocco & Delawie properties that were designated as historical resources (HRB #1228, HRB #1271, and HRB #1340), the subject property does not retain integrity of design, materials, and workmanship, due to the alteration of its original entry, removal of original east and south elevation wood sunshade, non-in-kind replacement of horizontal band of metal slider and louvre windows with fixed glazing, and removal of the 1960 wood skirt fence. Removal of the 1960 wood skirt fence impaired integrity under HRB Criterion D because, while this fence was not an original feature, it was designed by the original Ruocco & Delawie and was added only one year after the subject property was built. As such, it was strongly associated with the original construction. Staff disagrees with the report's conclusion that the building retains integrity of design, materials, and workmanship. Staff finds that the property was never eligible for

designation under HRB Criterion D, either in its October 2024 condition or the current condition. Therefore, staff does not recommend designation under HRB Criterion D.

OTHER CONSIDERATIONS

Designation brings with it the responsibility of maintaining the building in accordance with the Secretary of the Interior's Standards. The benefits of designation include the availability of the Mills Act Program for reduced property tax; the use of the more flexible Historical Building Code; flexibility in the application of other regulatory requirements; the use of the Historical Conditional Use Permit which allows flexibility of use; and other programs which vary depending on the specific site conditions and owner objectives. If the property is designated by the HRB, conditions related to restoration or rehabilitation of the resource may be identified by staff during the Mills Act application process, and included in any future Mills Act contract.

CONCLUSION

Based on the information submitted and the staff's field check, it is recommended that the property located at 2660-2666 First Avenue not be designated under any HRB Criteria.



Alvin Lin
Associate Planner
City Planning Department



Suzanne Segur
Senior Planner/HRB Liaison
City Planning Department

AL/ss

Attachment(s):

1. Applicant's Historical Report dated October 2024, under separate cover
2. IS Architecture letter dated September 11, 2025 "RE: 2660-2666 First Avenue San Diego, Historic Integrity Analysis Post April 2025 Demolition Activities"

Addendum for the Historical Nomination of The Milton Millman & Brent Campbell/ Lloyd Ruocco and Homer Delawie Medical Building

2660-2666 First Avenue, San Diego, CA 92103

Report Prepared By:
IS Architecture
5645 La Jolla Boulevard
La Jolla, CA 92037
(858) 456-8555

October 31, 2025

Purpose:

The purpose of this addendum is to comprehensively revise and expand the previous research findings in the Historical Resource Research Report supporting the historic designation of The Milton Millman & Brent Campbell/ Lloyd Ruocco and Homer Delawie Medical Building located at 2660-2666 First Avenue. (The Property).

This Addendum addresses past gaps regarding the collaborative and individual significance of Master Architects Lloyd Ruocco and Homer Delawie to The Property and addresses architectural context, integrity concerns, and rarity, with additional focus on integrity concerns following unpermitted demolition activity. This document clarifies the property's classification as International Style with Post and Beam influences, substantiated by the broader San Diego Modernism Historic Context and comparative analysis with precedent designations and both Master Architects' individual careers and collaborative partnership. This report additionally expands on the context of the Property's significance under Criterion D that were originally found "insufficient" by the staff report. The research information has been revised and corrected within, and these minor corrections do not change the conclusion that the subject resource is a rare commercial work of the two most important San Diego Modernist architects during their brief partnership.

Crucially, this addendum also establishes the property's historic significance under Criterion A as a reflection of special elements City Development. In addition to being a rare, surviving example of the collaborative work by two master architects, the Property is a tangible embodiment of a catalyst and participant in the pivotal citywide movement for canyon preservation and the integration of open space into San Diego's urban fabric. Through its siting, design, and direct connection with Ruocco's philosophy, the property embodies the precursor ideals that propelled the founding of Citizens Coordinate (now C-3). Ruocco's and C-3's early advocacy, including the fight to preserve Maple Canyon, adjacent to this property, inspired a citywide ethos of environmental stewardship that became codified in planning documents and open space legislation from the 1960s onward.

In sum, this addendum not only corrects and expands the technical and stylistic architectural record, but also foregrounds how the Property uniquely demonstrates and helped launch a transformative pattern in San Diego's development: the preservation and celebration of its canyons, the elevation of aesthetic and landscape-integrated siting, and the realization of a people-focused, nature-respecting urban vision. As such, the building stands as both a physical exemplar and a historical agent, fundamentally supporting its eligibility under Criterion A, as well as for its rare architectural pedigree and contextual significance.

Criterion A: *Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.*

The City of San Diego's *Guidelines for the Application of Historical Resources Board Designation Criteria*, states:

*Criterion A is multifaceted and includes resources that are significant for **exemplifying or reflecting special elements** of the city, community or neighborhood through at least one aspect of development... **Special elements** of development refer to a resource that is distinct among others of its kind or that surpass the usual in significance.¹*

HOW SIGNIFICANCE MAY BE ESTABLISHED

*For each aspect of development, the resource shall exemplify or reflect a special element of that development which either maintains an established precedent, or **may in itself be the model for development.**²*

Historical Development shall exemplify or reflect a special or unique aspect of the City's general historical development; or shall exemplify or reflect a unique aspect of the City's history.³

Aesthetic Development shall exemplify or reflect development associated with an artistic arrangement in theory or practice.⁴

*Landscape Development shall exemplify or reflect development associated with garden and park design, subdivision design, or ecosystem/habitat restoration and **may include professionally applied standards or design ingenuity within landscape disciplines.**⁵*

Architectural Development shall exemplify or reflect development associated with the city's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners and others associated with the building industry.⁶

The property **is** significant under Criterion A, as a resource that exemplifies and reflects special elements of the City of San Diego's Development. Specifically, the Property is a model for urban development in the City of San Diego that was embraced by Lloyd Ruocco and the Citizens Coalition Group he helped found. As such it, **exemplifies** the **historic development of early 1960 San Diego** as it reflects the unique push for urban development on canyon slopes. It **reflects** the **Landscape development** as it **exemplifies** the applied standards and design ingenuity of navigating the complex landscape and site of a canyon edge that was refined by Lloyd Ruocco and Homer Delawie.

The Property designed in part by Lloyd Ruocco, powerfully meets San Diego's Criterion A for historical resource designation—not only as an aspect of Ruocco's enduring philosophy and his direct influence on the development of the city of San Diego, but also through its role illustrating the citywide movements

¹ Guidelines for the Application of Historical Resources Board Designation Criteria, 2009, pg 7

² Guidelines for the Application of Historical Resources Board Designation Criteria, 2009, pg 8

³ Guidelines for the Application of Historical Resources Board Designation Criteria, Pg 8

⁴ Guidelines for the Application of Historical Resources Board Designation Criteria, Pg 12

⁵ Guidelines for the Application of Historical Resources Board Designation Criteria, Pg 13

⁶ Guidelines for the Application of Historical Resources Board Designation Criteria, Pg 14

for canyon protection, aesthetic planning, and landscape-sensitive architecture that reshaped San Diego's official policies. Lloyd Ruocco's vision and efforts, together with the Citizens Coordinate (CC), now known as C-3, were instrumental in the formation of a citizen-led organization focused on urban planning, environmental protection, and the preservation of San Diego's natural landscape, especially its canyons, that fundamentally changed how San Diego developed and grew as a city and urban center.

Historical Context: Formation of the Citizens Coordinate (CC) Organization and Its Early Efforts

The group originally known as Citizens Coordinate (CC), now known as C-3 (*Citizens Coordinate for Century*), was founded in 1961, with the object of conservation and promotion of "a handsome & functional community" through research, education, and coordinated citizen action.⁷

C-3 is intrinsically tied to Lloyd Ruocco's design philosophy and outspoken articulation of the need for the voice of the public in the planning of San Diego. His activism, particularly his discussion group, reached a tipping point in his January 1961 speech "The Arts: Public Weapon for Progress" to the League of Women Voters where he proposed the idea of founding a group of representatives of organizations concerned with San Diego's urban development such as the American Institute of Architects, American Institute of Landscape Architects, San Diego Art Guild, the League of Women Voters, and other arts, crafts, and civil minded groups to organize and demand urban development along with beauty and the protection of the natural environment.⁸ This proposal inspired Dorothea Edmiston and Esther Scott to establish the *Citizens Coordinate For A Handsome Community (CC)* that would meet regularly at The Design Center and the Ruoccos' home in the same year. *Citizens Coordinate For A Handsome Community (CC)* became *Citizens Coordinate for Century 3 (C-3)* in 1969.⁹

As co-founder, Ruocco's ideas inspired their community-driven approach. Esther Scott, who is credited as the other Co-Founder of CC, articulated that "Lloyd was the inspiration and I was the mechanic."¹⁰ Ruocco's driving force behind the groups is well documented and recognized, Historian and founding member Clare Crane recounted in her 2011 book *"Citizens Coordinate and The Battle for City Planning in San Diego, San Diego History Center,"* that "If, as Emerson says, an institution is but the lengthened shadow of one man, then for Citizens Coordinate, that man is architect Lloyd Ruocco. It was Ruocco's vision of creating a handsome community in San Diego that energized the group."¹¹

Ruocco's design and urban philosophy were a new and radical set of standards. Architect Leonard Veitzer described Ruocco's enduring concern as "...his ideas and sensitivities of the city as a place to live and work and play...interlaced with green belts and environments for people."¹² This foundational philosophy is seen in the invitation letter, that stated the group was "...dedicated to the idea that the outward appearance of a community reveals and influences the character of its people, and that civic beauty is therefore an integral part of the community's cultural life. [Our purpose is] to initiate and encourage citizen action for: 1) Enlightened planning; 2) Preservation of desirable open space...; 3)

⁷ C-3 San Diego - About, Creating Civic Community (C-3), <https://www.c3sandiego.org/page-1816500>

⁸ Clare Crane, *Citizens Coordinate and The Battle for City Planning in San Diego, San Diego History Center, San Diego, 2011, pg 10*

⁹ 60 Years of C-3, Creating Civic Community (C-3), www.c3sandiego.org/60Years#DigitalTimelines

¹⁰ Clare Crane pg 11

¹¹ Clare Crane, *Citizens Coordinate and The Battle for City Planning in San Diego, San Diego History Center, San Diego, 2011, pg 7,*

http://c3sandiego.org/resources/Pictures/2020%20Website/Clare_Clare_Battle%20for%20City%20Planning%20in%20SD.pdf

¹² Clare Crane, pg 9

Architectural excellence.”¹³ In a 1975 *San Diego Union* interview Ruocco said of the discussion group he hosted, “My idea was HOW COULD YOU MAKE CITIES THAT WERE FIT TO LIVE IN?”¹⁴

Once formed, the group determined that to pursue the goal of preserving San Diego’s environment, “the only way to do so was through concerted citizen action, community planning, and land use and zoning ordinances,”¹⁵ and began immediately identifying topics and issues to discuss, study, and organize around. The topics focused on in the first year set the tone for issues addressed: “location and landscaping of highways; master-planning Balboa Park; preservation of canyons and open space; land use and zoning in Mission Valley; billboard regulation; downtown redevelopment.”¹⁶ Ruocco’s speech was in January of 1961, CC was formed and sent out the invitation letter in March, and in September of that same year CC held “The Citizen, Freeway Planning and Planting,” a presentation with the aim of educating the public about the disadvantages of billboards. While San Diego City Council did not pass a strict sign ordinance, its December 1961 decision limited the number of billboards in the area, establishing the political force of CC and Ruocco’s design philosophy.¹⁷

A turning point came in the late 1960s and 1970s with the adoption of the first “Progress Guide and General Plan” in 1967¹⁸, which was deeply influenced by the work of groups like C3 and key figures such as Lloyd Ruocco. Recommendations for open space, including canyons, began appearing in these guiding documents. By the mid-1970s, C-3’s landmark “Temporary Paradise?” report further institutionalized these ideals: “The canyons are the most remarkable feature of San Diego’s landscape, and should be kept as fingers of parkland reaching deep into the urban core”.¹⁹ Since its creation, C-3’s projects have included “advocating to stop the expansion of Highway 163, expanding public park space on the waterfront, and protecting County environmental lands from encroaching development.”²⁰

Historic Context: Maple Canyon Road Controversy

An early campaign of Citizens Coordinate was the effort to save Maple Canyon from being bisected by a street, in what is now referred to as “The Maple Canyon Road Controversy.” In the early 1960s, as San Diego grew rapidly, city and developer interests considered cutting new thoroughfares through canyon land—including Maple Canyon—to improve connectivity and facilitate development.

Proposals to construct a roadway through the Maple Canyon, which sits between Bankers Hill and Hillcrest, prompted strong opposition from local architects, environmentalists, and community activists, notably Lloyd Ruocco and the newly formed Citizens Coordinate. Throughout 1964 and 1965, CC Board minutes show that the Maple Canyon Route was a recurring and thoroughly discussed topic, appearing as part of their “Project Report” discussions,²¹ and agenda items such as considering support for the Park Board’s recommendation for the road not to pass through Balboa Park,²² or support designating the proposed Route as a “parkway in order to preserve as much of the natural beauty as possible.”²³

¹³Clare Crane, pg 11

¹⁴ Clare Crane, pg 9

¹⁵ Clare Crane, pg 7

¹⁶ Clare Crane, pg 12

¹⁷ 60 Years of C-3

¹⁸History of Citywide Plans, City of San Diego Official Website <https://www.sandiego.gov/planning/genplan/history>

¹⁹ Appleyard, Donald., Lynch, Kevin. Temporary Paradise? A Look at the Special Landscape of the San Diego Region: a Report to the City of San Diego. United States: Department of Urban Studies and Planning, Massachusetts Institute of Technology, 1974.

²⁰ C-3 San Diego - About

²¹ C3 Collection_Box @A_Folder 11-3_Board Meeting Minutes_1961-1969_OCR.pdf, available as SDHC

²² Meeting Minutes, October 3, 1964.

²³ Meeting Minutes, March 6, 1965.

In May 1966, CC published their special report *PARKS, ROADS and CABRILLO FREEWAY*.²⁴ The educational piece was a six-page overview of the history of the efforts to widen U.S. Highway 395 through Balboa Park, which included a connection to U.S. 101 via Maple Canyon Road through the canyon Park. By the late 1960s, persistent advocacy from C3 and allied groups convinced the City Council to dedicate Maple Canyon and other similar spaces as urban open space, blocking large-scale road development and establishing a precedent for canyon preservation across San Diego.

Today, Maple Canyon stands as a preserved urban canyon undergoing active restoration—rather than street construction—thanks to decades of citizen advocacy, open space legislation, and continued investment in habitat restoration, flood control, and public access improvements. The conclusion of the controversy not only protected the canyon, but helped enshrine canyon preservation as a key principle in San Diego’s planning and identity—a legacy directly linked to Lloyd Ruocco, C3, and the broader movement they inspired.²⁵

Historic Context: Ruocco’s Design and Urban Philosophy in C-3

Historical Development: Context and Broad Association

The Property sits at the very nexus of San Diego’s transformation into a city defined by its respect for natural open space and canyon topography. Its construction aligns with the pivotal rise of Citizens Coordinate (CC) and the birth of canyon protection as public policy. Whereas many would assume environmental groups would seek to completely stop development, CC was led by Ruocco’s vision that valued development just as much as open space, and therefore fought to balance the two. This philosophy changed the way San Diego valued and planned for its unique landscape through the public advocacy and work of CC. The fight to prevent a road through Maple Canyon, on which the Property is perched, was symbolic of the citywide movement that embraced canyon preservation as an essential urban value.²⁶

Landscape, Architectural and Aesthetic Development

Ruocco sculpted his buildings as living expressions of urban ideals—“his ideas and sensitivities of the city as a place to live and work and play...interlaced with green belts and environments for people”. The Property sitting on the hillside and interfacing with the canyon embodies this, exemplifying Ruocco’s ***applied professional standards and design ingenuity with the canyon landscape***. Ruocco and Delawie did not have a Landscape designer for the development of the Property, and as such, it exemplifies the professional applications of their design philosophy and ingenuity regarding the canyon landscape and arroyo integration.

The Property provided a model for balancing density and nature. Ruocco and Delawie’s design, thoroughly exhibiting careful navigation with the Maple Canyon Open Space and hillside with a subtle, yet clear, architectural design, stands in aesthetic and philosophical counterpoint to Los Angeles’ car-sprawl, as explicitly discussed in Ruocco’s unpublished manuscript “City, I am your child... fill me with life,²⁷” where he details his design and urban development philosophy.

Landscape: Legacy of Advocacy—C-3’s Enduring Impact

²⁴ Citizens Coordinate, Special Report: *PARKS, ROADS and CABRILLO FREEWAY*, May 1966, via San Diego History Center

²⁵ Clare Crane, 44

²⁶ Clare Crane

²⁷ Lloyd Ruocco, *City, I am your child... fill me with life*, via San Diego History Center

The Property is inseparable from its position at the birth of a new public planning ethic, championed by C-3. C-3's methods—surveying canyons with city staff, contesting urban encroachment, and advocating for canyon parks—has become the backbone for open space rules and specific planning practices adopted citywide.²⁸

This site-and-canyon embrace is not isolated. The 1979 City of San Diego Master Plan adopted language stating, “Open space lands are City-owned lands located throughout the City, consisting of canyons, mesas, and other natural landforms. This open space is intended to preserve and protect native plants and animals, while providing public access and enjoyment...” and this language remains in the City of San Diego General Plan.²⁹ The guiding design values of Ruocco's generation became the official city language—a testimony to the legacy the Property exemplifies and a confirmation of the sustained application of the design and urban development philosophy.

The official adoption of canyon preservation in city planning began in the late 1960s and 1970s, was accelerated by “Temporary Paradise?” in 1974, and is reflected in successive city master plans and park dedications. Many later city documents and open space legislation explicitly reference the ideas and advocacy work of C3 and Ruocco.

Conclusion

The Property is significant under Criterion A for its **exemplifying** the design and urban development philosophy of Lloyd Ruocco that was taught to Homer Delawie and the driving force behind early C-3 civil engagement as a **model for development** of an urban commercial building with open spaces and canyons. Lloyd Ruocco, as a founding member and visionary leader, shaped C-3's philosophy of urban design to be deeply rooted in respect for nature and the protection of San Diego's signature canyons. The Property offers a tangible and early illustration of these ideals, reflecting Ruocco's belief that architecture should “interlace with green belts and environments for people” and his call for “cities fit to live in” where buildings harmonize with natural topography rather than dominate it.³⁰

This ethos was not only influential in C3's initial campaigns—such as the fight to preserve Maple Canyon, adjacent to the property, from road development—but also became a core guiding principle adopted citywide in official plans, *Temporary Paradise?*, and subsequent city planning documents explicitly embraced canyon preservation as central to San Diego's identity and quality of life, a legacy continually attributed to Ruocco and C3's advocacy.

The Property stands in meaningful dialogue and contrast to Ruocco's celebrated Design Center, where his ideas were expressed without the influence of a client. The Property instead **reflects** the applied, moderate adoption of Ruocco's design principles, showcasing both visual restraint and exemplary navigation of its site adjacent to the Maple Canyon Open Space. It is a living demonstration of the city's transition—from car-centric expansion to landscape-integrated planning—ultimately marking a significant chapter in San Diego's history, aesthetics, landscaping, and architectural heritage.

Integrative Analysis—Historical/Aesthetic/Landscaping/Architectural

The Property exemplifies and reflects the design philosophies advocated by Lloyd Ruocco through C-3 that have made San Diego exceptional, and serves in itself as the model for development.

²⁸ San Diego Canyonlands. Enhancement Planning for San Diego's Canyons. Supporting Document No.1 February 10, 2016.

https://www.waterboards.ca.gov/sandiego/board_info/agendas/2016/Feb/item8/01_Item_8_SD1_Canyonlands_Overview.pdf

²⁹ City of San Diego, 2024 General Plan, Recreation Element, https://www.sandiego.gov/sites/default/files/2024-07/general-plan_07_recreation_july-2024.pdf, pg RE-8

³⁰ Clare Crane, pg 9

It reflects the Historic Development of the City of San Diego as an example of the shift to urban nature integration, and is directly associated with Llyod Ruocco, and thus C-3's, pioneering actions.

It exemplifies the Aesthetic Development of a design and landscape philosophy that melds urban development with open space, resisting sprawl by prioritizing site-responsiveness and "green belt" principles.

It servers as a model for Landscape Development with its design and siting with the canyon adjacency that was both a Ruocco hallmark and a launchpad for citywide interventions that were subsequently enshrined in official plans and dedications.

It exemplifies the Architectural Development as it transforms Ruocco's published and unpublished design and urban philosophies into practice: siting, scale, interface, and urban form all manifest his theory of "cities fit to live in," directly aligning with the criteria set forth in both historic resources law and San Diego's progressive planning legacy. The Property is a multifaceted resource that exemplifies the special elements of a major changes in San Diego's city planning and urban growth direction that was championed by C-3. Therefore, the Property does qualify for designation under Criterion A.

Criterion C: Architectural Style

Staff's REPORT NO. HRB-25-049, concedes that "As originally designed, the property displayed several primary and secondary character-defining features of the proposed International style,³¹" but proceeds to determine that the Property does not have cantilevered slabs or parapets, does not contain steel sash or casement windows, a limited expression of corner windows, and "does not exhibit a 'lack of applied ornament'" because of the use of the wood sunshade and wood skirt fence, and "Therefore, the property does not embody the distinctive characteristics of the International Style in its original design."³²

Staff's analysis and conclusion are misguided, flawed, and incorrect. Most notably, the Report's claim of the inclusion of "applied ornament" fundamentally misunderstands ornament as an architectural element. In architecture, Ornament is an expansive term that covers multiple types of decoration and embellishment. Encyclopedia Britannica begins its entry on architecture Ornament as follows (emphasis added):

Ornament**, in architecture, any element added to an otherwise merely structural form, usually for purposes of decoration or embellishment. Three basic and fairly distinct categories of ornament in architecture may be recognized: mimetic, or imitative, ornament, the forms of which have certain definite meanings or symbolic significance; **applied ornament, intended to add beauty to a structure but extrinsic to it; and organic ornament, inherent in the building's function or materials.³³

The difference between *applied* ornament and *organic* ornament is ignored by the Staff Report, but is critical for understanding Modernist Architecture. The modernist rejection of applied ornament originates in early American Modernist Louis Sullivan's articulation that "Form Follows Function," and his 1892 article "Ornament in Architecture" where he stated:

*...Both structure and ornament obviously benefit by this sympathy—each enhancing the value of the other. And this, I take it, is the preparatory basis of what may be called an organic system of ornamentation.*³⁴

This foundational idea will get continually revised and challenged by American Modernists and the International Bauhaus Modernists. Thus, not only is *organic* ornament an important idea to understand Modern Architectural Styles, but it is also a recognized defining feature used in Historically Designated International Style Buildings in San Diego, and all Modernist Buildings. In San Diego, good examples of *organic* ornamentation and not *applied* ornamentation can be found in Russel Forester's Park Prospect Condominiums (HRB: 992) and Llyod Ruocco's Clitsom Residence (HRB: 1949). The structure and flared columns of Forester's Park Prospect Condominiums show off an *organic* ornamentation running the full length of the building (Figure 1), and the metal security screen of the entrance illustrates how the use, function, and material of a building feature can be ornamental while still functional, in fact with the ornamentation intrinsic to the design (Figure 2 and Figure 3). The Modernist *organic* ornamentation is also seen in the metal sunshade in Ruocco's Donald and Gladys Clitsome/Lloyd Ruocco House (Figure 4). In this Ruocco project, an early version of his sunshade is not disqualifying, nor should it be, of it being an International Style home, as it is *Organic* Ornament, not *applied* ornament.

³¹ Staff Report No. HRB-25-049, pg 4

³² Staff Report, pg 4

³³ Encyclopedia Britannica, <https://www.britannica.com/technology/ornament>,

³⁴ Louis Sullivan, "Ornament in Architecture," Engineering Magazine, 1892, via https://archive.org/details/sim_industrial-management-1916_engineering-magazine_1892-08_3_5/page/640/mode/2up

The Property's wood sunshade and fence are both *organic* ornament, as their style is inherent to their function and material; a sunshade and parking screen fence made of wood. The Staff Report agrees that both items are working features. *Organic* Ornament cannot be *Applied* Ornament, as one has a function and the other does not, for Staff to suggest that functional features are *applied* ornament either indicates a willful conflict of terms to dismiss the Property, or an incomplete and flawed understanding of Modern Architectural Design.

The Staff Report's analysis and dismissal of the Property as an International Style building also rests on the minimal use of corner windows, the lack of a parapet or cantilever slabs at the roof, and the lack of casements or sash windows.

Character-defining features of an architectural style are intended to be used to discern which style a building is. If a resource has only 2 out of 8, it can still be that style. In the case of the International Style, the Staff Report's Analysis would require the conclusion that the Villa Savoye, Le Corbusier's defining example of the International Styles, must be dismissed along with the subject Property. The Villa Savoye, as seen in Figure 5, Figure 6, Figure 7, and Figure 8, features window bands of mostly sliders, with some awning or central pivot windows, window bands lack that corner any window, and has no cantilevered roof overhang or parapets. In fact, the Villa Savoye contains many design choices that are seen in the subject Property; the building telegraphs its column structure through the window bands, and features vertical circulation to one side, and even features *organic* ornament with articulated windows and shades on the lower level to create both privacy and shade.

Thus, it can be clearly seen that the Property not only displays several primary and secondary character-defining features of the International Style, as even the Staff Report Agrees, but the features considered lacking to a disqualifying extent by the Staff Report, are either in line with one of the most famous International Buildings, or conflate architectural ideas, as with *organic* and *applied* ornament.

As an influence on the main International Style Design, the Post and Beam Architectural Style's character-defining features are limited in embodiment and expression, but are clear and distinct across the exterior of the building and its use. The Staff Report's claim that "The steel frame is only visible at the garage level and below, and was further obscured by the wood skirt fence in its original design³⁵" is not true and also minimizes the importance of the garage level. Modernist buildings cannot only be considered from a single elevation, otherwise, Post and Beam residences that extend over a hillside or are hidden behind a fence would cease to count. Often in Post and Beam style buildings, their structure is revealed on the rear/private side.

The parking level is a highly trafficked area, serving as the arrival point for staff and customers not arriving on foot or by public transit at the east elevation's entrance. The expression and clarity of the structural system in the parking lot is not obscured from public view, either. As the Property sits on the edge of Maple Canyon and navigates the steep drop-off of the hillside, a common and important feature of Post and Beam buildings,³⁶ the structural system is clearly visible and exhibited on all sides, and exterior paths of travel. The parking lot and lower structural system can be seen from First Avenue from both the north and south approach(), as well as from down in Maple Canyon (Figure 18 and Figure 19), one of San Diego's highest-trafficked open spaces. The steel frame is not observed by the wood skirt fence, and is clearly visible even in pre-unpermitted demolition photos of the east elevation. The Report's lack of consideration for the expression of the structural system in the stucco expansion joints, reveals an inability to counter this minimal but consistent expression of the structural system through functional details that create *organic* ornament across the building. The Post and Beam influence on the

³⁵ Staff Report, pg 5

³⁶ San Diego Modernism Historic Context, pg 68

Property is limited, and as a stylistic influence on the building, not the main style, this limited embodiment that Staff admits is there, is all that is needed.

Finally, there needs to be consideration of the extent of the alterations and the Property's rarity and uniqueness when understanding the historic significance of the building. While the Staff report asserts it is only analyzing the Property in the post-unpermitted demolition condition, it does claim that:

"Additionally, if the building did embody the distinctive characteristics of International or Post-and-Beam style, the modifications detailed at the beginning of the analysis section of this report degraded the building's expression of its architecture and resulted in a loss of integrity of materials, design, and workmanship."³⁷

Which is either ignorant of or ignores precedent set by Historic Staff in San for the consideration of rare examples of a Master Architect's Work that has undergone alterations, and an understood allowance for reversible changes.

The City of San Diego *HRB Criteria Guidelines* discusses condition's relationship to integrity, noting that only "if a resource is in such poor condition that original materials and features may no longer be salvageable, then the resource's integrity may be adversely impacted."³⁸ Historic Staff has established further precedent for the consideration of rare examples of a Master Architect's Work that have undergone alterations, with an understood allowance for reversible changes. A clear example of the implementation of this precedent is the only International/Post and Beam Building in San Diego; The Oxley House (HRB: 368), which is a rare example of the work of a Master Architect, heavily modified, and moved on its site. Even with these changes, Staff maintained that the reversible changes did not impact integrity, and that it being a rare extant example was significant, stating:

The changes that have occurred since its original construction are the elimination of some of the signature details of Neutra's work. All of these changes are reversible.... Although there are a number of modifications to the original structure, staff believes that the basic layout and function, as well as the ambiance and feeling, of the residence remain intact."³⁹

And

Staff Recommendation: APPROVE the historic designation of the Oxley house, designed by famed master architect Richard Neutra in the California Modern style due to its exceptional importance as one of two extant examples of his work in the city of San Diego. Although altered since its original construction, the structure continues to exude the feeling of Neutra's indoor/outdoor philosophy of space and living as well as retaining its original sensitive and studied siting. Further, within the exterior walls of the building, the changes are of a minor nature."⁴⁰

This is further reiterated by the HRB in the designation resolution that states:

*Designated based on the following findings: The house, designed by famed master architect, Richard Neutra in the California Modern style, **is of exceptional importance as one of two extant examples of his work in the city of San Diego.** Although altered*

³⁷ Staff Report, pg 5

³⁸ City of San Diego Historical Resources Board. "Guidelines for the Application of Historical Resources Board Designation Criteria." p 3

³⁹ <https://sandiego.cfwebtools.com/images/files/SR%20368.pdf>, pg 9

⁴⁰ <https://sandiego.cfwebtools.com/images/files/SR%20368.pdf>, pg 10

since its original construction, the structure continues to exude the feeling of Neutra's indoor/outdoor philosophy of space and living as well as retaining its original sensitive and studied siting. Further, within the exterior walls of the building, the changes are of a minor nature.⁴¹

This precedent is further reiterated in the Modernism Historic Context for International Style buildings, which notes that “some impact or loss to character defining features may be acceptable when comparative analysis demonstrates that the resource is a rare example of the type.”⁴² A rare example of a building style is allowed more alteration or loss of Character Defining Features than a common one, particularly when the features are salvageable.

All lost features of the Property can be easily restored and “salvaged,” particularly those impacted by the April 2025 unpermitted demolition activities. Those features lost in 2025 can be easily salvaged and restored with evidence-based reference to the still extant sections of the features that remain on the building, documentation of the structure in the nomination report, and the original architectural drawings on file with the City of San Diego Planning Department’s Records Department, as well as any other documentation created by the owner in preparation for the demolition activity. The East elevation entry that was altered for ADA is also restorable, if desired, based on historic photos, the original architectural drawings, and any ADA alteration demolition documents on file at the City of San Diego Records Department.

The original Nomination Report incorrectly described the roof-mounted, mechanical equipment blind screen as a “parapet.” The equipment blind did not act as a wall or railing for those on the roof, nor did it run the entire perimeter of the roof. The original architectural permitted drawing’s Site plan provided by the City of San Diego Planning Records Department (Figure 20) shows that the roof equipment blind that hides the AC units was not part of the original design or permit, instead, there are individual screens around the mechanical equipment along the eastern end that have been marked out. The equipment blind is not seen on any of the other original architectural sheets reviewed, and is not part of the building’s structure or framing.⁴³ Further, the County Building Record shows that the AC system was permitted 8 months after the architectural permit, and the equipment blind is earliest seen in a 1963 aerial, where it clearly sits back from the exterior edge of the building and extends along just the north and east sides of the roof to hide the mechanical equipment from view. An undated 1960s Aerial of downtown San Diego, dated to no later than 1967, reiterates this location of the mechanical equipment blind (Figure 21). No evidence has been uncovered that the AC and equipment blind removed as part of the 1970s reroofing was original to the Property.

Finally, the Staff Report states “However, staff disagrees with this finding and does not find the property to rise to the level of significance to be individually eligible as a good example of any architectural style.”⁴⁴ The San Diego Historical Resources Guidelines states Criterion C applies to a resource that “**Embodies** distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship.”⁴⁵ The Staff Report’s requirement that the Property is a “good example” is in direct conflict with this. There is no requirement for the Property to be a “good example,” and this is further reiterated in the *City of San Diego Historical Resources Board, Guidelines for the Application of Historical Resources Board Designation Criteria*, which states:

⁴¹ <https://sandiego.cfwebtools.com/images/files/368%20reso.pdf>

⁴² San Diego Modernism Historic Context, pg 59

⁴³ Due to copyright restrictions, only the site plan sheet of the original architectural drawings is releasable to the public and included in the nomination report and this addendum. The property owner may obtain copies of these drawings and provide them to the Board to review if desired.

⁴⁴ Staff Report, pg 4

⁴⁵ San Diego Municipal Code, Land Development Code, Historical Resources Guidelines, Adopted September 28, 1999, Amended July 30, 2024 by Resolution No. R-31573, <https://www.sandiego.gov/sites/default/files/2025-01/historical-resources-guidelines.pdf>, pg. 12

"It is important to note that Criterion C states that a resource embody the distinctive characteristic of a style, type, period or method of construction; it does not state that the resource must be a unique or distinguished example of a style, type, period or method of construction."⁴⁶

The Property embodies the distinctive characteristics of the International Style of Modern Architecture, and exhibits the influence of the Post and Beam style through several Character Defining Features.

The Staff Report's claim that "...the property does not embody any specific architectural style evaluated under the 2007 San Diego Modernism Historic Context Statement..."⁴⁷ is particularly troubling, as it would suggest an incredible gap and hole in the 2007 San Diego Modernism Historic Context Statement, that the work of two Modernist Master Architects cannot be categorized into any architectural style it contains. If, as the Staff Report claims, the International Style and Post and Beam Style are not embodied in the Property, it can be attempted to analyze the building as an example of the Contemporary Style. The Modernism Historic Context Statement notes:

...the Contemporary style was ubiquitous in San Diego during the 1950s and 1960s as a style for commercial buildings and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms, especially on free-standing commercial buildings. Signage for street front commercial buildings in the Contemporary style was generally large, with bold free-standing letters attached to building façades that were frequently lighted in order to attract passing motorists. For Contemporary buildings with private parking lots such as grocery stores, signage was frequently taller and rose above the building itself, serving as a beacon in large parking areas."⁴⁸

Primary Character-Defining Features of the Contemporary Style

- ✓ Strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs
- ✓ Large windows, often aluminum framed
- ✓ Non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone and mullion-free Glass

Secondary Character-Defining Features of the Contemporary Style

- Angular massing
- ✓ Sun shades, screens or shadow block accents
- Attached garages or carports for homes
- Split-level design, especially on sloped residential sites
- ✓ Horizontally oriented commercial buildings
- Distinctive triangular, parabolic or arched forms
- "Eyebrow" overhangs on commercial buildings
- Integrated, stylized signage on commercial buildings

The Property exhibits most Primary Character Defining Features of the Contemporary Style with a strong flat roof with a deep overhang, aluminum framed windows, and an exterior finish of stucco, and two of the Secondary Character Defining Features with sunshades and horizontal orientation as a commercial building. The building is notably lacking many Secondary Character Defining Features, particularly those

⁴⁶ City of San Diego Historical Resources Board, Guidelines for the Application of Historical Resources Board Designation Criteria, <https://www.sandiego.gov/sites/default/files/legacy/planning/programs/historical/pdf/201102criteriaguidelines.pdf>, PG. 20

⁴⁷ Staff Report, pg 8

⁴⁸ San Diego Modernism Historic Context Statement, pg 75

related to Commercial projects. There are just as many missing Character Defining Features as the Post and Beam Style.

While the Property contains elements of the Post and Beam style of architecture, the dominant architectural style is the International Style. The Property contains the *International Style's Primary character-defining features* of a flat roof, a lack of *applied* ornament, horizontal bands of flush window, and asymmetrical facades; and the *Secondary character-defining features* of Square corners, exterior concrete and stucco materials, and corner windows. The Property exhibits the *Post and Beam Style's character-defining features* of an expression of the steel frame structural system, horizontal massing, a flat roof with deep overhang created by the wood sunshade, and the absence of *applied* decoration.

The Property does not feature “*applied* ornament,” but rather *organic* ornament, as is consistent with the Modernist Architecture Movement. The building cannot be dismissed as an International Style building due to the minimal use of corner windows, the lack of a parapet or cantilever slabs at the roof, or the lack of casements or sash windows. The minimal expression of Character Defining Features of an architectural style is still an expression of those features and should be used to discern which style a building is. The minimal use or absence of these features is seen in other, archetypal, International Style buildings. Further, the expression of the International Style cantilevered roof parapet is adapted into the wood sunscreen as the building points toward the Post and Beam style's influence. The influence of the Post and Beam Style is seen in minimal expression of the style through the clear expression of the structural system, beyond the exposed steel frame at the parking level and below, the vertical structure of the building transitions from the foundation structural posts into a score mark in the stucco façades. These score lines align with frames in the window bands on the north and east elevations and are continuous over the entire south elevation stucco wall. This expression of the structure is not overt or comprehensive; therefore, the Property is an embodiment of the Mid-century Modern International Style of Architecture with influences of the Modernist Post and Beam substyle.

Criterion D:

To respond to the Staff Report's criticisms of the Nomination Report, this addendum revises and expands the Historic Contexts for Lloyd Ruocco, Homer Delawie, and their Collaboration and responds to Staff Report's specific critiques of the Criterion D Significance Analysis.

Historic Context: Lloyd Ruocco (1907-1981)

Lloyd Ruocco is widely regarded as one of San Diego's most significant and influential architects, as well as one of the area's foremost pioneers of Modernism. Born in Portland, Maine in 1907, his family eventually settled in San Diego in 1923.⁴⁹ While attending San Diego High School, Ruocco received his first architectural job from Richard Requa in 1926⁵⁰, and he continued to work there while taking drafting courses at San Diego State College with Lillian Rice.⁵¹ While working at Requa and Jackson he gained experience as a draftsman and became familiar with the Revivalist architectural styles popular at the time.

At the encouragement of both Requa and Rice, Ruocco transferred UC Berkley to study and major in Architecture.⁵² There he was exposed to the work of leading Modernists like Le Corbusier, Walter Gropius, Mies Van der Rohe, and Frank Lloyd Wright, which he preferred over the Beaux Arts tradition.⁵³ As recorded in the *Historical Assessment Of The Don And Rita Keller/Lloyd Ruocco House*, his classmate C.J. Paderewski, FAI, once recounted:

*" ... we had to study the classics, and the top men in architecture all have had a foundation in the classics. Lloyd thought we wasted too much time on them. He was always trying to do something toward the modern Lloyd sticks strictly to the modern." Ruocco was said to have considered Wright "the undisputed genius of the architectural world with his poetic and somewhat mystical sense of design," but also believed that for everyday living "the trend of architecture generated by Le Corbusier, with its functional eclecticism, imagination and classical proportion, and the intellectual abstemiousness in the work of Mies Van Der Rohe, is more practical."*⁵⁴

Ruocco returned to San Diego after graduating from Berkeley in 1933 and continued to work at the offices of Requa and Jackson. Ruocco's early work included exhibits for the 1935 California Pacific International Exposition. Shortly thereafter, Ruocco set out on his own with the goal of bringing cutting-edge Modernism to post-war San Diego. He became a licensed architect in 1937 and designed the 1938 South Park Neighborhood "Clitsome Residence" (HRB # 1491) in the International style.⁵⁵ During the 1940s and 1950s, Ruocco designed many residences and public buildings throughout San Diego County, a number of which are regarded to be some of the area's best examples of post-war Modernism. Perhaps the most notable of his work is The Design Center (HRB 434), which he designed in 1949 to serve as an office for his own architectural firm, as well as office and studio space for his wife Ilse's interior design business. As part of the Lloyd Ruocco Design Center, Lloyd Ruocco mentored many younger architects, including Homer Delawie who would become a partner at the firm briefly from 1958-1961.⁵⁶

⁴⁹ City of San Diego Historical Resources Board, "Biographies of Established Masters," 2020, 51

⁵⁰ Todd Pitman, "Influence | Lloyd Ruocco Archive," 2021, <https://www.lloydruocco.com/influence>

⁵¹ Todd Pitman, edited by Keith York, "Lloyd Pietrantonio Ruocco," 2024, <https://modernsandiego.com/people/lloyd-ruocco>

⁵² Ibid

⁵³ "Biographies of Established Masters," 51

⁵⁴ Scott A. Moomjian, "HISTORICAL ASSESSMENT OF THE DON AND RITA KELLER/LLOYD RUOCCO HOUSE, 1433 PUTERBAUGH STREET SAN DIEGO, CALIFORNIA 92103." July 2007.

https://sandiego.cfwebtools.com/images/files/HRB%20911_Optimized1.pdf, 12

⁵⁵ Nomination Report for Donald and Gladys Clitsome/ Lloyd Ruocco Residence, Heritage Architecture & Planning, 2022, https://sandiego.cfwebtools.com/images/files/HRRR_Clitsome_Ruocco_2228%2033rd_compressed.pdf

⁵⁶ Todd Pitman, edited by Keith York, "Lloyd Pietrantonio Ruocco"

Ruocco's early work was stylistically most similar to the organic design style, and by the early 1950s his work began to shift to a more simplified spatial design incorporating steel, concrete, glass, and wood.⁵⁷ As his career went on, Lloyd Ruocco became one of the modernist architects who established the Post and Beam Style in San Diego; a style that created a spaciousness that opened the building up and blended interior space with the outdoors. His personal style used lots of glass to create visual transparency while also including small private spaces, and his exteriors had flat roofs with wide overhangs. Redwood dominates Ruocco's designs, and is seen in full-height fine cabinetry, walls and ceilings, and structural systems. His designs included intricate landscapes, and Ruocco would locate his buildings on the site, particularly his residential designs, to take advantage of the natural features of the terrain.⁵⁸ He is a recognized Master Architect by the City of San Diego and nine works of his are designated as a historic resource in the City of San Diego as of October 2024.

Ruocco's portfolio of projects is dominated by residential projects, and his non-residential work makes up under a third of his confirmed body of work, but are just as important along with his civic leadership and activism.⁵⁹ Following his partnership with Homer Delawie and world travels, Ruocco began to focus on city planning efforts and civic activism while continuing to work on residential and commercial projects.⁶⁰ His civic engagement efforts included establishing "C-3," now known as *Citizens Coordinate for Century 3*. Ruocco's outspoken articulation of the need for the voice of the public in the planning of San Diego provided the inspiration for Dorothea Edmiston and Esther Scott to transform his discussion group into the organization that would meet regularly at The Design Center and the Ruoccos' home. Established in 1961, the same year as Ruocco's "The Arts: Public Weapon for Progress" speech to the League of Women Voters, *Citizens Coordinate For A Handsome Community* became *Citizens Coordinate for Century 3* in 1969.⁶¹

Lloyd Ruocco historian Todd Pitman notes that:

*Ruocco believed that no level of architectural genius could equal the beauty of San Diego's natural landscape... Unlike most architects who came before him, Ruocco did not feel the need to build his ego with grand architectural statements, buildings that impressed and were impossible to miss. He believed that as an architect he had a responsibility[sic] to the people, that the building's impact on the land should be as minimal as possible, and that it should be the experience of those who live and work within the structure that matters. Further, he believed structure obscured that which is most grand (see trees, birds sky above). To this point many of Ruocco's works are invisible from the street, that is to say they cannot be seen by simply passing by.*⁶²

Abbreviated list of Designated Works:

- HRB 1491, Donald and Gladys Clitsome/Lloyd Ruocco House, 2228 33rd ST (1938)
- HRB 911 James Don & Rita H. Keller/Lloyd Ruocco House, 1433 Puterbaugh Street (1948)
- HRB 434 The Lloyd Ruocco Design Center, 3601-3635 Fifth Avenue (1950)
- Ruocco Residence #2, aka "Solari", 5481 Toyon Road, Alvarado Estates (1956)
- Amrein Residence, 5020 Yerba Santa Drive, Alvarado Estates (1956).
- The Institute of Geophysics and Planetary Physics at Scripps Institution of Oceanography, UCSD (1964)
- HRB 1494, Jerome and Joyce Shaw/Lloyd Ruocco House, 7245 Rue de Roark (1966)

⁵⁷ Ibid

⁵⁸ "Biographies of Established Masters," 51-52

⁵⁹ Of the 150 confirmed Ruocco Projects listed at www.llyodruocco.com, 41 are non-residential, with that number including unbuilt projects. https://www.lloydruocco.com/_files/ugd/b92eb7_d61268329a9c4aa08cacfb990da6d1f.pdf

⁶⁰ <https://www.lloydruocco.com/project-list-1>

⁶¹ www.c3sandiego.org/60Years#DigitalTimelines

⁶² Todd Pitman, *Lloyd Ruocco, San Diego's Invisible Modernist*. <https://www.sohosandiego.org/reflections/2005-2/ruocco.htm>

- HRB 1511, Dr. Paul A. Libby/Lloyd Ruocco House, 7846 Esterel Dr (1967)

Historic Context: Homer Delawie (1927-2009)

Homer Delawie, FAIA, is considered to be one of San Diego's most renowned Modernist architects. Born in Santa Barbara, CA 1927, Homer Delawie served in the US Navy during WWII and worked as a firefighter with the US Forest Service before attending California Polytechnic College in San Luis Obispo, where he was part of the first group of graduates from its School of Architecture.⁶³ He developed an interest in modern architecture while studying at CalPoly S.L.O. and was particularly excited by the works of Mies van der Rohe, Richard Neutra, and Phillip Johnson.⁶⁴

After graduation, Delawie received his license to practice architecture and, in 1956,⁶⁵ he came to San Diego to work for Lloyd Ruocco and was made a partner after only a year and a half in 1958. In 1958 the firm became Ruocco & Delawie. After just three years, however, Delawie left the partnership and started his own firm in mid-1961. The City of San Diego considers his work to mainly be in the Contemporary and Post and Beam Styles.⁶⁶ Delawie's work

Homer Delawie and his firm went on to design a number of San Diego's most recognizable landmarks, such as Plaza de Balboa and the Bea Evenson Fountain, buildings for the San Diego Zoo, Sea World, UCSD, and the Mills Building & Clock Tower downtown.⁶⁷ Delawie won over 65 design awards over his career, received numerous honors, and citations for his designs, including a Lifetime Contribution Award from the AIA California Council in 1997.⁶⁸ Homer Delawie was also heavily involved in the community and was a strong advocate for historic preservation.⁶⁹ He served on SOHO's first board of directors, the San Diego Historical Resources Board, and the city's Planning Commission. He is a recognized Master Architect by the City of San Diego. Ten of his works are designated as historic resources in the City of San Diego.⁷⁰

Abbreviated list of Designated Works:

- HRB 1441, Delawie #1/Boxcar House, 1773 Torrance ST (1958)
- HRB 844 Louis & Bertha Feller/Homer Delawie House, 3377 Charles Street (1962)
- HRB 905 Delawie Residence II, 1833 Neale Street (1963)
- HRB 1105 Russell and Rosemary Lanthorne/Homer Delawie House, 7520 Mar Avenue (1963)
- HRB 845 Delawie Residence III - The Village, 2749 Azalea Drive (1973)
- San Diego County Historical Resource #2006-002 Goldzband Residence (4709 La Rueda Drive, La Mesa; 1964)

Historic Context: Ruocco & Delawie (1958-1961)

In 1958, Lloyd Ruocco proposed to Homer Delawie to join in partnership. Ruocco was beginning to plan for extended international travel in 1960 and 1961, and the partnership would allow Delawie to run the firm as a licensed architect while Ruocco was away.⁷¹ By 1958, the practice became "Ruocco & Delawie," and it worked on multiple projects before Delawie left to start his own firm by mid-1961.⁷² Delawie's departure ended what was a unique and notable period in the career of both architects, which, due to

⁶³ Keith York, "Homer Delawie," 2024, <https://modernsandiego.com/people/homer-delawie>

⁶⁴ "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Via <https://archive.org/details/homerdelawiefai0000unse.p.6>

⁶⁵ Keith York, "Homer Delawie,"

⁶⁶ "Biographies of Established Masters," 12

⁶⁷ Laura Walcher, "Legendary architect Homer Delawie dies," San Diego Uptown News, September 30, 2011. <https://sduptownnews.com/legendary-architect-homer-delawie-dies/>

⁶⁸ Ibid

⁶⁹ Ann Jarmusch, "Homer Delawie, 1927-2009," Save Our Heritage Organization, http://www.sohosandiego.org/reflections/2010_1/homer.htm

⁷⁰ "Biographies of Established Masters," 12-13

⁷¹ Todd Pitman, edited by Keith York, "Lloyd Pietrantonio Ruocco"

⁷² Tod Pitman, "Influence | Lloyd Ruocco Archive"

its brief existence, produced a limited but important body of work. The sudden end of the partnership can be seen in both Ruocco and Delawie's use of old "Ruocco & Delawie" title blocks after the partnership split, with each using the same preprinted sheet but blocking out the other's name.⁷³

Ruocco and Delawie collaboratively designed both residences and commercial buildings throughout San Diego, including the historically designated Jackson Johnson House (HRB 1228) in La Jolla Shores and the Park Garden Apartments (HRB 1271) overlooking Balboa Park. Four properties are designated as historical resources in the City of San Diego as notable works of both Master Architects Lloyd Ruocco & Homer Delawie, all of which are residential projects.

The collaboration had a tremendous impact on the Architects. For Ruocco, it's known that "Homer Delawie brought an entrepreneurial spirit to the firm, and where Ruocco had focused on commercial and custom residential commissions, Delawie carried the firm even further towards mass market applications."⁷⁴ Despite the brevity of the collaboration, Lloyd Ruocco historian Todd Pitman notes that this period was one of the most productive periods of Ruocco's career.⁷⁵

The San Diego Modernism Historic Context Statement articulates the impact of their collaboration on Delawie by noting:

In the three years that Delawie worked at the Design Center, he worked on the Channel 10 station, designed his own projects, and ran the firm for a year while Lloyd Ruocco was in Europe. Perhaps most importantly, Delawie was exposed to the idea of the importance of respect for the environment in an architectural design. This was a major tenet of Post and Beam Modern design, and over the years Delawie would expand on this idea to suit his creative ideas, keeping in mind basic elements of respect for the terrain, respect for the climate, and a simple architectural design.⁷⁶

Homer Delawie's time with Ruocco as both employee and partner is credited for his exposure to Post and Beam's major tenet of respect for the environment in an architectural design⁷⁷ and cited it himself as an important influence on his own style's development.⁷⁸

Both Ruocco and Delawie worked on a variety of projects which included residential, institutional, commercial, religious, educational and civic buildings. Although both architects designed many single-family homes in San Diego there are very few examples of their work in commercial and non-residential buildings.

Designated Works:⁷⁹

- HRB 1340 Ruth Smith and Louise Neece / Lloyd Ruocco and Homer Delawie Duplex, 8015-8017 El Paseo Grande (1960)
- HRB 1271 Park Garden Apartments/ Lloyd Ruocco and Homer Delawie Building, 1740 Upas Street

⁷³ <https://www.lloydruocco.com/project-list-1>

⁷⁴ Todd Pitman, Ruocco Delawie Rediscovered. <https://www.lloydruocco.com/post/ruocco-delawie-rediscovered>

⁷⁵ Todd Pitman, "Ruocco Delawie Rediscovered," July 30, 2018, <https://www.lloydruocco.com/post/ruocco-delawie-rediscovered>

⁷⁶ San Diego Modernism Historic Context Statement, pg 87

⁷⁷ San Diego Modernism Historic Context Statement, pg 87,

⁷⁸ HISTORICAL NOMINATION Of Delawie Residence I, 1773 Torrance Street. Kiley Wallace. <https://sandiego.cfwebtools.com/images/files/CR%201773%20Torrance%20Street.pdf>

⁷⁹ HRB 1297 Robert and Alma Lard/Homer Delawie and Lloyd Ruocco House, 2218 Vallecitos, La Jolla (1965) is listed by San Diego CHRID as being designated under Criteria D as a notable work by Master Architects Homer Delawie and Lloyd Ruocco, however, the designation resolution only designates the property under Criteria D as a notable work by Master Architect Homer Delawie.

(1960)

- HRB 1228 Jackson Johnson III/ Lloyd Ruocco & Homer Delawie House, 8272 El Paseo Grande (1961)

Criterion D: Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman.

Significant. Millman & Campbell/ Ruocco & Delawie Building is significant under Criterion D. The resource was designed by Master Architects Lloyd Ruocco & Homer Delawie and represents a notable and rare *commercial* example of the early collaborative work of Master Architects Lloyd Ruocco & Homer Delawie. The Property exemplifies the combined influences each architect had on the other, as well as their interests in the International Modern Style and the Modern Post and Beam substyle, a genre with which both architects would become highly associated. Finally, the notable occurrence of a different Ruocco & Delawie Title Block used for the project's architectural sheets and the appearance of both Master Architects' licenses on the permit are notable and highly unique among an already rare group of projects, extant or otherwise, and date the subject property is one of their earliest known collaborative projects.

The Property's rarity and uniqueness must be understood to establish the historic significance of the building. The Staff Report does not contest that the building is a rare example of Ruocco & Delawie's known, collaborative commercial work, only that it is not representative of their notable work. The City of San Diego's *HRB Criteria Guidelines* state that, when applying Criterion D "A resource must express a particular phase in the development of the master's career, an aspect of his/her work, or a particular idea or theme in the craft..."⁸⁰ The Property is the only expression of a commercial project during the collaboration of Master Architects Lloyd Ruocco and Homer Delawie in the City of San Diego. Further, the Property demonstrates an architectural design representative of the work, styles, and philosophies of both Architects at this time, and that informs their work moving forward.

Over the short span of their collaborative work, only a few commercial projects were built. There are seven known commercial Ruocco & Delawie projects in total, they are:

Name	Address	Year	Original Program	Status
Niewenhous, Dr. T.H. Medical Building	104 I St Brawley CA	1959	Medical Building	Non-extant
San Diego Medical Center	Frost St San Diego CA	1959	Medical Center	Non-Extant
Millman & Campell Medical Office Building	2666 1st Street San Diego CA	1959	Medical Office Building	Extant
Charles Hair Stylist Beauty Salon	College Grove Shopping Center, Space B-20 ⁸¹	1960	Beauty Salon	Non-Extant
Medical Center "Gifford Enterprises"	El Cajon at 71 st ,	1960	Medical Center	Unbuilt
Security First National Bank	9250 Mission Gorge Rd, Santee CA	1961	Bank	Extant
University City Civic Center	University City, San Diego, CA	1961	Civic Center	Unbuilt ⁸²

⁸⁰ Guidelines for the Application of Historical Resources Board Designation Criteria, 2009, pg 28

⁸¹ Todd Pitman, edited by Keith York. "Lloyd Pietrantonio Ruocco."

⁸² Todd Pitman, edited by Keith York. "Lloyd Pietrantonio Ruocco."

Of these seven, two were never built, one was an interior design for a shop at the College Grove Shopping Center that was demolished in the early 2000s, one was demolished in 2004, and two are located outside of the City of San Diego, only one of which is extant. Only the Property remains of the Ruocco & Delawie commercial projects in the City of San Diego, making it particularly representative of their notable collaborative commercial work, as it is the only representation left.

The only other extant Ruocco & Delawie commercial building is the International Style Security First National Bank at 9250 Mission Gorge Road in Santee, CA.⁸³ Completed in 1961 at the end of their partnership, the stucco-clad, flat-roofed, commercial building heavily draws on the International Style but does not contain the design quality or careful incorporation of Post and Beam Style elements that set the Millman & Campbell/ Ruocco & Delawie Building apart. (Figure 22 and Figure 23) However, the buildings clearly demonstrate that Ruocco and Delawie used the International Style in their commercial building design.

The Staff Report contends that the Property “...does not reflect International or Post-and-Beam designs that Ruocco and Delawie are notable for. Thus, this property is not representative of Ruocco & Delawie’s notable work and is not eligible for designation under HRB Criterion D.” In addition to this claim being based on a flawed analysis of the Property’s architectural style as previously shown, the Staff Report does not stand up to scrutiny because the three historically designated *residential* projects by Ruocco and Delawie are all in the *Modern Contemporary Style*, already a departure from and in high contrast to Ruocco’s Post and Beam non-residential work, as seen in the IGPP and the Design Center.

Staff’s claim that the only representation of Ruocco & Delawie’s collaborative commercial work is not notable because it does not fit the desired historical narrative ignores the fact that the other designated collaborative works of Ruocco and Delawie are all Contemporary Style residential Buildings and represent a different aspect of their work. The Property is the only expression of a commercial project during the collaboration of Master Architects Lloyd Ruocco and Homer Delawie in the City of San Diego. Further, the Property demonstrates an architectural design representative of the work, styles, and philosophies of both Architects at this time, and that informs their work moving forward, and when compared to the other extant commercial building located outside of the City of San Diego is understood as a representation of the work of the two Master Architects.

Staff’s conclusion that the Property does not fit the desired history and narrative, and must therefore be insignificant, is flawed. Instead, as a commercial project, the Property fills a gap in our knowledge of Ruocco and Delawie’s body of work. Ruocco’s Design Center is currently the only commercial project designated by either Lloyd Ruocco or Homer Delawie. The subject property helps fill this massive gap in our knowledge, understanding, and preservation of their design work. While Homer Delawie’s residential style is dominated by Post and Beam buildings, a brief review of the non-residential (Civil, Educational, Military, etc.) projects included in his 2002 folio, *Homer Delawie FAIA*,⁸⁴ reveals that none of the non-residential projects are done in the Post and Beam Style (Figure 24 through Figure 30). The subject Property establishes a theme for commercial buildings that contrasts with Delawie’s Post and Beam residential architecture.

The brief collaboration of Ruocco and Delawie from 1958 to 1961 was a unique and notable period in the careers of both architects, marked by a relatively limited body of work.⁸⁵ The collaboration had a fundamental impact on the designs of both Ruocco and Delawie, as discussed earlier. The Property is

⁸³Todd Pitman. Lloyd Ruocco Archive.

https://www.lloydruocco.com/_files/ugd/b92eb7_d61268329a9c4aa08cacfb990da6d1f.pdf

⁸⁴ “Homer Delawie, FAIA,” Architect | Delawie Wilkes Rodrigues Barker, 2002. Via

<https://archive.org/details/homerdelawiefaia0000unse>.

⁸⁵ Todd Pitman, “Project List | Lloyd Ruocco Archive.” Lloyd Ruocco Archive. <https://www.lloydruocco.com/project-list-1>

representative of the notable work of Master Architects Ruocco and Delawie, as it illustrates the combined influences each architect had on the other and the development of the Modernist Post and Beam architectural style from the International Style of the early 20th-century modernists both were known to prefer at the beginning of their careers.

Lloyd Ruocco historian Todd Pitman notes that most Ruocco & Delawie projects had one of the two Master Architects serving as Lead Designer and used a unique and larger title block differentiated from the previous one used by Ruocco. The appearance of both Ruocco and Delawie's architecture license numbers and the different title block for the Ruocco & Delawie firm used in the subject property is a notable occurrence and highly unique among the already rare examples of Ruocco & Delawie projects, including those designated. The use of the title block indicates that this may have been one of the first collaborative projects by Ruocco & Delawie. Todd Pitman notes that he "...can confirm that I have not seen this particular title block used before. Seems clear this was one of the first, if not the first, project done by the Ruocco Delawie partnership."⁸⁶

The 1961 fence permit notes that Ruocco & Delawie were the architectural firm for the project, but that fact that it is signed by Ruocco in mid-1961, at the same time Delawie was departing to start his own firm with many of the staff, suggests that the fence along the front of the building was one of the final projects of the collaborative firm, and shows the difference of relationship between the two Master Architects at either end of their collaboration.

The use of aluminum windows instead of steel or other larger windows in the Millman & Campbell/ Ruocco & Delawie Building is indicative of this push of Delawie's to incorporate mass-market and standard off-the-shelf materials that were cheaper while maintaining the visual impact of unpainted steel. Ruocco's signature interior finishings are also notably absent in this commercial project, and the County Assessors record notes that parts of the interior were even unfinished at the time of the building's completion. These mass-market adoptions, however, did not impact the quality of design, and the subject property is a unique combination of the International and Post and Beam Styles of Architecture. The transitional movement seen from the International Style to the Post and Beam styles is notably unique and offers a rare opportunity to understand the connections between the internationally renowned International Style and the San Diego locally recognized Post and Beam style of Modernism.

The building's wood sunshade overhang comes from The Lloyd Ruocco Design Center (HRB 434), and the 1961 horizontal band of wood that wraps from the east to south elevation gestures toward the dominant use of wood as a finish in Post and Beam Designs while the rest of the structure embraces the simple band windows of the International style. The Millman & Campbell/ Ruocco & Delawie Building's use of a projecting wood sunshade directly connects the International Style's cantilever slab roof and Post and Beam sunshade when understood in the context of the Master Architects' larger works. Lloyd Ruocco's 1938 International Style residence *The Donald and Gladys Clitsome/Lloyd Ruocco House* (HRB 1491) starts the connection with a small transition from an International Style roof cantilever overhang into a perforated metal sunshade over the garage. The Millman & Campbell/ Ruocco & Delawie juxtapose this detail with the application of a wood sunshade that has replaced the entire roof overhang. The lack of the International Style cantilever overhang is an incredibly important detail that allows the understanding of the connection between the two architectural styles. This is further reiterated as the building's structural system adapts Le Cobusier's Villa Savoye's main story of solid walls cut with ribbon windows sitting on piloti columns to the sloping landscape more associated with the Post and Beam Style, with details in the stucco to express the hidden structure.

⁸⁶ Todd Pitman, email to Peter Kempson discussing the architectural drawings for the subject property and other known Ruocco & Delawie projects.

The Property is significant under Criterion D as a representation of the notable collaborative work of Master Architects Lloyd Ruocco & Homer Delawie. Comparative analysis establishes the rarity of the property, as a single remaining, thus notable, sole representation of their body of collaborative, commercial work in the City of San Diego, and a much better representation of their work than the other extant example out in Santee. The property, as a rare, extant, commercial project, which represents both Llyod Ruocco and Homer Delawie's notable works, individually and collaboratively, and showcases a mixed design of the International Style with both Architectural Master's well-known Post and Beam style that connects their residential and non-residential works and design philosophies, and as a product of the Ruocco & Delawie firm spanning their entire collaboration that uses a unique architectural drawing title block and features both architect's licenses on the initial permit application.

Figures and Illustrations



Figure 1: Forester's Park Condominium Overall showing Stylized Columns Created Organic Ornament, Image from Designation Report



15. 800 Prospect Street/Entrance Detail
View North/South Façade
December 2008

Figure 2: Image from Forester's Park Condominium from Designation Report, showing organic ornamentation of the entry security gate.



16. 800 Prospect Street/Entrance Detail/Gate
View West/South Façade
December 2008

Figure 3: Image from Forester's Park Condominium from Designation Report, showing organic ornamentation of the entry security gate.



D.2-26: Looking at the south facade and south wing from 33rd Street.

Figure 4: Image from Donald and Gladys Clitsome/Lloyd Ruocco House Designation Report, showing organic ornamentation of a metal sunshade design detail by Lloyd Ruocco.



Figure 5: Le Corbusier's Villa Savoye, Rear Façade, <https://archeyes.com/the-villa-savoye-le-corbusier/>



Figure 6: Le Corbusier's Villa Savoye, Rear Corner, <https://archeyes.com/the-villa-savoye-le-corbusier/>



Figure 7: Le Corbusier's Villa Savoye, Left Side Façade, <https://archeyes.com/the-villa-savoye-le-corbusier/>



Figure 8: Le Corbusier's Villa Savoye, Front Façade, <https://archeyes.com/the-villa-savoye-le-corbusier/>



Figure 9: 2660 First Ave, West Elevation from Adjacent Building in Maple Canyon (October 2024)



Figure 10: 2660 First Ave, Parking Garage Interior of cars look at structural system (August 2024)



Figure 11: 2660 First Ave, South Elevation, Parking Entrance Showing off Structure (August 2024)



Figure 12: 2660 First Ave, View to Parking Area from East Elevation after unpermitted demolition activity, showing structural expression and vertical circulation (April 2024)



Figure 13: 2660 First Ave, West Elevation from Adjacent Building in Maple Canyon (September 2025)



Figure 14: 2660 First Ave, North Elevation Approach from Repaired Car Ramp that passes under non-demolished sunshade. (September 2025)



Figure 15: 2660 First Ave, South Elevation from Car Ramp that passes under the demolished sunshade. (September 2025)



Figure 16: 2660 First Ave, East Elevation from Across First Ave, with structure visible below wood fence. (October 2024)



Figure 17: 2660 First Ave, East Elevation from Sidewalk, with structural columns clearly visible below wood fence. (August 2024)

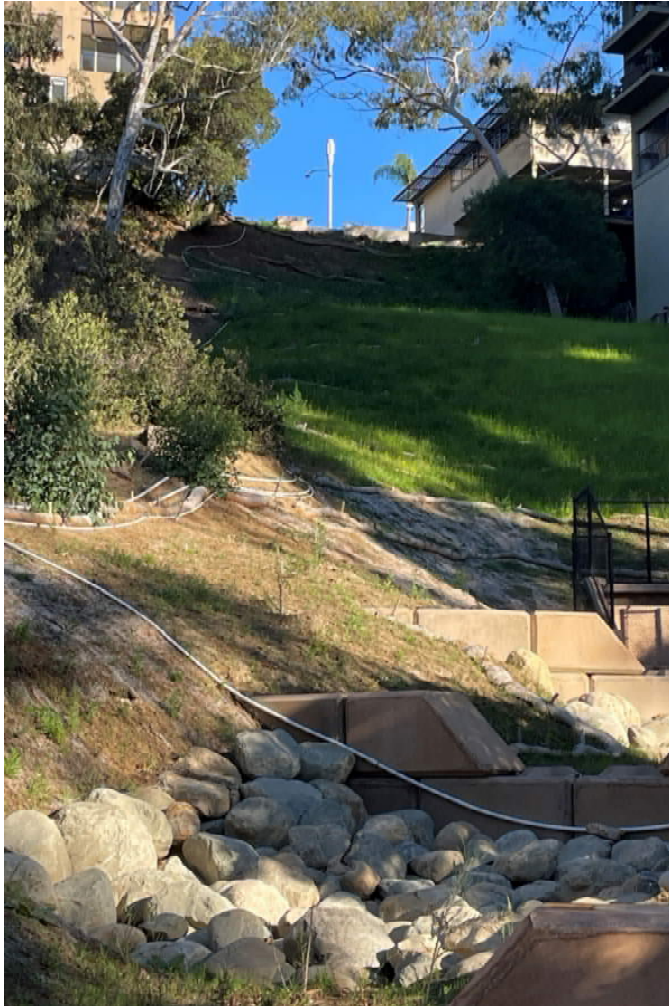


Figure 18: 2660 First Ave, Northwest Corner from Maple Canyon Trail (October 2025)



Figure 19: Detail View 2660 First Ave, Northwest Corner from Maple Canyon Trail, structural system, wood sunshade, corner windows, and metal window band all visible. (October 2025)

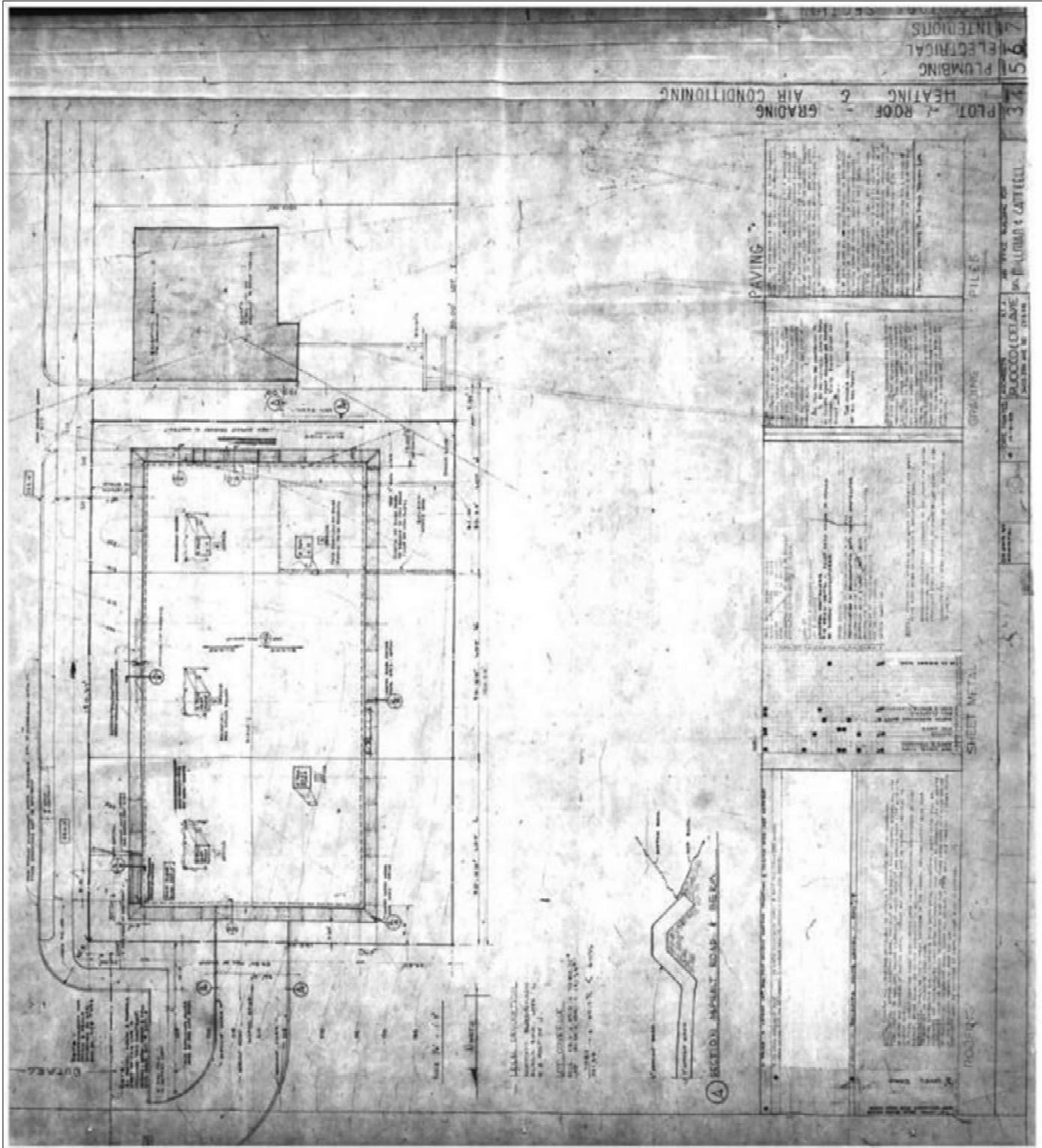


Figure 20: 2660 First Ave, Plot & Roof – Grading Sheet from Original Permit Drawings on File with the City of San Diego for “An Office Building for Dr. Millman & Campbell,” Dated December 1958,



Figure 21: Detail from "Aerial View of Downtown San Diego | San Diego State University Digital Collections." Manuscript Number MS-0222. Undated, pre-1967. Showing Northwest, canyon facing elevation, roof, and parking level



Figure 22: Northwest corner of 9250 Mission Gorge Rd, Santee CA (originally Ruocco & Delawie's Security First National Bank Building) in Santee, CA, Via Google Maps Street View, 2022



Figure 23: Southeast corner of 9250 Mission Gorge Rd, Santee CA (originally Ruocco & Delawie's Security First National Bank Building) in Santee, CA, Via Google Maps Street View, 2023



Figure 24: San Diego Police Administration and Technical Center, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 43



Figure 25: : James R. Mills Building./MTS Headquarters, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 44



Figure 26: M.L. Lawrence Family Jewish Community Center, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 66



Figure 27: Headquarters Area Dispensary, Camp Pendleton, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 57



Figure 28: UCI Computer Science Building, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 56

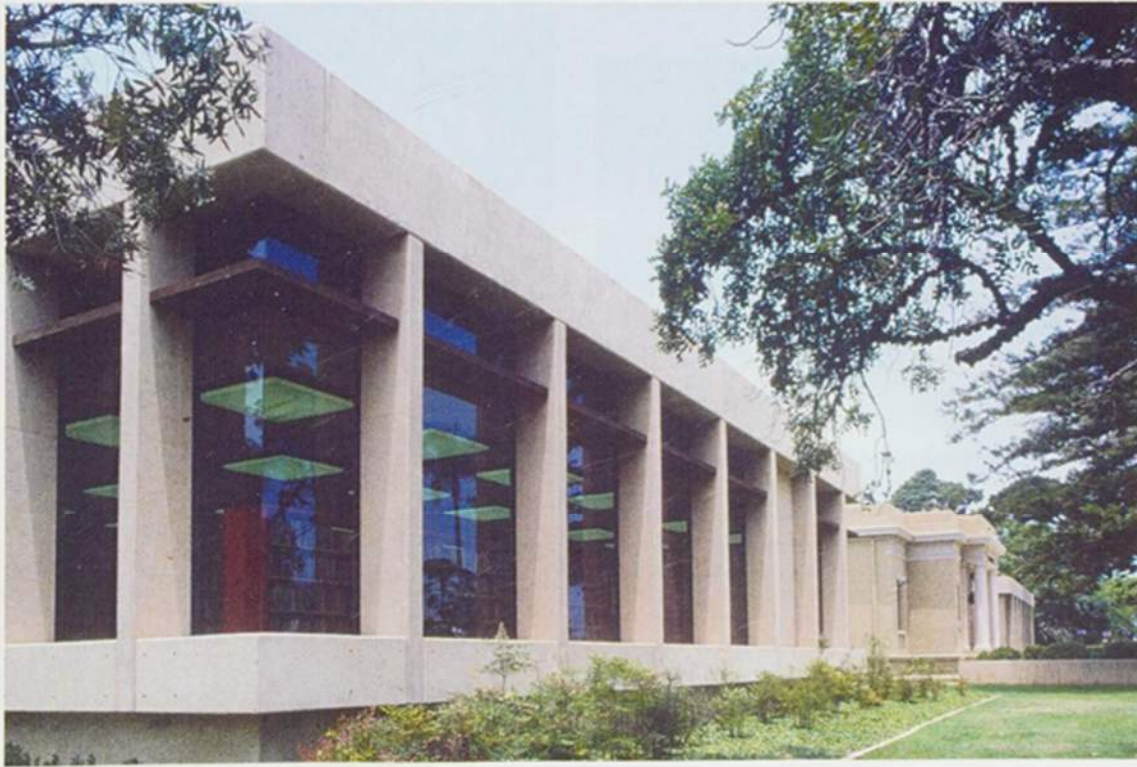


Figure 29: Coronado Library Addition, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 45

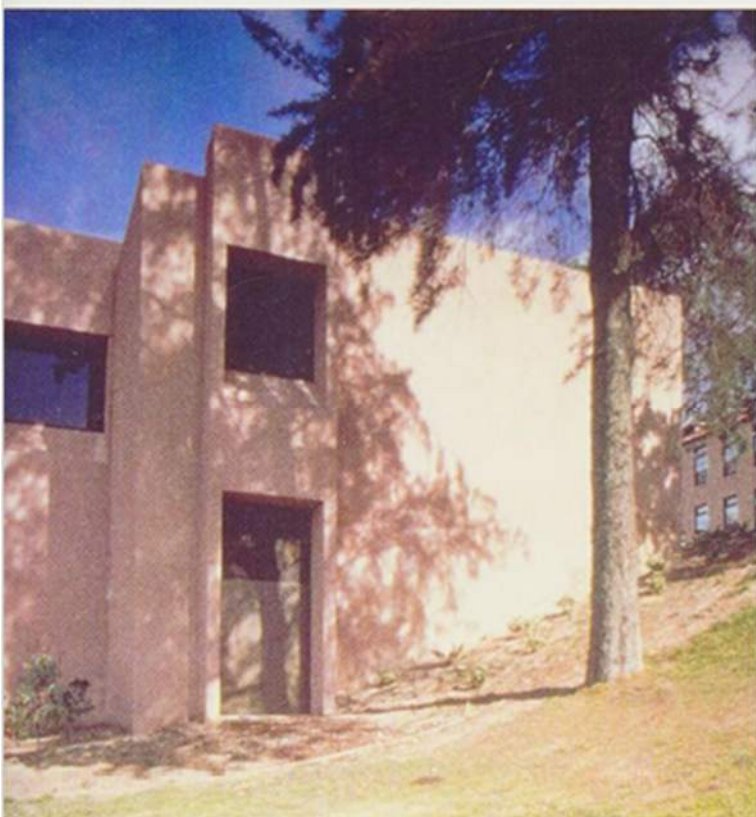


Figure 30: Thompson Medical Library at Balboa Hospital, "Homer Delawie, FAIA," Architect | Delawie Wilkes Rodrigues Barker, 2002. Pg 46



October 30, 2025

**Ms. Kristi Byers, Chair
and Members of the City of San Diego
Historical Resources Board (HRB)**
202 C Street, Fifth Floor
San Diego, CA 92101

**RE: Support for Historic Designation – The Milton Millman & Brent Campbell / Lloyd Ruocco
and Homer Delawie Medical Building, 2660–2666 First Avenue, San Diego, CA 92103**

Dear Chair Byers and Members of the Historical Resources Board:

I have been practicing landscape architecture and urban planning in the San Diego region since 1975 and established my firm, Estrada Land Planning, over 40 years ago. Throughout the past five decades, I have had the privilege of contributing to numerous significant projects, including the Balboa Park Master Plan and the Central Mesa Precise Plan. In addition, I have served on several local and state boards, commissions, and councils—among them the California Arts Council, the San Diego County Historic Site Board, the San Diego Commission for Arts and Culture, San Diego Canyonlands, and Groundwork San Diego. These experiences have afforded me a deep understanding of our region’s historical, environmental, geographic, and design contexts.

Last week, I became aware of the subject property and, upon further research, was pleased to learn that the existing building and site plan were designed by Lloyd Ruocco and Homer Delawie—two of San Diego’s most distinguished Master Architects. I am writing to **strongly advocate for the historic designation** of this property and structure. While the project qualifies under multiple HRB criteria, my comments focus primarily on **Criterion A (Community Development)** and **Criterion D (Notable Work of Master Architects)**.

Criterion A: Community Development

“Exemplifies or reflects special elements of the City’s, a community’s, or a neighborhood’s historical, cultural, social, economic, aesthetic, or architectural development.”

The building’s location on the rim of Maple Canyon confers a unique and defining site significance. Rather than imposing a conventional pad grading approach, Ruocco and Delawie designed the structure to harmonize with the canyon’s natural topography. The parking area was placed below the main structure, supported by posts that minimized grading and preserved

the canyon's form. Native vegetation and trees were thoughtfully incorporated along the western edge of the property to complement the canyon landscape. See Figures A and B below.

The architectural experience of descending into the parking area draws one's view toward the canyon, evoking a sense of connection with the natural landscape. As a founding member of San Diego Canyonlands, I must emphasize the exceptional importance of our city's canyon system—a defining feature that distinguishes San Diego from other metropolitan areas. This project exemplifies the sensitivity to landscape and context that became a hallmark of San Diego's modern design philosophy.

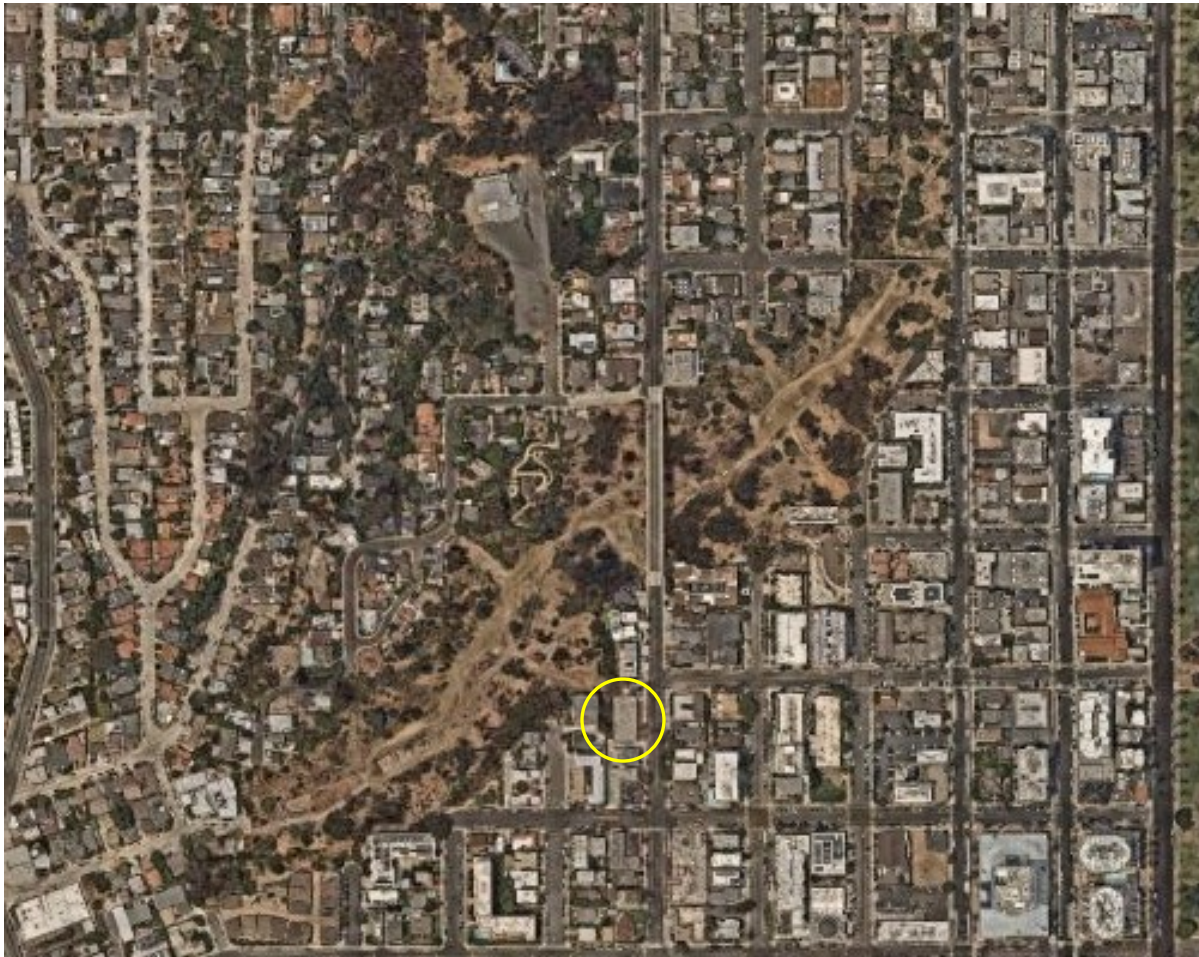


Figure A

This approach also reflects the ideals championed by Lloyd Ruocco, co-founder of **Citizens Coordinate for a Handsome Community**, now **Citizens Coordinate for Century 3 (C-3)**. C-3 was established on the belief that civic beauty shapes civic character, and it promoted forward-thinking planning principles that balanced built form with open space preservation. Its advocacy for documents such as *Temporary Paradise?* (Kevin Lynch and Donald Appleyard, 1974) and *Toward Permanent Paradise* further reinforced the idea that San Diego's identity rests in the

harmony between its natural and built environments. The subject building stands as a tangible embodiment of these ideals.



Figure B

Another relevant comparison is Ruocco's **Design Center** on Fifth Avenue in Hillcrest (completed in 1949), which likewise demonstrates his mastery of International Style modernism blended with the indigenous California post-and-beam tradition he helped popularize.

Criterion A: Landscape Development

"shall exemplify or reflect development associated with garden and park design, subdivision design, or ecosystem/habitat restoration and may include professionally applied standards or design ingenuity within landscape disciplines."

As previously mentioned, by Lloyd Ruocco and Homer Delawie were very careful in their design insuring that the adjacent Maple Canyon, a City designated Open Space Park, would not be subservient to their building. The open space beyond the building and underground parking is clearly the "star of the show." The views of the canyon would be dominant upon entering the building and parking beneath thus making the open space a key part of the building character. In addition, the space between their building and the building to the west is planted with trees and vegetation that exist (and existed) in the canyon beyond thus creating the feeling that the building was a continuation of the canyon itself and not seemingly out of place. This is very important design issue.

Criterion D: Notable Work of Master Architects

"Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, or craftsman."

Lloyd Ruocco is widely regarded as one of San Diego's foremost Modernist architects—second only to Irving Gill in influence. His work, including this property and the Design Center, was pivotal in advancing San Diego's transition from revivalist styles to a distinctive regional modernism responsive to climate, topography, and local materials.

The subject building contributes significantly to San Diego's postwar architectural evolution and its professional expansion during the 1950s and 1960s. As Bankers Hill transformed into a district of small professional offices, this building typified the city's growing design, health, and service sectors. Its modern aesthetic, structural efficiency, and environmental sensitivity embody the forward-looking spirit that defined mid-century San Diego architecture.

Conclusion

Although the building has undergone minor alterations over time, these do not detract from its architectural integrity or historical significance. The structure's thoughtful integration with the Maple Canyon topography and its authorship by two Master Architects firmly justify its designation as a historic resource under the HRB's criteria A and D.

On a personal note, Homer Delawie encouraged me to apply to the Architecture School at Cal Poly San Luis Obispo—an opportunity that profoundly shaped my career. Decades later, I was fortunate to acquire his office conference table, which remains in my firm's office today—a daily reminder of his legacy and influence on the architectural fabric of San Diego.
Thank you for your consideration of this important designation.

I have attached a personal resume at the end of this letter with more relative experience.

Respectfully submitted,



Vicki Estrada, President
Estrada Land Planning, Inc.
California Licensed Landscape Architect #1685
A California Corporation
750 B Street, Suite 1910
San Diego, CA 92101
Direct: (619) 272-7999
Email: vestrada@estradalandplan.com



VICKI ESTRADA, PLA, FASLA, APA
President

Vicki Estrada is President of Estrada Land Planning. Her responsibilities include land planning, urban design and landscape architecture for a variety of projects including community planning, master planned communities, infill, historical analysis, parks, and streetscape for public and private entities. She is particularly skilled in providing community facilitation services and strives to make all her projects sustainable, context sensitive, unique, and responsive to community and client needs. Vicki understands diverse community values, natural values as well as the creative and technical aspects of design. Reconnecting with the natural aspects of a site is a key objective on each of her projects. She is known for developing design solutions that lead to consensus on difficult issues. Vicki is fluent in Spanish.

Adams Avenue Revitalization Study – Project Manager. Preparation of design guidelines to assist the Adams Avenue Business Association in revitalizing the commercial corridor of Adams Avenue. The study area was from Texas Street in University Heights to Biona Avenue in Kensington. This study involved an extensive analysis of existing conditions and community workshops with the business association. The design efforts culminated in numerous site planning and design recommendation to enhance a unique and eclectic commercial district that spans several of the older communities in San Diego.

Adams Avenue Urban Forestry Project - Project Manager. Estrada Land Planning designed and prepared detailed construction documents for the addition of street plantings to this ten-block section of an existing street located in an older San Diego neighborhood. Trees, shrubs, lighting, and irrigation were added to enhance this commercial street.

Advanced Wastewater Treatment Plant - Project Manager. Estrada Land Planning, in conjunction with the engineer, Malcolm Pirnie, artist Robert Millar, and Guthrie + Buresh Architects, prepared conceptual drawings and extensive design alternatives for this plant that would convert sewer water into potable drinking water. The team was involved extensively in the process by which this water conversion would occur. As such, the design of the facility began to reflect a highly interpretive and abstract design. Estrada Land Planning was involved in all phases of the work including site planning, building design and landscape architecture.

Aerospace Museum, Balboa Park - Project Manager. Estrada Land Planning prepared conceptual drawings and construction documents for the interior courtyard in the center of this important museum. The space is used as a gathering place for special events as well as a pleasing visual backdrop for the museum.

Alcazar Garden, Balboa Park - Project Director. Estrada Land Planning was responsible for research, design, and preparation of construction documents for the renovation of the historic Hispano/Moorish garden originally

Experience

- 50 years' experience (40 with ELP)

Education

- BS in Landscape Architecture, California Polytechnic State University, San Luis Obispo, 1975

Professional Registration

- Professional Landscape Architect: CA #1685

Affiliations, Boards and Committees

- Fellow, American Society of Landscape Architects
- Past President & Member, San Diego Chapter, Lambda Alpha International
- Past President, Media Arts Center San Diego, Board of Directors
- Past Chair, San Diego Foundation-Opening the outdoors Action Team
- Founding Member, San Diego Canyonlands Board of Directors
- President, Groundwork San Diego, Board of Directors
- Past Member, San Diego County Historic Site Board
- Past Chair, San Diego Airport Public Art Committee
- Current Member and Past Vice-chair, California Arts Council
- Past President, Lambda Alpha San Diego Chapter

designed by Richard Requa for the 1935 exhibition in Balboa Park. Work included recreating the entry archways, pergola fountains, and site furnishings based on historic photographs and blueprints. Colored concrete paving with an exposed aggregate finish was made to resemble the original gravel pathways from 1935 while meeting ADA requirements.

Alvarado Water Treatment Plant - Project Director. Estrada Land Planning prepared landscape architectural design and construction documents for the landscape architectural component of the City of San Diego Alvarado Treatment Reservoir Replacement project. The project included working with an artist to develop a unique landscape concept for the surface of a large reservoir tank. A blend of plant material and inert groundcover treatment provided a special environment for visitor interpretation.

Azalea Park – Project Manager. Estrada Land Planning led a community driven effort to design a water-wise drought tolerant garden in an undeveloped piece of land within a community park. This included community workshops, collaborating with artists, and developing design concepts. The project is located on .4 acres of previously undeveloped land within the Azalea Community Park surrounded by single family residences in City Heights. The intent was to develop a demonstration drought tolerant garden to inspire community use of drought tolerant plants and recycled materials. Design challenges included how to design, coordinate and construct an inspirational garden using volunteers on existing visually hidden, barren ground with little money while developing a unique, sustainable environment that minimizes stormwater runoff and encourages natural filtration. The project minimizes construction costs as all construction and materials were donated and volunteers provided construction and maintenance.

Balboa Park (All - various) – Project Manager. The 1,500-acre park is the central focus of the City of San Diego and considered one of the U.S. premier urban parks. Estrada Land Planning (ELP) has provided landscape architecture and planning services for this park for over 25 years. The current Master Plan for Balboa Park, which was prepared by ELP and approved in 1989, is still the acting Master Plan. In 1992, ELP prepared the Precise Plan for the Central Mesa. This included extensive design concepts for all the major public spaces within the Central Mesa including the Plaza de Panama and the Palisades. In 2004, ELP provided the concepts and Precise Plan amendments for the Balboa Park Promenade, which included the design for a new pedestrian promenade and plaza linking the Prado to a new San Diego Zoo entrance and exit. For many of the proposed projects within the park, ELP prepared computer simulations for public presentations. In addition, several significant built projects within the park were designed by ELP including the Plaza de Panama Fountain, the restoration of the Alcazar Garden, the Palisades and Inspiration Point transit centers, and the electronic information kiosks located throughout the park.

Balboa Park Master Plan & Central Mesa Precise Plan - Project Manager. The 1,500-acre park is the central focus of the City of San Diego and considered one of the U.S. premier urban parks. As project manager, Estrada Land Planning's responsibilities included management of a large consultant team, leadership of the citizens' ad hoc committee, design decisions, graphics, and public presentations to citizens' groups and news media. The planning effort required consideration of the cultural (museum, zoo, etc.), passive recreation, and active play centers of this urban park. A major component of the plan was to convert large existing parking lots into major pedestrian plazas and corridors. Other urban design challenges included solution of parking and transportation problems, interface with surrounding residential and commercial areas, preparation of a management plan to ensure the economic viability of the park, and creation of functional linkages to San Diego's redeveloping downtown. The plan also included the evaluation of existing trails through Balboa Park and the recommended location and type of trail. The Master Plan received an Orchid Design Award from the San Diego County community. A subsequent Precise Plan for the Central Mesa area was prepared. The Central Mesa Precise Plan won a Merit Award from the ASLA San Diego Chapter.

Ballpark Siting Studies - Project Manager. Prior to the final determination of the Downtown San Diego Ballpark location, Estrada Land Planning prepared a series of conceptual studies analyzing various alternate locations, orientations, and surrounding circulation patterns for the Downtown Ballpark.

Barrio Logan Community Plan Update – Project Manager. Estrada Land Planning teamed with MIG to prepare this important community plan update. The Barrio Logan community currently consists of a variety of land uses, many of which are incompatible with adjacent land uses. This community plan update process involved coordinating with the many stakeholders within the community. Estrada Land Planning's (Vicki Estrada's) role was to facilitate the community meetings, generate the land use alternatives, and evaluate streetscape and transportation options.

Barrio Logan Community Gateway Sign – Project Director. Estrada Land Planning conducted workshops with the local community to gain input for the design of a community gateway sign for Barrio Logan. The design team met with local artists and community members to determine the signage theme, scale, character, and form. Several alternatives were prepared for community feedback resulting in a sign representing all aspects of the community. Estrada Land Planning also prepared construction documents for the Community Sign, including stucco framework columns faced with opaque glass tile and Mayan symbols to support a sign archway adorned with semi-transparent acrylic panels, interior sign lighting and Mayan-themed cornice sign affixed to the middle of the truss structure.

Barrio Logan Community Vision - Project Manager. The neighborhood of Barrio Logan, just east of downtown San Diego, has one of the most diverse mixes of land use in the region. Over the years, Barrio Logan has been looked upon as a logical expansion of downtown San Diego. Numerous single family residential and apartment buildings are presently situated next to inappropriate land uses such as boiler plants, lead plating plants, and paint shops. Estrada Land Planning was a key member of the team that prepared a new land use vision for the Barrio. Utilizing the interactive computer program “PLACE³S” (a GIS based interactive community vision program); the community participated in the future form of their neighborhood. The vision that was developed has become the basis for continuing refinement for the land use plan for the neighborhood.

Barrio Logan Phase II Land Use Study - Project Manager. This phase of the project was prepared for the Environmental Health Coalition. This phase involved more detailed land use recommendations, circulation recommendations, traffic calming concepts, streetscape concepts, and computer simulations. This was done through a series of community meetings where the community provided extensive feedback regarding the future of their community. The final product of this effort was a detailed land use plan depicting the proposed land uses as well as computer simulations and photos of what the proposed land uses might look like.

Bayfront Trolley Station - Project Manager. Estrada Land Planning was the lead consultant for this multi-modal station located on “E” Street in Chula Vista. The components included feasibility studies, construction documents, and construction observation services. The design included shelter structures and visitor information center for the City of Chula Vista. Project management included coordination between the County of San Diego, the City of Chula Vista and MTDB. This project won a Chula Vista Beautification Award.

Bella Lago (Watson-McCoy) - Project Manager. Estrada Land Planning prepared the General Development Plan and provided site planning, grading, visual studies, and conceptual landscape architectural services for this 161 acre project in the City of Chula Vista. 167 half-acre lots were carefully sited throughout the site to take advantage of incredible views and to avoid environmentally sensitive areas. 50 acres of the site remained as undisturbed open space. Construction, including homes, has been completed.

Black Canyon Road Bridge Visual Impact Assessment - Project Director. Estrada Land Planning prepared the visual impact assessment (VIA) for the proposed bridge on Black Mountain Road in the County of San Diego. The existing historic bridge is to remain in place as part of the trail system. The services included the preparation of the landscape concept plan, visual simulations of the proposed bridge, visual mitigation measures, and detailed analysis.

Broadway Medians - Project Manager. Estrada Land Planning led the design team responsible for the planning and execution of the revitalization of this major gateway to downtown San Diego. The project site consisted of ten city blocks forming a ceremonial corridor from the Embarcadero to Horton Plaza. The project was funded by the Centre City Development Corporation (CCDC). Special consideration was given to location of the existing infrastructure improvements, including subsurface streetcar rails, to allow the installation to proceed without costly removal of existing abandoned facilities. Estrada Land Planning managed the multi-disciplinary project, which included civil engineering, surveying, landscape architecture, and electrical engineering. The project won a Merit Award from ASLA, San Diego Chapter.

Downtown Calexico Improvement Study - Project Manager. Estrada Land Planning prepared an urban design study for downtown Calexico, California. The plan included pedestrian circulation, land use changes, pedestrian plazas, fountains, street design, street furniture, lighting, public art, and façade improvements. Bilingual community meetings were critical to the development of the design.

City of Calexico Tourist Parking Lot Redesign - Project Manager. Estrada Land Planning conducted extensive site analysis for this existing parking lot located directly adjacent to the Mexican border in the City of Calexico, California. Several alternate redesigns for the parking lot were evaluated by City staff and the community. The parking lot is currently underutilized as a tourist parking area for those tourists walking across the border into Mexico. A distance of two blocks separates the parking lot from the pedestrian crossing. The major challenge in redesigning the parking lot was finding ways to encourage tourist parking by providing better visibility, better connections to surrounding areas, and a more aesthetic pleasing environment while maximizing the amount of parking spaces. Community workshops were conducted in Spanish.

Camp Pendleton Base Exterior Architecture Plan (BEAP) - Project Director. Estrada Land Planning prepared this extensive document, which has guided the development of Camp Pendleton for many years. The work included preparing design standards and guidelines for the entire base. The sections included identifying basic themes (by geographic area), streetscape, landscape, graphic/signage, site planning, architecture, and circulation. The project involved extensive coordination with base personnel and a thorough knowledge of policy and procedures. All development within the base was guided by this document and helped Camp Pendleton function efficiently and maintain its unique character. Design Fee \$56,000.

Canyonlands White Paper - This white paper was meant to bring collective comprehension of our Canyonlands, by appreciating them and by identifying solutions to problems, which are in the process of destroying them. This paper presented political and ethical reasons and facts that will help make our entire region a better habitat. Extensive analysis was done as a means to not only preserve the canyons, but to allow area for public access throughout our canyon system. Vicki Estrada led the volunteer committee effort in a series of community workshops, the preparation of the White Paper and many public appearances to discuss the concept. The final big picture recommendation was to advocate for the creation of the San Diego Canyonlands Regional Park.

Carnation Avenue Street End Improvements – Project Director. The Carnation Avenue beach access is designed to replace the existing standard public paving with a creation that reflects the ocean themes and enhances the beach community's relation to the Pacific Ocean. Colored concrete wave patterns enliven the street. Widening the street allows landscaping and a sidewalk to access the beach. The pedestrian plaza on the west end allows for seating and a gathering space. A sound wall designed in conjunction with a local artist creates an interesting visual experience along the street end.

CCDC "As-Needed" Landscape Architectural Services - Project Director. Estrada Land Planning has provided "As-Needed" landscape architectural services to CCDC through Nasland Engineering, the "As-Needed" Civil Engineer. Estrada Land Planning has provided landscape architectural services for approximately 30 projects under this contract.

Central Avenue Mini-Park General Development Plan (GDP) - Project Director. Located in the City Heights area of San Diego, this small (0.64 acre) but important pocket park is situated between SR-15 and Central Ave. The site has been vacant for several years. The community is park deficient and the development of this park will provide much needed green space, play opportunities and skateboard facilities for the surrounding neighborhood. Several community meetings were held to help determine the park components as well as the design and form of the park. Its location immediately adjacent to SR-15 necessitated extensive coordination with Caltrans. ELP prepared the General Development Plan and Construction Documents.

Central School Area Master Plan - Project Manager. Central Elementary School is located on an approximately five-acre campus on the eastern edge of the State route 15 freeway, south of Polk Avenue. The school had specific needs for additional off street parking and open space/playground areas. The Redevelopment Agency and City desired to use the City-owned vacant land immediately north and south of the school for development of new mixed commercial/office and residential uses as well as a new childcare center, parking, pedestrian plaza, bicycle path and expanded recreation areas. Estrada Land Planning evaluated redevelopment constraints and opportunities to reconfigure and redevelop four blocks that include and surround the school campus. The evaluation included a public participation process and consultation with a technical advisory committee comprised of representatives of the Redevelopment Agency, School District, City Park and Recreation Department, City Child Care Coordinator, City Planning Department, Caltrans, Price Charities, the City Heights Redevelopment Project Area Committee and the City Heights Area Planning Committee.

Centre City Streetscape Manual - Project Director. Estrada Land Planning prepared a streetscape manual for downtown San Diego. The manual includes recommended urban design standards and guidelines for street trees, lighting, paving and street furniture. The manual is used by private developers and public designers to determine the visual and functional character of downtown streets and their adjacent sidewalks. Extensive meetings with the community, CCDC, and developers were used as a basis for establishing the guidelines. During the analysis portion of the process, a GIS based plan indicating the location, type and condition of all street trees was developed as well as the location and type of all streetlights.

Cesar Chavez Trolley Station (25th and Commercial) – Project Director. Estrada Land Planning prepared design concept plans and construction documents to renovate the existing platforms at this trolley station located at 25th and Commercial Streets in the Logan Heights community of San Diego. The scope of work included new shelters, site furnishings, benches, landscaping and the relocation of ticket vending machines, route maps, telephones and other station related amenities based on pedestrian circulation studies. The new design for the trolley station incorporates architectural elements and landscape features from the nearby City of San Diego Community Services Center and police station buildings. The project integrates colorful art elements funded by a community arts grant.

Chollas Creek Enhancement Program - Project Director. This project involved evaluating a six-mile long stretch of Chollas Creek and surrounding areas within this urban setting. The primary objectives of the wetlands management plan included identifying native habitat restoration opportunities and improving water quality, and beautification of the creek as an urban amenity. Using a HEC2 model created for this project, and through GIS modeling, the team identified sites along the creek in need of wetland preservation, wetland enhancement and restoration, and/or exotic species management. The plan also includes recommendations for removal of some of the concrete-lined creek sections, an exotic species removal and management program, and native plant seed mixes and container plant palettes. Extensive community meetings and site visits with biologist helped determine where and how the wetlands should be created. The larger management plan for the project also recommended interpretive opportunities and amenities and identified a preferred location for a Chollas Creek public education center.

Chollas Creek Restoration - Project Director. The project combines creek restoration, wetland mitigation and flood control, with facility enhancement, public education, art and an urban trail. Native plant restoration, including three hydroseed mixes, container plantings, and large tree specimens, provides a natural setting for the creek. The design includes a curvilinear decomposed granite trail with seating, and nature exhibits designed by project artist Javier Guerrero. Estrada Land Planning prepared the concept plan, trail design, irrigation and planting plans, specifications and estimates in coordination with the Civil Engineer, PBS&J, and provided detailed construction observation services. This project won the APWA Project of the Year Award for Parks in 2008.

Chula Vista Bayfront - Project Manager. The Environmental Health Coalition hired Estrada Land Planning to create an alternative land use plan for the Chula Vista Bayfront. ELP worked with the EHC and several other non-profits to create a land use plan that carefully balances the bay's endangered natural habitat, the area's economic potential, and the needs of the surrounding community. Key elements of the plan include a hotel and conference center, a festive cultural retail promenade, and a multi-mode transit system. The plan maintains views from Chula Vista out to the bay and provides buffer and transition zones between development and native habitat.

City Heights Square Mini-Park – Project Director. This park lies in the midst of one of San Diego's most energetic neighborhoods, City Heights. The 0.15-acre, mid-block site is surrounded by an arts center, senior housing and mixed-use developments. Concepts were developed to create a mini-park within this pedestrian-intensive area and presented to the community for evaluation. The product is a park/plaza which is truly symbolic of the richly diverse City Heights neighborhood and which serves as a focal point and gathering place for local residents. Park elements include benches, game tables, shade structures, custom tile mosaic, boulders, drought-tolerant trees, planting areas, and adjacent streetscape improvements. Estrada Land Planning prepared the General Development Plan and Construction Documents.

City Heights Visions Project - Project Manager. Estrada Land Planning was a member of the project team, which prepared an urban center linking to major commercial boulevards atop a proposed freeway. This design was composed of two nodes of development connected by a broad community green belt. This was to be accomplished through the construction of three blocks of cover structure over Interstate 15.

City of San Diego - Various Park Improvements - Project Director. As the as-needed consultant to the City of San Diego, Estrada Land Planning prepared plans for the improvements to various parks within the city. The focus of the improvements was to bring the playgrounds up to current accessibility standards per ADAAG/Title 24. The work included redesigning playgrounds at Lindbergh, Grant Hill, Sky view, Azalea, Mesa Viking, McAuliffe, San Carlos and Grantville parks. In addition, work consisted of providing access to parking, picnic areas, drinking fountains and seating.

Coast Highway 101 Phase II Streetscape Improvements - Project Director. Estrada Land Planning provided Landscape Architectural design and construction documentation services for the City of Encinitas' Downtown Streetscape Phase II project. The project entailed the redevelopment of the streetscape, including walkways, landscape, and signage in front of existing businesses. The project encompasses approximately 3,000 lineal feet along the Coast Highway 101 Corridor from Swami's to 'F' Street. The streetscape incorporated the improvements outlined in the Streetscape Master Plan document. Design efforts focused on new medians, sidewalk pop-outs at intersections, sidewalk paving's, transit stop locations, mid-median crossings, modifications to the public right-of-way, entry signage, site furnishings, horizontal layout, native planting design, and irrigation design.

College Grove Drive Widening Project - Project Director. Estrada Land Planning was responsible for preparation of the Master Plan and construction documents of 1.75 miles of streetscape improvements within the right-of-way of College Grove Drive from 54th Street to College Grove Way. Working with artist Barbara Grygutis, Estrada Land Planning developed a design theme that complemented the surrounding areas. Project amenities include a project focal point/overlook with distant views of downtown San Diego and the San Diego Bay, artistic treatments to a sound wall and median islands, as well as an integrated landscape that is harmonious with the community and adjacent park settings.

Cortez Hill Park – Tweet Street - Project Director. Estrada Land Planning prepared the General Development Plan (GDP) and construction documents for this linear park within the community of Cortez Hill in downtown San Diego, California. The project is located along Date Avenue from 7th to 10th Avenues and along 10th Avenue from Date to Beech Streets. The primary goal of this park was to provide much needed green space as well as a landscape buffer to the noise of the adjacent freeways for the growing number of residents to the area. The design utilizes open space obtained through an agreement with Caltrans along the Interstate 5 and SR 163 corridors for a passive park including meandering walkways, tot lot and pet "restrooms." This park also features elements of "Tweet Street," an art program that highlights birdhouses created by various design professionals. These artful birdhouses are located throughout the park creating focal points along the way. Plant materials were selected to attract native birds to the area as well as for their low-growing nature and durability to improve visibility into the park and discourage loitering of the homeless. Lawn areas were minimized and low-maintenance plants were used to reduce maintenance requirements. Recycled City hardware such as bollards and fire hydrants were utilized in distinct locations of the park, which were provided as "restrooms" for pets. The project won an Orchid Award for Planning Policies from the San Diego Architectural Foundation in 2008 and won the American Public Works Association Project of the Year Award in 2009.

County of San Diego - Various Park Improvements - Project Director. As the as-needed consultant to the County of San Diego Parks and Recreation Department, Estrada Land Planning has prepared plans for the improvements to various parks throughout the county. The focus of the improvements was to bring the playgrounds up to current accessibility standards per ADAAG/Title 24. The work included redesigning playgrounds at Flinn Springs, Lake Jennings, El Monte, Dos Picos, Louis Stelzer, and William Heise parks. In addition, work consisted of providing access to parking, comfort stations, drinking fountains and seating. The primary challenge of the redesigns was to avoid affecting mature oak trees throughout each of the parks.

Dog Beach Entryway Plaza - Project Manager. Preparation of the conceptual plans and construction documents for the entryway plaza into Dog Beach located in Ocean Beach. Project scope included interaction with community groups and the City of San Diego Park and Recreation Department to develop a creative and functional entry to the park. The concept included large colored concrete forms in the shape of dog paws, a "doggie" fountain, ramps, bollards, benches and tiles around the perimeter of the plaza. The tiles were available for purchase by the community with the names of their dogs etched on the tiles.

El Cajon Blvd. – La Mesa – Comprehensive Public Improvement Plan – Project Director. Through the direction of the City of La Mesa's Community Development Department, Estrada Land Planning prepared a comprehensive

Public Improvement Plan to revitalize La Mesa's segment of El Cajon Boulevard. The study area was over 1-1/2 miles long, from 73rd Street to Baltimore Drive. The major objectives for the Plan focused on short and long-term solutions. The short-term objectives were to prepare design solutions, which would identify the constraints and maximize the advantages of the pending underground utility district. The long-term objectives were aimed at providing opportunities for redevelopment along the El Cajon Boulevard corridor, to update La Mesa's Specific Plan, and to provide design concepts for the public improvements, infrastructure, and landscaping within the public right-of-way.

El Cajon Blvd. Streetscape - Project Director. Estrada Land Planning was contracted by the City of San Diego to revitalize the streetscape of this major commercial roadway through the heart of some of the city's older neighborhoods. The design team was responsible for preparation of preliminary design plans, construction documents, specifications, bid documents, and construction observation services for over 28 blocks of the western end of El Cajon Blvd. Design elements included street trees, median paving, colorful planting, and holiday lighting. The medians were reconfigured to improve safety and increase planting areas. Low volume drip irrigation, mulch, and other xeriscape techniques were integrated into design to conserve water. The improvements were constructed in a series of phases. Estrada Land Planning was responsible for the following areas:

- * Park Avenue to Texas Street
- * 30th Street to Interstate 805
- * Interstate 805 to 37th Street
- * 37th Street to 40th Street

El Cajon Blvd. Streetscape - La Mesa - Project Director. Estrada Land Planning prepared a Comprehensive Public Improvement Plan for the Revitalization of El Cajon Boulevard from 73rd Street to Baltimore Drive for the City of La Mesa, California. The Plan analyzed the existing conditions of the area and developed urban design recommendations, which included identifying "gateway" locations, redevelopment areas, median lane closures, new traffic signals, and improved landscape and architectural treatments. ELP has prepared construction documents for the first phase of improvements, which included improving the medians through landscaping, gateway entry signs, median reconfiguration, and adding traffic signals.

Encanto Urban Design Guidelines - Project Manager. This project was a continuation of the Euclid Market Comprehensive Plan prepared by the City of San Diego. This phase involved additional community meetings and preparing extensive urban design guidelines (including architecture, landscape architecture, circulation, grading, lighting, and site planning) that future builders would follow as they build in the community.

City of Encinitas Community Character Implementation Program - Project Manager. Estrada Land Planning was the facilitator for community character workshops for the City of Encinitas. The workshops resulted in a series of community values and goals, which required that current City of Encinitas codes, guidelines and ordinances be revised. Estrada Land Planning assisted the City of Encinitas Community Development Department in revising the Zoning Ordinance, Grading Ordinance, Subdivision Design Ordinance, and prepared landscape architectural guidelines.

Encinitas Community Character Workshop - Project Manager. ELP was the facilitator for the community character workshops. The workshops came in response to the City Council's Growth Management Subcommittee request to identify the unique character of Encinitas. The workshops encouraged the residents of each community to participate in identifying what makes their community special and unique, and what was unattractive, isolated or "placeless". Estrada Land Planning developed a series of design guidelines to help the city determine community character conformance. The results have been used to develop a set of implementation procedures to the City's General Plan and Municipal Codes.

Escondido East Valley Parkway Corridor - Urban Design Study - Project Manager. Estrada Land Planning was the main facilitator during this community workshop based Urban Design Study. The project area consisted of an aging commercial corridor on East Valley Parkway and the surrounding properties. Estrada Land Planning provided land use planning and urban design recommendations to initiate a "vision" for an area of Escondido in need of redevelopment.

Euclid/Market Comprehensive Plan - Project Manager. Estrada Land Planning facilitated extensive community sessions to solicit input from the Euclid Market community regarding the future urban form of their neighborhood. The final product was a comprehensive document describing future land use and circulation patterns for the community.

Euclid/Market Village Center – Project Manager. Along with three other firms, Estrada Land Planning was hired by the Jacobs Foundation to conduct a design charrette and prepare conceptual vision plans for the Euclid Market Village area and surrounding context. The plans included proposed new land uses, pedestrian connections, creek enhancement, circulation, alternatives, and community entry enhancement.

47th and Federal Parking Area - Project Director. Estrada Land Planning prepared a site layout and construction documents for this parking lot adjacent to the Coca Cola distribution facility at the intersection of 47th and Federal.

Foxhill Estate Historical Landscape Report – Project Manager. The purpose of this report was to determine if the landscape on the subject property had potential to be designated an historical landscape per the City of San Diego standards. The property is located at 7007 Country Club Drive in La Jolla, California, and is known as “Foxhill”. Estrada Land Planning’s scope included site visits and photographs to help analyze the character of the landscape. The report was not intended to be a complete Historical Report per City of San Diego standards but rather, a preliminary look at the historical landscape potential of the property.

Garfield Elementary School - Joint Use Park - Project Director. Estrada Land Planning prepared the General Development Plan for this joint-use park after numerous community workshops that included the San Diego School District, the City’s Parks Department, the North Park Community Group and interested citizens. The design concept plays off the recently improved school facilities and provides for a multi-purpose lawn area, picnic areas, outdoor instruction area, entry gates, perimeter fencing and shade structures.

Gaslamp Quarter District Improvement Study - Project Manager. Estrada Land Planning prepared an improvement study for the 17 blocks of the Historic Gaslamp Quarter District in the heart of downtown San Diego. The study included researching and identifying existing conditions, analyzing and evaluating the existing conditions, preparing recommendations for improvements, and preparing a final report that identifies the improvements based on a priority system developed for this study and their costs. The evaluation and analysis focused on the safety, functionality, aesthetics, conformance with the CCDC Streetscape Manual, maintenance, ADA accessibility, health of plant material, light and lamp type, tree grates and size of planting area and irrigation. The result was a block-by-block recommendation for improvements to the existing conditions in the Gaslamp Quarter District delineated by the concentration of high priority improvements within each block.

Gaslamp Square – Project Manager. Estrada Land Planning provided a conceptual design for this urban plaza. The plaza is in downtown San Diego at the foot of 5th Avenue and L Street. The project involved redesigning an existing urban plaza that had fallen into disrepair. Improvements to the plaza will include uses that will activate the space such as an information center, a fountain and retail kiosks. More trees and benches are being added to improve the quality of the space. Extensive community meetings and alternative solutions were prepared. In addition, the plaza required coordination with the adjacent trolley station, which Estrada Land Planning is also redesigning.

Green Line/Bayside Line Trolley Stations - Project Director. ELP provided conceptual design and construction documents for redesign of the Green Line and Bayside Line Trolley Stations to meet ADA requirements by raising the existing platform for use of new low floor trolley vehicles. The Green Line runs from Old Town to Qualcomm Stadium and the Bayside Line, which runs from Old Town to Imperial Avenue, will become an extension of the Green Line. The design includes enhanced paving, planting, and irrigation design. This project won an Award of Merit at the American Society of Civil Engineers 2013 Project Awards Program.

The Groves (Legacy) - Project Manager. Estrada Land Planning provided land planning and landscape architectural services for this unique project in Escondido, California. The project was unique in that an existing avocado grove dominated the site. The land plan concept was able to maintain a considerable amount of the avocado grove and the grove was treated as a series of focal points throughout the project.

Hampton Square - Project Manager. Hampton Square is a 63-acre site in Fresno, California owned by the Teacher's Management and Investment Corporation. Estrada Land Planning provided multiple planning studies to determine

development feasibility. The project components consisted of residential, recreational, and commercial land uses. TMI used these studies to establish land value and to pursue future entitlements through the City of Fresno.

Highland Avenue Streetscape Master Plan - Project Director. Estrada Land Planning provided landscape architectural services for the preparation of a concept master plan for the streetscape improvements and two Thematic Districts, "Cocina Mexicana" District (from 16th Street to 24th Street) and "El Pueblo" District (from 2nd Street to 7th Street). The primary goal was to develop a comprehensive plan that supports the City's redevelopment goals and vision for revitalization, improvements, and beautification of the streetscape. The design team's focus was to develop a creative solution that reflects the community's concerns, creates a unique identity, and a desirable destination point for local and regional residents alike. Estrada Land Planning prepared construction documents and provided construction phase services for Phase I.

H Street Improvements - Project Director. Estrada Land Planning was contracted by the City of Chula Vista to develop a streetscape plan for H Street from Interstate 5 to Broadway as part of their efforts to beautify the entryways to the city. Traffic calming, street trees, increased walkability, safety, and a unique entry statement were major issues that were addressed during the design process. The work included installing new landscaped parkways, enhanced left turn lane and median "flush" paving, planting, irrigation, lighting and street improvements. The project was selected by the Southern California Ready Mix Association to receive a "Cornerstone Award" as its Paving Project of the Year for all of Southern California.

I-5/Lomas Santa Fe Drive Interchange - Project Director. Estrada Land Planning was responsible for the preparation of the landscape concept plan and construction documents in conjunction with the proposed freeway interchange improvements at Interstate 5 and Lomas Santa Fe Drive, in the City of Solana Beach, California. The intent of the landscape design was to utilize low-maintenance plant materials commonly found within the city, creating a bold and unique landscape unlike much of what is found along the I-5 corridor. The tall trees and shrub and groundcover masses provide sweeping waves of color welcoming motorists to this beachside community. In addition, ELP prepared site irrigation plans utilizing low water components. Construction services included responding to contractor's RFIs.

I-5 North Coast Community Enhancement Plan – Project Director. Estrada Land Planning assisted Caltrans in the design development phase of the I-5 widening project from San Diego to Oceanside. Services included the facilitation of several design development meetings with local agencies' staff as part of the 'Opportunities and Constraints Analysis' phase of the I-5 widening project. Context sensitive design solutions have been developed for the I-5 freeway corridor. Potential areas of improvements adjacent to communities were also analyzed. This included concepts and opportunities for pedestrian connections, neighborhood parks, pocket parks, enhanced bridges and trails.

I-5 North Coast Corridor Design Guidelines – Project Manager. Estrada Land Planning prepared design guidelines for the I-5 from the I-805 merge in La Jolla to Camp Pendleton. Guidelines included recommendations for bridges, plant material, walls, lighting, paving & fencing. It included ways to create and maintain unique City identity along the corridor while minimizing visual and biological impacts to the surrounding community. The corridor was divided into 3 distinct areas based on surrounding community character and topographic features. Structures and landscape within these 3 distinct areas reflected the character of the surrounding community while maintaining an overall Interstate 5 theme. This document will be used as a guide for constructing the expansion of I-5. In addition, the adjacent Cities will use this document to direct pedestrian and landscape improvements in areas immediately adjacent to the freeway.

I-5/SR-56 Interchange Visual Impact Assessment - Project Director. Estrada Land Planning is preparing the Visual Impact Assessment (VIA) for the addition of two crossover connector ramps to allow access to and from northbound I-5 to SR-56 at Carmel Valley Road. The analysis includes a large number of simulations for two separate alternatives to illustrate the visual impact and influence selection of the alternatives. Considerations include the high visibility of the proposed structures from neighborhoods, businesses, natural reserves, and a State Park. The completed report will be based on the Caltrans VIA format, and will include rating the visual impact, and recommendations for mitigation measures.

International Gateway Crossing Concepts - Project Manager. Estrada Land Planning provided conceptual design services for an international gateway to be located on the border between San Diego and Tijuana. The focus of the

concept was to highlight the border crossing by providing a central park and sculpture theme linking together the two nations. The concept also identified improved connections and circulation between light rail, vehicular, bus transit, and pedestrians, and provided for opportunities to create desirable economic development and dual-cultural facilities. Two intermodal passenger transfer facilities, one on each side of the international border, were included.

Japanese Friendship Garden Expansion, Balboa Park – Project Director. During the major expansion and remodel of the Japanese Garden in historic Balboa Park, Estrada Land Planning was retained by the Japanese Friendship Garden Society to facilitate Park and Recreation committee approvals, provide plan processing, permit services, design review, and integration of the designs and drawings into construction documents for permitting and bidding. ELP worked closely with world-renown Japanese Landscape Architect, Takeo Uesugi, and the building architect to facilitate obtaining approvals from the Balboa Park Committee, Design Review Board, and Park and Recreation Board, and obtaining approvals and construction permits from the City of San Diego for this detailed and successful project funded by donations.

Jefferson Elementary School - Project Manager. Jefferson Elementary School in San Diego is located on a small site (2.6 acres of usable land) with only 0.5 acres each of hard court and field areas. On June 26, 2002, Estrada Land Planning facilitated a community charrette to gather ideas for how future school improvements could be integrated with the surrounding community. Twenty-two participants discussed the potentials for developing a joint-use park, improving pedestrian safety, and easing parking demand. Some of the participants' suggestions, such as the streetscape improvements and turf field could be implemented relatively quickly; while others, such as an expanded, joint-use community park would take much more planning. In response to this, Estrada Land Planning developed a three-phase plan that would allow for immediate improvements and provide a basis for the long-term vision. As a whole, the recommendations would improve the physical image of Jefferson Elementary, provide needed recreation space for the community, and, most importantly, improve the safety of the area for children at school and at play.

Kearny Mesa County Annex Site Planning - Project Director. Estrada Land Planning provided planning studies for the Kearny Mesa County Annex property site. Our work included preparing four alternatives depicting various land use options.

La Mesa Village Streetscape - Project Director. The City of La Mesa contracted Estrada Land Planning to provide conceptual level design services for the La Mesa Village. Services included the preparation of a Conceptual Streetscape Revitalization Plan indicating proposed streetscape improvements such as sidewalks, crosswalks, ADA ramps, intersection paving, curb extensions, trees, light standards, trash receptacles, benches, planter pots, hanging planters, street banners, and parking meters. A visual simulation was also prepared to give an idea of how the improved streetscape might look.

Las Palmas Ranch - Project Manager. Estrada Land Planning was responsible for the land use planning and conceptual landscape design for this 1580-acre master planned community. The project includes a mix of commercial, residential, and open spaces areas. The site is very steep and contains large areas of sensitive habitat. The project provides sensitive grading solutions while maximizing view potential and market return.

Lemon Grove Avenue Medians - Project Director. Landscape architectural services for the preparation of median improvements along Lemon Grove Avenue from Massachusetts Avenue to Palm Street in the City of Lemon Grove, California. The project consists of design services for approximately 4,200 linear feet within the newly installed median improvements. The proposed improvements include a restraining edge for the newly installed interlocking pavers, planting, irrigation, and entry monument and signage.

Market Street Medians - Project Director. Preparation of median design for Market Street between Union and Third Avenue for CCDC. Landscape architectural services include the design of hardscape and landscape, and assistance with construction administration.

Martin Luther King Jr. Promenade - Project Director. ELP was responsible for preparing landscape architectural planting and irrigation construction documents, and cost estimates for the replanting and reconstruction of the promenade. The work required collecting detailed as-built information, and close coordination with CCDC staff in the selection of alternative replacement tree species.

Memorial Skate Park General Development Plan - Project Director. Estrada Land Planning prepared the General Development Plan (GDP) for a 24,000 square foot skateboard park and associated landscape design furnishings on an undeveloped City parcel in Memorial Park. The skateboard park is the major component of the GDP along with skate park plaza, fencing, ADA access, a pre-fabricated office/storage facility, landscaping amenities, and site furnishings. The consultant team experience, city programming needs, and input from the community meeting were the basis for the design of the GDP. Since the major component of the Memorial Park improvements was the development of a skateboard park, it was extremely important to design a facility that would be technically correct and provide skating challenges for varying abilities. Estrada Land Planning conducted several community workshops with local skateboarders to receive their input on what kind of skateboard park they wanted to use and worked with a sub-consultant who specialized in skateboard park design. The secondary challenge was to develop a site plan that incorporated the other uses (parking, athletic fields, picnicking) in a contextual manner that would make Memorial Park enjoyable for many different user groups. This project received the 2004 Project of the Year, Outdoor Parks, William Earl Hayden Award. The project also received a 2004 Achievement Award for Facility Design and Park Planning from the California Park and Recreation Society (CPRS).

Migrant Farm workers Campground – San Diego Housing Commission – Project Manager. Estrada Land Planning provided site-planning services for this migrant farm workers campground located within the San Dieguito River Valley. Extensive site analysis and several alternative plans were prepared for the San Diego Housing Commission.

Mission City Parkway Bridge - Project Director. Estrada Land Planning, in conjunction with TY Lin International McDaniel, prepared a conceptual landscape plan and construction documents for the Mission City Parkway Bridge. The bridge crosses the San Diego River in Mission Valley. ELP provided final construction documents for landscape and irrigation as well as the conceptual landscape plan, which was used for the EIR phase of the project. The project includes roadside revegetation as well as stream bank restoration based upon recommendations of project biologists.

Model Neighborhood at Fairmount and Myrtle - Project Director. Estrada Land Planning, in collaboration with Westberg + White, Architects and Planners, prepared the conceptual site plan for this mixed use, residential development in the City Heights neighborhood of San Diego. The project combined commercial space along Fairmount Avenue with low to moderate cost apartments in a three to four story mid-rise development initiated by the City Heights Development Corporation. The entire development will be constructed over a parking garage with elevators to the residential areas. Two children's play areas and extensive patio and plaza areas provide outdoor living spaces for the residents allowing an increased sense of community. A pedestrian connection through the neighborhood to the natural canyon to the southwest is a key feature of the design.

Monarch Ridge - Project Director. Monarch Ridge is a 170-acre, 205 (10,000 square foot average) lot single family detached home residential project in the County of San Diego east of Rancho San Diego. Estrada Land Planning was responsible for the physical land use planning, design and development guidelines, landscape architecture, and grading studies.

MTDB Right-of-Way Beautification - Project Director. The Blue Line of the San Diego Trolley is a long linear corridor that makes its way to the Border of Mexico. In certain places this corridor itself is an unseemly area that provides little visual character or quality. The City of Chula Vista embarked on a mission to enhance the portion of the Metropolitan Transit Development Board Trolley corridor that passes through its city border. The intent would be to turn this unsightly area into a positive feature for the nearby community and become a source of pride for the City. Estrada Land Planning assisted the city in preparing Preliminary Concept Studies. The preliminary concepts identified how the area should be designed, established primary and secondary project themes, provided location and opportunities for art for the length of the corridor through the City of Chula Vista. At the completion of the Master Plan ELP provided subsequent design development services and completed the construction document package for development of the first phase.

Ninth Avenue/I-15 Interchange Improvements - Project Director. Preparation of landscape report, landscape architecture, and construction documents (PS&E) for this I-15 interchange located in Escondido, California. Work included removal of existing irrigation and planting to allow ramp widening. Replacement landscaping included median planting, replacement planting, and erosion control. Aesthetic treatments for slope planting and retaining walls were developed and incorporated into the plans.

Nobel Athletic Facility - Project Director. As the master land planner and landscape architect for the surrounding community of Renaissance La Jolla, Estrada Land Planning was responsible for the site planning, design, and construction of this 29-acre sports and recreational facility for the City of San Diego. The park provides sports facilities and activity areas for the densely populated neighborhood, and is connected to the adjacent housing by means of meandering pedestrian walkways. The landscape design provides continuity with the adjacent open spaces and streetscapes of the surrounding community. The development of the park was implemented into two phases. Phase I consisted of active recreational amenities, including ball fields, multi-purpose play fields, and parking. Phase II included additional athletic fields, court facilities, passive recreational activities such as picnic and open lawn areas, children's play areas, parking, and a restroom facility.

Normal Heights Community Enhancement Study - Project Manager. Estrada Land Planning was hired by the community to facilitate community meetings and develop alternatives for land use planning in the community. A community workshop was held with the citizens of Normal Heights to evaluate existing community land uses (schools, parks, commercial areas, and residential uses). This extensive workshop culminated in ELP preparing a new vision for this older community in the City of San Diego. The plan called for school expansions, additional parks, expansion of the commercial district and new bike paths to link the community together.

North Chollas Community Park - Project Director. Preparation of the General Development Plan (GDP) and construction documents for this 90-acre community park located at the former Chollas Landfill site. Project scope included interaction with various community groups and the City of San Diego Park and Recreation Department to develop a comprehensive community park plan. The GDP was a culmination of a design process, which addressed the needs of the community and complemented its proximity to Chollas Lake and the future South Chollas Community Park. Construction documents were prepared based on the GDP. Phases 1 and 2 of 3 phases have been constructed.

North Torrey Pines Bridge - Project Director. The North Torrey Pines Bridge is a four-lane bridge replacement project located in a highly visible scenic beach area adjacent to Torrey Pines State Park at the mouth of Penasquitos Creek. The landscape design evolved in concert with the bridge aesthetic design to reduce the visual impact of the project in response to community concerns. Estrada Land Planning worked closely with the project biologist to provide native erosion control planting compatible with the adjacent wetlands, transitional and upland coastal sage habitats. Landscape architectural construction plans, specifications, and estimates were prepared for revegetation of over two acres of disturbed native habitat. This project won the "Award of Excellence" at the Civil Engineering 2005 Project Awards Program.

North Torrey Pines Road Medians and Parkway Improvements – Project Director. Estrada Land Planning provided landscape design plans, simulations, and construction drawings for the medians along North Torrey Pines Road between Genesee Avenue and the Torrey Pines State Reserve, including the Callan Road interchange near the entrance to Torrey Pines Golf Course. The design documents include enhancing medians with native plantings, additional trees to fill in voids where trees have been removed and low precipitation irrigation using recycled water.

Numerous Streetscape Projects - Downtown San Diego - Project Director. As part of the CCDC as-needed civil engineering contract, Estrada Land Planning has prepared preliminary and construction documents for several streetscape improvement projects including Market Street, Cortez Hill Linear Park, and the parking lot on 14th Street between Island and J Streets.

Oak Park/Webster Commercial Area Revitalization Study, City of San Diego - Project Manager. The Oak Park/Webster commercial district is a 60 plus acre community shopping district located on the four corners of the intersections of Euclid Avenue and Federal Boulevard. The purpose of the Oak Park/Webster Market Analysis and Urban Design Study was to revitalize the Oak Park/Webster commercial district. The report included land use recommendations, design guidelines, and phasing recommendations.

Ocean Beach Entry - Project Manager. For years, the entrance to Ocean Beach at the end of Interstate 8 suffered from a vacant lot as a focal point. Through a series of community workshops and meetings with affected residents, property owners, and City staff, Estrada Land Planning developed a conceptual entry for Ocean Beach's north

entry. This concept plan eventually resulted in the creation of the Ocean Beach Skate Park, the widening of Sunset Cliffs Boulevard, and a pedestrian walkway adjacent to Sunset Cliffs Boulevard.

Ocean Beach Parking Lot – Project Manager. Estrada Land Planning prepared this conceptual study for the Ocean Beach Parking Lot at the foot of Newport Avenue. The concept included restriping the parking spaces to maximize efficiency. The plan also provided for pedestrian connections and planting to conform to the City Landscape Ordinance.

Ocean Beach Skatepark/Robb Field - Project Director. Preparation of the General Development Plan (GDP) for 6.0 undeveloped acres of Robb Field. A skatepark is the major component of the GDP along with additional parking, restrooms, storage facilities, and turf athletic fields. The consultant team's experience, city programming needs, and input from the community meeting were the basis for the GDP. Construction documents were prepared upon approval of the GDP. Since the major component of the Robb Field improvements was the development of a skatepark, it was extremely important to design a facility that would be technically correct and provide skating challenges for varying abilities. Estrada Land Planning conducted several community workshops with local skateboarders to receive their input on what kind of skatepark they wanted to use and worked with a sub-consultant who specialized in skatepark design. The other challenge was to develop a site plan that incorporated the other uses (parking, athletic fields, picnicking) in a manner that would make Robb Field enjoyable for many different user groups. The project received an Orchid Design Award from the San Diego County community.

Oceanside Transit Center – Project Director. ELP provided construction documents for redesign of the Oceanside Transit Center. Planned improvements include extending the existing boarding platforms to the north, adding a third rail track in the center of the railroad right-of-way, building a new 1,000-foot-long boarding platform to the south, adding a new passenger walkway at the southern end of the transit center, and raising the existing platform to meet ADA requirements. The Oceanside Transit Center (OTC) is one of the busiest transit centers in the San Diego region. More than 1.2 million passengers annually board trains and buses at OTC. The transit center connects transit services between San Diego, Orange, Riverside, and Los Angeles counties. The design includes enhanced paving, planting, and irrigation design.

Old Otay Mesa Road - Estrada Land Planning, as part of a consultant team, helped develop alternative concepts and construction documents for the proposed improvement of Old Otay Mesa Road slopes. Sensitive biological habitat and visual impacts presented challenges to the design. In addition, low maintenance and no water landscape concept was desired. ELP worked extensively with local community groups to help determine a preferred alternative and prepared computer simulations depicting these alternatives.

Old Town (Westside) National City - Project Manager. In National City's Old Town, numerous single family residential and apartment buildings are presently situated next to inappropriate land uses such as boiler plants, lead plating plants and paint shops. Estrada Land Planning prepared a new land use vision. This plan involved detailed land use recommendations, circulation recommendations, traffic calming concepts, streetscape concepts and computer simulations. This was done through a series of community meetings where the community provided extensive feedback regarding the future of their community. The final product of this effort was a detailed land use plan depicting the proposed land uses as well as computer simulations and photos of what the proposed land uses might look like.

Olympic Parkway Master Plan - Project Director. Estrada Land Planning was commissioned to create a Master Plan for the Olympic Parkway within the City of Chula Vista, CA. The Parkway extends from I-805 to the Olympic Training Center (approximately 6.5 miles) and traverses several distinct communities. The Master Plan provides guidelines governing the landscape design and appearance of all portions of the Parkway. The design elements include ceremonial banners, Olympic logo art, plant, and design elements symbolizing the Mediterranean region, and median paving to reflect the appearance of a stadium track. These themes are enhanced by emphatic tree groupings and banner nodes, located at light poles along the parkway at approximately 750' on center. The streetscape design creates a unifying element from I-805 to the Olympic Training Center, while allowing the character of each community to remain. It also provides a dramatic statement to market the individual communities as well as enhance the visibility of the Olympic Training Center.

Otay Ranch New Town Plan - Project Manager. The Otay Ranch project is a 23,300-acre master planned community within southern San Diego County. Approximately 45,000 dwelling units were proposed within the

development on very topographically diverse land Estrada Land Planning prepared the New Town Plan in 1989. Extensive site analysis and site suitability analysis was used to help determine the final land use and circulation configuration. This included design guidelines, land use concepts and preparation of the associated documents.

Otay Valley Athletic Complex General Development Plan - Project Director. Estrada Land Planning prepared the General Development Plan (GDP) for a 50-acre undeveloped site located in the Otay River Valley just west of I-5. A skateboard park is the major component of the GDP along with sports fields, vehicular access, pedestrian circulation routes, restrooms, storage, offices, picnic shade structures, and landscape areas. 20 acres of sensitive habitat were analyzed for sensitive environmental conditions, potential impacts from the Athletic Complex, potential interpretive programs, and/or entry to the river park. Extensive public input meetings were held culminating in a design charrette, which helped generate design ideas for the project.

Otay Valley Regional Park - Project Manager. This framework project became the basis for the Otay Valley Regional Park. Estrada Land Planning prepared extensive community and site analysis work to develop an initial concept for what this regional park, extending from the bay to lower Otay Dam, might look like. We worked closely with local agencies and City staff to develop recreation and habitat restoration plans for this significant regional park.

Palm Avenue Street End Improvements - Project Director. Estrada Land Planning prepared conceptual plans and construction documents for two creative street termini along the shore in Imperial Beach, CA. Palm Avenue was designed to create a dramatic entry to the beach area as well as provide lifeguard access and emergency access to storm drain pump systems. Interlocking pavers are laid in wave patterns inspired by the nearby ocean, creating a plaza for cars and a beach access focus for pedestrians. A large glass paving sun pattern creates a viewpoint for enjoying the ocean vistas. The bronze surfer sculpture flanked by palm trees creates a focal point in the center of the pedestrian plaza. The facility was designed for universal accessibility. The project won an American Public Works Assoc. (APWA) Award in 2009.

Paloma Community Park - Project Director. Estrada Land Planning was responsible for the site planning, design, and landscape architecture for this 12-acre park located in a suburban community in San Marcos, CA. The park included a community building, tennis courts, ball fields, picnic areas, multi-purpose fields, a water slide, childcare facility, playground, lighting, sidewalks, and parking.

Palomar Street Transit Station & DAR at I-805 – Project Director. In conjunction with Dokken Engineering, ELP prepared site planning and landscape architectural services for this important transit center located in Chula Vista, CA. The project consisted of a Direct Access Ramp (DAR), associated transit center and a large parking area. Challenges included proximity to a high-tension power line easement and adjacency to existing low density residential. Extensive coordination with Caltrans and the City of Chula Vista was a critical step in preparing the plan.

Park to Bay Link - Project Director. The City of San Diego, for the last 70 years, has been attempting to establish a pedestrian connection from Balboa Park to the San Diego Bay. That connection has finally taken place. Estrada Land Planning with City of San Diego's redevelopment arm, the Centre City Development Corporation, and the community of East Village in downtown San Diego, was able to determine that Park Boulevard would be the corridor to make this connection. This corridor follows Park Boulevard from Balboa Park as it continues its way to the Bay through the East Village area of downtown San Diego. This unique urban corridor ranges in width between 33' to 27' on the east side and 14' on the west side. A wide sidewalk with a double row of trees and a bio-swale on the east side forms the basis of the link. Two new trolley stations were constructed as part of the initial corridor improvements. Estrada Land Planning prepared numerous conceptual designs, moderated and led the community design meetings, prepared photo realistic computer simulations to reinforce the design decisions and made the City Council presentation for the preliminary designs of the project. ELP also prepared the construction documents. The project received an Award of Merit by the American Society of Civil Engineers. Project cost \$15 million.

Plaza de Panama Fountain, Balboa Park - Project Director. The Plaza de Panama Fountain is located on the Prado in San Diego's Balboa Park. It is sited along the axis between the Art Museum and the Organ Pavilion. The

Fountain's ornate design was inspired by the Hispano/Moorish architecture theme prevalent throughout the Park's architecture. Estrada Land Planning was responsible for the design, construction documents, and construction coordination, and worked with the donor of the Fountain, the tile artisans, and the City of San Diego Park and Recreation Department. The Fountain is the centerpiece of the proposed central pedestrian plaza as identified in the Balboa Park Master Plan. The exterior tile design was modeled on historic Moorish tile designs. The individually handcrafted tiles of the fountain interior were inspired by the patterns found on the dome of the California Building adjacent to the bell tower. The project won a Merit Award from the ASLA San Diego Chapter.

Rancho San Diego - Project Manager. Rancho San Diego is a 3,000-acre master planned community in the County of San Diego. The plan proposed approximately 6,100 units, including office, commercial and recreational uses. Estrada Land Planning was responsible for the preparation of the physical land use planning, design and development regulations, guidelines, landscape architecture, and grading studies. The site topography is very steep and contains sensitive biological habitats. The plan minimizes the grading quantities and takes advantage of several key views.

Renaissance La Jolla/5 Creeks - Project Manager. This is a very high-density project incorporating the classical design themes of an Italian hill town. Fountains, sculpture, waterfalls, and lush Italian theme landscaping provide a pedestrian oriented setting for 2,500 multi-family units on 112 acres. Estrada Land Planning was responsible for the physical land planning, design guidelines, landscape architecture, and grading studies.

Renaissance La Jolla Revegetation - Project Manager. In addition to site planning services, our firm prepared the conceptual plan and construction documents to create an entirely new wetland area. Because of filling requirements, the wetland area was destroyed and a new wetland area had to be created 70 feet above the existing area.

Sacred Places - Project Manager. In cooperation with artist Jim Hubbell, Estrada Land Planning prepared a concept for a "Sacred Place" just southwest of the Jackie Robinson YMCA in southeast San Diego. The TKF Foundation provided the grant to help create a special place where people of all ages can reconnect with nature. Elements include a pathway or "journey" from Imperial Avenue that leads one on an experiential trip from the busy and noisy street to a secluded "Sacred Place". Along the journey, places to sit and write in journals supplied under benches will be provided. Within the space itself, sculptured boulders, seat walls, benches, shade structures and a concrete shade structure will be built.

Salt Creek Ranch Planning - Project Manager. Estrada Land Planning prepared the General Development Plan, land use concepts and initial grading concepts for the master planned community located in Chula Vista. The project has since been renamed Rolling Hills Ranch. In addition, Estrada Land Planning prepared detailed design concepts and guidelines for the major open spaces, community parks, and streets.

Salt Creek Substation Visual Impact Analysis – Project Manager. Estrada Land Planning is currently preparing the visual impact analysis for a future substation located in Otay Ranch. A large substation is proposed adjacent to visually sensitive open space. In addition, a new power line will be located within an existing easement between the new substation and the existing San Miguel substation. The Visual Impact Analysis includes preparing computer simulations from seven Key Observation Points as well as analyzing the visual impacts from the public right-of-way from each of these observation points.

San Diego Airport EIR Visual Analysis - Project Manager. Estrada Land Planning (ELP) performed analyses and documentation for the aesthetics environmental impact report, which addressed impacts and mitigation measures for the proposed project and South Terminal. The evaluation included examination of impacts of the proposed project including taking information from the Environmental Constraints Analysis and the EA/IS for the Extension of Taxiway "C." ELP evaluated the effects on views from communities north and east of the airport. Additionally, ELP used existing drawings of terminal sections to develop the aesthetics analysis, prepared a rendering, and evaluated the cumulative impact for aesthetics.

San Diego Convention Center Expansion - Project Manager. Estrada Land Planning was responsible for the preparation of landscape construction documents for the expansion of the San Diego Convention Center. Work included design and plans for grand stairway, pedestrian entry at 5th Avenue and Harbor Drive, planting on

structure, perimeter landscaping, redesign of Harbor Drive medians and construction administration. The project involved extensive coordination and interface with numerous design Subconsultant's.

San Diego International Airport Master Plan - Project Manager. Estrada Land Planning was a member of the design team headed by HNTB to prepare the first master plan for Lindbergh Field for the Port District of San Diego. ELP's primary role was to evaluate the existing land use pattern and mass transit systems and to assist HNTB in the preparation of a new master development plan for the ultimate expansion of airport facilities.

San Diego State University Trolley Station - Project Director. Estrada Land Planning designed portions of the SDSU "underground" LRT station and the entire adjacent plaza. The project required extensive coordination with the SDSU campus, the SDSU Foundation, MTDB and the community. Areas of the campus adjacent to and impacted by the station and tunnel were redesigned as part of this project. These areas included hillside revegetation at the east and west portals; redesign of "Aztec Green," SDSU's central promenade area; as well as the transformation of the old transit center to pedestrian space. Estrada Land Planning developed exterior design concepts, and prepared landscape plans and construction documents. The project won a Grand Orchid Design Award from the San Diego County community.

San Dieguito Lagoon Restoration Project - Vicki Estrada, while with PRC Engineering, was the project manager and principal designer for this innovative lagoon and canyon restoration project. The project involved creating a new natural appearing lagoon to aid in the tidal flow of the existing lagoon. The spoils from the lagoon were used to mitigate erosion in the adjacent Crest Canyon area. Client: City of Del Mar

San Dieguito Park Accessible Ball Field - Project Director. Estrada Land Planning led the design team in preparing concept designs and construction documents for a fully accessible ball field for use by the Miracle League, National Wheelchair Softball Association, and other users with special needs. This is the first ball field of its kind in San Diego County, and includes features such as wheelchair friendly, fall-cushioning rubberized surfacing, barrier free design, family restrooms for privacy, concession, storage oversize team dugouts, shade structures, picnic areas, and easy access to parking. The project is located on top of a reservoir, and requires special structural engineering to minimize impacts. The design team included landscape architects, surveyors, civil engineers, structural engineers, geotechnical engineers, and electrical engineers. The project received the National Public Works Association Award of Excellence in 2007, the California Park and Recreation Society Award of Excellence in Facility Design/Sports Facilities in 2008 and the National Association of Counties Design Innovation Award 2008.

San Dieguito River Valley Regional Park - Project Manager. Estrada Land Planning was responsible for preparing the initial study for the San Diego River Valley Regional Park. The scope included preparing initial opportunities and constraints mapping and preliminary concepts for the entire San Dieguito River Watershed. The results of the study were combined to create a master plan including plan graphics, elevations, illustrations, and text documenting the plan.

San Miguel Ranch - Project Manager. San Miguel Ranch is a 2,500-acre, 1,400-unit planned community located south of the Sweetwater Reservoir in Chula Vista California. Estrada Land Planning was responsible for the initial land plan and the subsequent preparation and approval of the General Development Plan (GDP). The GDP consisted of site planning criteria, lot layout, site grading, recreational and open space planning, and landscape architecture concepts.

San Onofre Pulgas Double Track Phases 1 and 2 – Project Director. Landscape Architectural services included the preparation of Plans, Specifications and Estimates (PS&E) for the 10-mile-long double track alignment. Revegetation and Landscape Restoration Plans included the use of permanent erosion control hydroseeding improvements to establish graded slope conditions within the project limits. A California native plant hydroseed mix was used to cover exposed slopes and establish contextual native landscaping along the new track alignment. A grass swale hydroseed mix was used within drainage swales adjacent to new track alignments to convey storm water to designated drainage ways.

San Sebastian – Project Director. Estrada Land Planning prepared the overall land plan for this large 244-lot high-end residential project in Morgan Hill, California. The site was previously a dying cherry orchard. In addition to the overall land plan, ELP prepared the site plan for the project, siting every lot and house. The project received

unanimous approval from the Morgan Hill City Council. A central green spineway was designed as the focal point of the project incorporating existing Oak trees into the street scene.

Santee Town Center Transit Station - Project Director. Estrada Land Planning was the lead consultant and designer for the Santee Town Center Transit Station, the primary intermodal transportation facility for San Diego's East County. It serves as the terminus station of the Light Rail Transit East Line Extension of the San Diego Trolley, and is a major bus transfer facility for the San Diego County Transit System. It is also a cornerstone in the planning and future growth of the Santee community, serving as the catalyst to the planned urban development of Santee's emerging Santee Town Center. Centrally located in Santee's emerging Town Center, the aim of the project was to develop a facility, which was functional and reflective of the unique character of the region. The project scope included perimeter access roads, trolley/bus shelters, bus parking bays, platform lighting, taxi stops, parking, a sheriff storefront facility, water features, and signage. The project required coordination between the interests of MTDB, the City of Santee and San Diego County Transit. The project received an Orchid Design Award from the San Diego County community, and a Land Use Planning Award from the American Planning Association, San Diego Chapter.

San Vicente Dam Raise and Recreation Master Plan Update - 2006 - Project Director. Estrada Land Planning prepared a Recreation Master Plan update for the San Diego County Water Authority. The specific tasks included revision of the marina access road, new marina, marina parking, loading and unloading zones, concession area, boat launches, beaches, boat rental areas, boat docking area, new fishing areas, fishing piers, and access trails to fishing areas.

San Ysidro Intermodal Transportation Center Feasibility Study - Project Manager. Estrada Land Planning prepared the preliminary engineering for the San Ysidro International Border Crossing for MTDB. The plan focused on the improvement of traffic circulation, access, safety and convenience, the renovation of existing facilities and joint development opportunities. The project was unique in that it is the busiest LRT station. Extensive community meetings and meetings with the adjacent federal agencies were held. In addition, the plan accounted for a variety of private transit uses such as jitneys and shuttles. The solution created a larger pedestrian friendly plaza and greatly reduced the amount of traffic conflicts.

San Ysidro Mobility Study - Project Director. Estrada Land Planning prepared this important study for the City of San Diego in the community of San Ysidro. The study evaluated the current movement of pedestrians, cars, bicycles, and mass transit. The purpose of the study was to recommend areas in which circulation can be made more efficient, safer and more pleasant. Street widths, possible new streets, intersection signalization, sidewalks, trails, pedestrian bridges, and more walkable site amenities were evaluated within three focus areas. Extensive community workshops were held with the business and residential community to understand the complexity of the existing mobility conditions. The recommendations developed were then reviewed by the community during subsequent workshops. This resulted in a mobility study that is creative, technically sound, and met the needs of the community.

San Ysidro Pilot Village - Project Manager. Estrada Land Planning worked with the community and the City of San Diego to prepare a site plan and landscape concept plan. The plan included a mixed-use project with affordable housing units above the redeveloped commercial district, and public amenities such as the new San Ysidro Fire Station, pocket gardens, courtyards, farmers market, and community center.

Saudi Arabian Military Cities - Vicki Estrada (while with another firm) was responsible for the planning and land use for two military cities for the Saudi Arabian National Guard in the early 1980's. The scope involved complete design of the cities including housing, commercial and military uses. The plans were the basis for constructing the cities, which were completed in the late 1980's.

Southwestern College Transit Facility - Project Manager. Estrada Land Planning provided site improvements to a transit center located at the main campus entry. The project scope included feasibility studies, construction documents, and construction observation services. Bus shelters, bus-parking bays, seat walls, retaining walls, lighting, planters, and landscaping were the major project components, and were detailed to reflect the Mayan influence, which predominates the campus architecture. The facility will greatly increase the level of service for campus commuters.

State Route 78 Urban Design Plan - Project Manager. Estrada Land Planning prepared the urban design plan for SR-78 from Oceanside to San Marcos, Vista, and Escondido. The project involved assessing current conditions and preparing landscape architecture, art, streetscape, and design guidelines for private properties adjacent to the freeway. The project area involved five (5) jurisdictions, was 16 miles long, and is a major circulation artery that connects the coast to the inland area of Escondido. The study provided the means to preserve and enhance the visual quality that encompasses the freeway corridor.

State Route 94 (Jamul) Visual Impact Assessment— Landscape Architect. Estrada Land Planning prepared a Visual Impact Assessment (VIA) and Environmental Impact Report (EIR) to evaluate roadway improvements proposed for SR-94 through Jamul, CA. The improvements are planned in conjunction with a proposed Jamul Indian Village gaming facility that would increase traffic throughout the area. Estrada Land Planning prepared 3D models and simulations depicting roadway widening and realignment, grading, signalization, utility, and landscape improvements within a 45-acre impacted area for five different alternatives. The VIA report included specific text addressing the existing visual character and quality, the viewer groups, viewer exposure and sensitivity, changes to visual character and quality, summary tables and graphics, and mitigation measures.

State Route 163 and Friars Road Landscape Concept Plan & Visual Impact Analysis - Project Director. Estrada Land Planning prepared the Landscape Concept Plan and Visual Impact Analysis (VIA) for improvements to the State Route 163 and Friars Road interchange in the City of San Diego. Challenges included mitigating the impact of several retaining walls and new overhead (bridge) structures. The transition from the San Diego River to the surrounding mesas inspired the conceptual design for riparian vegetation transitioning to coastal sage scrub and chaparral planting. Walls and other concrete structures were visually softened with vines and treated with a cobblestone look to match the adjacent rocky slopes. The detailed planting and pedestrian areas at the intersection provides a sense of arrival to the surrounding shopping district.

Sunset Cliffs Natural Park Hillside Section Improvements – Project Director. ELP is currently leading the team of planning, landscape architecture, civil engineering, geotechnical, and environmental consultants to provide design, environmental analysis, and construction documents for the implementation of the master plan. The 50-acre park includes a pedestrian trail system with observation points. Goals include reducing impacts to archaeological resources and enhancement of native habitat including sensitive species and plant communities. The design includes fencing, hiking trail surfacing, site furnishings, observation points, signage, planting, and temporary irrigation, as well as the removal of non-native invasive plants, existing man-made structures, and an athletic field. The existing trails which are not to be parts of the proposed trail system and all other disturbed areas will be revegetated to match the surrounding native vegetation.

Superloop - Project Director. The SuperLoop project is a Bus Rapid Transit (BRT) system for the North City area. The project links UCSD, Nobel Park, and all areas in between via bus routes along Nobel, Judicial, Executive, Voigt and Gilman Drives. Estrada Land Planning provided landscape architectural and architectural design services for the bus stop locations located along the route. Design services included the preparation of contract documents and included the design of the shelter, windscreen and walls, safety lighting, theme lighting, branding signage, advertisement kiosk, seating, lean railing and curbing, site paving, and site furnishings. The site improvements were designed to meet a maximum budget of \$225,000 for each bus stop location. This project won the “Project of the Year” Award at the American Society of Civil Engineers 2016 Project Awards Program.

Tijuana River Valley Equestrian Facility – Project Manager - This project evaluated the feasibility of an equestrian center located in the Tijuana River Valley adjacent to the Mexican border in San Diego County. In addition, two show rings, parking, trailhead, and staging areas were evaluated. The site is located within an existing floodplain and required sensitive planning techniques to ensure that flooding would not be an issue.

Torrey Pines City Park Master Development Plan - Vicki Estrada served as project manager for the master development plan while with The Pekarek Group and was personally responsible for the design and development of the site plans. The master development plan included a conventional and hang-glider and model glider ports, picnic and restroom facilities, viewpoints, open play area, nature trails, and parking area for Blacks Beach access and overflow parking for a major golf tournament adjacent to the park.

Torrey Reserve Heights - Project Manager. The Torrey Reserve Heights project is a 230-acre, 1,900-Unit residential development located immediately east of Torrey Reserve State Park. It is now called Torrey Hills. Estrada Land

Planning was responsible for the design of the initial site land use plan, site planning, grading concepts, design guidelines, Planned Residential Development (PRD) submittal, and landscape design.

Town Center Parkway – Project Director. Estrada Land Planning prepared design and construction documents for a raised pedestrian crossing to provide a seamless pedestrian link between Trolley Square, the Metro Transit station, and the future entertainment complex in the City of Santee. Estrada Land Planning was tasked with creating a vivid and artistic statement that would enhance the crossing and connect both sides of the development. Estrada Land Planning worked closely with the contractor to identify any potential issues that might arise and that there was smooth transition from design to installation. Along with the paving, Estrada Land Planning, designed the customized bollards and lighting by using a combination of off-the-shelf items and custom components.

Trail System Assessment - Project Director. Estrada Land Planning prepared a Trail System Assessment Report for the County of San Diego. One of the primary purposes of this report was to assess the level of service being provided by existing trails in the County and compare that to the level of current and future demand. The assessment included surveys, established the benefits of trails, provided community input that determined the current needs of trail users (hikers, bikers, and equestrians) in the County, established opportunities and constraints for future trails, outlined trail guidelines and possible funding options for trail implementation. The synthesis of this information was used to establish a Trail System Concept for developing a Trails Program for the County's General Plan 2020 update.

University Avenue Improvement Project - Project Director. Estrada Land Planning led the urban design effort, in cooperation with the City of San Diego Economic Development Department, to develop streetscape design guidelines for a two-and-a-half-mile portion of University Avenue, from Interstate 805 to 54th Street. Estrada Land Planning led a series of community meetings to obtain public input, address concerns, and develop community consensus for an innovative design. The planning phase of the project culminated in a master plan document containing analysis, text, graphics, and simulations illustrating the design concepts. After community review, the report was modified to incorporate the public input. Following completion of the master planning report, Estrada Land Planning was contracted to prepare construction documents to implement the first phase of the master plan.

University Avenue Streetscape Improvements, Mid-City Urban Forestry, 37th to 39th Street – Project Director. This project initiated the construction phase of the University Avenue Streetscape Improvements based on the master plan prepared by Estrada Land Planning. The design and detailed construction documents were prepared for the addition of planting and amenities to this four-block section of an important transportation corridor through a re-developing San Diego neighborhood. Trees, shrubs, lighting, tree grates, planters, pavers and irrigation were added to enhance this mixed commercial and residential street.

University Ave. /Normal Street Streetscape - Project Director. Estrada Land Planning, in conjunction with Nasland Engineering, prepared a conceptual master plan for the University Avenue and Normal Street Corridor in Hillcrest between Sixth Avenue, Washington Street and Park Boulevard. The concept included urban plazas, medians, revised parking layout, and landscape and sidewalk improvements. Construction documents were prepared for Phase I median improvements, constructed in 2000.

University Avenue Streetscape Revitalization - La Mesa - Project Director. Estrada Land Planning provided site investigation and conceptual level design services for University Avenue from 69th Street to La Mesa Blvd. /Memorial Drive. The primary goal was to provide a vision for the revitalization, improvement and beautification of the streetscape medians and right-of-ways. Secondary goals were to provide a design that would allow for more 'walkable' streetscapes within the community. The conceptual level design documents included planting schemes, enhanced paving concepts, mid-median pedestrian crossings, pedestrian safety issues, and identifying opportunities to soften the urban landscape through one of La Mesa's primary corridors. The project won the American Public Works Association Project of the Year Award in 2011.

University Avenue Urban Forestry Project - Project Director. Estrada Land Planning designed and prepared detailed construction documents for the addition of street plantings to this four-block section of an existing street located in an older San Diego neighborhood. Trees, shrubs, lighting, tree grates, planters, pavers, and irrigation were added to enhance this commercial street.

Uptown Substation - Project Director. Estrada Land Planning prepared the landscape concept plan the proposed Uptown Substation located in San Diego for SDG&E. The 2.6-acre site is in the community of Grant Hill, which is surrounded by commercial land uses to the south, and residential land uses to the east and west. The plan included conceptual planting design for approximately 1.0 acre along the perimeter of the site development.

Vista Townsite Park - Project Director. Estrada Land Planning was responsible for the design, construction documents, and construction for this 5-acre park and athletic facility. Several community meetings were held to help determine the park program. Program elements included multi-purpose ball field/ soccer field, landscaping, playground, sidewalks, basketball court, picnic area, parking, walls, fencing, lighting, and a Sheriff substation. The park provides a full-size soccer field and supporting activities for the community of Vista. The families of the soccer players can barbeque picnic and use the play equipment while attending the games. This is a heavily used and very popular park in an established residential neighborhood of Vista.

West Maple Canyon Mini Park – Project Director. Estrada Land Planning was selected to prepare construction documents for this small park located in the Banker's Hill neighborhood within the City of San Diego. The project is a quarter-acre parcel along the southern edge of West Maple Canyon. The project improvements included enhanced concrete paving, retaining walls, a viewing area with seat wall and interpretive signage, and fencing along the top of slope. New native vegetation on slopes, drought tolerant park plantings, automated irrigation and light systems were designed. The challenge was designing careful site grading to transition from the street right-of-way to the new viewing spaces with ADA-compliant walkways. A second challenge was to protect and support the existing Waldo Waterman historical monument with enhanced retaining walls and paving. Interpretive signage explains the history of Waldo Waterman, a local aviation pioneer, and his use of this specific site in the early days of his career

Wightman Street Neighborhood Park - Project Director. The City selected Estrada Land Planning for this project specifically because of our ability to engage the community in meaningful, interactive workshops, and our skill at resolving contentious community issues. The design for the project developed as a result of three community workshops, evaluating and assembling the Community's numerous wishes into a coherent and feasible design. The 1 acre site includes two play structures, two basketball courts, an entry plaza, a shade structure, picnic areas, barbeques, and a creek-side nature trail with a bridge and interpretive exhibits. The park design is integrated with the restoration of a portion of Auburn Creek, a tributary of Chollas Creek, in conformance with the Chollas Creek Enhancement Plan, also developed by our office. Park run-off is filtered through a series of vegetated swales before entering the creek. Due to the new stormwater requirements, Estrada Land Planning prepared a revised design and construction documents.