

1/2

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ. 120759
- Address and APN(s):
APN. # 346-791-12-00
- Project contact name, phone, e-mail: SCOTT SPENCER 1.858.459.8898
E. SCOTTSPENCERARCHITECT@GMAIL.COM
- Project description:
NEW SINGLE FAMILY RESIDENCE + SITE DEVELOPMENT
- Please indicate the action you are seeking from the Advisory Board:
 - ☐ Recommendation that the Project is minor in scope (Process 1)
 - ☒ Recommendation of approval of a Site Development Permit (SDP)
 - ☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☒ Other: LA JOLLA SHORES DEV. PERMIT
- In addition, provide the following:
 - lot size: 11,600 SF
 - existing structure square footage and FAR (if applicable): 0
 - proposed square footage and FAR: 4850 + 1205 (BASE) FAR 40.9%
 - existing and proposed setbacks on all sides: 0 EXIST. F. 20, SIDE 0.5/0, REAR 40'
 - height if greater than 1-story (above ground): 23'-0"

For Information Items (For projects seeking input and direction. No action at this time)

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

NA

3/2

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

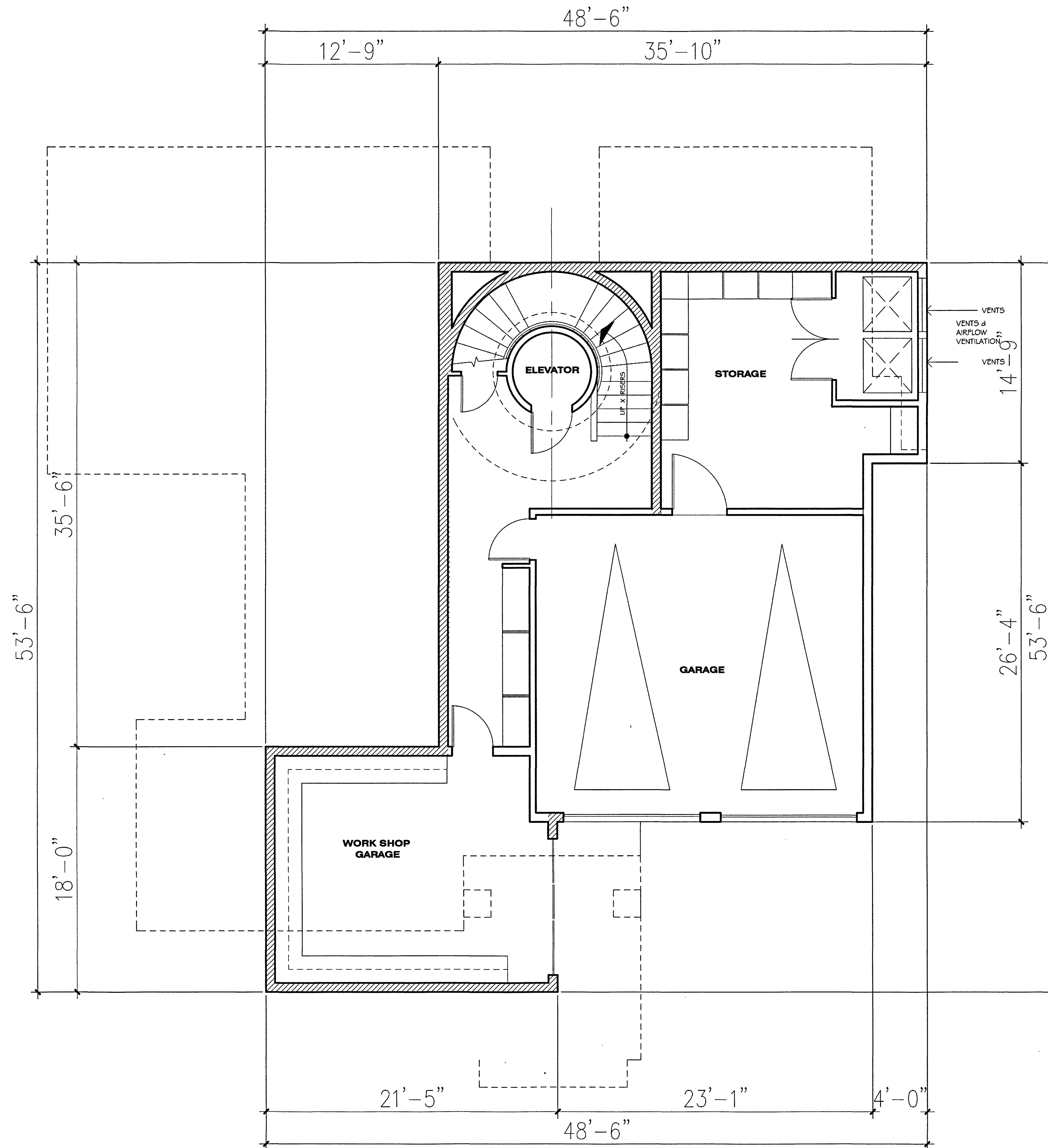
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173



GROUND FLOOR (BASEMENT) PLAN

SCALE : 1/4" = 1'-0"

GARAGE AREA 770.0 SQ.FT.
REMAING
STAIRS STORAGE 745.4 SQ.FT.

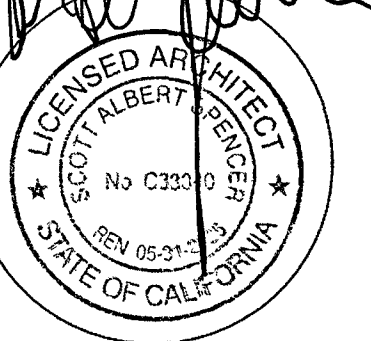
TOTAL THIS FLOOR 1515.4

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT.No: 2
SHEET TITLE: GROUND FLOOR/BASEMENT PLAN	SHT. 2 OF 12
DATE:	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY: 27	
LEGAL: PAL 21600 PARCELA 2	
APN: 346-751-12-00	
OWNER: JOE & CARINA SEROV	CONSTRUCTION: V-B
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL	

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

BUS: (858)459-8898
FAX: (858)459-8901
scottspencerarchitect@gmail.com



GROUND FLOOR
BASEMENT PLAN

SHEET TITLE:

DESIGN BY: Scott

CHK'D BY: Scott

DRWN BY: Miguel

DATE: 7/16/2024

JOB NUMBER:

SCALE:

REVISIONS BY DATE

1. 11.22.2024

2.

3.

4.

5.

6.

7.

8.

9.

10.

11.

12.

13.

14.

15.

16.

17.

18.

19.

20.

21.

22.

23.

24.

25.

26.

27.

28.

29.

30.

31.

32.

33.

34.

35.

36.

37.

38.

39.

40.

41.

42.

43.

44.

45.

46.

47.

48.

49.

50.

51.

52.

53.

54.

55.

56.

57.

58.

59.

60.

61.

62.

63.

64.

65.

66.

67.

68.

69.

70.

71.

72.

73.

74.

75.

76.

77.

78.

79.

80.

81.

82.

83.

84.

85.

86.

87.

88.

89.

90.

91.

92.

93.

94.

95.

96.

97.

98.

99.

100.

101.

102.

103.

104.

105.

106.

107.

108.

109.

110.

111.

112.

113.

114.

115.

116.

117.

118.

119.

120.

121.

122.

123.

124.

125.

126.

127.

128.

129.

130.

131.

132.

133.

134.

135.

136.

137.

138.

139.

140.

141.

142.

143.

144.

145.

146.

147.

148.

149.

150.

151.

152.

153.

154.

155.

156.

157.

158.

159.

160.

161.

162.

163.

164.

165.

166.

167.

168.

169.

170.

171.

172.

173.

174.

175.

176.

177.

178.

179.

180.

181.

182.

183.

184.

185.

186.

187.

188.

189.

190.

191.

192.

193.

194.

195.

196.

197.

198.

199.

200.

201.

202.

203.

204.

205.

206.

207.

208.

209.

210.

211.

212.

213.

214.

215.

216.

217.

218.

219.

220.

221.

222.

223.

224.

225.

226.

227.

228.

229.

230.

231.

232.

233.

234.

235.

236.

237.

238.

239.

240.

241.

242.

243.

244.

245.

246.

247.

248.

249.

250.

251.

252.

253.

254.

255.

256.

257.

258.

259.

260.

261.

262.

263.

264.

265.

266.

267.

268.

269.

270.

271.

272.

273.

274.

275.

276.

277.

278.

279.

280.

281.

282.

283.

284.

285.

286.

287.

288.

289.

290.

291.

292.



AREA THIS FLOOR 2947.84 SQ.FT.

FIRST FLOOR

 _____
 _____
 _____
 _____

A3.0

Scott A. Spencer & Associates
1110 TORREY PINES ROAD., STE. " D"
LA JOLLA, CA 92037

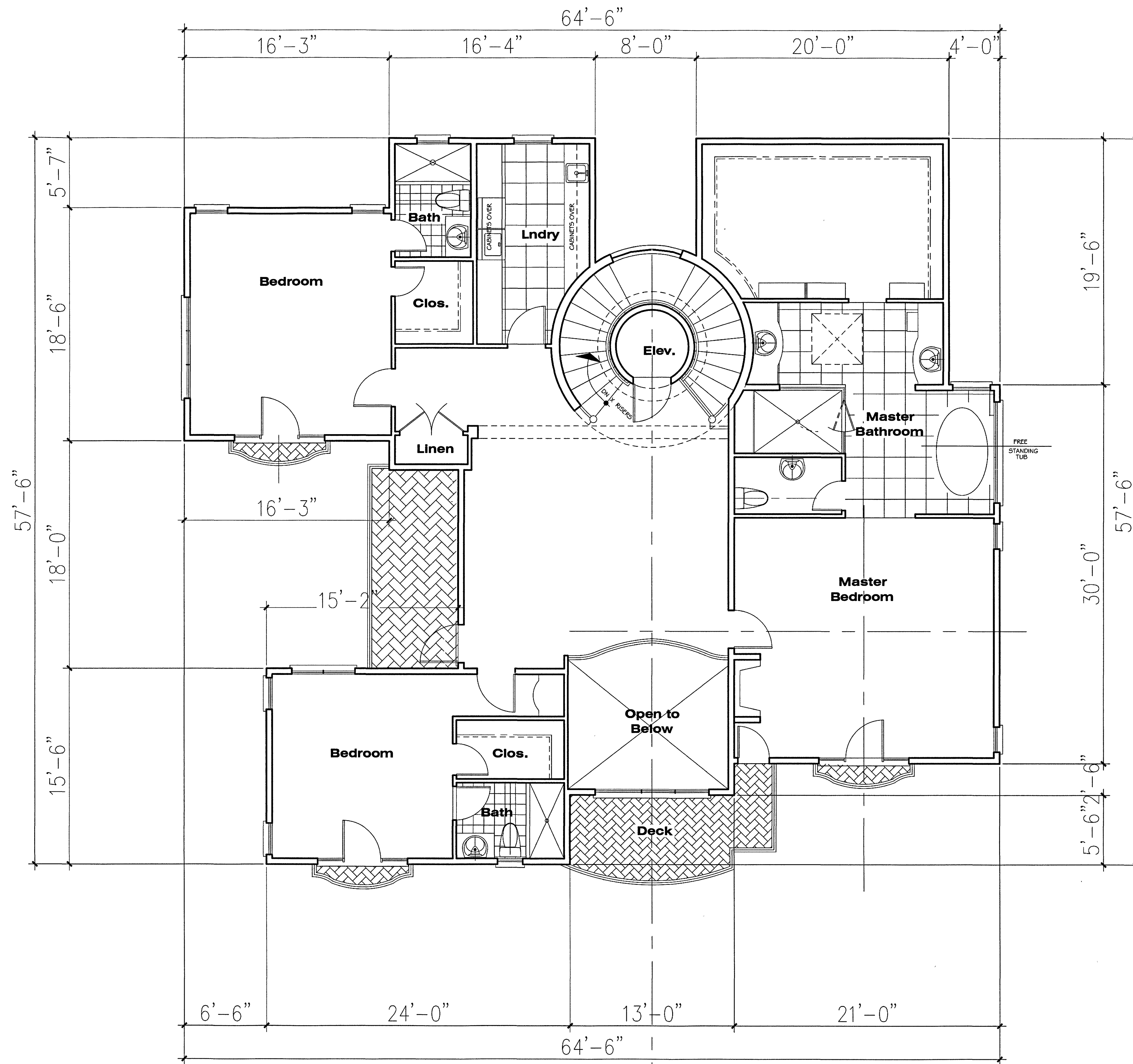
BUS: (858) 459-8898
FAX: (858) 459-8901
scottspencerarchitect@

PROJECT :

THE SEROV FAMILY RESIDENCE

OWNER(S) :
0000 (APN:346-791-12-00

Sugarman Dr., La Jolla



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA THIS FLOOR 2591.03 SQ.FT.

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 4
SHEET TITLE: SECOND FLOOR PLAN	SHT. 4 OF 12
DATE:	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (658)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY: 27	
LEGAL: PM 21806 PARCELA 2	
APN: 346-791-12-00	
OWNER: JOE & CARINA SEROV	CONSTRUCTION: V-B
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL	

PROJECT: THE SEROV FAMILY RESIDENCE

OWNER(S): 0000 (APN:346-791-12-00)

Sugarman Dr., La Jolla

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"

LA JOLLA, CA 92037

BUS: (658)459-8898

FAX: (658)459-8901

scottspencerarchitect@gmail.com

SCOTT A. SPENCER

Architect Lic. C33340

SECOND FLOOR

PLAN

DESIGN BY: Scott

CHKD BY: Scott

DRWN BY: Miguel

DATE: 7/16/2024

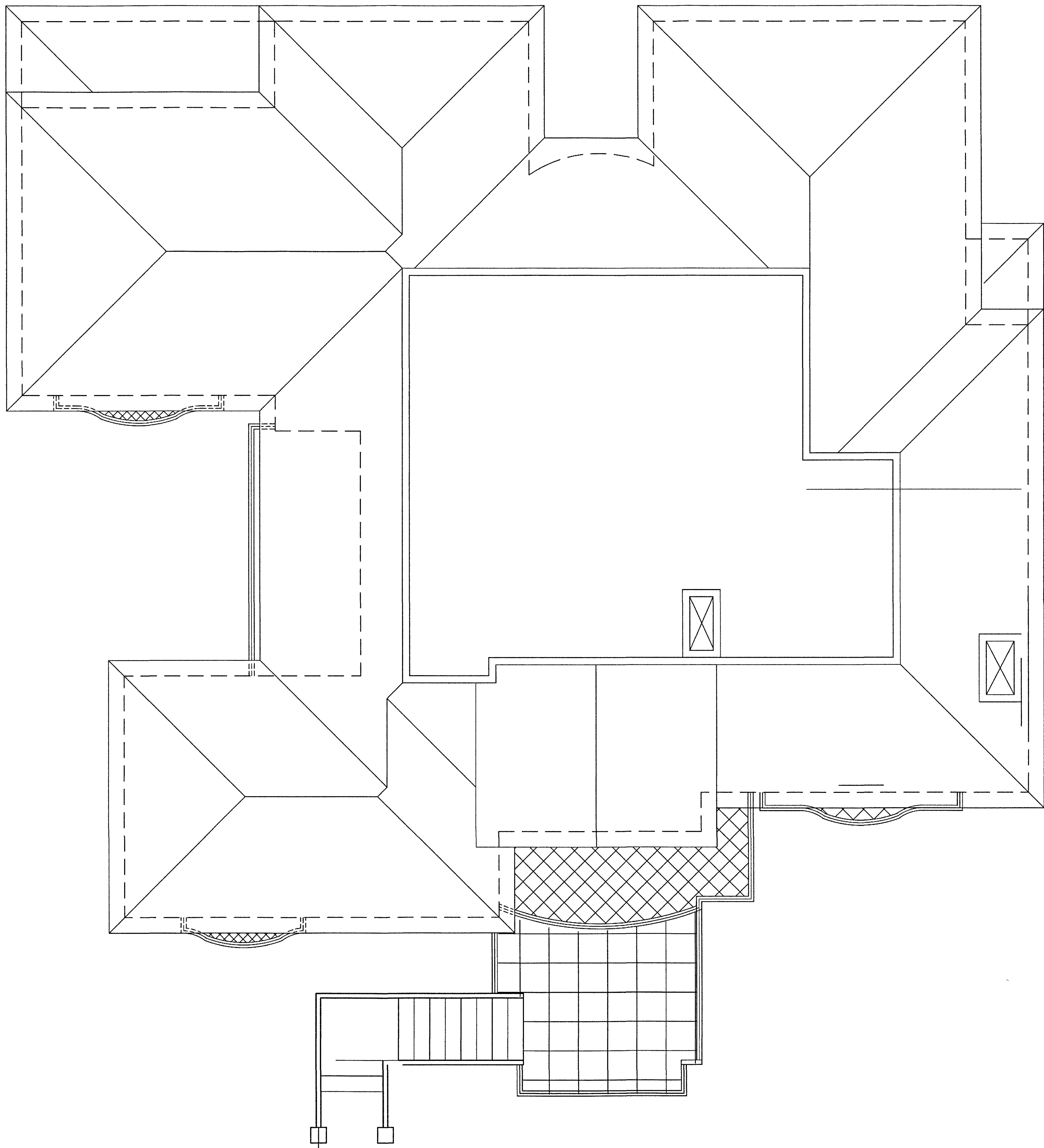
JOB NUMBER:

SCALE:

REVISIONS BY DATE

1 11.23.2024

A4.0



ROOF FLOOR PLAN

SCALE : 1/4" = 1'-0"

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT.No: 5
SHEET TITLE: ROOF FLOOR PLAN	SHT. 5 OF 12
DATE:	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY:	27
LEGAL: PM 21806 PARCELA 2	
APN: 346-791-12-00	CONSTRUCTION: V-B
OWNER: JOE & CARINA SEROV	
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
	PROPOSED USE: RESIDENTIAL

PROJECT:
THE SEROV FAMILY RESIDENCE

OWNER(S):
0000 (APN:346-791-12-00)

Sugarman Dr., La Jolla

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

BUS:(858)459-8898
FAX:(858)459-8901
scottspencerarchitect@gmail.com

SCOTT A. SPENCER
Architect Lic. C33340

ROOF PLAN

DESIGN BY: Scott

CHKD BY: Scott

DRWN BY: Miguel

DATE: 7/18/2024

JOB NUMBER:

SCALE:

REVISIONS BY DATE

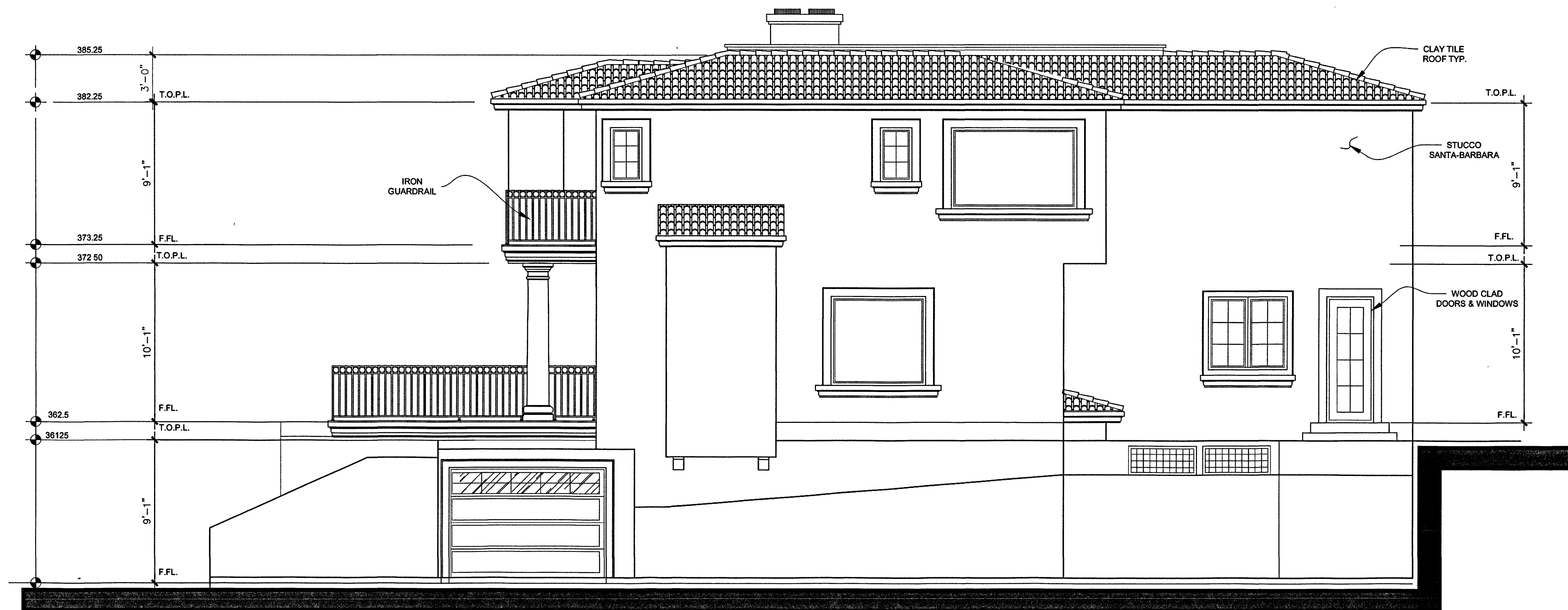
1 11.23.2024

A5.0



EAST BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



NORTH BUILDING ELEVATION

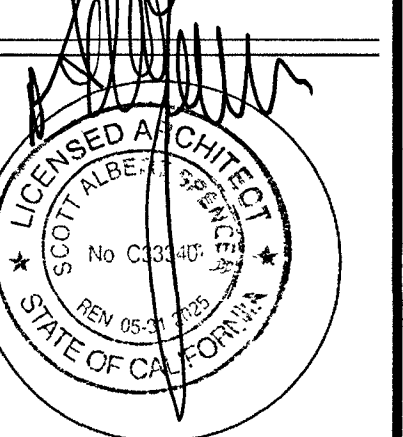
SCALE: 1/4" = 1'-0"

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 6
SHEET TITLE: BUILDING ELEVATIONS	SHT. 8 OF 12
DATE: 7/16/2024	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY: 27	
LEGAL: PM: 21000 PARCELA 2	
APN: 346-791-12-00	
OWNER: JOE & CARINA SEROV	
CONSTRUCTION: V-8	
OCCUPANCY: R-3U	
ZONE: LA JOLLA SHORES PLANNED DISTRICT	
SITE AREA: 11,160 S.F.	
EXISTING USE: VACANT	
PROPOSED USE: RESIDENTIAL	

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

BUS: (858)459-8898
FAX: (858)459-8901
scottspencerarchitect@gmail.com



BUILDING
ELEVATIONS

SHEET TITLE:

DESIGN BY: Scott
CHK'D BY: Scott
DRWN BY: Miguel

DATE: 7/16/2024

JOB NUMBER:

SCALE:

REVISIONS BY DATE

1 11.13.2024

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

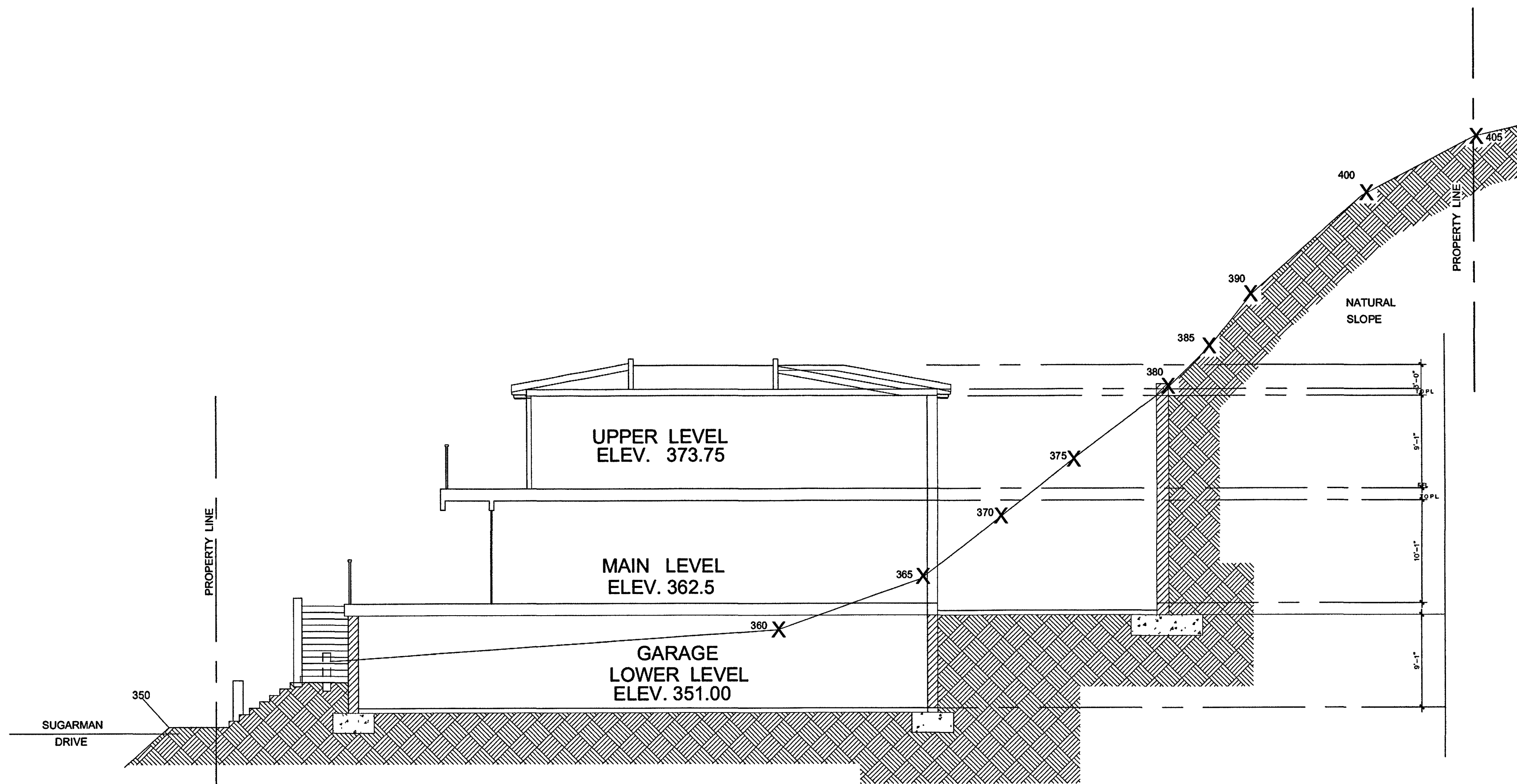
285

286



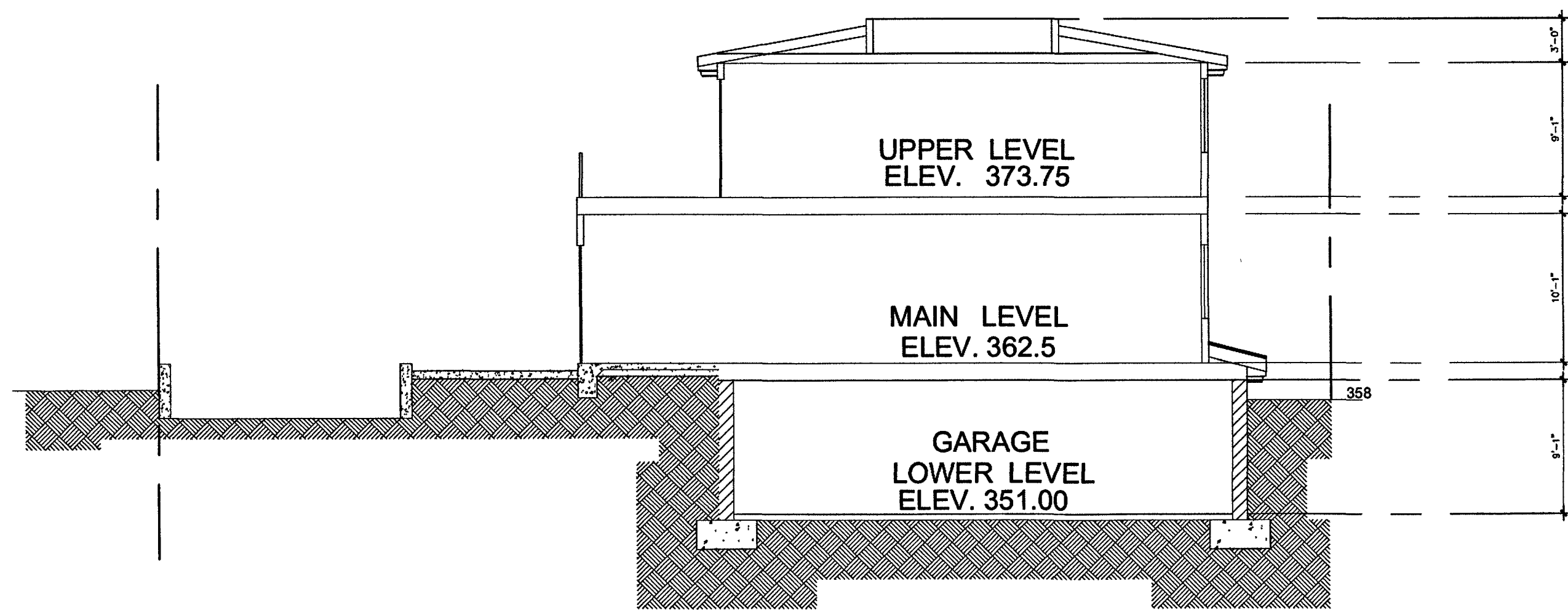
TITLE BLOCK INF.		
PROJECT: <u>THE SERVO FAMILY RESIDENCE</u>		SHT. NO. <u>7</u>
SHEET TITLE: <u>FOUNDATION ELEVATIONS</u>		SHT. <u>7</u> OF <u>12</u>
DATE: _____		REVISIONS: _____
SCOPE OF WORK: <u>LA JOLLA SHORES DEVELOPMENT PERMIT</u>		
   		
ARCHITECT: <u>Scott A. Spencer</u>		
Phone: <u>(858) 459-8898</u>		
CIVIL ENGINEER: _____		
LANDSCAPE ARCHITECT: _____		
GEOLOGIC HAZARD CATEGORY: _____		<u>27</u>
LEGAL: <u>PIN 2185 PARCELA 2</u>		
APN: <u>346-791-1200</u>		
OWNER <u>JOE & CARINA SERVO</u>		CONSTRUCTION: <u>V-B</u>
OCCUPANCY: <u>R-3U</u>		
SITE AREA: <u>11,160 S.F.</u>		
	ZONE: <u>LA JOLLA SHORES PLANNED DISTRICT</u>	
	EXISTING USE: <u>VACANT</u>	
	PROPOSED USE: <u>RESIDENTIAL</u>	

A7.0



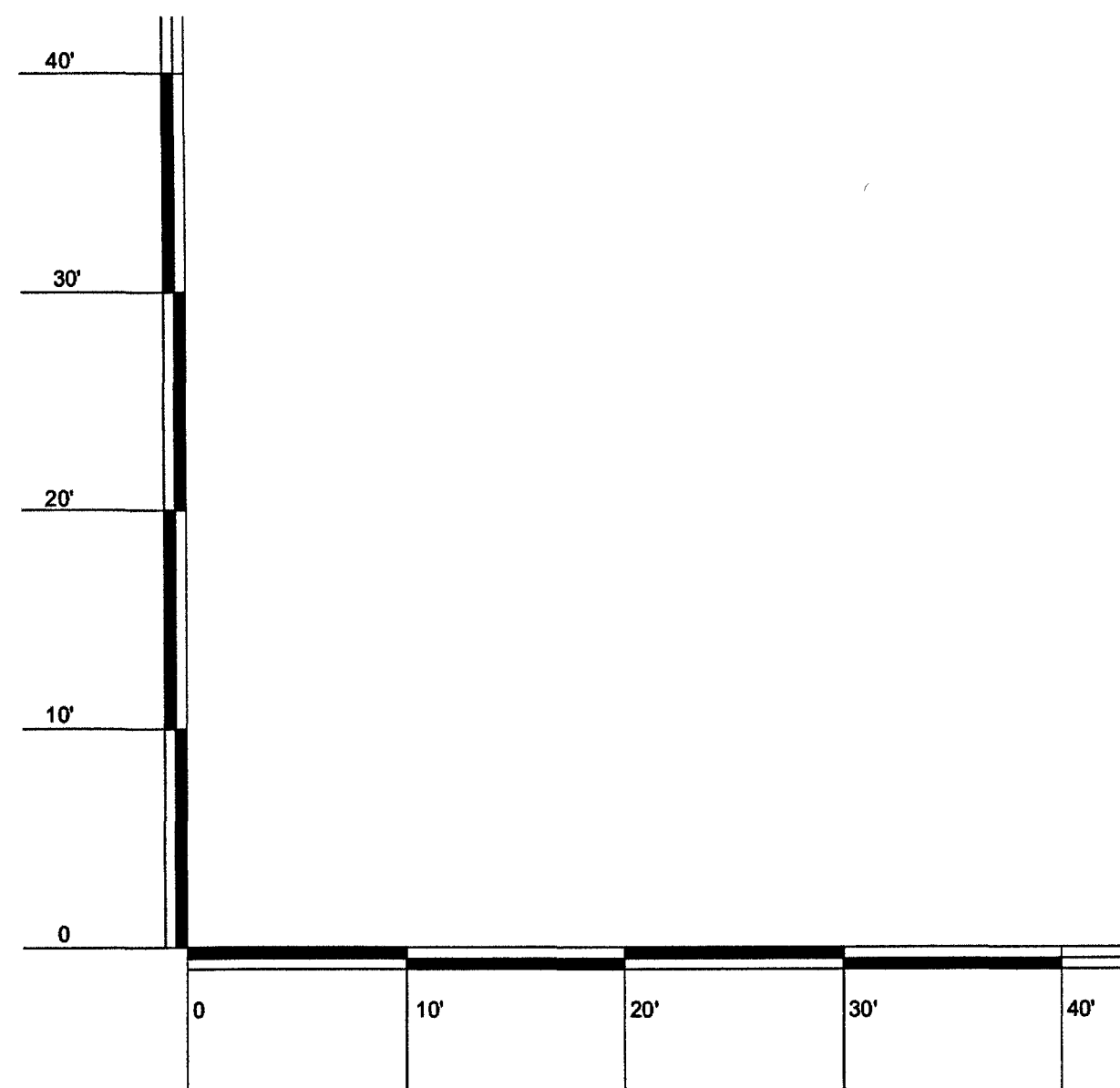
BUILDING-SITE SECTION A-A

SCALE : 1/8" = 1'-0"



BUILDING-SITE SECTION B-B

SCALE : 1/8" = 1'-0"

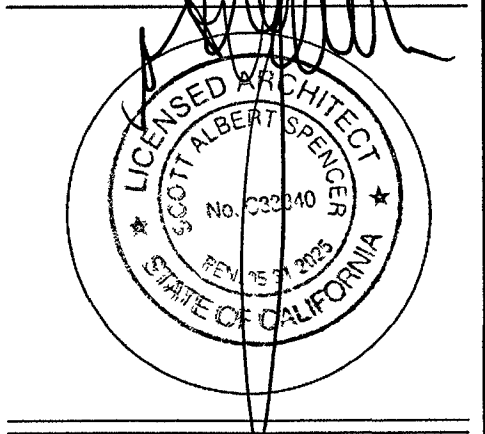


GRAPHIC SCALE

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 6
SHEET TITLE: BUILDING ELEVATIONS	SHT. & OF 12
DATE: 7/16/2024	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY:	27
LEGAL: PH. 21808 PARCELA 2	
APN: 346-791-12-00	
OWNER: JOE & CARINA SEROV	CONSTRUCTION: V-B
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
	PROPOSED USE: RESIDENTIAL

PROJECT:	THE SEROV FAMILY RESIDENCE
OWNERS:	0000 (APN:346-791-12-00)
	Sugarman Dr., La Jolla

Scott A. Spencer & Associates	1110 TORREY PINES ROAD, STE. " D"	SCOTT A. SPENCER
	LA JOLLA, CA 92037	Architect Lic. C33340
	BUS: (858)459-8898	
	FAX: (858)459-8901	
	scottspencerarchitect@gmail.com	



SITE
BUILDING
SECTIONS

DESIGN BY:	Scott
CHECK BY:	Scott
DRWN BY:	Miguel

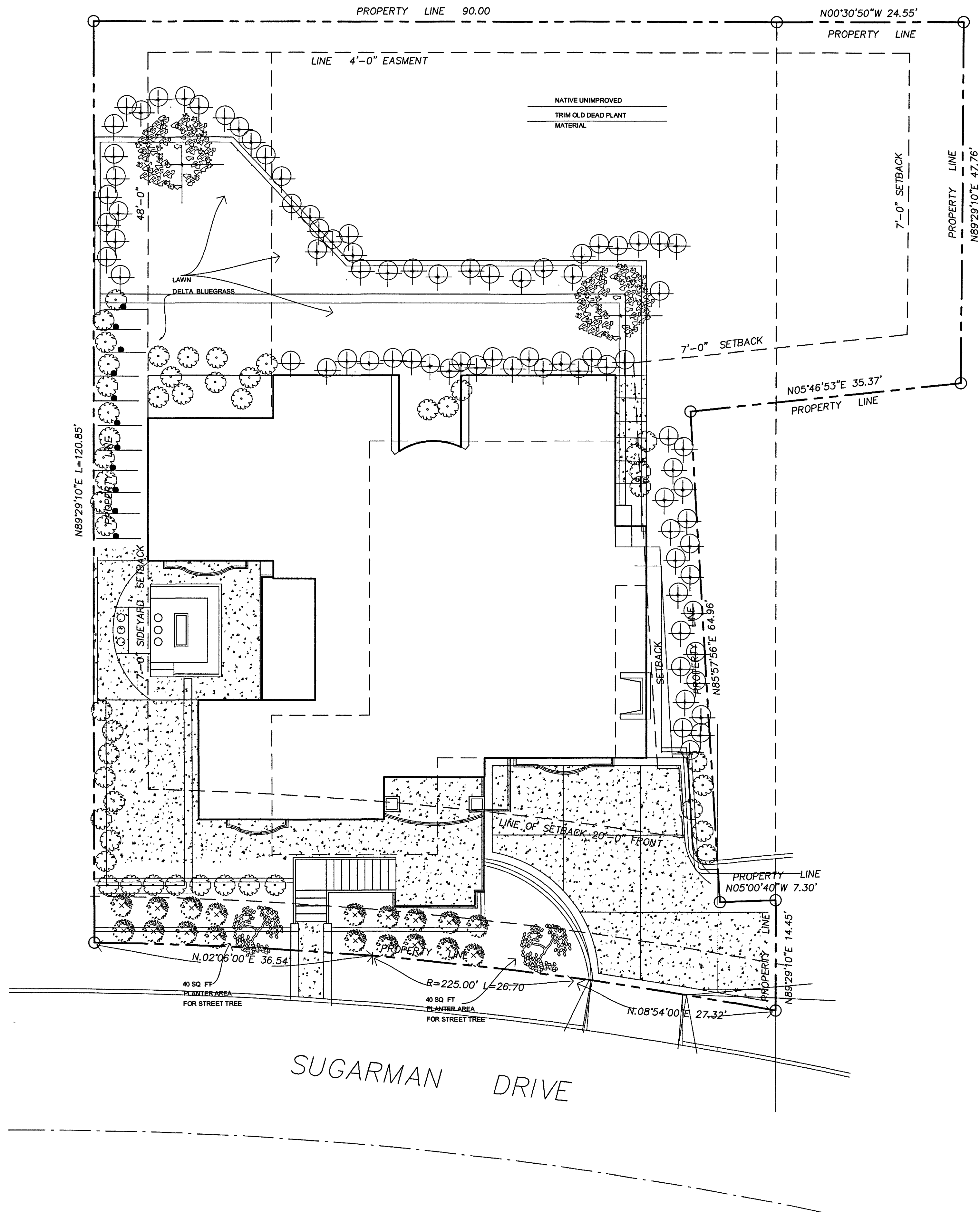
DATE:	7/16/2024
-------	-----------

JOB NUMBER:	
-------------	--

SCALE:	
--------	--

REVISIONS	BY	DATE
1		11.22.2024
2		
3		
4		

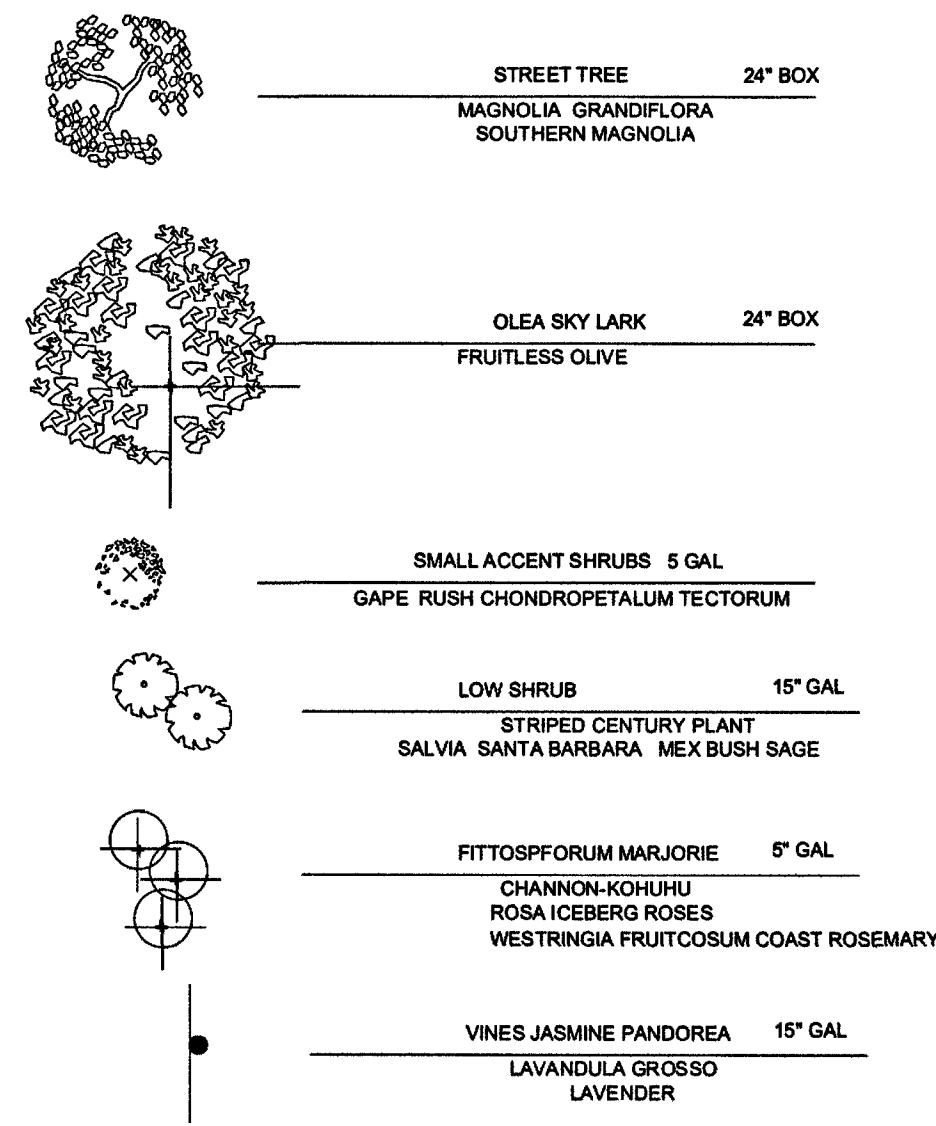
A8.0



LANDSCAPE PLAN

SCALE : 1/8" = 1'-0"

LANDSCAPE PLAN MATERIAL LEGEND



TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 9
SHEET TITLE: LANDSCAPE PLAN	SHT. 9 OF 12
DATE: 11.23.2024	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY: 27	
LEGAL: PM 21858 PARCELA 2	
APN: 346-791-12-00	
OWNER: JOE & CARINA SEROV	
CONSTRUCTION: V-8	
OCCUPANCY: R-3/U	
ZONE: LA JOLLA SHORES PLANNED DISTRICT	
SITE AREA: 11,160 S.F.	
EXISTING USE: VACANT	
PROPOSED USE: RESIDENTIAL	

PROJECT: THE SEROV FAMILY RESIDENCE

OWNERS: 0000 (APN:346-791-12-00)

Sugarman Dr., La Jolla

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"

LA JOLLA, CA 92037

BUS: (858)459-8898

FAX: (858)459-8901

scottspencerarchitect@gmail.com

SCOTT A. SPENCER

Architect Lic. C33340

LANDSCAPE PLAN

DESIGN BY: Scott

CHK'D BY: Scott

DRWN BY: Miguel

DATE: 7/16/2024

JOB NUMBER:

SCALE:

REVISIONS BY DATE

1 11.23.2024

A9.0



270	
225	
120	
2418	
60	
60	
192	
72	
80	
112	
60	
48	
92	
60	
48	
92	
60	
44	
44	
72	
72	
60	
60	
91	
45	
120	
100	
5217	SQ. FT.

TITLE BLOCK INF.	
PROJECT: <u>THE SORCO FAMILY RESIDENCE</u>	SHT. NO.: <u>10</u>
SHEET TITLE: <u>LANDSCAPE AREA DIAGRAM</u>	SHT. 100F <u>12</u>
DATE: _____	REVISIONS: _____
SCOPE OF WORK: <u>LA JOLLA SHORES DEVELOPMENT PERMIT</u>	
▲ ▲ ▲	
ARCHITECT: <u>Scott A. Spencer</u>	
Phone: <u>(858) 459-8898</u>	
CIVIL ENGINEER: _____	
LANDSCAPE ARCHITECT: _____	
GEOLOGIC HAZARD CATEGORY: _____	27
LEGAL: <u>PM 21858</u> PARCELA 2	
APN: <u>346-791-1200</u>	
OWNER <u>JOE & CARINA SERVO</u>	CONSTRUCTION: <u>V-B</u>
OCCUPANCY: <u>R-3U</u>	
ZONE: <u>LA JOLLA SHORES PLANNED DISTRICT</u>	
SITE AREA: <u>11,160 S.F.</u>	EXISTING USE: <u>VACANT</u>
	PROPOSED USE: <u>RESIDENTIAL</u>

A10.0

SCALE: 1" = 20'
CONTOUR INTERVAL: 1'



CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (858)271-9901 EMAIL: CEANDS@AOL.COM

LEGAL DESCRIPTION

LOTS 56 AND 57 OF LA JOLLA SCENIC HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4382, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 29, 1959.

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. SEE TITLE REPORT.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 8356 SUGARMAN DRIVE, LA JOLLA CA 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 346-791-09.
5. THE TOTAL AREA OF THE SUBJECT PARCELS IS 0.54 ACRES.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTH-EASTERLY CORNER OF SUGARMAN DRIVE AND LA JOLLA SCENIC DRIVE NORTH. ELEVATION 401.98' MEAN SEA LEVEL. (N.G.V.D. 1929).

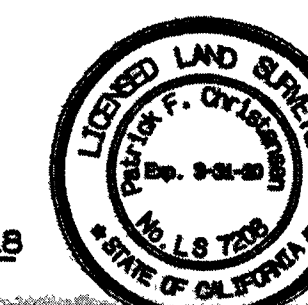
TITLE REFERENCE/NOTES

TITLE INFORMATION FOR THIS SURVEY IS FROM LAWYERS TITLE AMENDED PRELIMINARY TITLE REPORT, FILE NO. 318311759, DATED FEBRUARY 5, 2018.

1. AN EASEMENT FOR AERIAL AND UNDERGROUND COMMUNICATION STRUCTURES AND RIGHTS INCIDENTAL THERETO GRANTED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY, RECORDED FEBRUARY 8, 1960 AS FILE NO. 25806 OF OFFICIAL RECORDS.
2. AN EASEMENT FOR THE RIGHT AND PRIVILEGE TO PLACE AND MAINTAIN AN ANCHOR TO SUPPORT A LINE OF POLES AND WIRES AND RIGHTS INCIDENTAL THERETO GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED MARCH 16, 1960 AS FILE NO. 54313 OF OFFICIAL RECORDS.
3. AN EASEMENT FOR POLES AND WIRES AND RIGHTS INCIDENTAL THERETO GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED MARCH 16, 1960 AS FILE NO. 54314 OF OFFICIAL RECORDS.
4. AN EASEMENT FOR RIGHT OF WAY FOR DRAINAGE AND RIGHTS INCIDENTAL THERETO GRANTED TO HOWARD A. NOFFER AND JEAN L. NOFFER, RECORDED OCTOBER 7, 1960 AS FILE NO. 200587 OF OFFICIAL RECORDS.

NOTE: AN EASEMENT FOR SAN DIEGO GAS AND ELECTRIC COMPANY IS SHOWN OVER A PORTION OF THE SOUTHERLY SIDE OF LOT 56 ON SUBDIVISION MAP NO. 4382, BUT IS NOT DISCLOSED IN THE REFERENCED PRELIMINARY TITLE REPORT AND IS NOT PLOTTED.

Patrick F. Christensen
PATRICK F. CHRISTENSEN, P.L.S., 7208
Date 04-23-18



Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (858)271-9901 EMAIL: CEANDS@AOL.COM

Project Address:

8356 SUGARMAN DRIVE
LA JOLLA, CA 92037

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1: 4-29-18 ADDED TITLE DATA

Project Name:

8356 SUGARMAN

Original Date: APRIL 23, 2018

Sheet Title:

TOPOGRAPHIC MAP

Sheet 1 Of 1

DEP#

TITLE BLOCK INF.

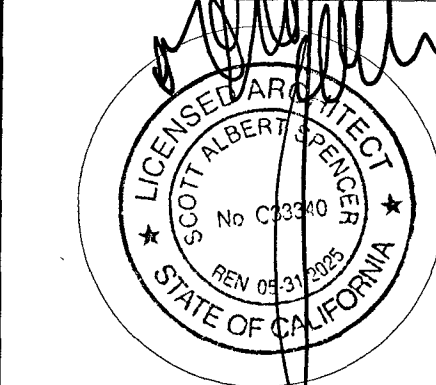
PROJECT: THE SEROV FAMILY RESIDENCE SHT No. 11 OF 12
SHEET TITLE: TOPOGRAPHY REVISIONS:
DATE: 11-23-2024
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT

ARCHITECT: Scott A. Spencer
Phone: (858)459-8898
CIVIL ENGINEER:
LANDSCAPE ARCHITECT:
GEOLOGIC HAZARD CATEGORY: 27
LEGAL: PM 21806 PARCELA 2
APN: 346-791-12-00
OWNER: JOE & CARINA SEROV CONSTRUCTION: V-B
OCCUPANCY: R-3U ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F. EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

PROJECT: The Serov Residence

OWNER(S):

Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037



SHEET TITLE:

DESIGN BY: Arch Scott A

CHKD BY: Arch Scott A

DRWN BY: Miguel Pienro

DATE: 3/27/2024

JOB NUMBER:

SCALE: 1/4"=1'-0"

REVISIONS BY DATE

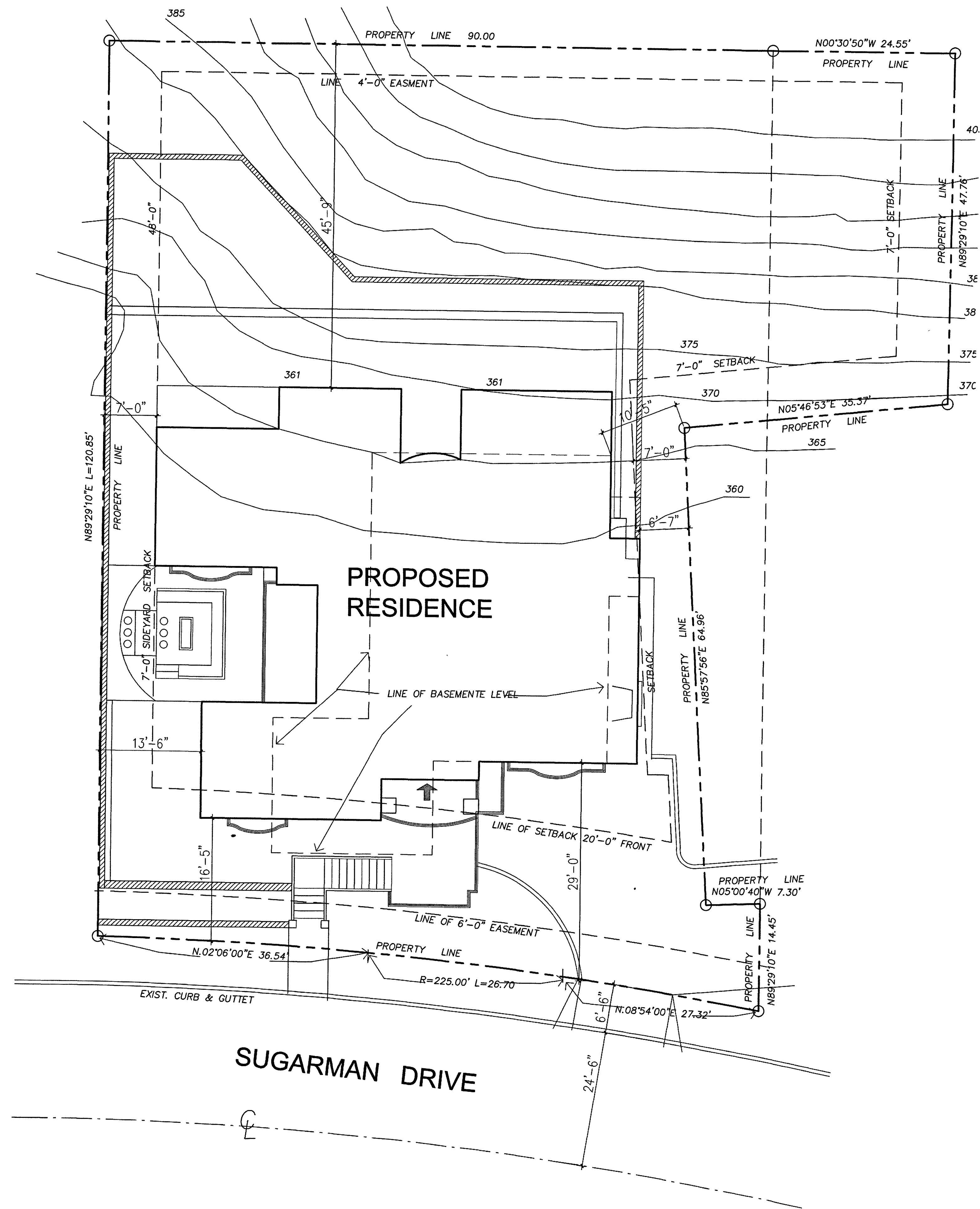
1 11.23.2024

SHEET NO.

A-11

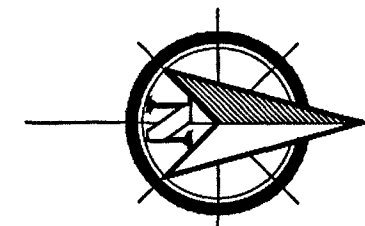
SHEET: OF

RUCHLEWICZ RESIDENCE



SITE GRADING PLAN

SCALE: 1/8" = 1'-0"
JOSEPH & CARINA SEROV RESIDENCE
SUGARMAN DRIVE LA JOLLA, CA.



TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 12
SHEET TITLE: SITE GRADING PLAN	SHT. 12 OF 12
DATE: 11.23.2024	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY: 27	
LEGAL: PM 21808 PARCELA 2	
APN: 348-791-12-00	
OWNER: JOE & CARINA SEROV	CONSTRUCTION: V-B
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL	

PROJECT: THE SEROV FAMILY RESIDENCE
OWNERS: 0000 (APN:346-791-12-00)
Sugarman Dr., La Jolla

Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

BUS: (858)459-8898
FAX: (858)459-8901
scottspencerarchitect@gmail.com

SCOTT A. SPENCER
Architect Lic. C33340

SHEET TITLE: SITE GRADING PLAN

DESIGN BY: Scott
CHKD BY: Scott
DRWN BY: Miguel

DATE: 7/16/2024
JOB NUMBER:

SCALE:

REVISIONS BY DATE

1 11.23.2024

A12.0

THE CITY OF SAN DIEGO
Development Service

1222 First Avenue, San Diego, CA 92101-4154

Project Address: 1222 01st Av, San Diego, CA**Project Type:** Discretionary Project**Primary Contact:** Fifi Sweeney
FIFINSWEENEY@HOTMAIL.COM**Required Documents:**

Ownership Disclosure (DS-318)

Site Development Plans

La Jolla Shores Survey

Development Approval - Prior

Storm Water Req. Applicability Checklist (DS-560)

Reviewer: Dellanira Bravo
DBravo@sandiego.gov
(619) 446-5111

The following issues require corrections to the documents submitted

The submittal package has been pre-screened and requires additional information such as [specific information]. Please clarify this information and make necessary corrections before the application can be completed and distributed for project review.

INFO
ADDITIONAL DOCUMENTS REQUIRED: ** Documents Required for Review**

IMPORTANT: When uploading your documents, use the same name listed above to ensure the system recognizes the requirement.

DOCUMENTS REQUIRED FOR REVIEW ACCORDING WITH LAND DEVELOPMENT MANUAL SECTION 4. Reference Link:
https://www.sandiego.gov/sites/default/files/dsdpsm_sec_04.

1.2 Ownership Disclosure Statement (DS-318): DONE
• Check the box if "Yes" or "No" Additional Pages Attached within the Property Owner/Authorized Agent AND Applicant sections.

1.4 Storm Water Requirements Applicability Checklist (DS-560): Required for all projects.
• Provide the PRJ-Number DONE PRJ. 1120159

2.3 LA JOLLA SHORES PLANNED DISTRICT: Survey – Provide a survey of the lot sizes, gross floor area and setbacks within a 300' radius of the proposed project. Survey must include the addresses of the site and adjacent properties. DONE

7.1 Provide a copy of prior development permit(s), policy, and subdivision approval(s) entitled to the property. Include all approved exhibit "A" plans and referenced Permits/Approvals.

10.1.1 Development Summary: Provide, in a table format, the following information on the first sheet of the plans:

- Provide the correct Assessor Parcel Number(s) for the property that the development is proposed on.
- Gross site area, floor area and floor area ratio calculation within the Proposed Building Areas.
- Landscape area square footage within the Project Information.

10.1.6 Easements: Show and label all existing and proposed easements IF NONE, PLEASE ADD THE NOTE WITHIN THE PROJECT INFORMATION.

10.1.7 Transit Stops: Show existing and proposed transit stops if project is adjacent to transit. IF NONE, PLEASE ADD THE NOTE WITHIN THE PROJECT INFORMATION.

10.1.9 Fire Hydrants: Show location of all existing hydrants, within 600', on site plan. (UFC903.2). IF NONE, PLEASE ADD THE NOTE WITHIN THE PROJECT INFORMATION. A1.0 DONE

IMPORTANT NOTE: Please submit the requested materials within 90 calendar days from the completed date of this cycle issues report. If a resubmission is necessary, please follow the same process as the initial submission. Municipal Code section 126.0115 requires that a development permit application be closed if the applicant fails to submit or resubmit requested materials. Once closed, the application, plans, and other data submitted for completeness review may be returned to the applicant or destroyed."

If you have questions, please get in touch with me at:

Dellanira Bravo

Development Project Manager

For questions regarding this review, please contact

Dellanira Bravo



THE CITY OF SAN DIEGO

Development Service

1222 First Avenue, San Diego, CA 92101-4154

Project Address: 1222 01st Av, San Diego, CA

Project Type: Discretionary Project

Primary Contact: Fifi Sweeney
FIFINSWEENEY@HOTMAIL.COM

Required Documents:

Ownership Disclosure (DS-318)

Site Development Plans

La Jolla Shores Survey

Development Approval - Prior

Storm Water Req. Applicability Checklist (DS-560)

Development Services
City of San Diego
DBravo@sandiego.gov



Ownership Disclosure Statement

Permit/Approval Type: Check appropriate box for permit/approval and type(s) requested (See Project Submittal Manual):

- ☒ **Development Permit:** LA JOLLA SHORES/SITE DEVELOPMENT PERMIT
- ☐ **Subdivision Approval:** _____
- ☐ **Policy Approval:** _____

Project Title: THE CEROV RESIDENCE **Project No. For City Use Only:** _____

Project Location/Address/Accessor's Parcel Number: 0000 SUGARMAN DRIVE
APN: 346-791-12

Specify Form of Ownership/Legal Status (please check):

- ☐ Individual ☐ Partnership ☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____
- ☒ **Corporate Identification No.:** _____ **Trust - Date of Trust:** JAN. 11, 2024
- ☐ **City of San Diego/Asset Management Department:** _____

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. **A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization.** A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner/Authorized Agent (Per SDMC 112.0102)

☒ Owner ☐ Authorized Agent ☐ Member ☒ Trustee ☐ Tenant/Lessee ☐ Successor Agency

Name of Individual:

JOSEPH. SEROV

On behalf of:

Street Address: 5585 MEADOWS DEL MAR

City: SAN DIEGO

State: CA

Zip: 92130

Phone No.:

Email:

JOE.SEROV2020@GMAIL.COM

1-858-692-3449

Signature:

Date:

JULY. 25, 2024

Additional pages attached: ☐ Yes ☒ No**Applicant ☐ Check if Same as Property Owner/Authorized Agent (Per SDMC 112.0102)**

☐ Owner ☐ Authorized Agent ☐ Member ☒ Trustee ☐ Tenant/Lessee ☐ Successor Agency

Name of Individual:

MARINA ERANI SEROV

On behalf of:

Street Address: 5585 MEADOWS DEL MAR.

City: SAN DIEGO

State: CA

Zip: 92130

Phone No.:

Email:

JKSEROV@GMAIL.COM

1-858-692-3449

Signature:

Date:

JULY. 25, 2024

Additional pages attached: ☐ Yes ☒ No**Other Financially Interested Persons ☐ Check if N/A**

☐ Owner ☐ Authorized Agent ☐ Member ☐ Trustee ☐ Tenant/Lessee ☐ Successor Agency

Name of Individual:

On behalf of:

Street Address:

City:

State:

Zip:

Phone No.:

Email:

Signature:

Date:

Additional pages attached: ☐ Yes ☐ NoVisit [our web site](#).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (05-24)



Stormwater Requirements Applicability Checklist

Project Address:

SUGARMAN DRIVE

Project Number:

1120759

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the [Stormwater Standards Manual](#). Some sites are also required to obtain coverage under the State Construction General Permit (CGP)¹, administered by the [California State Water Resources Control Board](#).

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A – Determine Construction Phase Stormwater Requirements

1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
☐ Yes, SWPPP is required; skip questions 2-4. ☒ No; proceed to the next question.
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
☒ Yes, WPCP is required; skip questions 3-4. ☐ No; proceed to the next question.
3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
☐ Yes, WPCP is required; skip question 4. ☒ No; proceed to the next question.
4. Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.☐ Yes, no document is required.

Check one of the boxes below and continue to Part B

- ☐ If you checked "Yes" for question 1, an SWPPP is REQUIRED – continue to Part B
- ☒ If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. **Continue to Part B**
- ☐ If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. **Continue to Section 2.**

¹ More information on the City's construction BMP requirements as well as CGP requirements can be found at <http://www.sandiego.gov/stormwater/regulations/index.shtml>

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-560 (09-21)

PART B – Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a “high threat to water quality.” The City has aligned the local definition of “high threat to water quality” to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2☐ **1. ASBS**

- A. Projects located in the ASBS watershed.

☐ **2. High Priority**

- A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

☐ **3. Medium Priority**

- A. Projects that are not located in an ASBS watershed or designated as a High priority site.
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

☒ **4. Low Priority**

- A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

PART C – Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as “new development projects” or “redevelopment projects” according to the [Stormwater Standards Manual](#) are not subject to Permanent Stormwater BMPs.

- If “yes” is checked for any number in Part C: Proceed to Part F and check “Not Subject to Permanent Stormwater BMP Requirements.”
- If “no” is checked for all the numbers in Part C: Continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?

☐ Yes ☒ No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?

☐ Yes ☒ No

3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

☐ Yes ☒ No

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-560 (09-21)

PART D – PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If **“yes”** is checked for any questions in Part D, continue to Part F and check the box labeled “PDP Exempt.”
- If **“no”** is checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
- Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?

☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the [City's Stormwater Standards Manual](#)?

☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question

PART E – Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If **“yes”** is checked for any number in Part E, continue to Part F and check the box labeled “Priority Development Project.”
- If **“no”** is checked for every number in Part E, continue to Part F and check the box labeled “Standard Development Project.”

1. **New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
2. **Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
3. **New development or redevelopment of a restaurant.** Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. ☐ Yes ☒ No
4. **New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
5. **New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** ☐ Yes ☒ No
6. **New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-560 (09-21)

7. **New development or redevelopment discharging directly to an environmentally sensitive area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). ☐ Yes ☒ No
8. **New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ☐ Yes ☒ No
9. **New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534 or 7536-7539. ☐ Yes ☒ No
10. **Other Pollutant Generating Project.** These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. ☐ Yes ☒ No

PART F – Select the appropriate category based on the outcomes of Part C through Part E

1. The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS** ☐ Yes ☒ No
2. The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the [Stormwater Standards Manual](#) for guidance. ☒ Yes ☐ No
3. The Project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance. ☐ Yes ☒ No
4. The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance on determining if the project requires hydromodification plan management. ☐ Yes ☒ No

Name of Owner or Agent SCOTT A. SPENCER Title ARCHITECT

Signature

Date

JULY 16, 2024

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-560 (09-21)

P4



City of San Diego
Development Services
Attn: Deposit Accounts
(619) 446-5000

Deposit Account/Financially Responsible Party

FORM
DS-3242
February 2020

Project Address/Location: <u>APN 346-791-12</u> <u>0000 CIGARMAN DRIVE</u>	Project No.: <i>FOR CITY USE ONLY</i>	Internal Order No.: <i>FOR CITY USE ONLY</i>
---	---------------------------------------	--

Approval Type: Check appropriate box for type of approval requested:

- ☐ Grading ☐ Public Right-of-Way ☐ Subdivision ☐ Neighborhood Use ☐ Coastal ☐ Neighborhood Development
☒ Site Development ☐ Planned Development ☐ Conditional Use ☐ Variance ☐ Vesting Tentative Map
☐ Tentative Map ☐ Map Waiver ☒ Other: LA JOLLA SHORES

Is the project subject to a Reimbursement Agreement? ☒ No ☐ Yes

If yes, provide Reimbursement Agreement Application Project Number or Resolution/Ordinance No.: _____

Deposit Trust Fund Account Information: A deposit into a Trust Fund account with an initial deposit to pay for the review, inspection and/or project management services is required. The initial deposit is drawn against to pay for these services. The Financially Responsible Party will receive a monthly statement reflecting the charges made against the account, and an invoice when additional deposits are necessary to maintain a minimum balance. The payment of the invoice will be required in order to continue processing your project. At the end of the project, any remaining funds will be returned to the Financially Responsible Party.

FINANCIALLY RESPONSIBLE PARTY

Name/Firm Name: JOSEPH & KARINA SEROV Address: 5585 MEADOWS DELMAR E-mail: JOE.SEROV@COMAIL.COM
City: SAN DIEGO State: CA Zip Code: 92120 Telephone: 1-858-692-3444 Fax No.: NA

Financially Responsible Party Declaration: I understand that City expenses may exceed the estimated advance deposit and, when requested by the City of San Diego, will provide additional funds to maintain a positive balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the trust account, unless the City of San Diego approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested advance deposit is received.

☐ This is a continuation of existing Project No.: _____ Internal Order No.: _____

NOTE: Using an existing opened account may be allowed when:

1. Same location for both projects;
2. Same Financially Responsible Party;
3. Same decision process (Ministerial and discretionary projects may **not** be combined);
4. Same project manager is managing both projects; and
5. Preliminary Review results in a project application.

Please be advised: Billing statements cannot distinguish charges between two different projects.

Please Print Legibly.

Print Name: JOSEPH SEROV Title: OWNER

Signature*: [Signature] Date: JULY 25, 2024

***The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer).**

FOR CITY USE ONLY

☐ Engineering Inspections (Public Works)

Project Title: _____ Date Requested: _____ ☐ Discretionary Project (DSD)

☐ Other

☐ Keep existing Project No.: _____ as lead or ☐ Use new Project No.: _____ as lead MRB: \$ _____

ACCOUNT CLOSURE AUTHORIZATION

Date Requested: _____ ☐ Completed ☐ Inactive ☐ Withdrawn ☐ Collections

Print Name: _____ Signature: _____

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-3242 (02-20)

PREVIOUS PROJECT APPROVAL

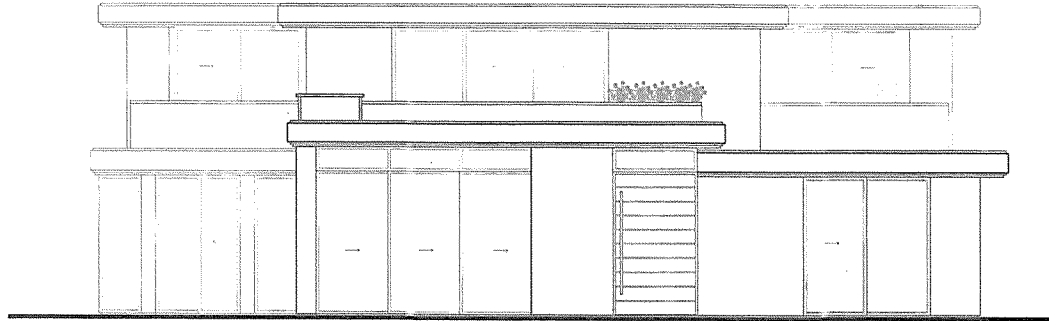
0000 SUGARMAN DRIVE

PRJ # 1120759

(New Proj. #- the Serov Residence)

SCHRAGER RESIDENCE

8356 SUGARMAN DRIVE, LA JOLLA, CA 92037
COASTAL DEVELOPMENT PLAN



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DAA



All designs, plans and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and are hereby granted for each set of plans prepared as indicated on the project title block. Reproduction, publication or reuse by any method in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, alterations, modifications or deviations from these drawings or arrangements without the written consent of Marengo Morton Architects, Incorporated. Violation of these provisions shall constitute a breach of contract and use of these drawings and attached specifications shall constitute the acceptance of all these provisions.

SCHRAGER RESIDENCE
8356 SUGARMAN DRIVE
LA JOLLA, CA 92037

8/15/2018 SINGLE PRELIM REVIEW
12/19/2018 FIRST SUBMITTAL
01/24/2019 COMPLETION CHECK
03/05/2019 COMMUNITY HEARING
06/07/2019 COASTAL RESUBMITTAL
09/20/2019 COASTAL RESUBMITTAL

PROJECT COASTAL
PROJECT NO 2018-19
REVIEWED BY CAM
REVIEWER CC

DATE 01/27/2020

PROJECT NO. 625563
APPROVAL NO. SDP 2247675
APPROVED BY: [Signature]
DATE: 8/14/2020

TITLE SHEET
T-1.0

VICINITY MAP	SCOPE OF WORK	SHEET INDEX	PROJECT DATA
	THE PROJECT IS REQUESTING A COASTAL DEVELOPMENT PERMIT OF A PROPOSED SINGLE FAMILY RESIDENCE CONSISTING OF A 4,565 S.F. TWO-STORY BUILDING WITH 3,355 S.F. BASEMENT/GARAGE ON A VACANT LOT. THE PROJECT IS ALSO PROPOSING A LOT LINE ADJUSTMENT TO CREATE 2 LOTS OF 11,756 SQ. FT. POOL UNDER A SEPARATE PERMIT	T-1.0 TITLE SHEET T-1.1 CAP CHECKLIST T-1.2 FORMS 4 AND 1-5 1 TOPOGRAPHICAL SURVEY ARCHITECTURAL A-1.0 LOT LINE ADJUSTMENT, DEMOLITION A-1.1 SITE PLAN A-1.2 EXCAVATION PLAN A-2.1 BASEMENT PLAN A-2.2 FIRST FLOOR PLAN A-2.3 SECOND FLOOR PLAN A-4.1 ROOF PLAN A-5.1A EAST ELEVATION A-5.1B EAST ELEVATION A-5.2 NORTH ELEVATION A-5.3 WEST ELEVATION A-5.4 SOUTH ELEVATION A-6.2 PROPOSED SECTION A-6.3 PROPOSED SECTION A-6.4 PROPOSED SECTION L-1 PRELIMINARY LANDSCAPE PLAN L-2 WATER CONSERVATION PLAN	PROJECT INFORMATION PROJECT ADDRESS: 8356 SUGARMAN DRIVE, LA JOLLA, CA 92037 ASSUMED PLOT NUMBER: 446-911000 (LOT 74) LOCAL DESCRIPTION: MAY BEY. 102 LA JOLLA SCENIC HIGHLIGHTS LOT 56 CITY SAN DIEGO BUILDING CODE: CALIFORNIA RESIDENTIAL CODE (CRC) 2018 EDITION & ASSOCIATED ADDENDUMS BY BOMC, CALIFORNIA HILCO CODE (CHC) BASED ON 2016 IBC, NATIONAL ELECTRICAL CODE (NEC) 2016 EDITION, CALIFORNIA MECH. CODE (CMC), 2016 EDITION, CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION, CITY OF SAN DIEGO MUNICIPAL CODE (SDMC) TRACT AND LOT DATA TRACT NAME: R-1 NUMBER OF PARCELS: 1 LOCALITY TYPE: TYPE V NUMBER OF STORIES: 2 STORIES WITH BASEMENT/GARAGE EXISTING LOT: VACANT LOT PROPOSED LOT: 11,756 SQ. FT. EXISTING LOT AREA: 11,756 SQ. FT. PROPOSED LOT AREA: 11,756 SQ. FT. ZONING INFORMATION ZONE: UNDESIRABLE LA JOLLA SHORES PLANNED DISTRICT SP LA JOLLA COMMUNITY PLAN 0.5 DULAC AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (NACAS MIRAMAR AIRPORT INFLUENCE AREA (REVIEW AREA 2), COASTAL HEIGHT LIMITATION OVERLAY ZONE AND PARKING IMPACT OVERLAY ZONE GEO HAZARD ZONE ZONE 26: ADVERSELY AFFECTED GEOLOGICAL STRUCTURE SETBACKS REQUIRE: PROPOSED MIN: PROPOSED MAX: FRONT (ENTRANCE FRONTAGE): 20'-0" 25'-0" 32'-0" SIDE: 5'-0" 5'-0" 10'-0" NORTH SIDE: 5'-0" 5'-0" 10'-0" REAR: N/A 15'-0" 30'-0" BUILDING OVERHANG LIMITATIONS: 10'-0" 10'-0" 10'-0" HOUSE LOT COVERAGE MAX ALLOWED: 100% 1,741 S.F. (19% OF LOT) LANDSCAPE AREA 6,405 SQ. FT. PARKING SPACES REQUIRED: 2 PROPOSED: 3 PROPOSED BUILDING AREAS BASEMENT/GARAGE: 3,355 S.F. (NOT CONSIDERED IN F.A.R.) FIRST FLOOR: 1,441 S.F. SECOND FLOOR: 1,094 S.F. (EXCLUDING 542 S.F. FOR DECKS) TOTAL BUILDING AREA 4,535 S.F. TOTAL BUILDING AREA INCLUDING DECKS 5,077 S.F. PROPOSED F.A.R. 4.535 SQ. FT. / 11,756 SQ. FT. = .39
PROJECT TEAM OWNER MR. AND MRS. SCHRAGER 8356 SUGARMAN DRIVE, LA JOLLA, CA 92037 ARCHITECT MARENGO MORTON ARCHITECTS 7724 GIRARD AVENUE, SECOND FLOOR LA JOLLA, CA 92037 TELEPHONE: (858) 459-3769 FAX: (858) 459-3768 CONTACT: CLAUDE ANTHONY MARENGO CAM@MMARCO.COM CELL: (619) 475-1111 CIVIL CHRISTENSEN ENGINEERING AND SURVEYING 7000 SILVERTON AVENUE, SUITE 117 SAN DIEGO, CA 92126 GEOLOGIC GEOLOGICAL ENGINEERING TELEPHONE: (619) 546-1222 FAX: (619) 546-1064 1400 FRANK STREET, SAN DIEGO, CA 92121 CONTACT: JONATHAN BROWNING			

6

N

City Council Approved July 12, 20
Revised June 20

9

City Council Approved July 22,
Revised June

City Council Adopted July 12, 2000
Revised June 2, 2000

12/19/2019 FIRST SUBMITTAL	
12/24/2019 COMPLET. EMERGENCY CHECK	
05/02/2019 COMMUNITY HEARING	
09/07/2019 COASTAL RESUBMITTAL	
09/20/2019 COASTAL RESUBMITTAL	
PIERAGE	COASTAL
PROJECT NO.	2018-19
REVIEWED BY	CAM
DRAWN BY	CS
DATE	09/20/2019
This drawing was prepared by the City of San Diego Department of Public Works, Engineering Division. It is the property of the City of San Diego and is loaned to you for your information only. It is not to be reproduced, copied, or used for any other purpose without the written consent of the City of San Diego. The City of San Diego is not responsible for any errors or omissions in this drawing. The user of this drawing assumes all liability for any such errors or omissions. The City of San Diego is not responsible for any damages, losses, or injuries resulting from the use of this drawing. The City of San Diego is not responsible for any claims, damages, or losses resulting from the use of this drawing. The City of San Diego is not responsible for any claims, damages, or losses resulting from the use of this drawing.	
A0002 21712	

Source Control Requirement

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.

Source Control Requirement	Applied?	Yes	No	N/A
4.2.1 Prevention of Direct Discharges into the MS4	☒ Yes	☐ No	☐ N/A	
4.2.2 Storm Drain Stenciling or Signage	☒ Yes	☐ No	☐ N/A	
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☐ Yes	☐ No	☒ N/A	
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☐ Yes	☐ No	☒ N/A	
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☐ Yes	☐ No	☒ N/A	
4.2.6 BMPs based on Potential Sources of Runoff Pollutants				
On-site storm drain inlets	☒ Yes	☐ No	☐ N/A	
Interior floor drains and elevator shaft pump pumps	☒ Yes	☐ No	☐ N/A	
Interior parking garages	☒ Yes	☐ No	☐ N/A	
Need for future indoor & structural pest control	☐ Yes	☐ No	☒ N/A	
Landscape/Outdoor pesticide use	☒ Yes	☐ No	☐ N/A	
Pools, spas, ponds, decorative fountains, and other water features	☒ Yes	☐ No	☐ N/A	
Food service	☐ Yes	☐ No	☒ N/A	
Refuse areas	☐ Yes	☐ No	☒ N/A	
Industrial processes	☐ Yes	☐ No	☒ N/A	
Outdoor storage of equipment or materials	☐ Yes	☐ No	☒ N/A	
Vehicle/Equipment Repair and Maintenance	☐ Yes	☐ No	☒ N/A	
Fuel Dispensing Areas	☐ Yes	☐ No	☒ N/A	
Loading Docks	☐ Yes	☐ No	☒ N/A	
Fire Sprinkler Test Water	☐ Yes	☐ No	☒ N/A	
Miscellaneous Drain or Wash Water	☐ Yes	☐ No	☒ N/A	
Plazas, sidewalks, and parking lots	☐ Yes	☐ No	☒ N/A	
SC-6A Large Trash Generating Facilities	☐ Yes	☐ No	☒ N/A	
SC-6B Animal Facilities	☐ Yes	☐ No	☒ N/A	
SC-6C Plant Nurseries and Garden Centers	☐ Yes	☐ No	☒ N/A	
SC-6D Automotive Facilities	☐ Yes	☐ No	☒ N/A	

Discussion / Justification for all "No" answers shown above:
NO DRAINAGE IS BEING OFFERED INSIDE THE HOUSE OR AT ELEVATOR OR INTERNAL AREAS EXCEPT THRESHOLD OF GARAGE. ALL AREAS ARE DRAINING TO OUR RETENTION BASIN AS WE ARE CONTROLLING THE PERIMETER OF THE BUILDING.

The City of San Diego Storm Water Standards
 Form I-4A | January 2018 Edition

SD

Site Design Requirement

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.

Site Design Requirement	Applied?	Yes	No	N/A
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	☒ Yes	☐ No	☐ N/A	
4.3.2 Conserve Natural Areas, Soils, and Vegetation	☒ Yes	☐ No	☐ N/A	
4.3.3 Minimize Impervious Area	☒ Yes	☐ No	☐ N/A	
4.3.4 Minimize Soil Compaction	☒ Yes	☐ No	☐ N/A	
4.3.5 Impervious Area Dispersion	☒ Yes	☐ No	☐ N/A	
4.3.6 Runoff Collection	☒ Yes	☐ No	☐ N/A	
4.3.7 Landscaping with Native or Drought Tolerant Species	☒ Yes	☐ No	☐ N/A	
4.3.8 Harvest and Use Precipitation	☒ Yes	☐ No	☐ N/A	

Discussion / Justification for all "No" answers shown above:

- * Answer for each source control and site design category shall be pursuant to the following:
- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
 - "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
 - "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

The City of San Diego Storm Water Standards
 Form I-5A | January 2018 Edition

SD

APPROVED EXHIBIT "A"

PROJECT NO. 635569

APPROVAL DATE SDP 2247675

APPROVED BY DEVELOPMENT SERVICES DEPARTMENT/PLANNING OFFICIAL

PLANNING OCCASION 8/14/2019

SIGNATURE RECEIVED



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DASA

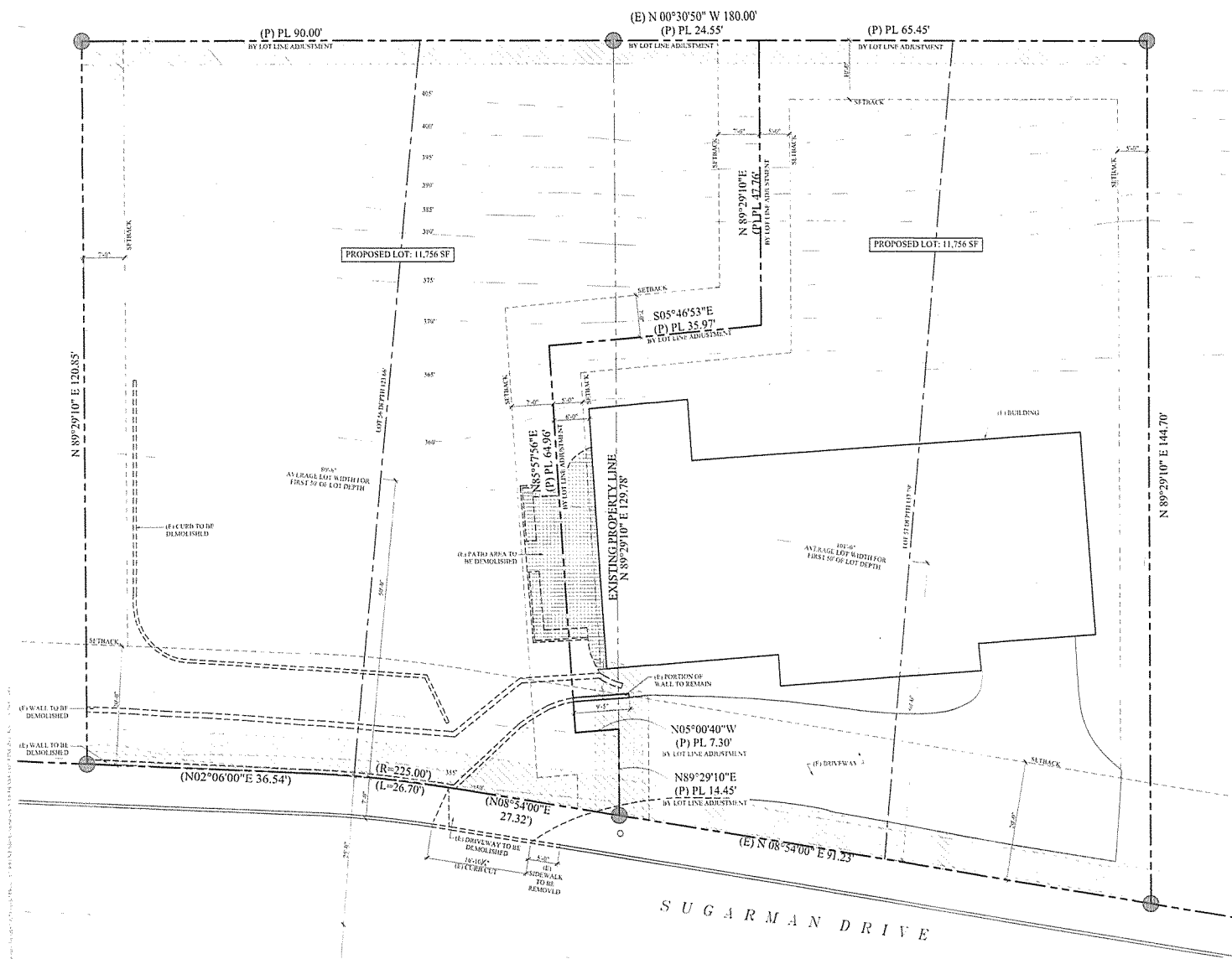


SCHRAGER RESIDENCE
 8356 SUGARMAN DRIVE
 LA JOLLA, CA, 92037

8/15/2018 SINGLE PRELIM REVIEW
 12/19/2018 FIRST SUBMITTAL
 01/24/2019 COMPLETENESS CHECK
 05/02/2019 COMMUNITY HEARING
 08/07/2019 COASTAL RESUBMITTAL
 09/20/2019 COASTAL RESUBMITTAL

PHASE	COASTAL
PROJECT NO.	2018-19
REVIEWED BY	CAM
DRAWN BY	CS
DATE	09/20/2019

APPROVED FOR THE CITY OF SAN DIEGO
 FORMS I-4 AND I-5
T-1.2



GENERAL SITE NOTES

A. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.

B. BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION, THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATIONS, TO ALL NEW OR EXISTING WALLS, BASEMENTS OF ANY EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, BASEMENTS OF ANY UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.

C. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.

D. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWINGS UNLESS WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.

E. LOCATE REFUSE ONLY AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.

F. PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.

G. ALL EXISTING SHOWN, TYPED ARE EXISTING.

H. ALL TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0\"/>

DEMOLITION LEGEND

(S) ITEMS TO BE DEMOLISHED

(P) PATIO TO BE REMOVED

(E) EXISTING

APPROVED EXHIBIT "A"

PROJECT NO. 625569

APPROVAL NO. SDP 234747

APPROVED BY DEVELOPMENT SERVICES DEPARTMENT, HEARING OFFICER, PLANNING AND COMMUNITY COUNCIL, CH. 5/14/2020

SIGNATURE: [Signature]

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DASA

SCHRAGER RESIDENCE
8356 SUGARMAN DRIVE
LA JOLLA, CA 92037

8/15/2018 SINGLE PRELIMINARY
12/19/2018 FIRST SUBMITTAL
01/24/2019 COMPLETENESS CHECK
03/02/2019 COMMUNITY HEARING
03/07/2019 COASTAL RESUBMITTAL
06/20/2019 COASTAL RESUBMITTAL

PROJECT COASTAL

PROJECT NO. 2018-19

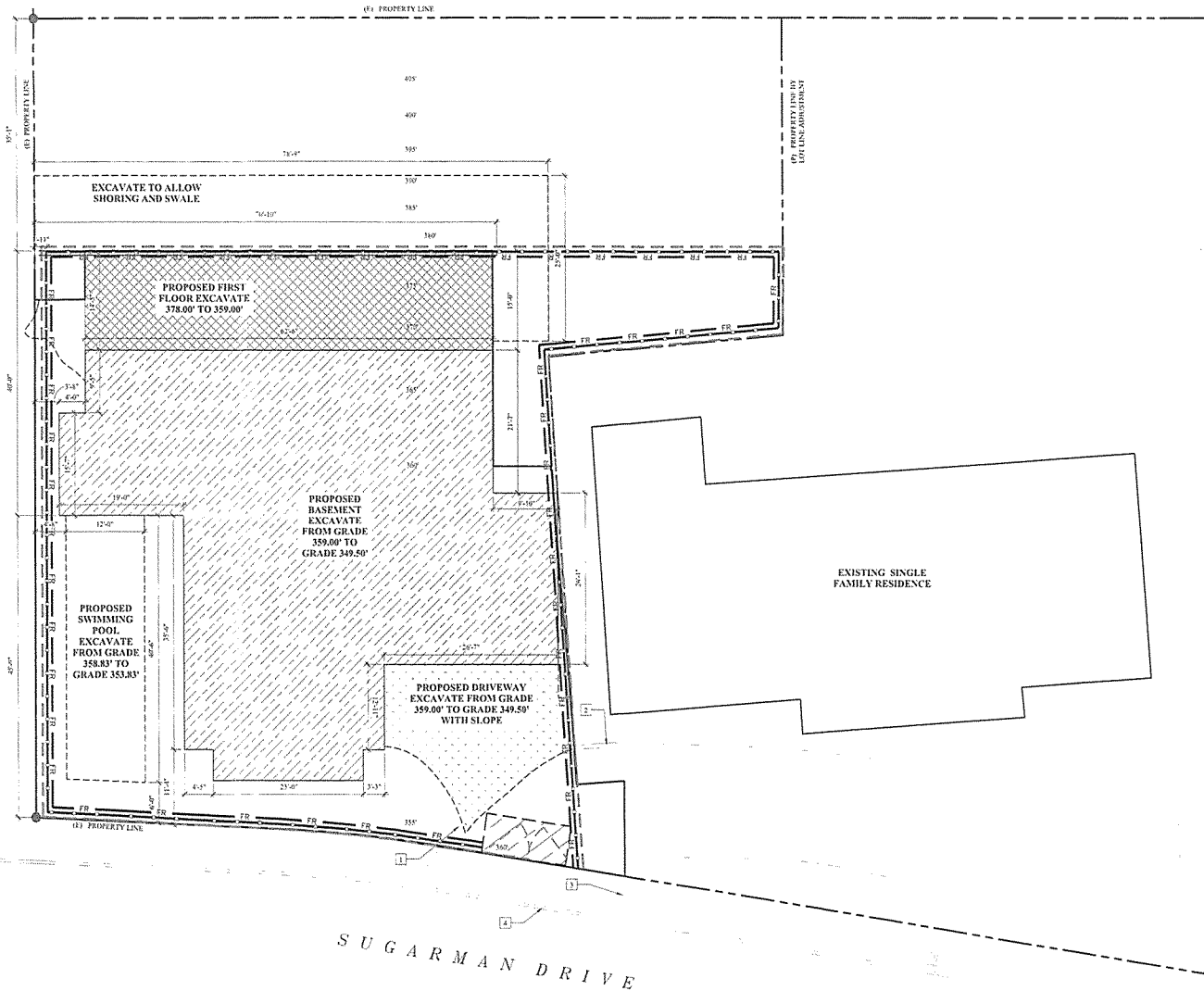
REVIEWED BY CAM

DRAWN BY CS

DATE 09/20/2019

LOT LINE ADJUSTMENT / DEMOLITION SITE PLAN

A-1.0



GRADING QUANTITIES	
CUT QUANTITIES EXPORTED	APPROX 2,619 C.Y.
MAX. CUT DEPTH	19'-0" (UNDER BUILDING FOOTPRINT) 5'-0" (OUTSIDE BUILDING FOOTPRINT)

NOTES:
 1) ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
 2) THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

- KEYNOTES**
1. CONSTRUCTION FENCING AND SITE ENTRANCE
 2. (E) RETAINING WALL TO REMAIN
 3. (E) ELECTRICAL P.O.F. TO REMAIN
 4. (E) CURB CUT TO BE WIDENED

LEGEND	
[Pattern]	AREA TO BE EXCAVATED FOR BASEMENT 1216 CY
[Pattern]	AREA TO BE EXCAVATED FOR FIRST FLOOR 424 CY
[Pattern]	AREA TO BE EXCAVATED OUTSIDE BUILDING FOOTPRINT 766 CY
[Pattern]	AREA TO BE EXCAVATED FOR DRIVEWAY 213 CY

- 40' SITE FENCE
 --- SILT FENCE PER CALTRANS STORMWATER HANDBOOK DETAIL 50-1
 --- FR FINE'S ROULES PER CALTRANS STORMWATER HANDBOOK DETAIL 50-1
 --- CORRUGATED STEEL PANELS AT CONSTRUCTION ENTRANCE ENTER CALTRANS STORMWATER HANDBOOK DETAIL 50-1

NOTE:
 THE PROJECT PROVIDES TO EXPORT 2,619 CUBIC YARD OF MATERIAL FROM THE PROJECT SITE. ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREEN BOOK, 2011 EDITION) AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

APPROVED EXHIBIT "A"

PROJECT NO. C25565
 APPROVAL NO. SPR 2247675
 APPROVED BY: [Signature]
 DATE: 5/14/2020

Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DASA

SCHRAGER RESIDENCE
 8356 SUGARMAN DRIVE
 LA JOLLA, CA, 92037

8.15.2018 SINGLE PRELIM REVIEW
 12.19.2018 FIRST SUBMITTAL
 01.24.2019 COMPLETENESS CHECK
 03.02.2019 COMMUNITY HEARING
 06.07.2019 COASTAL RESUBMITTAL
 09.20.2019 COASTAL RESUBMITTAL

HIVE COASTAL

PROJECT NO. 2018-19

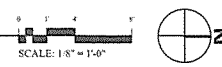
REVIEWED BY CAM

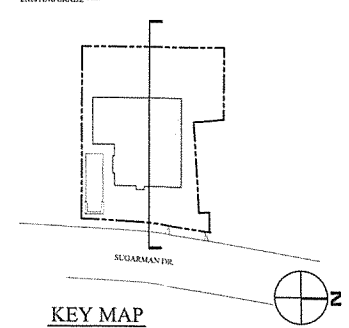
DRAWN BY CC

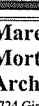
DATE 12/02/2019

15011 TITLE
 EXCAVATION PLAN
 A-1.2

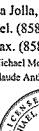
1 EXCAVATION PLAN
 SCALE: 1/8" = 1'-0"







**Marengo
Morton
Architects**
2222 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claudio Anthony Marengo DSA



All design, site and construction documents as indicated on these drawings are at the highest priority of Marengo Morton Architects. Incorporated and the results provided herein for which they were prepared are indicated on the project title block and drawings. Publication or use for any other project, in whole or in part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no liability for reproduction, use, alteration or deviations from these drawings or documents without the express written consent of Marengo Morton Architects, Incorporated. No part of these drawings or documents may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written consent of Marengo Morton Architects, Incorporated. All design restrictions.

SCRAGER RESIDENCE

8356 SUGARMAN DRIVE
LA JOLLA, CA, 92037

PHASE

COASTAL

PROJECT NO.

2018-19

DESIGNED BY

CAM

DRAWN BY

CASM

DATE

09/20/2019

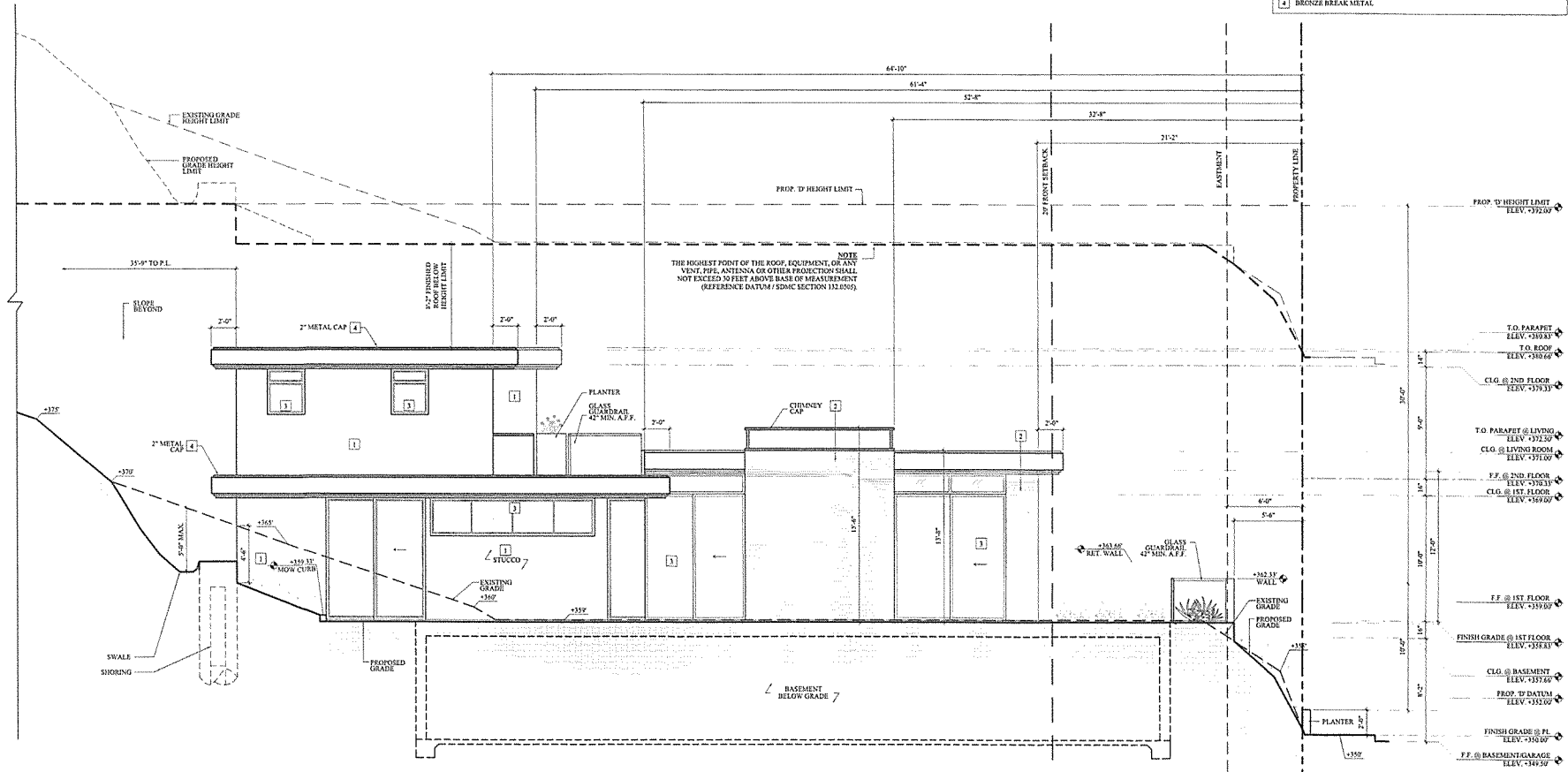
NOTES: 1. All drawings are the property of Marengo Morton Architects, Incorporated. No part of these drawings or documents may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written consent of Marengo Morton Architects, Incorporated. 2. All design restrictions. 3. All design, site and construction documents as indicated on these drawings are at the highest priority of Marengo Morton Architects, Incorporated and the results provided herein for which they were prepared are indicated on the project title block and drawings. Publication or use for any other project, in whole or in part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no liability for reproduction, use, alteration or deviations from these drawings or documents without the express written consent of Marengo Morton Architects, Incorporated. No part of these drawings or documents may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written consent of Marengo Morton Architects, Incorporated. All design restrictions.

**PROPOSED
SECTIONS**

A-6.2

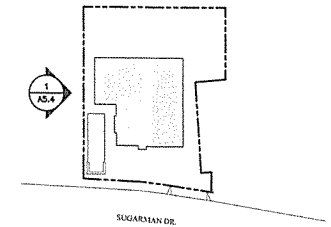
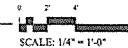
FINISH SCHEDULE

- 1 STUCCO: MFR. LA HABRA - OATMEAL #1
- 2 SIDING: MFR. TRASPURA - PU24, MYSTIC CEDAR, BROWN CORE
- 3 BRONZE WINDOWS
- 4 BRONZE BREAK METAL



APPROVED EXHIBIT "A"
 PROJECT NO. 625569
 APPROVAL NO. SDP 2247675
 APPROVED BY: DEVELOPMENT SERVICES DEPARTMENTAL HEARING OFFICER
 PLANNING COMMISSION/COUNCIL ON 5/14/2019
 SIGNATURE: [Signature]

1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 KEY MAP
 SCALE: 1" = 40'-0"

Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DCA

Michael Morton Architects
 C-1937
 04282221
 STATE OF CALIFORNIA

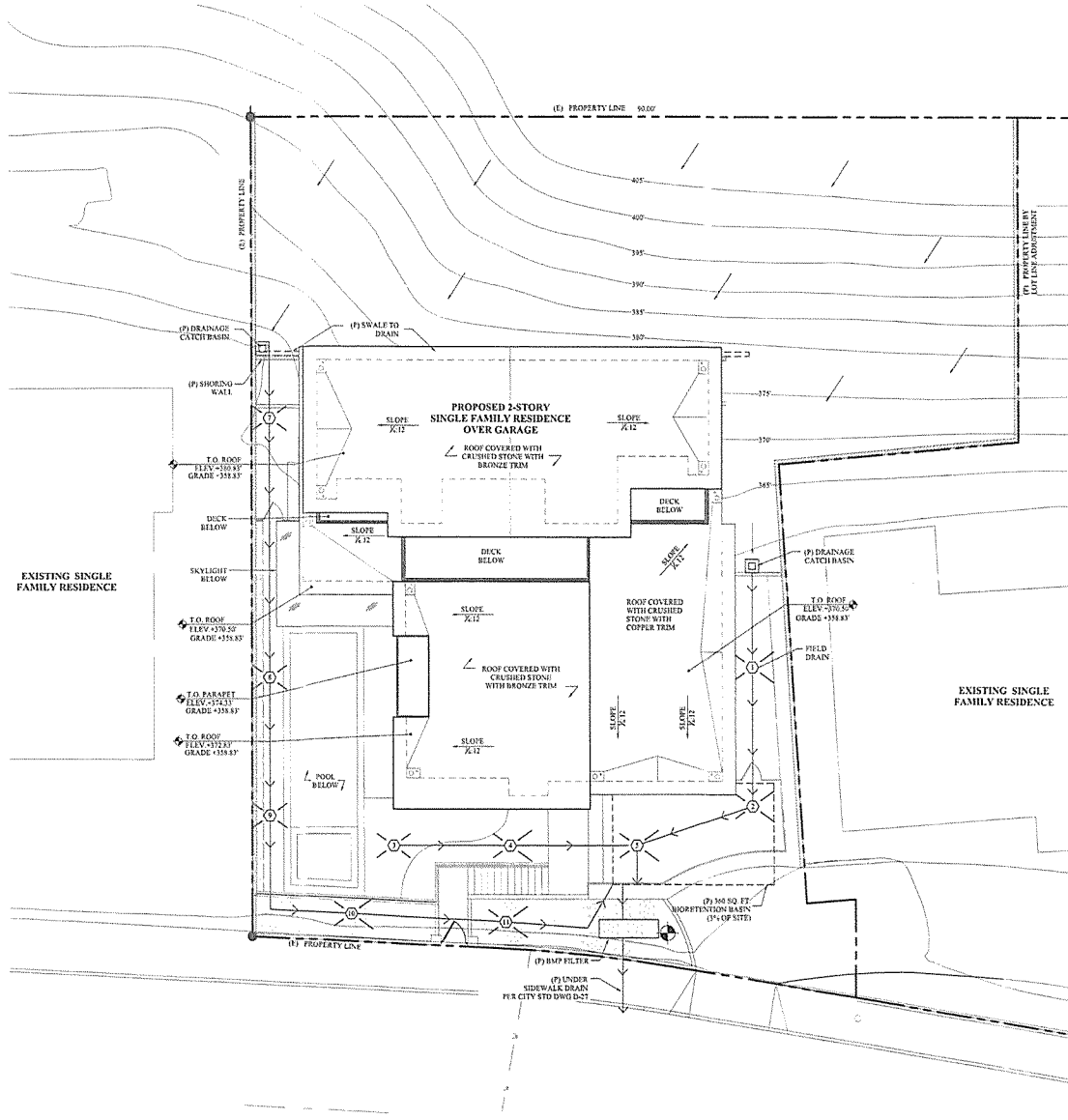
All design, ideas and arrangements are indicated on these drawings as the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no change, substitution, modification or deviation from these drawings or accompanying specifications without the express written consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic means or use of these drawings and attached specifications shall constitute the acceptance of all their provisions.

SCHIRAGER RESIDENCE
 8556 SUGARMAN DRIVE
 LA JOLLA, CA, 92037

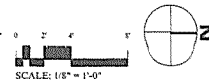
8-15-2018 SINGLE PRELIM REVIEW
 12-18-2018 FIRST SUBMITTAL
 01-24-2019 COMPLETENESS CHECK
 05-02-2019 COMMUNITY HEARING
 06-07-2019 COASTAL RESUBMITTAL
 09-20-2019 COASTAL RESUBMITTAL

PHASE: COASTAL
 PROJECT NO: 2018-19
 REVIEWED BY: CAM
 DRAWN BY: CS
 DATE: 09/20/2019

Sheet Title: SOUTH ELEVATION
 A-5.4



1 PROPOSED ROOF PLAN



STORM WATER QUALITY NOTES CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE FLEXIBLE REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PLAN, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARD MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WQCP) FOR CONSTRUCTION LEVEL IMPROVEMENTS. IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WQCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION. VEHICLE EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE PAVEMENT, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WQCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN BUSINESS DAYS AFTER EACH RAIN EVENT FOR THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES, ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRAFFIC ON TO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED FOR THE APPROVED SWPPP/WQCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONTROLS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUB-CONTRACTOR, IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA, TEMPORARY CONSTRUCTION ENTRANCE AND EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASO FACT SHEET T-01 OR CALTRANS FACT SHEET T-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAY. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE (WTRM)".

STORM DRAINAGE NOTES

- THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER.
- THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL.
- ROOF DRAINS TO DISCHARGE INTO LANDSCAPE AREA.

HEIGHT NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 3' ABOVE GRADE.
- NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE.

ROOF NOTES

- Roofing Underlayment shall be 3/16" or less "Ice and Water Shield" by W.B. Grace, 1035-1077, or "Water Guard IRT" by Corum Tech Corp. 133-1002 (or an equal approved equal). Install per manufacturer's instructions. Install a 400# fiberglass reinforced felt sheet over end membrane.
- Counter-slopes 1/2" per 12" (minimum) towards drain created using G-36 (Gates) or equal flashing membrane by Gates. (Minimum 1/2" slope).
- Roof Edge Detail, Metal Flashing, Field Clips and Counter Flashing: All exterior flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Item all exposed edges.
- Flashing Vents: All plastic to be flashed with Flashing-Sealant TPO Pre-Molded pipe flashing.
- Parapet, Transitions and other Horizontal Surfaces Surface Waterproofing: Membrane waterproofing shall be TPO or EPDM, 45 mil by Treco-Tec, Inc. (or an equal approved equal). Minimum 1/2" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheet. Where membrane shows vertical surface, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESD-2127.
- Roof Drain: Roof drain shall be TPO-3022-11. 2" TPO-3022-11 no-hub bottom outlet drain by Flashing-Sealant with a 1/2" dome strainer. Telephone (800) 658-2477. Flange 1/2" ID. All drain lines with min 1/2" slope. Connect to building storm water.
- Flashing Vents: Flashing vent shall be Type B Stainless Steel as required by fireproof manufacturer. Minimum roof to vent connector shall be 1/2". Must be installed over or under pipe.
- Roof Vents: TPO Pre-Molded roof venting seal detail A-16-4.
- Roof gutters shall be provided such that runoff to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of noncombustible materials.
- Driv edge flashing used at the line edges of roofing materials shall be non-combustible.
- Valley flashings shall be not less than 16 oz (16 oz copper gage) continuous membrane installed over a min. 3/4" wide underlayment consisting of not less than 1/2" 1575M asphalt roofing the full length of the valley.
- Turnout side vents shall be equipped to allow on-slope direction rotation only and shall not be open to the exterior.
- The entire roof shall be covered with a fire-resistant roof covering that is at least Class "A" when the area of the addition to the existing building is more than twenty-five percent (25%) of the original floor area of the building [SDMC 149.09(2)(a)(3)].

LOW IMPACT DEVELOPMENT AND PERMANENT BMPs

- LOW IMPACT DEVELOPMENT DESIGN ELEMENTS
- PLANTER/LANDSCAPE AREA TO BE USED FOR RAINWATER INFILTRATION AND EVAPORATION.
 - DIRECT RUN-OFF FROM IMPERVIOUS AREAS TO BE DIRECTED TO LANDSCAPE AREAS.
- SOURCE CONTROL BMPs
- AIR CONDITIONING CONDENSATE TO BE DISCHARGED INTO ADJACENT LANDSCAPE AREA.
 - LANDSCAPE AREA TO BE PLANTED WITH DROUGHT TOLERANT AND/OR NATIVE PLANT SPECIES FOR EROSION CONTROL.
- PERMANENT BMPs
- ALL STORMWATER TO BE DIRECTED TO AND DISCHARGED INTO ADJACENT LANDSCAPE AREAS.

APPROVED EXHIBIT "A"

PROJECT NO. 625567

APPROVING ENGINEER: SDP 2247678

SEAL: [Signature]

DATE: 09/20/2019

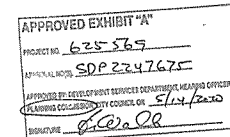
Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo AIA

SCHRAGER RESIDENCE
8356 SUGARMAN DRIVE
LA JOLLA, CA, 92037

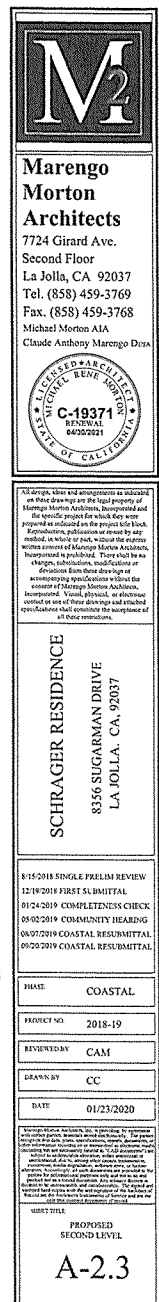
8/15/2018 SINGLE PRELIM REVIEW
12/14/2018 FIRST SUBMITTAL
01/24/2019 COMPLETENESS CHECK
05/02/2019 COMMUNITY HEARING
09/20/2019 COASTAL RESUBMITTAL
09/20/2019 COASTAL RESUBMITTAL

PHASE: COASTAL
PROJECT NO: 2018-19
REVIEWED BY: CAM
DRAWN BY: CS
DATE: 09/20/2019

PROJECT TITLE: PROPOSED ROOF PLAN
A-4.1



SCALE: 1/4" = 1'-0"



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'



LEGAL DESCRIPTION

LOTS 56 AND 57 OF LA JOLLA SCENIC HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4382, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 29, 1959.

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. SEE TITLE REPORT.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 8355 SUGARWAX DRIVE, LA JOLLA CA 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 340-761-00.
5. THE TOTAL AREA OF THE SUBJECT PARCELS IS 0.54 ACRES.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTHEASTERLY CORNER OF SUGARWAX DRIVE AND LA JOLLA SCENIC DRIVE NORTH. ELEVATION 401.69' MEAN SEA LEVEL (N.G.V.D. 1929).

TITLE REFERENCE/NOTES

TITLE INFORMATION FOR THIS SURVEY IS FROM LAWYERS TITLE AMENDED PRELIMINARY TITLE REPORT, FILE NO. 318311769, DATED FEBRUARY 5, 2018.

- AN EASEMENT FOR AERIAL AND UNDERGROUND COMMUNICATION STRUCTURES AND RIGHTS INCIDENTAL THERETO GRANTED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY, RECORDED FEBRUARY 6, 1900 AS FILE NO. 25605 OF OFFICIAL RECORDS.
- AN EASEMENT FOR THE RIGHT AND PRIVILEGE TO PLACE AND MAINTAIN AN ANCHOR TO SUPPORT A LINE OF POLES AND WIRES AND RIGHTS INCIDENTAL THERETO GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED MARCH 16, 1900 AS FILE NO. 54313 OF OFFICIAL RECORDS.
- AN EASEMENT FOR POLES AND WIRES AND RIGHTS INCIDENTAL THERETO GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED MARCH 16, 1900 AS FILE NO. 54314 OF OFFICIAL RECORDS.
- AN EASEMENT FOR RIGHT OF WAY FOR DRAINAGE AND RIGHTS INCIDENTAL THERETO GRANTED TO HOWARD A. NORTON AND JEAN L. NORTON, RECORDED OCTOBER 7, 1900 AS FILE NO. 200697 OF OFFICIAL RECORDS.

NOTE: AN EASEMENT FOR SAN DIEGO GAS AND ELECTRIC COMPANY IS SHOWN OVER A PORTION OF THE SOUTHERLY SIDE OF LOT 56 ON SUBDIVISION MAP NO. 4382, BUT IS NOT DISCLOSED IN THE REFERENCED PRELIMINARY TITLE REPORT AND IS NOT PLOTTED.

Patrick F. Christensen
PATRICK F. CHRISTENSEN, P.L.S., 7203

04-23-18
Date



APPROVED EXHIBIT "A"

PROJECT NO. 625569

APPROVAL NO. SDR2347675

APPROVED BY DEVELOPMENT SERVICES DEPARTMENT/PLANNING OFFICER

DATE OF APPROVAL 04/23/2018

SIGNATURE: *Christensen*

Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
7689 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (609)271-0901 EMAIL:CEANDS@AOL.COM

Project Address:

8355 SUGARWAX DRIVE
LA JOLLA, CA 92037

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1: 4-29-18 ADDED TITLE DATA

Project Name:

8355 SUGARWAX

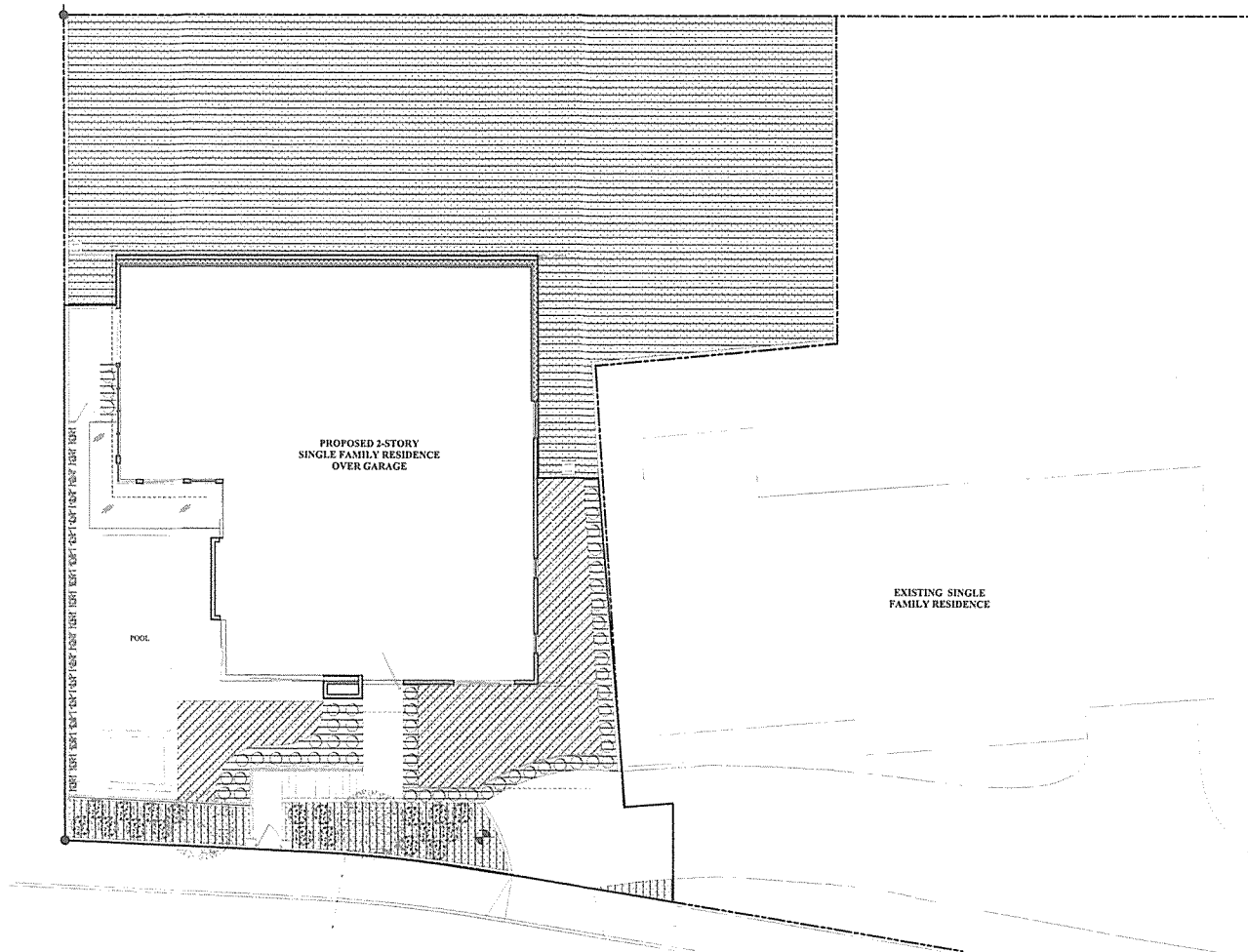
Original Date: APRIL 23, 2018

Sheet Title:

TOPOGRAPHIC MAP

Sheet 1 of 1

DATE



HYDROZONE LEGEND		
SYMBOL	DESIGNATION	SIZE
	LOW	5360 SQFT
	MODERATE	760 SQFT
	HIGH	468 SQFT

MAX. APPLIED WATER ALLOWANCE (MAWA)	
MAWA WATER BUDGET = $[(ETW)(0.42)(ETPA + LA) + ((1-ETPA) \times SLA)]$ GALLONS PER YEAR	
MAWA WATER BUDGET = $[(40)(0.42)(1.25 \times 6,300) + ((45) \times 0)]$ GALLONS PER YEAR	
MAWA WATER BUDGET = 17,100 GALLONS PER YEAR	

ESTIMATED TOTAL WATER USE (ETWU)	
LOW	
ETWU = $[(ETW)(0.42)(ETPA + LA) + ((1-ETPA) \times SLA)]$ GALLONS PER YEAR	
ETWU = $[(40)(0.42)(1.25 / 0.8 \times 5,100) + 0]$ GALLONS PER YEAR	
ETWU = 28,437 GALLONS PER YEAR	
MODERATE	
ETWU = $[(ETW)(0.42)(ETPA + LA) + ((1-ETPA) \times SLA)]$ GALLONS PER YEAR	
ETWU = $[(40)(0.42)(1.25 / 0.8 \times 700) + 0]$ GALLONS PER YEAR	
ETWU = 15,707 GALLONS PER YEAR	
HIGH	
ETWU = $[(ETW)(0.42)(ETPA + LA) + ((1-ETPA) \times SLA)]$ GALLONS PER YEAR	
ETWU = $[(40)(0.42)(1.25 / 0.85 \times 450) + 0]$ GALLONS PER YEAR	
ETWU = 6,750 GALLONS PER YEAR	
ESTIMATED TOTAL WATER USE = 50,944 GALLONS PER YEAR	

APPROVED EXHIBIT "A"

PROJECT NO. 625565

APPROVAL NO. SDP 2-247625

APPROVED BY: DEVELOPMENT SERVICES DEPARTMENT, HEARING OFFICER,
SERRANO CALIFORNIA COASTAL COUNCIL ON 5/14/2020

DATE: 5/14/2020

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DAA

SCHIRAGER RESIDENCE
8356 SUGARMAN DRIVE
LA JOLLA, CA, 92037

8/15/2018 SINGLE PRELIM REVIEW
12/19/2018 FIRST SUBMITTAL
01/24/2019 COMPLETENESS CHECK
05/02/2019 COMMUNITY HEARING
06/07/2019 COASTAL RESUBMITTAL
09/29/2019 COASTAL RESUBMITTAL

PHASE: COASTAL

PROJECT NO: 2018-19

REVIEWED BY: CAM

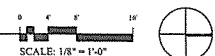
DRAWN BY: CS

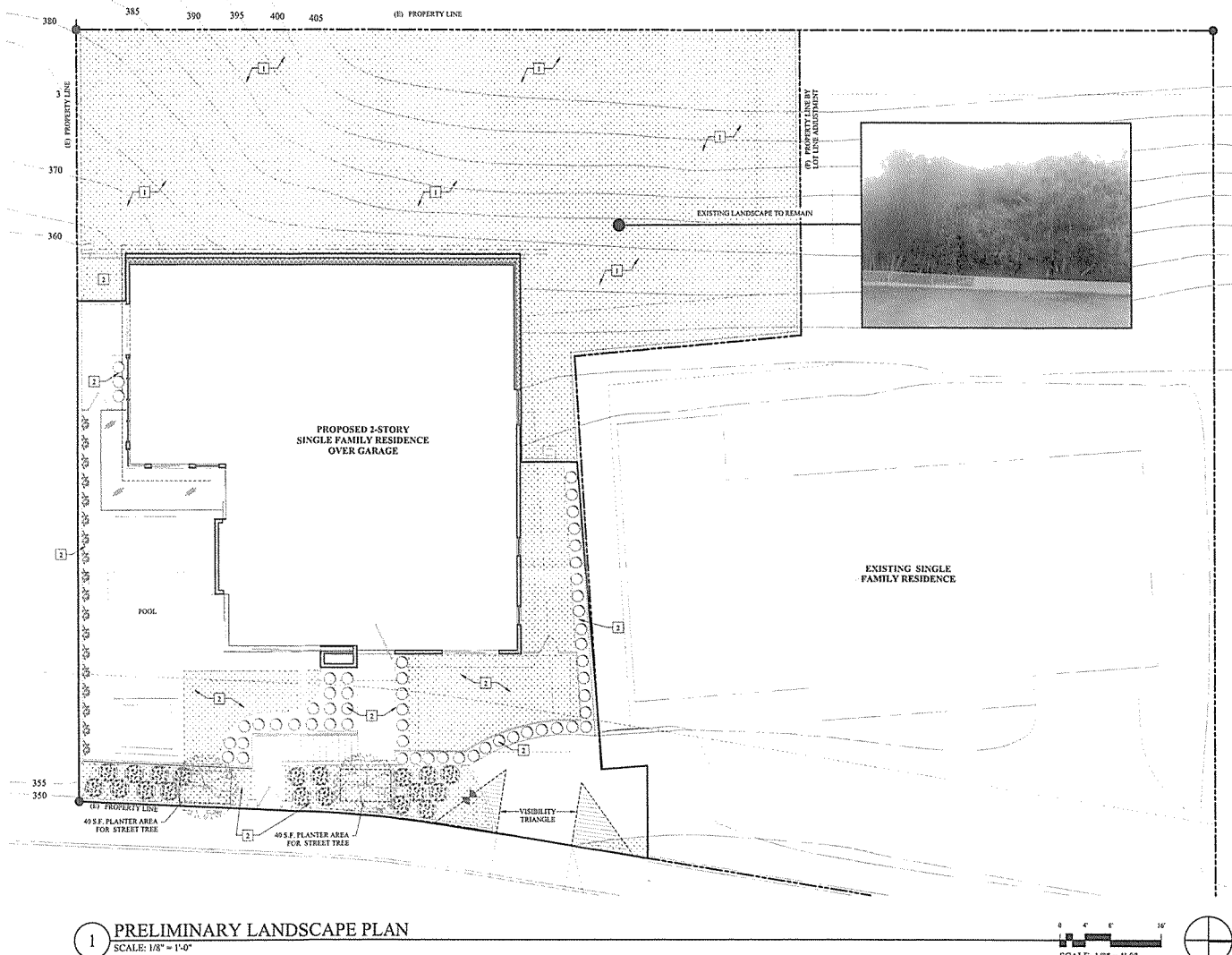
DATE: 09/20/2019

WATER CONSERVATION PLAN

L-2

1 WATER CONSERVATION PLAN
SCALE: 1/8" = 1'-0"





APPROVED EXHIBIT "A"
PROJECT NO. 625569
APPROVED BY: SDP 224767
APPROVED BY DEVELOPMENT SERVICES DIVISIONAL HEARING OFFICER, PLANNING DEPARTMENT
DATE: 7/4/2019
SIGNATURE: [Signature]

LOW IMPACT DEVELOPMENT DESIGN ELEMENTS

1. PLANTER LANDSCAPE AREA TO BE USED FOR RAINWATER INTERCEPTION AND EVAPOTRANSPIRATION
2. DIRECT RUN-OFF FROM IMPERVIOUS AREAS TO BE DIRECTED TO LANDSCAPING AREAS
3. SOURCE CONTROL: BMPs
 - a. AIR CONDITIONING CONDENSATE TO BE DISCHARGED INTO ADJACENT LANDSCAPE AREA
 - b. LANDSCAPE AREA TO BE PLANTED WITH DROUGHT TOLERANT AND/OR NATIVE PLANT SPECIES FOR EROSION CONTROL
4. PERMANENT BMPs
 - a. ALL STORMWATER TO BE DIRECTED TO AND DISCHARGED INTO ADJACENT LANDSCAPE AREAS

GENERAL NOTES

1. PLANT MATERIAL LOCATIONS ON THE PLANTING PLAN ARE APPROXIMATE AND SHALL BE ADJUSTED AS DIRECTED BY THE ARCHITECT
2. ALL GROUNDCOVER PLANTS SHALL BE FULLY ROOTED PLANT MATERIAL IN FLATS, PLUGS OR POTS
3. BUDS AND BLOOMS ON ALL PLANTS MUST BE PROTECTED AT ALL TIMES, INCLUDING TRANSPORTATION AND INSTALLATION
4. TREES AND SHRUBS SHALL BE SHAPED AND PRUNED DURING THE MAINTENANCE PERIOD
5. ALL AREAS TO RECEIVE EMERGENCY BARK MULCH
6. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO, MOVING, TRIMMING, PRUNING, WATERING, FERTILIZATION, WEED CONTROL, LIFT-UP, OPERATION / ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM
7. FILL, RE-COMPACT, AND REPLANT ANY AREAS THAT HAVE SETTLED AND RE-ESTABLISH POSITIVE DRAINAGE
8. CONTRACTOR SHALL ONLY APPLY SUFFICIENT WATER TO PROMOTE HEALTHY GROWTH OF THE PLANT MATERIAL. AT NO TIME WILL THE CONTRACTOR APPLY WATER AT A RATE OR FREQUENCY WHICH CAUSES RUNOFF OR SOIL SATURATION
9. POINT OF CONNECTION TO BE AT SERVICE LINE DOWNSTREAM OF WATER METER, EXACT LOCATION, TYPE AND SIZE PRIOR TO CONSTRUCTION
10. ALL IRRIGATION CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL AND REGIONAL GOVERNING CODES

LEGEND

SYMBOL	DESCRIPTION	SIZE	COMMENTS
[1]	EXISTING LANDSCAPE TO REMAIN	4789 S.F. (AREA)	
[2] [3]	PROPOSED LANDSCAPE	1,448 S.F. (AREA)	
[LAWN]	DELTA BLUEGRASS	795 SQ. FT.	NOTE: NO SHRUBS TO EXCEED THREE IN HEIGHT AT PLANTING. SHALL BE INSTALLED WITHIN TEN FEET FROM SEWER LINE
[LOW SHRUB, STRIPED CENTURY PLANT]	ACCENT SHRUB, SMALL CAPE RUSH	15 GAL.	
[VINES, JASMINE PANDORA]	VINES, JASMINE PANDORA	5 GAL.	
[STREET TREE]	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	24" BOX	NOTE: MIN. 40 SQ. FT. FOR PLANTER AREA

IMPERVIOUS SURFACE CALCS

PERVIOUS SURFACE AREA	IMPERVIOUS SURFACE AREA	PERCENTAGE
5,530 S.F.	1,420 S.F.	25%
1,350 S.F.	1,350 S.F.	100%
TOTAL	11,750 S.F.	100%

PLANTING NOTES

1. INDICATED LANDSCAPE IRRIGATION METERS SHALL BE REQUIRED IN ALL NEW DEVELOPMENT WITH A LANDSCAPE AREA GREATER THAN OR EQUAL TO 5,000 SQUARE FEET, EXCEPT THAT THIS REQUIREMENT SHALL NOT APPLY TO NEW SINGLE DWELLING UNIT DEVELOPMENT OR TO THE COMMERCIAL PRODUCTION OF AGRICULTURAL CROPS OR LIVESTOCK
2. LANDSCAPE IRRIGATION METER SHALL BE REQUIRED IN THE FOLLOWING DEVELOPMENTS:
 - (a) NEW SINGLE DWELLING UNIT DEVELOPMENT
 - (b) IMPROVEMENTS TO EXISTING INDUSTRIAL, COMMERCIAL AND MULTIPLE DWELLING UNIT DEVELOPMENT WHEN:
 - (i) THE IMPROVEMENT REQUIRES A BUILDING PERMIT AS IDENTIFIED IN TABLE 142.04(A); AND
 - (ii) THE LANDSCAPE AREA IS 1,000 SQUARE FEET AND GREATER
 - (c) NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES
 - (d) THE OWNER/PERMITTEE SHALL PROVIDE ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENTS FOR ALL ACCEPTABLE ENCROACHMENTS INTO THE WATER AND SEWER EASEMENT, INCLUDING BUT NOT LIMITED TO STRUCTURES, ENHANCED PAVING OR LANDSCAPING NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED IN OR OVER THE WATER AND SEWER EASEMENT THAT WOULD INHIBIT VEHICULAR ACCESS TO REPLACE A SECTION OF MAIN OR PROVIDE ACCESS TO ANY APPURTENANCE OR SOLICITED SECTION OF MAIN
3. THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO WATER AND SEWER FACILITIES IN THE VICINITY OF THE PROJECT SITE, DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT, IN ACCORDANCE WITH MUNICIPAL CODE SECTION 42.0607. IN THE EVENT THAT ANY SUCH FACILITY LOSES INTEGRITY THEN, THE OWNER/PERMITTEE SHALL REPAIR OR RECONSTRUCT ANY DAMAGED PUBLIC WATER AND SEWER FACILITY IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER
4. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS
5. A MINIMUM ROOT ZONE OF 40 SQ. FT. AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0402(K)
6. MINIMUM TREE SEPARATION DISTANCE:
 - a. TRAFFIC SIGNAL STOP SIGNS - 20 FEET
 - b. UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
 - c. ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - d. DRIVEWAY (ENTRANCE) - 10 FEET
7. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE
8. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. REPLACED FOR THE CONDITIONS OF THE PERMIT
9. IRRIGATION: AN AUTOMATIC ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(G) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE IRRIGATION SYSTEM
10. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE IDENTIFIED IN PLACE. THE FOLLOWING MEASURES MUST BE PROVIDED:
 - a. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREE AT Drip Line
 - b. STOCK PILING, TOPSOIL, DISTURBANCE, VEHICLE USE AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE Drip Line
 - c. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION
 - d. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DEA

ALL designs, ideas and arrangements are intended to be used as a guide only. The client is responsible for obtaining all necessary permits and approvals. The client is responsible for obtaining all necessary permits and approvals. The client is responsible for obtaining all necessary permits and approvals.

SCHRAGER RESIDENCE
8356 SUGARMAN DRIVE
LA JOLLA, CA 92037

8/15/2018 SINGLE PRELIM REVIEW
12/16/2018 FIRST SUBMITTAL
01/24/2019 COMPLETENESS CHECK
05/02/2019 COMMUNITY HEARING
06/07/2019 COASTAL RESUBMITTAL
06/20/2019 COASTAL RESUBMITTAL

PHASE: COASTAL
PROJECT NO: 2018-19
REVIEWED BY: CAM
DRAWN BY: CS
DATE: 09/20/2019

LANDSCAPE PLAN
L-1