



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: December 3, 2025

TO: City of San Diego Planning Commission

FROM: Veronica Davison, Development Project Manager, Development Services Department

SUBJECT: 8303 La Jolla Shores Drive – Planning Commission Hearing, Item 1 - PC 25-046
PROJECT NO. PRJ-1085883

Please note that the Project Plans (Attachment 12 in the Staff Report) will be updated to include the top of wall elevations for retaining walls within the front setback at Proposed Lots two (2), three (3) and four (4). The following sheets will replace the previous version within the Project Plans:

- Grading and Drainage Sheets C-3, C-4, and C-5
- Site Plan Sheets A000.0, A002, A003, A004
- Floor Plan Sheets A208, A209, A210, A211, A212, A213, and A214

Should you have any questions, please contact me at (619)446-5462 or email hdavison@sandiego.gov

Thank you,

A handwritten signature in blue ink, appearing to read "Veronica Davison".

Attachments:

PRJ-1085883 – 2025-12-03 Site Development Plans Revised sheets

Cc: Project File
Planning Commission Legislative Recorder
Office of the City Attorney

PRELIMINARY – NOT FOR CONSTRUCTION



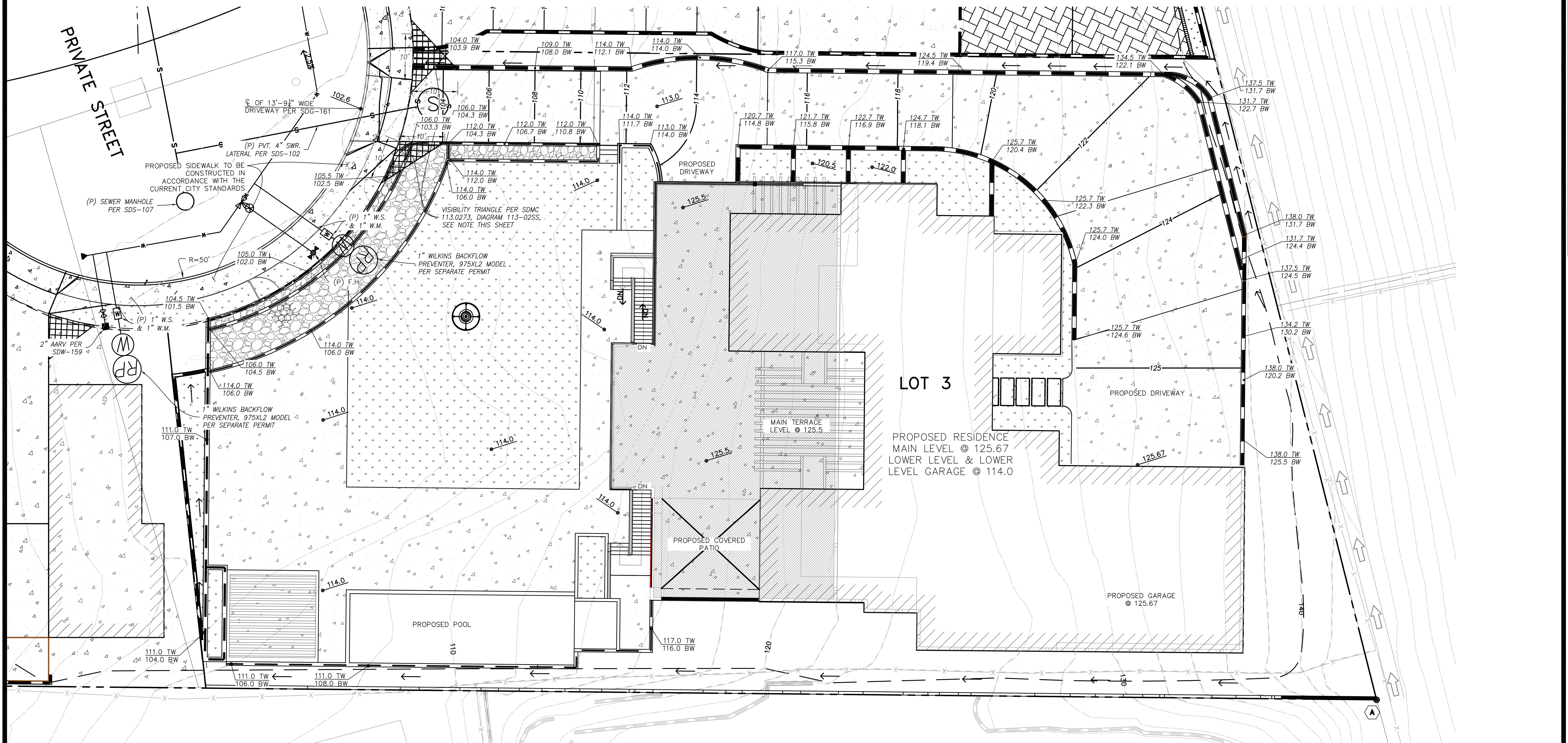
C-3
LOT 2

9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179

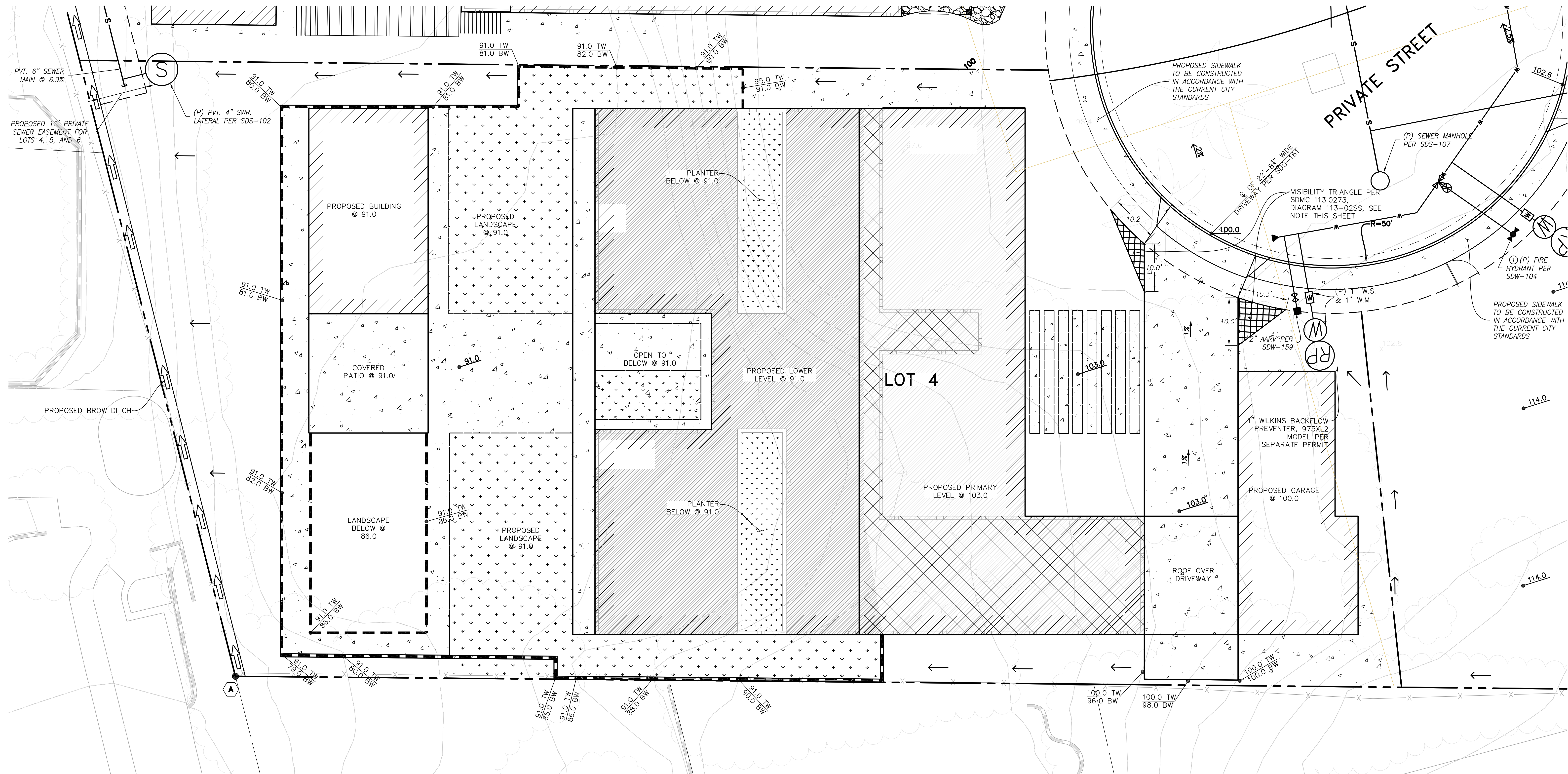
DATE: 07/11/25
EXPIRES: 6/30/26



PROPOSED GRADING & DRAINAGE PLAN - LOT 3



PROPOSED GRADING & DRAINAGE PLAN - LOT 4



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

FOUND MONUMENTS

INDICATES FOUND 3/4" IRON PIPE W/YELLOW CAP STAMPED "LS 5717" PER CORNER RECORD NO. 30186.

CONSTRUCTION NOTES

- FIRE HYDRANT PER SDW-104

PROPOSED LEGEND

- AREA OF MAIN LEVEL
- AREA OF LOWEST LEVEL
- AREA OF LOWEST LEVEL
- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.69 AC.
- DISTURBED AREA = 0.57 AC.
- AMOUNT OF CUT = 280 C.Y.
- MAX. DEPTH OF CUT = 12 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 2,520 C.Y.
- MAX DEPTH OF FILL = 16 FT.
- MAX HEIGHT OF CUT & FILL = 16 FT.
- RETAINING WALL LENGTH = 235
- EXISTING IMPERVIOUS AREA = 8' S.F.
- EXISTING PERVIOUS AREA = 30,235 S.F.
- PROPOSED IMPERVIOUS AREA = 16,837 S.F.
- PROPOSED PERVIOUS AREA = 13,398 S.F.

EARTHWORK QUANTITIES

CUT = 280 C.Y. +/- FILL = 2,520 C.Y. +/-
IMPORT = 2,240 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

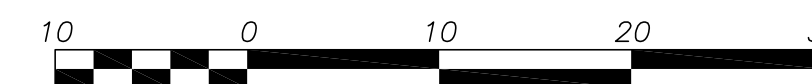
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DANIEL VALDEZ
C 76074

DATE: 12/03/25
EXPIRES: 6/30/26



SCALE: 1"=10'



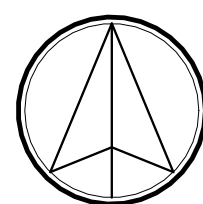
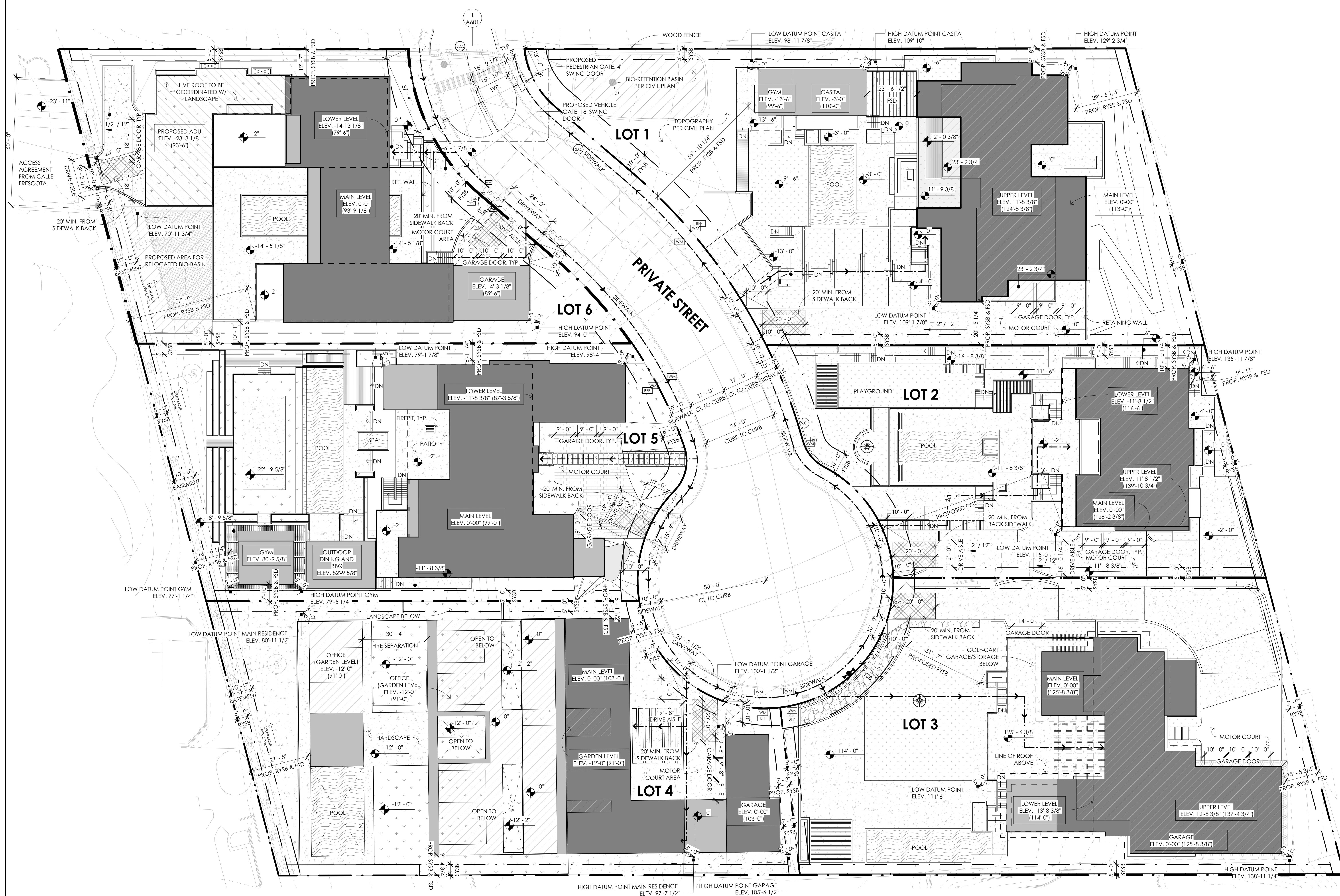
PROPOSED GRADING
& DRAINAGE PLAN

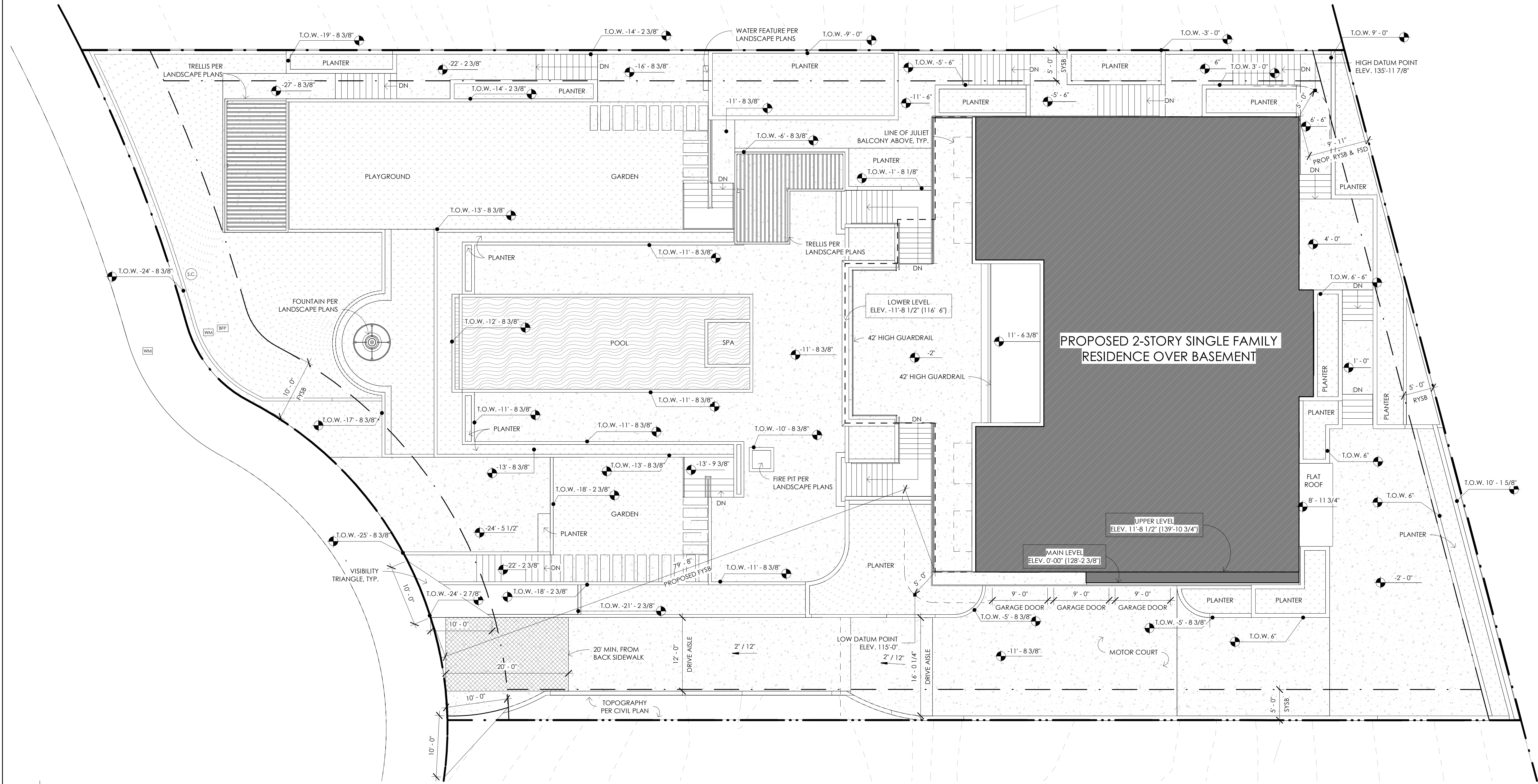
C-5
LOT 4



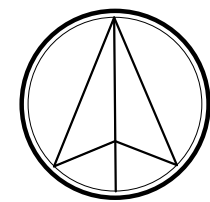
COFFEY ENGINEERING, INC.

9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179





1 LOT 2 - SITE PLAN
SCALE = 1/8" = 1'-0"



SITE LEGEND

- HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE
- LINE INDICATES LOWER LEVEL RESIDENCE
- HATCH INDICATES UPPER LEVEL RESIDENCE
- HATCH INDICATES HARDSCAPE AREA
- HATCH INDICATES COVERED AREA
- LANDSCAPE PER LANDSCAPE PLANS

SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

JOB #:

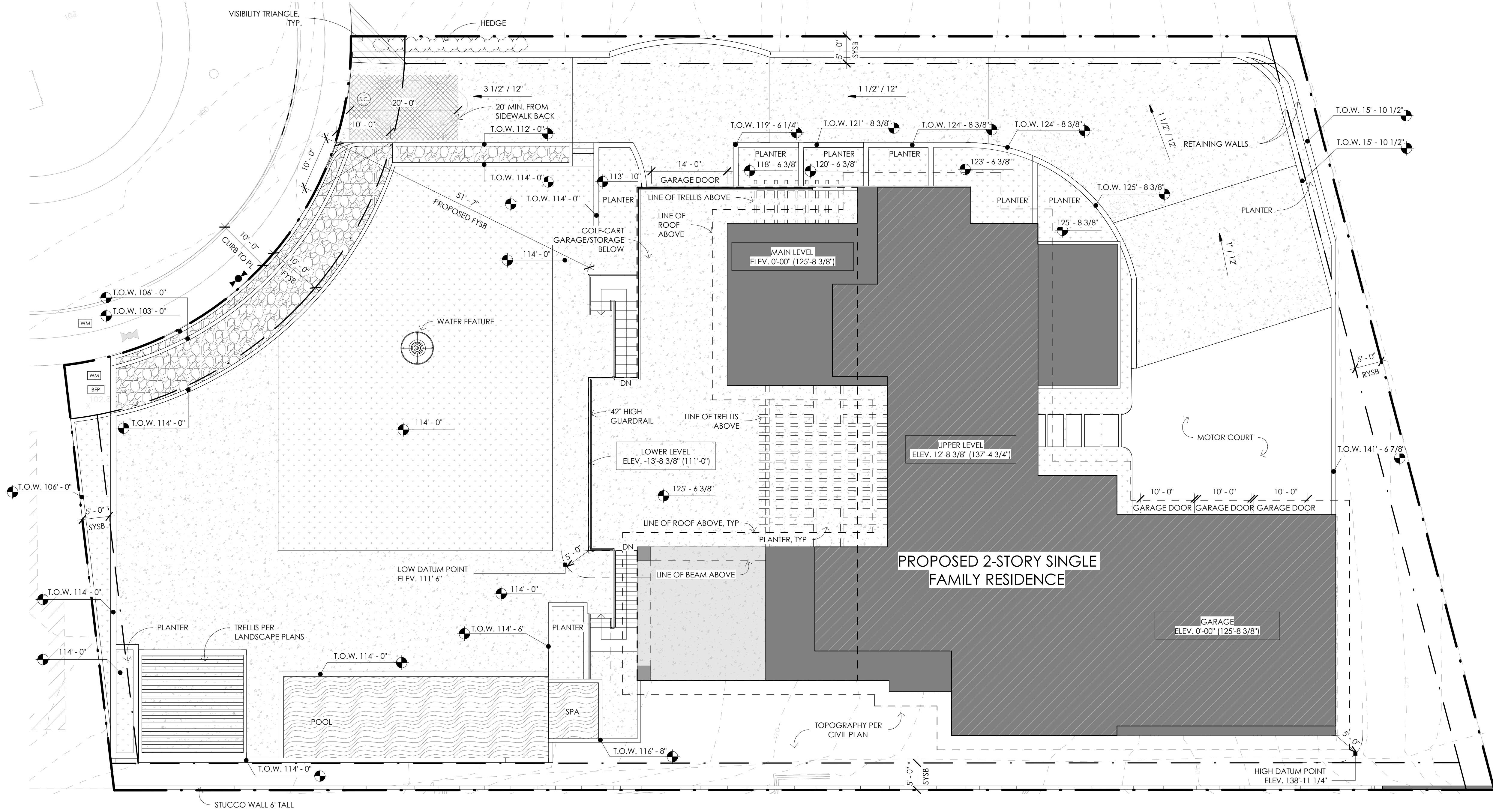
CIELO MAR - LOT 3 - ALLOS

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL
04/28/2025	6TH CDP SUBMITTAL

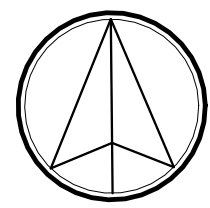
A003
LOT 3 - SITE PLAN

12/03/2025



1 LOT 3 - SITE PLAN

SCALE = 3/32" = 1'-0"

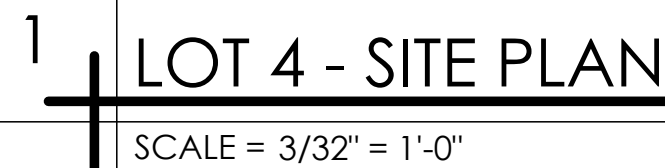


SITE LEGEND

BFP	BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE
WM	WATER METER, REFER TO SHEET G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	LINE INDICATES LOWER LEVEL RESIDENCE
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)	HATCH INDICATES UPPER LEVEL RESIDENCE
SC	SEWER CLEANOUT	HATCH INDICATES HARDSCAPE AREA
		HATCH INDICATES COVERED AREA
		LANDSCAPE PER LANDSCAPE PLANS

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- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
2. PER PH'S POLICY P-00-4 (UFC 901.1.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0053), HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
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1298 PROSPECT STREET SUITE 2S | A 1011A CA 92037 - (6) 858-224-2486

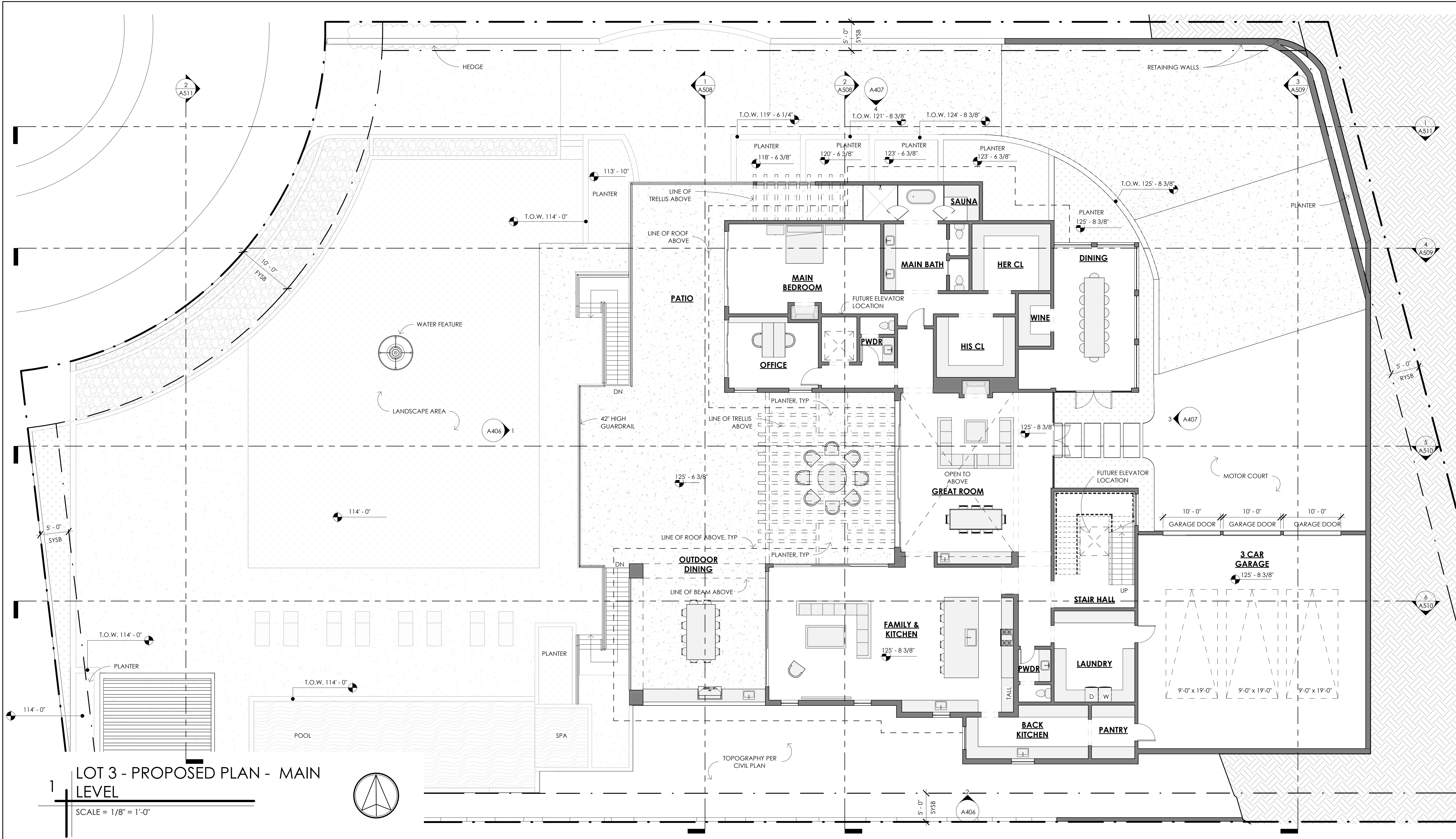
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**LOT 3 - PROPOSED
PLAN - LOWER
LEVEL
12/03/2025**



1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.	9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMIC.	B. DOOR OVERLAPS ONTO JAMBS AND HEADERS. C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.	10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED, BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.	14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.		B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" INCH DRAIN.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.	11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.	C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1	12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.	D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.	13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8" INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4.CBC 708A.4) A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.	E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARABGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.		
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.		



LOT 3 - PROPOSED PLAN - MAIN LEVEL

SCALE = 1/8" = 1'-0"

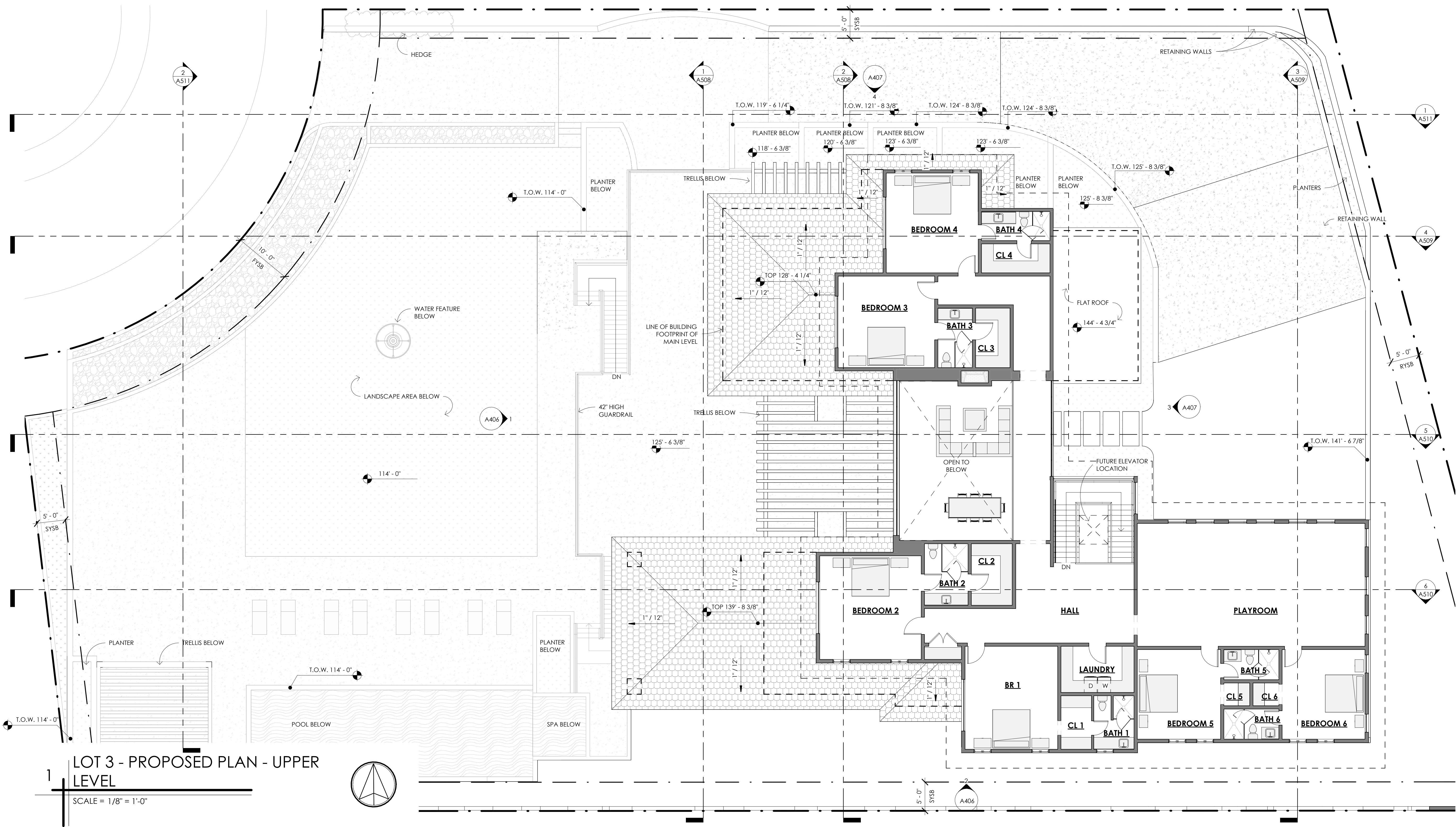
PLAN NOTES

- FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
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- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
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- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
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JOB #:

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PLAN NOTES

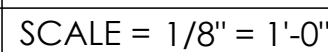
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11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
- B. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)

B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" INCH DRAIN.

C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.

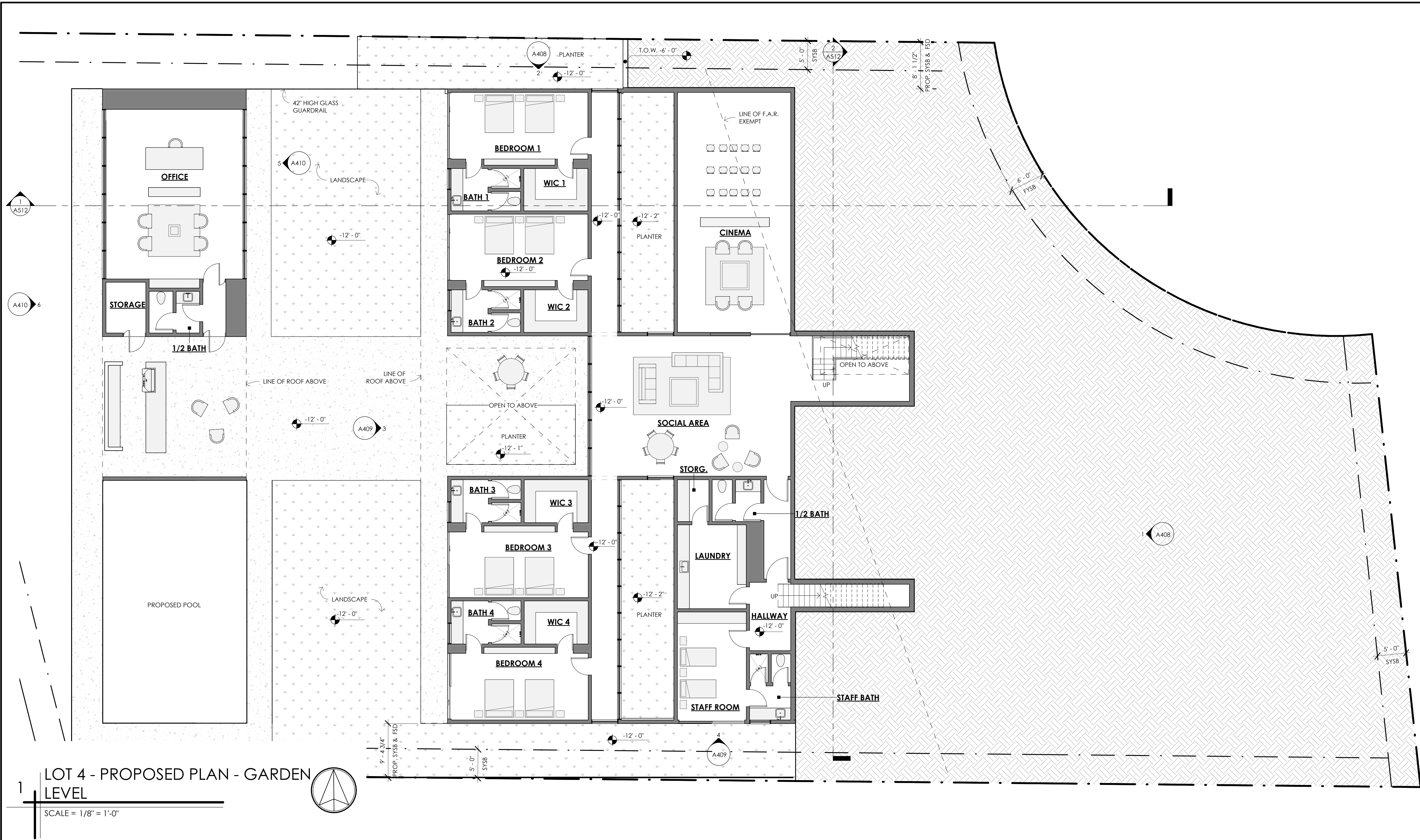
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.

E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1
2. ROOF-GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF-GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUMINE COATING.
3. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
4. CHIMNEYS, FLUES OR STOVEPIPPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2' ABOVE THE LOW POINT OF THE ROOF.
6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN. HAVE AN OPENING LOCATED 18" TO 4" BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2' ABOVE THE LOW POINT OF THE ROOF.
7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.
8. FOR TYPICAL PIPE PENETRATION SEE DETAIL A/4.1.
9. ALL FLAT ROOFS TO COMPLY WITH CRC R806.5
10. ANY ROOF-GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREA WITH MINIMUM OPENING DIMENSIONS AND NO OBSTRUCTIONS, INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.

12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM:
 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL
 - APPROVED MINIMUM 4-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.
15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. EXTERIOR FIRE PROTECTION SHALL BE PROVIDED BY ONE-HOUR FIRE-RESISTANT MASONRY OR BY USING HEAVY TYPED CONSTRUCTION METHODS.
16. PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.



1 LOT 4 - PROPOSED PLAN - GARDEN LEVEL

SCALE = 1/8" = 1'-0"

PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.

2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.

3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.

4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.

5. EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1

6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.

7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.

8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.

10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.

11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
- B. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING

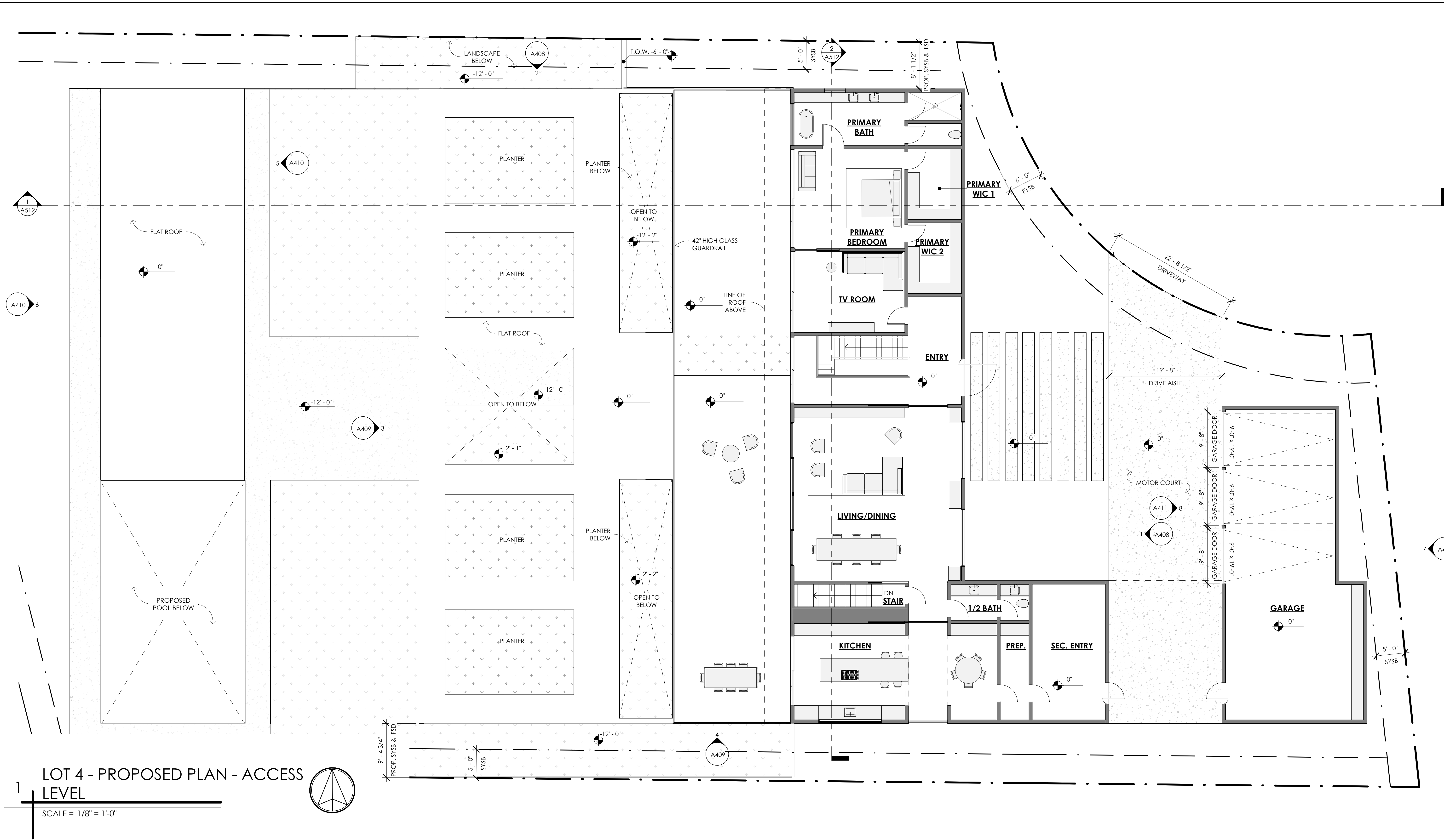
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)

B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" INCH DRAIN.

C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.

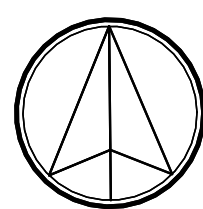
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.

E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



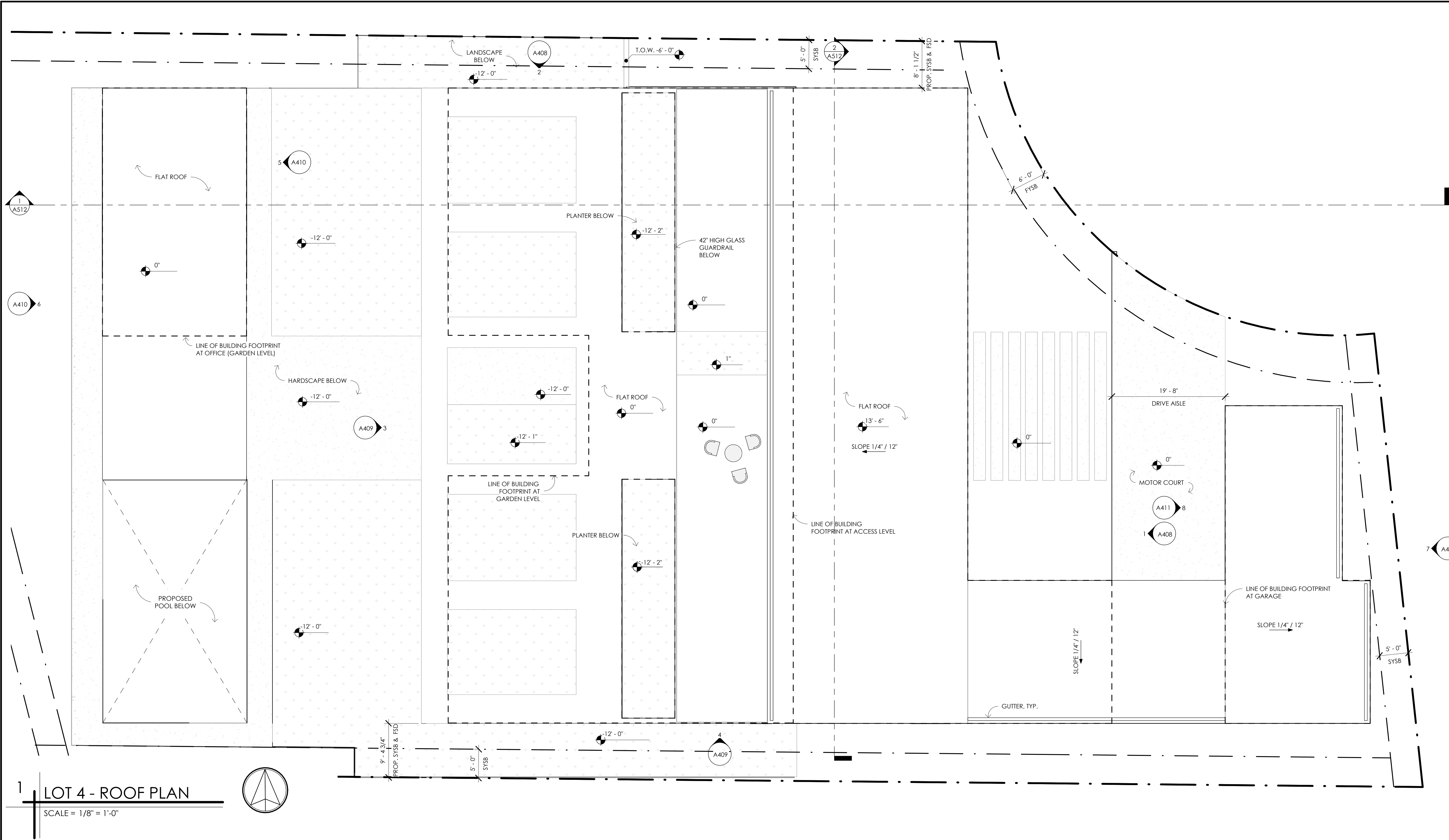
LOT 4 - PROPOSED PLAN - ACCESS
LEVEL
SCALE = 1/8" = 1'-0"

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PLAN NOTES

- FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED, BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
- DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" INCH DRAIN.
C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



1 LOT 4 - ROOF PLAN
SCALE = 1/8" = 1'-0"

ROOF NOTES

1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1

2. ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUME COATING.

3. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.

4. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.

5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.

6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN. HAVE A MINIMUM OPENING HEIGHT OF 4"; BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.

7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.

8. FOR TYPICAL PIPE PENETRATION SEE DETAIL 4/A7.1

9. ALL FLAT ROOFS TO COMPLY WITH CRC R806.5

10. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMINEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".

13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"

14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM:
 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.

15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY TIMBER CONSTRUCTION METHODS

16. PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL
04/28/2025	6TH CDP SUBMITTAL