

Report to the Planning Commission

DATE ISSUED: December 11, 2025 REPORT NO. PC-25-048

HEARING DATE: December 18, 2025

SUBJECT: 7951 PASEO DEL OCASO, Process Two Appeal

PROJECT NUMBER: PRJ-1133046

REFERENCE: <u>PTS-691672</u> Previous approval, Process 3, Coastal Development Permit No.

2556832 and Site Development Permit No. 255986, Resolution HO-7466

(Attachment 04)

OWNER/APPLICANT: David Baylor, Owner / Chandra Slaven, Applicant.

SUMMARY

<u>Issue</u>: Should the Planning Commission grant or deny an appeal of the Development Services Department's decision to approve a Substantial Conformance Review for proposed revisions to the original Project No. PTS-691672, Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861, located at 7951 Paseo Del Ocaso within the <u>La Jolla Community Plan Area?</u>

<u>Staff Recommendation</u>: DENY the appeal and AFFIRM the Development Services decision to approve Substantial Conformance Review (SCR) No. PMT-3346030.

<u>Fiscal Considerations</u>: None. All costs associated with this action are recovered through a deposit account funded by the applicant.

<u>Housing Impact Statement</u>: The project will demolish an existing single-dwelling unit and construct a single-dwelling unit, resulting in no change to the residential density of the subject site.

Community Planning Group Recommendation: On June 18, 2025, the project was presented to the La Jolla Shores Planned District Advisory Board (LJSPDAB) to consider whether the proposal meets the SCR requirements. A vote of three to two (3 yes, 2 no) resulted in "No Action" (Attachment 08) because four votes are required as a majority to provide a recommendation, according to the LJSPDAB regulations.

The applicant opted not to present the project before the La Jolla Community Planning Association.

Environmental Impact:

A California Environmental Quality Act (CEQA) Section 15162 Subsequent EIRs and Negative Declaration consistency evaluation was completed for the proposed project. The consistency evaluation addressed whether the conditions specified in the CEQA Guidelines would require the preparation of additional review for the proposed project. The City determined the proposed project is within the scope of the previous analysis for Baylor Residence Mitigated Negative Declaration No. 691672 / SCH No. 2022070454, adopted October 5, 2022, and would not result in new or substantially increased impacts beyond those previously identified. No new mitigation or alternatives were required to reduce impacts. A Mitigation Monitoring and Reporting Program was prepared for Mitigated Negative Declaration No. 691672 and will be implemented. Based on the CEQA Section 15162 consistency analysis, the project would not require any additional environmental review. (Attachment 06).

BACKGROUND

The 0.17-acre site is located at 7951 Paseo Del Ocaso and is currently developed with a one-story single-dwelling unit and detached garage in an established residential area in the La Jolla Shores Planned District-Single-Family Zone (LJSPD–SF), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Beach impact), and Transit Priority Area within the La Jolla Community Plan.

A Process 3 Site Development Permit and Coastal Development Permit (Project PTS-691672) was approved on October 5, 2022, by the Hearing Officer (Resolution HO-7466) to demolish the existing structures and construct a new two-story 3,503-square-foot single-dwelling unit with roof access, attached two-car garage, and associated site improvements.

On April 1, 2025, a Process 2, SCR application (Project PRJ-1133046) was submitted to the Development Services Department for modifications to the previous approval. A Notice of Decision approving the proposal was issued on July 22, 2025.

On July 23, 2025, Jerry Czajkowski (Appellant) presented an appeal citing Factual Error, Conflict with other Matters, Findings Not Supported and New Information as Grounds for appeal. (Attachment A.00)

DISCUSSION

Approved Project No. PTS-691672 includes the demolition of an existing one-story, 1,799-square-foot Single Dwelling Unit (SDU), detached garage, pool, and shed and construction of a new two-story, 3,503-square-foot SDU with roof access, attached two-car garage, and associated site improvements as described in the approved Exhibit "A". (Attachment 05)

The Development Services Department reviewed SCR Project PRJ-1133046 in accordance with San Diego Municipal Code (SDMC) section <u>126.0112</u>. The proposed modifications include a reduced footprint, reduced building height, and revised exterior finishes. In addition, the existing retaining wall at the east property line, previously shown to be removed, is now to remain. (Attachment 07)

	Area	1 st Floor	2 nd Floor	Garage	Bldg. Ht.	Exterior Finishes
Previous Approval PTS-691672	3,503 SF	1,550 SF	1,953 SF	Attached 675 SF	29'-7"	Wood Cladding, Cement plaster, Board-formed cast-in-place concrete.
SCR PRJ-1133046	2,849 SF	1,384 SF	1,465 SF	Detached 636 SF	21'-7"	Vertical stained cedar siding, integral color stucco, and Steel trellis with Cedar slats.

A finding of substantial conformance cannot be made if changes or modifications to a project are inconsistent with factors or issues that were specifically discussed and/or addressed by staff and/or the decision-maker at a public hearing. Staff determined that the proposed revisions are in substantial conformance with the objectives, standards, guidelines, and conditions for the approved Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861:

LAND USE

The proposed project is consistent with the <u>La Jolla Community Plan</u> (Community Plan) Residential Low Density (5 to 9 dwelling units per net residential acre) land use designation and density range. Although the project reduces the site's gross floor area, it does not reduce its density or lessen conformity with the La Jolla Shores Planned District Ordinance (PDO).

SITE DESIGN

The project proposes reducing the building footprint and hardscape areas, with the garage, driveway, and curb cut remaining roughly in the same location as in the previous approval. A previously approved site wall and fence in the front yard are removed from the proposed design. A retaining wall at the East property line, previously approved to be removed, is now shown as existing-to-remain. The project plans include a Topographic Survey, prepared by Coffey Engineering, dated 5/19/2025. There are no conflicts with the previous approval. All proposed work is within the property line boundary.

ARCHITECTURE

The proposed footprint, floor area and building height are reduced from the previous approval. The proposed finish materials are in conformance with the <u>La Jolla Shores design</u> <u>guidelines</u>, which are limited to wood siding, natural earth colors, and stucco.

The proposed modifications conform with the development patterns and bulk and scale of the existing neighborhood per the LJSPD-SF Zone, including lot coverage below 0.60, floor area ratio below 0.57, density, setbacks, and building height not exceeding the 30-foot height limit. The La Jolla Shores PDO requires all buildings and setbacks to conform to the development patterns of the neighborhood. The project plans include a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey shows the following ranges: Front yard setback between 10.5 and 33 feet, side yard setback between one and 15 feet, rear yard setback between one and 37 feet, and floor area ratio between 0.16 and 0.34. The project proposes a

20.67-foot front yard setback, a minimum 3.58-foot side yard setback, a 20.92-foot rear yard setback and a floor area ratio of 0.48, all of which are consistent with the survey.

The project also complies with the Community Plan by incorporating changes in building material, proportioned fenestration, and roofline variation. The proposed bulk and scale, and exterior wall materials complement the diverse character of the surrounding neighborhood.

PERMIT CONDITIONS

The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. All conditions of approval for approved PTS-691672 are applicable to SCR project PRJ-1133046.

SDMC section 126.0112 establishes the review process for modifications to a development permit. It provides that a proposed modification to an approved development permit may be submitted to the City Manager for determination of whether the revision is in substantial conformance with the approved permit. If the revision is determined to be in substantial conformance with the approved permit, the revision shall not require an amendment to the development permit. Substantial conformance is defined by San Diego Municipal Code section 113.0103 as "a revision to a development that was approved through a permit or tentative map [that] complies with the objectives, standards, guidelines, and conditions for that permit or tentative map." In compliance with the process established by the SDMC, staff conducted a comprehensive review of the proposed Project. Based on guidelines of measurement that include those listed above (Land Use, Site Design, Architecture, Permit Conditions), staff concluded that the proposed modifications are in substantial conformance with the Site Development Permit and Coastal Development Permit, and the "Exhibit A" documents approved by the Hearing Officer on October 5, 2022.

On July 23, 2025, an appeal was presented (Attachment A-00) citing Factual Error, Conflict with other Matters, Findings Not Supported and New Information as Grounds for the appeal.

<u>Legal Standard for Appeal of Department of Development Services Decision</u>:

Pursuant to SDMC Section <u>112.0504</u>, an appeal of a Process Two decision may only be granted with evidence supporting one of the following grounds for appeal:

- (1) Factual Error. The statements or evidence relied upon by the decision maker when approving, conditionally approving, or denying a permit, map, or other matter were inaccurate;
- (2) New Information. New information is available to the applicant or the interested person that was not available through that person's reasonable efforts or due diligence at the time of the decision;
- (3) Findings Not Supported. The decision maker's stated findings to approve, conditionally approve, or deny the permit, map, or other matter are not supported by the information

provided to the decision maker; Or

(4) Conflicts. The decision to approve, conditionally approve, or deny the permit, map, or other matter is in conflict with a land use plan, a City Council policy, or the Municipal Code.

Project Appeal Discussion:

The Appellant's appeal issues are taken verbatim from the appeal application, and a staff response follows each issue.

The Baylor project cannot be approved "as is" without the following corrections, documentation and additional permits:

Appeal Issue No. 1:

Completed Corner Record,

a) Because the new 2025 Baylor Plan hides the reference point established by the PP (Power Pole, see the attached Power Pole pdf, Attachment A-02), in order to claim that the 7944 La Jolla Shores Drive (Lot 19) retaining wall crosses the property line at the north end, even though it does not cross the property line.

Staff Response to Appeal Issue 1a:

The project plans include a Topographic survey prepared by Coffey Engineering, dated 05/19/2025 (Sheet C.0 of the project plans, Attachment 07). The appellant relied on an older version of the project at 7951 Paseo Del Ocaso, which will be superseded by the plans approved under this Substantial Conformance Review (SCR).

The current survey shows the east property line through a utility pole between the two properties. The photograph provided in attachment A-02 is consistent with the survey and the proposed plans.

One of the modifications comprising this SCR is NOT removing the retaining wall in question. The project plans show that the existing retaining wall at the east property line is to remain.

b) Furthermore, the Baylor Project still has not provided the official Corner Record or the Property Survey and has not staked out its property lines, which is not acceptable for a project of this magnitude.

Staff Response to Appeal Issue 1b:

A corner record is not a required document for the approval of a discretionary permit. Condition No. 29, within the approved permit, stipulates that a topographical survey may be required if it is determined, during construction, that there may be conflicts between the building(s) under construction and a condition within the permit or a regulation of the underlying zone.

The applicant has included a topographic survey in the SCR project plans (Attachment 07). In addition, a corner record, dated 09/04/2025, was prepared for the project by Coffey Engineering (Attachment 09), which confirms that the property boundary lines are correctly shown on the

SCR project plans.

Appeal Issue No. 2:

Correct Topographic Survey, as Baylor Project is still using an erred 5 year old Coffey Engineering Survey (dated 2/19/19, *see note below), which is off by 2-3 feet in elevation in comparison to the recent (12/30/24, Attachment A-06) Lot 19 Survey (see the attached 4/23/25 Demand Letter with its Terwilliger Land Survey, Attachment A-07, the Three-Foot-Retaining-Wall-No-Slope "3 FT RW NO SLOPE.pdf", Attachment A-08, and "LOT 5 FAKE SLOPE.pdf" images, Attachment A-09, confirming this discrepancy,), for it is impossible to have such a big difference of up to 3 feet between the two surveys.

*Note: The Engineering survey dated 2/19/19 referenced above was not found. The approved exhibit for PTS-691672 contains a survey prepared by Coffey Engineering dated 2/27/2019 (Attachment 05).

Staff Response to Appeal Issue 2:

Staff has reviewed a Topographic survey prepared by Coffey Engineering, dated 05/19/2025 (Sheet C.0 of the project plans, Attachment 07). Engineering Review staff found no grade elevation discrepancies. The survey accurately reflects existing conditions, including the retaining wall and utility pole at the shared property line. This survey supports the approved building elevations and confirms conformance with applicable height and grading standards.

Appeal Issue No. 3:

The Grading Permit for La Jolla Shores Planned District, because 2025 Baylor Plan continues to show a 3-foot slope from the 33.5-foot grade (see the LINE OF EXISTING GRADE pointer in the "LOT 5 FAKE SLOPE.pdf" taken from page A5.2 of Baylor Project dated 6/19/22, Attachment A-09), though there's no slope (which is confirmed by the attached images, "3 FT RW NO SLOPE.pdf", Attachment A-08, and the Terwilliger Land Survey, Attachment A-06, showing that the existing grade of Lot 5 at the swimming pool and the retaining wall is already at 33.5', so it would be absurd to dig 3 feet into an existing grade of 33.5' to achieve 33.5'grade, unless the plan is to add 3 feet of dirt in the back of the building creating a +3 foot elevation increase).

Therefore, this 3-foot slope (see LINE OF EXISTING GRADE pointer) misinformation, may lead to an "unintentional" augment of the existing 33.5' grade during addition of fill dirt to the old swimming pool. In effect, a new grade will be created at 36.5', ready for future 30 foot building upgrade at the Lots'5 & 19 property line to an increased height of the building from the current 33.5'+ 20'= 53.5' to 53.5'+10' = 63.5' plus the "imaginary", but fully documented, slope of 3 feet = 66.5' feet, just like had been planned by the Baylor Project 2 years ago (see page A5.2 of Baylor Project dated 6/19/22 Attachment 05).

Staff Response to Issue 3:

Per SDMC Section <u>129.0602</u>, a grading permit is not required for this project because the project site is not within a designated Open Space or within a Special Flood Hazard area; excavation or fill quantities will not result in gradients of 25 percent or greater, nor will the proposed grading result in a 5-foot vertical differential. Sheet C.3 of the project plans shows a 2.5-foot maximum depth of cut and a 0.5 maximum depth of fill. The proposed grading will adequately address drainage and runoff patterns.

The applicant refers to filling the previous pool with dirt, potentially impacting the finished grade elevation for the site and the overall building height. The project includes site improvements and the redesign of the pool in the general area of the previous pool location. As noted above, grading for the project conforms with the city's drainage regulations and standards. It should be noted that a proposed modification in this SCR lowers the overall building height to 21'-7" compared to the previously approved 29'-7".

Staff has reviewed a Topographic survey prepared by Coffey Engineering, dated 05/19/20 (Sheet C.0 of the project plans, Attachment 07). The survey supports the vertical datum utilized to establish the overall building height. In addition, a Height Verification flag will be added to the construction permit application, which will be conducted by the Inspector and cannot be cleared until the height is verified. If a height issue is revealed through the Height Verification Process, the issue will need to be corrected, as a deviation of the 30-foot height limit is not permitted.

Conclusion:

City staff has reviewed the proposed Project, analyzed the appeal issues, and determined that the project is in substantial conformance with the Design Guidelines, Development Plans and Permit approved by the Hearing Officer on October 5, 2022. The requested changes to the previously approved Exhibit "A" for this project are consistent with the general intent, terms and conditions of approved Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861, as well as any other applicable regulations, development standards and guidelines of the Municipal Code in effect for this site. All applicable and relevant conditions and findings of approval as specified in the approved Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861 shall remain in full effect for this site, unless otherwise specified by the Development Services Department.

The appellant did not provide sufficient evidence to support any of the four findings that are grounds for appeal. Therefore, City staff recommends that the Planning Commission deny the appeal and affirm the July 22, 2025, Development Services Department decision to approve Substantial Conformance to previously approved Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861.

ALTERNATIVE

1. GRANT the appeal and reverse the Development Services Department decision to approve Substantial Conformance Review No. PMT-3346030.

Respectfully submitted,

Michael Prinz

Assistant Deputy Director

Michael Prinz

Development Services Department

Veronica Davison

Development Project Manager

Development Services Department

Attachments:

01 - Location Map

02 - Community Plan Land Use Map

03 – Aerial Photograph

04 - PTS-691672 Recorded Permit

05 - PTS-691672 Exhibit A

06 – CEQA Section 15162 Consistency Analysis Memorandum

07 - SCR PRJ-1133046 Site Development Plans

08 - LISPDAB Vote

09 - Corner Record, Document 346-512-07

A-00 - Appeal Application and Grounds for Appeal

A-01 - Baylor Project 051325 email

A-02 - July 22, 2025 email Baylor Residence PRJ-1133046

A-03 - Corner Record La Jolla Shores Drive 2

A-04 - July 23, 2025 email: Additional documentation

A-05 - Topographic survey may be required

A-06 - 7944 LA JOLLA SHORES_TOPO SURVEY

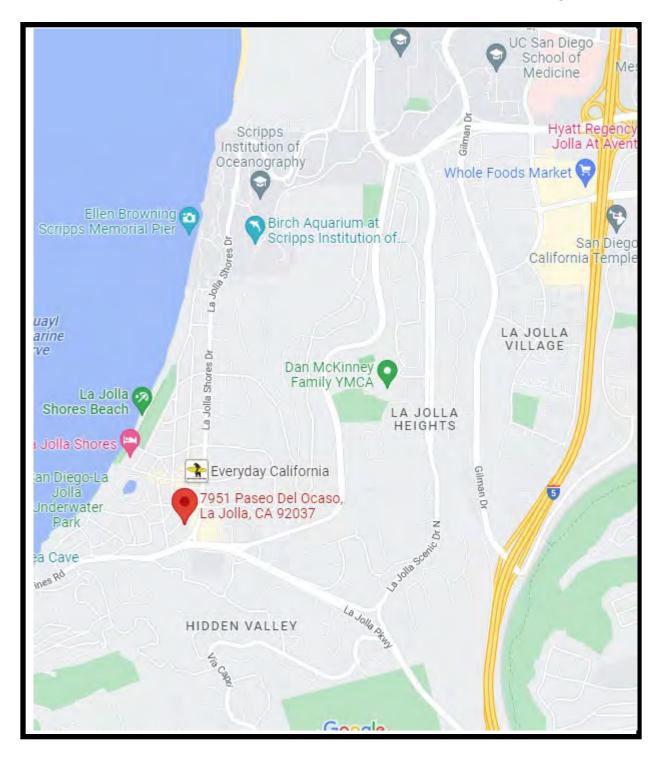
A-07 - CZAJKOWSKI, JERRY DL 2025

A-08 - 3 ft RW NO SLOPE

A-09 - LOT 5 FAKE SLOPE

A-10 - Applicant's Rebuttal to appeal issues

ATTACHMENT 1

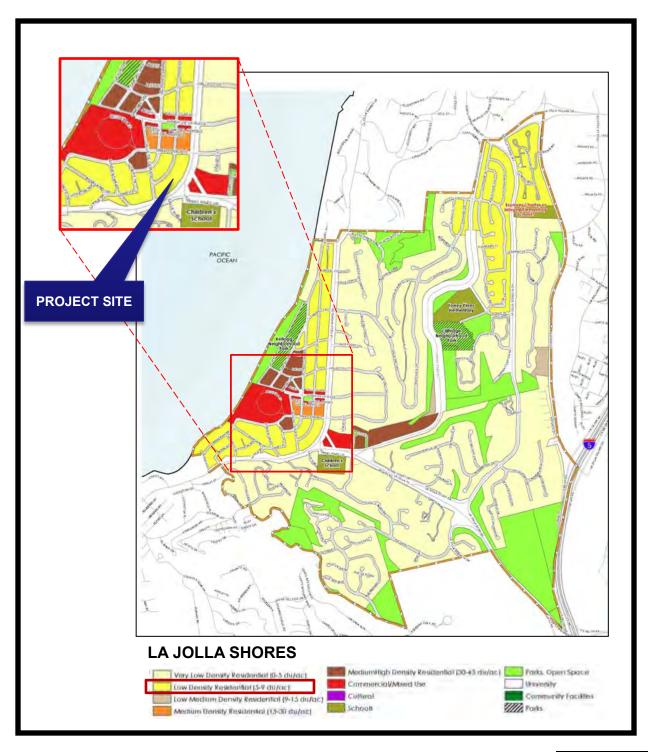




Project Location

7951 Paseo Del Ocaso Project No. PRJ-1133046



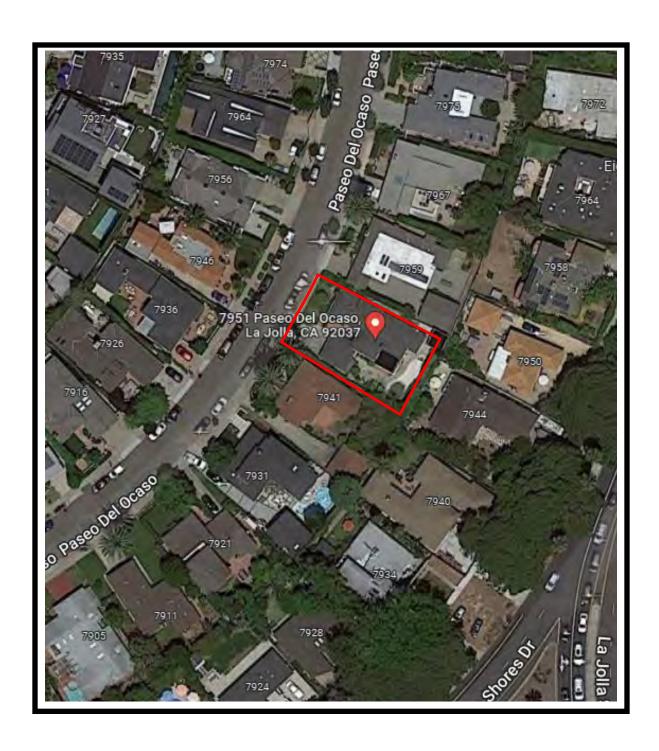




Community Plan Land Use Map

7951 Paseo Del Ocaso Project No. PRJ-1133046







Aerial Photo

7951 Paseo Del Ocaso Project No. PRJ-1133046



DOC# 2022-0435510

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501 Nov 14, 2022 11:31 AM
OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.,
SAN DIEGO COUNTY RECORDER
FEES: \$56.00 (SB2 Atkins: \$0.00)

PAGES: 15

INTERNAL ORDER NUMBER: 24008917

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2556832
SITE DEVELOPMENT PERMIT NO. 2559861

BAYLOR RESIDENCE PROJECT NO. 691672 [MMRP]

HEARING OFFICER

This Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861 are granted by the Hearing Officer of the City of San Diego to DAVID BAYLOR and THERESA HELMER, Trustees of the Helmer-Baylor Revocable Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502 and 126.0702. The 0.17-acre site is located at 7951 Paseo Del Ocaso and is in the La Jolla Shores Planned District Single Family Zone, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Coastal and Beach Parking Impact Overlay Zone, Transit Area Overlay Zone and Transit Priority Area within the La Jolla Community Plan Area. The project site is legally described as: Lot 5 in Block 4 of La Jolla Shores Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No.1913, filed in the Office of The County Recorder of San Diego County, June 3, 1926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing one-story single-family residence and construct a new two-story, single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 5, 2022, on file in the Development Services Department.

The project shall include:

- Demolition of an existing one-story, 1,799-square-foot single-family residence, detached garage, pool, and shed and construction of a new two-story, 3,503-square-foot, singlefamily residence with roof access, attached two-car garage, and associated site improvements; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

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ORIGINAL

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 19, 2025.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - The Owner/Permittee signs and returns the Permit to the Development Services
 Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
- 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required



to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

- 11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
- 12. The mitigation measures specified in the MMRP and outlined in **MITIGATED NEGATIVE DECLARATION NO. 691672**, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
- 13. The owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 691672, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for potentially significant impacts for the following issue areas: Cultural Resources (Archaeology), Tribal Cultural Resources.



CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

- 15. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrains, walkway, brick pavers, landscape and irrigation within Paseo Del Ocaso Street right-of-way, satisfactory to the City Engineer.
- 16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with a current City Standard curb and gutter, adjacent to the site on Paseo Del Ocaso, satisfactory to the City Engineer.
- 17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of damaged sidewalk with a current City Standard sidewalk, adjacent to the site on Paseo Del Ocaso, satisfactory to the City Engineer.
- 18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of 12-foot-wide City Standard concrete driveway, adjacent to the site on Paseo Del Ocaso, satisfactory to the City Engineer.
- 19. Prior to the issuance of any construction permits the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

- 20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A," on file in the Development Services Department.
- 21. Prior to the issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents for right-of-way improvements. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.



- 22. Prior to the issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape and irrigation construction documents. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)6.
- 23. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area".
- 24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- 25. Prior to the issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the Community Plan, and the Land Development Manual Landscape Standards.
- 26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

- 27. Exterior wall materials for the project shall be limited to wood siding, wood shingles, adobe and concrete blocks, brick, stucco, concrete or natural stone, in conformance with the design requirements of the La Jolla Shores Planned District Ordinance SDMC Section 1501.0301(c)(2).
- 28. Owner/Permittee shall always maintain the number of off-street parking spaces on the property in the approximate locations, as shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
- 29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.



30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

- 31. Prior to the issuance of any construction permits, the Owner/Permittee shall have constructed, or ensured the construction of by permit and bond all proposed public and private water and sewer facilities within the public right-of-way, and/or public easement, in accordance with Exhibit "A" and the criteria established in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and all applicable City regulations, standards and practices.
- 32. Prior to issuance of any Certificate of Occupancy, all domestic, irrigation, and fire water service lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD), or the Design Engineer must include the following note on the Site Plan: THIS SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PROJECT WILL HAVE A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE WHICH UTILIZES A PASSIVE PURGE STYLE OF DESIGN AND IS THEREFORE EXEMPT FROM THE REQUIREMENT FOR A BACKFLOW PREVENTION DEVICE.
- 33. Prior to any construction permits being issued, any existing sewer lateral to be reused must be videoed and inspected by a California licensed plumber to verify (via a signed statement on company letterhead) all of the following: the lateral has an appropriate cleanout, is in good condition, is free of all debris, is properly connected to a public sewer main, and is suitable for reuse. If the lateral does not meet these requirements, it must either be abandoned and capped at the property line, replaced with a new permitted lateral, or cleaned/repaired and re-inspected.
- 34. Prior to the issuance of any Certificate of Occupancy, any damages caused to the City of San Diego's public water and sewer facilities due to the activities associated with this project shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with SDMC Section 142.0607.
- 35. Prior to the issuance of any Certificate of Occupancy, any private improvements which lie within a public right-of-way fronting the development or within a public easement inside the development, which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities must be removed unless the Owner/Permittee has or obtains a City approved/County Recorded Encroachment and Maintenance Removal Agreement (EMRA) specific to that encroachment.

INFORMATION ONLY:

 The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.



- Any party on whom fees, dedications, reservations, or other exactions have been imposed as
 conditions of approval of this Permit, may protest the imposition within ninety days of the
 approval of this development permit by filing a written protest with the City Clerk pursuant to
 California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 5, 2022 and HO-7466.



AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Veronica Davison

Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

HELMER-BAYLOR REVOCABLE TRUST

Owner/Permittee

Theresa Helmer

TRUSTEE

HELMER-BAYLOR REVOCABLE TRUST

Owner/Permittee

David Baylor

TRUSTEE

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



[tificate verifies only the identity of the individual who signed the document outhfulness, accuracy, or validity of that document.
State of California County of San Diego	Butilitiess, accuracy, or validity of that document.
OnNovember 10, 2022 before	me. Rocio Mejia, Notary Public
Date Date	Here Insert Name and Title of the Officer
personally appearedVeronica Daviso	on , Development Project Manager
personally appeared	Name(s) of Signer(s)
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ROCIO MEJIA Notary Public - California San Diego County Commission # 2401439 My Comm. Expires Apr 20, 2026	I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct. WITNESS my hand and official seal.
Place Notary Seal and/or Stamp Above	Signature of Notary Public
	— OPTIONAL —
	tion can deter alteration of the document or nt of this form to an unintended document.
Document Date: October 5, 2022	Number of Pages: 14
Signer(s) Other Than Named Above:	
Capacity(ies) Claimed by Signer(s) Signer's Name: Corporate Officer – Title(s): Partner – Limited General Individual Attorney in Fac	Signer's Name: □ Corporate Officer – Title(s): □ Partner – □ Limited □ General ct □ Individual □ Attorney in Fact
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erifies only the identity of the individual who signed the document as, accuracy, or validity of that document.
MENICHI IIM MOTHEL
MENICHU LIM, NOTARY Here Insert Name and Title of the Officer and THERESA HELIMER
and THERESA HELMER
Name(s) of Signer(s)
nat he/she/they executed the same in his/her/their nature(s) on the instrument the person(s), or the entity the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct. WITNESS my hand and official seal.
Signature of Notary Public
deter alteration of the document or form to an unintended document.
ITE DEVELOPMENT PERMIT
Number of Pages: 8
Signer's Name: Corporate Officer – Title(s): Partner – Limited General Individual Attorney in Fact Trustee Guardian or Conservator Other:

Signer is Representing: _

Signer is Representing: _

HEARING OFFICER RESOLUTION NO. HO-7466 COASTAL DEVELOPMENT PERMIT NO.2556832 SITE DEVELOPMENT PERMIT NO. 2559861 BAYLOR RESIDENCE - PROJECT NO. 691672 MMRP

WHEREAS, DAVID BAYLOR AND THERESA HELMER, Trustees of the Helmer-Baylor Revocable

Trust, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an
existing one-story, 1,799-square-foot single-family residence, detached garage, pool and shed and
construct a new two-story 3,503-square-foot, single-family residence with roof access, attached twocar garage, and associated site improvements (as described in and by reference to the approved
Exhibit "A" and corresponding conditions of approval for the associated Coastal Development
Permit No. 2556832 and Site Development Permit No. 2559861), on portions of a 0.17-acre site;

WHEREAS, the project site is located at 7951 Paseo Del Ocaso in the La Jolla Shores Planned District Single Family Zone (LJSPD-SF), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Coastal and Beach Parking Impact Overlay Zone, Transit Area Overlay Zone and Transit Priority Area within the La Jolla Community Plan Area;

WHEREAS, the project site is legally described as Lot 5 In Block 4 of La Jolla Shores Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1913, filed in the Office of the County Recorder of San Diego County, June 3, 1926.

WHEREAS, on October 5, 2022, the Hearing Officer of the City of San Diego considered

Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861 pursuant to
the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861:



A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0708]

- 1. Findings for all Coastal Development Permits:
 - a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is located approximately half a mile east of the Pacific Ocean and is not within the First Public Roadway. The Community Plan does not identify public views or coastal access from the project site. The project complies with the community goals to "conserve and enhance the natural amenities of the community such as views from identified vantage points" since the project was designed to be in general conformance with the bulk and scale and development patterns of the existing neighborhood and the requirements of the LJSPD-SF zone (SDMC Section 1510.0301 et seq.), including lot coverage below 0.60 (0.42), floor area ratio below 0.57 (0.56), density, setbacks and height (29 feet, 7 inches) that does not exceed the 30-foot height limit. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

 The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located within an urbanized area and does not contain any environmentally sensitive lands nor is it within or adjacent to the Multiple Species Conservation Program and Multi Habitat Planning Area. A Mitigated Negative Declaration has been prepared for the project that requires the implementation of a Mitigation, Monitoring, and Reporting Program to avoid or mitigate for potentially significant environmental effects to Cultural Resources (Archeology) and Tribal Resources. The project was also designed with permeable surfaces to reduce stormwater runoff, and drainage for the project complies with the City's drainage regulations and standards. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Staff also determined that the



placement of the proposed development fits into the established diverse theme of the neighborhood because the project was designed to be in general conformance with the development patterns and bulk and scale of the existing neighborhood per the LJSPD-SF Zone, including lot coverage below 0.60 (0.42), floor area ratio below 0.57 (0.56), density, setbacks and height (29 feet 7 inches) that does not exceed the 30-foot height limit. The building walls at the north and south side are proposed without openings facing the side property line while providing see-throughs to the ocean, thereby complying with SDMC Section 1510.0304(b)(2). The project also complies with the LJSPD-SF Zone through the extensive use of glass and use of patios, enclosed courtyard, and decks to facilitate the "inside-outside" orientation of life in Southern California.

The La Jolla Community Plan (LJCP) designates the project for low density (5-9 dwelling units per acre) residential uses, and the project complies. The Community Plan also contains the following goals related to the project:

- The character of La Jolla's residential areas shall be maintained by ensuring the
 preservation of existing streetscape themes and allowing a harmonious visual
 relationship to exist between the bulk and scale of new and older structures.
 (LJCP) Page 76, 2(a).
- 2. In order to promote transitions in scale between new and older structures to "create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. (LJCP) Page 76, 2(c).

The project complies with these Community Plan goals by providing a design that incorporates changes in building material, proportioned fenestration, and roofline variation. The project also includes exterior wall materials consisting of wood siding, concrete, stucco, white and natural earth colors that are complementary to the character of the surrounding neighborhood. The project will also observe setbacks to all property lines consistent with other properties within the neighborhood, thereby providing an appropriate and harmonious transition between old and new development.

The project site is located approximately half a mile east of the Pacific Ocean and is not within the First Public Roadway. There is no public view or coastal access from the project site, as identified in the Community Plan. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.



d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located approximately half a mile east of the Pacific Ocean and is not within the First Public Roadway. Therefore, this finding does not apply.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

- 1. Findings for all Site Development Permits:
 - a. The proposed development will not adversely affect the applicable land use plan.

As set forth in Findings A.1.a and A.1.c above which are herein incorporated by reference, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. The proposed development will therefore not adversely affect the applicable land use plan.

 The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is located within an urbanized area and does not contain any environmentally sensitive lands nor is it within or adjacent to the Multiple Species Conservation Program and Multi Habitat Planning Area. A Mitigated Negative Declaration has been prepared for the project that requires the implementation of a Mitigation, Monitoring, and Reporting Program to avoid or mitigate for potentially significant environmental effects to Cultural Resources (Archaeology) and Tribal Resources. The project was also designed with permeable surfaces to reduce stormwater runoff and drainage for the project complies with the City's drainage regulations and standards.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include obtaining an Encroachment Maintenance Removal Agreement for private improvements within the public right-of-way; the replacement of damaged curb and sidewalk per current City Standards; submittal of a Water Pollution Control Plan (WPCP); maintenance and repair of all landscape improvements; and construction of all proposed public and private water and sewer facilities within the public right-of-way, in accordance with all applicable City regulations and standards. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.



c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As set forth in Finding A.1.c above, which is herein incorporated by reference, the proposed development complies with the regulations of the Land Development

Code. No deviations are requested or required.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the HEARING OFFICER, Coastal Development Permit No. 2556832 and Site Development Permit No. 2559891 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2556832 and Site Development Permit No. 2559891, a copy of which is attached hereto and made a part hereof.

Veronica Davison

Development Project Manager

Development Services

Adopted on: October 5, 2022

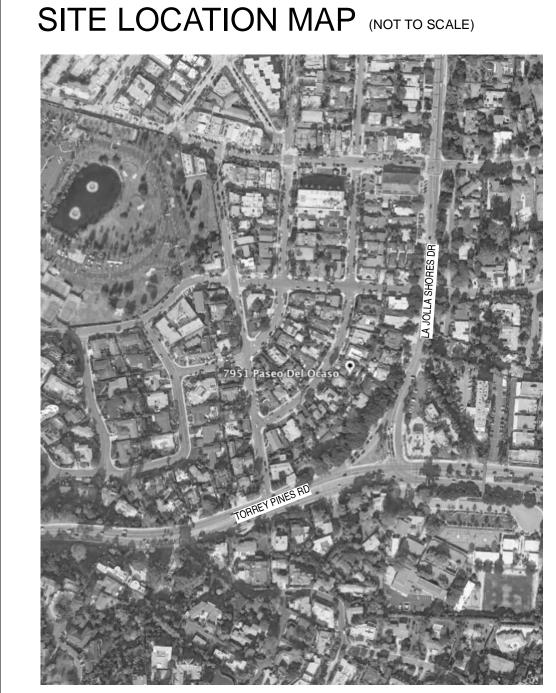
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ABBREVIATIONS AND MASONRY MATL MAX MATERIAL MAXIMUM NUMBER MED CAB MEDICINE CABINET MECH MECHANICAL MEMB MEMBRANE MFR MANUFACTURE AIR CONDITIONING ACOUSTIC CEILING TILE MANUFACTURER ADJ AFF ALT MIN MIR MISC ADJUSTABLE MINIMUM ABOVE FINISH FLOOR MIRROR ALTERNATE MISCELLANEOUS ALUM ALUMINUM ANOD ANODIZED APPROX APPROXIMATE MTD MTL MOUNTED METAL NEW NORTH ARCH ARCHITECTURAL N NAT NIC NOM AVG AXON AVERAGE NATURAL AXONOMETRIC NOT IN CONTRACT NOMINAL BOARD NTS NOT TO SCALE BLDG BUILDING BLKG B.O. BP **BLOCKING** OC OD OPHD OPER OPNG OPP OVHD ON CENTER **BOTTOM OF OUTSIDE DIAMETER** BUILDING PAPER OPPOSITE HAND BSMT BUR BYD BASEMENT OPERABLE **BUILT-UP ROOFING** OPENING BEYOND **OPPOSITE** OVERHEAD CABINET CAB CEM CER CHAN CIP CL CLR CLG CLOS CMU COL CONC CEMENT PERFORATED CERAMIC PLATE OR PROPERTY LINE CHANNEL PLASTIC LAMINATE CAST-IN-PLACE PLAS PLASTER PLYWD PLYWOOD CENTERLINE CLEAR PANEL CEILING CLOSET CONCRETE MASONRY UNIT PROPERTY PT PTD POINT PAINTED COLUMN CONCRETE CONTINUOUS RISER COORD CORR CPT CS CT RESILIENT BASE CORRIDOR, CORRUGATED REFERENCE COORDINATE REFLECTING CARPET COUNTER SUNK REFR REFRIGERATOR REINF REQD RETG REINFORCED CERAMIC TILE REQUIRED RETAINING DEPT DET DEPARTMENT REVISION/REVISED RADIANT HEAT MANIFOLD DOUGLAS FIR RM RO RWL ROOM DG DIA DIM DR DN DS DECOMPOSED GRANITE ROUGH OPENING DIAMETER RAIN WATER LEADER **DIMENSION** SELF-ADHERED FLASHING DOWNSPOUT SOLID CORE DW DWG SC SOLID CORE SCWD SOLID CORE SCHED SCHEDULE SECT SECTION SED SEE ELECTR SHTG SHEATHING SIM SIMILAR SLDG SLIDING SLD SEE LANDSC SMD SEE MECHAN DISHWASHER SOLID CORE WOOD DRAWING EAST EXISTING SEE ELECTRICAL DRAWING EACH EL, ELEV ELEVATION ELEC ELECTRICAL SLIDING SEE LANDSCAPE DRAWING ENGR EQ EQPT **ENGINEER** SEE MECHANICAL DRAWING EQUAL SLAB ON GRADE EQUIPMENT SEE PLUMBING DRAWING EXPN EXT EXPANSION SPRINKLER **EXTERIOR** SPEAKER SPECIFICATION **FLOOR DRAIN** SEE STRUCTURAL DRAWING FOUNDATION STAINLESS STEEL FIRE EXTINGUISHER CABINET STANDARD FINISH FLOOR STL FINISH FLOOR FINISH(ED) FIXTURE FLOOR FACE OF FINISH FACE OF CONCRETE STEEL STOR STORAGE STRUC STRUCTURAL SUSP SUSPENDED SYM SYMMETRICAL FIXT FLR FOF FOC FP FT FIREPLACE FOOT, FEET FOOTING TO BE DETERMINED TELEPHONE TRANSPARENT FINISH FTG TFWD T&G TEMP T.O. TOC TOW TV TYP TRANSPARENT FINISH WOOD GALV GEN GL GWB GYP GALVANIZED TONGUE & GROOVE GENERAL GLASS GYPSUM WALL BOARD TOP OF TOP OF CONCRETE TOP OF WALL TELEVISION GYPSUM TYPICAL **HOLLOW CORE** HARDWOOD HDWD UNIFORM BUILDING CODE UNDER COUNTER UBC UC UNF UON UTIL **HOLLOW METAL** HÖR HR HT HORIZONTAL UNLESS OTHERWISE NOTED UTILITY HOUR HEIGHT HOT WATER VAR VCT VERT VEST VIF VNR VARIES VINYL COMPOSITION TILE VERTICAL INSULATED GLASS UNIT VESTIBULE VERIFY IN FIELD INCH INSULATION, INSULATED INTERIOR INSUL INT VENEER WEST JAN WITH WC WD WATER CLOSET WOOD LAV LOC LTG LTWT LVL LAVORATORY WASHER/DRYER LOCATION WDW WH W/O WO WP WINDOW LIGHTING WATER HEATER LIGHTWEIGHT WITHOUT

LEVEL

WHERE OCCURS WATERPROOF



FLOOR AREAS

Proposed Floor Area (SQFT)

PROJECT DATA

Address: 7951 Paseo Del Ocaso La Jolla, CA 92037

Zoning: LJSPD-SF (La Jolla Shores Planned District)
Height & Bulk: 30' max height
Type of Construction: V-B (non-rated) Scope of Work: New 2 story building Existing Occupancy: R-3
Existing Use: Single Family Dwelling Proposed Occupancy: R-3
Proposed Use: Single Family Dwelling

PROJECT DESCRIPTION:

THE REMOVAL OF AN EXISTING SINGLE STORY RESIDENCE, GARAGE, POOL, SITEWORK AND SHED.

CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ROOF ACCESS, AND ATTACHED 2-CAR GARAGE. LANDSCAPING OF EXISTING YARD, CONSTRUCTION OF NEW POOL, SPA AND PERIMETER FENCE.

LOT SIZE: 7,489 SF (0.172 ACRES)

PROPOSED FAR:

3,503 CONDITIONED AREA /7,489 SF LOT = 0.47 FAR 4,178 TOTAL SF (incl. Garage) / 7,489 SF LOT = 0.56 FAR

LEGAL DESCRIPTION:

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

DIRECTORY

Owner:
David Baylor and Terry Helmer 10 Sylvan Lane Ross, CA 94957

Architect: Aidlin Darling Design Contact: Chris DeHenzel 500 Third Street, Suite 410 San Francisco, CA 94107 T 415-694-1662 Email: cdh@aidlin-darling-design.com

Surveyor/Civil Engineer: Coffey Engineering, Inc. Contact: Michael Rein 9666 Businesspark Avenue, Suite 210 San Diego, CA 92131-1646 T (858)831-0111 Ext. 208 Email: rein@coffeyengineering.com

Geotechnical Engineer: GEi (Geotechnical Exploration, Inc.) Contact: Adam Hespeler 7420 Trade Street San Diego, CA 92121 (858) 549-7222 Èmail: ahespeler@gei-sd.com

Landscape Architect: Leslie Ryan / Aerea Studio T: (619) 200-8297 Email: leslie@aerea-studio.com

Permit Consultant: Chandra Slaven T: 619-316-7645 chandraslaven@gmail.com

SHEET INDEX

<u>TITLE</u>

A0.1 Project Information A0.2 Finish Legend

SURVEY

C.0 Site Survey C.01 Topographic Survey 300' Boundary C.02 Topographic Survey Setback Analysis

<u>CIVIL</u>

C.1 Grading and Drainage Plan

ARCHITECTURAL

A1.0 Demo Plan

A2.0 Site Plan A2.1 Ground Floor Plan A2.2 Second Floor Plan A2.3 Mid Roof Plan

A2.4 High Roof Plan

A5.1 Building Elevations A5.2 Building Elevations A5.3 Building Sections A5.4 Building Sections

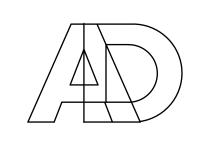
A5.5 Building Sections

A5.6 Building Sections

A6.1 Wall Sections

LANDSCAPE

- L1.0 Planting Plan and Legend
- L1.1 Planting Notes L2.0 Hardscape Plan and Finish Legend
- L2.1 Hardscape Details L3.0 Irrigation Notes and Hydrozones



aidlin darling **design**

500 third street suite 410 san francisco, ca 94107

415 974 0849 **fax** 415 974 5603 phone

APPROVED EXHIBIT "A"



BAYLOR RESIDENCE

7951 PASEO DEL OCASO

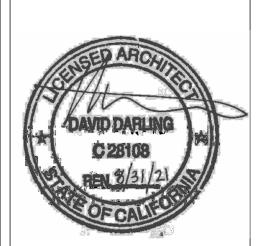
LA JOLLA, CA

DATE: 05.19.22 JOB: 1909

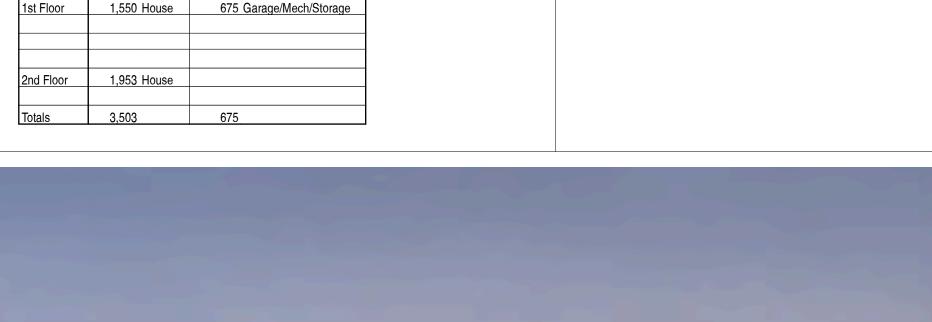
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SCALE: AS NOTED

SCALE: AS NOTED	
ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022
CSTL DEV PERMIT REV.2	03.07.2022
CSTL DEV PERMIT REV.3	05.19.2022
	ISSUE COASTAL DEV PERMIT COASTAL DEV PERMIT CSTL DEV PERMIT REV.2









A0.1 **PROJECT INFORMATION**

ARCHITECTURAL FINISH LEGEND

MARK	MATERIAL	FINISH
CONC-1	CONCRETE WALLS	BOARD FORMED CAST IN PLACE
CONC-2	CONCRETE FLOORS	INTERIOR EXPOSED STRUCTURAL CONCRETE SLAB
CONC-3	CONCRETE SLAB	EXTERIOR EXPOSED STRUCTURAL CONCRETE SLAB
CONC-4	CONCRETE SLAB	NOT USED
CONC-5	CONCRETE PAVERS AND STEPS	CAST IN PLACE EXTERIOR CONCRETE
CPL-1	EXTERIOR CEMENT PLASTER	SMOOTH TROWELED; INTEGRAL COLOR
GL-1	EXTERIOR CLEAR GLASS	INSULATED GLAZING; LOW-E COATING; TEMPERED WHERE REQUIRED
MTL-1	STANDING SEAM ZINC	VM ZINC SINGLE LOCK STANDING SEAM PANELS, 1" SEAM HEIGHT, "PIGMENTO BROWN" FINISH
MTL-2	AESS PAINTED STEEL	ARCHITECTURAL EXPOSED STRUCTURAL STEEL, AESS 3 UON; GALVANIZE AND PRIME AT EXTERIOR
MTL-3	PAINTED ORNAMENTAL STEEL	HOT ROLLED, GRADES SUITABLE FOR STUCTURAL LOADING; GALVANIZE AND PRIME AT EXTERIOR LOCATIONS
MTL-4	PAINTED SHEET METAL	COLD ROLLED GALVANIZED METAL FLASHING, PAINTED
MTL-5	COR-TEN PLATE	LANDSCAPE RETAINING EDGING; SLD
WD-1	EXTERIOR WOOD GARAGE DOOR CLADDING	NUSKU TERRATEK THERMALLY MODIFED CEDAR; 3/4" X 5" CONT HORIZONTAL BOARDS; CONCEALED FASTENERS
WD-2	EXTERIOR WALL AND CEILING CLADDING	WESTERN RED CEDAR 3/4" X 3" T&G BOARD; VERT GRAIN, S4S W/ TRANSPARENT SEALER
WD-3	EXTERIOR DECKING	NUSKU THERMACOR THERMALLY MODIFIED LUMBER; 6" W BOARDS TYP
WD-4	EXTERIOR WOOD CLADDING	WESTERN RED CEDAR 3/4" X 3" T&G VERT BOARDS; STAINED FINISH; CONCEALED FASTENERS
WD-5	WOOD FENCES AND GATES	NUSKU THERMACOR THERMALLY MODIFIED LUMBER; 3" W BOARDS TYP

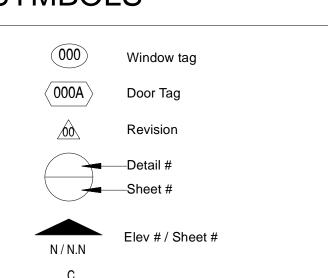
GENERAL MATERIAL FINISH NOTES

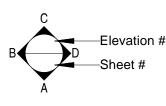
1. PRODUCTS TO COMPLY WITH EMISSIONS LIMIT REQUIREMENTS OF CAL GREEN 4.504.2.1-5, 5.504.4.1-6 FOR ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS INCLUDING CUSHIONS AND ADHESIVES, RESILIENT FLOORING (80% OF AREA), AND COMPOSITE WOOD PRODUCTS

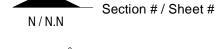
2. WALL AND FLOOR WOOD FRAMING MUST HAVE <19% MOISTURE CONTENT BEFORE ENCLOSURE

APPROVED EXHIBIT "A" PROJECT NO. 691672 APPROVAL NO(S). CDP-2556832; SDP-2559861 APPROVED BY: Veronica Davison ON: October 5, 2022 DEVELOPMENT SERVICES DEPARTMENT DATE: 11/10/2022 By: Development Project Manager

SYMBOLS





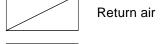


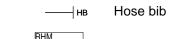


S) Fan

© Ceiling mounted smoke detector

Fire sprinkler





Radiant Heat Manifold

Wall washer

Surface mounted fixture

Thermostat

Recessed Downlight, halo or equal

-P- Pendant fixture

- Wall mounted fixture

Under counter light

Flourescent lighting

J Ceiling junction boxJ⊢ Wall mounted junction box

Wall mounted telephone/CAT-5/video

Wall mounted telephone

□ Cable television jack

Wall mounted duplex

Switched outlet

Dedicated duplex outlet

GFI

GFI-protected duplex outlet

Exterior waterproof outlet

Quadplex outlet

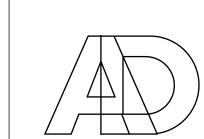
Floor outlet

Lightswitch

△ Dimmer

ූ 3-way

Lightswitch (Elevation)



aidlin darling **design**

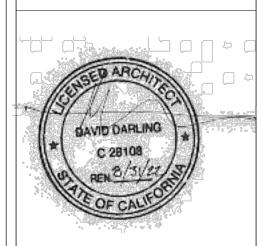
500 third street suite 410 san francisco, ca 94107 415 974 0849 **fax** 415 974 5603 **phone**

BAYLOR RESIDENCE

7951 PASEO DEL OCASO LA JOLLA, CA

DATE:	05.19.2022			
JOB:	1909			
DRAWN:	MP			
SCALE:	AS NOTED			
ISSUE		DATE		
COASTAL I	DEV PERMIT	05.07.2021		
CSTL DEV	CSTL DEV PERMIT REV.1			
CSTL DEV	CSTL DEV PERMIT REV.2			
CSTL DEV	CSTL DEV PERMIT REV.3			

PRELIMINARY ONLY NOT FOR CONSTRUCTION



A0.2 FINISH LEGEND

Del Oc 92037

DRAWN BY: EM / DK

ORIGINAL 2/27/19

TOPOGRAPHIC

SURVEY PLAN

CHECKED BY: JC

REVISION 1

REVISION 2

REVISION 4

REVISION 5

IRRIGATION CONTROL VALVE PLANTER PAVEMENT SEWER CLEANOUT STREET LIGHT TOP OF WALL ELEVATION TYPICAL WATER METER

NOTES

ABBREVIATIONS

ICV PLTR PVMT

- 1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- 2. THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS. OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC
- 3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

DATE: 11/10/2022

<u>DESCRIPTION</u>

STREET CENTERLINE

EASEMENT LINE INDEX CONTOUR

SPOT ELEVATION

BUILDING FOOTPRINT

CHAIN LINK / WIRE FENCE

FREE STANDING WALL

OVERHEAD UTILITIES

RETAINING WALL

POWER POLE WATER SERVICE

SEWER LATERAL

BRUSHLINE

C; CONC

CC&R ELEV

TREE; PLANT; PALM

ASPHALTIC CONCRETE ASBESTOS CEMENT

CENTER LINE

CONCRETE

ELEVATION FLOW LINE GAS METER

BRICK GRADE AT BOTTOM OF WALL

CONDITIONS, COVENANTS & RESTRICTIONS

PCC CURB

BRICKS

PCC PAVING WOOD FENCE

PROPERTY LINE (RECORD)

PROPERTY LINE - OFFSITE

BENCHMARK

SEBP AT THE INTERSECTION OF PASEO DEL OCASO AND CALLE DE LA PLATA

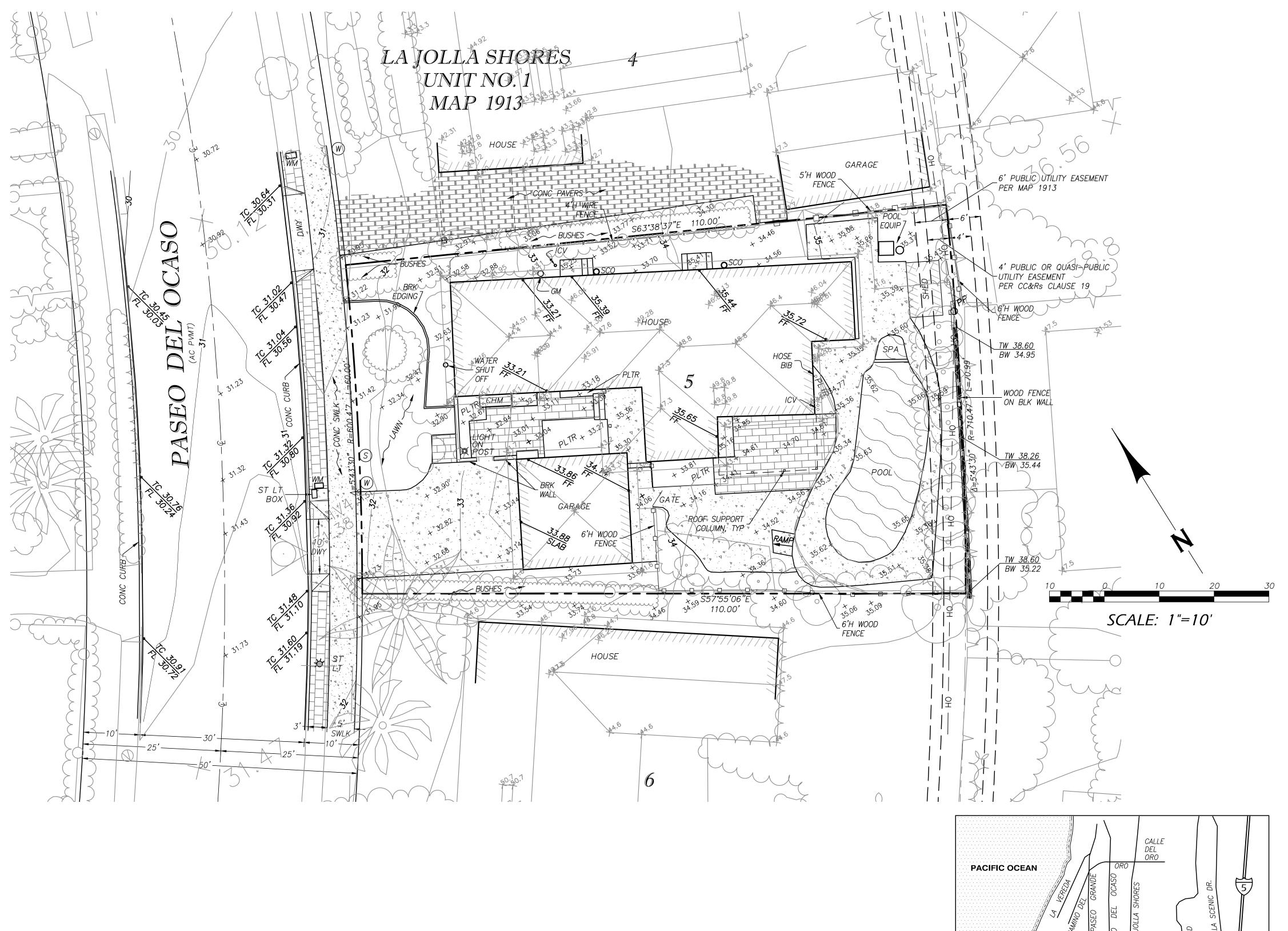
ELEV = 35.851 MSL, NGVD 29, CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, 2011

REVISION 3

<u>WARNING</u> 0 1/2

SCALE ACCORDINGLY

SCALE: 1" = 10' r <u>1</u> of <u>1</u> SHT



VICINITY MAP

THOMAS BROS. MAP 1227-H4 NO SCALE

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, TITLE NO. 73718010234-PM, DATED NOVEMBER 15, 2018. SAID REPORT INDICATES AN EASEMENT PRESENT AFFECTING THE SUBJECT PROPERTY AS DESCRIBED IN THE CC&Rs CLAUSE 19 AND SHOWN ON THIS PLAN.

EASEMENTS

knew



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

ORIGINAL 3/11/20

REVISION 1

REVISION 2

REVISION 3

REVISION 3

REVISION 4

REVISION 5

TOPOGRAPHIC SURVEY 300' BOUNDARY

SCALE: 1" = 40'

APPROVED EXHIBIT "A"

APPROVED BY: Veronica Davison

ON: October 5, 2022

DATE: 11/10/2022

DEVELOPMENT SERVICES DEPARTMENT

APPROVAL NO(S). CDP-2556832; SDP-2559861

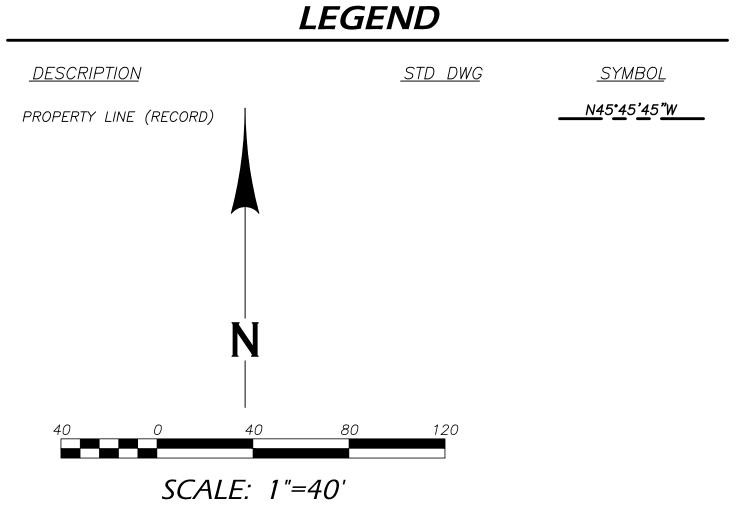
knew

C.0′

SHT ___1__ OF ___1__ SHTS

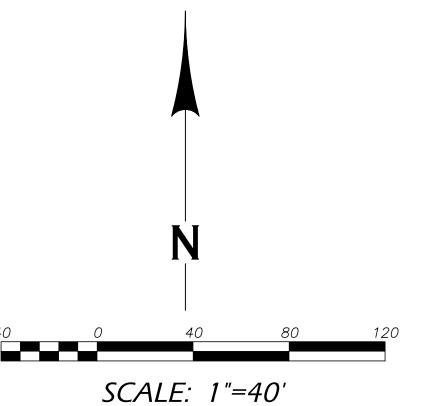


Asphalt Rd



300' Radius Parcel Information (La Jolla, CA 92037)

Site Address	Assessor's Parcel No.	Lot No.	Living Area (SF)	Assumed Garage Area (SF)	Total Floor Area (SF)	Lot Area (SF)	Lot Area (AC)	FAR Ratio
2105 Paseo Dorado	346-503-06-00	1	2,362	400	2,762	6,480	0.15	0.426
7935 El Paseo Grande	346-503-05-00	2	1,538	200	1,738	6,240	0.14	0.279
7927 El Paseo Grande	346-503-04-00	3	1,317	400	1,717	6,321	0.15	0.272
7921 El Paseo Grande	346-503-03-00	4	1,908	400	2,308	6,335	0.15	0.364
7911 El Paseo Grande	346-503-02-00	5	3,283	400	3,683	6,643	0.15	0.554
/ 7905 El Paseo Grande	346-503-01-00	6	2,751	400	3,151	9,639	0.22	0.327
< 2115 Paseo Dorado	346-503-07-00	16	2,277	400	2,677	5,232	0.12	0.512
7974 Paseo Del Ocaso	346-503-08-00	15	1,547	400	1,947	5,493	0.13	0.354
7964 Paseo Del Ocaso	346-503-09-00	14	1,451	400	1,851	5,395	0.12	0.343
7956 Paseo Del Ocaso	346-503-10-00	13	2,032	400	2,432	5,322	0.15	0.457
7946 Paseo Del Ocaso	346-503-11-00	12	1,714	0	1,714	5,264	0.12	0.326
7936 Paseo Del Ocaso	346-503-12-00	11	1,322	200	1,522	5,047	0.12	0.302
7926 Paseo Del Ocaso	346-503-13-00	10	1,905	400	2,305	5,098	0.12	0.452
7916 Paseo Del Ocaso	346-503-14-00	9	2,688	400	3,088	5,303	0.12	0.582
7906 Paseo Del Ocaso	346-503-15-00	8	1,298	400	1,698	4,984	0.11	0.341
7902 Paseo Del Ocaso	346-503-16-00	7	2,676	400	3,076	5,900	0.14	0.521
7985 Paseo Del Ocaso	346-512-11-00	1	1,680	400	2,080	8,175	0.19	0.254
7975 Paseo Del Ocaso	346-512-10-00	2	1,986	400	2,386	7,307	0.17	0.327
7967 Paseo Del Ocaso	346-512-09-00	3	1,971	400	2,371	7,419	0.17	0.320
7959 Paseo Del Ocaso	346-512-08-00	4	2,192	200	2,392	7,697	0.18	0.311
7941 Paseo Del Ocaso	346-512-06-00	6	1,515	400	1,915	7,646	0.18	0.250
7931 Paseo Del Ocaso	346-512-05-00	7	2,542	400	2,942	7,303	0.17	0.403
7921 Paseo Del Ocaso	346-512-04-00	8	2,258	200	2,458	7,399	0.17	0.332
7911 Paseo Del Ocaso	346-512-03-00	9	1,256	400	1,656	7,246	0.17	0.229
7905 Paseo Del Ocaso	346-512-02-00	10	1,856	400	2,256	7,293	0.17	0.309
2145 Paseo Dorado	346-512-12-00	24	1,901	400	2,301	7,605	0.17	0.303
7972 La Jolla Shores Dr	346-512-13-00	23	2,112	400	2,512	7,246	0.17	0.347
7964 La Jolla Shores Dr	346-512-14-00	22	2,470	400	2,870	7,201	0.17	0.399
7958 La Jolla Shores Dr	346-512-15-00	21	2,601	400	3,001	7,449	0.17	0.403
7950 La Jolla Shores Dr	346-512-16-00	20	1,169	200	1,369	6,960	0.16	0.197
7944 La Jolla Shores Dr	346-512-17-00	19	1,437	400	1,837	7,200	0.17	0.255
7940 La Jolla Shores Dr	346-512-18-00	18	2,673	400	3,073	7,204	0.17	0.427
7934 La Jolla Shores Dr	346-512-19-00	17	2,161	400	2,561	7,238	0.17	0.354
7928 La Jolla Shores Dr	346-512-20-00	16	1,631	0	1,631	7,505	0.17	0.217
7924 La Jolla Shores Dr	346-512-21-00	15	1,260	400	1,660	7,585	0.17	0.219
7920 La Jolla Shores Dr	346-512-22-00	14	1,943	200	2,143	7,745	0.18	0.277



<u>DESCRIPTION</u>

PROPERTY LINE (RECORD)

Site Address -	Assessor's Parcel No 🕶	Front Yard 🔹	Sideyard 1 🕝	Sideyard 2 🕶	Rear Yard 🝷
2105 Paseo Dorado	346-503-06-00	20'	6' (North)	6' (South)	3
7935 El Paseo Grande	346-503-05-00	16'	2' (North)	6' (South)	24
7927 El Paseo Grande	346-503-04-00	17'	1' (North)	1' (South)	6
7921 El Paseo Grande	346-503-03-00	25.2'	1' (North)	1' (South)	4
7911 El Paseo Grande	346-503-02-00	23.1'	1' (North)	9' (South)	8
7905 El Paseo Grande	346-503-01-00	20'	4' (North)	11.5' (South)	5
2115 Paseo Dorado	346-503-07-00	10.6'	5' (South)	6' (North)	7
7974 Paseo Del Ocaso	346-503-08-00	20.5'	7' (South)	3' (North)	26
7964 Paseo Del Ocaso	346-503-09-00	21.3'	11' (South)	2' (North)	3
7956 Paseo Del Ocaso	346-503-10-00	21.6'	6.5' (South)	2' (North)	17
7946 Paseo Del Ocaso	346-503-11-00	18.3'	1' (South)	8.5' (North)	8
7936 Paseo Del Ocaso	346-503-12-00	18.8'	9' (South)	1.5' (North)	1
7926 Paseo Del Ocaso	346-503-13-00	17.4'	6' (South)	3' (North)	1
7916 Paseo Del Ocaso	346-503-14-00	17.4'	9' (South)	3' (North)	3
7906 Paseo Del Ocaso	346-503-15-00	16.2'	8.5' (South)	6' (North)	32
7902 Paseo Del Ocaso	346-503-16-00	14.9'	4' (South)	13.1' (North)	1
7985 Paseo Del Ocaso	346-512-11-00	20.9'	19' (North)	6' (South)	5
7975 Paseo Del Ocaso	346-512-10-00	18.2'	5' (North)	5' (South)	20
7967 Paseo Del Ocaso	346-512-09-00	19'	3' (North)	5' (South)	20
7959 Paseo Del Ocaso	346-512-08-00	18.5'	6' (North)	3' (South)	3
7941 Paseo Del Ocaso	346-512-06-00	19'	3' (North)	3' (South)	3
7931 Paseo Del Ocaso	346-512-05-00	19'	6' (North)	4' (South)	5
7921 Paseo Del Ocaso	346-512-04-00	21.1'	6' (North)	7' (South)	4
7911 Paseo Del Ocaso	346-512-03-00	24'	5' (North)	13' (South)	7
7905 Paseo Del Ocaso	346-512-02-00	20.4'	5' (North)	9' (South)	17
2145 Paseo Dorado	346-512-12-00	12'	4' (South)	1.5' (North)	19
7972 La Jolla Shores Dr	346-512-13-00	12'	12' (South)	7' (North)	11
7964 La Jolla Shores Dr	346-512-14-00	15'	5' (South)	5' (North)	25
7958 La Jolla Shores Dr	346-512-15-00	18'	3' (South)	4' (North)	37
7950 La Jolla Shores Dr	346-512-16-00	25'	3' (South)	7' (North)	6
7944 La Jolla Shores Dr	346-512-17-00	23'	15' (South)	3' (North)	18
7940 La Jolla Shores Dr	346-512-18-00	16'	3' (South)	3' (South)	4
7934 La Jolla Shores Dr	346-512-19-00	30'	5' (South)	9' (North)	5
7928 La Jolla Shores Dr	346-512-20-00	33'	4' (South)	8' (North)	12
7924 La Jolla Shores Dr	346-512-21-00	31'	4' (South)	3' (North)	27
7920 La Jolla Shores Dr	346-512-22-00	30'	6' (South)	10' (North)	35

APPROVED EXHIBIT "A" PROJECT NO. 691672 APPROVAL NO(S). CDP-2556832; SDP-2559861 APPROVED BY: Veronica Davison ON: October 5, 2022
DATE: 11/10/2022 By: Development Project Manager



AYLOR RESIDENCE

DRAWN BY: EM/MR
CHECKED BY: JC

ORIGINAL 3/11/20
REVISION 1

REVISION 2
REVISION 3

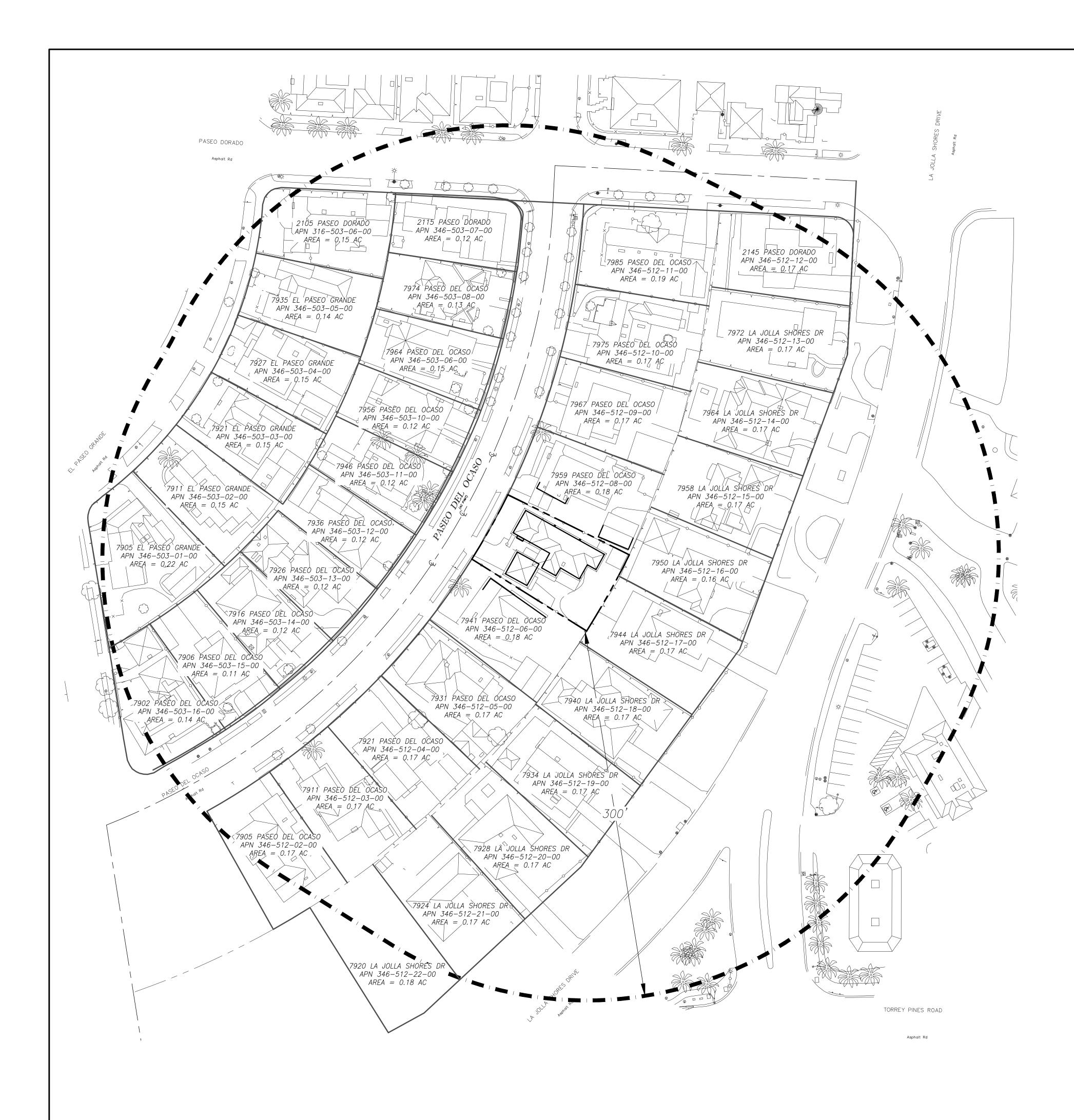
REVISION 4
REVISION 5

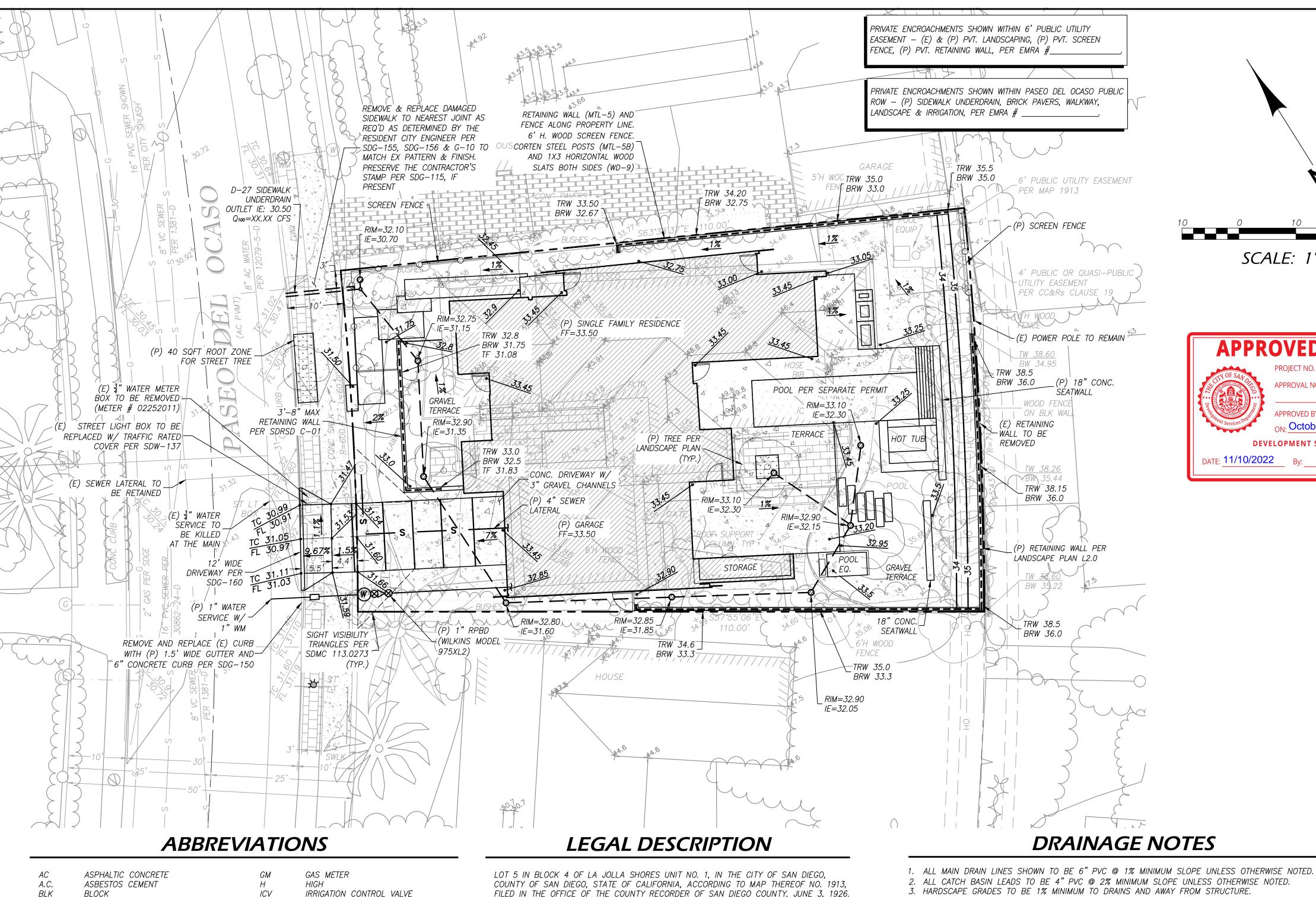
TOPOGRAPHIC SURVEY Setback Analysis

SCALE: 1" = 40'

C.02

SHT <u>1</u> OF <u>1</u> SHTS





SCALE: 1"=10"

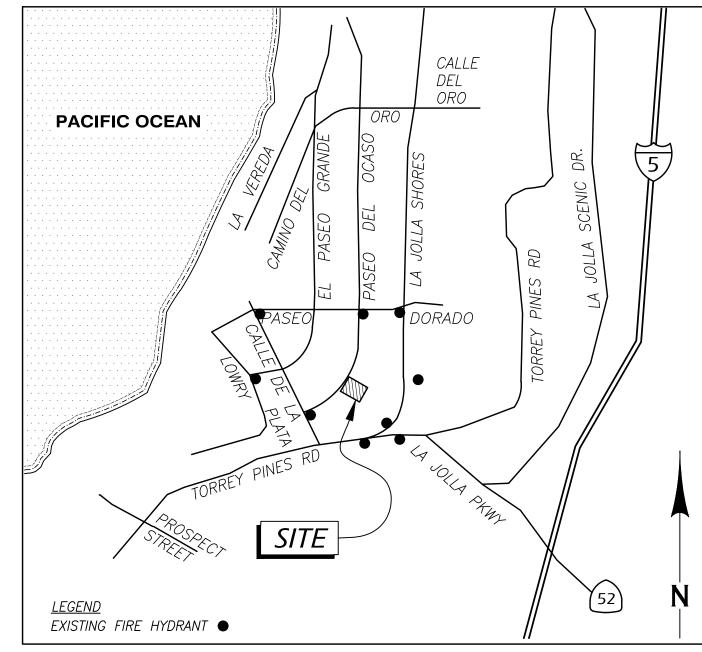
APPROVED EXHIBIT "A" APPROVAL NO(S). CDP-2556832; SDP-2559861 APPROVED BY: Veronica Davison October 5, 2022 **DEVELOPMENT SERVICES DEPARTMENT** knew DATE: 11/10/2022

LEGEND

DESCRIPTION <u>STD DWG</u> <u>SYMBOL</u> N45°45'45"W PROPERTY LINE (RECORD) PROPERTY LINE - OFFSITE STREET CENTERLINE EASEMENT LINE INDEX CONTOUR PCC CURB SPOT ELEVATION BUILDING FOOTPRINT BRICKS PCC PAVING WOOD FENCE _____ CHAIN LINK / WIRE FENCE FREE STANDING WALL RETAINING WALL OVERHEAD UTILITIES POWER POLE WATER SERVICE SEWER LATERAL

FIRE HYDRANT

1. FIRE HYDRANTS DEPICTED ON VICINITY MAP BELOW ARE LOCATED WITHIN 600' OF THE SUBJECT



VICINITY MAP

TREE; PLANT; PALM

BRUSHLINE

THOMAS BROS. MAP 1227-H4

1/7/2022

Ш

Z Ш

NO SCALE

CITY OF SAN DIEGO, CALIFORNIA COASTAL DEVELOPMENT PERMIT/SDP

BAYLOR RESIDENCE

7951 Paseo Del Ocaso La Jolla CA 92037

GRADING TABULATIONS

4. SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND

6. NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING

TRANSIT STOPS

5. SOIL COVER ABOVE DRAIN LINES SHALL BE 12" MINIMUM UNLESS OTHERWISE NOTED.

1. THERE ARE NO TRANSIT STOPS LOCATED ADJACENT TO THE SUBJECT PROPERTY.

2% MINIMUM AWAY FROM STRUCTURE.

TOTAL AMOUNT OF SITE TO BE GRADED: 7,200 S.F. AMOUNT OF CUT: 300 CUBIC YARDS **AMOUNT OF FILL: 20 CUBIC YARDS
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A MAXIMUM HEIGHT OF CUT SLOPE(S): 2

AMOUNT OF IMPORT / EXPORT SOIL: 280 CUBIC YARDS RETAINING/ CRIB WALLS: LENGTH 110 FEET

FEET

MAXIMUM DEPTH OF CUT: 2.5 FEET MAXIMUM DEPTH OF FILL: 1 FEET SLOPE RATIO: N/A SLOPE RATIO: 2:1

% OF TOTAL SITE: 100%

MAXIMUM HEIGHT: 3'(2' RET.) FEET

DRAINAGE PLAN GC, MK SHEET 1 OF

- BLKIRRIGATION CONTROL VALVE BLOCK BRK PLTRPLANTER BRICK GRADE AT BOTTOM OF WALL **PVMT** PAVEMENT SMH SEWER CLEANOUT CENTER LINE ST LT STREET LIGHT : CONC CONCRETE TOP OF WALL ELEVATION CONDITIONS, COVENANTS & RESTRICTIONS TYPICAL ELEV ELEVATION WATER METER FLOW LINE **NOTES**
- 1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
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- 3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.
- 4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

BENCHMARK

SEBP AT THE INTERSECTION OF PASEO DEL OCASO AND CALLE DE LA PLATA

ELEV = 35.851 MSL, NGVD 29, CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, 2011

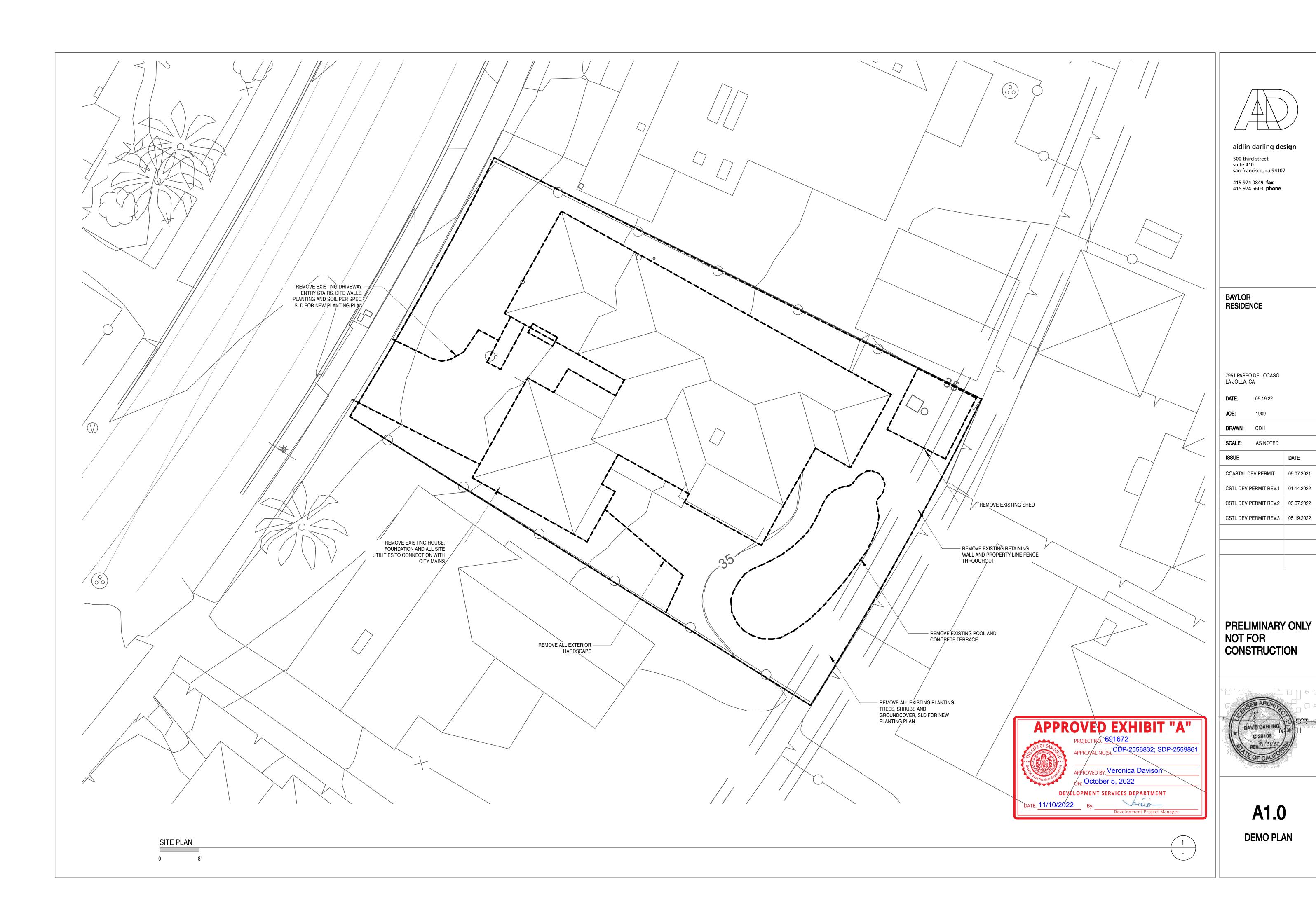
EASEMENTS

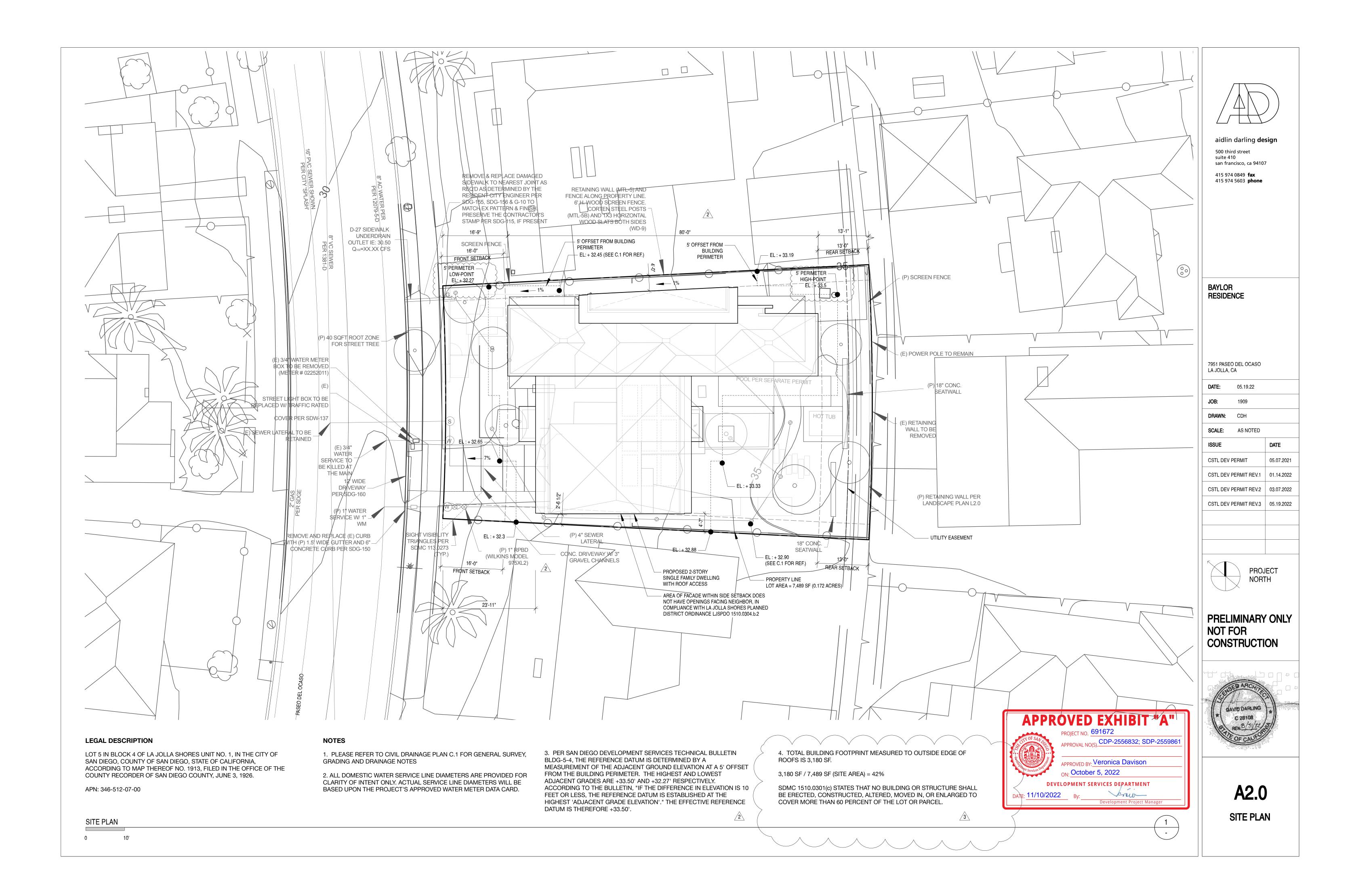
THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, TITLE NO. 73718010234-PM, DATED NOVEMBER 15, 2018, AND ARE DESCRIBED AS SUCH:

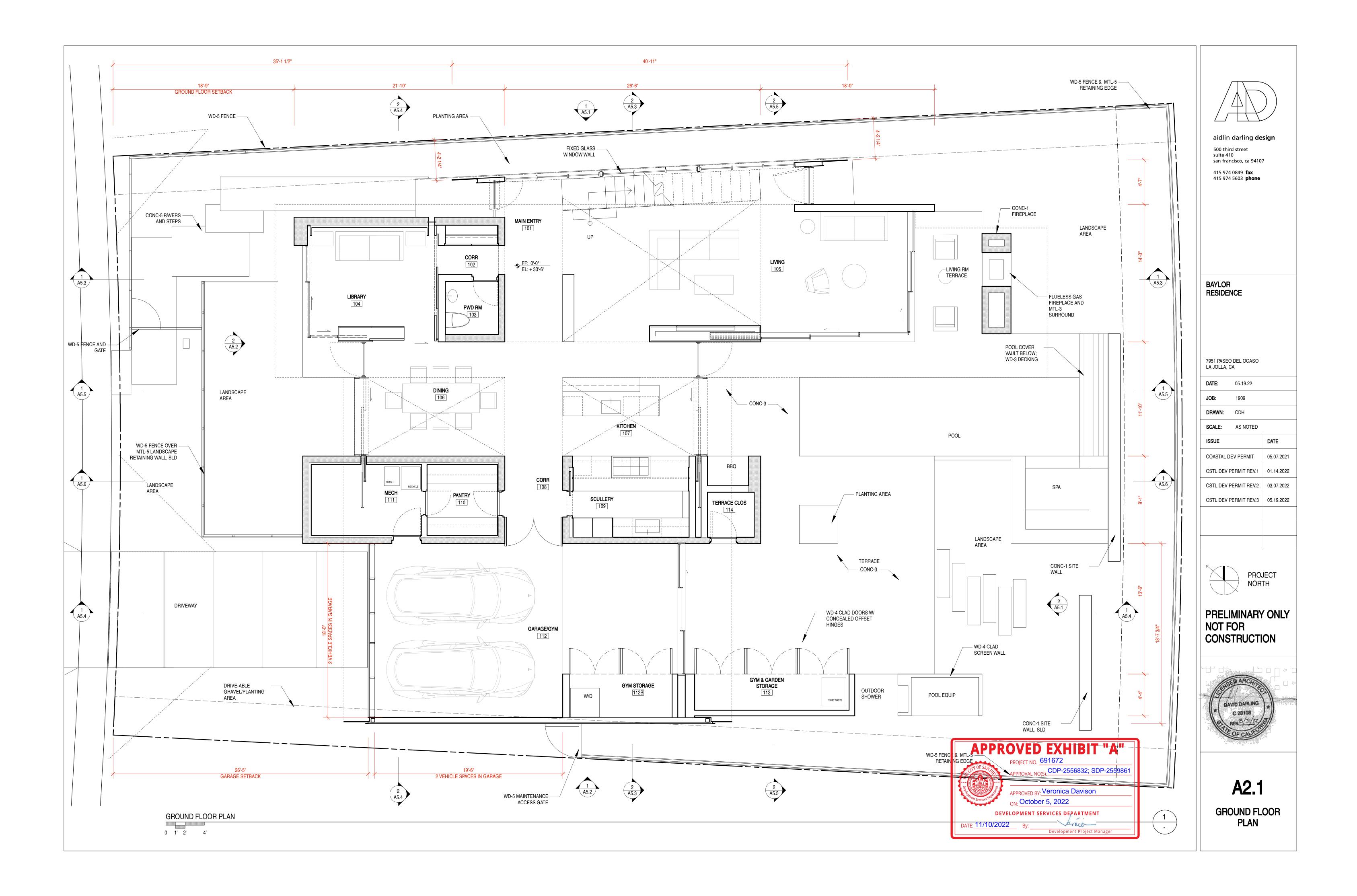
- 1. 6' WIDE UTILITY EASEMENT ALONG EASTERLY (REAR) PROPERTY LINE TO CITY OF SAN DIEGO FOR ALL PIPES, POLES, OR OTHER STRUCTURES, OR WORK, TREES, AND ANYTHING OF WHATEVER NATURE THAT MAY BE IN, UPON, ACROSS, OR OVER THE EASEMENT.
- 2. SAID REPORT INDICATES A 4' WIDE QUASI-UTILITY EASEMENT PRESENT AFFECTING THE SUBJECT PROPERTY AS DESCRIBED IN THE CC&Rs CLAUSE 19 AND SHOWN ON

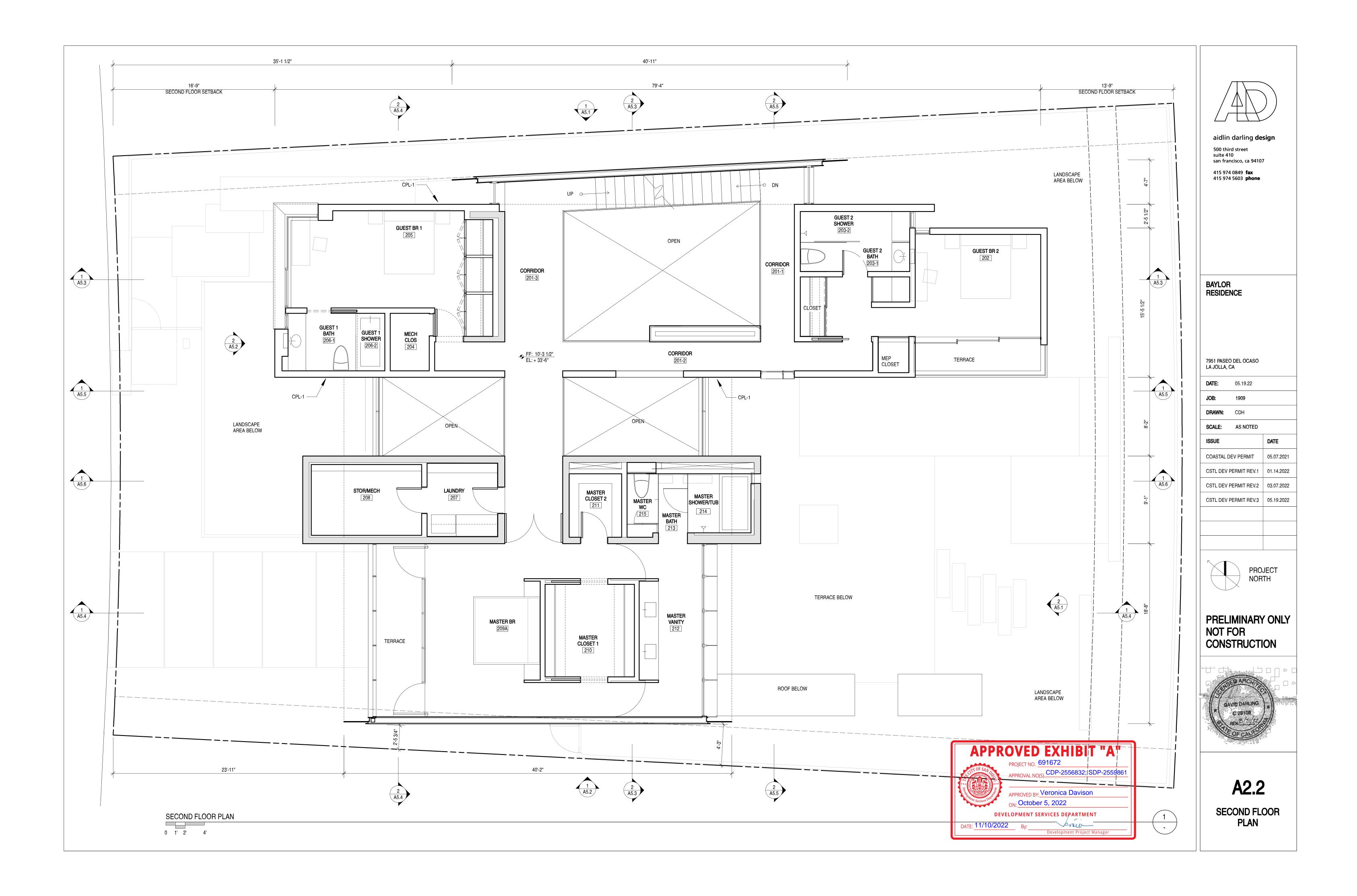
GRADING NOTES

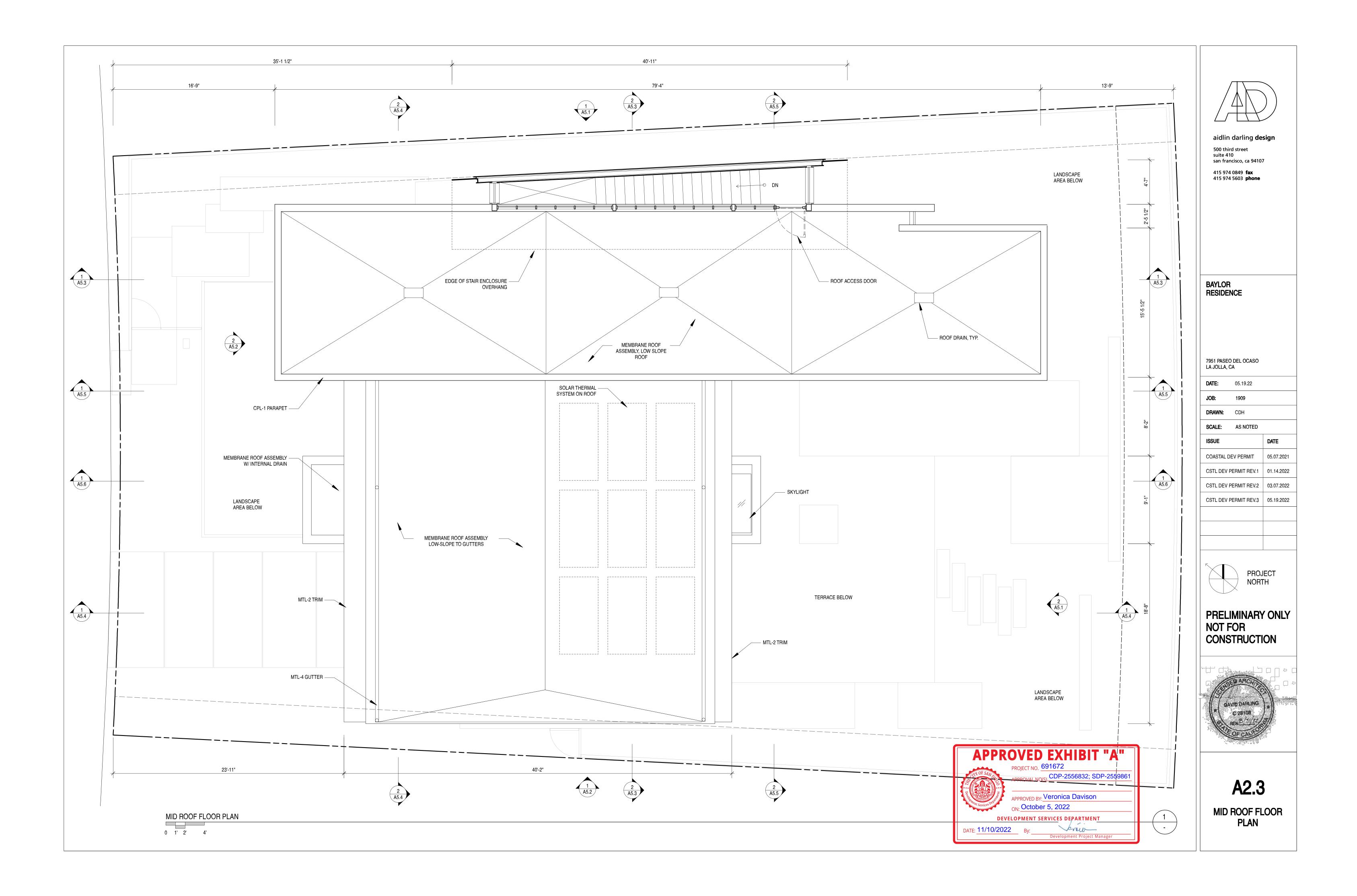
- 1. ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED TOWARD THE STREET.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF.

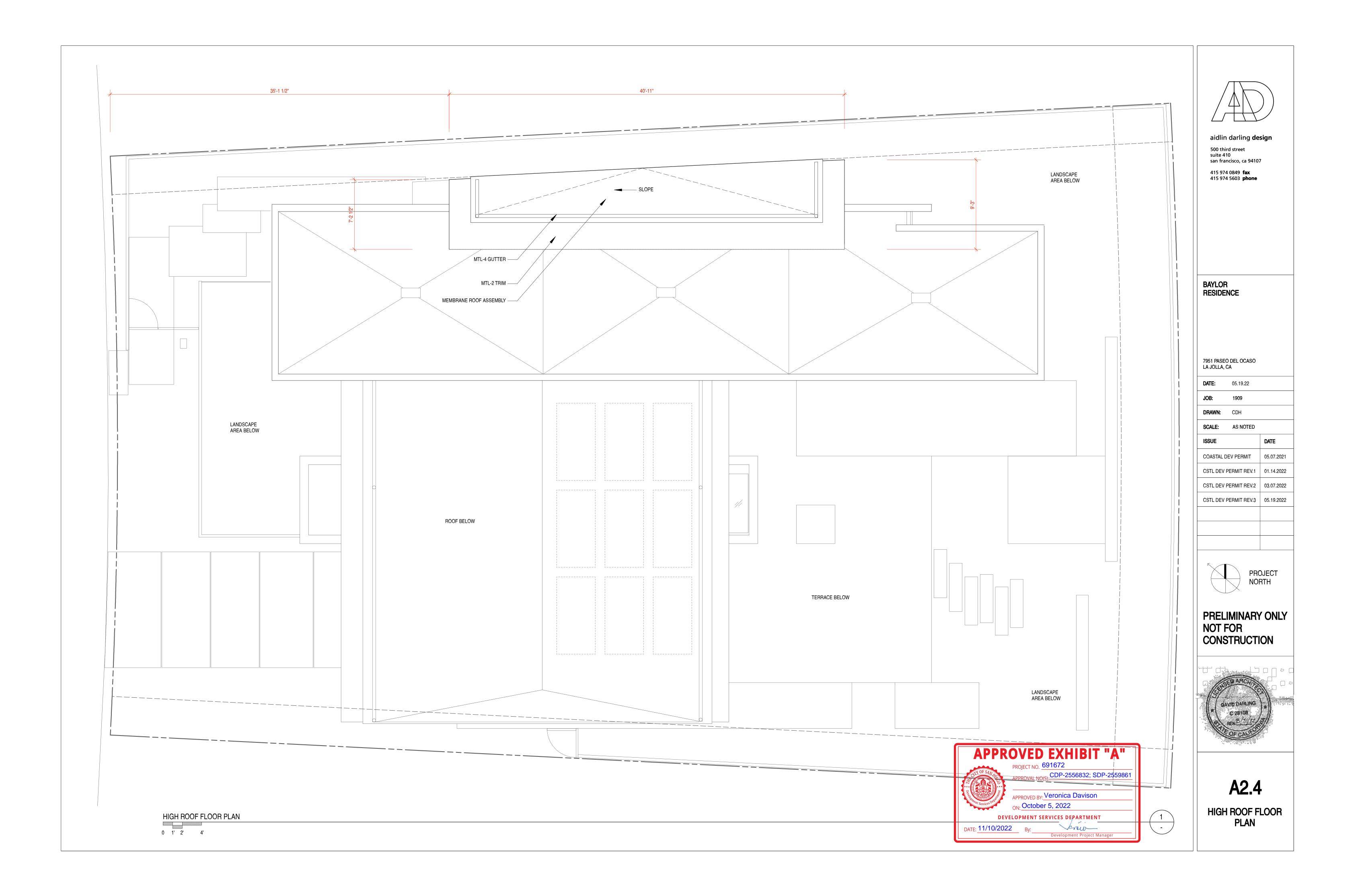


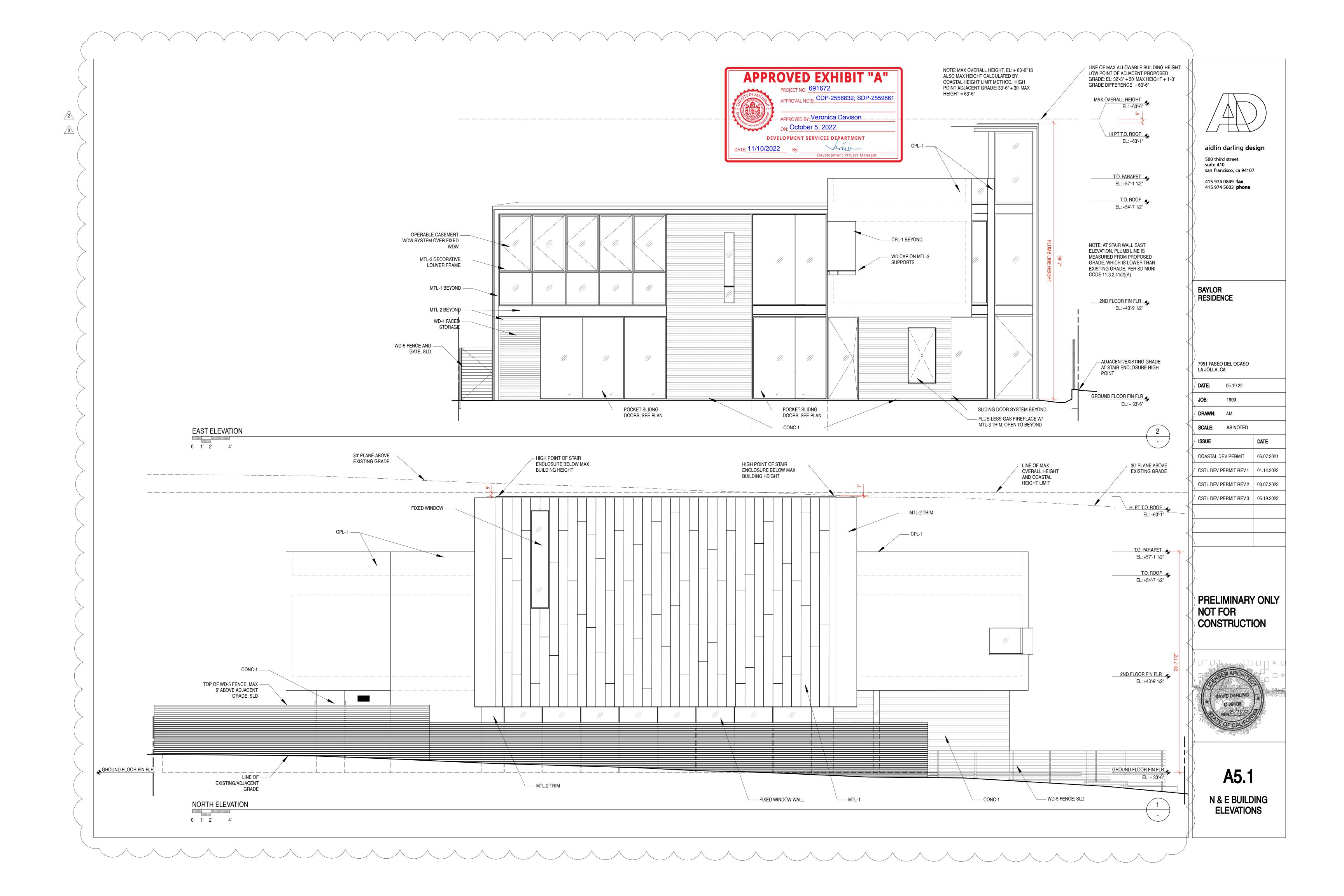


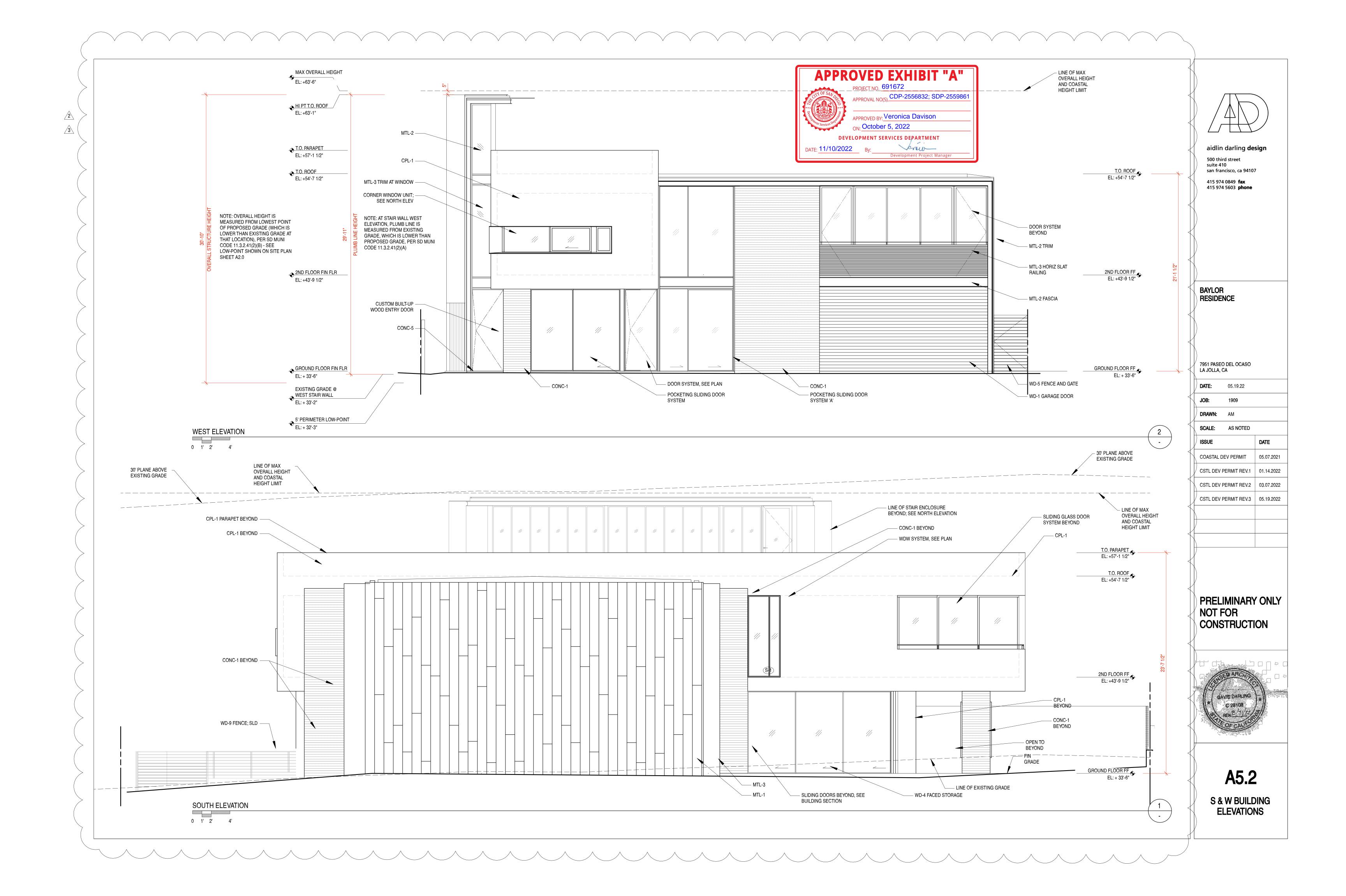


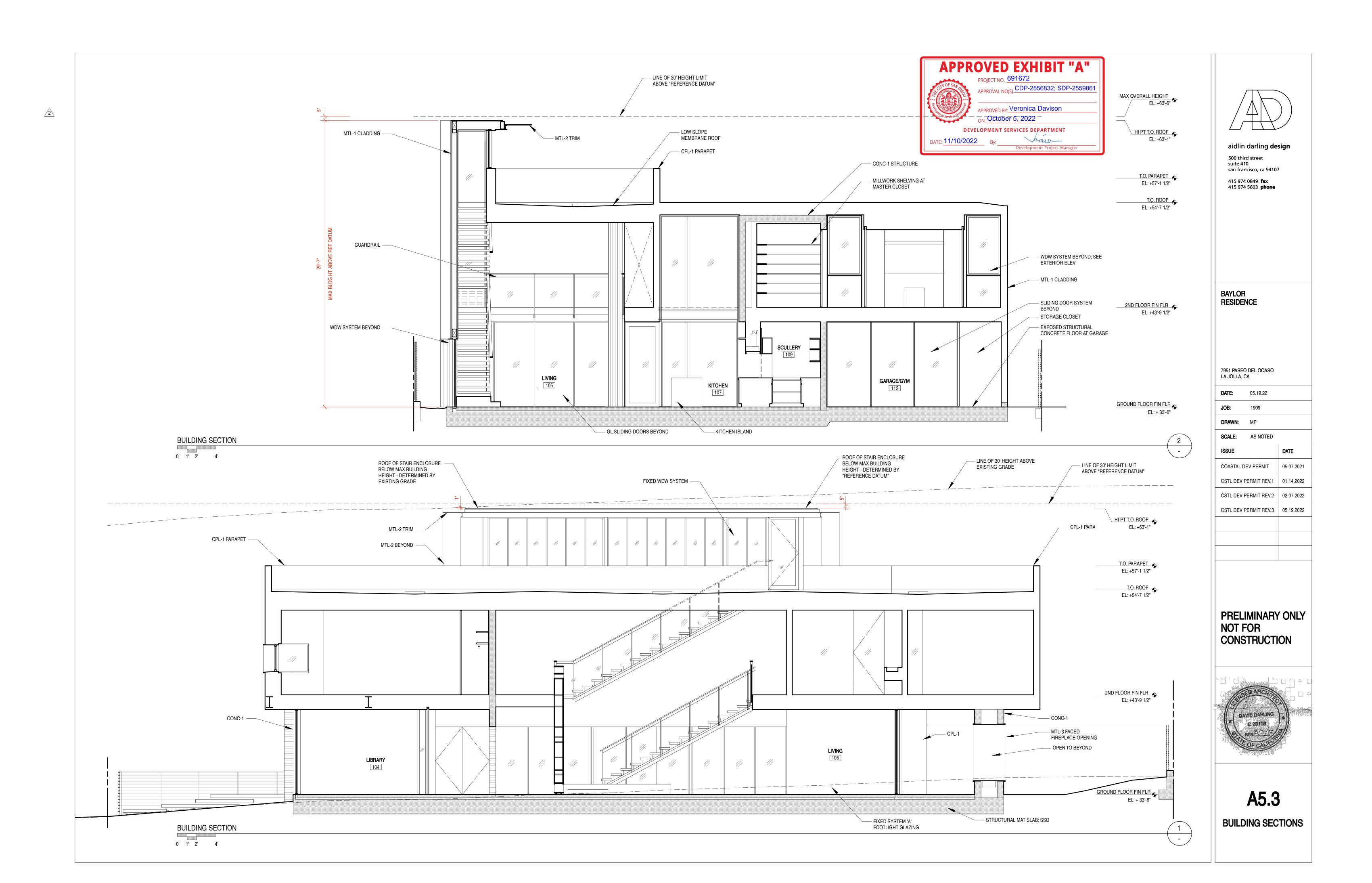


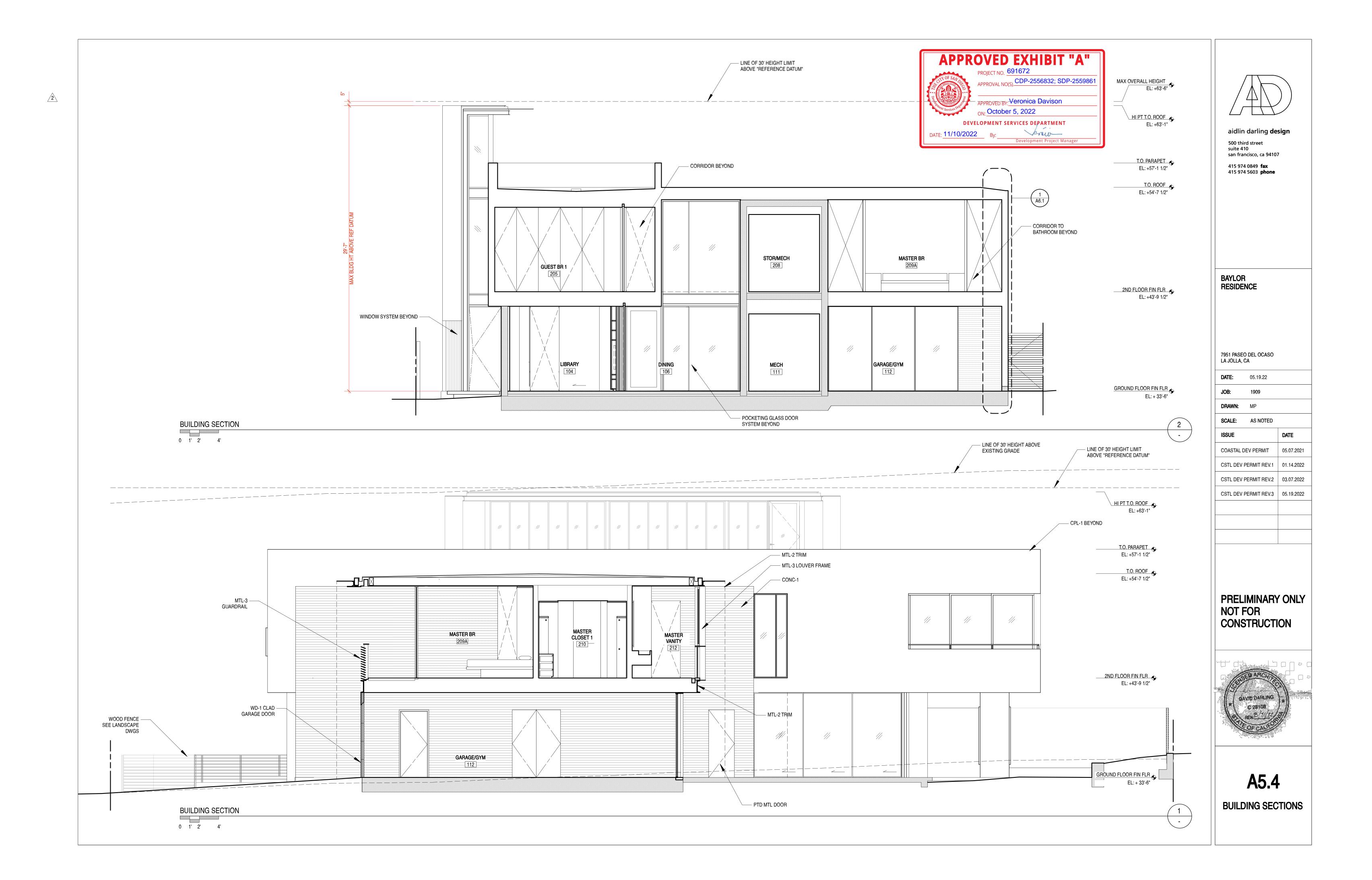




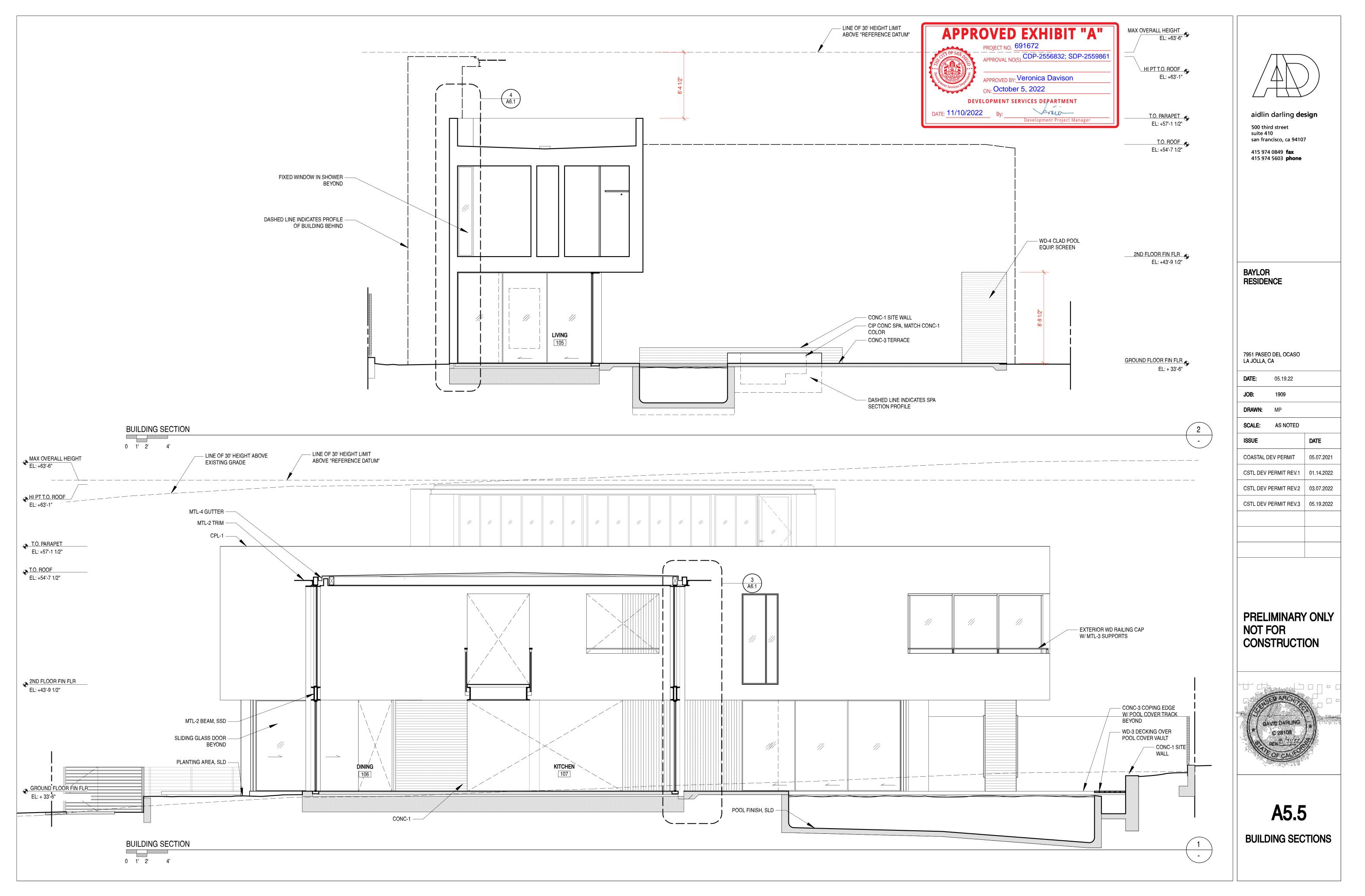




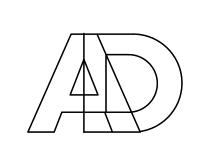












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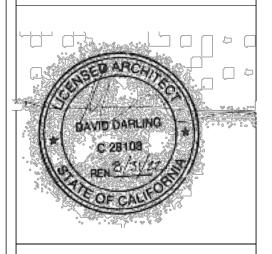
415 974 0849 **fax** 415 974 5603 **phone**



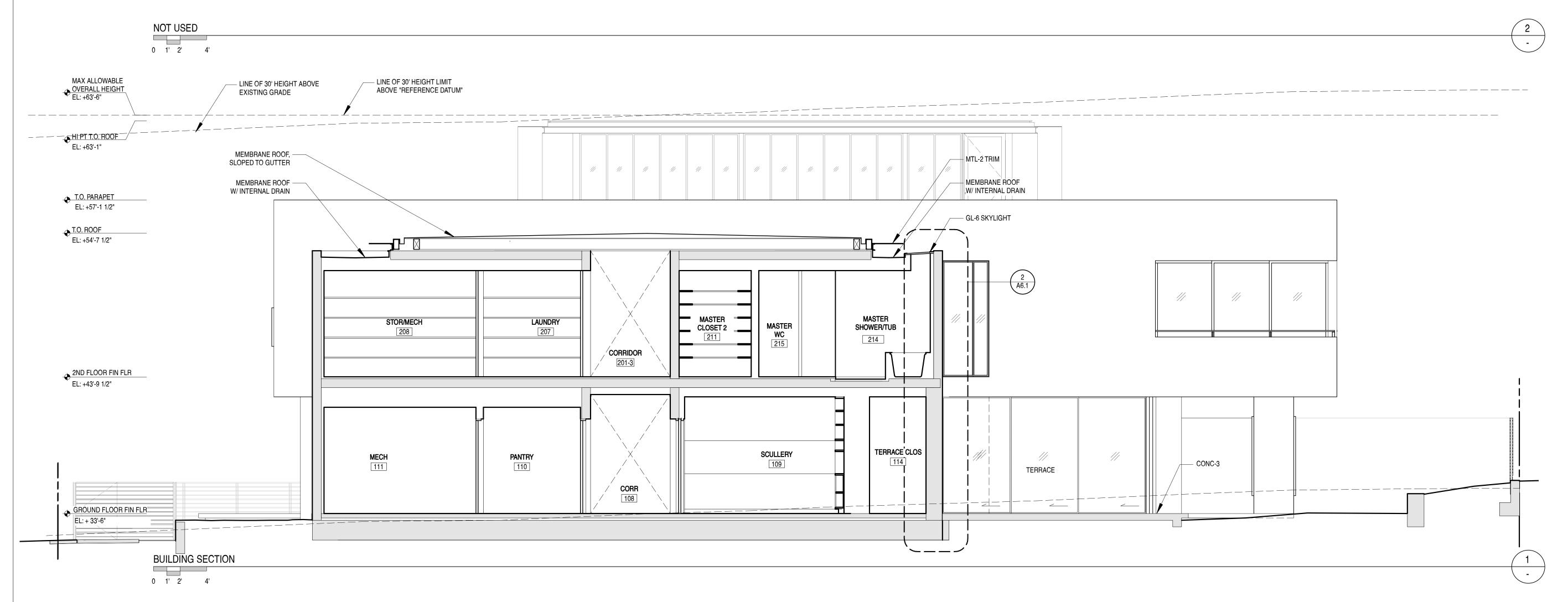
7951 PASEO DEL OCASO LA JOLLA, CA

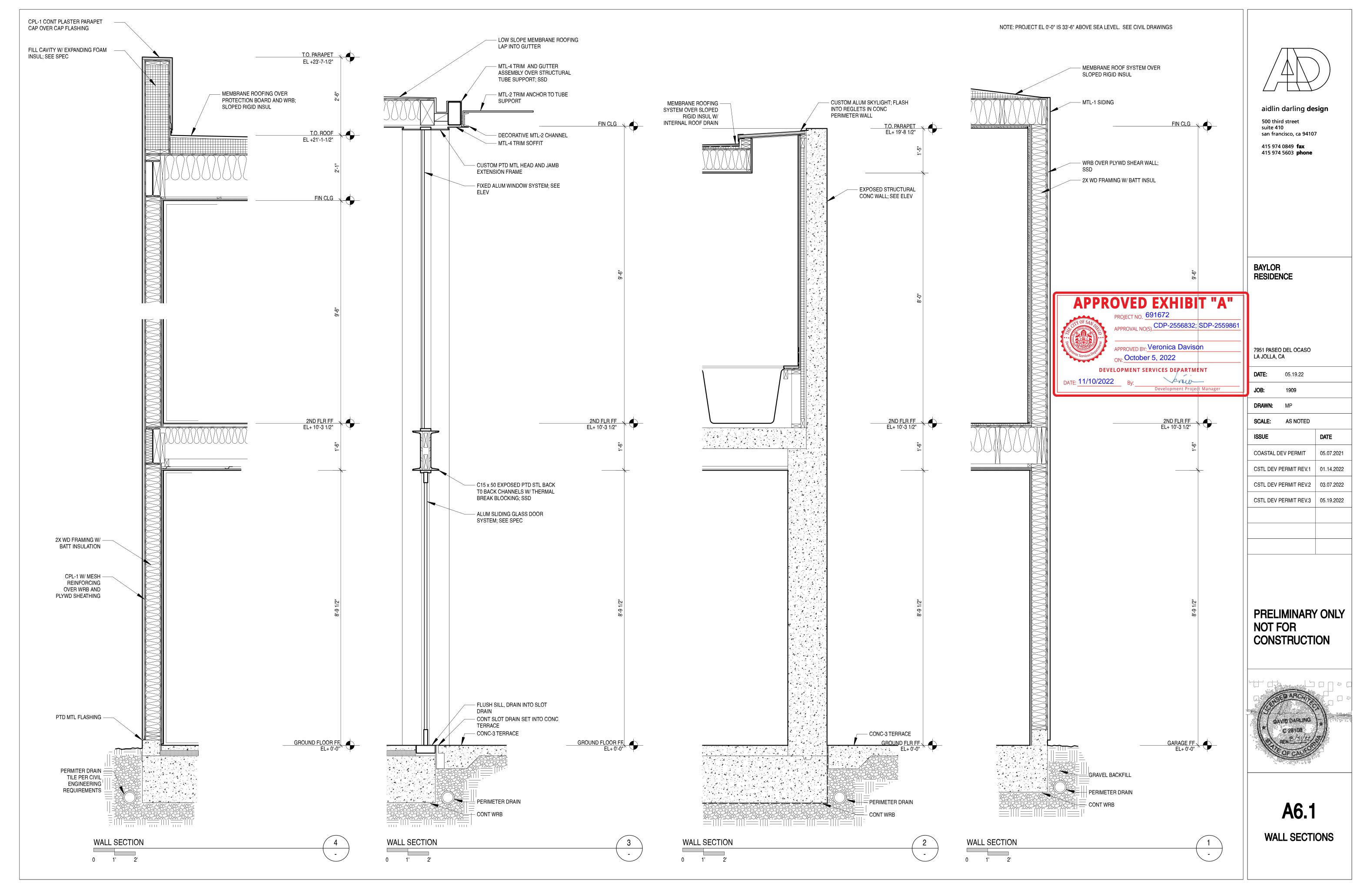
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CSTL DEV I	PERMIT REV.2	03.07.202
CSTL DEV I	PERMIT REV.3	05.19.202

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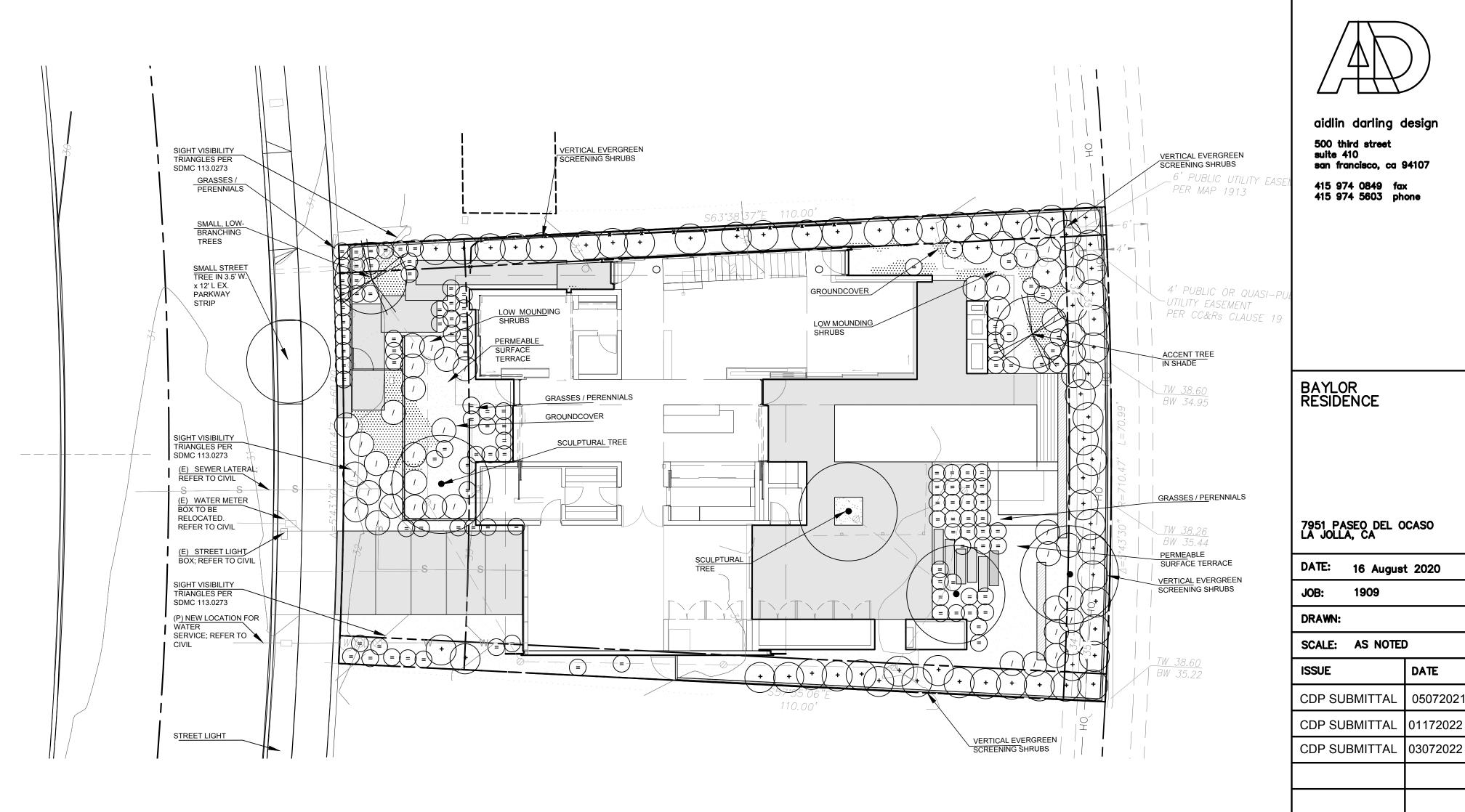
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BUILDING SECTIONS





PLANTING SCHEDULE

	sym TREES	botanical name	common name	size	min. qty	notes
	small street tree	Lagerstroemia indica 'Natchez'	White Crape myrtle 'Natchez'	24" box	1	Street tree on Paseo de Ocaso WUCOLS = M
	sculptural tree			36" box	4	
		Arbutus 'Marina'	Marina madrone			Slow-moderate growth to 40' h x 25' w. WUCOLS = L
		Metrosideros excelsa	New Zealand Christmas tree			Moderate growth to 25' h. x 20' w. WUCOLS = M
		Olea europaea 'Fruitless'	Fruitless olive	24//		Slow-moderate growth to 30′ h/w, easily pruned to shape/size. WUCOLS = L
	low-branching tree			24" box	3	
		Arbutus unedo	Strawberry tree			Slow-moderate growth to 20' h/w. WUCOLS = L
		Arctostaphylos 'Dr. Hurd'	Dr. Hurd tree manzanita			Moderate growth to 12' h x 10' w. WUCOLS = L
		Grevillea 'Moonlight'	Moonlight grevillea			Fast growth to 10' h/w. WUCOLS = L
		Leptospermum laevigatum	Australian tea tree			Moderate growth to $15'$ h/w. WUCOLS = L
	accent tree in	5		36" box	1	
\searrow	shade	Acer palmatum	Japanese maple			Moderate growth to 20' h x 15' w. WUCOLS = M
		Cercis canadensis var. texensis 'Texas White'	Texas white redbud			Moderate growth to 15' h x 10' w. WUCOLS = M
	SHRUBS vertical evergreen			15 gal.	60	
	screening shrub			15 gui.		
		Azara microphylla	Boxleaf azara			Fast growth to 20' h x 8' w. WUCOLS = M
+)		Elaeocarpus decipiens	Japanese blueberry			Moderate-fast growth to 30' h x 15' w WUCOLS = M
		Laurus nobilis	Sweet bay laurel			Slow-moderate growth to 20' h x 15' w. WUCOLS = L
	low shrub	Rhamnus alaternus	Italian buckthorn	5 gal.	45	Moderate-fast growth to 15-20' h. WUCOLS =
		Acacia cognata 'Cousin Itt'	Little river wattle			Moderate growth to 2-3′ h and spreading. WUCOLS = M
')		Arctostaphylos 'lan Bush'	lan Bush manzanita			Fast growth to $4-5'$ h/w. WUCOLS = L
		Laurus 'Little Ragu'	Dwarf bay laurel			Moderate growth to 7' h/w. Prune as needed. WUCOLS = L
		Mahonia eurybrachteata 'Soft Caress'	'Soft Caress' Oregon grape			Moderate growth to 3' h/w. WUCOLS = unknown (Sunset/UC Master Gardeners = L)
		Olea 'Little Ollie'	Dwarf olive			Moderate growth to 5′ h/w. WUCOLS = L
	grasses/perennials	Rosmarinus 'Lady in White'	White rosemary	1 gal.	75	Moderate growth to 2' h x 3' w. WUCOLS = L
	D. 400Col per criminis	Libertia peregrinans	New Zealand Iris	± δαι.	13	Grows to 2" h/w. WUCOLS = M
=		Lomandra longfolia 'Baby Breeze'	Dwarf mat rush			Grows 18" h/w. WUCOLS = L
		Lomandra longifolia 'Breeze'	Breeze mat rush			Grows 2-3' h/w. WUCOLS = L
		Lomandra longfolia 'Steely Slim'	Steely Slim mat rush			Grows 1-2' h/w. WUCOLS = L
		Sesleria autumnalis	Autumn moor grass			Grows 2-3' h/w. WUCOLS = M
	0001117-5	Sesleria 'Greenlee'	Greenlee moor grass	et :		Grows to 18" h/w. WUCOLS = M
	GROUNDCOVER	Arctostaphylos edmundsii 'Carmel	Carmel Sur manzanita	flats		Moderate growth to 6" h x 6' w. WUCOLS = L
*		Sur Carex flacca	Blue sedge			Grows 6-10" h/w. WUCOLS = L
		Laurentia fluviatilis	Blue star creeper			Grows to 3" h. WUCOLS = M
		Mentha requenii	Corsican mint			Grows to 3" h. WUCOLS = M



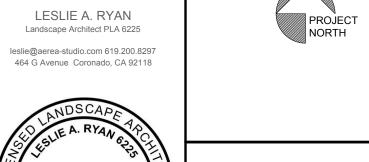
PERCI	ENTAGE OF F	LANTS PER SIZES
TREES	36" box	55%
	24" box	45%
SHRUB:	S	
	15 gal.	33%
	5 gal.	25%
	1 gal.	42%
GROUN	IDCOVER	
	Flats	100%

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DATE



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APPROVED EXHIBIT "A" APPROVAL NO(S). CDP-2556832; SDP-2559861 APPROVED BY: Veronica Davison Signature October 5, 2022

DEVELOPMENT SERVICES DEPARTMENT DATE: 11/10/2022 By: Development Project Manage

PLANTING PLAN AND LEGEND

1" = 10'-0" PLANTING PLAN

PLANTING NOTES

Per the La Jolla Shores Planned District Ordinance and City of San Diego Landscape Regulations

- 1. In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.
- 2. All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence.
- 3. All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.
- 4. The Water Use Classification of Landscape Species (WUCOLS) is included for all plant species. A minimum of 75% of plant species will be climate-adapted requiring little or no summer water and with an average plant factor of 0.3.
- 5. No turf or high-water use plant species are proposed.
- 6. All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes.
- 7. No known invasive species are proposed.
- 8. Plant material, other than trees, located within *visibility areas* or the adjacent *public right-of-way* shall not exceed 36 inches in height.
- 9. All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
- 10. All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- 11. If any required landscape indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
- 12. An automatic, electrically controlled irrigation system shall be provided as required by LDC §142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

- 1. One (1) street tree is proposed. Curbcuts and clearance for utilities reduce linear feet of street frontage to 30 LF.
- 2. Existing parkway strip is 3.5' wide and surfaced with brick paving. Street tree shall be selected from approved street tree list for parkways between 2'-4' wide.
- 3. A minimum root zone of 40sf in area shall be provided for all trees. The minimum distance for this area shall be 5 feet, per SDMC §142.0403(b)(5)
- 4. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above grade of the travel way per San Diego Municipal Code, Section 142.0403(b)(10).
- 5. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. Contractor shall install root barriers adjacent and parallel to edge of paving or site improvement, and not encircling the root ball.

General notes

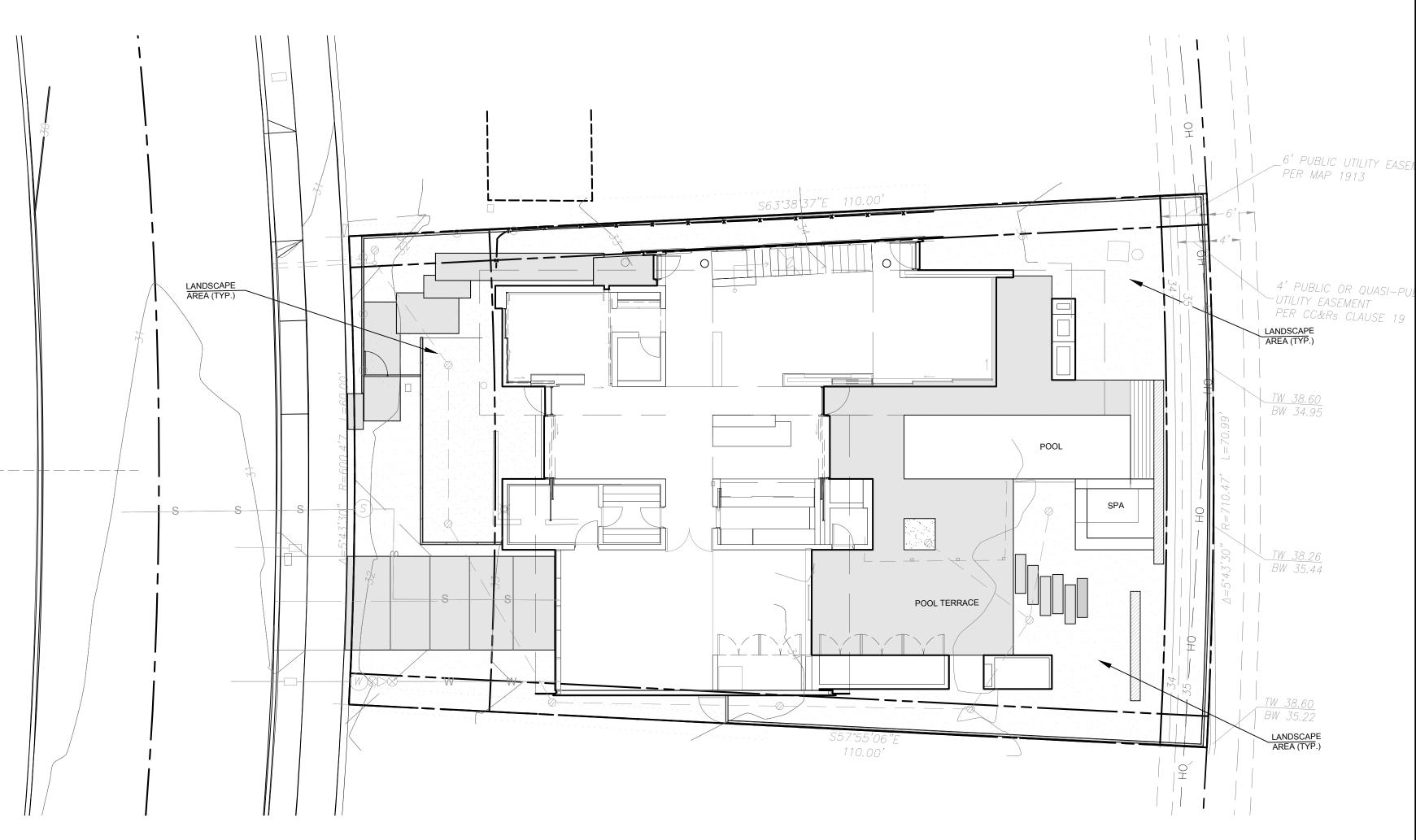
- 1. All planting operations shall conform to City of San Diego codes and guidelines, and any other applicable local, state, or federal codes and regulations.
- 2. Contractor is to call DigAlert (800 422-4133) and verify locations both above and below ground of existing utilities, pipes, drainlines and structures prior to any excavation or planting work.
- 3. Final finish grades shall insure positive drainage of the site, with all surface drainage directed away from buildings, walls, or other site improvements, and toward drains and inlets or other areas specified to receive and infiltrate drainage.

Long Term Maintenance Responsibility

- 1. Maintenance: All required landscape areas shall be maintained by the Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by the Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- 2. All planting areas will be maintained in a weed and debris free condition.

Minimum Tree Separation

Improvement/Minimum Distance to Street Tree Traffic Signals (Stop Sign) - 20 Feet Underground Utility Lines - 5 Feet (10' For Sewer) Above Ground Utility Structures - 10 Feet Driveway (Entries) - 10 Feet Intersections (Intersecting Curb Lines Of Two Streets) - 25 Feet Fire Hydrant (10' min.)



LANDSCAPE AREA CALCULATION

PROPERTY ZONE LJSPD-SF REQUIREMENT 30% LANDSCAPE AREA LOT AREA 7,205 SF 2,161 SF MIN. LANDSCAPE AREA REQ'D LANDSCAPE AREA PROVIDED (WITHIN PROPERTY, 2,584 SF INCLUDING PERVIOUS SURFACES) LANDSCAPE AREA PERCENTAGE (WITHIN PROPERTY) 35.8%

1. NOT INCLUDED IN CALCULATIONS ARE DRIVEWAYS, WALKWAYS, AND OTHER HARDSCAPE ELEMENTS PER SDMC 1510.0301(h)(1)

2. THERE IS AN ADDITIONAL 76 SQUARE FEET OF PROPOSED LANDSCAPED AREA THAT IS WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS INCLUDED IN THE HYDROZONE CALCULATIONS

PER SDMC 131.0477 THE REQUIRED FRONT YARD SHALL BE LIMITED TO A MAXIMUM OF 60 PERCENT PAVING AND HARDSCAPE 1,104 SF TOTAL AREA OF REQUIRED FRONT YARD TOTAL PAVING AND HARDSCAPE 390 SF PERCENTAGE OF PAVING AND HARDSCAPE IN FRONT YARD

landscape architecture LESLIE A. RYAN

aerea Landscape Architect PLA 6225 leslie@aerea-studio.com 619.200.8297 464 G Avenue Coronado, CA 92118

APPROVED EXHIBIT "A"

APPROVED BY: Veronica Davison

knew

Development Project Manager

PROJECT NO. 691672

ON: October 5, 2022

DATE: 11/10/2022

DEVELOPMENT SERVICES DEPARTMENT



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PLANTING NOTES

1" = 10'-0"

aidlin darling design 500 third street suite 410 san francisco, ca 94107

415 974 0849 fax

415 974 5603 phone

BAYLOR RESIDENCE

7951 PASEO DEL OCASO LA JOLLA, CA

DATE: 16 August 2020 JOB: 1909

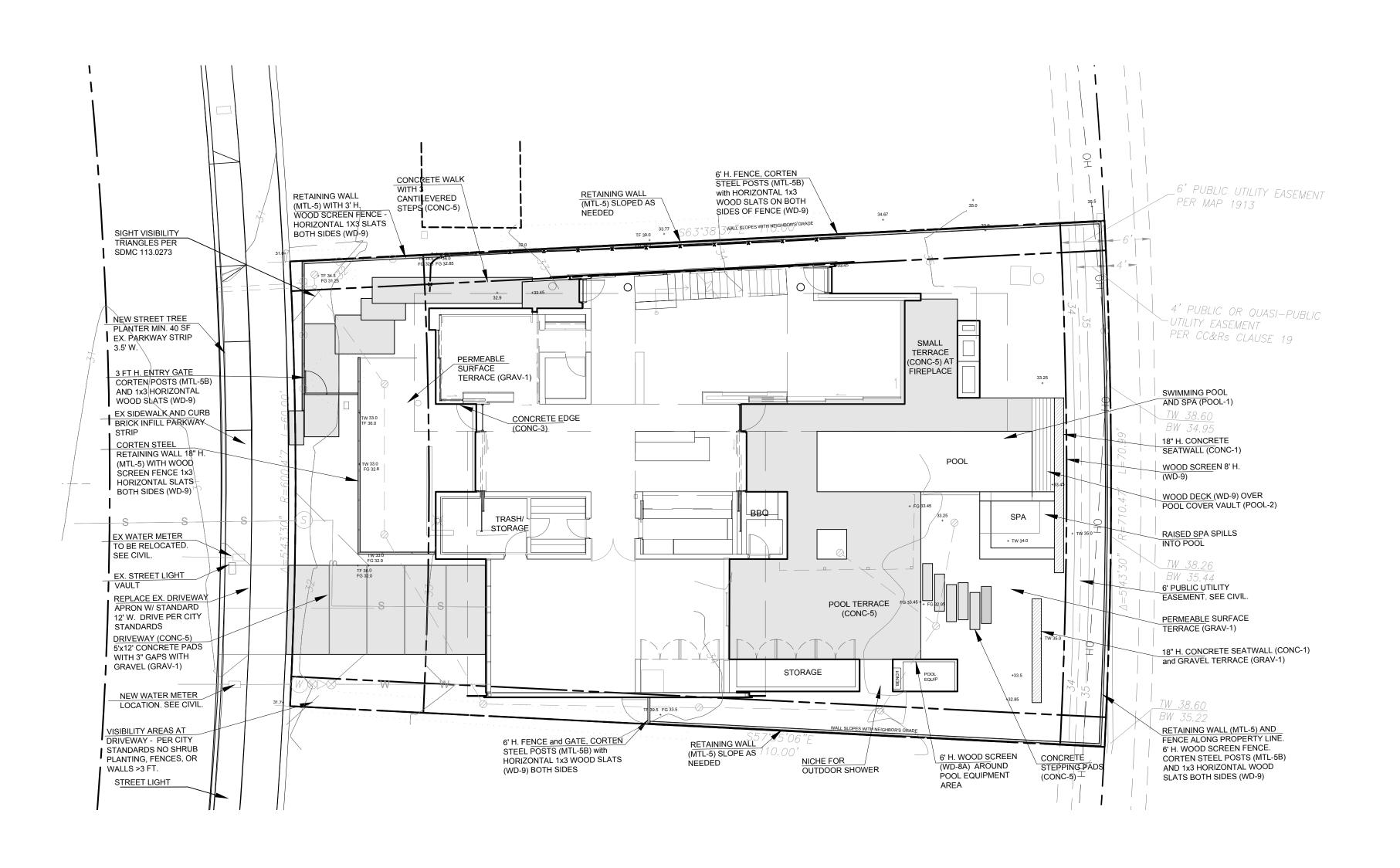
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ISSUE DATE CDP SUBMITTAL 0507202 CDP SUBMITTAL 01172022 CDP SUBMITTAL 03072022

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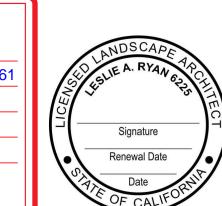




HARDSCAPE FINISH LEGEND

symbol	material	finish	
CONC-3	CONCRETE SLAB	EXTERIOR EXPOSED STRUCTURAL CONCRETE SLAB	
CONC-5	CONCRETE PAVERS, STEPS, and POOL COPING	CAST IN PLACE EXTERIOR CONCRETE	
GRAV-1	GRAVEL WALKING SURFACE	'DEL RIO' 3/8" GRAVEL	
MTL-5	COR-TEN PLATE	LANDSCAPE RETAINING EDGING WITH CONCRETE FOOTING	
MTL-5B	CORTEN TUBE POSTS	FENCE AND GATE POSTS	
POOL-1	POOL AND SPA PLASTER	COLORED PLASTER FINISH POOL AND SPA INTERIOR; WATERLINE TILE	
POOL-2	POOL COVER	AUTOMATIC POOL COVER IN CONCRETE VAULT WITH WOOD COVER	
WD-8A	EXTERIOR WOOD CLADDING FOR POOL EQUIPMENT SCREEN WALL	WESTERN RED CEDAR ¾" X 3" T&G VERT BOARDS; STAINED FINISH; CONCEALED FASTENERS	
WD-9	WOOD FENCES AND GATES	NUSKU THERMACOR THERMALLY MODIFIED LUMBER, 1X3 HORIZONTAL SLATS. INSTALL WITH KEY PAD ENTRIES	

aerea landscape architecture environmental design LESLIE A. RYAN Landscape Architect PLA 6225 leslie@aerea-studio.com 619.200.8297 464 G Avenue Coronado, CA 92118



HARDSCAPE PLAN AND FINISH LEGEND

aidlin darling design

san francisco, ca 94107

415 974 0849 fax 415 974 5603 phone

500 third street suite 410

BAYLOR RESIDENCE

7951 PASEO DEL OCASO LA JOLLA, CA

DATE: 16 August 2020

JOB: 1909

SCALE: AS NOTED

CDP SUBMITTAL 0507202

CDP SUBMITTAL 01172022

CDP SUBMITTAL 03072022

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PROJECT NORTH

DATE

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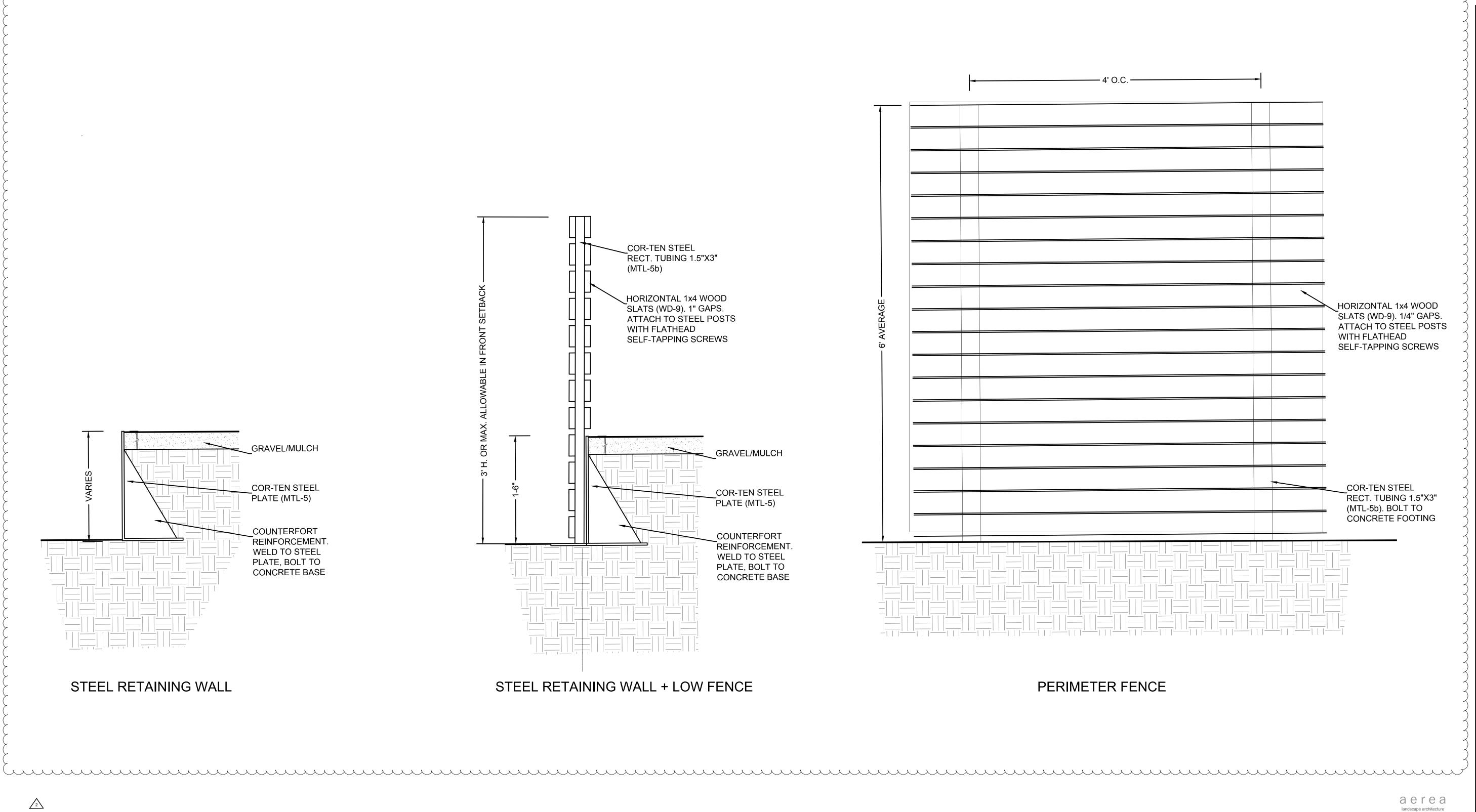
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APPROVED EXHIBIT "A" APPROVAL NO(S). CDP-2556832; SDP-2559861 APPROVED BY: Veronica Davison October 5, 2022

DEVELOPMENT SERVICES DEPARTMENT DATE: 11/10/2022 By: Development Project Manage

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HARDSCAPE PLAN AND FINISH LEGEND 1" = 10'-0"



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BAYLOR RESIDENCE 7951 PASEO DEL OCASO LA JOLLA, CA DATE: 16 August 2020 JOB: 1909 DRAWN: SCALE: AS NOTED ISSUE CDP SUBMITTAL 0507202° CDP SUBMITTAL 01172022 CDP SUBMITTAL 03072022

aidlin darling design

san francisco, ca 94107

415 974 0849 fax 415 974 5603 phone

500 third street suite 410

PRELIMINARY ONLY NOT FOR CONSTRUCTION

DATE

PROJECT NORTH

APPROVAL NO(S). CDP-2556832; SDP-2559861 Signature Renewal Date

APPROVED EXHIBIT "A"

APPROVED BY: Veronica Davison

DEVELOPMENT SERVICES DEPARTMENT

ON: October 5, 2022

environmental design

LESLIE A. RYAN Landscape Architect PLA 6225 leslie@aerea-studio.com 619.200.8297 464 G Avenue Coronado, CA 92118

HARDSCAPE DETAILS

1-1/2" = 1'-0"

5

IRRIGATION and WATER CONSERVATION

- 1. Irrigation use shall not exceed the maximum applied water allowance (MAWA).
- 2. Total site landscape area is 2,660 SF. This square footage excludes all impervious paving, structures, swimming pool and spa. This square footage includes 76 square feet of area within the public right-of-way.
- 3. Reference Evapotranspiration for La Jolla is 40.0 inches/year.
- 4. Maximum Applied Water Allowance (MAWA) = 36,282 gallons/year. Swimming pool and spa are Special Landscape Areas.
- Calculations: (40.0)(0.62)[.55 x 2660] + (0.45)(308)

 5. Preliminary Estimated Total Water Use (ETWU) = 32,885 gallons/year.
- Calculations: $(40.0)(0.62)(0.4 \times 2660 / 0.81) + 308$. Using .4 as average Plant Factor. 6. No turf areas or high water use planting areas are proposed.
- 7. Design includes 250 SF of swimming pool to be covered with automatic pool cover and 58 SF of a raised spa.
- 8. The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
- 9. Irrigation shall be controlled with an automatic controller installed with an evapotranspiration or soil moisture sensor using non-volatile memory.
- 10. All planting areas shall be permanently irrigated with low-volume irrigation equipment.11. Velocity of water in piping shall not exceed five feet per second downstream of water
- 11. Velocity of water in piping shall not exceed five feet per second downstream of water meter. No separate irrigation water meter is proposed.
- 12. Irrigation system shall be designed meet or exceed an average irrigation efficiency of 0.71.
- 13. The irrigation system shall be designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, non-irrigated areas, hardscapes, roadways, or structures.
- 14. Areas adjacent to structures, roadways, entries and activity areas will be irrigated with permanent below grade automated systems.15. The irrigation systems will be installed as soon as practical after grading and prior to plant
- material installation.

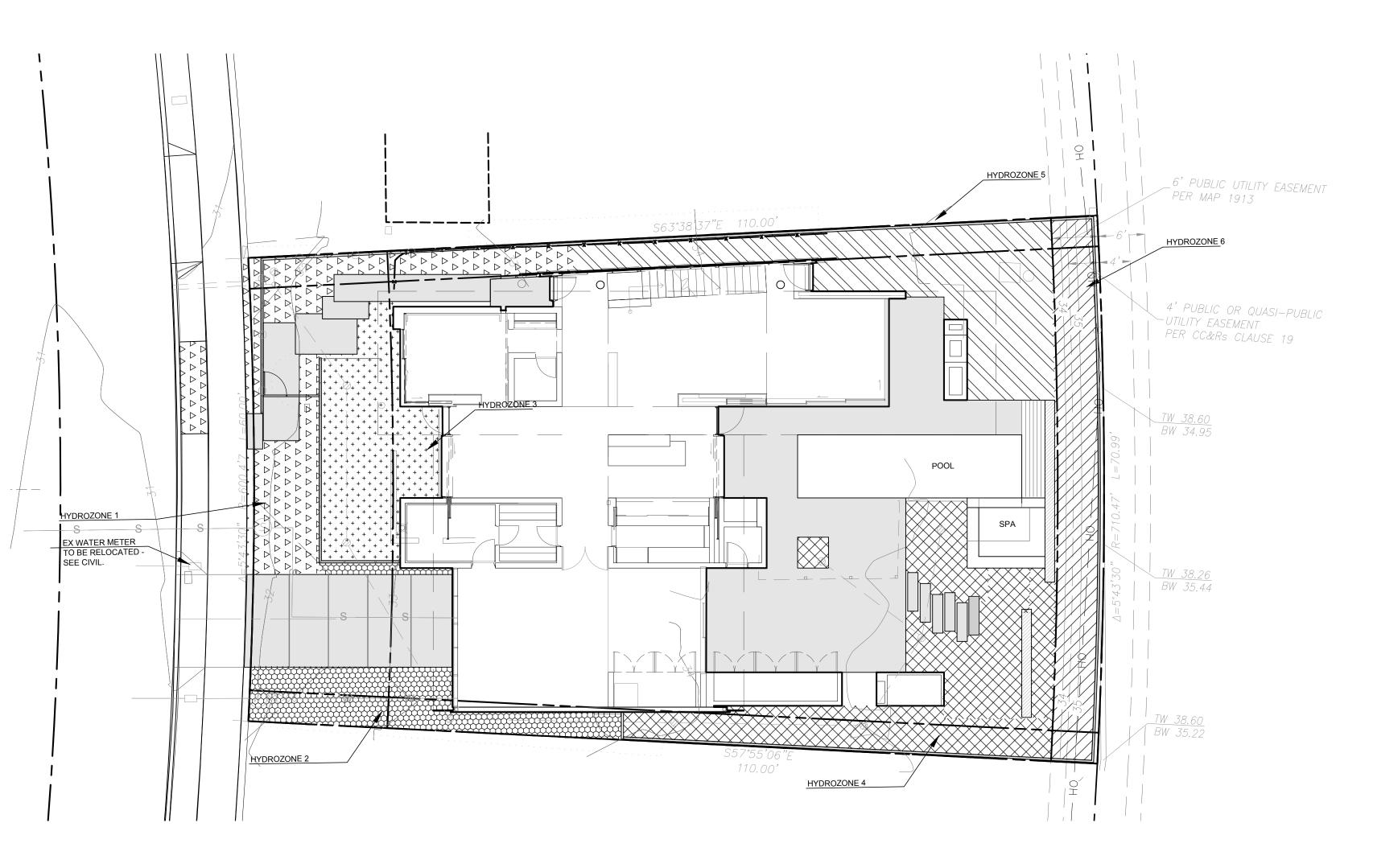
 16. The irrigation schedule shall be developed, managed and evaluated to utilize the
- 16. The irrigation schedule shall be developed, managed and evaluated to utilize the minimum amount of water required to maintain plant health, and to minimize system maintenance requirements after installation.
- 17. Household owner will be responsible for maintenance of all landscape irrigation.
- 18. An automatic, electrically controlled irrigation system shall be provided as required by LDC §142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

The landscape design incorporates the following water conservation features:

- The design is based on the general use of plant species that are adapted to a coastal,
 Mediterranean climate, and the maximization of permeable surfaces.
- The use of climate-adapted plant species reduces the need for fertilization.
- Plants will be grouped together in hydrozones according to their water needs.
- Future maintenance needs are addressed through the planting of drought-tolerant and garden-tolerant native species, and spacing plants to allow room for mature growth.
 Irrigation system will be regularly inspected.
- Irrigation will be drip, and scheduled to encourage deep rooting and prevent runoff. No overhead sprays or rotors will be specified.
- Mulches will be used in all planting areas.
- No invasive plant species are proposed for planting on this site.

PRELIMINARY ETWU CALCULATIONS

controller	hydrozone #	valve	plant	hydrozone	irrigation	irrigation	% total land.
			factor	SF	method	efficiency	area
1	1 (shrubs)	1	.4	448	drip	0.81	16.8%
1	2 (shrubs)	2	.4	287	drip	0.81	10.8%
1	3 (shrubs)	3	.4	263	drip	0.81	9.9%
1	3 (trees)	4	.4	100	drip	0.81	3.8%
1	4 (shrubs)	5	.4	577	drip	0.81	21.7%
1	4 (trees)	6	.4	60	drip	0.81	2.3%
1	5 (shrubs)	7	.4	540	drip	0.81	20.3%
1	6 (shrubs)	8	.4	385	drip	0.81	14.5%
				2,660 SF			100%
	Special						
	Landscape						
	Area			308 SF			
	(pool/spa)						



HYDROZONES

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landscape architecture
environmental design

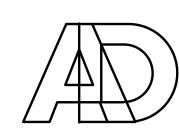
LESLIE A. RYAN
Landscape Architect PLA 6225





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leslie@aerea-studio.com 619.200.8297 464 G Avenue Coronado, CA 92118



aidlin darling design
500 third street
suite 410
san francisco, ca 94107
415 974 0849 fax
415 974 5603 phone

BAYLOR RESIDENCE

7951 PASEO DEL OCASO LA JOLLA, CA

DATE: 16 August 2020

JOB: 1909

DRAWN:

SCALE: AS NOTED

ISSUE DATE

CDP SUBMITTAL 05072021

CDP SUBMITTAL 01172022

CDP SUBMITTAL 03072022

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L3.0
IRRIGATION NOTES

AND HYDROZONES



THE CITY OF SAN DIEGO

MEMORANDUM

DATE: October 2, 2025

TO: Environmental/Project File

Development Services Department

FROM: Marlene Watanabe, Development Services Department

SUBJECT: 7951 Paseo Del Ocaso (Project No. 1133046)

California Environmental Quality Act – Section 15162 Evaluation

The Development Services Department (DSD) has completed a California Environmental Quality Act (CEQA) Section 15162 – Subsequent Environmental Impact Reports and Negative Declarations consistency evaluation for the proposed 7951 Paseo Del Ocaso (project).

This evaluation was performed to determine if conditions specified in CEQA Guidelines Sections 15162 would require preparation of additional CEQA review for the proposed 7951 Paseo Del Ocaso SCR. As outlined in the evaluation, DSD has determined that the proposed project is consistent with the original Mitigated Negative Declaration for the Baylor Residence Project No. 691672 / SCH 2022070454 adopted by the Hearing Officer on October 5, 2022, Resolution HO-7466; and would not result in new impacts.

BACKGROUND

The Baylor Residence Project included a Site Development Permit (SDP) and Coastal Development Permit (CDP) to demolish an existing residence, garage, pool, and shed and construct a new 3,503-square foot (sf) two-story single-family residence with roof access, attached 675 sf 2-car garage, and associated site improvements located at 7951 Paseo Del Ocaso.

A Mitigated Negative Declaration was prepared for the project, which identified potential significant impacts associated with Cultural Resources (Archaeology) and Tribal Cultural Resources. With mitigation (archaeological and Native American monitoring), impacts were determined to be less than significant. Since the MND was adopted, the project scope has been modified to reduce the building square footage, reduce height, reduce grading, and modifications to the architectural design of the residence.

PROJECT DESCRIPTION

Page 2 Environmental/Project File October 2, 2025

The project, with the proposed modifications, was submitted to the City for a Substantial Conformance Review (SCR) to Coastal Development (CDP) Permit No. 2556832 and Site Development Permit (SDP) No. 2559861. The purpose of an SCR is to determine if the proposed project is consistent and in conformance with a previously approved permit. The original project proposed to demolish the existing residence, garage, pool, and shed and construct a new 3,503-sf two-story single-family residence with roof access, attached 675 sf 2-car garage, and associated site improvements located at 7951 Paseo Del Ocaso. The modified project proposes a reduced project to construct a new 2-story, 2,848-square-foot, single-dwelling unit with an attached 636-square-foot garage and associated site improvements at 7951 Paseo Del Ocaso. The 0.17-acre site is in the La Jolla Shores Planned District-Single-Family Zone (LJSPD–SF), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Beach impact), Transit Area Overlay Zone and Transit Priority Area and is designated Residential, low-density (5 to 9 dwelling units per acre) within the La Jolla Community Plan.

CEQA 15162 CONSISTENCY EVALUATION

DSD reviewed the proposed project and conducted a 15162 consistency evaluation with the previously adopted Mitigated Negative Declaration (MND) No. 691672. The following evaluation substantiates the conclusion that supports a determination that no subsequent document is required.

The project proposes changes to the architectural design of the residence. Prior exterior finishes included wood cladding, cement plaster, and board-formed cast-in-place concrete. The new project proposes vertical stained cedar siding, integral color stucco, and a steel trellis with cedar slats. The proposed finish materials were reviewed by LDR-Planning and determined to be in conformance with the La Jolla Shores design guidelines, which are limited to wood siding, natural earth colors, and stucco. Additionally, the proposed modifications conform with the development patterns and bulk and scale of the existing neighborhood per the LJSPD-SF Zone. The project also complies with the Community Plan by incorporating changes in building material, proportioned fenestration, and roofline variation. As such, the proposed project would not result in any additional impacts to the existing visual character or quality of the site and its surroundings. Impacts related to aesthetics would remain less than significant.

The modified project would be reduced from 3,503 sf to 2,848 sf. The garage space would also be reduced from 675 sf to 636 sf. Additionally, building height would be reduced from 29 ft 7 inches to 21 feet 7 inches. The SCR would also result in reduced grading from 300 cubic yards to a max depth of 2.5 feet to 225 cubic yards to a maximum depth of 2.5 feet. As such, the project would not result in any additional physical impacts to the environment. MND No. 691672 identified impacts to Cultural Resources and Tribal Cultural Resources. With mitigation (archaeological and Native American monitoring), impacts were determined to be less than significant. The proposed project is required to comply with the conditions and mitigation requirements of the prior approval CDP No. 2556832 and SDP No. 2559861 and the associated mitigation monitoring and reporting program. As such, impacts would remain less than significant with mitigation.

CONCLUSION

Overall, implementation of the proposed project would not result in any significant direct, indirect or cumulative impacts over and above those disclosed in the previously adopted mitigated negative declaration.

Section 15162 of the CEQA Guidelines states:

When an EIR has been certified or a negative declaration adopted for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

- (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- (2) Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following:
 - (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;
 - (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR;
 - (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

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Based upon a review of the current project, none of the situations described in Sections 15162 of the State CEQA Guidelines apply. No changes in circumstances have occurred, and no new information of substantial importance has manifested, which would result in new significant or substantially increased adverse impacts because of the project. This evaluation, therefore, supports the use of the previously adopted mitigated negative declaration, under CEQA Guidelines Section 15162, in that the environmental document adequately covers the proposed project.

Marlene Watanabe Associate Planner

MW/mw

cc: Veronica Davison, Development Project Manager, Development Services Department

Attachments: Baylor Residence Mitigated Negative Declaration (MND) No. 691672 (Under Separate

Cover)

PROJECT DATA:

APPLICABLE CODES:

PROJECT ADDRESS:

PROJECT DESCRIPTION:

7951 PASEO DEL OCASO LA JOLLA, CA 92037

2022 CALIFORNIA ELECTRICAL CODE (CEC)

2022 CALIFORNIA RESIDENTIAL CÓDE (CRC)

APPLICABLE SAN DIEGO MUNICIPAL CODES

2022 CALIFORNIA ENERGY CODE (T24) 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)

DEMOLITION OF AN (E) 1 STORY SINGLE FAMILY RESIDENCE UNDER

2022 CALIFORNIA PLUMBING CODE (CPC)

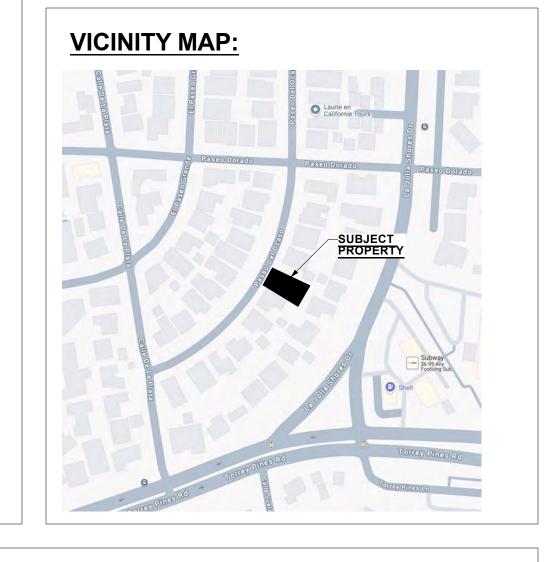
2022 CALIFORNIA FIRE CODE (CFC)

7951 PASEO DEL OCASO, LA JOLLA, CA 92037 APN: 346-512-07-00 BLOCK 004- LOT 005

PRJ-1133046

DEPARTMENT STAMPS:





GROSS FLOOR AREA:

EXISTING:

TOTAL EXISTING:

404 SQ.FT. UNCONDITIONED 2,174 SQ.FT. <u>TOTAL</u>

1,770 SQ.FT. CONDITIONED

PROPOSED:

FIRST FLOOR 1,384 SQ.FT. CONDITIONED 636 SQ.FT. UNCONDITIONED 1,465 SQ.FT. CONDITIONED SECOND FLOOR

TOTAL PROPOSED:

2,848 SQ.FT. CONDITIONED 636 SQ.FT. UNCONDITIONED <u>3.484</u> <u>SQ.FT.</u> <u>TOTAL</u>

NET CHANGE

1,078 SQ.FT. CONDITIONED 232 SQ.FT. UNCONDITIONED 1,310 SQ.FT. <u>TOTAL</u>

PROJECT PARTICIPANTS:

ARCHITECT: JOHN LUM ARCHITECTURE 3246 17TH STREET SAN FRANCISCO, CA 94110 MICHAEL MORRISON t. 415.558.9550 x10024 e. michael@johnlumarchitecture.com

OWNER:

DAVID BAYLOR & TERRY HELMER 10 SYLVAN LN ROSS, CA 94957

GENERAL CONTRACTOR:

PERMIT CONSULTANT:

e. chandra@slavenconsulting.com

9666 BUSINES PARK AVE, STE 210

SURVEYOR & CIVIL ENGINEERING:

STRUCTURAL ENGINEER:

GEOTECHNICAL ENGINEER:

GEOTECHNICAL EXPLORATION INC 7420 TRADE ST

PATTERSON ENGINEERING 928 FORT STOCKTON DR, STE. 201

SAN DIEGO, CA 92103

e. curtis@pattersoneng.com

CURTIS PATTERSON

SAN DIEGO, CA 92121

e. geotech@gei-sd.com

JAIME CERROS t. 858.549.7222

t. 858.605.0937

TITLE 24 CONSULATANT:

e. rein@coffeyengineering.com

COFFEY ENGINEERING INC

T.B.D.

LANDSCAPE ARCHITECT:

LESLIE RYAN AEREA STUDIO t. 619.200.8297 e. leslie@aerea-studio.com

GREEN BUILDING CONSULTANT:

T.B.D.

AREA COMPARISON TABLE

	PREV. APPROVED	PROPOSED	CHANGE	
1ST FLR				
CONDITIONED	1,550 SQ. FT.	1,384 SQ. FT.	-166 SQ. FT.	
UNCONDITIONED	675 SQ. FT.	636 SQ. FT.	-39 SQ. FT.	
2ND FLR				
CONDITIONED	1,953 SQ. FT.	1,465 SQ. FT.	-488 SQ. FT.	
TOTAL				
CONDITIONED	3,505 SQ. FT.	2,848 SQ. FT.	-657 SQ. FT.	
UNCONDITIONED	675 SQ. FT.	636 SQ. FT.	-39 SQ. FT.	

DRAWING INDEX

GENERAL NOTES SITE PLAN (E/D) SITE PLANS (P) **4** A0.04 TOPOGRAPHIC SURVEY 300' RADIUS - FAR 300' RADIUS - SETBACK CIVIL DRAINAGE PLAN PLANTING PLAN PLANTING NOTES HARDSCAPE PLAN

FIRST FLOOR PLAN **ROOF PLAN EXTERIOR ELEVATIONS**

22 A6.01

BUILDING SECTIONS **BUILDING SECTIONS**

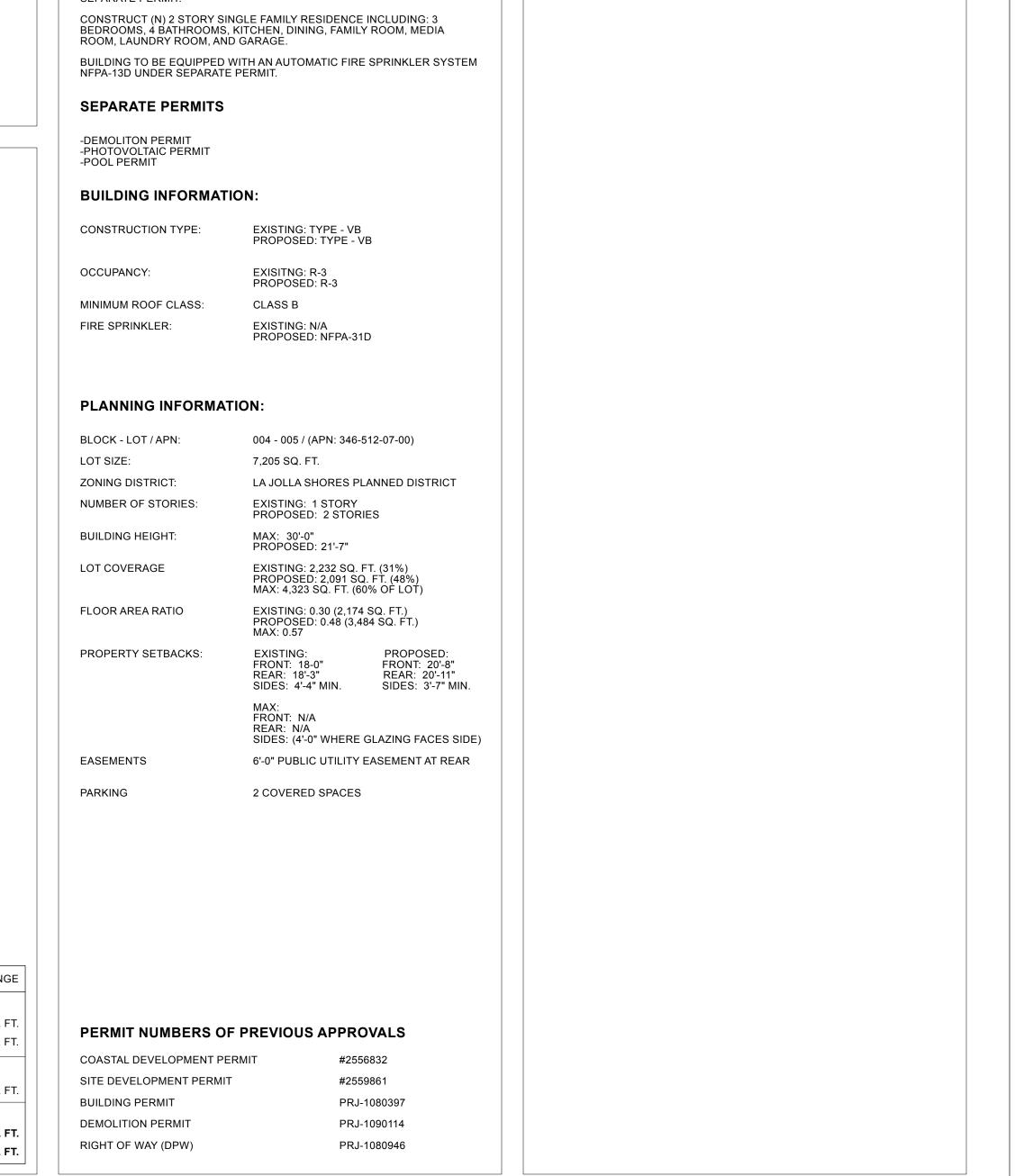
PERSPECTIVES

HARDSCAPE DETAILS IRRIGATION NOTES & HYDROZONES SECOND FLOOR PLAN **17** A3.01 **EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS**

DATE: ISSUES / REVISIONS: BY: 03.07.25 substantial conformance review 05.19.25 SCR revision 1

DEPARTMENT STAMPS:

TITLE SHEET



NEW BUILDINGS DETERMINED TO BE LOCATED IN ANY FIRE HAZARD SEVERITY ZONE WITHIN STATE RESPONSIBILITY OR ANY WILDLAND-URBAN INTERFACE FIRE AREA SHALL COMPLY WITH §R337 OF THE 2022 CALIFORNIA RESIDENTIAL CODE, INCLUDING THE

1. THE PROPERTY OWNER/APPLICANT SHALL SUBMIT A COPY OF THE SPECIAL INSPECTION REPORT THAT DEMONSTRATES THE BUILDING WAS CONSTRUCTED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING STANDARDS, INCLUDING THOSE FOR MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE PRIOR TO COMPLETION OF CONSTRUCTION.

2. PRIOR TO FINAL INSPECTION AND COMPLETION OF THE BUILDING PERMIT PROCESS, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCES CODE 4291 CALIFORNIA GOVERNMENT CODE SECTION 51182.

3. THE SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, PER CRC 2022

4. WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE AT LEAST 0.019-INCH NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER AT LEAST ONE LAYER OF MINIMUM 72-POUND MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36-INCH-WIDE RUNNING THE FULL LENGTH OF THE VALLEY, PER CRC 2022 §R337.5.3.

5. GUTTER GUARDS SHALL BE INSTALLED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS PER CRC 2022 $\$ R337.5.4.

6. EXTERIOR VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS PER CRC VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES UNLESS THEY RESIST THE NTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE

8. VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL BE COVERED WITH A NONCOMBUSTIBLE, CORROSION RESISTANT MESH WITH MIN. DIMENSIONS 1/16" AND NOT EXCEED 1/8" IN DIAMETER PER CRC 2022 §R337.6.2.1

9. THE EXPOSED UNDERSIDE OF THE EAVE SHALL BE COMPOSED OF FIRE-RETARDANT TREATED MATERIAL PER CRC 2022 §R337.7.5 AND §R337.7.6.

10. EXTERIOR WALLS SHALL BE COMPOSED OF FIRE-RETARDANT TREATED MATERIAL AND SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS PER CRC 2022 §R337.7.3. AND §R337.7.4.

11. EXTERIOR WALL COVERING SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS (WHERE OCCURRING) PER CRC 2022 §R337.7.3.1. 12. ALL EXTERIOR GLAZING SHALL HAVE MINIMUM 20-MINUTE FIRE-RESISTANCE RATING, INSULATED GLASS WITH AT LEAST ONE PANE TEMPERED, MEET THE SFM 12-7A-2

13. OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NONCOMBUSTIBLE MESH SCREEN WHERE THE DIMENSIONS OF THE OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/8" PER CRC 2022 §R337.8.2.2.

STANDARD, OR BE CONSTRUCTED OF GLASS BLOCK UNITS, PER CRC 2022 §R337.8.2.1.

14. ALL EXTERIOR DOORS SHALL BE OF NONCOMBUSTIBLE/INGNITION-RESISTANT MATERIAL. OR 1-3/8" SOLID CORE, OR HAVE A 20-MINUTE FIRE-RESISTANCE RATING OR CONFORM TO SFM 12-7A-1 PER CRC 2022 §R337.8.3. (SEE CODE SECTION FOR ADDITIONAL PARAMETERS)

15. DECKS, STAIR TREADS, RISERS, DECK LANDING, PORCHES AND BALCONIES WITHIN 10 FEET OF THE PRIMARY STRUCTURE (DWELLING) SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION PER CRC 2022 §R337.9. (SEE CODE SECTION FOR ADDITIONAL PARAMETERS)

16. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL CONSIST OF NONCOMBUSTIBLE/IGNITION-RESISTANT MATERIAL OR A LAYER OF TYPE X GYP. BEHIND AN EXTERIOR COVERING OR CONFORM TO SFM 12-7A-3, PER CRC 2022 §R337.7.8.

17. THE UNDERSIDE OF EXPOSED UNDERFLOOR SHALL CONSIST OF NONCOMBUSTIBLE/IGNITION-RESISTANT MATERIAL OR A LAYER OF TYPE X GYP. BEHIND AN EXTERIOR COVERING OR CONFORM TO SFM 12-7A-3 PER CRC 2022 §R337.7.9.

18. ALL NEW MATERIALS INSTALLED ON BUILDINGS ON ANY REMODEL WITHIN DESIGNATED WILDLAND URBAN INTERFACE AREAS SHALL BE COMPLIANT WITH CRC 2022

19. EXTERIOR GARAGE DOORS SHALL HAVE NO GAP > 1/8" BETWEEN DOORS AND DOOR OPENINGS AT THE TOP, BOTTOM AND SIDES. SUCH GAPS SHALL BE CONTROLLED THROUGH OVERLAPPING TRIM OR METAL FLASHING AT DOOR JAMBS AND HEADER, AND WEATHER STRIPPER PER CRC 2022 §R337.8.4.

RESERVED

PER CRC 2019 §R337.6.1.

WINDOW & DOOR CONSTRUCTION NOTES

SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.

INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.

1. THE LOCATION / SPECIFICATION OF SAFETY GLAZING IS THE SOLE RESPONSIBILITY OF 2. THE CONTRACTOR SHALL VERIFY WINDOW & DOOR SIZES. HDR. HGT., SILL HGT., & MANUFACTURER W/ THE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. 3. ALL WINDOW & DOOR FRAME FINISHES TO BE SPECIFIED BY ARCHITECT. 4. ALL DIMENSIONS ARE APPROXIMATE FOR ESTIMATING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL DIMENSIONS W/ DETAILS AND AS-BUILT 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL FOR ALL WINDOWS, PRIOR TO ORDERING. 6. VERIFY HARDWARE FOR ALL OPERABLE WINDOWS W/ ARCHITECT PRIOR TO FABRICATION. USE INTEGRAL MANUFACTURER HARDWARE WHERE POSSIBLE 6. ALL SLAB-TYPE DOORS ARE TO BE SOLID-CORE WOOD, U.O.N. . ALL HINGED DOORS SHALL BE A MIN. 24" WIDE.

8. WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S

CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS

9. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE

EMERGENCY ESCAPE & RESCUE WINDOW NOTES - CRC 2022

1. CRC 2022 §R310.1 EMERGENCY ESCAPE AND RESCUE OPENINGS REQUIRED. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

- EXCEPTION 1 - BASEMENTS W/ CLG. HT. <80" ARE NOT REQUIRED EMERGENCY ESCAPE AND RESCUE OPENINGS - EXCEPTION 2 - EMERGENCY ESCAPE & RESCUE OPENINGS NOT REQUIRED FROM BASEMENTS OR SLEEPING ROOMS W/ EXIT DOOR OR EXIT ACCESS DOOR OPENING DIRECTLY INTO A PUBLIC WAY, OR TO A YARD, COURT, EXT. EGRESS BALCONY OPENING

EXCEPTION 3 - UNINHABITABLE BASEMENTS NOT MORE THAN 200 SQ.FT. IN AREA. - EXCEPTION 4 - STORM SHELTERS CONSTRUCTED IN ACCORDANCE WI ICC 500. - EXCEPTION 5 - WHERE THE DWELLING OR TOWNHOUSE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313, SLEEPING ROOMS IN BASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE BASEMENT HAS EITHER ONE MEANS OF EGRESS + ONE EMERGENCY ESCAPE AND RESCUE OPENING, OR TWO MEANS

CRC 2022 §R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090 AND SHALL NOT BE 70" ABOVE FINISHED FLOOR.

CRC 2022 §R310.2.1 MINIMUM OPENING AREA. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF AT LEAST 5.7 SQUARE FEET. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE AT LEAST 24 INCHES AND THE NET CLEAR WIDTH SHALL BE AT LEAST 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.
- EXCEPTION - GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF AT LEAST 5 SQUARE FEET.

4. CRC 2022 §R310.2.3 WINDOW SILL HEIGHT. WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, THE BOTTOM OF THE CLEAR OPENING SHALL BE AT MOST 44 INCHES FROM THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE

5. CRC 2022 §R310.4 AREA WELLS. THE HORIZONTAL AREA OF THE AREA WELL SHALL BE AT LEAST 9 SQUARE FEET, WITH A HORIZONTAL PROJECTION AND WIDTH OF AT LEAST 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. - EXCEPTION - THE LADDER OR STEPS REQUIRED BY SECTION R310.4.2.1 SHALL BE PERMITTED TO ENCROACH NOT MORE THAN 6 INCHES INTO THE REQUIRED DIMENSIONS

6. CRC 2022 §R310.4.2 LADDER AND STEPS. WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R311.7. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED AT MOST 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

7. CRC 2022 §R310.4.3 DRAINAGE. WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD. EXCEPTION - A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON WELL-DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R405.1.

8. CRC 2022 §R310.2.4 EMERGENCY ESCAPE AND RESCUE OPENINGS UNDER DECKS AND PORCHES. EMERGENCY ESCAPE AND RESCUE OPENINGS INSTALLED UNDER DECKS AND PORCHES SHALL BE FULLY OPENABLE AND PROVIDE A PATH AT LEAST 36 INCHES IN HEIGHT TO A YARD OR COURT.

9. CRC 2022 §R310.5 REPLACEMENT WINDOWS. REPLACEMENT WINDOWS INSTALLED IN BUILDINGS MEETING THE SCOPE OF THIS CODE SHALL BE EXEMPT FROM THE MAXIMUM SILL HEIGHT REQUIREMENTS OF SECTION R310.2.2 AND THE REQUIREMENTS OF SECTION R310.2.1, PROVIDED THAT (1) THE REPLACEMENT WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING ROUGH OPENING. (2) THE REPLACEMENT WINDOW IS OF THE SAME OPERATING STYLE AS THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOW, AND (3) THE REPLACEMENT WINDOW IS NOT PART OF A CHANGE OF OCCUPANCY.

10. CRC 2022 §R310.3 EMERGENCY ESCAPE AND RESCUE DOORS. WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE A SIDE-HINGED DOOR OR A SLIDER. WHERE THE OPENING IS BELOW THE ADJACENT GRADE, IT SHALL BE PROVIDED WITH AN AREA WELL. SEE CODE SECTION FOR

I1. CRC 2022 §R310.6 DWELLING ADDITIONS. WHERE DWELLING ADDITIONS CONTAIN SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN EACH NEW SLEEPING ROOM. WHERE DWELLING ADDITIONS HAVE BASEMENTS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN THE NEW BASEMEN

- *EXCEPTION 1* - AN EMERGENCY ESCAPE AND RESCUE OPENING IS NOT REQUIRED IN A NEW BASEMENT THAT CONTAINS A SLEEPING ROOM WITH AN EMERGENCY ESCAPE AND RESCUE OPENING. - EXCEPTION 2 - AN EMERGENCY ESCAPE AND RESCUE OPENING IS NOT REQUIRED IN A NEW BASEMENT WHERE THERE IS AN EMERGENCY ESCAPE AND RESCUE OPENING IN AN EXISTING BASEMENT THAT IS ACCESSED FROM THE NEW BASEMENT. - EXCEPTION 3 - AN OPERABLE WINDOW COMPLYING W/ §R310.7.1 SHALL BE ACCEPTABLE AS AN EMERGENCY ESCAPE AND RESCUE OPENING.

SAFETY GLAZING HAZARDOUS LOCATIONS NOTES - CRC 2022

PER CRC 2022 §R308.4 THE FOLLOWING HAZARDOUS LOCATIONS REQUIRE SAFETY GI AZING:

1. §R308.4.1 GLAZING IN DOORS - EXCEPT DECORATIVE GLAZING OR SMALL OPENINGS THAT PREVENT THE PASSAGE OF A 3" Ø SPHERE

2. §R308.4.2 GLAZING ADJACENT TO DOORS - WHERE BOTTOM EDGE OF GLAZING IS < 60" ABOVE THE WALKING SURFACE AND THE NEAREST VERTICAL EDGE OF THE GLAZING IS < 24" HORIZONTALLY FROM DOOR JAMBS. - EXCEPTIONS: - DECORATIVE GLAZING; WHERE A WALL IS LOCATED BETWEEN THE DOOR & GLAZING; THE DOOR ACCESSES A CLOSET OR STORAGE ROOM ≤ 3' IN DEPTH; GLAZING THAT IS ADJACENT TO THE FIXED PANEL OF PATIO DOORS

3. §R308.4.3 GLAZING IN WINDOWS - GLAZING THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
- EXPOSED AREA OF AN INDIVIDUAL PANE > 9 SQ.FT.
- BOTTOM EDGE OF GLAZING < 18" ABOVE FLOOR
- TOP EDGE OF GLAZING > 36" ABOVE FLOOR
- ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY FROM THE GLAZING PLANE.
- EXCEPTIONS: - DECORATIVE GLAZING OR GLAZING PROTECTED BY A GUARDRAIL PER THE SPECIFICS OF THIS CODE SECTION - SEE CODE SECTION FOR PARAMETERS 4. §R308.4.4 GLAZING IN GUARDS AND RAILINGS

5. §R308.4.5 GLAZING AT WET SURFACES - GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS & POOLS, WHERE THE BOTTOM EDGE OF THE GLAZING IS < 60" ABOVE THE WALKING SURFACE - EXCEPT GLAZING MEASURED > 60" HORIZONTALLY FROM THE EDGE OF THE WET SURFACE

6. §R308.4.6 GLAZING ADJACENT TO STAIRS & RAMPS - WHERE THE BOTTOM EDGE OF THE GLAZING IS < 36" ABOVE THE PLANE OF THE WALKING SURFACE OF STAIRWAYS, LANDINGS & RAMPS - EXCEPTIONS: - WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE (SEE SECTION FOR PARAMETERS) - GLAZING > 36" HORIZONTALLY AWAY FROM THE EDGE OF THE WALKING SURFACE

7. \$R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING - WHERE THE GLAZING IS < 36" ABOVE THE LANDING & < 60" HORIZONTALLY FROM THE BOTTOM TREAD NOSING - EXCEPTIONS: - WHERE GLAZING IS PROTECTED BY GUARDRAIL COMPLYING WITH \$R312 AND GUARDRAIL IS > 18" HORIZONTALLY FROM THE PLANE OF GLAZING

GENERAL NOTES:

I. AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT". ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.

2. ALL CONSTRUCTION SHALL CONFORM TO CURRENT STATE & LOCAL CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

B. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK

4. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.

5. CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS

6. CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT. 7. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE

3. DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE

9. ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED 10. CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE

VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC. 11. IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT

12. WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED.

13. DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.

VERIFY DIMENSIONS AND ORIENTATION ON PLAN. 15. "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED

14. "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED.

16. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.

18. ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED. 19. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S

20. LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED OR LAMINATE GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR.

GENERAL CONSTRUCTION NOTES

. CONTRACTOR SHALL VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. MEASUREMENTS SHALL NOT BE TAKEN OFF SCALE DRAWINGS, NOTED DIMENSIONS TAKE PRECEDENCE. ALL CONFLICTS WITH CONDITIONS IN THE FIELD SHALL BE DISCUSSED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.

3. GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH

ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.O.N.

4. CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE

REPLACED OR REPAIRED AT NO ADDITIONAL COST. 5. CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.

6. ALL BLOCKING AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE 7. ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE, U.O.N.

8. ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE

9. ALL NON FIRE-RATED INTERIOR DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"

10. ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT 11. CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK

12. INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CGBSC2022 §4.303. CONTRACTOR SHALL REPLACE ALL NONCOMPLIANT FIXTURES IN PROJECT AREA. 13. WHERE (N) STRUCTURAL WORK REQUIRES THE OPENING OF (E) WALLS PARALLEL TO & WITHIN 3'-O" OF PROPERTY LINE APPLY (N) 5/8" TYPE-X GYP. BD. AT INSIDE FACE OF

14. ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

15. SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES. 16. ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY

VENTILATED PER APPLICABLE CODE. U.O.N. 17. PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.

GEOTECHNICAL OBSERVATION NOTES

EARTHWORK, UTILITY TRENCH BACKFILLING, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION, HELICAL PIER INSTALLATION, FOUNDATION AND SLAB CONSTRUCTION, RETAINING WALL DRAINAGE AND BACKFILLING, AND SITE PROPERTY OF THE PROPER PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK OR FOUNDATION CONSTRUCTION, AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION, AS RECOMMENDED IN THE GEOTECHNICAL REPORT. GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST 5
DAYS PRIOR TO EARTHWORK, BASEMENT AND TRENCH BACKFILL AND SUBGRADE
PREPERATION WORK TO ALLOW TIME FOR SAMPLING OF ON-SITE SOIL AND LABORATORY
COMPACTION CURVE TESTING TO BE PERFORMED PRIOR TO ON-SITE COMPACTION DENSITY TESTING.

GUARDRAIL & HANDRAIL NOTES - CRC 2022

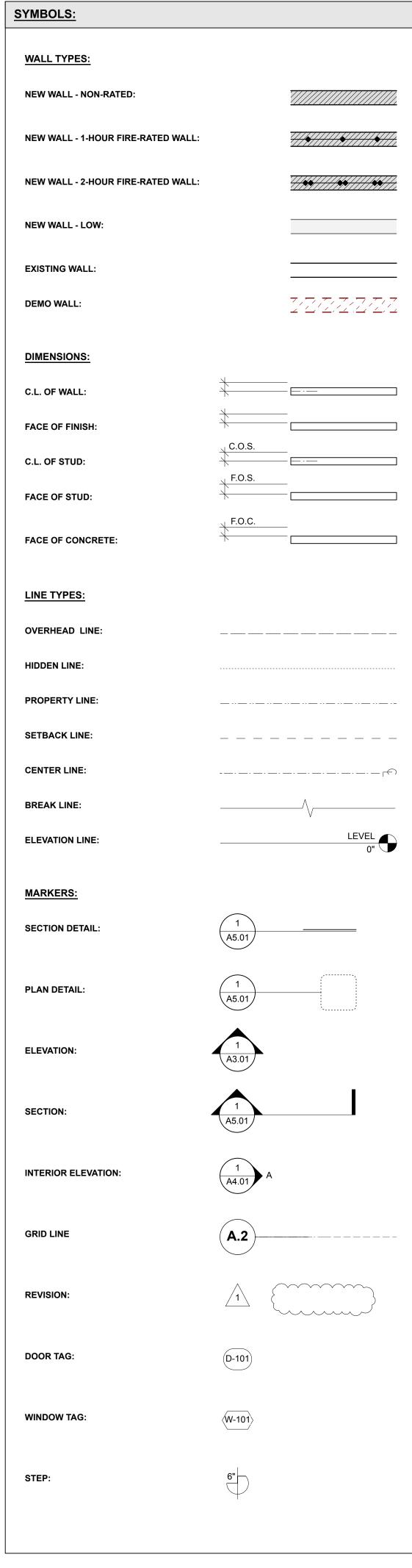
1. U.O.N. HANDRAILS SHALL BE 'TYPE I' PER CRC 2022 §R311.7.8.5.

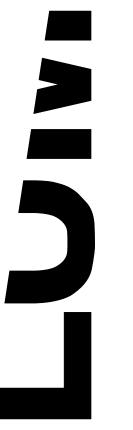
2. 'TYPE I' HANDRAIL - W/ CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE Ø MIN 1-1/4" & MAX 2"; ALL OTHER HANDRAILS SHALL HAVE A PERIM. OF MIN. 4" & MAX. 6-1/4", & A MAX. CROSS-SECTIONAL DIM. OF 2-1/4". EDGES SHALL HAVE A MIN. RADIUS OF 0.01".

3. 'TYPE II' HANDRAIL - HANDRAILS W/ A PERIM. > 6 1/4" SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN MAX. 3/4" MEASURED VERTICAL FROM THE TALLEST POINT OF THE PROFILE AND ACHIEVE A MIN. 5/16" DEPTH W/IN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQD. DEPTH SHALL CONTINUE FOR MIN. 3/8" TO A LEVEL THAT IS MIN. 1-3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE MIN. 1-1/4" & MAX. 2-3/4". EDGES SHALL HAVE A MIN.

4. U.O.N. GUARDRAILS SHALL HAVE NO OPENING THAT ALLOWS THE PASSAGE OF A 4" Ø SPHERE PER CRC 2022 §R312.1.3

BBREVIATIONS:			SYMBOLS:
			31
È L	CENTER LINE PROPERTY LINE		WALL TYPE
	AND AT DIAMETER NUMBER		NEW WALL -
E) D)	SUB-SECTION EXISTING DEMOLISH		NEW WALL -
N) R) ABV.	NEW REPLACE ABOVE		NEW WALL -
ADJ. A.F.F. ALUM. ARCH. ASPH.	ADJACENT ABOVE FINISH FLOOR ALUMINUM ARCHITECTURE		NEW WALL -
BD. BASE BD.	ASPHALT BOARD BASE BOARD		EXISTING W
BLDG. BLK. BLKG. BOT. BM.	BUILDING BLOCK BLOCKING BOTTOM		DEMO WALL
B.U. CLG. CNTL	BEAM BUILT-UP CEILING		DIMENSION
CONT. CTR. CLR. C.L.	CONTROL CONTINUOUS CENTER CLEAR		C.L. OF WAL
DBL. D.F.	CENTER LINE DOUBLE DOUGLAS FIR		FACE OF FIN
DIM. DN. D.P. D.S.	DIMENSION DOWN DOUBLE POLE DOWN SPOUT		C.L. OF STU
OWG. E A	DRAWING EAST EACH		FACE OF ST
EL. OR ELEV. ELEC. EQ. EXP.	ELEVATION ELECTRICAL EQUAL EXPOSED		FACE OF CO
EXT. F.A.U. FDN.	EXTERIOR FORCED-AIR-UNIT FOUNDATION		
.F. .F.E. IN. .O.C.	FINISHED FLOOR FINISHED FLOOR ELEVATION FINISH FACE OF CONCRETE		LINE TYPES
:O.S. :O.P. :P. :URN.	FACE OF STUD FACE OF PLYWOOD FIRE PLACE		OVERHEAD HIDDEN LINE
GA. GALV. GND.	FURNACE GAUGE GALVANIZED		PROPERTY I
G.S.M. Gyp. Bd.	GROUND GALVANIZED SHEET METAL GYPSUM BOARD		SETBACK LI
I.C. IDR. IDWD. IGT.	HOLLOW CORE HEADER HARD WOOD HEIGHT		CENTER LIN
I.V.A.C. D. NSUL.	HEATING, VENTILATION, AIR CONDITIONING INSIDE DIMENSION INSULATION		BREAK LINE
NT. ST.	INTERIOR JOIST		ELEVATION
MAX. M.C. Mech. Memb.	MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE		MARKERS:
MFR. MIN. MTL.	MANUFACTURER MINIMUM METAL		SECTION DE
I I.I.C. IO. D/	NORTH NOT IN CONTRACT NUMBER OVER		
D.C. DFCI DPNG. D.D.	ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OPENING OUTSIDE DIMENSION		PLAN DETAI
P.C. PL. PLYWD. P.T.	PLUMBING CHASE PLATE PLYWOOD		ELEVATION:
T. PTD.	PRESSURE TREATED POINT PAINTED		
RET. AIR RM. RD.WD. R.W.L.	RADIUS RETURN AIR ROOM REDWOOD RAIN WATER LEADER		SECTION:
S.S.D. SASM SQ. FT.	SOUTH SEE STRUCTURAL DRAWINGS SELF-ADHERED SHEET MEMBRANE		INTERIOR EL
SHT. SHTG. SIM.	SQUARE FOOT SHEET SHEATHING SIMILAR		
S.P. SQ. S.ST. ST.	SINGLE POLE SQUARE STAINLESS STEEL STEEL		GRID LINE
RTD. GUP. AIR '&G	STANDARD SUPPLY AIR TONGUE AND GROOVE		REVISION:
:B.D. :HK. :O.P. :O.S.	TO BE DETERMINED THICK TOP OF PLATE TOP OF SLAB		
O.F.F. O.W. I.P. I.R.	TOP OF FINISHED FLOOR TOP OF WALL TOILET PAPER HOLDER TOWEL RACK		DOOR TAG:
YP. J.O.N.	TYPICAL UNLESS OTHERWISE NOTED		WINDOW TA
/AR. /.D.C. /ERT. /.I.F.	VARIES VERIFY DURING CONSTRUCTION VERTICAL VERIFY IN FIELD		
v V V/ V.C.	WEST WITH WATER CLOSET		STEP:
VD. V.P. V.H.	WATER CLOSET WOOD WATER PROOF WATER HEATER		





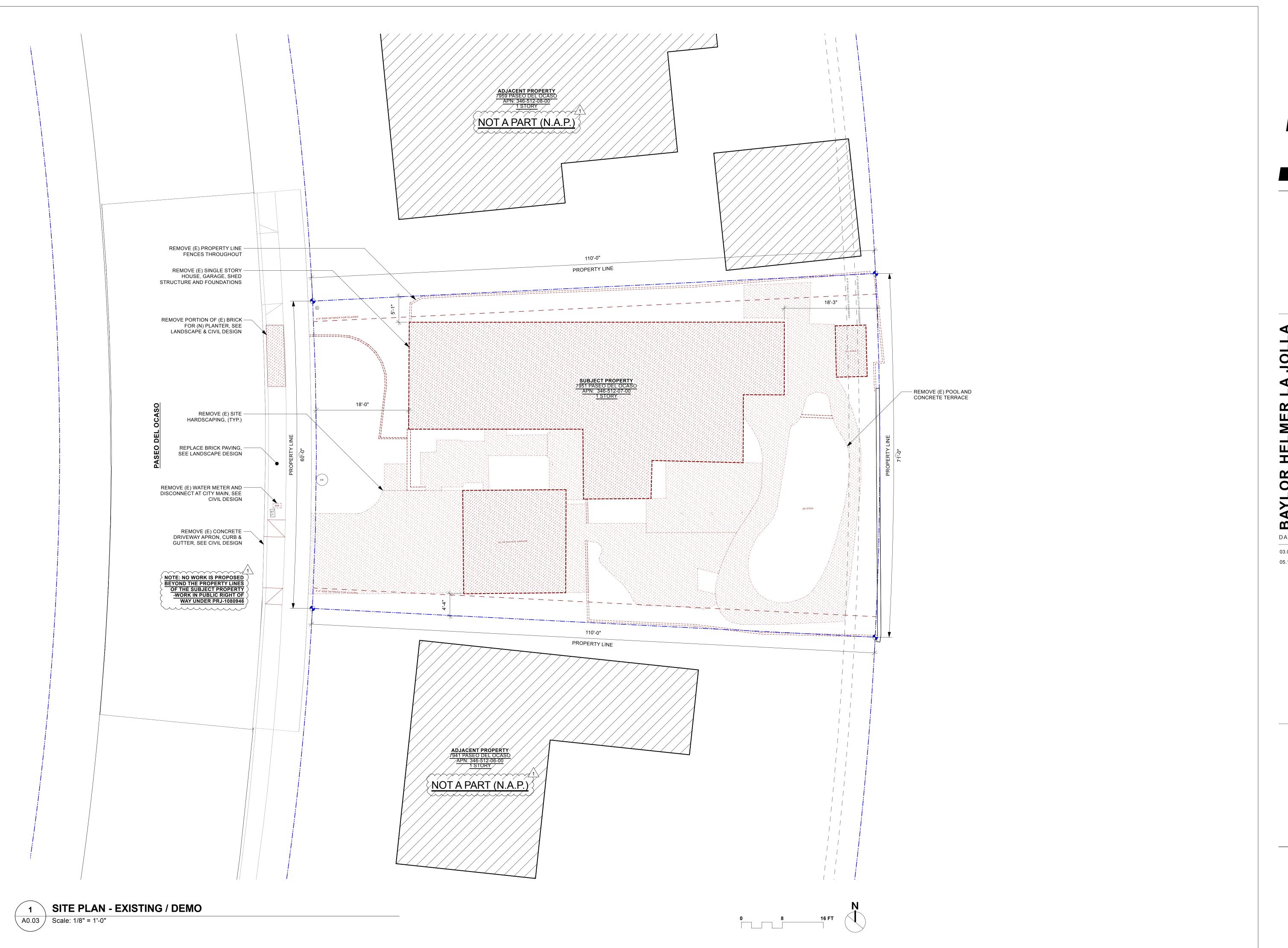
DATE: ISSUES / REVISIONS: BY:

03.07.25 substantial conformance review

05.19.25 SCR revision 1

DEPARTMENT STAMPS:

GENERAL NOTES





DATE: ISSUES / REVISIONS: BY:

03.07.25 substantial conformance review rm

05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

SITE PLAN (E/D)

A0.03



05.19.25

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DATE:	ISSUES / REVISIONS:	BY:
03.07.25	substantial conformance review	rm
05.19.25	SCR revision 1	rm

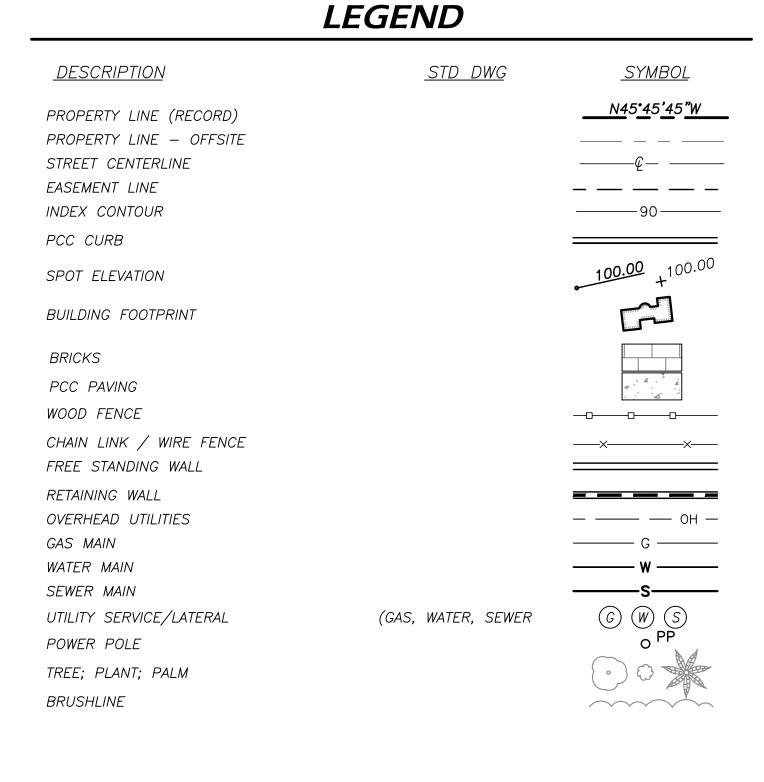
DEPARTMENT STAMPS:

SITE PLANS (P)



3/7/2025

5/19/2025



ABBREVIATIONS

ASPHALTIC CONCRETE ASBESTOS CEMENT IRRIGATION CONTROL VALVE PLANTER PAVEMENT SEWER CLEANOUT GRADE AT BOTTOM OF WALL STREET LIGHT TOP OF WALL ELEVATION CENTER LINE TYPICAL CONCRETE CC&R ELEV WATER METER CONDITIONS, COVENANTS & RESTRICTIONS ELEVATION FLOW LINE

NOTES

- 1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- 2. THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC
- 3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

SITE

VICINITY MAP

NO SCALE

THOMAS BROS. MAP 1227-H4

GAS METER

BENCHMARK

SEBP AT THE INTERSECTION OF PASEO DEL OCASO AND CALLE DE LA PLATA

ELEV = 35.851 MSL, NGVD 29, CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, 2011

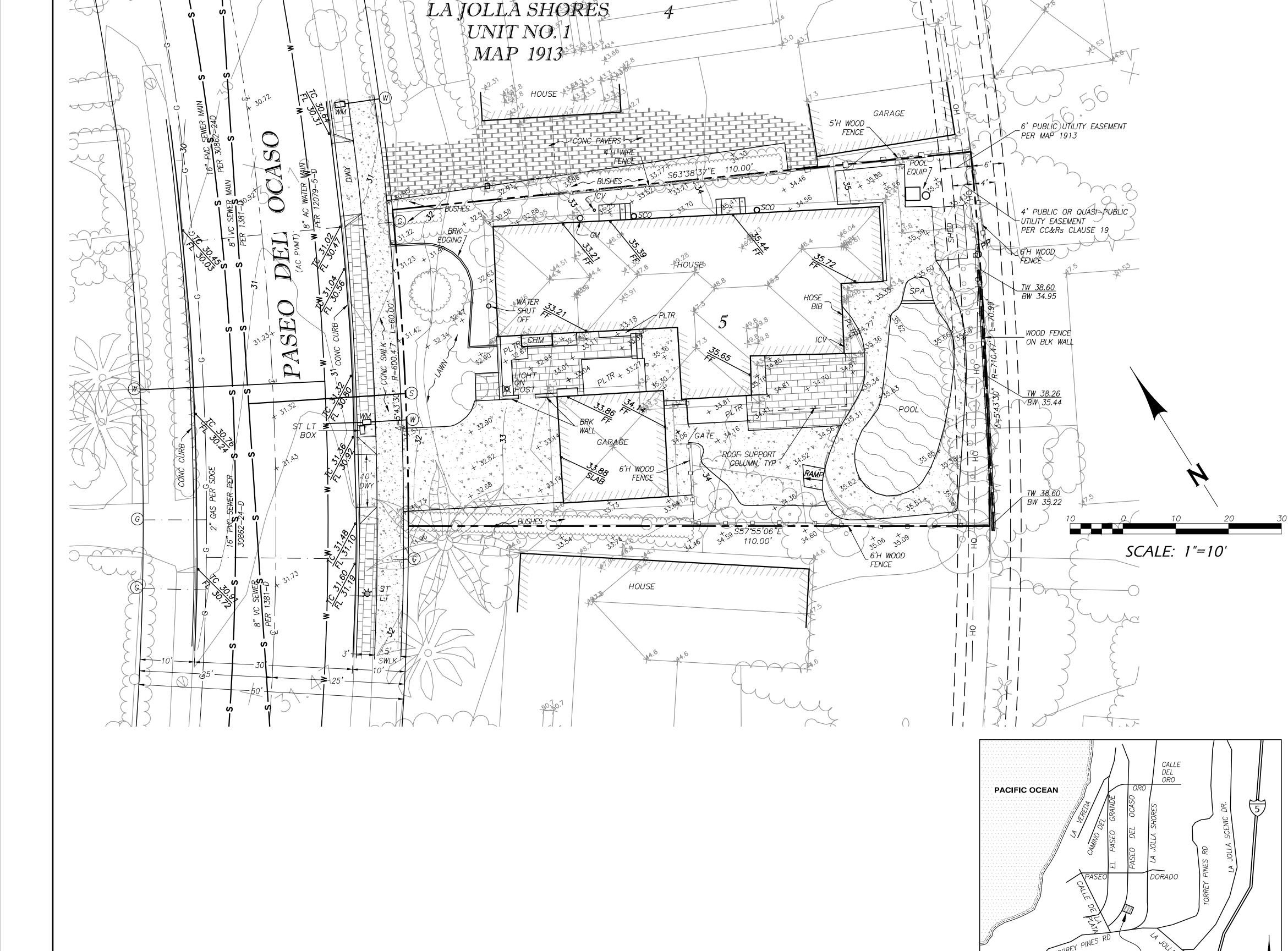


CITY OF SAN DIEGO, CALIFORNIA COASTAL DEVELOPMENT PERMIT/SDP BAYLOR RESIDENCE 7951 Paseo Del Ocaso La Jolla CA 92037

TOPOGRAPHIC SURVEY

GC, MK JC

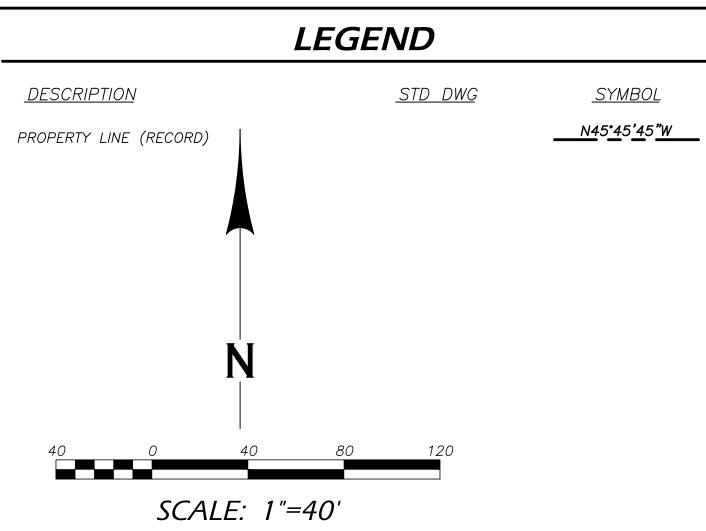
SHEET 1 OF



EASEMENTS

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, TITLE NO. 73718010234-PM, DATED NOVEMBER 15, 2018. SAID REPORT INDICATES AN EASEMENT PRESENT AFFECTING THE SUBJECT PROPERTY AS DESCRIBED IN THE CC&Rs CLAUSE 19 AND SHOWN ON THIS PLAN.



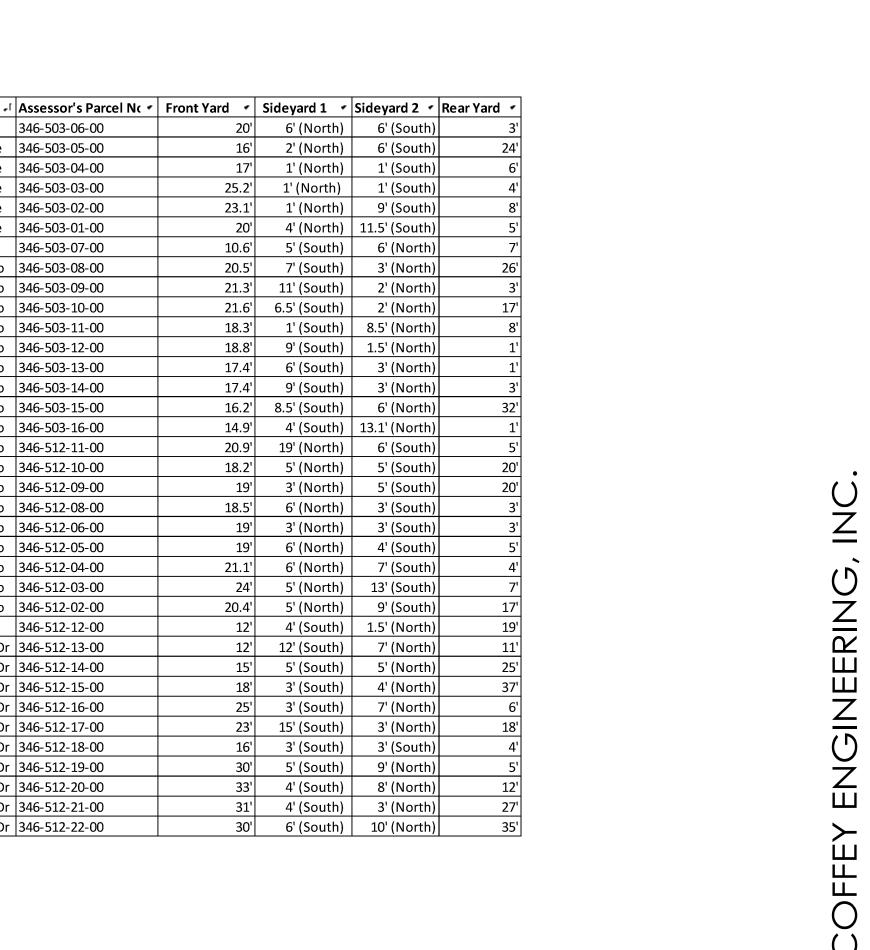


300' Radius Parcel Information (La Jolla, CA 92037)

Site Address	Assessor's Parcel No.	Lot No.	Living Area (SF)	Assumed Garage Area (SF)	Total Floor Area (SF)	Lot Area (SF)	Lot Area (AC)	FAR Ratio
2105 Paseo Dorado	346-503-06-00	1	2,362	400	2,762	6,480	0.15	0.426
7935 El Paseo Grande	346-503-05-00	2	1,538	200	1,738	6,240	0.14	0.279
7927 El Paseo Grande	346-503-04-00	3	1,317	400	1,717	6,321	0.15	0.272
7921 El Paseo Grande	346-503-03-00	4	1,908	400	2,308	6,335	0.15	0.364
7911 El Paseo Grande	346-503-02-00	5	3,283	400	3,683	6,643	0.15	0.554
7905 El Paseo Grande	346-503-01-00	6	2,751	400	3,151	9,639	0.22	0.327
2115 Paseo Dorado	346-503-07-00	16	2,277	400	2,677	5,232	0.12	0.512
7974 Paseo Del Ocaso	346-503-08-00	15	1,547	400	1,947	5,493	0.13	0.354
7964 Paseo Del Ocaso	346-503-09-00	14	1,451	400	1,851	5,395	0.12	0.343
7956 Paseo Del Ocaso	346-503-10-00	13	2,032	400	2,432	5,322	0.15	0.457
7946 Paseo Del Ocaso	346-503-11-00	12	1,714	0	1,714	5,264	0.12	0.326
7936 Paseo Del Ocaso	346-503-12-00	11	1,322	200	1,522	5,047	0.12	0.302
7926 Paseo Del Ocaso	346-503-13-00	10	1,905	400	2,305	5,098	0.12	0.452
7916 Paseo Del Ocaso	346-503-14-00	9	2,688	400	3,088	5,303	0.12	0.582
7906 Paseo Del Ocaso	346-503-15-00	8	1,298	400	1,698	4,984	0.11	0.341
7902 Paseo Del Ocaso	346-503-16-00	7	2,676	400	3,076	5,900	0.14	0.521
7985 Paseo Del Ocaso	346-512-11-00	1	1,680	400	2,080	8,175	0.19	0.254
7975 Paseo Del Ocaso	346-512-10-00	2	1,986	400	2,386	7,307	0.17	0.327
7967 Paseo Del Ocaso	346-512-09-00	3	1,971	400	2,371	7,419	0.17	0.320
7959 Paseo Del Ocaso	346-512-08-00	4	2,192	200	2,392	7,697	0.18	0.311
7941 Paseo Del Ocaso	346-512-06-00	6	1,515	400	1,915	7,646	0.18	0.250
7931 Paseo Del Ocaso	346-512-05-00	7	2,542	400	2,942	7,303	0.17	0.403
7921 Paseo Del Ocaso	346-512-04-00	8	2,258	200	2,458	7,399	0.17	0.332
7911 Paseo Del Ocaso	346-512-03-00	9	1,256	400	1,656	7,246	0.17	0.229
7905 Paseo Del Ocaso	346-512-02-00	10	1,856	400	2,256	7,293	0.17	0.309
2145 Paseo Dorado	346-512-12-00	24	1,901	400	2,301	7,605	0.17	0.303
7972 La Jolla Shores Dr	346-512-13-00	23	2,112	400	2,512	7,246	0.17	0.347
7964 La Jolla Shores Dr	346-512-14-00	22	2,470	400	2,870	7,201	0.17	0.399
7958 La Jolla Shores Dr	346-512-15-00	21	2,601	400	3,001	7,449	0.17	0.403
7950 La Jolla Shores Dr	346-512-16-00	20	1,169	200	1,369	6,960	0.16	0.197
7944 La Jolla Shores Dr	346-512-17-00	19	1,437	400	1,837	7,200	0.17	0.255
7940 La Jolla Shores Dr	346-512-18-00	18	2,673	400	3,073	7,204	0.17	0.427
7934 La Jolla Shores Dr	346-512-19-00	17	2,161	400	2,561	7,238	0.17	0.354
7928 La Jolla Shores Dr	346-512-20-00	16	1,631	0	1,631	7,505	0.17	0.217
7924 La Jolla Shores Dr	346-512-21-00	15	1,260	400	1,660	7,585	0.17	0.219
7920 La Jolla Shores Dr	346-512-22-00	14	1,943	200	2,143	7,745	0.18	0.277

ENGINEERING

CITY OF SAN DIEGO, CALIFORNIA					
COASTAL DEVELOPMENT PERMIT/SDP					
			ORIGINAL		
BAYLOR RESIDE	NCF		3/7/2025		
BITTESTALESIDE		5/19/2025			
		SNC			
7951 Paseo Del Oc		REVISIONS			
La Jolla CA 9203	77	REI			
200/ 04 04/6 54	_		<i>C</i> 1		
300' RADIUS - FA	C. 1				
DRAWN BY: GC, MK	SHEET 2	7	OF 4		
CHECKED BY: IC		_			



CITY OF SAN DIEGO, CALIFORNIA

COASTAL DEVELOPMENT PERMIT/SDP

3/7/2025

5/19/2025

SHEET 3 OF

BAYLOR RESIDENCE

7951 Paseo Del Ocaso

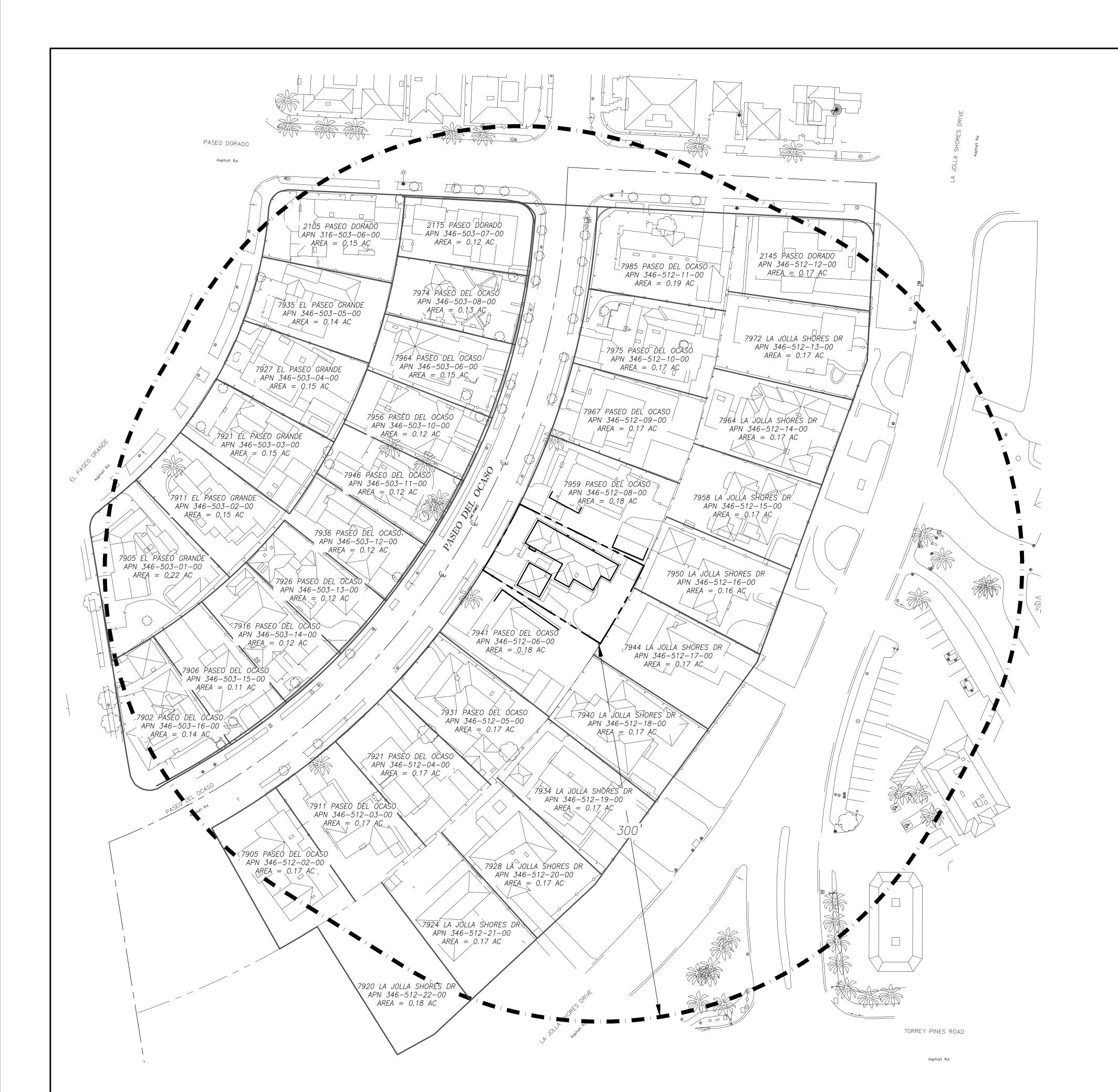
La Jolla CA 92037

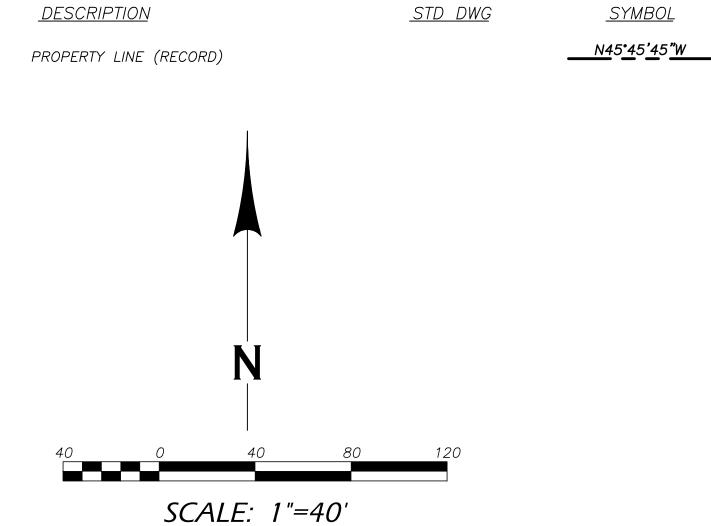
300' RADIUS - SETBACK

GC, MK

TOKED BY: **JC**

<u>SYMBOL</u>

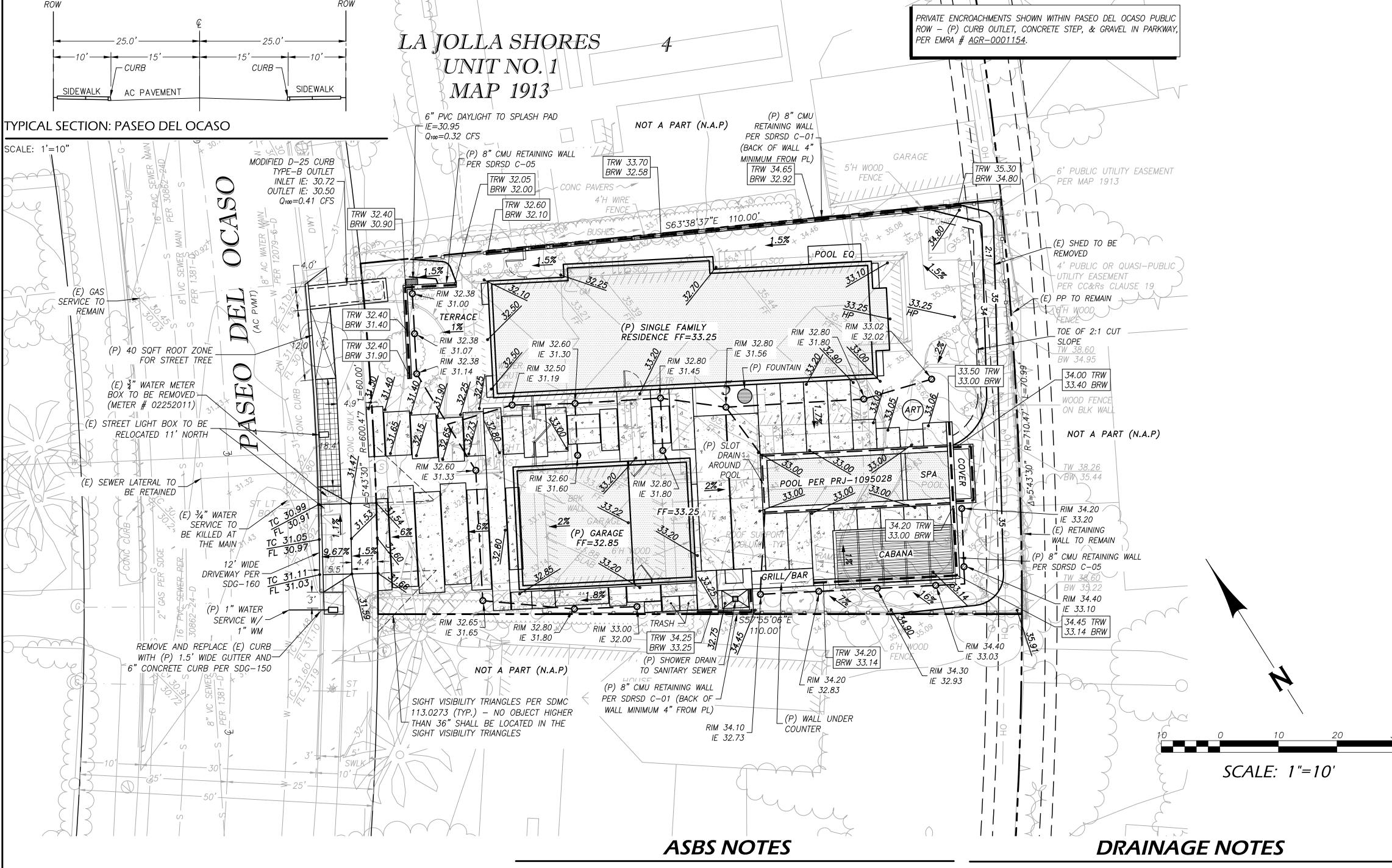




LEGEND

Site Address -	Assessor's Parcel No 🕶	Front Yard 💌	Sideyard 1 🕝	Sideyard 2 🕝	Rear Yard 🕝
2105 Paseo Dorado	346-503-06-00	20'	6' (North)	6' (South)	3'
7935 El Paseo Grande	346-503-05-00	16'	2' (North)	6' (South)	24'
7927 El Paseo Grande	346-503-04-00	17'	1' (North)	1' (South)	6'
7921 El Paseo Grande	346-503-03-00	25.2'	1' (North)	1' (South)	4'
7911 El Paseo Grande	346-503-02-00	23.1'	1' (North)	9' (South)	8'
7905 El Paseo Grande	346-503-01-00	20'	4' (North)	11.5' (South)	5'
2115 Paseo Dorado	346-503-07-00	10.6'	5' (South)	6' (North)	7'
7974 Paseo Del Ocaso	346-503-08-00	20.5'	7' (South)	3' (North)	26'
7964 Paseo Del Ocaso	346-503-09-00	21.3'	11' (South)	2' (North)	3'
7956 Paseo Del Ocaso	346-503-10-00	21.6'	6.5' (South)	2' (North)	17'
7946 Paseo Del Ocaso	346-503-11-00	18.3'	1' (South)	8.5' (North)	8'
7936 Paseo Del Ocaso	346-503-12-00	18.8'	9' (South)	1.5' (North)	1'
7926 Paseo Del Ocaso	346-503-13-00	17.4'	6' (South)	3' (North)	1'
7916 Paseo Del Ocaso	346-503-14-00	17.4'	9' (South)	3' (North)	3'
7906 Paseo Del Ocaso	346-503-15-00	16.2'	8.5' (South)	6' (North)	32'
7902 Paseo Del Ocaso	346-503-16-00	14.9'	4' (South)	13.1' (North)	1'
7985 Paseo Del Ocaso	346-512-11-00	20.9'	19' (North)	6' (South)	5'
7975 Paseo Del Ocaso	346-512-10-00	18.2'	5' (North)	5' (South)	20'
7967 Paseo Del Ocaso	346-512-09-00	19'	3' (North)	5' (South)	20'
7959 Paseo Del Ocaso	346-512-08-00	18.5'	6' (North)	3' (South)	3'
7941 Paseo Del Ocaso	346-512-06-00	19'	3' (North)	3' (South)	3'
7931 Paseo Del Ocaso	346-512-05-00	19'	6' (North)	4' (South)	5'
7921 Paseo Del Ocaso	346-512-04-00	21.1'	6' (North)	7' (South)	4'
7911 Paseo Del Ocaso	346-512-03-00	24'	5' (North)	13' (South)	7'
7905 Paseo Del Ocaso	346-512-02-00	20.4'	5' (North)	9' (South)	17'
2145 Paseo Dorado	346-512-12-00	12'	4' (South)	1.5' (North)	19'
7972 La Jolla Shores Dr	346-512-13-00	12'	12' (South)	7' (North)	11'
7964 La Jolla Shores Dr	346-512-14-00	15'	5' (South)	5' (North)	25'
7958 La Jolla Shores Dr	346-512-15-00	18'	3' (South)	4' (North)	37'
7950 La Jolla Shores Dr	346-512-16-00	25'	3' (South)	7' (North)	6'
7944 La Jolla Shores Dr	346-512-17-00	23'	15' (South)	3' (North)	18'
7940 La Jolla Shores Dr	346-512-18-00	16'	3' (South)	3' (South)	4'
7934 La Jolla Shores Dr	346-512-19-00	30'	5' (South)	9' (North)	5'
7928 La Jolla Shores Dr	346-512-20-00	33'	4' (South)	8' (North)	12'
7924 La Jolla Shores Dr	346-512-21-00	31'	4' (South)	3' (North)	27'
7020 L - L-III- Cl	246 542 22 00	201	CL (C L)	101/N1	251

7920 La Jolla Shores Dr | 346-512-22-00



THIS PROJECT HAS BEEN IDENTIFIED AS BEING WITHIN AN AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS) WATERSHED ACCORDING TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB). IN ACCORDANCE WITH RWQCB RESOLUTION NO . 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:

- 1. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB;
- 2. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND
- 3. THE DISCHARGES:
- a. ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;
- b. ARE DESIGNED TO PREVENT SOIL EROSION;
- c. OCCUR ONLY DURING WET WEATHER; AND
- d. ARE COMPOSED OF ONLY STORM WATER RUNOFF.

NON-STORM WATER DISCHARGES (I.E. HYDRO STATIC TESTING, PO TABLE WATER, ETC.) TO ASBS AREAS IS PROHIBITED AS DEFINED IN ORDER NO . R9-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.

EASEMENTS

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, TITLE NO. 73718010234-PM, DATED NOVEMBER 15, 2018, AND ARE DESCRIBED AS SUCH:

- SAN DIEGO FOR ALL PIPES, POLES, OR OTHER STRUCTURES, OR WORK, TREES, AND ANYTHING OF WHATEVER NATURE THAT MAY BE IN, UPON, ACROSS, OR OVER THE EASEMENT.
- 2. SAID REPORT INDICATES A 4' WIDE QUASI-UTILITY EASEMENT PRESENT AFFECTING THE SUBJECT PROPERTY AS DESCRIBED IN THE CC&Rs CLAUSE 19 AND SHOWN ON THIS PLAN.

• REPORT OF PRELIMINARY GEOTECHNICAL INVESTIGATION, DATED OCTOBER 8, 2019

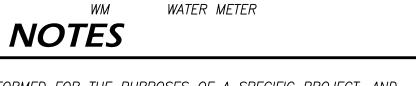
-BY GEOTECHNICAL EXPLORATION, INC. JOB NO. (19-12193)

LEGEND

<u>DESCRIPTION</u>	<u>STD DWG</u>	<u>SYMBOL</u>
PROPERTY LINE (RECORD)		<u>N45°45'45"W</u>
PROPERTY LINE - OFFSITE		
STREET CENTERLINE		——————————————————————————————————————
EASEMENT LINE		
INDEX CONTOUR		90
PCC CURB		
SPOT ELEVATION		<u>100.00</u> +100.00
BUILDING FOOTPRINT		
BRICKS		
PCC PAVING		4 ·
WOOD FENCE		
CHAIN LINK / WIRE FENCE		XX
FREE STANDING WALL		
RETAINING WALL		
OVERHEAD UTILITIES		— — OH —
POWER POLE		o PP
WATER SERVICE		W
SEWER LATERAL		S
TREE; PLANT; PALM		$(\cdot) \circ $
BRUSHLINE		

ABBREVIATIONS

CONC	ASPHALTIC CONCRETE ASBESTOS CEMENT BLOCK BRICK GRADE AT BOTTOM OF WALL CENTER LINE CONCRETE CONDITIONS, COVENANTS & RESTRICTIONS	GM H ICV PLTR PVMT SMH ST LT TW	GAS METER HIGH IRRIGATION CONTROL VALV PLANTER PAVEMENT SEWER CLEANOUT STREET LIGHT TOP OF WALL ELEVATION
		TW TYP	TOP OF WALL ELEVATION TYPICAL
FL	FLOW LINE	WM	WATER METER



- 1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.
- 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- 4. ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER
- 5. SITE PLAN ACCURATELY DISPLAYS ALL POTENTIAL EASEMENT AND PUBLIC ROW ENCROACHMENTS RELATED TO THIS PROJECT.

LEGAL DESCRIPTION

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

BENCHMARK

SEBP AT THE INTERSECTION OF PASEO DEL OCASO AND CALLE DE LA PLATA

ELEV = 35.851 MSL, NGVD 29, CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, 2011



CITY OF SAN DIEGO, CALIFORN	IIA					
COASTAL DEVELOPMENT PERMIT/SDP						
	ORIGINAL					
BAYLOR RESIDENCE	3/7/2025					
	5/19/2025					
	SNC					
7951 Paseo Del Ocaso	NSI/					
La Jolla CA 92037	REI					
	1					

DRAINAGE PLAN

GC, MK

JC

SHEET 4 OF

GRADING TABULATIONS

PRJ-1080946.

LOT AREA

PANELS, ETC.

RETAINING/CRIB WALLS: LENGTH <u>185</u> FEET

TOTAL DISTURBANCE AREA

EXISTING IMPERVIOUS AREA

TOTAL PROPOSED IMPERVIOUS AREA

TOTAL PROPOSED PERVIOUS AREA

% DECREASE IN IMPERVIOUS AREA

EXISTING PERVIOUS AREA

TOTAL AMOUNT OF SITE TO BE GRADED: 0.157 ACRES AMOUNT OF CUT: 225 CUBIC YARDS AMOUNT OF FILL: 10 CUBIC YARDS MAXIMUM HEIGHT OF FILL SLOPE(S): _0 FEET

PUBLIC IMPROVEMENTS ARE PART OF THE ROW PERMIT UNDER

AREA TABULATIONS

* IMPERVIOUS AREA NOTE: IMPERVIOUS AREAS MAY INCLUDE

ROOFTOP, CONCRETE PAVEMENT, DECK, BRICK, SOLAR

CATEGORY

% OF TOTAL SITE: <u>95%</u> MAXIMUM DEPTH OF CUT: 2.5 FEET MAXIMUM DEPTH OF FILL: 0.5 FEET SLOPE RATIO: 0 SLOPE RATIO: 2:1 MAXIMUM HEIGHT OF CUT SLOPE(S): 2.5 FEET AMOUNT OF IMPORT/ EXPORT SOIL: 215 CUBIC YARDS

MAXIMUM HEIGHT: <u>2</u> FEET

 * tabulations are for permit purposes only. The contractor is responsible for doing their own quantity take offs.

AREA (SF)

7,205

7,205

4,696

2,509

4,251

2,954

6.2%

1. 6' WIDE UTILITY EASEMENT ALONG EASTERLY (REAR) PROPERTY LINE TO CITY OF

GRADING NOTES 1. ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED TOWARD THE

STREET. 2. PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.010, 129.0104(A)(4), AND 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE

1. ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.

2. ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.

4. SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND

6. NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING

3. HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.

5. SOIL COVER ABOVE DRAIN LINES SHALL BE 12" MINIMUM UNLESS OTHERWISE NOTED.

2% MINIMUM AWAY FROM STRUCTURE.

CONSTRUCTION.

COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT. 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM

WATER STANDARDS. 4. ALL STORM WATER RUNOFF FROM THE PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN

5. NO WORK WILL BE PERFORMED OUTSIDE OF THE PROPERTY LIMITS WITHIN ADJACENT PROPERTIES.

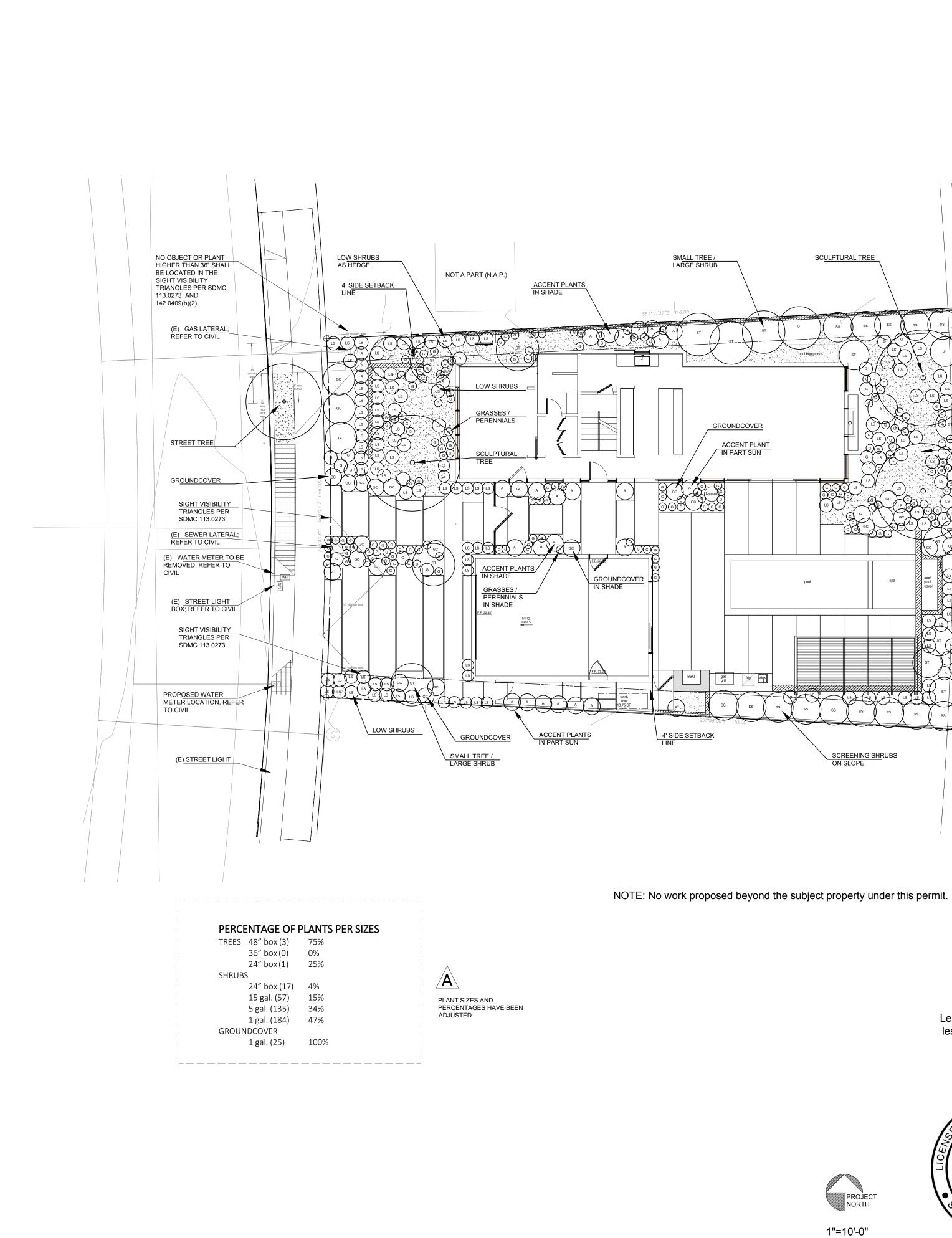
REFERENCE DOCUMENTS

• UPDATE TO REPORT OF PRELIMINARY GEOTECHNICAL INVESTIGATION, DATED OCTOBER 5, 2020 • UPDATE TO GEOTECHNICAL REPORT, DATED NOVEMBER 30, 2022

PLANTING SCHEDULE

ADDITIONAL PLANT SPECIES ARE OUTLINED WITH DASHED

sym small street tree	botanical name	common name	size 24" b	min. qty 1	notes
	Arbutus unedo	Strawberry madrone			Slow-moderate growth to 20' h/w. WUCOLS = L
•	Lagerstroemia 'Natchez'	Crape myrtle 'Natchez'			Street tree on Paseo de Ocaso WUCOLS = M
sculptural tree ("T")	Arbutus 'Marina'	Marina	48" b	3	Slow-moderate growth to 40' h
		madrone			25' w. WUCOLS = L
(T)	Metrosideros excelsa	New Zealand Christmas tree			Moderate growth to 25' h. x 20' w. WUCOLS = M
	Olea europaea 'Fruitless'	Fruitless olive			Slow-moderate growth to 30' h/w, trim to shape. WUCOLS = L
small tree ("ST")	Arbutus unedo	Strawberry tree	24" b	17	Slow-moderate growth to 10-20
ST	Arctostaphylos	Dr. Hurd tree			h./w. WUCOLS = L Moderate growth to 12' h x 10'
	'Dr. Hurd'	manzanita			w. WUCOLS = L
	Grevillea 'Moonlight'	Moonlight grevillea			Fast growth to 8-12' h. x 6-8' w. WUCOLS = L
	Leptospermum laevigatum	Australian tea tree			Moderate growth to 15' h/w. WUCOLS = L
	Erythrina x bidwillii	Shrub coral tree			Fast growth to + 8' h./w. Deciduous. WUCOLS = L
accent shade ("A")		lananasa manla	 15 g.	28	
A	Acer palmatum	Japanese maple			Moderate growth to 20' h x 15' w. WUCOLS = M
	Cercis can. 'Texas White'	Texas white redbud			Moderate growth to 15' h x 10' w. WUCOLS = M
	Rhapis excelsa	Slender lady palm			Moderate growth to 6-12' h./w. WUCOLS = M
	Cordyline stricta	Slender palm			Moderate growth to 6-8' h. x 3-
	Fuchsia	lily Gartenmeister			4' w. WUCOLS = M Moderate growth to 3' h./w.
	'Gartenmeister Bonstedt'	fuchsia			Evergreen. WUCOLS = M
screening ("SS")	A7070	Boxleaf azara	15 g.	29	Fact growth to 20' h v 9' w
	Azara microphylla	BOXIEAI AZATA			Fast growth to 20' h x 8' w. WUCOLS = M
ss	Elaeocarpus decipiens	Japanese blueberry			Moderate-fast growth to 30' h x 15' w. WUCOLS = M
	Laurus nobilis	Sweet bay laurel			Slow-moderate growth to 20' h 15' w. WUCOLS = L
	Rhamnus alaternus	Italian buckthorn			Moderate-fast growth to 15-20 h. WUCOLS = L
	— — — — — — — Afrocarpus	African fern			Moderate-fast growth to +20' h
	gracilior 	pine 	 5 g.		WUCOLS = M
O O	Acacia cognata 'Cousin Itt'	Little river wattle	<u> </u>	133	Moderate growth to 2-3' h and spreading. WUCOLS = M
LS	Arctostaphylos	lan Bush			Fast growth to 4-5' h/w.
	'lan Bush' Laurus 'Little	manzanita Dwarf bay			WUCOLS = L Moderate growth to 7' h/w.
	Ragu' Mahonia eury.	laurel 'Soft Caress'			Prune as needed. WUCOLS = L Moderate growth to 3' h/w.
	'Soft Caress'	Oregon grape			WUCOLS = unknown
	Olea 'Little Ollie'	Dwarf olive			Moderate growth to 5' h/w. WUCOLS = L
	Rosmarinus 'Lady in White'	White rosemary			Moderate growth to 2' h x 3' w WUCOLS = L
	Ligustrum	Waxleaf privet			Fast growth to 10' h. x 6' w.
	japonicum Buxus japonica	Boxwood			Narrow hedge. WUCOLS = M Moderate growth 3-5' h./w.
	Pittosporum	Dwarf karo			WUCOLS = M Moderate growth to 3-4' h./w.
	crass. 'Nana'				WUCOLS = M
	Rosa sp. 	Rose — — — — — —			Fast growth to 4' h./w. WUCOLS = M
grasses/perennials ("G")			1 g.	184	
G	Lomandra lon. 'Baby Breeze'	Dwarf mat rush			Grows 18" h/w. WUCOLS = L
	Lomandra lon. 'Breeze'	Breeze mat rush			Grows 2-3' h/w. WUCOLS = L
	Lomandra lon. 'Steely Slim'	Steely Slim mat			Grows 1-2' h/w. WUCOLS = L
	Liriope muscari	rusn White lilyturf			Fast growth to 18-24" h./w.
	'Monroe White Asparagus	Foxtail fern			WUCOLS = L Moderate growth to 2-3' h./w.
	'Myers'				WUCOLS = M
	Lavandula 'Grosso' — — — — — — —	French lavender — — — — — —			WUCOLS = L
groundcover			1 g.	25	
(GC)	Arctostaphylos 'Carmel Sur'	Carmel Sur manzanita	<u> </u>	<u> </u>	Moderate growth to 6" h x 6' w WUCOLS = L
	Carex flacca	Blue sedge			Grows 6-10" h/w. WUCOLS = L
	Laurentia fluviatilis	Blue star creeper			Grows to 3" h. WUCOLS = M
	Mentha requenii	Corsican mint			Grows to 3" h. WUCOLS = M
	Thymus serphyllum	Creeping thyme			Grows to 3-6" h. and spreading. WUCOLS = L
	Liriope spicata	Creeping lilyturf			Grows to 1' h. and spreading. WUCOLS = M
	Carissa 'Green Carpet'	Green Carpet natal plum			Grows 1-2' h. x 4-5' w. WUCOLS = L



BAYLOR HELMER LA JOLL

DATE:	ISSUES / REVISIONS:	В
03/06/2025	SCR SUBMISSION	L
05/19/2025	SCR REVISIONS	L

DEPARTMENT STAMPS:

PLANTING PLAN

L1.0



aerea

Leslie A. Ryan, PLA 6225 leslie@aerea-studio.com c. 619.200.8297

PLANTING NOTES

Per the La Jolla Shores Planned District Ordinance and City of San Diego Landscape Regulations

- 1. In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.
- 2. All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence.
- 3. All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.
- 4. The Water Use Classification of Landscape Species (WUCOLS) is included for all plant species. A minimum of 75% of plant species will be climate-adapted requiring little or no summer water and with an average plant factor of 0.3.
- No turf or high-water use plant species are proposed.
- 6. All required planting areas and all exposed soil areas without vegetation shall be covered with
- mulch to a minimum depth of 3 inches, excluding slopes.7. No known invasive species are proposed.
- 8. Plant material, other than trees, located within *visibility areas* or the adjacent *public right-of-way* shall not exceed 36 inches in height.

Street trees

- 1. One (1) street tree is proposed. Curbcuts and clearance for utilities reduce linear feet of street frontage to 30 LF.
- 2. Existing parkway strip is 3.5' wide and surfaced with brick paving. Street tree shall be selected from approved street tree list for parkways between 2'-4' wide. Planting area for street tree shall be 40 SF minimum.
- 3. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above grade of the travel way per San Diego Municipal Code, Section 142.0403(b)(10).
- 4. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. Contractor shall install root barriers adjacent and parallel to edge of paving or site improvement, and not encircling the root ball.

General notes

- 1. All planting operations shall conform to City of San Diego codes and guidelines, and any other applicable local, state, or federal codes and regulations.
- 2. Contractor is to call DigAlert (800 422-4133) and verify locations both above and below ground of existing utilities, pipes, drainlines and structures prior to any excavation or planting work.
- 3. Final finish grades shall insure positive drainage of the site, with all surface drainage directed away from buildings, walls, or other site improvements, and toward drains and inlets or other areas specified to receive and infiltrate drainage.

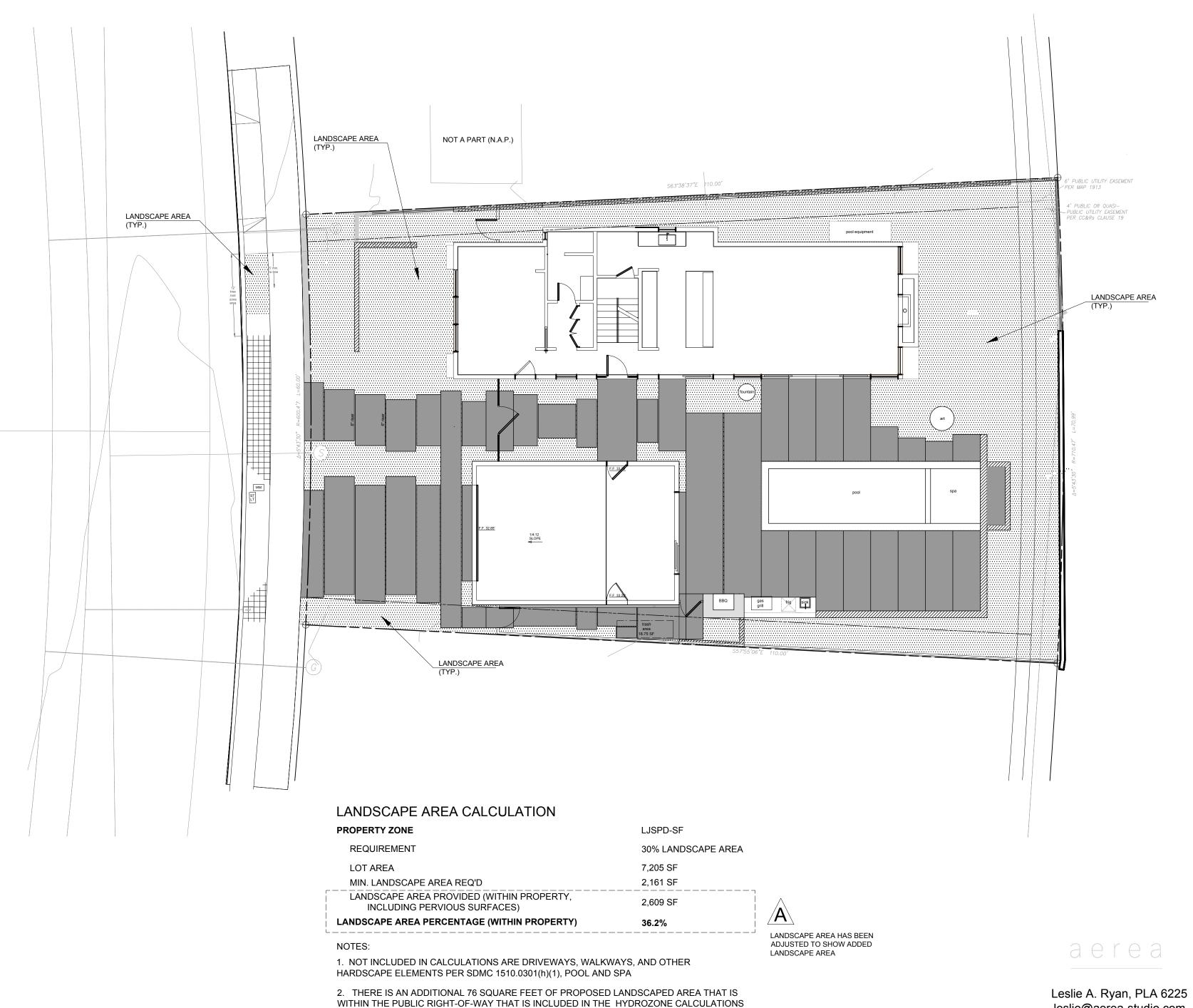
Long Term Maintenance Responsibility

- 1. All required landscape planting and irrigation as shown on these plans shall be maintained by the homeowner, including landscape as shown within the right-of-way.
- All landscape areas shall be maintained in a disease, weed, and litter free condition at all times
- consistent with the City of San Diego landscape regulations and standards.All planting areas will be maintained in a weed and debris free condition.

Minimum Tree Separation

Improvement/Minimum Distance to Street Tree
Traffic Signals (Stop Sign) - 20 Feet
Underground Utility Lines - 5 Feet (10' For Sewer)
Above Ground Utility Structures - 10 Feet
Driveway (Entries) - 10 Feet
Intersections (Intersecting Curb Lines Of Two Streets) - 25 Feet
Fire Hydrant (10' min.)

NOTE: No work proposed beyond the subject property under this permit.



PER SDMC 131.0477 THE REQUIRED FRONT YARD SHALL BE LIMITED TO A MAXIMUM OF 60

1,104 SF

537 SF

PERCENT PAVING AND HARDSCAPE

TOTAL PAVING AND HARDSCAPE

TOTAL AREA OF REQUIRED FRONT YARD

PERCENTAGE OF PAVING AND HARDSCAPE IN FRONT YARD

SAYLOR HELMER LA JOLL

DATE: ISSUES / REVISIONS: BY:
03/06/2025 SCR SUBMISSION LR
05/19/2025 SCR REVISIONS LR

DEPARTMENT STAMPS:

Leslie A. Ryan, PLA 6225 leslie@aerea-studio.com c. 619.200.8297

Signature

9/30/2026

Renewal Date

5/19/2025

Date

OF CALIFORNIA

PROJECT

1"=10'-0"

PLANTING NOTES

L1.1

JOHN LUM ARCHITECT. 3246 17TH ST. SAN FRA T. 415.558.9550



aerea

END OF LOW RETAINING WALL GRAVEL MULCH
WALKING SURFACE/ NOT A PART (N.A.P.) NO OBJECT OR PLANT 6' H. FENCE (WD-1) ON RETAINING WALL (CONC-5) 4' H. FENCE (WD-1) VERTICAL SLATS HIGHER THAN 36" SHALL BE LOCATED IN THE SIGHT VISIBILITY TRIANGLES PER SDMC 113.0273 AND 142.0409(b)(2) (E) GAS LATERAL; REFER TO CIVIL NEW 6' H. FENCE CONTINUES ALONG NEW STREET TREE PLANTER, MIN. 40 SF. PL (WD-1) EX. PARKWAY 3.5' W. W/ GRAVEL (GRAV-1) CMU RETAINING WALL (CONC-4) GRAVEL UNDER POOL EQUIP. PERMEABLE WALKING SURFACE / (GRAV-1) MULCH (GRAV-1) PERMEABLE SURFACE TERRACE (GRAV-1) CONCRETE ENTRY WALK W/ STEPS (CONC-3) RETAINING SEATWALL (CONC-4) NEW BRICK INFILL AT PARKWAY (CONC-6) POOL AND SPA COPING (CONC-1) (E) SEWER LATERAL; REFER TO CIVIL (E) WATER METER BOX REFER TO CIVIL CONCRETE TERRACE W/ 1.5" POOL COVER VAULT (WD-2) GAPS (CONC-3) (E) STREET LIGHT BOX; REFER TO CIVIL EXISTING RETAINING
WALL AND FENCE THIS AREA TO REMAIN TRASH AREA, MIN. 18.75 sf, LOCATE NEW CONCRETE STEEL AND CEDAR WITHIN 6' H. FENCE DRIVEWAY APRON CANTILEVERED PER CIVIL (CONC-2) TRELLIS (WD-3) SDMC 113.0273 FENCE AND GATE (WD-1) NICHE FOR OUTDOOR SHOWER 4<u>' SIDE SETBACK</u> LINE OUTDOOR KITCHEN OUTDOOR KITCHEN WOOD-BURNING BBQ GRILL (KIT-1) CONCRETE
DRIVEWAY W/ 1.5"
GAPS (CONC-2) LOW RETAINING WALL (CONC-5) (E) STREET LIGHT HARDSCAPE FINISH SCHEDULE symbol material CONC-1 CONCRETE POOL COPING INTEGRAL COLOR, TOPCAST #3 FINISH. CONC-2 CONCRETE DRIVEWAY INTEGRAL COLOR, TOPCAST #3 FINISH. CONC-3 CONCRETE STEPS, WALKWAYS, INTEGRAL COLOR, TOPCAST #3 FINISH. + TERRACE CONC-4 SEAT/RETAINING WALLS CMU BLOCK W/ STUCCO TO MATCH ARCH.

CONC-5 CMU RETAINING WALL ON PERIMETER CMU BLOCK W/ STUCCO TO MATCH ARCH.

GRAV-1 GRAVEL WALKING SURFACE / MULCH 'DEL RIO' 3/8" GRAVEL.

EXTERIOR WOOD FENCES + GATES

MATCH EXISTING BRICK

CEDAR PLANKS, SEALED

INTERIOR; WATERLINE TILE

WITH WOOD COVER

COUNTERTOP

CEDAR S4S, STAINED VERTICAL ORIENTATION

POWDER-COATED STEEL POST AND BEAMS WITH S4S CEDAR COVER AND SCREEN

COLORED PLASTER FINISH POOL AND SPA

CMU BASE WITH STONE/STUCCO COVER

STAINLESS STEEL UNITS, STONE/CONCRETE

AUTOMATIC POOL COVER IN CONCRETE VAULT

NOTE: No work proposed beyond the subject property under this permit.

WD-3 CANTILEVERED TRELLIS ADDED TRELLIS/CABANA AND OUTDOOR KITCHEN POOL-1 POOL AND SPA PLASTER / TILE

CONC-6 BRICK INFILL AT PARKWAY

WD-2 POOL VAULT COVER

POOL-2 POOL COVER

KIT-1 GRILLWORKS GRILL

KIT-2 OUTDOOR KITCHEN

PROJECT NORTH 1"=10'-0"

HARDSCAPE PLAN



O.R BAY

DATE: ISSUES / REVISIONS: BY: 03/06/2025 SCR SUBMISSION

05/19/2025 SCR REVISIONS

DEPARTMENT STAMPS:

Leslie A. Ryan, PLA 6225 leslie@aerea-studio.com c. 619.200.8297

aerea

POWDER-COATED STEEL POSTS LOCATED OUTSIDE SIDE SETBACK CEDAR OVERHEAD (WD-3) PLANTING AREA

OUTDOOR KITCHEN + TRELLIS ELEVATION

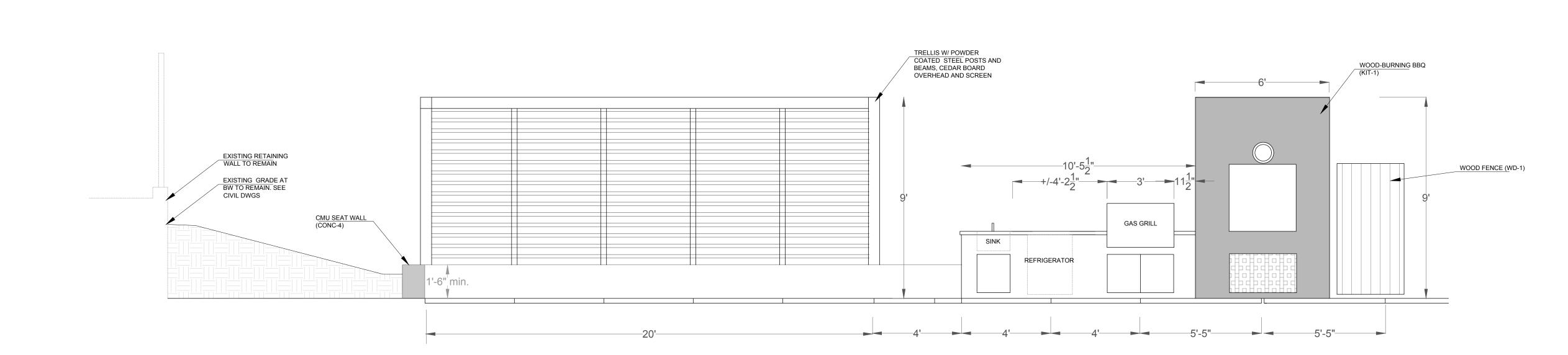
TRELLIS $\frac{3}{8}$ " = 1'-0" PLAN

+/-9'-10"

TRELLIS SECTION $\frac{3}{8}$ " = 1'-0"

 $\frac{3}{8}$ " = 1'-0"

HARDSCAPE **DETAILS**



CEDAR OVERHEAD (WD-3)

POWDER-COATED STEEL POSTS

IRRIGATION AND WATER CONSERVATION NOTES

- 1. Irrigation use shall not exceed the maximum applied water allowance (MAWA).
- 2. Total site landscape area is 2,609 SF, including pervious gravel areas adjacent to vegetation areas, and excluding all impervious paving, structures, swimming pool and
- <u>Reference Evapotranspiration for La Jolla is 40.0 inches/year.</u>

4. Maximum Applied Water Allowance (MAWA) = 34,808 gallons/year. Swimming pool and spa are Special Landscape Areas.

- Calculations: (40.0)(0.62)[.55 x 2295] + (0.45)(314)
- 5. Preliminary Estimated Total Water Use (ETWU) = 28,421 gallons/year. <u>Calculations: (40.0)(0.62)(0.4 x 2295 / 0.81) + 314. Using .4 as average Plant Factor.</u>
- 6. No turf areas or high water use planting areas are proposed. 7. Design includes 250 SF of swimming pool to be covered with automatic pool cover and
- 64 SF of a connected spa.
- 8. The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
- 9. Irrigation shall be controlled with an automatic controller installed with an
- evapotranspiration or soil moisture sensor using non-volatile memory. 10. All planting areas shall be permanently irrigated with low-volume irrigation equipment.
- 11. Velocity of water in piping shall not exceed five feet per second downstream of water meter. No separate irrigation water meter is proposed.
- 12. Irrigation system shall be designed meet or exceed an average irrigation efficiency of
- 13. The irrigation system shall be designed to prevent runoff, low head drainage, overspray,
- or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, non-irrigated areas, hardscapes, roadways, or structures.
- 14. Areas adjacent to structures, roadways, entries and activity areas will be irrigated with permanent below grade automated systems.
- 15. The irrigation systems will be installed as soon as practical after grading and prior to plant material installation.
- 16. The irrigation schedule shall be developed, managed and evaluated to utilize the minimum amount of water required to maintain plant health, and to minimize system maintenance requirements after installation.
- 17. Household owner will be responsible for maintenance of all landscape irrigation.

The landscape design incorporates the following water conservation features:

- The design is based on the general use of plant species that are adapted to a coastal,
- Mediterranean climate, and the maximization of permeable surfaces.
- The use of climate-adapted plant species reduces the need for fertilization.
- Plants will be grouped together in hydrozones according to their water needs. • Future maintenance needs are addressed through the planting of drought-tolerant and
- garden-tolerant native species, and spacing plants to allow room for mature growth. Irrigation system will be regularly inspected.
- Irrigation will be drip, and scheduled to encourage deep rooting and prevent runoff. No
- overhead sprays or rotors will be specified.
- Mulches will be used in all planting areas. No invasive plant species are proposed for planting on this site.

NOTE: No work proposed beyond the subject property under this permit.

PRELIMINARY ETWU CALCULATIONS

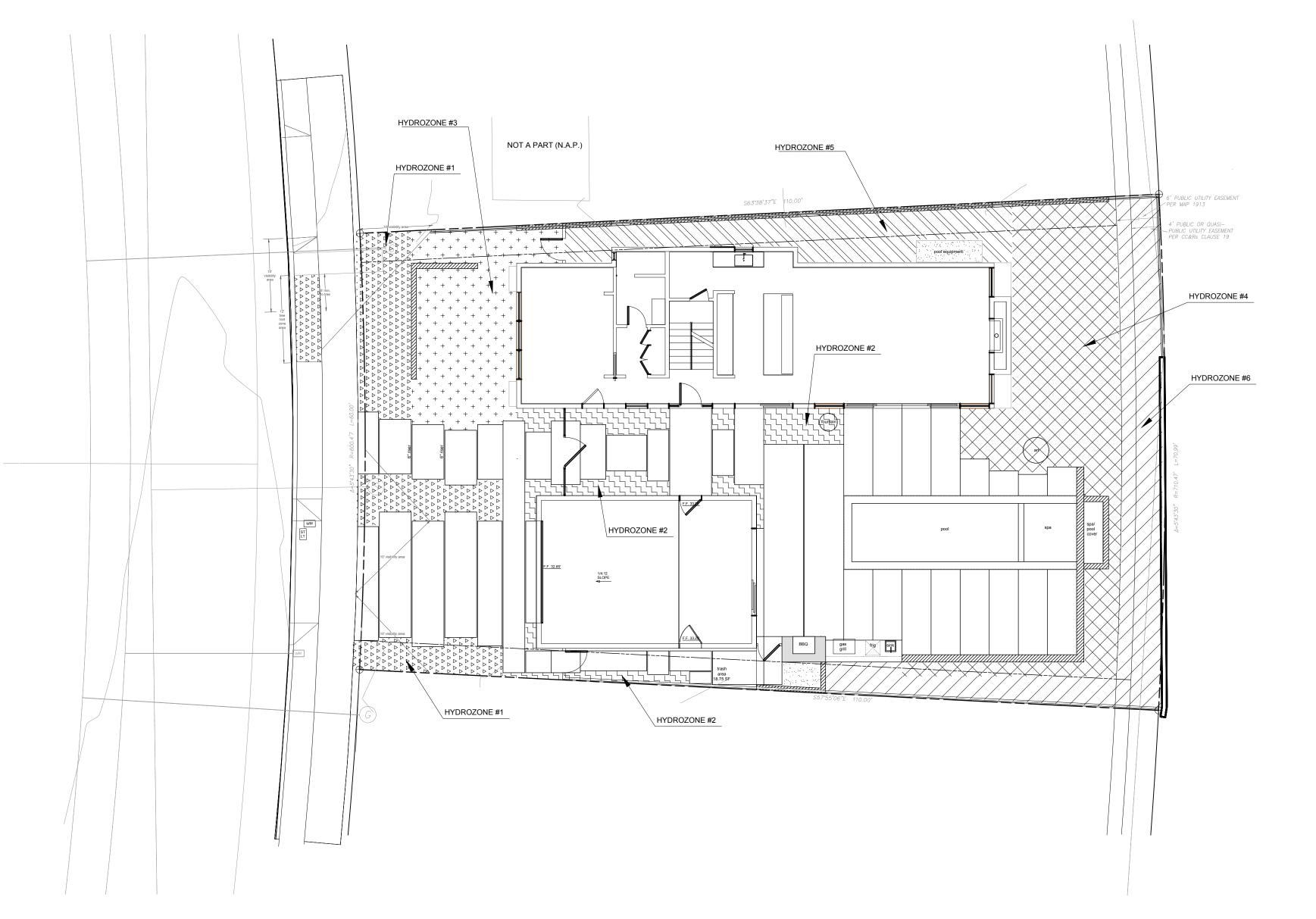


REVISED MAWA + ETWU IN

IN LANDSCAPE SF

RESPONSE TO ADJUSTMENTS lacksquare

					٦		
controller	hydrozone #	valve	plant	hydrozone	irrigation	irrigation	% total land.
			factor	SF	method	efficiency	area
1	1 (shrubs)	1	.4	328	drip	0.81	12.5%
1	2 (shrubs)	2	.4	214	drip	0.81	8%
1	3 (shrubs)	3	.4	339	drip	0.81	13%
1	3 (trees)	4	.4	40	drip	0.81	1.5%
1	4 (shrubs)	5	.4	639	drip	0.81	25%
1	4 (trees)	6	.4	80	drip	0.81	3%
1	5 (shrubs)	7	.4	295	drip	0.81	11%
1	6 (shrubs)	8	.4	520	drip	0.81	20%
n/a	gravel (no	n/a	n/a	154	n/a	n/a	6%
	planting)						
				2,609 SF			100%
	Special						
	Landscape						
	Area			314 SF			
	(pool/spa)						



ISSUES / REVISIONS: BY: 03/06/2025 SCR SUBMISSION 05/19/2025 SCR SUBMISSION

DEPARTMENT STAMPS:

aerea

Leslie A. Ryan, PLA 6225 leslie@aerea-studio.com c. 619.200.8297

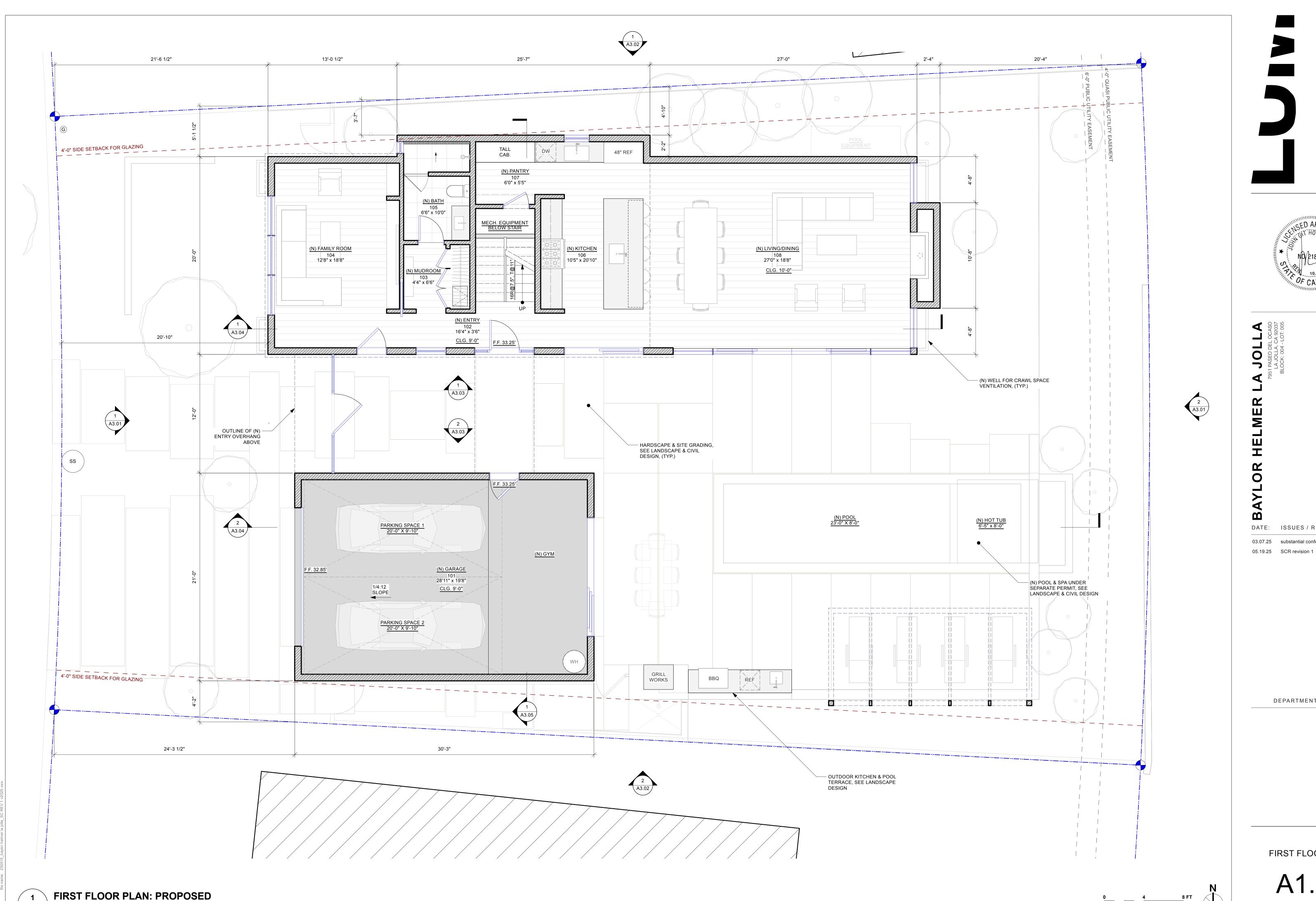




1"=10'-0"

IRRIGATION NOTES + HYDROZONES

L3.0



A1.01 Scale: 1/4" = 1'-0"

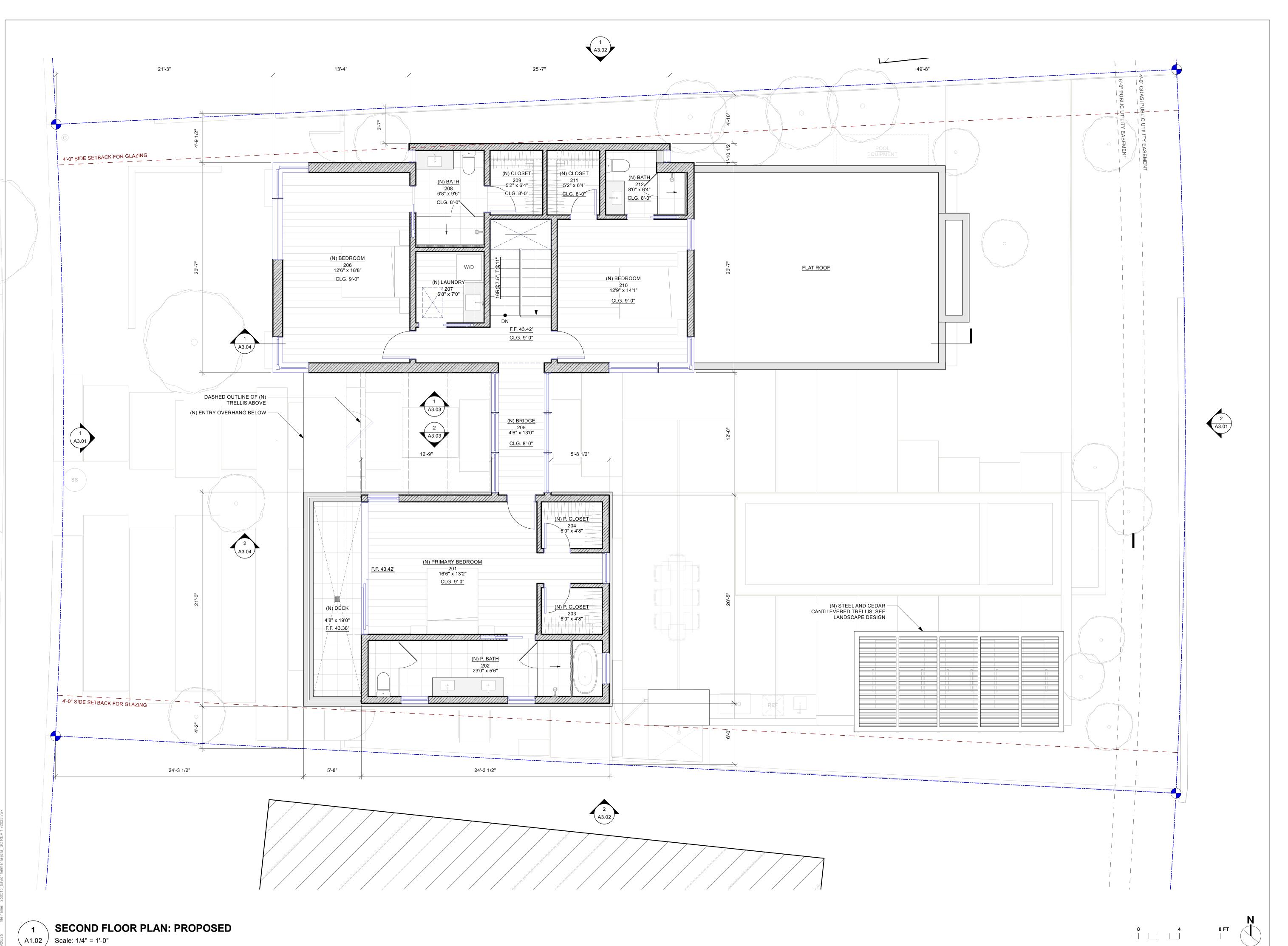


DATE: ISSUES / REVISIONS: BY: 03.07.25 substantial conformance review

DEPARTMENT STAMPS:

FIRST FLOOR PLAN

A1.01





THE ISSUES / REVISIONS: BY:

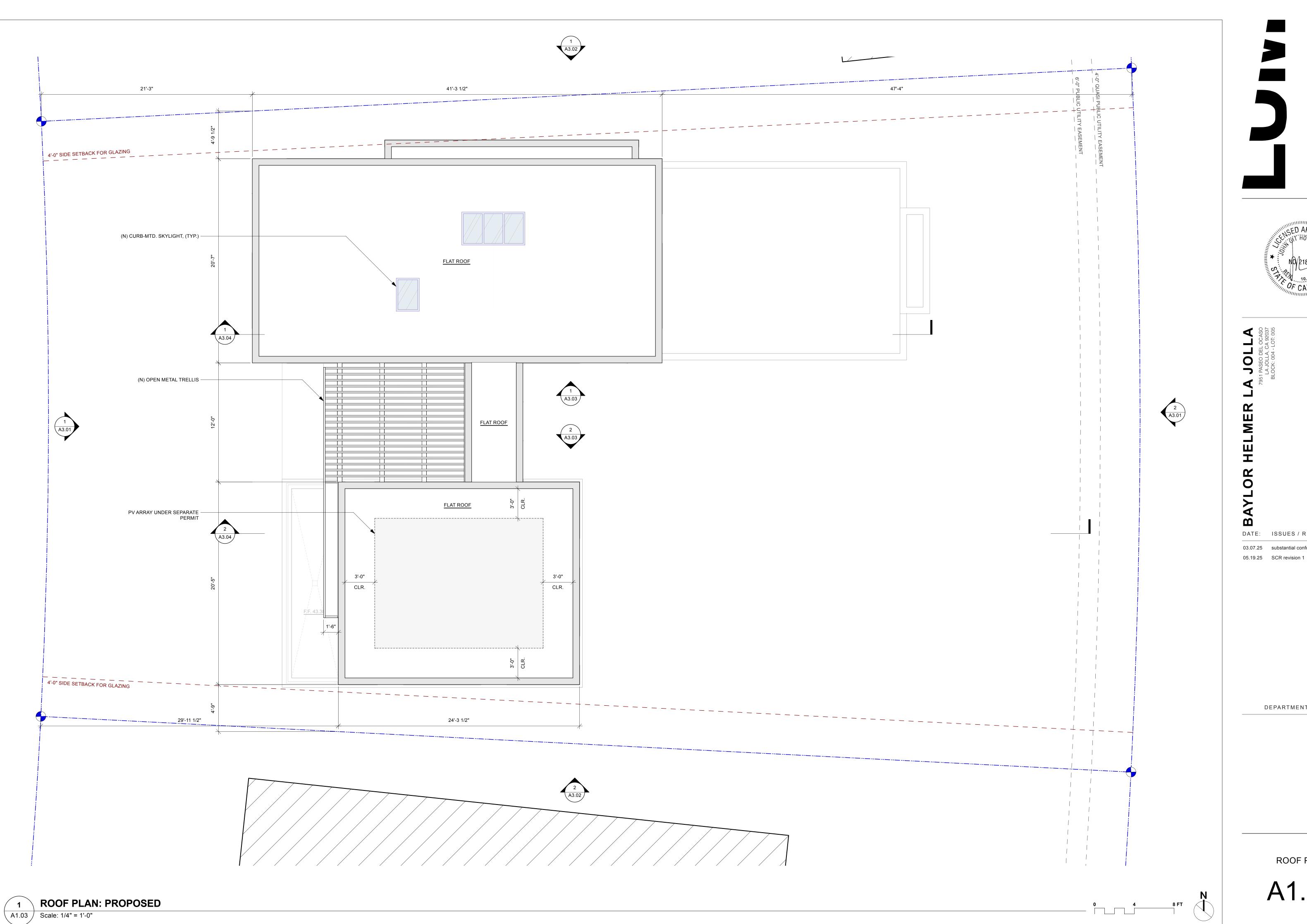
03.07.25 substantial conformance review rm

05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

SECOND FLOOR PLAN

A1.02





DATE: ISSUES / REVISIONS: BY: 03.07.25 substantial conformance review

DEPARTMENT STAMPS:

ROOF PLAN

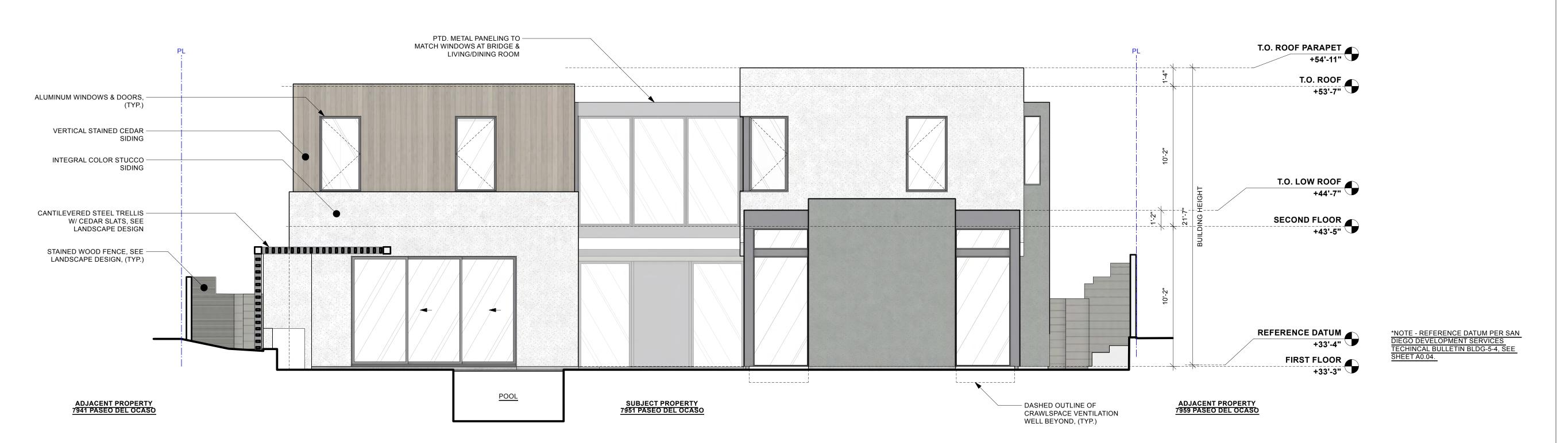
A1.03



1 EXTERIOR ELEVATION: WEST - PROPOSED

A3.01 Scale: 1/4" = 1'-0"

0 4



2 EXTERIOR ELEVATION: EAST - PROPOSED

A3.01 Scale: 1/4" = 1'-0"

0 4 8 FT



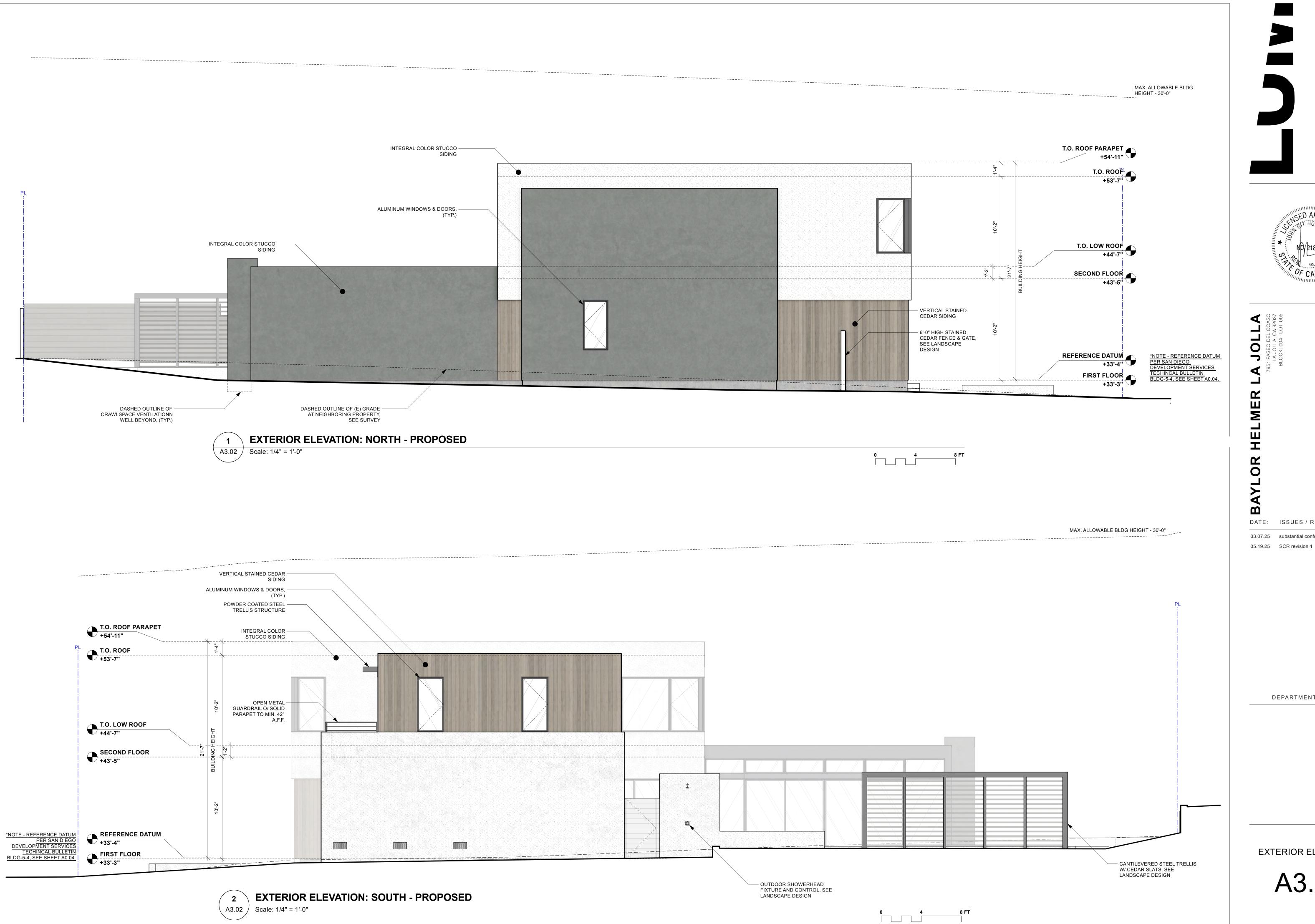
DATE: ISSUES / REVISIONS: BY:

03.07.25 substantial conformance review rm
05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

EXTERIOR ELEVATIONS

A3 01

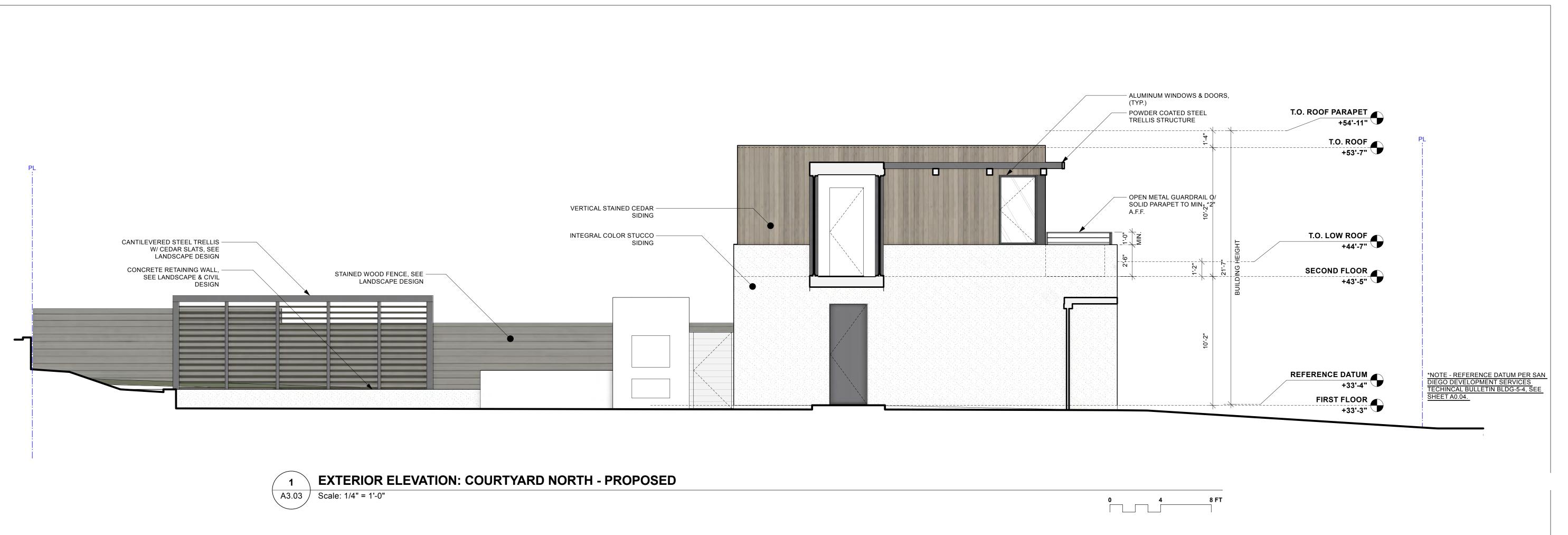




DATE: ISSUES / REVISIONS: BY: 03.07.25 substantial conformance review

DEPARTMENT STAMPS:

EXTERIOR ELEVATIONS







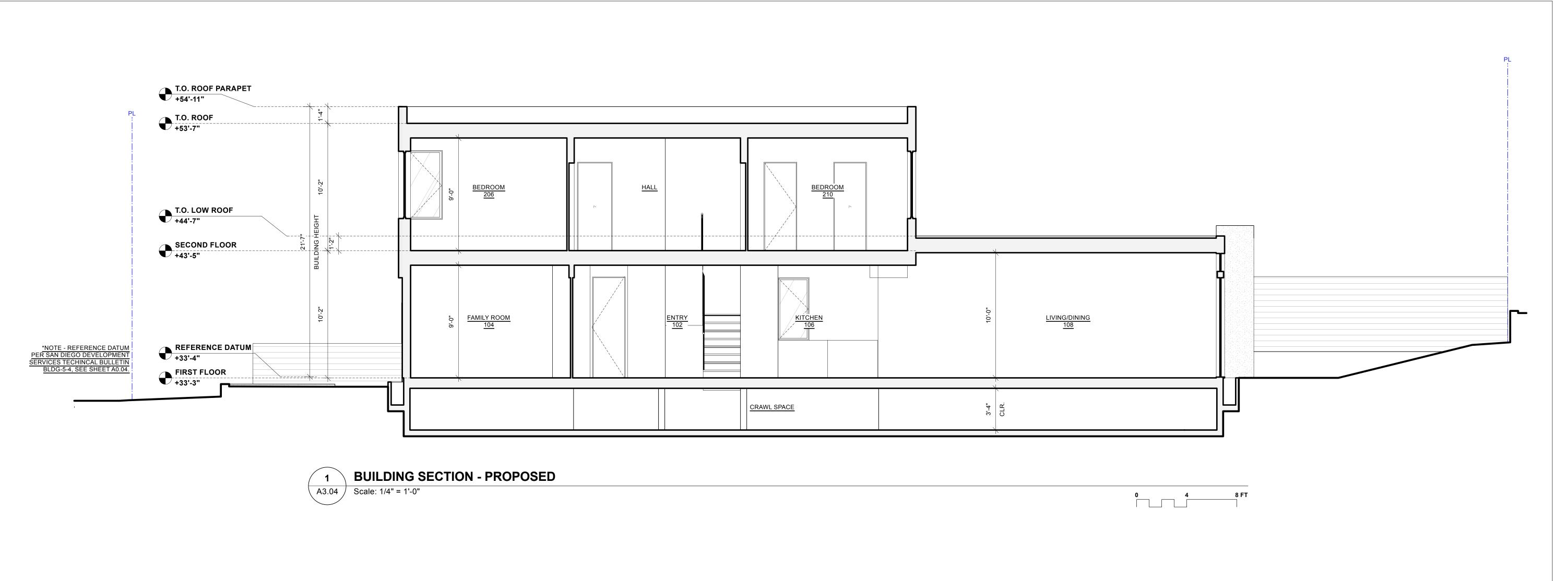
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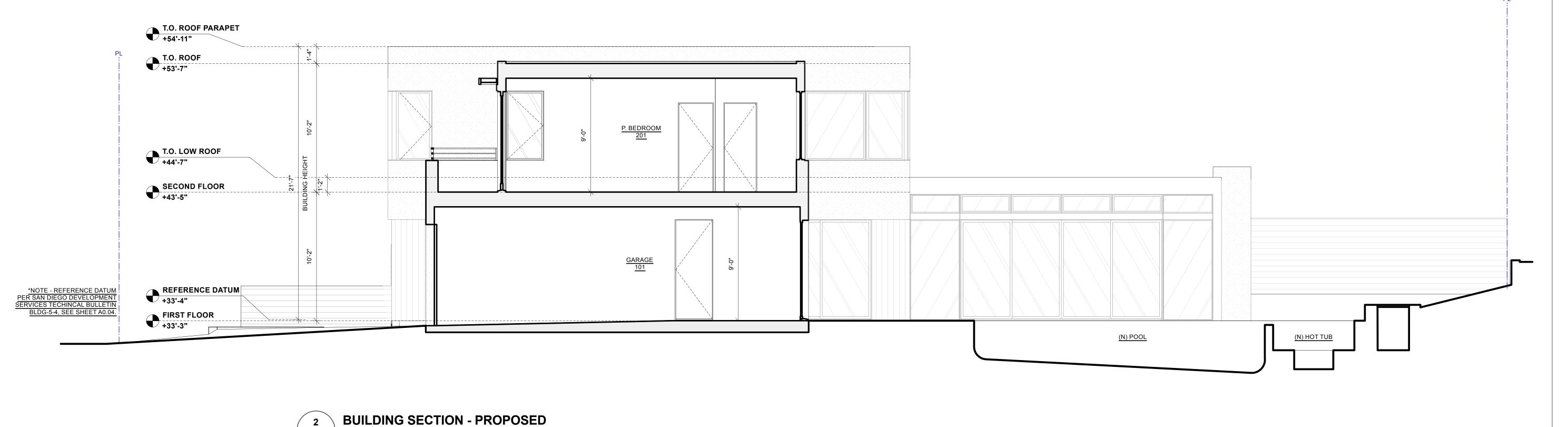
03.07.25 substantial conformance review rm
05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

EXTERIOR ELEVATIONS

A3.03





0 4 8 FT

A3.04 Scale: 1/4" = 1'-0"



DATE: ISSUES / REVISIONS: BY:

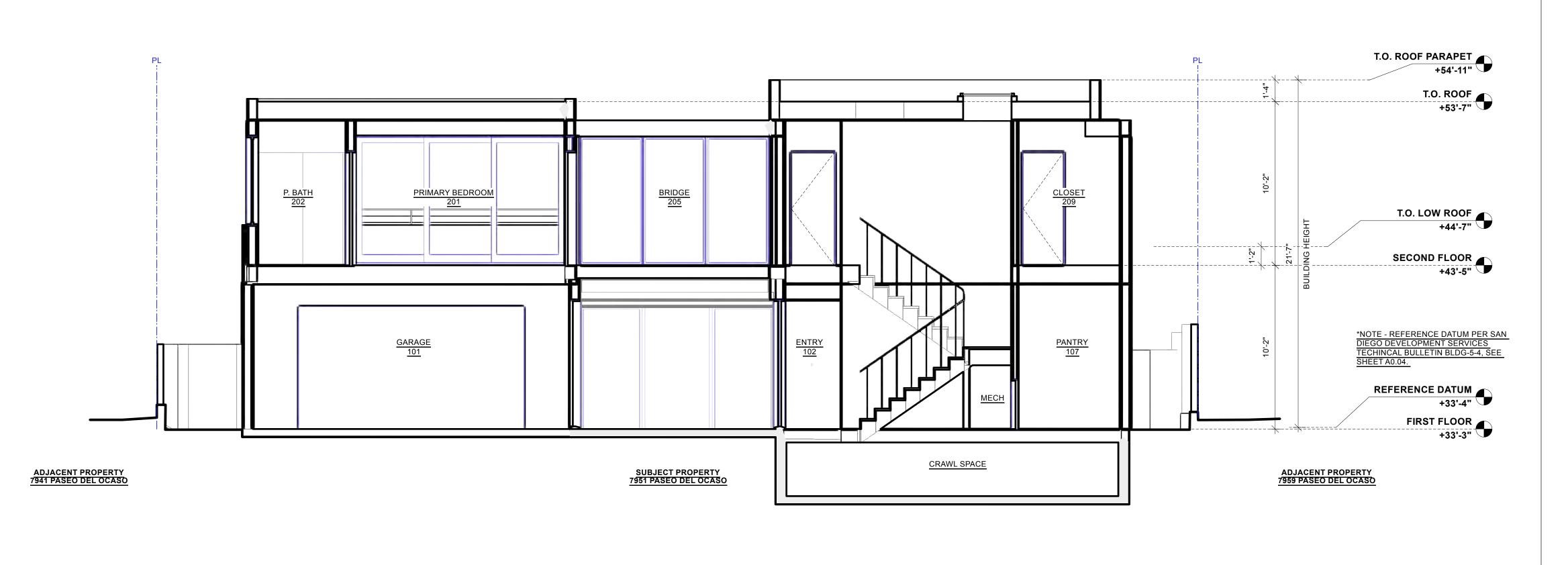
03.07.25 substantial conformance review rm

05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

BUILDING SECTIONS

A3.04



1 BUILDING SECTION - PROPOSED

A3.05 Scale: 1/4" = 1'-0"

0 4 8 FT



THE ISSUES / REVISIONS: BY:

03.07.25 substantial conformance review rm

05.19.25 SCR revision 1 rm

DEPARTMENT STAMPS:

BUILDING SECTIONS

A3.05



PERSPECTIVE: FRONT - PROPOSED (NOT TO SCALE)



PERSPECTIVE: FRONT - PROPOSED (NOT TO SCALE)



PERSPECTIVE: FRONT - PROPOSED (NOT TO SCALE)



PERSPECTIVE: REAR - PROPOSED (NOT TO SCALE)



LA JOLLA
7951 PASEO DEL OCASO

DATE: ISSUES / REVISIONS: BY:

03.07.25 substantial conformance review rm

05.19.25 SCR revision 1

DEPARTMENT STAMPS:

PERSPECTIVES

A6.01



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

DRAFT MEETING MINUTES FROM:

WEDNESDAY, June 18, 2025

Item 1: CALL TO ORDER

Board Member Sherri Lightner called the meeting to order at 10:02 a.m.

Item 2: ROLL CALL

Members Present: Herbert Lazerow, Sherri Lightner, Kathleen Neil, Suzanne Weissman, and Phillip Wise.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Matthew Nasrallah, Associate Planner, City Planning Department.

Item 3: APPROVAL OF THE AGENDA

Motion to approve the agenda by Board Member Niel, seconded by Board Member Lazero. Agenda approved 5-0-0.

Item 4: APPROVAL OF THE MINUTES from April 16, 2024.

Motion to approve the minutes with changes by Board Member Lazero, seconded by Board Member Weissman. Minutes approved 4-0-1.

Item 5: BOARD MEMBER COMMENT

Board Member Lightner wanted to address an email the Board received from AJ Remen for a project at 7741 Lookout Drive that DSD determined did not require a CDP or SDP. Board Member Lightner notes that an ADU is allowed if in a limited or conditional use, as specified, but ADUs and JADUs in La Jolla Shores d not meet either condition. Board Member Lightner proposed a review of the project and a letter to the City noting concern.

Board Member Lazerow concurred with Board Member Lightner. Board Member Lazero did not see any public notice or notice to surrounding neighbors until a construction crew arrived.

Board Member Neil recommended implementing a review of the project at 7741 Lookout Drive and drafting a letter to DSD requesting information as to why the Board was left out of the review process to ensure that this does not happen again.

Board Member Weissman stated that parts of the San Diego Municipal Code are contradictory and need to be clarified.

Board Member Lazerow made a motion to place a review of the project at 7741 Lookout Drive on the agenda for next month and draft a letter to DSD requesting information as to why the Board was left out of the review process. This motion was seconded by Board Member Neil. Motion approved 5-0-0.

Item 6: STAFF LIAISON COMMENT

Staff liaison Melissa Garcia presented the Board with certificates of recognition from the Mayor and City Council for their service.

Item 7: NON-AGENDA PUBLIC COMMENT

Fernando Careaga, the Architectural Designer of the project on 7741 Lookout Drive, stated that all of the necessary protocols were followed during the application process through DSD. DSD should have determined if the property's zoning designation and overlays applied as part of the La Jolla Shores Planned Development Ordinance. The applicant did their due diligence as required and submitted a letter and diagram that should have been distributed to the neighbors through DSD. Fernando would like to note that the project received a Minor Development Permit because the addition and ADU were approved concurrently, but they count toward the overall square footage separately. The applicant complied with all of DSD's requirements.

Jorge Masteo, property owner at 7741 Lookout Drive, stated that the City informed him that the project on 7741 Lookout Drive was too small-scale to bring to the Board. He did not receive notice of concerns from neighbors. He acknowledged that there are concerns about the roof deck with multiple buildings over very small lots. Since the project is just over 600 square feet, he regrets taking up the Board's time to discuss this nonissue.

Bradford Noble, property owner of 7741 Lookout Drive, has experience coming to the Board to voice concern over abutting properties' development regarding privacy in his home and backyard. He said he understands the emotion of the fear of being exposed and worrying about property values. Noble plans to stay living in the home and pass it on to his relatives. He noted that the neighbors will still have an unobstructed view of the beach, that the roof deck already exists, and that the

renovations are to house his special needs brother and 91-year-old grandmother. He is concerned that a review from the Board may halt progress on the project.

Item 8: **PRJ-1133429 - 7910 Via Capri (ACTION ITEM)**

Front and side additions to a 2,174 square foot single-story home, conversion of garage to living space and interior remodel. The proposed square footage after additions is 3,006 square feet. No landscaping. The applicant is seeking a recommendation that the project is minor in scope (Process 1).

Kristi Naedini of KN Designs presented the project.

Public Comment:

No public comment was provided.

Board Comment included:

- Considers that this development will not affect its neighbors, even though the square footage exceeds the threshold
- Concern regarding DSD's 2-car parking requirement, which was addressed through the carport on the property
- Concern regarding fire separation
- Clarifies issues pertaining to visibility areas and vegetation

Board Motion: The LJSPDAB moved to recommend that the project is Minor in Scope. Motion made by Board Member Neil, seconded by Board Member Lazerow. Motion approved 5-0-0.

Item 9: PRJ-113304 - 7951 Paseo Del Ocaso (ACTION ITEM)

The project proposes constructing a new 2-story, 2,484-square-foot, single-dwelling unit with an attached 636-square-foot garage. The applicant is seeking a recommendation for approval of Substantial Conformance.

John Lum of John Lum Architecture presented the project. Chandra Slaven of Slaven Consulting was available for questions.

Public Comment:

No public comment was provided.

Board Comment included:

- Commends the improvement of design compared to the approved plans
- Concern regarding obscured very large windows with obscured glass on the north side
- Concern regarding the location of the barbecue pit in the side yard vs the backyard

- Concern that the project does not conform to the neighborhood character due to the 2nd story
- Concern regarding the retaining wall on the property

Board Motion: The LJSPDAB moved to recommend the project as presented meets the substantial conformance review requirement. Motion made by Board Member Weissman, seconded by Board Member Lightner. Motion failed 3-2-0.

Item 10: PRJ-1126220 - 8204 La Jolla Shores Drive (ACTION ITEM)

Demolition of existing 3,214 SF single-family residence & garage, and construction of a new 3,520 SF, two-story single-family residence with garage, pool, and related site improvements. The applicant is seeking a recommendation of a Site Development Permit (SDP) and Coastal Development Permit (CDP).

Stuart Stielau of Island Architects presented the project.

Public Comment:

No public comment was provided.

Board Comment included:

- Commends the improvement from the original design presented in March of this year
- Concern that the project does not conform to the neighborhood character due to the 2nd story
- Concern that the setbacks are too narrow
- Concern regarding the 6-foot wall along La Jolla Shores Drive
- Concern regarding the exterior stairwell

Board Motion: The LJSPDAB moved to recommend denial of the project due to bulk and scale, the 6-ft property wall, lack of step back on the 2nd floor to the North and not being in character with the neighborhood. Motion made by Board Member Lazerow, seconded by Board Member Neil. Motion failed 3-2-0.

Item 11: ADJOURNMENT

Next meeting: July 16, 2025. The meeting concluded at 12:05 p.m.



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

Action Item Record

Date	of Agenda: 6/18/2025	

Project: PRJ-113304 Item: 9

Presenter: Chandra Slaven, Slaven Consulting

Address: 7951 Paseo Del Ocaso

Description: The project proposes constructing a new 2-story, 2,484-square-foot, single-

dwelling unit with an attached 636-square-foot garage. The applicant is seeking a

recommendation for approval of Substantial Conformance.

A. Minor Project -	 Process 1. Project cor 	nforms to the LJSF	PD as adopted by City	
Council.				
	Process 3. Project con			
	oject does not conform			
D. Approval subject applicable).	ct to the following mod	ifications to ensu	re conformity to the L	JSPD (if
The state of the s				
TE No recommend	lation due to a lack of f	our (A) affirmative	a votes	
TE Concept review	dation due to a lack of f			
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F. Concept review G. No vachi Board Member Jane Potter Suzanne Weissman Herbert Lazerow	only. 90 - 348/2 Board Si Support Sugarmelleur	no votes (need 4 votes	to recon
TE Concept review	only. 9N - 3yes/2 Board Si Support	no votes (need 4 votes	s to recon

* motion was that Chairperson project meets scr requirement

CORNER RECORD

Agency Index

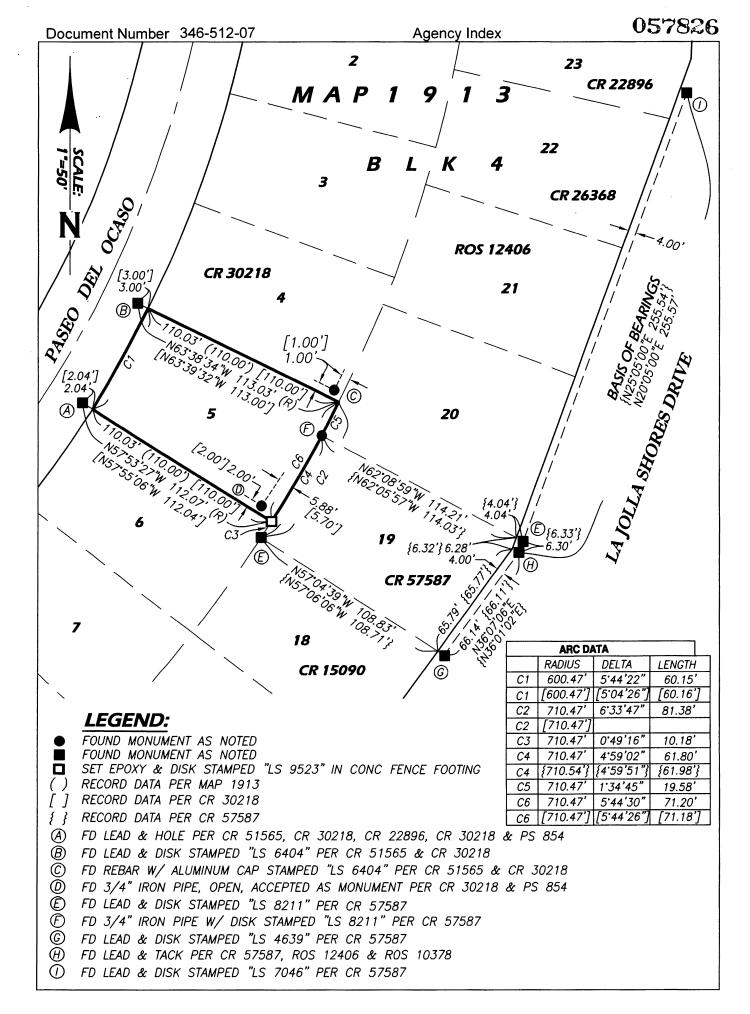
057826

Document Nul

Document Number 346-512-07

CORNER TYPE Government Corner Control Elevation Meander X Property Units Rancho Other Horizontal Data Zone Date of Survey 08/13/2025 Vertical Datur	COORDINATES (Optional)
Government Corner Control Elevation Meander X Property Units Rancho Other Horizontal Dazone	COORDINATES (Optional)
Complies	Epoch Date
PLS Act Ref.: X 8765(d) 8771 8773	Other:
Corner/ Monument: Found and tagged Reestablished Reference Narrative of corner identified and monument as found, set, reset, replaced, or removed: See sheet #2 for description(s): Surveyor's STATEMENT This Corner Record was prepared by me or under my direction in conformance with the Professional Land Surveyor's Act on 09/04/2025 Signed P.L.S. or R.G.E. No. 9523	Pre-Construction Post-Construction Post-Construction No. 9523
This Corner Record was received and examined and filed SEP 18 2025 P.L.S. or Rec.E. No. 8384	LS 8384

County Surveyor's Comment



BPELSG-2016 Page 2 of 2



FORM
DS-3031
November 2022

Development Permit/ Environmental Determination Appeal Application

In order to ensure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin (IB) 505, "Development Permits/Environmental

Determination Appeal Procedure."

1.	Type of Appeal: Appeal of the Pro	ect	
	Appeal of the Env	onmental Determination	
2.		Officially recognized Planning Comm d Person" Diego Municipal Code (SDMC) § 113.0103)	ittee
	Name:	E-mail:	
	Address: City:	State: Zip Code:	Telephone:
3.	Project Name:		
4.	Project Information:		
	Permit/Environmental Information Deter	ination and Permit/Document No:	
	Date of Decision/Determination:	City Project Manager:	
	Decision (Describe the permit/approval d	cision):	
5. [Ground for Appeal (Please check all that a Factual Error Conflict with other Matters Findings Not Supported	ply): New Information City-wide Significance (Proc	ess four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in the SDMC \section 112.0501. Attach additional sheets if necessary.)

6.	Applicant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.			
	Signature:	Date:		
		Note: Faxed appeals are not accepted.		

Reference Table

- San Diego Municipal Code (SDMC)
- <u>Development Permits/Environmental Determination Appeal Procedure</u> (IB-505)

GROUNDS FOR APPEAL

Baylor project cannot be approved "as is" without the following corrections, documentation and additional permits:

- 1. Completed Corner Record, because new 2025 Baylor Plan hides the reference point established by the PP (Power Pole, see the attached Power Pole pdf), in order to claim that the 7944 (Lot 19) retaining wall crosses the property line at the north end, even though it does not cross the property line. Furthermore, Baylor Project still has not provided the official Corner Record or the Property Survey and didn't stake out its property lines, which is not acceptable for the project of this magnitude.
- 2. Correct Topographic Survey, as Baylor Project is still using an erred 5 year old Coffey Engineering Survey (dated 2/19/19), which is off by 2-3 feet in elevation in comparison to the recent (12/30/24) Lot 19 Survey (see the attached 4/23/25 Demand Letter with its Terwilliger Land Survey, the Three-Foot-Retaining-Wall-No-Slope "3 FT RW NO SLOPE.pdf", and "LOT 5 FAKE SLOPE.pdf" images, confirming this discrepancy), for it is impossible to have such a big difference of up to 3 feet between the two surveys.
- 3. The Grading Permit for La Jolla Shores Planned District, because 2025 Baylor Plan continues to show a 3-foot slope from the 33.5-foot grade (see the LINE OF EXISTING GRADE pointer in the "LOT 5 FAKE SLOPE.pdf" taken from page A5.2 of Baylor Project dated 6/19/22), though there's no slope (which is confirmed by the attached images, "3 FT RW NO SLOPE.pdf", and the Terwilliger Land Survey showing that the existing grade of Lot 5 at the swimming pool and the retaining wall is already at 33.5', so it would be absurd to dig 3 feet into an existing grade of 33.5' to achieve 33.5' grade, unless the plan is to add 3 feet of dirt in the back of the building creating a +3 foot elevation increase). Therefore, this 3-foot slope (see LINE OF EXISTING GRADE pointer) misinformation, may lead to an "unintentional" augment of the existing 33.5' grade during addition of fill dirt to the old swimming pool. In effect, a new grade will be created at 36.5', ready for future 30 foot building upgrade at the Lots'5 &19 property line to an increased height of the building from the current 33.5'+20'=53.5' to 53.5'+10'=63.5' plus the "imaginary", but fully documented, slope of 3 feet = 66.5' feet, just like had been planned by the Baylor Project 2 years ago (see page A5.2 of Baylor Project dated 6/19/22).
 - 1. May 13 25 email, Baylor project 051325.pdf
 - 2. July 22 25 email Baylor Residence PRJ-1133046
 - 3. July 22 25 email, Corner Record La Jolla Shores Drive 2.pdf
 - 4. July 23 25 email Additional documentation
 - 5. May 13 25 email, Topographic survey may be required.pdf
 - 6. May 13 25 email, 7944 LA JOLLA SHORES TOPO SURVEY.pdf
 - 7. April 24 25 email, CZAJKOWSKI, JERRY DL 2025.pdf
 - 8. 3 ft RW NO SLOPE.pdf
 - 9. LOT 5 FAKE SLOPE.pdf
 - 10. https://www.sandiego.gov/staging/technical-bulletin-template

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<u>Grading Permit and a Corner Record</u>, in order to prevent future building height and retaining wall location litigation (Baylor's new drawings still show that Lot's 19 retaining wall encroaches Lot 5 by the Power Pole, and is less than the actual 8 inches from Lot 5 at the south end), I hereby request DSD to use the Power Pole (which was placed on the property line, see Power Pole.pdf), as a reference marker, and to have 20 feet marked on it above the current proposed project grade of 33.5 feet (or 33.5+20-36.17= 17.3 feet above the retaining wall of Lot 19 at 36.17'), and the secondary marker at 30 feet above the current grade (or 33.5+30-36.17= 27.3 feet from top of the Lot 19 retaining wall at 36.17'near the PP).

Sincerely, Jerry Czajkowski, 7944 La Jolla Shores Dr

Baylor Residence PRJ-1133046

From: JAR EKER (jerry_czajkowski@yahoo.com)

To: Ingates@sandiego.gov

Cc: bhafertepe@sandiego.gov; pvroom@sandiego.gov; jerry_czajkowski@yahoo.com; mprinz@sandiego.gov;

mblake@sandiego.gov; hdavison@sandiego.gov

Bcc: gmc@usa.com

Date: Tuesday, July 22, 2025 at 01:02 PM PDT

Dear Deputy Director Lara Gates,

I just received the report of June 12, 2025 Corner Record survey (attached) of my Lot 19, proving that Lot 5 property line drawings in DSD possession are **incorrect**.

Firstly, the south corner of Lot 5 doesn't show that my retaining wall is about 8 inches eastward from the property line (see the attached photo IMG_2845).

Secondly, the north corner of my Lot 19 is in the middle of the Power Pole (see the attached photo and Lot 19 Corner Record).

Thirdly, these corner records show that my retaining wall at the Power Pole is on the property line and at the south corner of Lot 5 entirely on my property.

Thus, the above facts call for mandatory corrections to all the Baylor Lot 5 construction plans so that the once DSD approved destruction of my retaining wall can't happen again.

Furthermore, as was indicated in May 19, 2025 letter ("Topographic Survey May be Required", attached), DSD cannot approve grading of Lot 5 without pre-inspection and post-inspection, i.e., without issuing a grading permit that has to address a 3 foot difference between an old Baylor 2019 topographic survey of Lot 5 and the most recent Czajkowski 2024 topographic survey of Lot 19. Because, to increase Lot 5 grade by 3 feet is not "insignificant", and will require a lot of fill dirt to be trucked in to make it even with my retaining wall.

Most importantly, if Lot 5 2019 survey is truly off by 3 feet, in the near future this will lead to the construction of an addition that will have an upper boundary 33 feet above the 2025 existing grade, instead of having 27 feet height limit as measured from the top of my retaining wall.

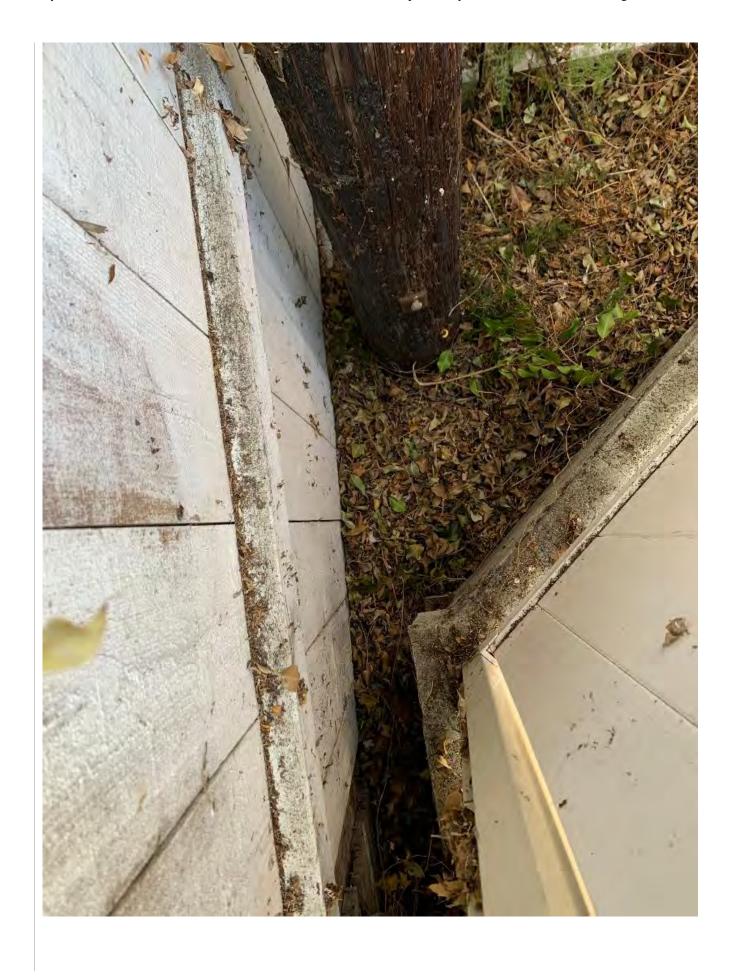
Thank you for your attention,

Jaroslaw Czajkowski

1 of 4 7/23/2025, 12:12 PM



2 of 4



3 of 4 7/23/2025, 12:12 PM



Corner Record La Jolla Shores Drive 2.pdf 259.7 kB



IMG_2845.JPG 2.4 MB



IMG_2909.JPG 4.7 MB



Topographic survey may be required.pdf 884 kB

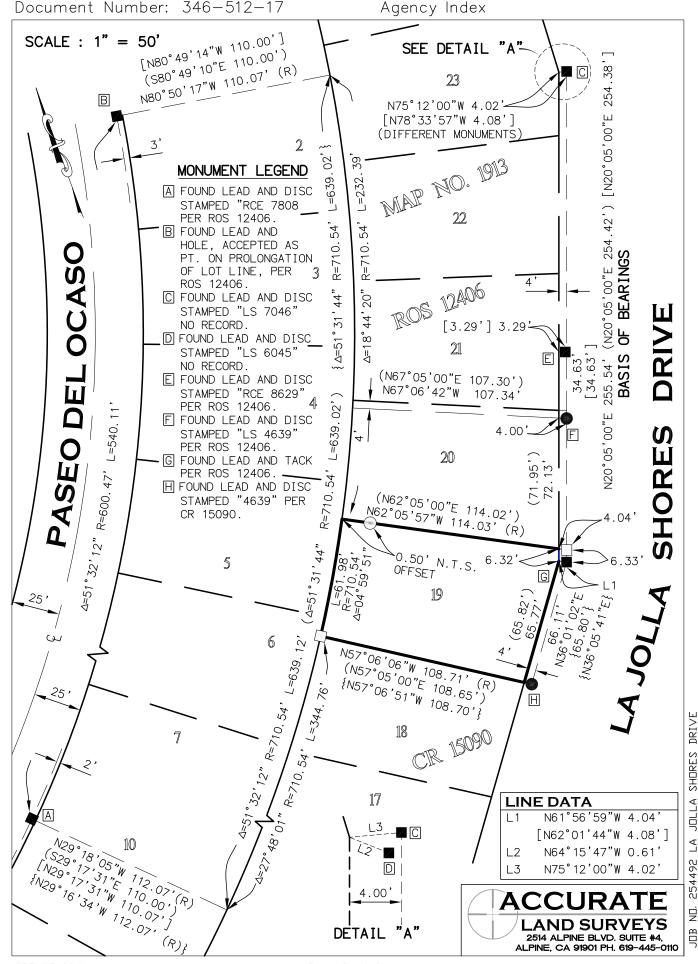
4 of 4 7/23/2025, 12:12 PM

COR	NER REC		Agency	Index		
CON			Docum	ent Number	346-521-17	
City of LA JOLI	LA	Cou				. California
Brief Legal Descri	iption LOT 19, BLOCK	 4, MAP NO. 19	13			_ ,
	COR	NER TYPE		COORD	INATES (Optiona	1)
			1	N	•	
:	Government Corr	ner 🗆 C		Elevation		
	Meander			Units Metric		•
	Rancho			Horizontal Datum . Zone		
	Date of Survey	JUNE 12, 2025		Zone ≀ Vertical Datum	•	
				mplies with Public		
			□ Co	mplies with Public	Rescouces Code	§§8890-8902
PLS Act Ref.:	■ 8765(d)	□ 8771		□ 8773	□ Othe	r
Corner/	☐ Left as found	☐ Estab	lished	☐ Rebuilt	☐ Pre-Co	nstruction
Monument:	\square Found and tagge	d ■ Rees	tablished	☐ Referenced	☐ Post-Ce	onstruction
●—INDICATES A □—INDICATES A □—INDICATES A ()—INDICATES B []—INDICATES B N.T.S.—INDICATES B N.T.S.—INDICATES B N.T.S.—INDICATES B S.F.N.F.—INDICATES B This Corner Reco	SURVEYOR ord was prepared by me	N PIPE AND DIMARKED "LS 82 NO. 1913. 12406. UND." SSTATEMENT OF UNDER OF UNDER MARKED "LS URVEYOR'S STATEMENT OF URVEYOR'S URVEYOR'S STATEMENT OF URVEYOR'S UR	T lirection in co 2025 8211 FATEMENT	nformance with	EXP. M	AAR 31 27
and examined and			-			
Signed			P.L.S		_	

County Surveyor's Comment

Title

BPELSG-2016 Page 1 of 2



Additional documentation

From: JERRY CZAJKOWSKI (jerry_czajkowski@yahoo.com)

To: Ingates@sandiego.gov

Cc: bhafertepe@sandiego.gov; mblake@sandiego.gov; pvroom@sandiego.gov; mprinz@sandiego.gov;

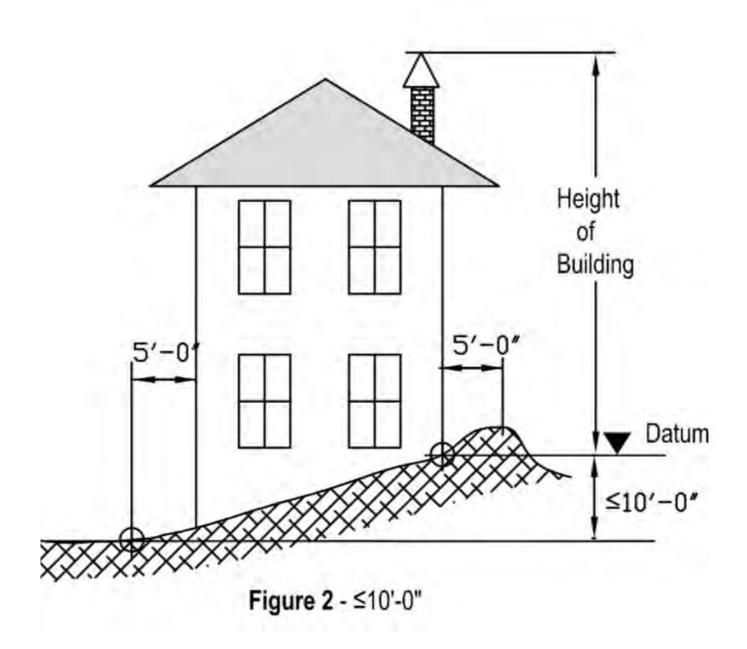
hdavison@sandiego.gov

Date: Wednesday, July 23, 2025 at 12:03 AM PDT

1. Determination of Building Height in the Costal Zone, Technical Bulletin BLDG-5-4,

- 2. Definition of Datum (see Figure 2),
- 3. SUBSTANTIAL CONFORMANCE REVIEW FINDINGS LETTER Re: 7951 Paseo del Ocaso. Because of unspecified amount of excavation and fill at 7951 Paseo del Ocaso, the exemption from Grading Permit should not had been granted "The amount of excavation and fill remain under the grading permit thresholds."

1 of 2 7/23/2025, 12:07 PM



Sent from Yahoo Mail for iPhone



SCR Letter of Request PRJ-1133046.pdf 226.8 kB



bldg-5-4.pdf 166.7 kB

2 of 2 7/23/2025, 12:07 PM

Dear Deputy Director Lara Gates and PM Benjamin Hafertepe,

In response to your Planner's statement,

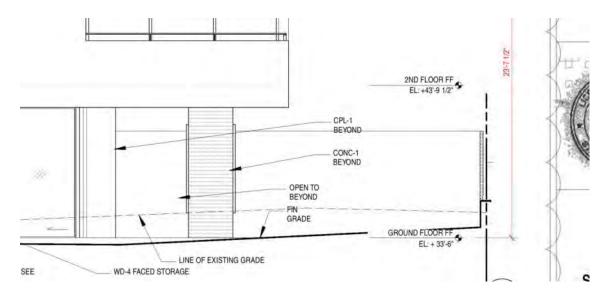
"a topographic survey may be required if it has been determined of **any discrepancy** on site"

please note that the documents and photographs provided for Lot 19 and Lot 5 (Baylor) show major discrepancies in topographic representation of the existing Lot 5 grade, which if approved now, in the future can add an additional 3 feet to Lot 5 second story addition that will be exactly 30 feet as measured from top of retaining wall of Lot 19 or 33 feet, which exceeds the permitted building height by 3 feet as measured from the present grade of 33.5'.

Could you request a special Lot 5 and Lot 19 inspection before issuance of a construction /grading permit to verify this discrepancy?

DISCREPANCIES AS SHOWN BY THE DIAGRAMS AND PHOTOS

Here the Baylor Plan shows an existing grade (LINE OF EXISTING GRADE) about 3 feet above the ground level of 33.5' at Lot 19 retaining wall, or ~ 36.5 ', which is untrue because there is no EXISTING GRADE neither at the south or north corner of Lot 5, see the next 2 photos.



North Corner of Lot 5 photo, here you can see (north of the Power Pole), staked out corner of Lot 5 (with pink ribbons), and **no slope or grade** of any kind, except for some torn sand bags.



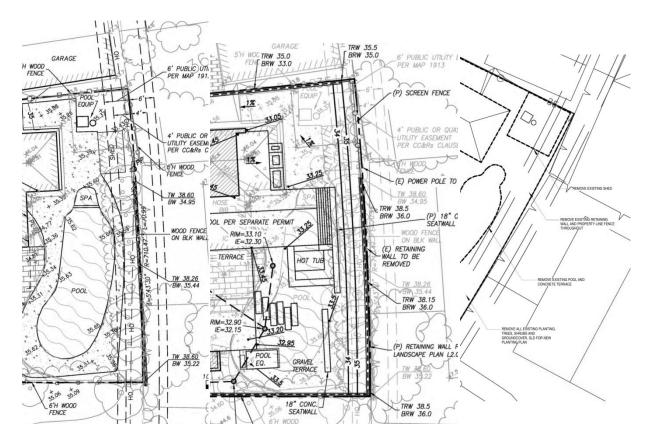
South Corner of Lot 5 photo, here you can see that there is <u>also</u> no slope or grade of any kind, and that the Lot 19 retaining wall is 2.5 feet above the existing Lot 5 grade of about 33.4', or at about 36.28' elevation according to Lot 19 survey.



Czajkowski 2024 Topographic Survey of Lot 19 shows that the elevation of Lot 5 near the retaining wall is about 33.4' and not 35.59' or 36' (see BRW=36' on page C.1, below), as claimed by the Baylor survey, a difference of 2.19' to 2.6'.



Baylor 2019 Topographic Survey of Lot 5 (see left image below), and Drainage page C.1, falsely show that the elevation of Lot 5 near the retaining wall is 35.59' to 36', a difference of 2.19 to 2.5', and the fake 34', 35' and 36' slope/contour lines at the Retaining Wall (see 36' at BRW-bottom of retaining wall, and TRW=38.5', center image, Baylor page C.1), while the two color pictures above prove that there is no slope or grade at the south and north end of Lot 5, more or less, Lot 5 is **flat** near the border with Lot 19.

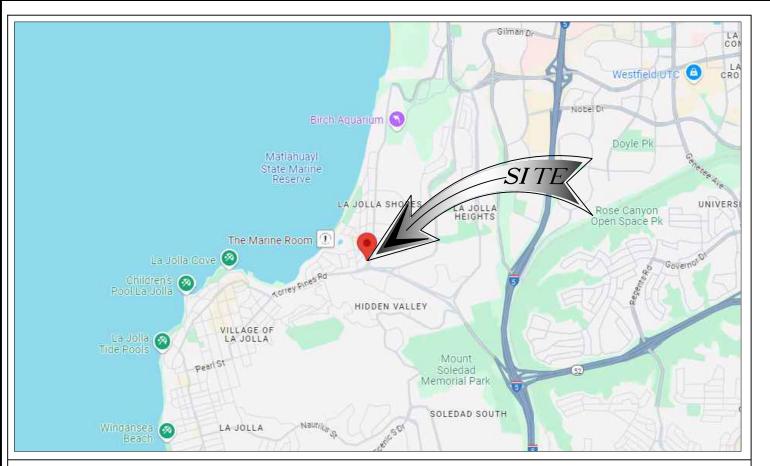


Also in the new 2025 Baylor Plan there is no mention of a certified Lot 5 Corner Record, consequently Baylor drawings show that the Lot 19 Retaining Wall, by the North Power Pole, encroaches Lot 5 and at the South End (corner of Lots 5, 19 & 6) is on the property line. This discrepancy may lead to a demolition of the Lot 19 Retaining Wall as the previous Baylor Plan drawings have described (see center and right side drawings above, RETAINING WALL TO BE REMOVED), and Baylor list of 2025 changes to the 2022 plans does not exclude.

Therefore, could a certified Lot 5 Corner Record Survey be demanded and special inspection done before issuance of construction/grading permit to verify this additional discrepancy?

Thank you,

Jerry Czajkowski



VICINITY MAP



<u>LEGEND</u>

MINOR CONTOURS

MAJOR CONTOURS

CENTER LINE

RIGHT OF WAY LINE

PROPERTY LINE

CHAIN—LINK FENCE

WOOD FENCE

BRIDGE RAILING

RETAINING WALL

EDGE OF PAVEMENT

PEM

ELECTRICAL MANHOLE

FIRE HYDRANT

CATCH BASIN

PEDESTRIAN SIGNAL LIGHT

EXISTING STREET LIGHT

EXISTING SIGN

GUY WIRE ANCHOR (GWRE)

ABBREVIATIONS

SANITARY SEWER MANHOLE TOP OF CURB STORMWATER DRAIN MANHOLE EXISTING GRADE GAS VALVE WATER VALVE FINISH SURFACE HAND HOLE TELECOM MANHOLE TOP OF LUMINAIRE JUNCTION BOX TOP OF POLE TRANSFORMER BACK OF CONC WALK WATER METER CLOSET VAULT GUARD POST PULL BOX METER PEDESTAL ASPHALT CONCRETE PAVEMENT CENTERLINE CONDUIT ESTABLISHED SEARCHED. FOUND NOTHING

BASIS OF BEARING: (NAD83: EPOCH 2011)

THE BEARINGS SHOWN HEREON ARE BASED FROM THE CENTERLINE OF LA JOLLA SHORES DR., BEING S36°05'00"W, RECORDED IN MAP NO. 01913, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

BASIS OF ELEVATIONS: (NAVD 1988)
ELEVATIONS ARE BASED ON BENCHMARK NOTED HEREON.

BENCH MARK

CENTER

BRASS PLUG SAN DIEGO CITY BENCHMARK AT SOUTHEAST CORNER OF INTERSECTION OF DORADO COURT AND PADEO DORADO, LEVELED IN YEAR UNKNOWN @ 46.717' A.M.S.L.

<u>MONUMENTS</u>

FOUND MONUMENT









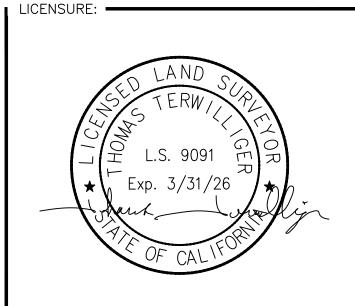
REV	DATE	DESCRIPTION

DECEMBER 30, 2024

ISSUED FOR: •

TOPOGRAPHIC SURVEY

LIOFNOLIDE



PROJECT INFORMATION: •

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY:	GTG
CHECKED BY:	TMT

SHEET TITLE

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

GRAPHIC SCALE: 1"=15'

COVER

TOPOGRAPHIC SURVEY 7944 LA JOLLA SHORES DR





MINOR CONTOURS MAJOR CONTOURS

EXISTING CONCRETE

AC PAVEMENT

ELECTRICAL MANHOLE FIRE HYDRANT CATCH BASIN

EDGE OF PAVEMENT

PEDESTRIAN SIGNAL LIGHT EXISTING TRAFFIC SIGNAL

GUY WIRE ANCHOR (GWRE)

STORMWATER DRAIN MANHOLE TOP OF WALL EXISTING GRADE GAS VALVE FINISH SURFACE WATER VALVE HAND HOLE TELECOM MANHOLE TOP OF LUMINAIRE JUNCTION BOX TOP OF POLE TRANSFORMER BACK OF CONC WALK WATER METER VAULT GUARD POST PULL BOX METER PEDESTAL ASPHALT CONCRETE PAVEMENT CENTERLINE CONDUIT ESTABLISHED SEARCHED. FOUND NOTHING CTR

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MONUMENTS

FOUND MONUMENT

NOTES:

1. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED

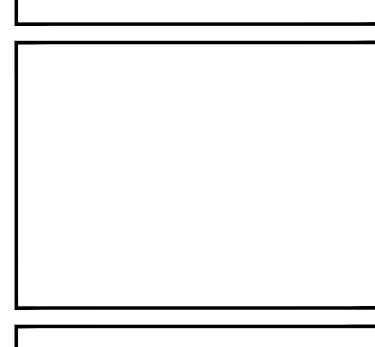
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- 2. THE HEIGHTS AND ELEVATIONS FOR TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- 3. FIELD SURVEY COMPLETED ON DECEMBER 12, 2024.

DATA NOTE

AREAS OF HEAVY VEGETATIVE OBSTRUCTION CAN BE DISRUPTIVE TO THE COLLECTION OF **SURVEY DATA, ELEVATIONS WITHIN SUCH** AREAS MAY CONTAIN ARTIFACTS AND ARE FOR THAT REASON TO BE CONSIDERED APPROXIMATE. ADDITIONAL STRUCTURES MAY BE PRESENT WITHIN THESE AREAS.





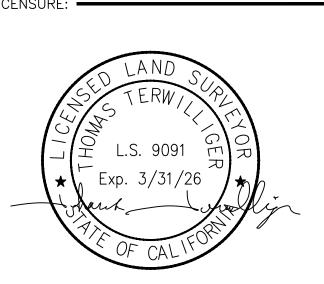


REV	DATE	DESCRIPTION

DECEMBER 30, 2024

TOPOGRAPHIC SURVEY

LICENSURE: -



PROJECT INFORMATION: •

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY: CHECKED BY:

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

TOPOGRAPHIC SURVEY 7944 LA JOLLA SHORES DR



LEGEND

MINOR CONTOURS

MAJOR CONTOURS

CENTER LINE

RIGHT OF WAY LINE

PROPERTY LINE

CHAIN—LINK FENCE

WOOD FENCE

BRIDGE RAILING

RETAINING WALL

EDGE OF PAVEMENT

ELECTRICAL MANHOLE

FIRE HYDRANT

GB

CATCH BASIN

PEDESTRIAN SIGNAL LIGHT

EXISTING STREET LIGHT

EXISTING SIGN

GUY WIRE ANCHOR (GWRE)

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<u>MONUMENTS</u>

● FOUND MONUMENT

NOTES:

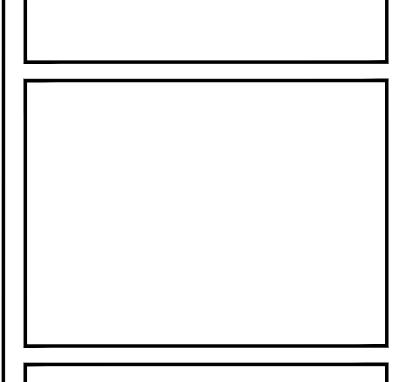
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- 3. FIELD SURVEY COMPLETED ON DECEMBER 12, 2024.

DATA NOTE

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REV	DATE	DESCRIPTION

DECEMBER 30, 2024

ISSUED FOR:

TOPOGRAPHIC SURVEY

LICENSURE:

LAND SUP
TERW/
TERW/
P

L.S. 9091
Exp. 3/31/26

TEXP. 3/31/26

PROJECT INFORMATION: -

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY: GTG
CHECKED BY: TMT

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

LS-1

LAW OFFICES OF E. JOHN DAMASCO

• SAN DIEGO COUNTY •

E. JOHN DAMASCO, PRINCIPAL MICHAEL R. JUAREZ, SENIOR COUNSEL DAVID NEINCHEL, OF COUNSEL KAYLA ARAUJO, ASSOCIATE ATTORNEY 225 W Market Street SAN DIEGO, CA 92101 TEL: (619) 640-1444 FAX: (619) 640-1244 ATTORNEYARAUJO@GMAIL.COM

April 23, 2025 Sent Via U.S. First Class Mail and Electronic Mail

City of San Diego Development Services Attn: Veronica Davison 1222 First Avenue San Diego, CA 92101 dsdweb@sandiego.gov

RE: DEMAND FOR CORRECTED DOCUEMNTS

Our Client: Jerry Czajkowski, Owner of Lot 19

Address: 7944 La Jolla Shores Drive, San Diego, CA 92037

Ms. Davison:

My office is consulting with Jerry Czajkowski ("my client") regarding your failure to provide any corrected documents regarding the owner of Lot 5 despite multiple requests. You may contact my office or my client directly to resolve this matter. All checks should be made payable in my client's name alone.

As of December 5, 2024, you have failed to produce any corrected documents from the owner of Lot 5 despite multiple requests. My client recently obtained a topographic survey of Lot 19 through Terwilliger Land Survey Engineers, attached herein. This survey clearly shows an elevation difference of approximately three (3) feet between Lot 19 and Lot 5. This directly contradicts the one (1) foot difference depicted in the Baylor project's topographic survey. The discrepancy is further confirmed by attached photographs, showing a visual elevation difference of at least 2.5 feet at the south end of the property.

The retaining wall in question is clearly located within Lot 19 and does not encroach onto Lot 5. At the north end, the retaining wall terminates at or before the center of the power pole, which sits on the property line. At the south end, the retaining wall is positioned approximately eight (8) inches inside Lot 19's boundary. These facts are documented in the attached Terwilliger survey and supported by photographic evidence. In contrast, the Baylor project's topographic survey inaccurately depicts only a one (1) foot elevation difference between the two lots, whereas the actual measured difference is closer to three (3) feet.

Moreover, it has recently come to our attention that the Baylor Project solicited Corner Record No. 51565 in 2023, which remains incomplete and unrecorded, and fails to reestablish the essential southeast corner of Lot 5. On page 2 of CR 51565, it is evident that the southeast corner of Lot 5—critical to determining the boundary between Lot 5 and Lot 19—has not been identified, staked, or confirmed. Despite the existence of the fully certified 1978 Certificate of Survey (PS 00854), the updated Corner Record was never completed or filed with the County. Without it, there is no basis for claiming the retaining wall or power pole resides on Lot 5.

This is an improper and unauthorized use of an uncertified survey, and DSD has a duty to investigate and correct this error before further permitting activity proceeds. The retaining wall is clearly located within Lot 19. At the north end, it terminates at or before the center of the power pole, which, as confirmed by both the Terwilliger survey and the Baylor project's own 2023 Topographic Survey, sits directly on the property line. At the south end, the retaining wall is approximately eight (8) inches inside Lot 19's boundary. These facts are substantiated by the certified Terwilliger survey, photographic documentation, and Record of Survey RS 12406, which explicitly states in DETAIL 'A' that the "actual corner falls inside power pole." This confirms that placing power poles on property lines is a consistent surveying practice in this area and applies to the boundary between Lot 5 and Lot 19.

Based on the foregoing, my client demands that the Development Services Department: (1) Require and produce a corrected Topographic Survey of Lot 5 that reflects the findings of the Terwilliger survey and the attached supporting documents; (2) Remove all references in the Baylor project plans authorizing demolition of the retaining wall or any encroachment onto Lot 19, including the statement on Demo Plan page A1.0; and (3) Immediately suspend all permitting activity related to demolition or grading on Lot 5 until these issues are fully addressed and resolved. Also, in light of the Department's failure to address these discrepancies earlier and the resulting need for my client to commission a professional survey at his own expense, my client respectfully requests reimbursement in the amount of \$3,000 for the Terwilliger survey. Please confirm within seven (7) days of the date of this letter. Failure to respond will result in legal action for all actual and bad faith damages that the court finds just and proper. My client looks forward to your timely cooperation

Best Regards,

Kayla Araujo, Esq. LAW OFFICES OF E. JOHN DAMASCO

KA/ht. CC: Client Enclosures: photos, survey

CORNER RECORD

Agency Index

051565

, California

City of SAN DIEGO County of SAN DIEGO

346-512-07

Brief Legal Description LOT 5, BLOCK 4, MAP 1913

Bher Legal Descrip	tion con 3, bec	CIC 4, WIAI 13	13			
	CORNER TYPE			COORDINATES (Optional)		
<u> </u>	1		N		Ε	
	Government Corne	er 🗌 Control	Elevation			
	Meander	Property	Units	Metric	U.S. Survey Foot X	
	Rancho	Other	☐ Horizontal [Datum		
			Zone	Epoch D	oate	
	Date of Survey	02/2023	Vertical Dat	:um		
			Complies	with Public Reso	ources Code§§ 8801-8819	
			Complies	with Public Reso	ources Code§§ 8890-8902	
PLS Act Ref.:	8765(d)	X 8771	□ 87	73	Other:	
Corner/	X Left as found	☐ Establish	ed 🗌 Re	built	X Pre-Construction	
Monument:	Found and tagged	Reestabli	shed 🛚 🖽 Re	ferenced	Post-Construction	

Narrative of corner identified and monument as found, set, reset, replaced, or removed:

See sheet #2 for description(s):

SURVEYOR'S STATEMENT

This Corner Record was prepared by me or under my direction in conformance with

the Professional Land Surveyors' Act on (

02/24/2023

Signed

P.L.S. or R.C.E. No. - - - 9523



COUNTY SURVEYOR'S STATMENT

This Corner Record was received

3/01/23

and examined and filed

MAR 17 2023

Signed

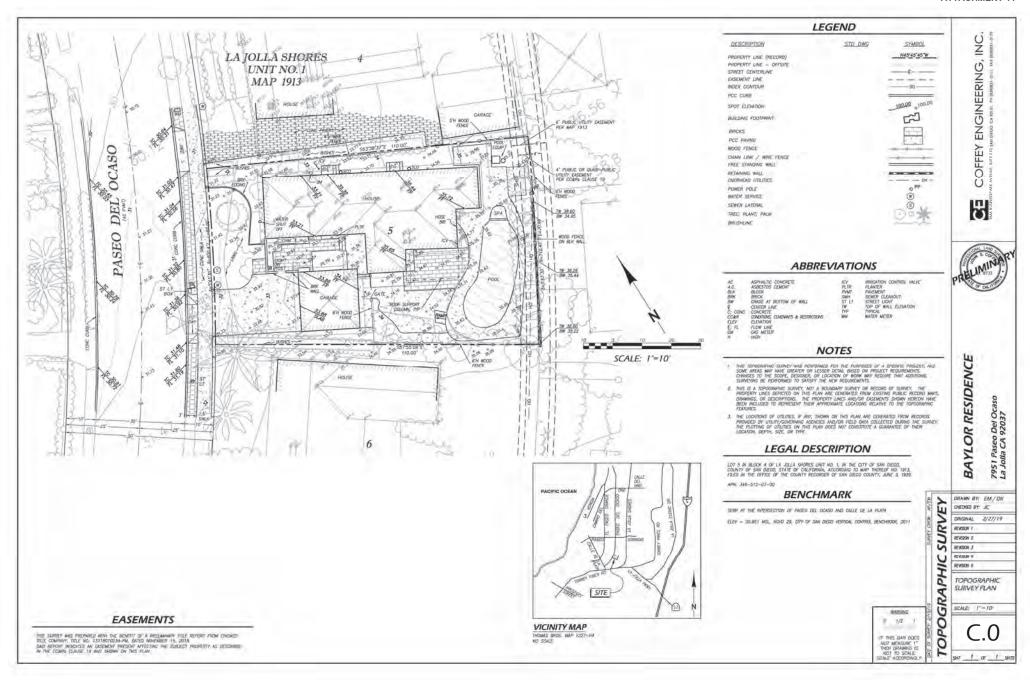
_____P.L.S. or R.C.E. No. ____

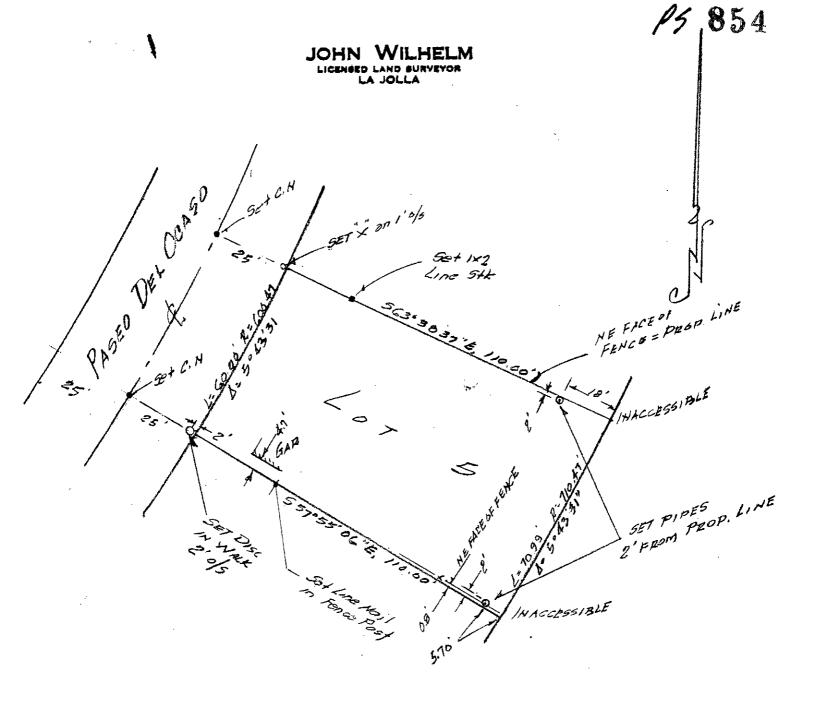
Title

FOR THE COUNTY SURVEYOR

County Surveyor's Comment







SURVEYED AT REQUEST OF JACK AND BETTY MORRISON 7951 PASEO DEL OCASO Scale: 1 inch equals, 30 ien.

Certificate of Survey

This is to certify that this sketch correctly portrays a survey

6-9-78

LOT 5 BLOCK 4 under Ty direction of: BLOCK 41

MAY 14 1030

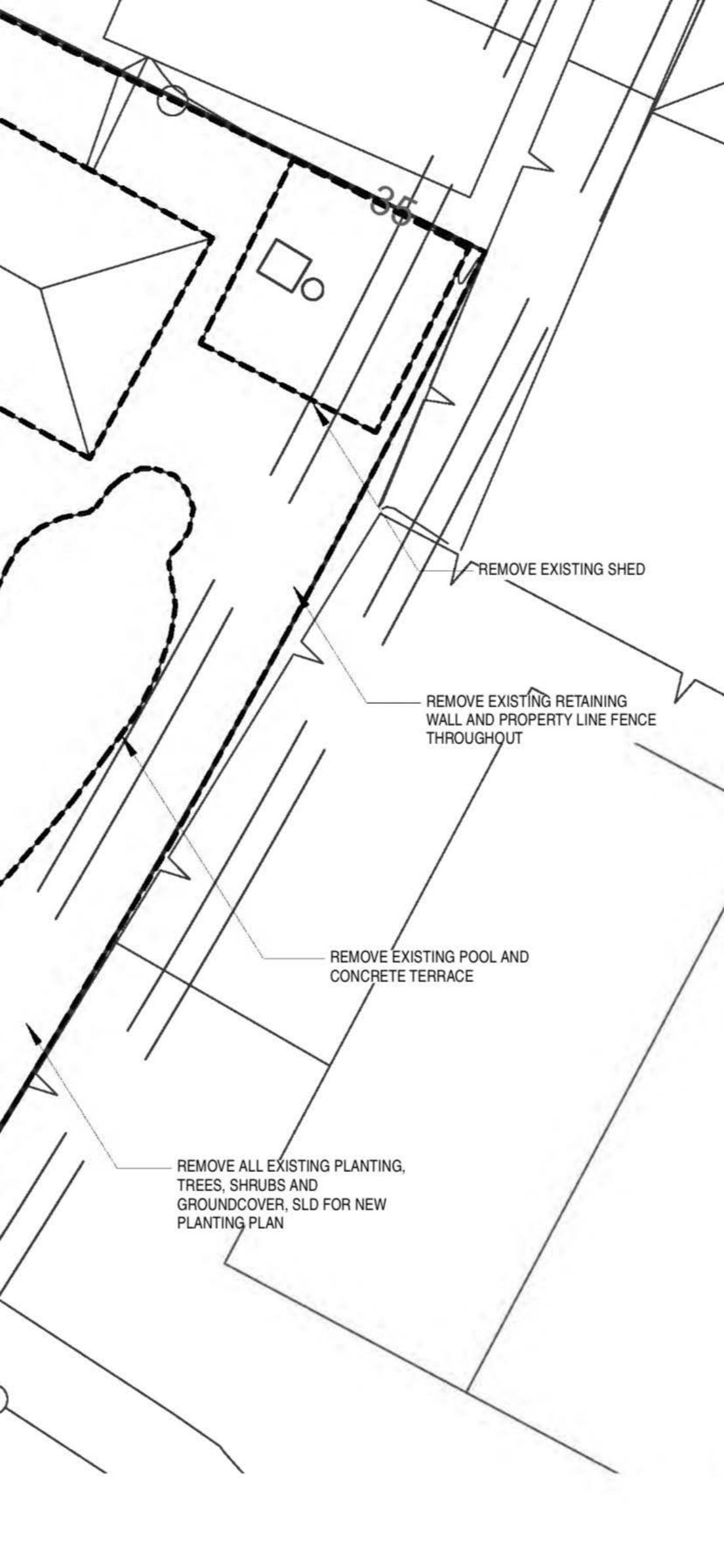
ments shown are to the best of my knowledge wholly in accordance with available records and legal description submitted to me. Unless specifically delineated, no easements are represented hereon.

52-20

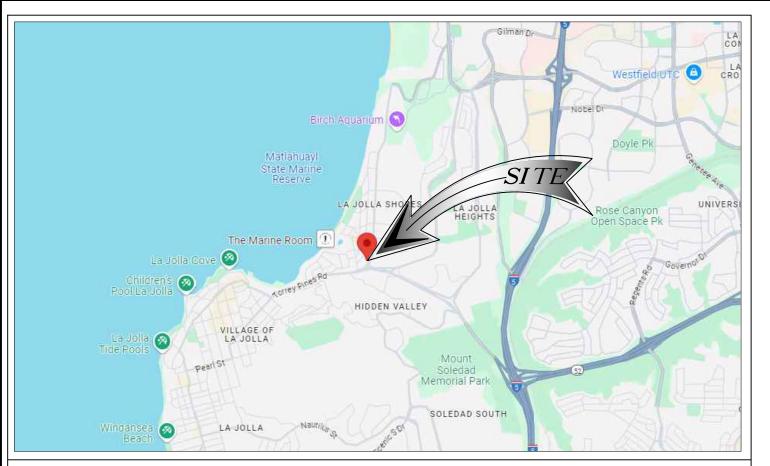
1. 1. C----- N. 041











VICINITY MAP



<u>LEGEND</u>

MINOR CONTOURS

MAJOR CONTOURS

CENTER LINE

RIGHT OF WAY LINE

PROPERTY LINE

CHAIN—LINK FENCE

WOOD FENCE

BRIDGE RAILING

RETAINING WALL

EDGE OF PAVEMENT

PEM

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EXISTING STREET LIGHT

EXISTING SIGN

GUY WIRE ANCHOR (GWRE)

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BENCH MARK

CENTER

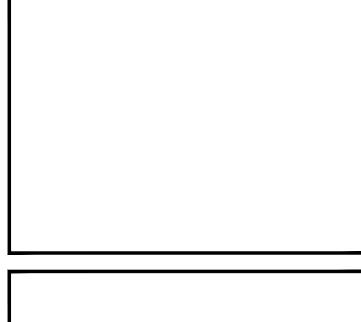
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<u>MONUMENTS</u>

FOUND MONUMENT









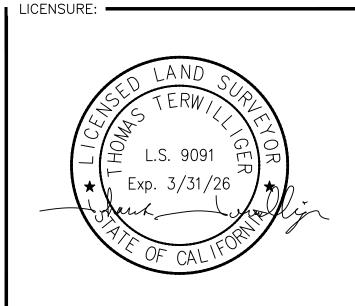
REV	DATE	DESCRIPTION

DECEMBER 30, 2024

ISSUED FOR: •

TOPOGRAPHIC SURVEY

LIOFNOLIDE



PROJECT INFORMATION: •

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY:	GTG	
CHECKED BY:	TMT	

SHEET TITLE

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

GRAPHIC SCALE: 1"=15'

COVER

TOPOGRAPHIC SURVEY 7944 LA JOLLA SHORES DR





MINOR CONTOURS MAJOR CONTOURS

EXISTING CONCRETE

AC PAVEMENT

ELECTRICAL MANHOLE FIRE HYDRANT CATCH BASIN

EDGE OF PAVEMENT

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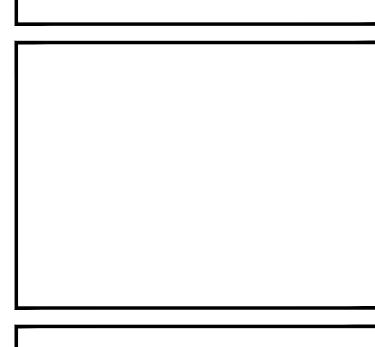
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- 3. FIELD SURVEY COMPLETED ON DECEMBER 12, 2024.

DATA NOTE

AREAS OF HEAVY VEGETATIVE OBSTRUCTION CAN BE DISRUPTIVE TO THE COLLECTION OF **SURVEY DATA, ELEVATIONS WITHIN SUCH** AREAS MAY CONTAIN ARTIFACTS AND ARE FOR THAT REASON TO BE CONSIDERED APPROXIMATE. ADDITIONAL STRUCTURES MAY BE PRESENT WITHIN THESE AREAS.





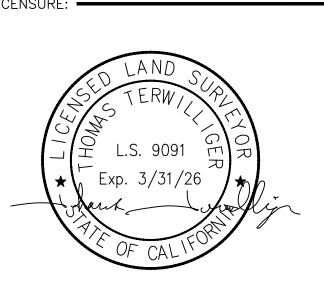


REV	DATE	DESCRIPTION

DECEMBER 30, 2024

TOPOGRAPHIC SURVEY

LICENSURE: -



PROJECT INFORMATION: •

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY: CHECKED BY:

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

TOPOGRAPHIC SURVEY 7944 LA JOLLA SHORES DR



LEGEND

MINOR CONTOURS

MAJOR CONTOURS

CENTER LINE

RIGHT OF WAY LINE

PROPERTY LINE

CHAIN—LINK FENCE

WOOD FENCE

BRIDGE RAILING

RETAINING WALL

EDGE OF PAVEMENT

ELECTRICAL MANHOLE

FIRE HYDRANT

GB

CATCH BASIN

PEDESTRIAN SIGNAL LIGHT

EXISTING STREET LIGHT

EXISTING SIGN

GUY WIRE ANCHOR (GWRE)

ABBREVIATION

STORMWATER DRAIN MANHOLE TOP OF WALL EXISTING GRADE GAS VALVE FINISH SURFACE WATER VALVE HAND HOLE TELECOM MANHOLE TOP OF LUMINAIRE JUNCTION BOX TOP OF POLE TRANSFORMER BACK OF CONC WALK WATER METER VAULT PULL BOX METER PEDESTAL ASPHALT CONCRETE PAVEMENT CONDUIT ESTABLISHED SEARCHED. FOUND NOTHING CTR

BASIS OF BEARING: (NAD83: EPOCH 2011)

THE BEARINGS SHOWN HEREON ARE BASED FROM THE CENTERLINE OF LA JOLLA SHORES DR., BEING S36°05'00"W , RECORDED IN MAP NO. 01913, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

BASIS OF ELEVATIONS: (NAVD 1988)

ELEVATIONS ARE BASED ON BENCHMARK NOTED HEREON.

BENCH MARK

BRASS PLUG SAN DIEGO CITY BENCHMARK AT SOUTHEAST CORNER OF INTERSECTION OF DORADO COURT AND PADEO DORADO, LEVELED IN YEAR UNKNOWN @ 46.717' A.M.S.L.

<u>MONUMENTS</u>

● FOUND MONUMENT

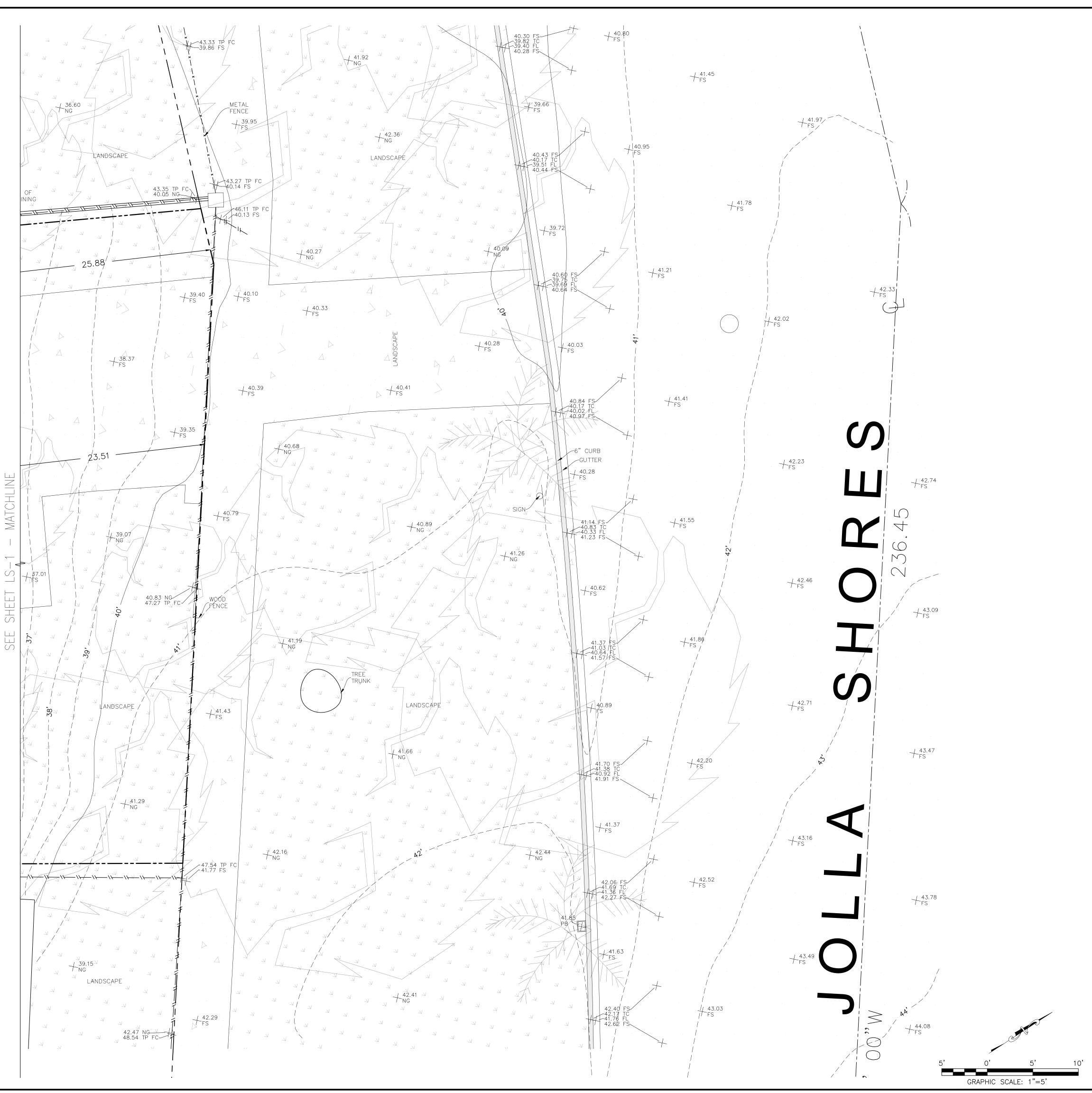
NOTES:

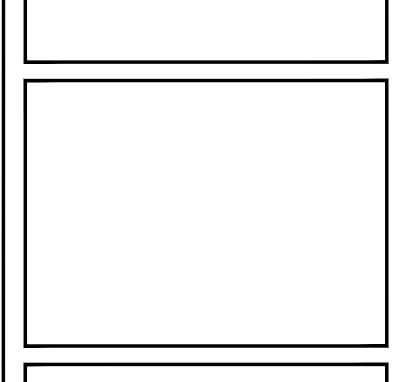
THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN ARE BASED ON RECORD INFORMATION AS NOTED HEREON. THE TOPOGRAPHIC SURVEY HAS BEEN TRANSLATED TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.

- THE HEIGHTS AND ELEVATIONS FOR TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- 3. FIELD SURVEY COMPLETED ON DECEMBER 12, 2024.

DATA NOTE

AREAS OF HEAVY VEGETATIVE OBSTRUCTION CAN BE DISRUPTIVE TO THE COLLECTION OF SURVEY DATA, ELEVATIONS WITHIN SUCH AREAS MAY CONTAIN ARTIFACTS AND ARE FOR THAT REASON TO BE CONSIDERED APPROXIMATE. ADDITIONAL STRUCTURES MAY BE PRESENT WITHIN THESE AREAS.







REV	DATE	DESCRIPTION

DECEMBER 30, 2024

ISSUED FOR:

TOPOGRAPHIC SURVEY

LICENSURE:

LAND SUP
TERW/
TERW/
P

L.S. 9091
Exp. 3/31/26

TEXP. 3/31/26

PROJECT INFORMATION: -

7944 LA JOLLA SHORES DR 7944 La Jolla Shores Dr., La Jolla, CA 92037

DRAWN BY: GTG
CHECKED BY: TMT

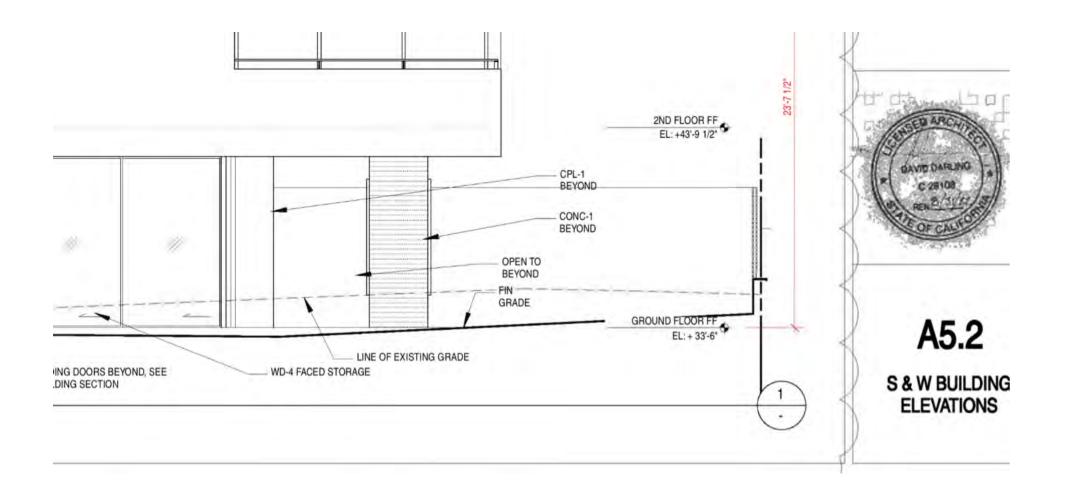
SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER: -

LS-1





PRJ-1133046 - APPEAL REBUTTAL - 7951 PASEO DEL OCASO

Planning Commission Hearing - December 18, 2025

Dear Commissioners,

I am the applicant for the Substantial Conformance Review (SCR) associated with the approved Site and Coastal Development Permits for 7951 Paseo Del Ocaso. I respectfully urge you to deny the pending appeal and affirm the Development Services Department's July 22, 2025, approval of SCR No. PMT-3346030. The revisions proposed in this SCR reduce the size and scale of the previously approved residence, decrease the building height from 29'-7" to 21'-7", and preserve existing site features, including a retaining wall that was previously approved for removal. The modifications remain fully compliant with the La Jolla Shores Planned District Ordinance and the La Jolla Community Plan. The appellant has not met any of the legal standards required under San Diego Municipal Code Section 112.0504. The appeal does not present credible evidence of factual error, new information, unsupported findings, or conflict with a land use plan or City policy. City staff have reviewed every concern and confirmed that the SCR meets all applicable code requirements and remains consistent with the original granted approval project in 2022. Importantly, City staff confirmed the use of an updated 2025 topographic survey, determined that no grading permit is required, and added a Height Verification flag to ensure compliance with the 30foot height limit. This project has undergone a thorough review, and all prior conditions of approval remain in full effect. We respectfully request that the Planning Commission uphold the integrity of the City's review process and deny the appeal. Thank you for your time and consideration.

Sincerely,

Chandra Slaven

Applicant on behalf of David Baylor

Chul Shi

PRJ-1133046 – 7951 Paseo Del Ocaso Substantial Conformance Review

PTS-691672: Coastal Development Permit No. 2556832 and Site Development Permit No. 2559861

Decision to approve SCR issued 07/22/2025: The approved modifications include a reduced footprint (from 3,503 square feet to 2,849 square feet), reduced building height (from 29'-7" to 21'-7"), and exterior finishes. In addition, the existing wall at the east property line, previously shown to be removed, is now to remain.

Appeal received 07/23/2025 Attachment 00; deemed complete: 07/28/2025.

Introduction

After careful review of the appeal and all supporting materials, we respectfully request that staff recommend denial of the appeal based on the following:

- The appeal is largely based on outdated materials and references a superseded design by Aidlin Darling Design that is no longer applicable to the current project.
- The revised plans by John Lum Architecture (JLA), approved under the SCR issued July 22, 2025, show a substantially reduced footprint, reduced height, and retention of existing features consistent with the permit conditions.
- The appellant's claims regarding property lines, grading, survey accuracy, and building height are factually incorrect, procedurally flawed, or irrelevant to the current scope of review.

Summary of Project Modifications (Approved via SCR)

- Footprint Reduced: $3,503 \text{ SF} \rightarrow 2,849 \text{ SF (conditioned)}$
- Height Reduced: $29'-7" \rightarrow 21'-7"$
- Design Team Change: Aidlin Darling Design replaced by John Lum Architecture
- Retaining Wall to Remain: Eastern property-line retaining wall & fence to remain; no change in location or elevation
- No Grading Permit Required: Civil sheets confirm minor grading well below thresholds

Grounds for Appeal:

The Baylor project cannot be approved "as is" without the following corrections, documentation, and additional permits:

1. <u>Completed Corner Record</u>

a) Because the new 2025 Baylor Plan for 7951 Paseo Del Ocaso (Lot 5) hides the reference point established by the PP (Power Pole, see the attached Power Pole pdf, Attachment 02), in order to claim that the 7944 La Jolla Shores Drive (Lot 19) retaining wall crosses the property line at the north end, even though it does not cross the property line.

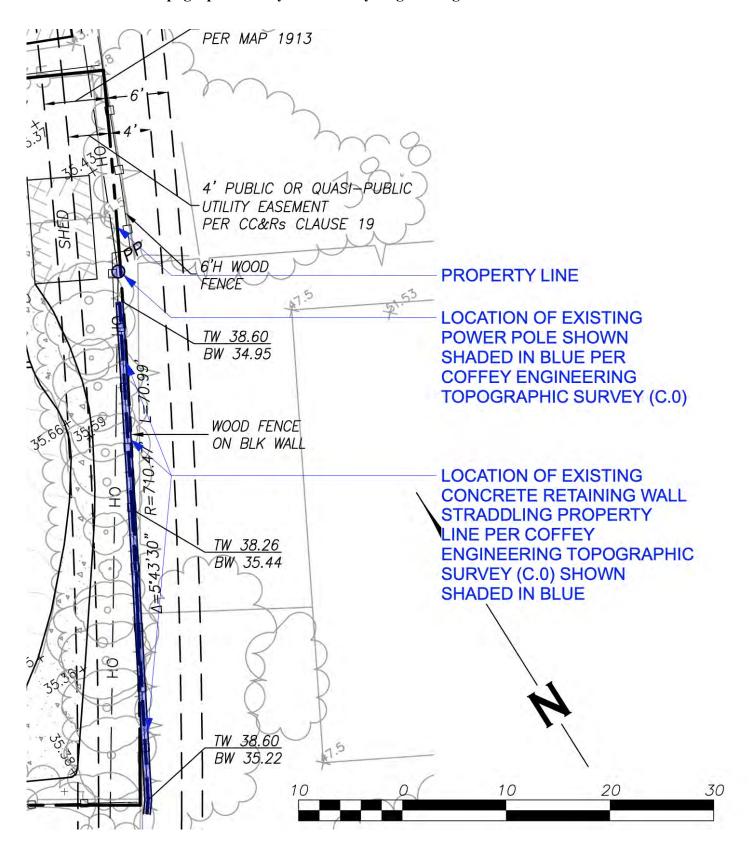
b) Furthermore, the Baylor Project still has not provided the official Corner Record or the Property Survey and has not staked out its property lines, which is not acceptable for a project of this magnitude.

Response to Appeal Issue 1a:

The retaining wall in question is shown on the permit plans as an existing feature that is to remain. No new work is proposed along or beyond the shared property line. The permit application includes a topographic survey (Sheet C.0) prepared by Coffey Engineering, which depicts the property line running through an existing utility pole between the two properties. The same survey indicates the retaining wall is located near this shared line.

On July 22, 2025, the Appellant provided a photograph of the utility pole. This physical condition is consistent with what is depicted on the submitted topographic survey.

Annotated topographic survey from Coffey Engineering sheet C.0



Annotated image of utility pole and concrete retaining wall at rear of the property



Response to Appeal Issue 1b:

As demonstrated in the submitted topographic survey prepared by Coffey Engineering (Sheet C.0), the property lines and existing features—specifically the retaining wall and utility pole—have been clearly documented and correspond with the appellant's own photographic evidence and Corner Record reference.

To ensure that City staff can support the project with no question, the applicant will be providing a Corner Record. The project sponsors have begun to prepare a new Corner Record for the subject property as a means of facilitating the appeals process.

2. <u>Correct Topographic Survey</u>, as Baylor Project is still using an erred 5 year old Coffey Engineering Survey (dated 2/19/19, *see note below), which is off by 2-3 feet in elevation in comparison to the recent (12/30/24, Attachment 06) Lot 19 Survey (see the attached 4/23/25 Demand Letter with its Terwilliger Land Survey, Attachment 07, the Three-Foot-Retaining-Wall-No-Slope "3 FT RW NO SLOPE.pdf", Attachment 08, and "LOT 5 FAKE SLOPE.pdf" images, Attachment 09, confirming this discrepancy,), for it is impossible to have such a big difference of up to 3 feet between the two surveys.

*Note: *Note: The Engineering survey dated 2/19/19 referenced above was not found. This was the date of the survey activity on site. The approved exhibit for PTS-691672 Substantial Conformance Review contains a survey prepared by Coffey Engineering dated 5/19/2025, and is attached here for reference, Attachment 10.

Response to Appeal Issue 2:

The appellant's claim that the project is based on an "erred" 2019 survey is factually incorrect. The approved plans are based on a 2025 topographic survey prepared by Coffey Engineering (Sheet C.0), which accurately reflects existing conditions, including the retaining wall and utility pole at the shared property line. This survey supports the approved building elevations and confirms conformance with applicable height and grading standards. The Appellant appears unfamiliar with topographic survey reference points and confuses data from different official vertical control benchmarks as errors.

The appeal appears to rely on outdated and inconsistent information:

- The reference images included in the appellant's letter relate to an earlier design by Aidlin Darling Design, which is no longer part of the current application. The subject of the appeal is the revised design by John Lum Architecture, not the superseded scheme.
- The appellant repeatedly refers to the proposed slope conditions as "fake slope," apparently misunderstanding what is being proposed versus what already exists. This confusion undermines the basis of their claims.

- The appellant alleges that the retaining wall is not shown on the plans; however, the Coffey survey clearly depicts the existing retaining wall. The appellant's own photo confirms its presence at the property line and is consistent with the 2025 survey.
- The observed elevation discrepancy is attributable to the use of different vertical datums. The survey submitted with the permit application utilizes the NGVD29 vertical datum, which is commonly understood to be approximately 2.0 to 2.2 feet lower than the NAVD88 datum used in the topographic survey submitted by Thomas Terwilliger. This difference is normal and fully accounts for the variation in reported elevations. No evidence has been submitted to suggest a grading error or misrepresentation.
- Survey Validation: The submitted 2025 Coffey survey aligns with:
 - o The Accurate Land Surveys' Corner Record,
 - o Field photographs taken from both properties,
- The appellant's reliance on the Terwilliger survey is problematic:
 - o The Terwilliger survey does not show any retaining walls, despite photographic evidence confirming their existence.
 - The survey places the utility pole several feet away from the property corner, which contradicts both the Accurate Land Surveys' Corner Record and Coffey's survey, which depict the pole straddling the property line.
 - These discrepancies cast significant doubt on the reliability of the Terwilliger survey.
 - 3. The Grading Permit for La Jolla Shores Planned District, because 2025 Baylor Plan continues to show a 3-foot slope from the 33.5-foot grade (see the LINE OF EXISTING GRADE pointer in the "LOT 5 FAKE SLOPE.pdf" taken from page A5.2 of Baylor Project dated 6/19/22, Attachment 09), though there's no slope (which is confirmed by the attached images, "3 FT RW NO SLOPE.pdf", Attachment 08, and the Terwilliger Land Survey, Attachment 06, showing that the existing grade of Lot 5 at the swimming pool and the retaining wall is already at 33.5', so it would be absurd to dig 3 feet into an existing grade of 33.5' to achieve 33.5' grade, unless the plan is to add 3 feet of dirt in the back of the building creating a +3 foot elevation increase).

Therefore, this 3-foot slope (see LINE OF EXISTING GRADE pointer) misinformation, may lead to an "unintentional" augment of the existing 33.5' grade during addition of fill dirt to the old swimming pool. In effect, a new grade will be created at 36.5', ready for future 30 foot building upgrade at the Lots' 5.49 property line to an increased height of the building from the current 33.5' + 20' = 53.5' to 53.5' + 10' = 63.5' plus the "imaginary", but fully documented, slope of 3 feet = 66.5' feet, just like had been planned by the Baylor Project 2 years ago (see page A5.2 of Baylor Project dated 6/19/22, ** Attachment 11).

Response to Issue 3:

The appellant's assertion that the proposed project requires a Grading Permit or that grading will result in a future height increase is both speculative and incorrect. The claims appear to rely on outdated and superseded design documents and misinterpretations of civil drawings.

- The approved project does not trigger the threshold for a Grading Permit. As shown in the Grading and Drainage Plan (Sheet C.3) and Topographic Survey (Sheet C.0) prepared by Coffey Engineering, the proposed work involves limited cut and fill volumes with mild slopes. These conditions fall well below the thresholds that require a grading permit under the City of San Diego Municipal Code.
- The appeal repeatedly references documents such as "Lot 5 Fake Slope.pdf," which reflect a prior design by Aidlin Darling Design. This design is no longer relevant and was superseded by the current project prepared by John Lum Architecture. The appellant's confusion between existing conditions and proposed improvements—particularly with respect to slope and grading—appears to be a root cause of their objection.
- The appellant's referenced file "3 FT RW NO SLOPE.pdf" appears to highlight the existing retaining wall at the southeast corner of the subject property, which is correctly shown in the topographic (C.0) and noted as existing-to-remain on the proposed drainage plan (C.3). There is no proposal to alter this retaining wall, nor does the proposed grading undermine the existing retaining wall.
- The appellant's assertions regarding "future 30-foot building upgrades" are speculative and not supported by any part of the approved plan set. The approved project does not approach the 30-foot building height limit. Instead, it proposes a building height of 21'-7", as documented on architectural Sheets A0.04 and A3.01–A3.03, and measured per City Technical Bulletin BLDG-5-4. These calculations are clearly documented on the plans using accurate spot elevations.
- The appellant's comments referencing 3 feet of excavation and fill appear to be based on their own assumptions rather than actual data. For authoritative grading parameters, we defer to the Grading Tabulations on Sheet C.3, which have been prepared and certified by a licensed civil engineer. The appellant's interpretations, including hand-drawn spot elevation estimates, lack evidentiary value and do not represent standard civil or planning practice.

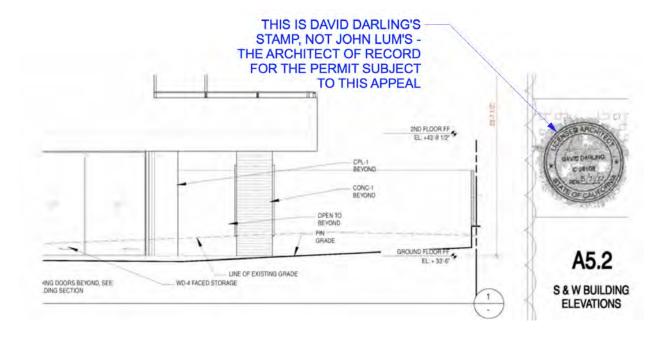
In summary, the appeal appears to conflate previous design iterations with the approved project and includes speculative claims that are not supported by the actual submittal documents subject to this appeal. The current design is consistent with the City's requirements for grading, height, and documentation and does not require a Grading Permit.

Grading Tabulation from Coffey Engineering Sheet C.3

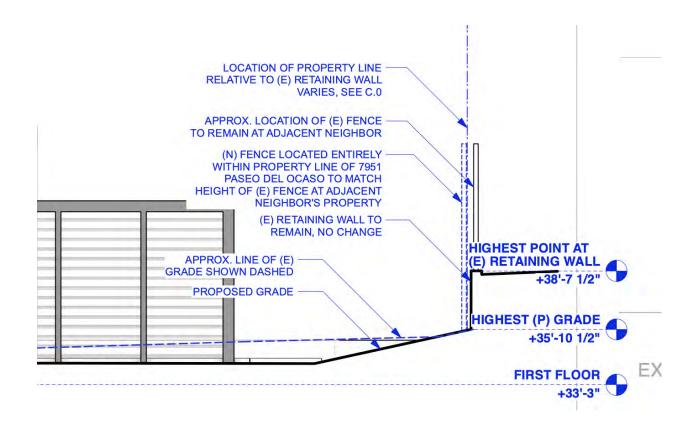
PANELS, EIC. REVIEW AND . GRADING TABULATIONS TOTAL AMOUNT OF SITE TO BE GRADED: 0.157 ACRES % OF TOTAL SITE: _95% MAXIMUM DEPTH OF CUT: 2.5 AMOUNT OF CUT: 225 CUBIC YARDS FEET MAXIMUM DEPTH OF FILL: AMOUNT OF FILL: CUBIC YARDS 10 0.5 *FEET* MAXIMUM HEIGHT OF FILL SLOPE(S): _ **FEET** SLOPE RATIO: _0 MAXIMUM HEIGHT OF CUT SLOPE(S): 2.5 **FEET** SLOPE RATIO: AMOUNT OF IMPORT/ EXPORT SOIL: CUBIC YARDS RETAINING/-CRIB WALLS: MAXIMUM HEIGHT: LENGTH 185 **FEET**

 $^{^\}star$ tabulations are for permit purposes only. The contractor is responsible for doing their own quantity take offs.

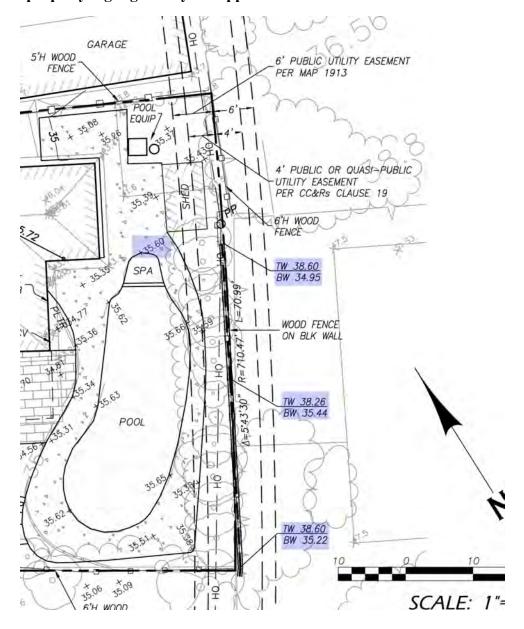
"Lot 5 Fake Slope" pdf from Appellant, marked up by the applicant.

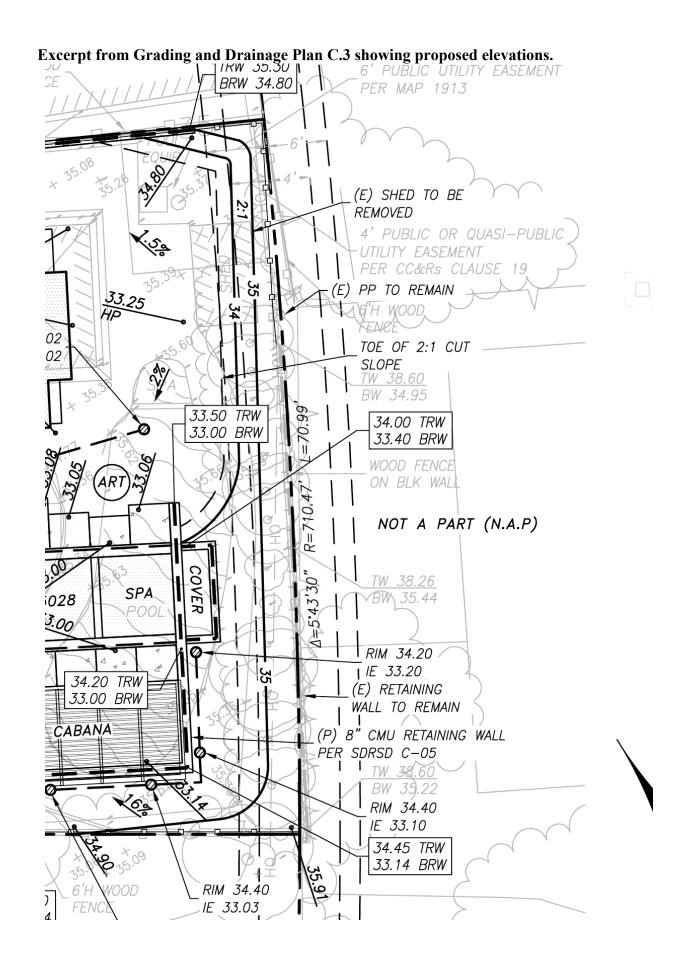


Marked up excerpt from elevation sheet A3.02

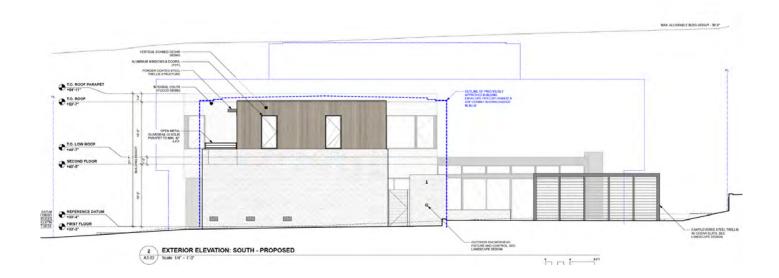


Excerpt from Coffey Engineering Topographic survey with existing spot elevations at the rear of the property highlighted by the applicant.





Excerpt from Approved Substantial Conformance Review exhibit sheet A3.02 showing proposed design with outline of previously approved design by former architect Aidlin Darling Design shown dashed in blue.



4. <u>Concluding Comment</u>: If Baylor Project refuses to produce a corrected Topographic Survey, the Grading Permit and a Corner Record, Attachment 03, in order to prevent future building height and retaining wall location litigation (Baylor's new drawings still show that Lot's 19 retaining wall encroaches Lot 5 by the Power Pole, and is less than the actual 8 inches from Lot 5 at the south end), I hereby request DSD to use the Power Pole (which was placed on the property line, see Power Pole.pdf, Attachment 02), as a reference marker, and to have 20 feet marked on it above the current proposed project grade of 33.5 feet (or 33.5+20-36.17= 17.3 feet above the retaining wall of Lot 19 at 36.17'), and the secondary marker at 30 feet above the current grade (or 33.5+30-36.17= 27.3 feet from top of the Lot 19 retaining wall at 36.17'near the PP), Attachment 05.

Response to Issue 4:

The request to install markers at 20-foot and 30-foot increments on a utility pole is both unnecessary and unrelated to the City's adopted methodology for measuring building height. The project's building height is already clearly and accurately depicted on Sheets A0.04 and A3.01-A3.03.

It is unclear how marking arbitrary points on a utility pole—particularly one located on the shared property line—would serve to clarify height or ownership issues. The pole does not reflect natural or finished grade, nor is it a recognized benchmark for height measurement. Further, the retaining wall located near the pole is identified in the civil plans as existing-to-remain, and its presence does not impact the project's conformance with height regulations.

The base elevation cited by the appellant—33.5'—does not correspond to the approved plans and appears to be derived from the design by Aidlin Darling Design, not the approved design by John

Lum Architecture, which is the subject of this appeal. As documented on Sheet A3.02 (Detail 2), the approved building height is 21'-7," which is significantly below both the 30' height limit and the previous design's profile.

Conclusion and Recommendation

The revised project fully complies with the conditions of CDP No. 2556832 and SDP No. 2559861. There are no material changes that would warrant a re-review of the permit or trigger discretionary actions.

The appeal is based on incorrect assumptions, outdated drawings, and issues that do not apply to the approved scope of work. The revised project has undergone multiple levels of review and demonstrates a clear reduction in overall development intensity. We respectfully request that staff uphold the approved Substantial Conformance Review and recommend denial of the appeal.

Attachments:

- 00 Appeal Application and Grounds for Appeal
- 01 Baylor Project, 051325 email
- 02 July 22 25 email Baylor Residence PRJ-1133046
- 03 Corner Record La Jolla Shores Drive 2
- 04 July 23 25 email Additional documentation
- 05 A Topographic survey may be required
- 06 7944 LA JOLLA SHORES TOPO SURVEY
- 07 CZAJKOWSKI, JERRY DL 2025
- 08 3 ft RW NO SLOPE
- 09 LOT 5 FAKE SLOPE
- 10 Coffey Engineering 2019 Survey
- 11 Page 5.2 PTS-691672