



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 18, 2026 REPORT NO. HO-26-016

HEARING DATE: March 25, 2026

SUBJECT: WOODFORD DRIVE RESIDENCE, Process Three Decision

PROJECT NUMBER: [PRJ-1134889](#)

OWNER/APPLICANT: Randolph Martin / Golba Architecture, Sarah Horton

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit to construct a two-story, 6,562-square-foot, single dwelling unit with an attached garage and a two-story, 967-square-foot detached accessory dwelling unit at an unaddressed parcel ([APN-346-741-31-00](#)) on the south side of Woodford Drive, east of 7887 Reville Drive and West of 2975 Woodford Drive within the [La Jolla Community Plan](#) area?

Proposed Actions:

1. APPROVE Site Development Permit No. PMT-3349683.

Fiscal Considerations: None. All costs associated with the processing of this application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project will add one single dwelling unit plus one accessory dwelling unit on a lot that current has zero dwelling units.

Community Planning Group Recommendation:

- La Jolla Community Planning Association (LJCPA): The applicant opted not to obtain a formal recommendation from the LJCPA.
- La Jolla Shores Planned District Advisory Board (LJSPDAB): On October 15, 2025, the LJSPDAB voted 5-0-0 to recommend denial of the project based on its noncompliance with the neighborhood character and the outlier of the floor area ratio. (Attachment 7)

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 23, 2025, and the opportunity to appeal that determination ended on January 8, 2026. (Attachment 6).

BACKGROUND

Site Description:

The 0.46-acre site is located at an unaddressed parcel ([APN-346-741-31-00](#)) on the south side of Woodford Drive, east of 7887 Revelle Drive and west of 2975 Woodford Drive within an established residential area in the La Jolla Shores Planned District Single Family (LJSPD-SF) Zone, Coastal Overlay Zone (Non-Appealable Area 2), and Coastal Height Limit Overlay Zone of the La Jolla Community Plan area. The project site is currently developed with a tennis court, surrounded by a chain-link fence.

Project Scope:

Demolition of an existing tennis court and construction of a two-story, 6,562-square-foot, single-dwelling unit with an attached garage, plus a two-story, 967-square-foot, accessory dwelling unit (ADU), a pool/spa, and associated site improvements.

Permits Required:

Process 3 – Site Development Permit pursuant to [SDMC Section 1510.0201](#) for the development of premises within the La Jolla Shores Planned District. The decision on an application for an SDP shall be made in accordance with Process Three, with the Hearing Officer as the decision maker and appeal rights to the Planning Commission.

DISCUSSION

Project Description:

The proposed project is to construct a two-story, 6,562-square-foot, single-dwelling unit with an attached garage, plus a two-story, 967-square-foot, ADU, a pool/spa, and associated site improvements.

The project scope includes the demolition of an existing tennis court, surrounded by a chain-link fence, constructed in approximately 1978, which is considered a structure, as defined in [SDMC Section 113.0103](#). Structures that are 45 years or older require historical evaluation. City Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The previously disturbed project site is approximately 1.5 miles east of the Pacific Ocean within an established residential area. It is not located within a coastal bluff, beach, or special flood area. A Preliminary Drainage Study, prepared for the project by Christensen Engineering & Surveying and dated April 10, 2025, was reviewed for stormwater, drainage, and hydrology requirements. Stormwater impacts from the project will be mitigated through the implementation of Best Management Practices in compliance with the Grading Regulations of the SDMC, [Chapter 14, Article](#)

[2, Division 1](#). The drainage system proposed for this development is subject to approval by the City Engineer at the time of construction permit approval.

The project was reviewed for compliance with the City of San Diego's codes, policies, and regulations, with a primary focus on protecting the public's health, safety, and welfare. Conditions of approval include a Water Pollution Control Plan to be drafted in accordance with the City of San Diego Storm Water Standards Manual; ensuring that no dry weather flows are discharged to the receiving storm conveyance system in accordance with the Areas of Special Biological Significance (ABS) requirements; obtaining an Encroachment Maintenance and Removal Agreement for the landscape, irrigation, curb outlet, sidewalk underdrains and private walkway located within the City's Right-of-Way, satisfactory to the City Engineer. In addition, the project is conditioned to dedicate 2.25 feet at the front property line along Woodford Drive for a 12-foot-wide parkway and to install a new City standard driveway adjacent to the site on Woodford Drive.

The La Jolla Shores Planned District Ordinance requires all buildings and setbacks to be in general conformity with those in the vicinity. The applicant provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey indicates the following ranges: front setback, between 5 and 28 feet; side setbacks, between 3 and 28 feet. The project proposes a 25-foot front yard setback, a 23.5-foot side yard setback at the West Property Line, and a 5.5-foot side yard setback at the East Property Line, all of which are consistent with the survey. Additionally, the project complies with the required maximum lot coverage of 0.60, proposing a coverage of 0.37.

Community Plan Analysis:

The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) designates the project site for [Very Low-density Residential uses](#) [0-5 dwelling units per acre (DU/AC)]. The Residential Element of the Community Plan includes the following policies:

- Residential Densities: "Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density."
- Community Character: "Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures."

The project site is located within an established neighborhood of the Community Plan, which consists predominantly of single-family dwellings. There are no public view corridors, vantage points, or physical access routes to the ocean from the project site, per [Figure 9](#) of the Community Plan.

The proposed development is consistent with the prescribed land use and will result in a density of 2 DU/AC. The proposed ADU does not contribute to density calculations, pursuant to SDMC Section 141.0302(b)(2)(B), which states "ADUs and JADUs are not subject to the *density* limitations for the *premises*." This language was certified under O-21254 and is applicable within the Coastal Overlay

Zone (certified as of September 7, 2022, as part of the 2019 Housing Legislation Code Update). Please note that the most recently City-wide adopted ADU regulations (under O-21989, the 2025 Amendment to the ADU and JADU Regulations) removed this language, but it is pending certification by the California Coastal Commission.

The project is also consistent with the Community Plan's recommendations for maintaining the character of the area through the use of building articulation, roofline variation, and fenestration. Natural exterior finishes include light color wood siding and stone veneer. Additionally, the project design adheres to all development standards mandated by the LJSPD-SF Zone, including building height, density, building setbacks and lot coverage. The project will conform to the 30-foot maximum structure height allowed in the Coastal Height Limitation Overlay Zone, per SDMC Section [132.0505](#) and in accordance with Proposition "D" measurement procedures. The proposed maximum building height is 28.2. No deviations or variances are required.

Conclusion:

City Staff reviewed the proposal, including all issues identified through the review process, and determined that all project issues have been addressed. The project conforms to the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Site Development Permit No. PMT-3349683, PRJ-1134889, with modifications.
2. Deny Site Development Permit No. PMT-3349683, PRJ-1134889, if the findings required to approve the project cannot be affirmed.

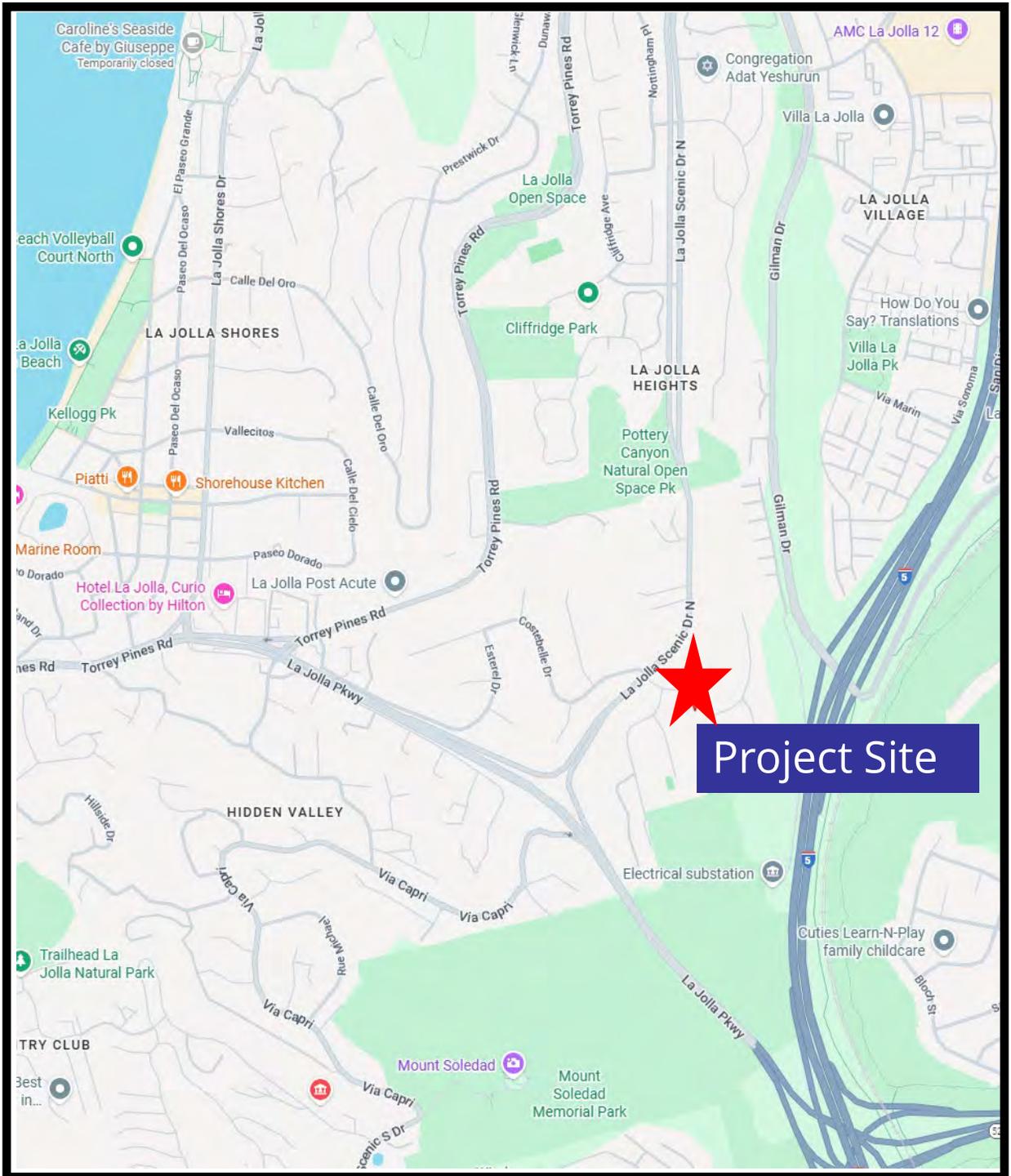
Respectfully submitted,



Veronica Davison
Development Project Manager
Development Services Department

Attachments:

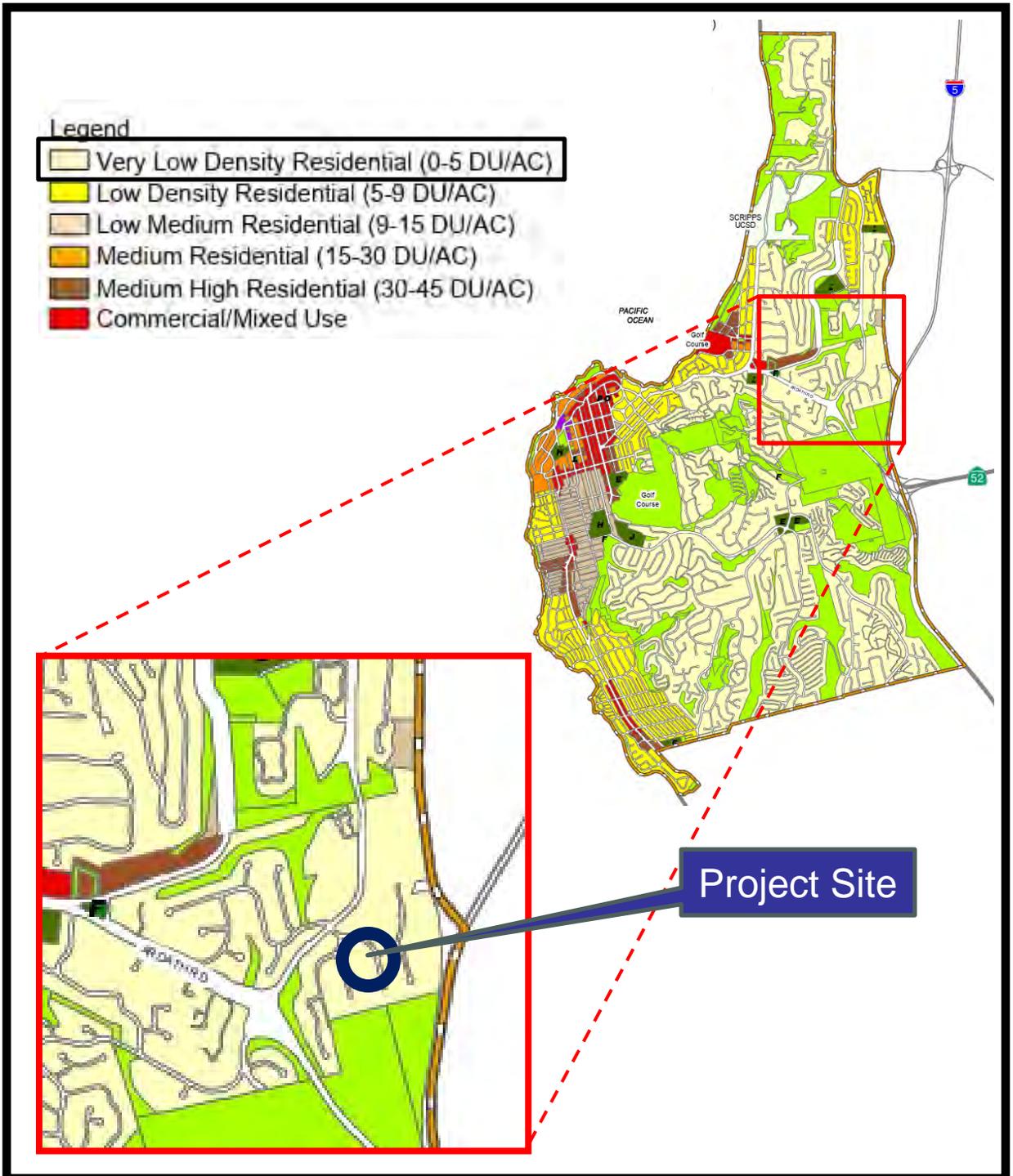
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Notice of Right to Appeal Environmental Exemption
7. LJSPDAB Meeting Minutes
8. Ownership Disclosure Statement
9. Project Plans



Project Location

0 Woodford Drive
Project No. PRJ-1134889

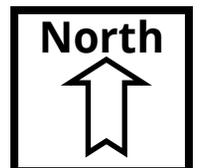






Aerial Photo

0 Woodford Drive
Project No. PRJ-1134889



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
DSD-1A

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24010180

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3349683
WOODFORD DRIVE RESIDENCE - PROJECT NO. PRJ-1134889
HEARING OFFICER

This Site Development Permit No. PMT-3349683 is granted by the Hearing Officer of the City of San Diego to Randolph Martin, Trustee of the MBR Business Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The 0.46-acre site is located at Woodford Drive (APN-346-741-31-00) in the La Jolla Shores Planned District – Single Family [LJSPD-SF] Zone, Coastal Height Limit Overlay Zone, and Airport Land Use Compatibility Overlay (MCAS Miramar) within the La Jolla Community Plan Area. The project site is legally described as: LOT 12 OF LA JOLLA VISTA ESTATES, ACCORDING TO THE MAP THEREOF NO. 6016, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 29, 1957.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to demolish an existing tennis court, surrounded by a chain-link fence, and construct a two-story, 6,562-square-foot, single dwelling unit with an attached garage and a two-story, 967-square-foot detached accessory dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 8, 2026, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing tennis court, surrounded by a chain-link fence;
- b. Construction of a two-story, 6,562-square-foot, single dwelling unit with an attached 790-square-foot, three-car garage, a detached two-story, 967-square-foot, accessory dwelling unit, swimming pool/spa, and associated site improvements;
- c. Landscaping (planting, irrigation and landscape-related improvements); and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 23, 2029.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property, and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies, including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s)

back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

10. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional 2.25 feet of right-of-way along Woodford Drive for a 12-foot-wide parkway as shown on approved Exhibit 'A', satisfactory to the City Engineer.

11. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing driveway and the installation of a new City standard driveway adjacent to the site on Woodford Drive, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for the landscape, irrigation, curb outlet, sidewalk underdrains and private walkway located within the City's ROW, satisfactory to the City Engineer.

13. The drainage system proposed for this development is private and subject to approval by the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices (BMP) necessary to comply with the Grading Regulations of SDMC Chapter 14, Article 2, Division 1 into the construction plans or specifications, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix "D" of the City of San Diego Storm Water Standards Manual.

16. Prior to the issuance of any construction permits, the applicant shall ensure that no dry weather flows are discharged to the receiving storm conveyance system in accordance with Areas of Special Biological Significance (ASBS) requirements.

LANDSCAPE REQUIREMENTS:

17. Prior to the issuance of any construction permits for public improvements, the Owner/Permittee shall submit complete landscape construction documents for ROW improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

18. Prior to the issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with the approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

19. Unplanted recreational areas, walks (areas used for access, whether paved, mulched, stepping stone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the ROW, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted.

21. If any required landscape indicated on the approved construction document plans (including existing or new plantings, hardscape, landscape features, etc.) is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

22. The automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at final inspection of completed buildings.

APPROVED by the Hearing Officer of the City of San Diego on April 8, 2026, and [Approved Resolution Number].

Site Development Permit No: PMT-3349683
Date of Approval: April 8, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hector Rios
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

MBR BUSINESS TRUST
Owner/Permittee

By _____
Randolph Martin
TRUSTEE

[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. PMT-3349683
WOODFORD DRIVE RESIDENCE - PROJECT NO. PRJ-1134889

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. RANDOLPH MARTIN, TRUSTEE OF THE MBR BUSINESS TRUST, Owner/ Permittee, Permittee, submitted an application to the City of San Diego for a Site Development Permit to demolish an existing tennis court, surrounded by a chain-link fence, and to construct a two-story, 6,562-square-foot, single dwelling unit with an attached garage, and a two-story, 967-square-foot detached accessory dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the WOODFORD DRIVE RESIDENCE project.

B. The 0.46-acre site is located at Woodford Drive (APN-346-741-31-00) within the La Jolla Community Plan in the La Jolla Shores Planned District – Single Family [LJSPD-SF] Zone, Coastal Height Limit Overlay Zone, and Airport Land Use Compatibility Overlay (MCAS Miramar) zone. The project site is legally described as LOT 12 OF LA JOLLA VISTA ESTATES, ACCORDING TO THE MAP THEREOF NO. 6016, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 29, 1957.

C. On December 23, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Site Development

Permit No. PMT-3349683:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

I. The proposed development will not adversely affect the applicable land use plan.

The project site is located at an unaddressed parcel (APN-346-741-31-00) on the south side of Woodford Drive, east of 7887 Revelle Drive and west of 2975 Woodford Drive Woodford Drive, within an established residential area in the LJSPD-SF Zone and the Coastal Height Limit Overlay within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The 0.46-acre site is approximately 1.5 miles east of the Pacific Ocean and is not between the nearest public road and the sea or the shoreline of any body of water. There are no public view corridors, vantage points, or physical access routes to the ocean from the project site as identified in [Fig. 9 of the Community Plan](#).

The project scope includes the demolition of an existing tennis court and the construction of a two-story, 6,562-square-foot, single-dwelling unit with an attached garage, a two-story, 967-square-foot, accessory dwelling unit (ADU), a pool/spa, and associated site improvements.

The existing tennis court, surrounded by a chain-link fence, was constructed in approximately 1978 and is considered a structure, as defined in [SDMC Section 113.0103](#). Structures that are 45 years or older require historical evaluation. City Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The Community Plan designates the project site for [Very Low-density Residential uses](#) [0-5 dwelling units per acre (DU/AC)]. The Residential Element of the Community Plan includes the following policies:

- Residential Densities: "Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density."
- Community Character: "Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures."

The project site is situated within an established residential neighborhood of the Community Plan, primarily comprising single-dwelling units. The proposed development is consistent with the prescribed land use and will result in a density of 2 DU/AC. The proposed ADU does not contribute to density calculations, pursuant to SDMC Section 141.0302(b)(2)(B), which states "ADUs and JADUs are not subject to the density limitations for the premises." This language was certified under O-21254 and is applicable within the Coastal Overlay Zone (certified as of September 7, 2022, as part of the 2019 Housing Legislation Code Update). Please note that the most recently City-wide adopted ADU regulations (under O-21989, the 2025 Amendment to the ADU and JADU Regulations) removed this language but are pending certification by the California Coastal Commission, and therefore are not applicable to this site within the Coastal zone.

The project is also consistent with the Community Plan's recommendations for maintaining the character of the area through the use of building articulation, roofline variation, and fenestration. Natural exterior finishes include light color wood siding and stone veneer. Additionally, the project design adheres to all development standards mandated by the LJSPD-SF Zone, including building height, density, building setbacks and lot coverage. The project will conform to the 30-foot maximum structure height allowed in the Coastal Height Limitation Overlay Zone, per [SDMC Section 132.0505](#) and in accordance with Proposition "D" measurement procedures. The proposed maximum building height is 28.2. No deviations or variances are required. Therefore, the project will not adversely affect the applicable land use plan.

II. The proposed development will not be detrimental to the public health, safety, and welfare.

The previously disturbed project site is approximately 1.5 miles east of the Pacific Ocean within an established residential area. It is not located within a coastal bluff, beach, or special flood area. A Preliminary Drainage Study, prepared for the project by Christensen Engineering & Surveying and dated April 10, 2025, was reviewed for stormwater, drainage, and hydrology requirements. Stormwater impacts from the project will be mitigated through the implementation of Best Management Practices (BMPs) in compliance with the Grading Regulations of the SDMC. The drainage system proposed for this development is subject to approval by the City Engineer at the time of construction permit approval.

The project was reviewed for compliance with the City of San Diego's codes, policies, and regulations, with a primary focus on protecting the public's health, safety, and welfare. Conditions of approval include a Water Pollution Control Plan to be drafted in accordance with the City of San Diego Storm Water Standards Manual; ensuring that no dry weather flows are discharged to the receiving storm conveyance system in accordance with Areas of Special Biological Significance (ABS) requirements; obtaining an Encroachment Maintenance and Removal Agreement for the landscape, irrigation, curb outlet, sidewalk underdrains and private walkway located within the City's Right-of-Way, satisfactory to the City Engineer. In addition, the project is conditioned to dedicate 2.25 feet at the front property line along Woodford Drive for

a 12-foot-wide parkway and to install a new City standard driveway adjacent to the site on Woodford Drive.

Therefore, the Project will not be detrimental to public health, safety, and welfare.

III. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The La Jolla Shores Planned District Ordinance requires all buildings and setbacks to be in general conformity with those in the vicinity. The applicant has provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey indicates the following ranges: front setback, between 5 and 28 feet; side setbacks, between 3 and 28 feet. The project proposes a 25-foot front yard setback, a 23.5-foot side yard setback at the West Property Line, and a 5.5-foot side yard setback at the East Property Line, all of which are consistent with the survey. Additionally, the project complies with the required maximum lot coverage of 0.60, proposing a coverage of 0.37.

As set forth in Finding A. I. above, which is herein incorporated by reference, the proposed development complies with the regulations of the applicable Land Use Plan and the La Jolla Planned District Ordinance, including Landscape regulations and includes no deviations. Therefore, the proposed development will comply with the regulations of the Land Development Code.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Site Development Permit No. PMT-3349683 is granted by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Site Development Permit No. PMT-3349683, a copy of which is attached to and made a part of this Resolution by this reference.

Veronica Davison
Development Project Manager
Development Services

Adopted on: April 8, 2026

IO#: 24010180



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 23, 2025

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24010180

PROJECT NAME / NUMBER: Woodford Drive Residence / PRJ-1134889

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 0 Woodford Drive (APN-346-741-31-00), west of and adjacent to 2975 Woodford Drive San Diego, CA 92037

PROJECT DESCRIPTION: The project proposes a Site Development Permit (SDP) for demolition of a tennis court and construction of a new 6,562 square foot 2-story single dwelling unit with a 790 sf attached garage, a new 967 square foot 2-story accessory dwelling unit, a pool, and associated site improvements (hardscape and landscaping), located at 0 Woodford Dr. (APN: 346-741-3100) next to 2975 Woodford Dr. The 0.46-acre site is in the LJSPD-SF Base Zone and is designated Very Low Density Residential (0-5 du/ac) within the La Jolla Community Plan Area.

LEGAL DESCRIPTION: Lot 12 of La Jolla Vista Estates Map 6016.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities and Section 15303, New Construction or Conversion of Small Structures

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15301, which includes demolition of accessory structures and CEQA Section 15303, which consists of the construction and location of limited numbers of new small facilities or structures. Section 15301 allows for demolition and removal of accessory structures such as the tennis court. CEQA Section 15303 allows for the construction of up to three single-family residences in urbanized areas, utility extensions of reasonable lengths to serve such construction, and accessory (appurtenant) structures. The project

proposes the demolition of a tennis court and construction of a new single-family residence, ADU, and associated improvements. As such, these exemptions were deemed appropriate. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

DEVELOPMENT PROJECT MANAGER: Veronica Davison
MAILING ADDRESS: 7650 Mission Valley Road, MS DSD-1A, San Diego, CA 92108
PHONE NUMBER / EMAIL: (619) 446-5462 / HDavison@sandiego.gov

On December 23, 2025 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (January 8, 2026). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

MEETING MINUTES FROM:

WEDNESDAY, October 15, 2025

- Item 1: CALL TO ORDER
Board Member Sherri Lightner called the meeting to order at 10:00 a.m.
- Item 2: ROLL CALL
Members Present: Herbert Lazerow, Sherri Lightner, Kathleen Neil, Suzanne Weissman, and Phillip Wise.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Matthew Nasrallah, Associate Planner, City Planning Department.
- Item 3: APPROVAL OF THE AGENDA
Motion to approve the agenda by Board Member Neil, seconded by Board Member Wise. Agenda approved 5-0-0.
- Item 4: APPROVAL OF THE MINUTES from September 17, 2025.
Motion to approve the minutes with changes by Board Member Lazerow, seconded by Board Member Lightner. Minutes approved 5-0-0.
- Item 5: BOARD MEMBER COMMENT
No board member comments were provided.
- Item 6: STAFF LIAISON COMMENT
Staff noted that City Planning staff is still working on the draft language for the 2025 Land Development Code.
- Item 7: NON-AGENDA PUBLIC COMMENT
No public comment was provided.
- Item 8: **PRJ-1065814 - 8110 Camino Del Oro - La Jolla Shores Hotel (ACTION ITEM)**
Right-of-Way Permit for a sidewalk cafe that was permitted and constructed during the Temporary Outdoor Business Operations period in an existing

landscaped area. The applicant is seeking a recommendation that the project is minor in scope (Process 1).

Brandon Creasy of Benton & Benton Architects presented the project.

Public Comment:

No public comment was provided.

Board Comment included:

- Concern regarding illumination at the top of the building.
- Concern about the project amplifying activities adjacent to the walkways.
- Request to add specific signage with notice that the area is public.
- Suggestions to submit an application for a streeterie or a sidewalk café as opposed to a permit under Spaces as Places.
- Concern that the project is not minor in scope and should instead require a Coastal Development Permit.
- Concern that there is no fenced-off section if alcohol will be served.

Board Motion: The LJSPDAB moved to recommend the project as minor in scope, with the condition that signage with notice that the area is public. Motion made by Board Member Neil, seconded by Board Member Wise. Motion failed 2-3-0. The LJSPDAB then moved to recommend the project as not minor in scope and requiring more study. Motion made by Board Member Weissman, seconded by Board Member Lightner. Motion failed 2-3-0.

Item 9: **PRJ-1109965 - 8303 Prestwick Drive (ACTION ITEM)**

New construction of a 6,182 square feet (gross floor area) single family residence on a vacant lot consisting of a previously demolished existing residence with a buried garage and basement level; two level with rooftop access area; raised backyard with fill over 5'-0" up within manufactured slope extent per the soils report; and redesigned building and landscaping from the initial site development submittal. The applicant is seeking a recommendation for a Coastal Development Permit and Site Development Permit.

Spencer Miller of Architects presented the project.

Public Comment:

The neighbor directly north of the project's biggest concern is the bulk and mass of the project. The setbacks of the proposed project don't align with the neighbor's home. The neighbor claims that the walls are massive and unattractive. The lack of setback on the second floor is also a concern, but a setback of 1 or 2 feet to get more room would be ideal. The front deck with a large overhang and living space

being on the second floor is also of concern. The neighbor believes the project might obstruct the view of Mount Soledad.

Board Comment included:

- Concern that the project is not far enough in the development process to make a sound determination.
- Request to see the drainage study and brush management that the city requires.
- Concern that the project design is over the PDO height requirement.

Board Motion: The LJSPDAB moved to consider the project as a concept only item (informational), allowing the applicant to come back to the Board with a updated design at a future meeting. Motion made by Board Member Neil, seconded by Board Member Lazerow. Motion approved 5-0-0.

Item 10: **PRJ-1134889 – 2955 Woodford Drive (ACTION ITEM)**

Construction of a new 2-story single family residence with an attached 3-car garage and an attached 2-story ADU in the back of the house. The lot is currently vacant. The applicant is seeking a recommendation for approval of a Site Development Permit.

Sarah Horton of Golba Architecture presented the project.

Public Comment:

Iraj Noorany is a civil engineer by profession and lives one block south of the project site. He states that he was informed about the project on the Friday prior to the meeting, from other neighbors. He states that the home is significantly larger than other homes in the neighborhood. Neighbors are concerned about the heights on the south and west sides. He requests that the Board allow the homeowners more time to review the project.

Michael Wingtringer has owned a home in the neighborhood for the last 25 years and lived there as a child. He states that all 15 lots were originally single-story ranch style. Of those 15, 11 still stand mostly as they are. Four have been torn down, but all are still single-story. One lot was never developed. He claims that the family next door didn't want to have a neighbor, so they bought the lot and put a tennis court in the neighborhood. If the lot were developed, it would have been a 4,000 sq ft single-family ranch-style home, as opposed to the 8,000 square foot design being proposed now.

Gerdwin, a neighbor who lives on 2940 Woodreed, has concerns about the development because the street lacks sidewalks.

Board Comment included:

- Concern regarding the floor area ratio, which is substantially different from the average for homes in the neighborhood, and would be an outlier, statistically.
- Concern that there are no stepbacks along the second story of the home.
- Concern about the long property line with a very small setback.

Board Motion: The LJSPDAB moved to recommend denial of the project for a Site Development Permit based on its noncompliance with the neighborhood character and the outlier of the floor area ratio. Board Member Neil made the motion, which was seconded by Board Member Lazerow. The motion was approved 5-0-0.

Item 11: **Discussion of the response from the office of the Mayor to the Board's letter of August 28, 2025 (ACTION ITEM)**

Public Comment:

No public comments were provided.

Board Comment included:

- The Board will collaborate to create a response to the City's letter.

Item will be addressed at the next meeting.

Item 12: ADJOURNMENT

Next meeting: November 19, 2025. The meeting concluded at 12:32 p.m.

FORM
DS-318
July 2024

Ownership Disclosure Statement

Permit/Approval Type: Check the appropriate box for permit/approval and type(s) requested (See [Project Submittal Manual](#)):

- Development Permit:** Site Development Permit (La Jolla Shores)
- Subdivision Approval:** _____
- Policy Approval:** _____

Project Title: Woodford New Residence **Project No. For City Use Only:** _____

Project Location/Address/Accessor's Parcel Number:
TBD Woodford Dr., La Jolla, CA, 92037 / APN 346-741-31-00

Specify Form of Ownership/Legal Status (please check):

- Individual Partnership Corporation Limited Liability -or- General - What State? CA
- Corporate Identification No.: 46-4005227 Trust - Date of Trust: 6/17/2024
- City of San Diego/Asset Management Department: _____

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. On the second page of this form, please list the owner(s), the applicant(s), and other financially interested persons of the above-referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application, or:

Important Instructions

1. If the applicant includes a corporation or partnership, include the names, titles, and addresses of all individuals owning more than 10% of the shares.
2. If it's a publicly owned corporation, include the names, titles, and addresses of the corporate officers.
3. If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer, director, trustee or beneficiary of the nonprofit organization.
4. The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least 30 days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.
5. A signature is required of at least one of the property owners.
6. Attach additional pages if needed.

Property Owner/Authorized Agent
(Per _____)

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency
- City of San Diego/Asset Management Department*

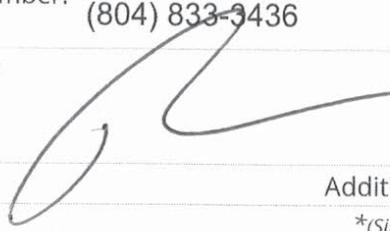
Name of Individual: **Randolph Martin**

On behalf of: **"New Home Woodford Dr, a Series of the MBR Business Trust"**

Street Address: **PO Box 9392**

City: **Rancho Santa FE** State: **CA** Zip: **92067**

Phone Number: **(804) 833-3436** Email: **randymartin73@yahoo.com**

Signature:  Date: **04/07/2025**

Additional pages attached: Yes No

**(Signature within this section not required for City of San Diego/Asset Management Department)*

Applicant Check if Same as Property Owner/Authorized Agent
(Per _____)

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

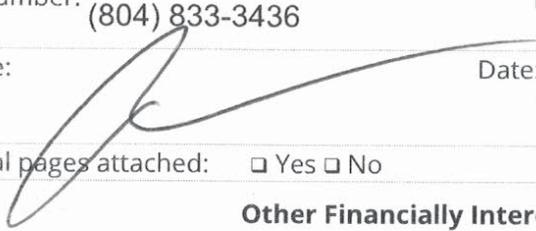
Name of Individual: **SAME**

On behalf of:

Street Address: **PO Box 9392**

City: **Rancho Santa FE** State: **CA** Zip: **92067**

Phone Number: **(804) 833-3436** Email: **randymartin73@yahoo.com**

Signature:  Date: **04/07/2025**

Additional pages attached: Yes No

Other Financially Interested Persons Check if N/A

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

Name of Individual: **Randolph Martin**

On behalf of:

Street Address: **PO Box 9392**

City: **Rancho Santa FE** State: **CA** Zip: **92067**

Phone Number: **(804) 833-3436** Email:

Signature:  Date: **04/07/2025**

Additional pages attached: Yes No

Visit our web site: sandiego.gov/DSD.

Upon request, this information is available in alternative formats for persons with disabilities.

PROPRIETARY DESIGN. THE DRAWINGS, DESIGNS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATED WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

WOODFORD RESIDENCE

2955 WOODFORD DR.
LA JOLLA, CA 92037

SITE DEVELOPMENT PERMIT
(LA JOLLA SHORES) SET
11-06-25

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
4455 Lamont St. #101 San Diego California 92109
Phone: (619) 231-9905 www.Golba.com

WOODFORD RESIDENCE
2955 WOODFORD DR.
LA JOLLA, CA 92037



SYMBOLS

SYMBOLS section containing: SHEET NUMBER (A1.5), NORTH ARROW, ELEVATION MARKS, DOOR SYMBOL, WINDOW SYMBOL, BUILDING SECTION MARKS, WALL SECTION MARKS, DETAIL TARGETS, PLAN BLOW-UP DETAILS, and various other architectural symbols.

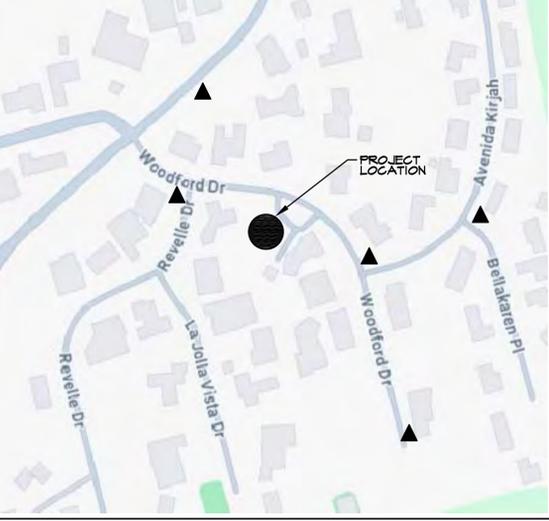
ABBREVIATIONS

ABBREVIATIONS table listing various construction terms and their abbreviations, such as ACQUS., ADJ., A.F.F., AGG., ALUM., ALT., A.P., APPROX., ARCH., ASPH., ASST., AUTO., CAB., CIRC., C.L.C., C.L.R., C.L.G., C.L.O., C.M.U., C.O.L., CONC., CONF., CONN., CONSTR., CONT., CONTR., COORD., CORR., CPT., C.J., C.T., C.W., DBL., DEMO., DEPT., DIA., DIAS., DIFF., DIM., DIV., DN., D.P., DR., DTL., E., EA., EL., ELAS., ELEC., ELEV., EMER., ENCL., ENGR., ENTR., ENT., E.P.N.L., EQ., EQUIP., E.W.C., EXH., EXST., EXP., EXT., F.D., FDN., F.E., F.F., F.H.G., FIN., FL., FLEX., FLOUR., FT., FRUN., FURR., FUT., G.A., GALV., GEN., GL., GND., GR., GYP., BD., H.C., HDND., H.M., HORZ., HR., HT., HTS., H.V.A.C., H.W., IN., INCAND., INCL., INSUL., INT., INTERM., JAN., JT., KIT., LAM., LAUN., LAV., LB.(S), L.F., LT., MACH., MAINT., MAS., MATL., MCH., MEMB., MEZZ., MFR., MIN., MISG., M.O., MOV., MTD., MTL., MUL., N., N.I.C., NO., NOM., N.T.S., O.A., O.C., O.D., O.F.D., OFF., OH., OFFNS., OPPOSITE, PAV., P.C., PL., P.LAM., PLAS., PLBS., PLVD., PNT., PNL., POL., PROP., P.S.F., P.S.I., PTD., PTN., PT., QTY., R., RECEP., REINF., R.O.M., RAD., R.B., R.C.P., R.D., REC., REF., REFR., REINF., REQD., RESL., REV., RFG., RM., R.O., S., SAN., SCHED., SECT., SECUR., S.F., SHR., SHT., SIM., SL., STANPIPE, SPEC., SPKR., SQ., S.ST., STA., STD., STL., STOR., STRUC., SUSP., SYM., T., T.O., T.&B., T.&G., TEL., TEMP., TER., THK., TLT., TOPO., T.V., TYP., UNEXC., UNF., U.N.O., UTL., VAC., V.C.T., VENT., VERT., VEST., V.I.F., VOL., V.T., W., W.C., WD., W.F., W.H., WINDO., W.M., WTPS., WT., W.W.F., YD.

VICINITY MAP NTS



HYDRANT MAP NTS



GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED PROJECT RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN. IN AN EFFORT TO REACH THESE GOALS, THE PROJECT WILL EMPLOY THE FOLLOWING: - SOLAR PHOTOVOLTAIC SYSTEM FOR GENERATING POWER ON SITE (UNDER SEPARATE PERMIT) - HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE - "ENERGY STAR" APPLIANCES - DUAL PANE LOW-E GLAZINGS ON ALL NEW WINDOWS - USE OF LOW V.O.C. PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS, AND OTHER FINISHES WHERE FEASIBLE - USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE - NATURAL COOLING AND VENTILATION WITH OPERABLE WINDOWS - WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE - USE OF PERMEABLE PAVING WHERE FEASIBLE - USE OF RAIN SENSOR SHUT OFF DEVICES - HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT - ELECTRICAL OUTLET ON SEPARATE CIRCUIT IN GARAGE FOR ELECTRIC CAR USAGE

PALEONTOLOGICAL SENSITIVITY AREA NOTE:

THE PROJECT SITE FALLS WITHIN A MODERATE-RISK PALEONTOLOGICAL SENSITIVITY AREA. IN ACCORDANCE WITH SECTION 142.0151 OF THE SDMG, IF PALEONTOLOGICAL RESOURCES ARE DISCOVERED DURING GRADING, ALL WORK IN THE AFFECTED AREA MUST IMMEDIATELY STOP. A QUALIFIED PALEONTOLOGICAL MONITOR MUST ASSESS THE DISCOVERY AND ENSURE PROPER RECOVERY, FOLLOWING THE GENERAL GRADING GUIDELINES FOR PALEONTOLOGICAL RESOURCES.

PROJECT DATA

PROJECT DESCRIPTION: PROFESSIONAL CERTIFICATION SUBMITTAL OF A SITE DEVELOPMENT PERMIT (LA JOLLA SHORES) FOR THE CONSTRUCTION OF A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND A 2-STORY ACCESSORY DWELLING UNIT ON A VACANT LEGAL LOT. SITE ADDRESS: 2955 WOODFORD DR. LA JOLLA, CA 92037. ASSESSORS PARCEL NUMBER: 346-741-31-00. LEGAL DESCRIPTION: LOT 12 OF LA JOLLA VISTA ESTATES, MAP 6016. EXISTING PERMITS: NONE. REQUIRED PERMITS: SITE DEVELOPMENT PERMIT (LA JOLLA SHORES). YEAR EXISTING STRUCTURES WERE BUILT: N/A (NO STRUCTURES ON LOT 12). EXISTING SOIL CONDITIONS: PREVIOUSLY GRADED & DISTURBED. LOT USE EXISTING: VACANT LOT. LOT ZONING: LJSFD-SF. OVERLAY ZONE DESIGNATION: COASTAL HEIGHT LIMITATION OVERLAY ZONE, LA JOLLA COMMUNITY PLAN, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE & INFLUENCE AREA, MCAS MIRAMAR - REVIEW AREA 2, BRUSH MANAGEMENT ZONE - 100' SETBACK, VERY HIGH FIRE HAZARD SEVERITY ZONE. LOT SIZE: 20,108 S.F. (0.46 ACRES). MAXIMUM F.A.R.: 0.45. PROPOSED F.A.R.: 0.41. PROPOSED F.A.R. OF LIVING: 0.37. ALLOWABLE LOT COVERAGE: 60%. PROPOSED LOT COVERAGE: 5,354 SF (26% OF LOT). OCCUPANCY: R-3. BUILDING CODES: 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CALIFORNIA FIRE CODE. CONSTRUCTION TYPE: TYPE VB, SPRINKLERED IN ACCORDANCE WITH NFPA 13D OR CRC SECTION R313. NUMBER OF STORIES EXISTING: N/A. BUILDING HEIGHT EXISTING: N/A. GEOLOGICAL HAZARD CATEGORY: 52. LANDSCAPE AREA: 9,873 S.F. (49%).

AREA CALCULATIONS

AREA CALCULATIONS table with columns for MAX. ALLOWABLE F.A.R., AREA OF SITE, ALLOWABLE AREA, MAIN HOUSE HABITABLE, ACCESSORY DWELLINGS UNIT HABITABLE, ATTACHED GARAGE, TOTAL PROPOSED HABITABLE G.F.A., PROPOSED F.A.R. OF HABITABLE, TOTAL PROPOSED G.F.A., PROPOSED F.A.R.

SHEET INDEX

SHEET INDEX table listing GENERAL (TS1, TS2, TS3), CIVIL (C0, C1, C2), ARCHITECTURAL (A00, A01, A11, A12, A13, A20, A21, A22, A30), and LANDSCAPE (L0, L1, L2, L3, L4, L5, L6) sheets.

PROJECT DIRECTORY

OWNER: RANDY MARTIN, C/O GOLBA ARCHITECTURE, INC., 4455 LAMONT ST., SUITE 101, SAN DIEGO, CA 92104. ARCHITECT: GOLBA ARCHITECTURE, INC., 1940 GARNET AVE., SUITE 100, SAN DIEGO, CA 92104. SURVEYOR: SAN DIEGO LAND SURVEYING & ENGINEERING, INC., 7028 CONVOY COURT, SAN DIEGO, CA 92111. CIVIL ENGINEER: CHRISTENSEN ENGINEERING & SURVEYING, 7888 SILVERTON AVE., SUITE J, SAN DIEGO, CA 92126. LANDSCAPE ARCHITECT: TOPIA, 2030 GALVESTON ST., SAN DIEGO, CA 92110.

PROFESSIONAL CERTIFICATION PROCESS CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT: 1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT; 2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT; 3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION; 4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS; 5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW; 6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; 7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER I, SECTION 4, AND/OR SECTION 6 FOR REZONES; AND 8. FOR THE PROPOSED PROJECT, I HAVE DETERMINED THE APPROPRIATE PROCESS AND APPROVAL TYPES TO BE AS FOLLOWS: PROJECT PROCESS LEVEL (2-5): 3. PROJECT APPROVAL(S) NEEDED: SITE DEVELOPMENT PERMIT (LJ SHORES). RESPONSIBLE CERTIFIED PROFESSIONAL NAME: SARAH HORTON. DATE: 04-14-25.

GOLBA ARCHITECTURE inc Architecture Space Planning Interior Design 4455 Lamont St. #101 San Diego California 92109 Phone: (619) 231-9905 www.Golba.com

WOODFORD RESIDENCE 2955 WOODFORD DR. LA JOLLA, CA 92037

Logo for Sarah Horton Inc. and the text 'TS2'.

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City of San Diego • Form DS-560 • September 2021 Page 3

PART D – PDP Exempt Requirements
PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
- If "no" is checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual? Yes, PDP exempt requirements apply No, proceed to next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?
 Yes, PDP exempt requirements apply No, proceed to next question

PART E – Determine if Project is a Priority Development Project (PDP)
Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
- If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5813), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

[CLEAR FORM](#)

Visit our web site: sandiego.gov/dsd
Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

P3

 THE CITY OF SAN DIEGO

FORM DS-560 September 2021 **Stormwater Requirements Applicability Checklist**

Project Address: 2955 Woodford Drive, La Jolla, CA 92037 **Project Number:** PRJ-1184884

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements
All construction sites are required to implement construction BMPs per the performance standards in the [Stormwater Standards Manual](#). Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the [California State Water Resources Control Board](#).

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A – Determine Construction Phase Stormwater Requirements

- Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre)
 Yes, SWPPP is required; skip questions 2-4. No; proceed to the next question.
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
 Yes, WPCP is required; skip questions 3-4. No; proceed to the next question.
- Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes, WPCP is required; skip question 4. No; proceed to the next question.
- Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit,
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments. Yes, no document is required.

Check one of the boxes below and continue to Part B

If you checked "Yes" for question 1, an SWPPP is REQUIRED – continue to Part B

If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B

If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

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P1

City of San Diego • Form DS-560 • September 2021 Page 4

- New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site) and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 9013, 9014, 9541, 7532, 7534 or 7536-7539. Yes No
- Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. Yes No

PART F – Select the appropriate category based on the outcomes of Part C through Part E

- The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS Yes No
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the [Stormwater Standards Manual](#) for guidance. Yes No
- The Project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance. Yes No
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance on determining if the project requires hydromodification plan management. Yes No

Antony K. Christensen Civil Engineer

Name of Owner or Agent Title

Antony K. Christensen 04/10/2025

Signature Date

[CLEAR FORM](#)

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City of San Diego • Form DS-560 • September 2021 Page 2

PART B – Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2

1. ASBS

A. Projects located in the ASBS watershed.

2. High Priority

A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.

B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

3. Medium Priority

A. Projects that are not located in an ASBS watershed or designated as a High priority site.

B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.

C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

4. Low Priority

A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements
Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

PART C – Determine if Not Subject to Permanent Stormwater Requirements
Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Stormwater Standards Manual](#) are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements"
- If "no" is checked for all the numbers in Part C: Continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
 Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
 Yes No
- Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).
 Yes No

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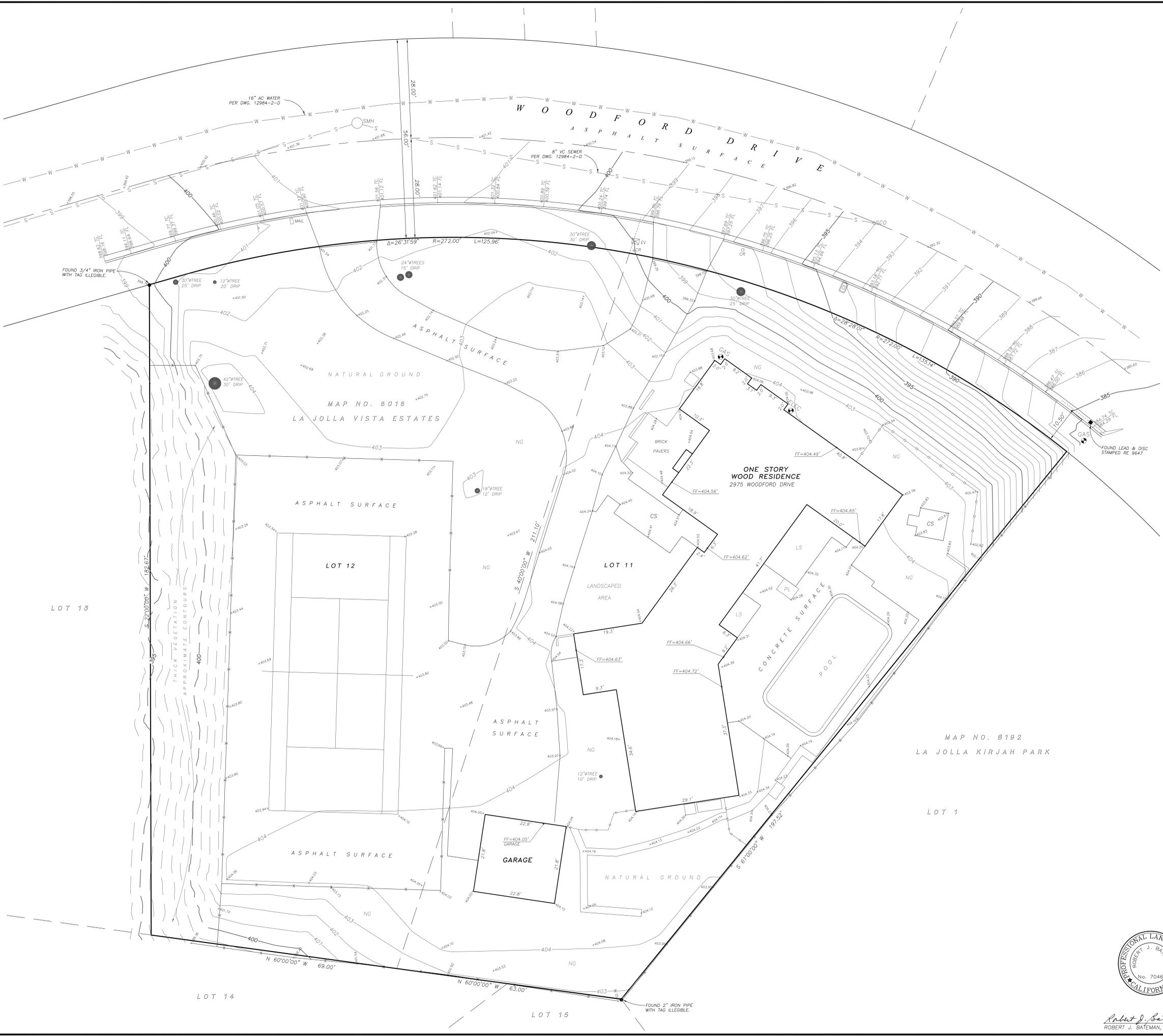
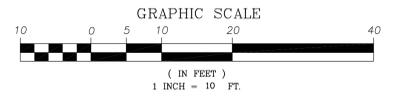
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P2

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Phone: (619) 231-9905 www.Golba.com

WOODFORD RESIDENCE
2955 WOODFORD DR.
LA JOLLA, CA 92037

INC
TS3



- LEGEND:**
- INDICATES WATER METER
 - INDICATES SIGN
 - INDICATES SEWER CLEAN OUT
 - INDICATES SEWER MANHOLE
 - INDICATES COMMUNICATIONS RISER
 - INDICATES ELECTRIC VAULT
 - INDICATES FINISH FLOOR
 - INDICATES TOP OF CURB
 - INDICATES FLOW LINE
 - INDICATES PROPERTY LINE
 - INDICATES CHAIN LINK FENCE
 - INDICATES WOOD FENCE
 - INDICATES WROUGHT IRON FENCE
 - INDICATES WALL
 - INDICATES WATER LINE
 - INDICATES SEWER LINE
 - INDICATES CONCRETE SURFACE
 - INDICATES LANDSCAPE AREA
 - INDICATES NATURAL GROUND

LEGAL DESCRIPTION:
 LOTS 11 AND 12 OF LA JOLLA VISTA ESTATES, ACCORDING TO THE MAP THEREOF NO. 6016, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 29, 1957.

BASIS OF ELEVATION:
 SOUTHWEST BRASS PLUG
 LA JOLLA SCENIC DRIVE NORTH AND MOONRIDGE DRIVE
 ELEVATION = 378.787 M.S.L.



TOPOGRAPHY SURVEY		
For the exclusive use of: RANDOLF MARTIN 380 VIA DEL NORTE LA JOLLA, CALIFORNIA 92037		
San Diego Land Surveying & Engineering, Inc. 7028 Convo Court, San Diego, California 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 7/31/2024	Revised:	Revised:
Scale: 1"=10'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Woodford Dr 2975 Topo	A.P.N. 346-741-30	

Robert J. Bateman
 ROBERT J. BATEMAN, P.L.S. 7046

SITE DEVELOPMENT PERMIT PRJ-1134889

LEGEND	
PROPERTY LINE	— — — — —
EXISTING CONTOUR	— — — — —
PROPOSED CONTOUR	— — — — — 44
PROPOSED MODIFIED CURB OUTLET (1' INTERNAL WIDTH)	— — — — —
PROPOSED RETAINING WALL	— — — — —
EXISTING SEWER MAIN	— S — S —
EXISTING WATER MAIN	— W — W — RD
ROOF DRAIN LOCATION	●
PROPOSED 4" SEWER LATERAL	— S —
PROPOSED 1" WATER SERVICE & WATER METER BOX, PROPOSED BACKFLOW PREVENTER	— W/M — (W) (RP)
PROPOSED 1212 CATCH BASIN	□
PROPOSED AREA DRAIN	○
PROPOSED PVC DRAIN	— — — — —
PROPOSED LIMIT OF WORK	— LW — LW —
PROPOSED PERMEABLE PAVERS	— — — — —

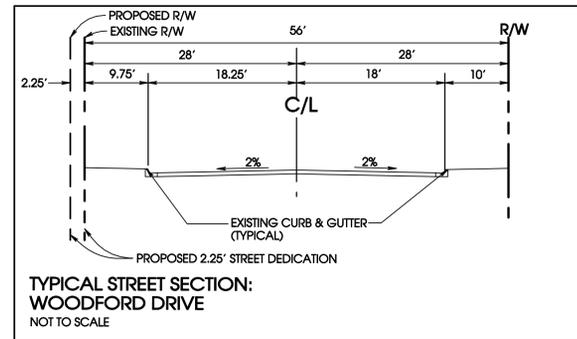
LEGAL DESCRIPTION

LOT 12, LA JOLLA VISTA ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6016, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 29, 1957.

ASSESSOR'S PARCEL NUMBER: 346-741-31-00

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A SURVEY BY SAN DIEGO LAND SURVEYING & ENGINEERING, INC., DATED JULY 31, 2024.
2. THE PROPOSED USE IS FOR A RESIDENTIAL SINGLE-FAMILY RESIDENCE
3. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER MAINS.
4. DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. THE ASSESSOR PARCEL NUMBERS ARE: 346-741-31-00
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
8. SITE RUNOFF SHALL BE TREATED BY FLOW OVER LANDSCAPING BEFORE LEAVING THE SITE.
9. BENCHMARK: CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE SOUTHWEST INTERSECTION OF LA JOLLA SCENIC DRIVE NORTH AND MOON RIDGE DRIVE. ELEVATION 378.787' MEAN SEA LEVEL (N.G.V.D. 1929).
10. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
11. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.



PRELIMINARY OCTOBER 03, 2025
 ANTONY K. CHRISTENSEN Date
 RCE 54021
 EXP. 12-31-25



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE 'J'
 SAN DIEGO, CA 92126
 PHONE (858)271-9901

Project Address:
 2955 WOODFORD DRIVE
 LA JOLLA, CA 92037

Project Name:
 WOODFORD RESIDENCE

Sheet Title:
 PRELIMINARY GRADING PLAN

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 08-03-25 ADDRESS CITY COMMENTS

Original Date: APRIL 10, 2025

Sheet

SITE DEVELOPMENT PERMIT PRJ-1134889

CONSTRUCTION NOTES

- ① PROPOSED 1" WATER SERVICE, WATER METER BOX AND BACKFLOW PREVENTER PER CURRENT CITY STANDARDS
- ② PROPOSED 4" SEWER LATERAL PER CURRENT CITY STANDARD
- ③ REMOVE EX. NON-STANDARD DRIVEWAY AND REPLACE WITH 18' DRIVEWAY PER CURRENT CITY STANDARDS
- ④ PROPOSED TWO PRIVATE SIDEWALK UNDERDRAINS PER CURRENT CITY STANDARD Q100=0.115 CFS (EACH); V100=3.2 FPS (EMRA WILL BE REQUIRED)
- ⑤ PROPOSED PRIVATE WALKWAY IN RIGHT OF WAY (EMRA WILL BE REQUIRED)
- ⑥ PROPOSED PRIVATE MODIFIED CURB OUTLET (1' INTERNAL WIDTH) (EMRA WILL BE REQUIRED) Q100=0.53 CFS; V100=3.4 FPS
- ⑦ PROPOSED PRIVATE PAVERS (SEE LANDSCAPE PLAN)
- ⑧ PROPOSED PRIVATE WALL (SEE LANDSCAPE PLAN)
- ⑨ PROPOSED VISIBILITY TRIANGLE
- ⑩ PROPOSED PRIVATE AREA DRAIN (TYPICAL)
- ⑪ PROPOSED PVC DRAIN (TYPICAL)
- ⑫ PROPOSED PRIVATE 12" CATCH BASIN (TYPICAL)
- ⑬ PROPOSED PRIVATE 6" PVC DRAIN OUTLET THROUGH PLANTER WALL
- ⑭ PROPOSED PRIVATE REINFORCED TURF SWALE
- ⑮ PROPOSED PRIVATE ROOF DRAIN (TYPICAL)
- ⑯ PROPOSED PRIVATE SITE RETAINING WALL (TYPICAL)
- ⑰ PROPOSED LIMIT OF WORK (TYPICAL)
- ⑱ PROPOSED 2.25' STREET DEDICATION
- ⑲ PROPOSED PERMEABLE PAVERS SEE DETAIL BELOW
- ⑳ PROPOSED SOLID 4" PVC DRAIN FROM 4" PVC PERMEABLE PAVEMENT DRAIN WITHIN PAVEMENT RESERVOIR.

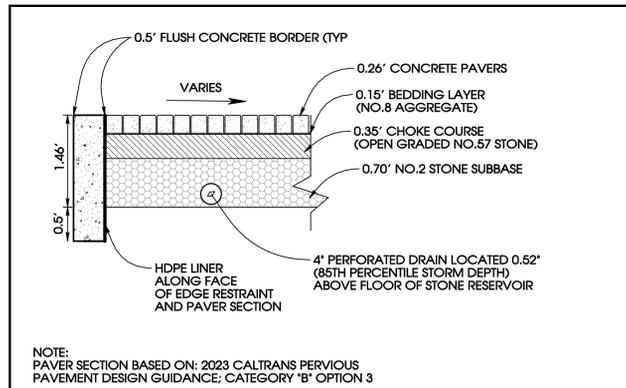
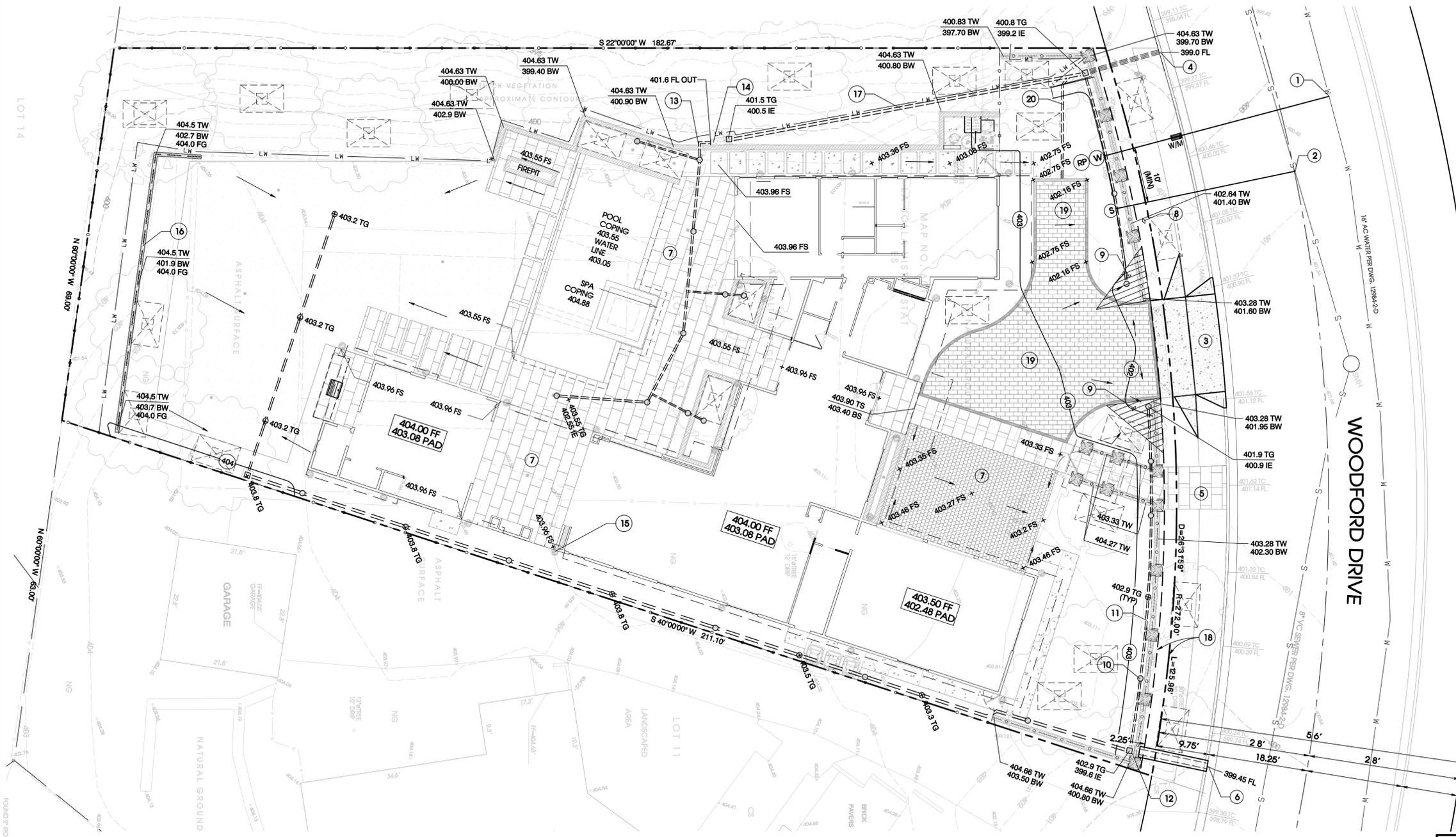
NOTE:
ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT SHALL BE REQUIRED FOR PRIVATE WALKWAY, NON-STANDARD DRIVEWAY, MODIFIED CURB OUTLET AND SIDEWALK UNDERDRAINS, IN WOODFORD DRIVE.

GRADING DATA

AREA OF SITE - 20,108 SF (0.462 AC).
 AREA OF SITE TO BE GRADED - 16,657 SF
 PERCENT OF SITE TO BE GRADED - 82.8%
 AREA OF SITE WITH NATURAL SLOPES GREATER THAN 25% - 0 SF
 PERCENT OF SITE WITH NATURAL SLOPES GREATER THAN 25% - 0%
 VOLUME OF CUT - 240 CY
 VOLUME OF FILL - 30 CY
 VOLUME OF EXPORT - 210 CY
 MAXIMUM HEIGHT OF FILL - 1' (NONE WITHIN BUILDING FOOTPRINT)
 MAXIMUM DEPTH OF CUT - 2' (2' WITHIN BUILDING FOOTPRINT; 4.5' WITHIN POOL)

NOTE: EARTHWORK CALCULATION IS APPROXIMATE AND INCLUDES THE POOL.

IMPERVIOUS AREA:
 EXISTING IMPERVIOUS AREA = 8,749 SF (43.5%)
 EXISTING PERVIOUS AREA = 11,359 SF
 PROPOSED IMPERVIOUS AREA = 9,208 SF (INCLUDING POOL & SPA) (45.8%)
 PROPOSED PERVIOUS AREA = 10,900 SF



NOTE:
PAVER SECTION BASED ON: 2023 CALTRANS PERVIOUS PAVEMENT DESIGN GUIDANCE, CATEGORY 'B' OPTION 3
NOT TO SCALE

PRIVATE PERMEABLE INTERLOCKING PAVEMENT DRIVE AISLE WITH RESERVOIR AND UNDERDRAIN
NOT TO SCALE

Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 'J'
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:
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LA JOLLA, CA 92037

Project Name:
WOODFORD RESIDENCE

Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 08-03-25 ADDRESS CITY COMMENTS

Original Date: APRIL 10, 2025

Sheet Title:
WOODFORD RESIDENCE

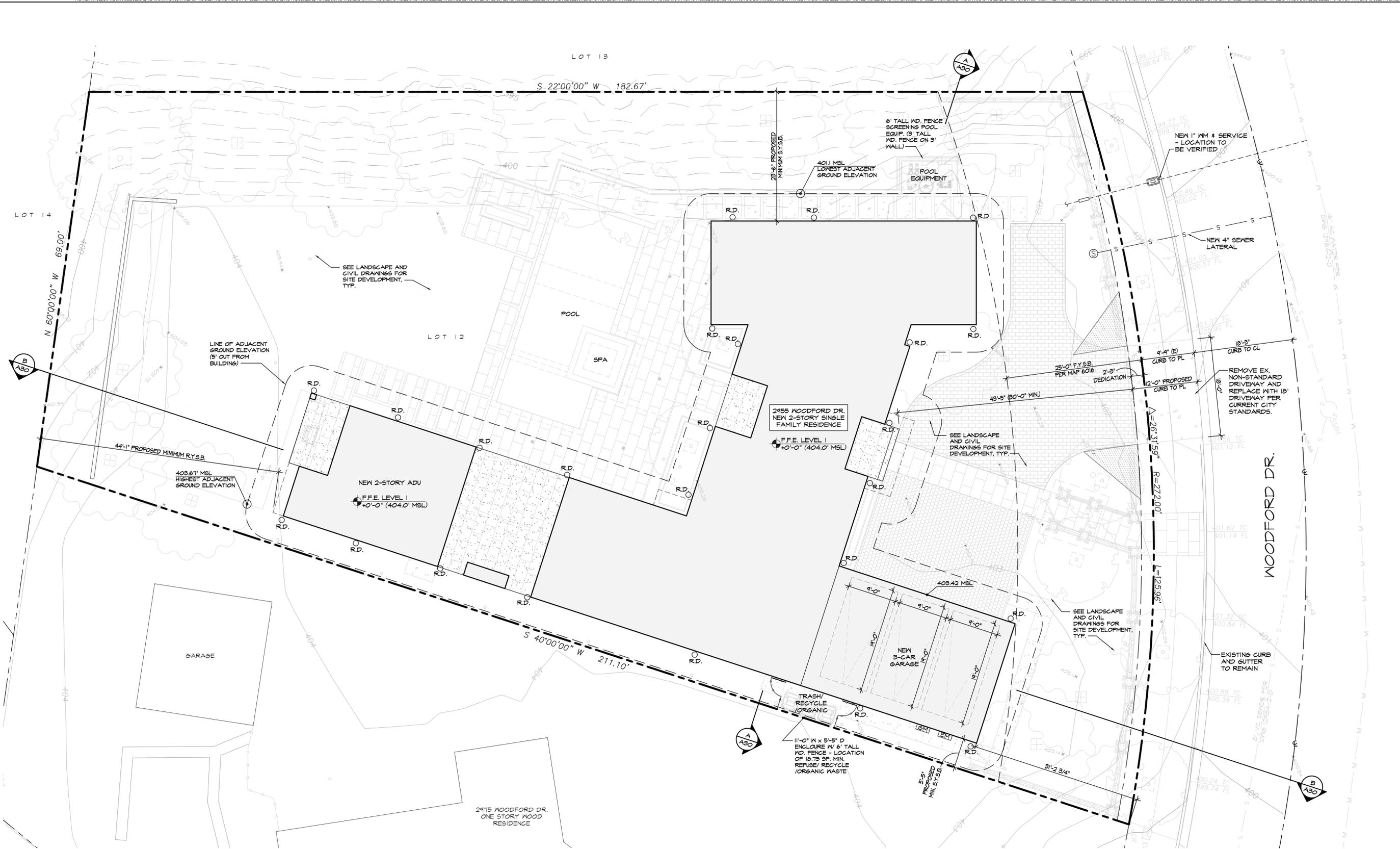
Sheet:
Sheet



PRELIMINARY
ANTHONY K. CHRISTENSEN
RCE 54021
EXP. 12-31-25

OCTOBER 03, 2025
Date





SITE NOTES:

- THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 118.0210.
- THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UFC 901.4.4).
- METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
- SEE ATTACHED TOPOGRAPHIC SURVEY FOR THE SOURCE OF TOPOGRAPHIC INFORMATION.
- SEE HYDRANT MAP ON SHEET T52 FOR LOCATION OF FIRE HYDRANTS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- MECHANICAL EQUIPMENT MAY ENCR OACH INTO SETBACKS IF SOUND ATTENUATION FEATURES ARE INCLUDED AND MEET SECTION 515.0401.
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
- SEE ATTACHED CIVIL PLANS FOR GRADING, DRAINAGE, EROSION CONTROL, AND CONSTRUCTION BMPs.
- SEE ATTACHED LANDSCAPE DRAWINGS FOR SITE DESIGN INFORMATION.

SITE LEGEND:

- NEW FOOTPRINT
- NEW CONCRETE PAVING
- VISIBILITY AREA - NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT
- INDICATES PROPERTY LINE
- INDICATES SETBACK LINE
- ELECTRIC METER
- GAS METER
- WATER METER
- ROOF DRAIN/DECK DRAIN DOWNSPOUT: DISCHARGE INTO LANDSCAPE AREA

EMRA:
ALL PRIVATE & NON-STANDARD IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE CITY ENGINEER'S APPROVAL VIA ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA).

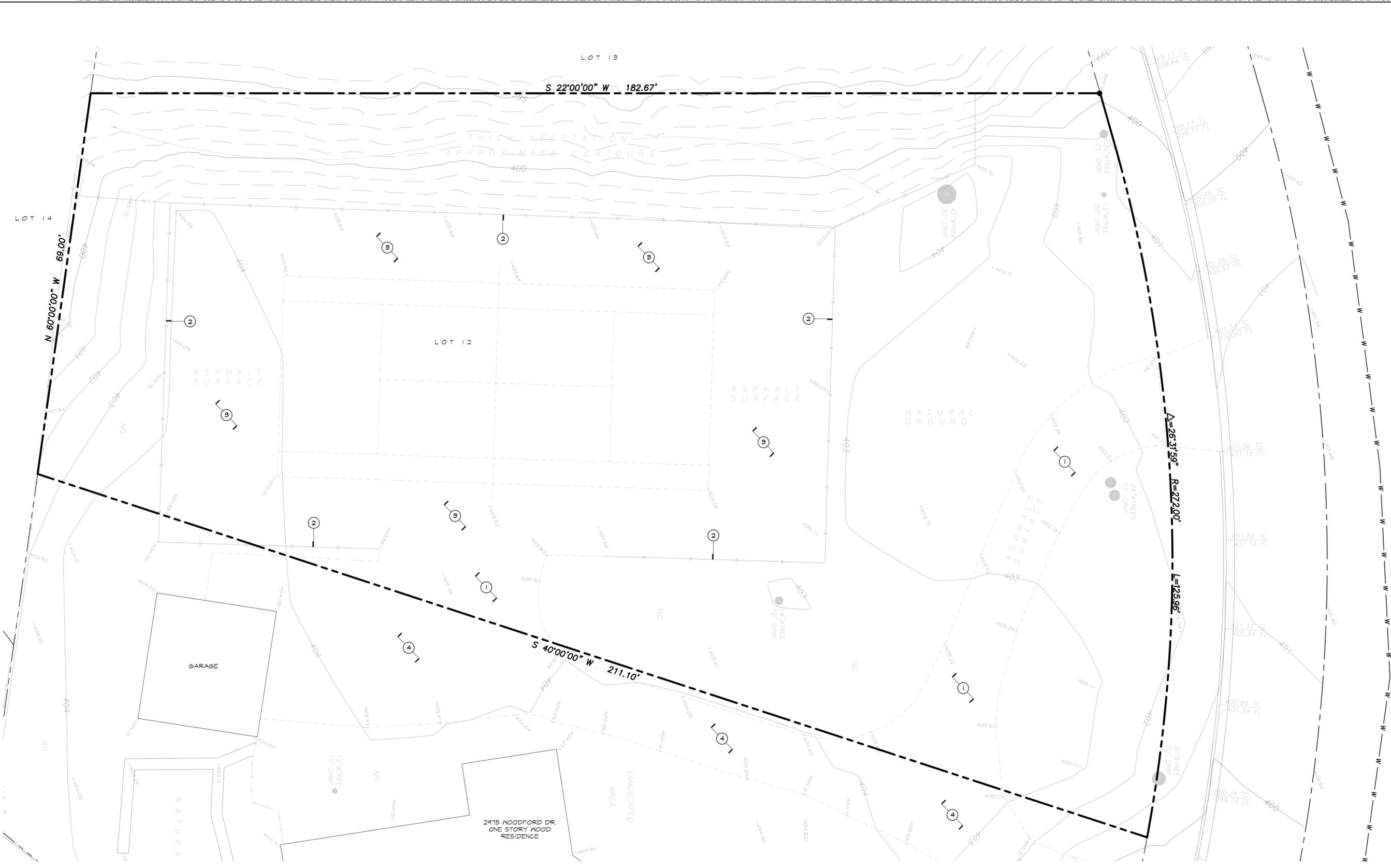
SITE PLAN
SCALE: 1/8"=1'-0"



GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
4455 Lamont St. #101 San Diego California 92109
Phone: (619) 231-9905 www.Golba.com

WOODFORD RESIDENCE
2955 WOODFORD DR.
LA JOLLA, CA 92037

SDG&E
INC.
A00



DEMOLITION KEY NOTES:

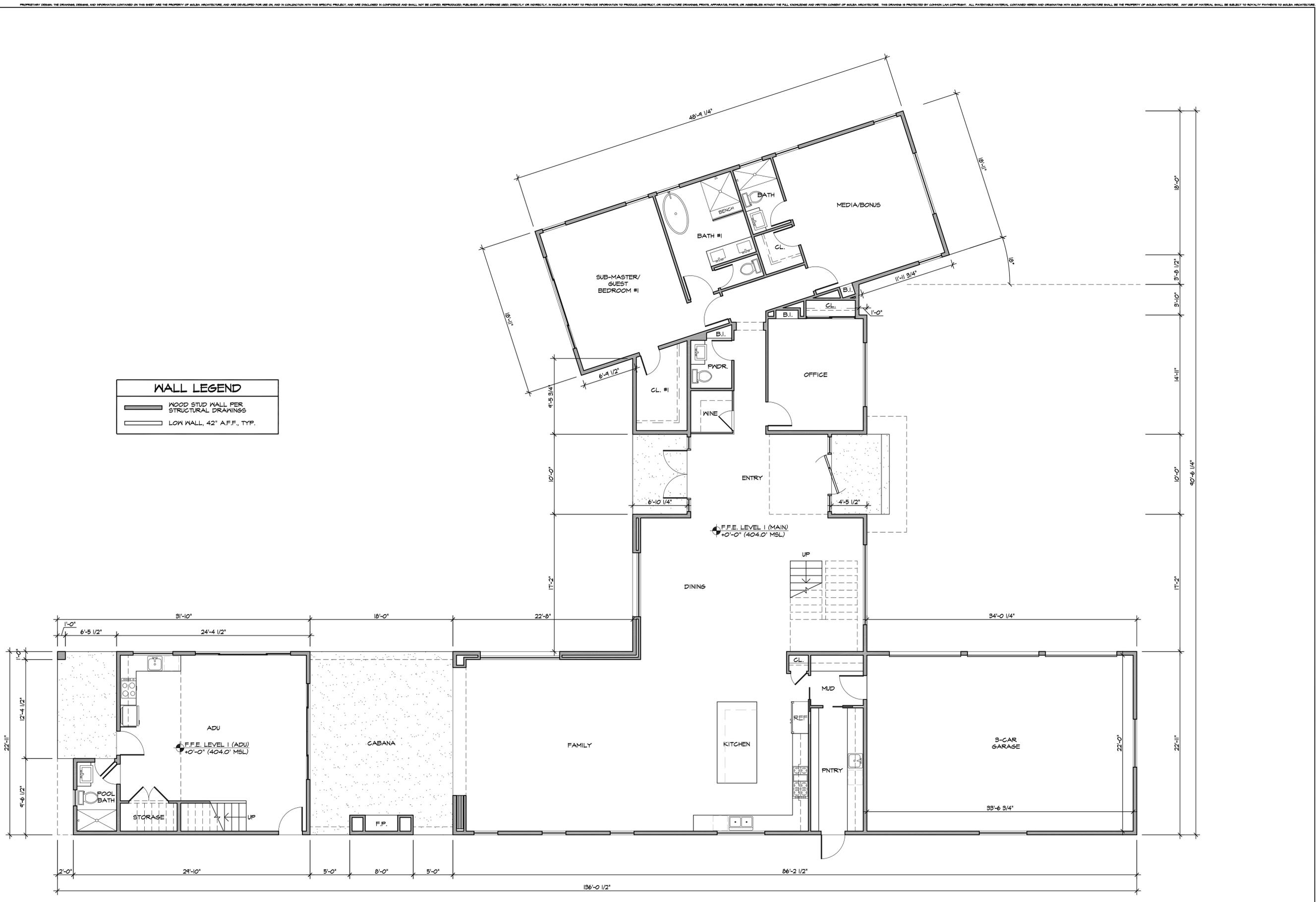
- ① EXISTING ASPHALT DRIVE TO BE DEMOLISHED
- ② ALL EXISTING CHAIN LINK FENCE ON SITE TO BE DEMOLISHED, TYP.
- ③ EXISTING ASPHALT SURFACE TENNIS COURT TO BE DEMOLISHED
- ④ PREVIOUSLY DEMOLISHED ASPHALT SURFACE ON ADJACENT LOT - NOT PART OF THIS PERMIT.

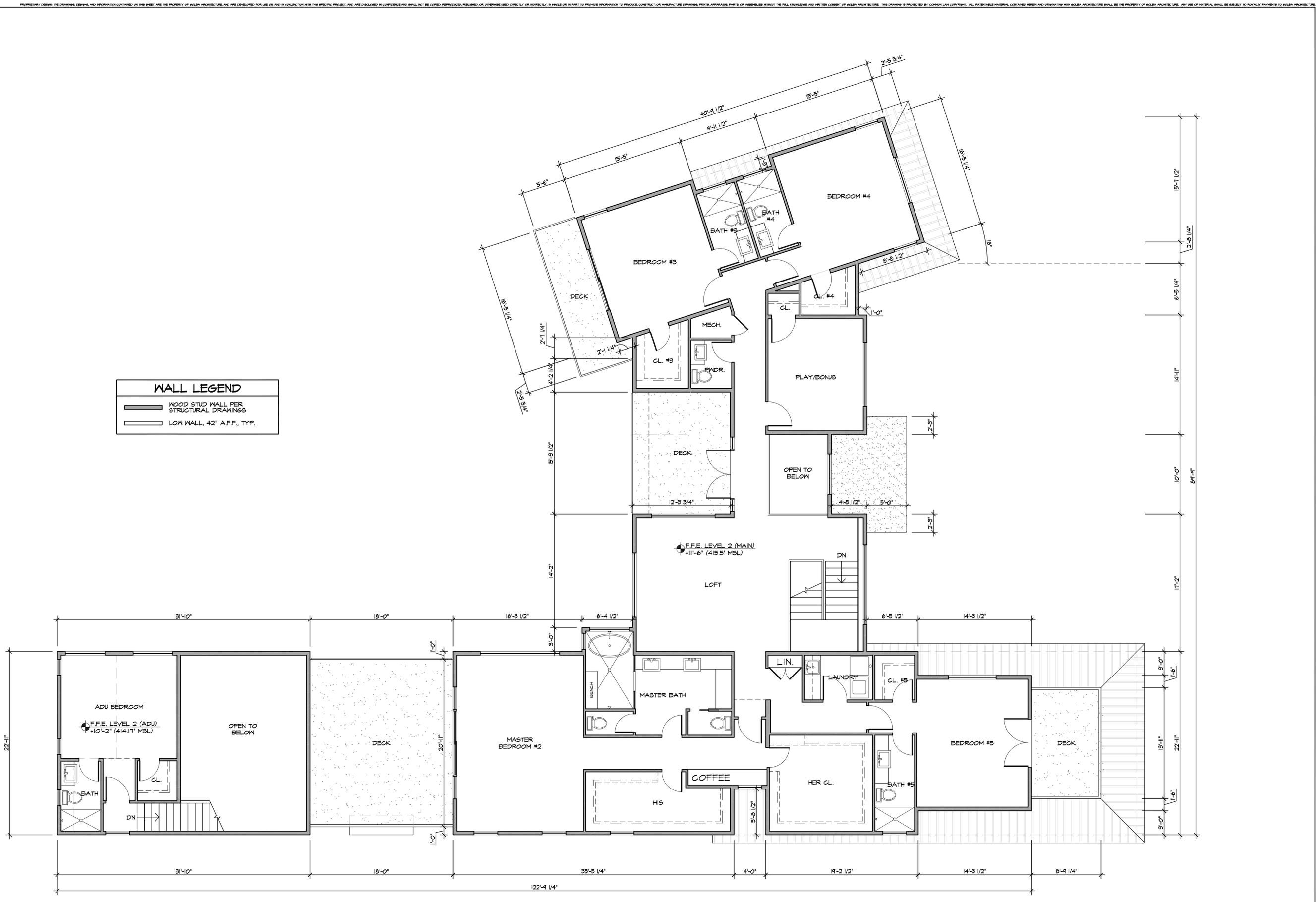
SITE DEMOLITION PLAN

SCALE: 1/8"=1'-0"



PROPRIETARY DESIGN. THE DRAWING, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL MATERIALS CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.





SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



PROFESSIONAL DESIGN: THE DRAWINGS, DESIGNS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

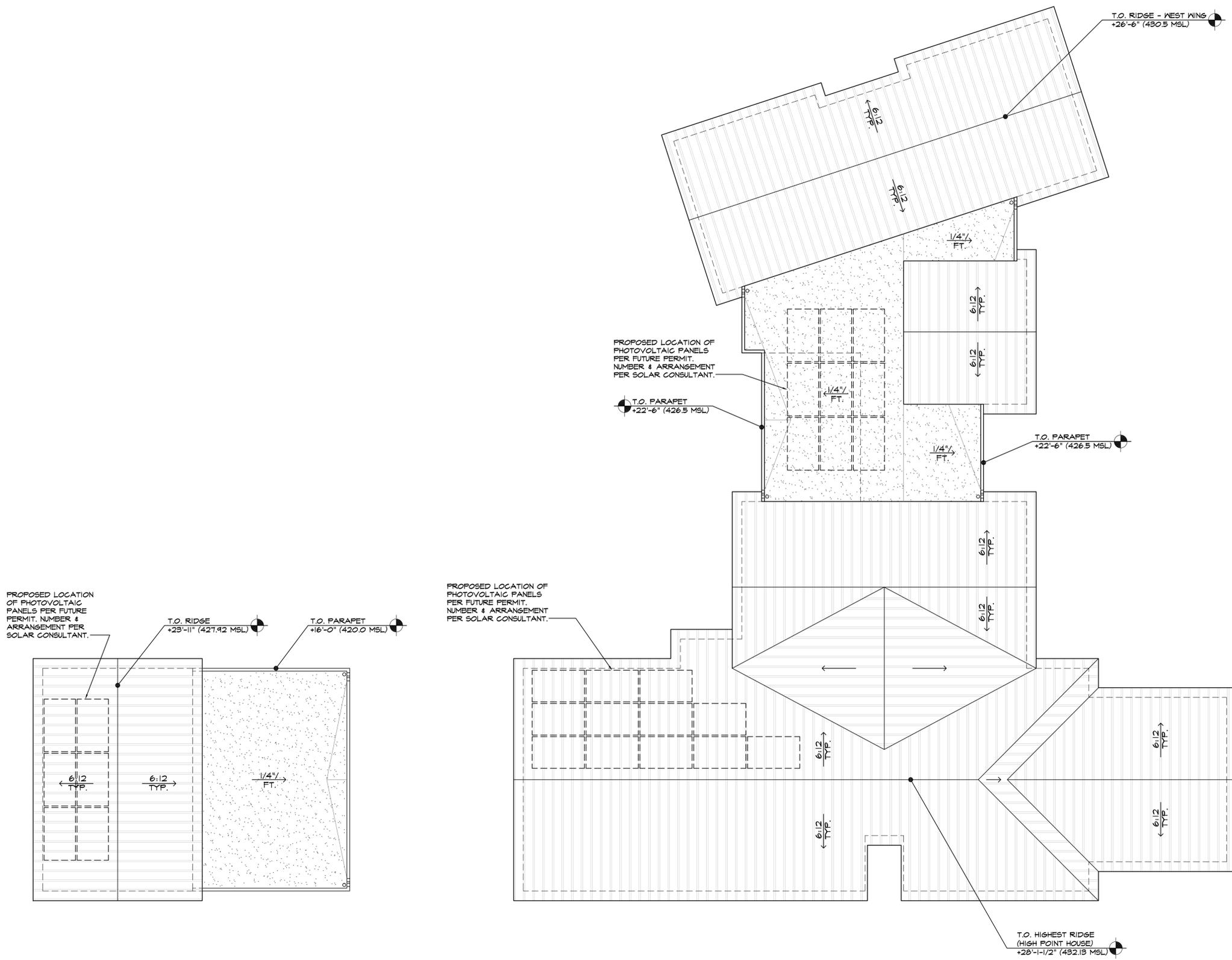
GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
4455 Lamont St. #101 San Diego California 92109
Phone: (619) 231-9905 www.Golba.com

WOODFORD RESIDENCE
2955 WOODFORD DR.
LA JOLLA, CA 92037



A13

DATE: 06-04-25

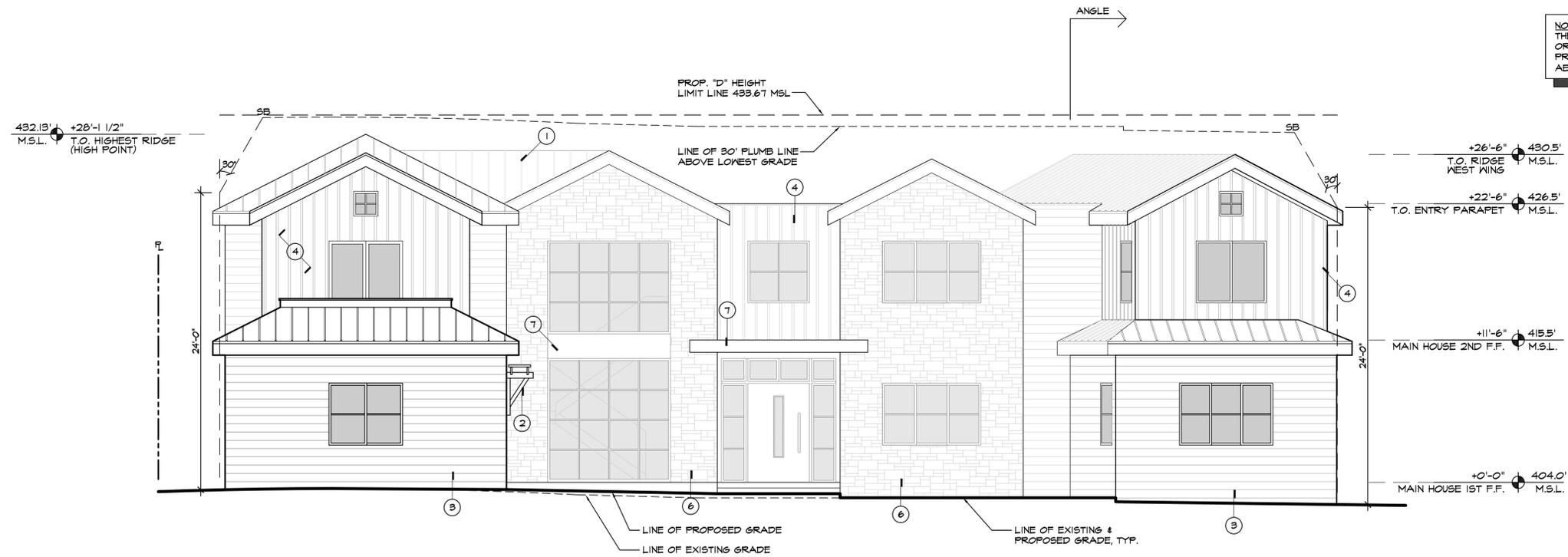


NOTE:
THE HIGHEST POINT OF THE ROOF
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA, OR OTHER PROJECTION SHALL
NOT EXCEED 30'-0" ABOVE THE GRADE
(SDMC 113.0210)

ROOF PLAN
SCALE: 3/16"=1'-0"



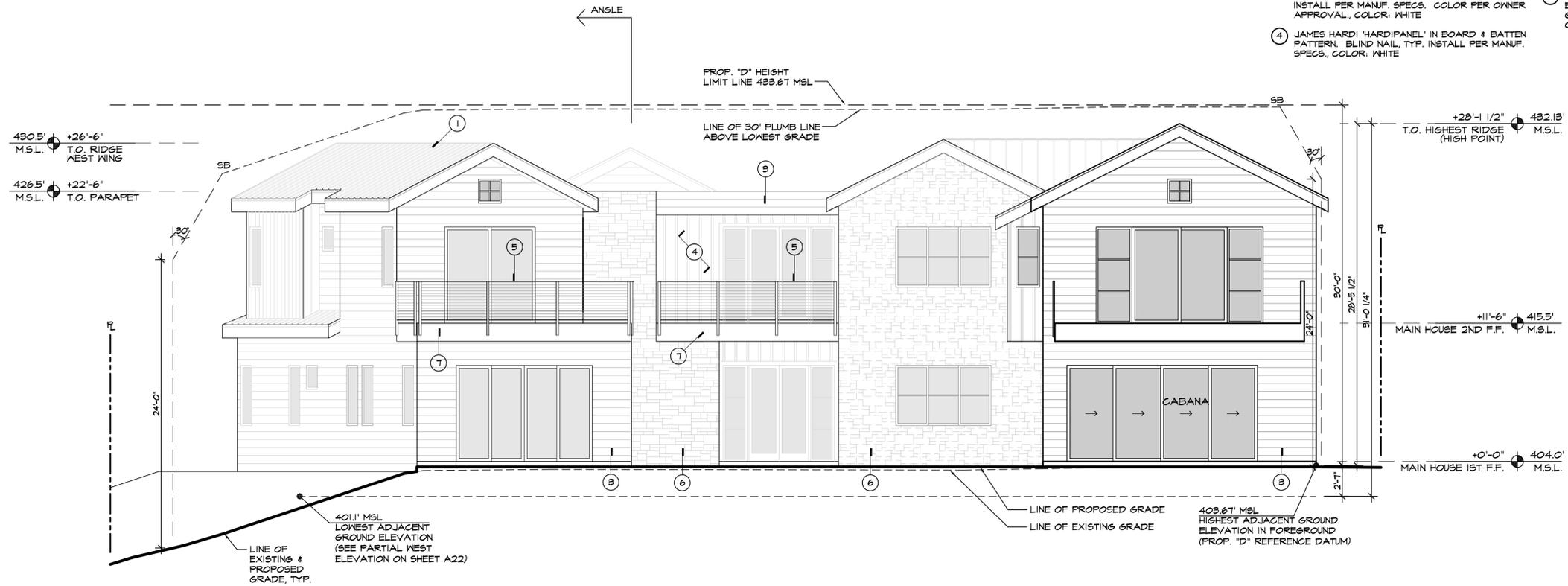
PROPRIETARY DESIGN. THE DRAWING, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.



NORTH (FRONT) ELEVATION
SCALE: 3/16"=1'-0"

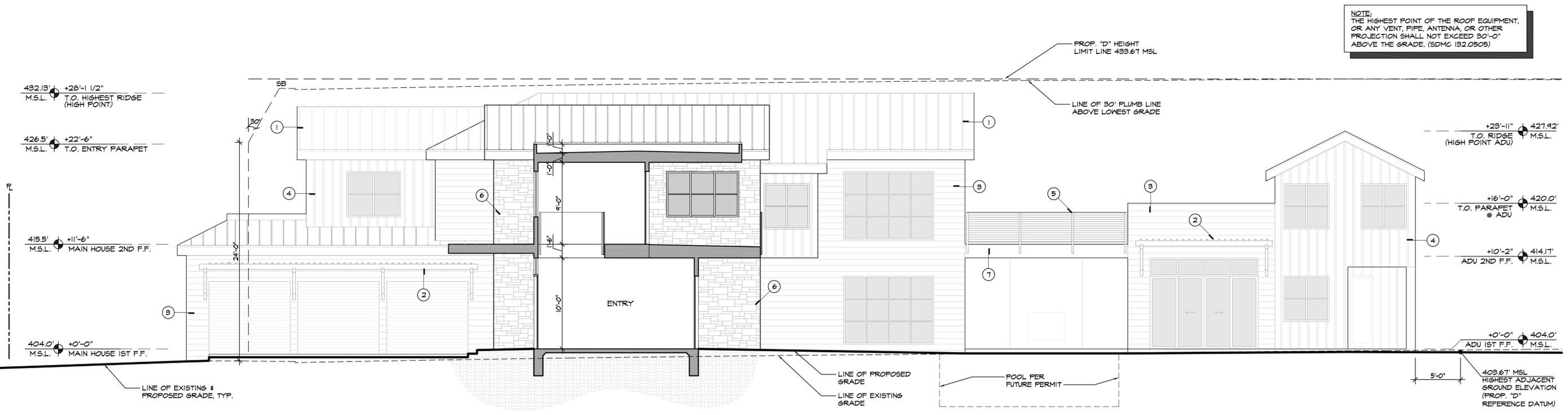
ELEVATION NOTES:

- ① PREFINISHED STANDING SEAM METAL ROOF - CLASS "A" MIN. CUSTOM-BILT METALS SB-150, ICC-ESR-2048, INSTALL PER MANUFACTURER'S SPECS. & DETAILS, PROVIDE GUTTERS & DOWNSPOUTS TO MATCH. COLOR: STORM GRAY
- ② DECORATIVE KNEE BRACE PER OWNER APPRVL., COLOR: DARK GRAY
- ③ JAMES HARDI 'HARDIPLANK' 8" EXPOSURE LAP SIDING, CEDARMILL FINISH, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL., COLOR: WHITE
- ④ JAMES HARDI 'HARDIPANEL' IN BOARD & BATTEN PATTERN, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR: WHITE
- ⑤ POWDER COATED ALUMINUM & ST.S. CABLE RAILING, 42" ABOVE FINISHED SURFACE, COLOR: DARK GRAY
- ⑥ ELDORADO STONE VENEER, COLOR/PATTERN PER OWNER APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1215, STYLE 'LIMESTONE', COLOR 'GRAND BANKS'
- ⑦ KYNAR FINISH ALUM. METAL TRIM AT DECK EDGES & ON EYEBROW PROJECTIONS, 22 GA., COLOR PER OWNER APPROVAL., COLOR: DARK GRAY



SOUTH (BACK YARD) ELEVATION - MAIN HOUSE
SCALE: 3/16"=1'-0"

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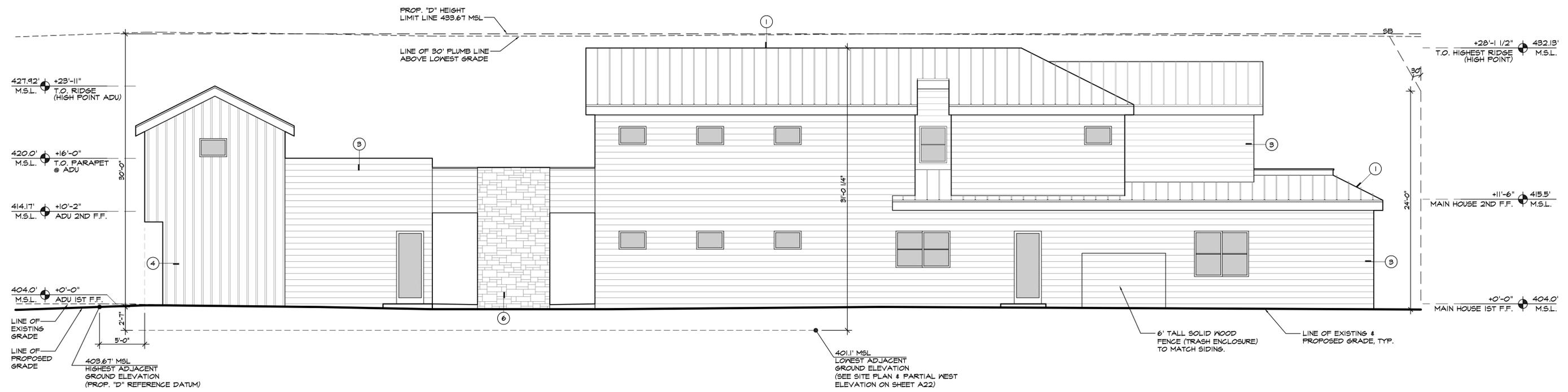


WEST ELEVATION W/ PARTIAL SECTION THROUGH ENTRY

SCALE: 3/16"=1'-0"

ELEVATION NOTES:

- ① PREFINISHED STANDING SEAM METAL ROOF - CLASS "A" MIN. CUSTOM-BUILT METALS SB-150, ICC-ESR-2048, INSTALL PER MANUFACTURER'S SPECS. & DETAILS, PROVIDE GUTTERS & DOWNSPOUTS TO MATCH. COLOR: STORM GRAY
- ② DECORATIVE KNEE BRACE PER OWNER APPROV., COLOR: DARK GRAY
- ③ JAMES HARDI 'HARDIPLANK' 8" EXPOSURE LAP SIDING, CEDARMILL FINISH, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL., COLOR: WHITE
- ④ JAMES HARDI 'HARDIPANEL' IN BOARD & BATTEN PATTERN, BLIND NAIL, TYP. INSTALL PER MANUF. SPECS, COLOR: WHITE
- ⑤ POWDER COATED ALUMINUM 4 ST.S. CABLE RAILING, 42" ABOVE FINISHED SURFACE, COLOR: DARK GRAY
- ⑥ ELDORADO STONE VENEER, COLOR/PATTERN PER OWNER APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1215, STYLE "LIMESTONE", COLOR "GRAND BANKS"
- ⑦ KYNAR FINISH ALUM. METAL TRIM AT DECK EDGES & ON EYEBROW PROJECTIONS, 22 GA., COLOR PER OWNER APPROVAL., COLOR: DARK GRAY



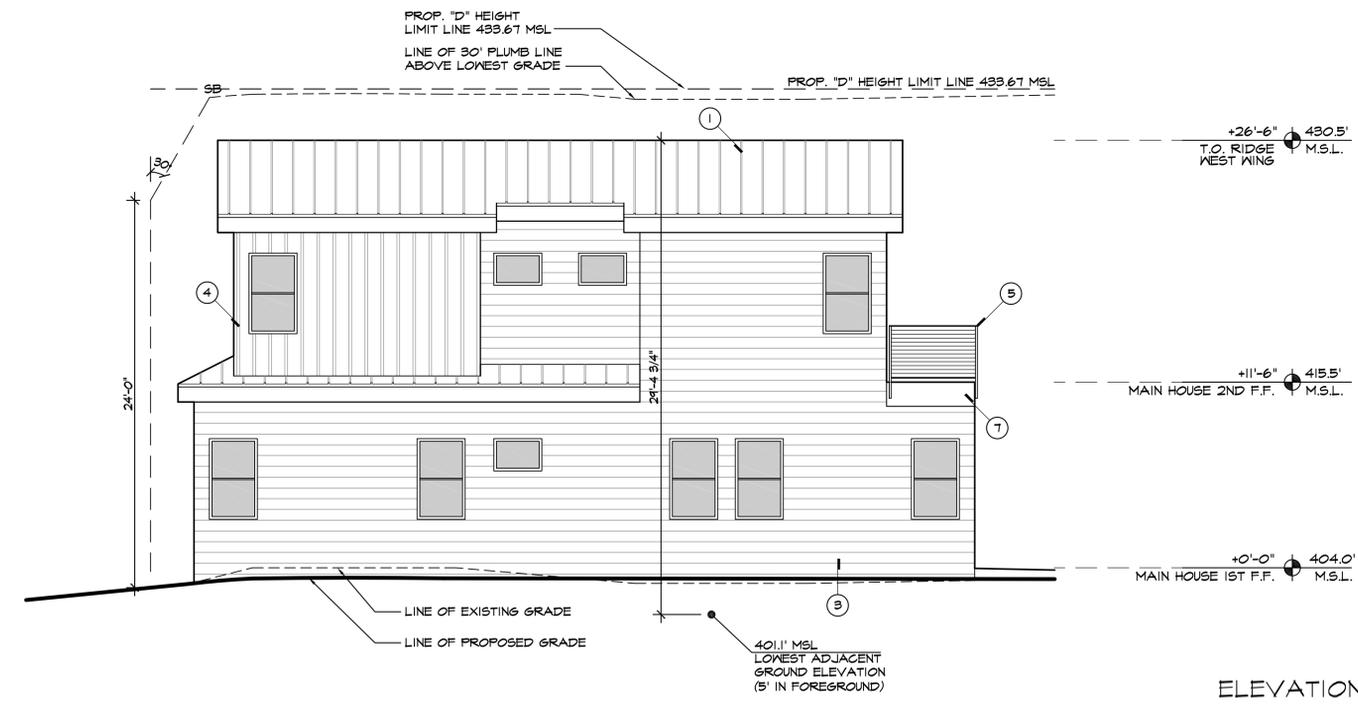
EAST ELEVATION

SCALE: 3/16"=1'-0"



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NOTE:
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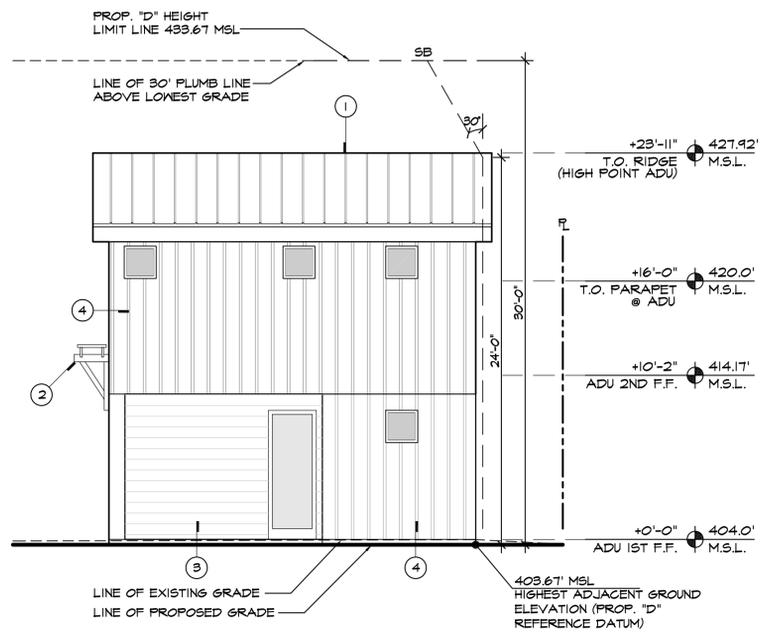


PARTIAL WEST ELEVATION OF ANGLED WING OF HOUSE

SCALE: 3/16"=1'-0"

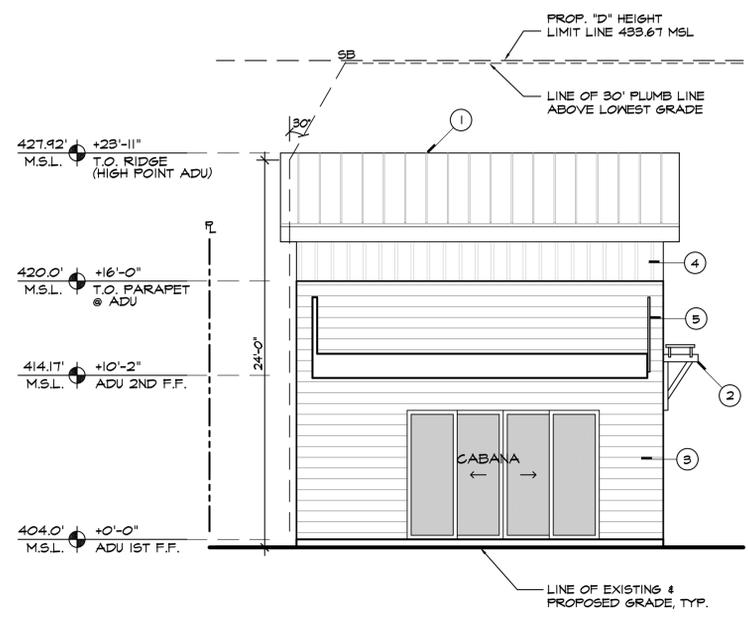
ELEVATION NOTES:

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SOUTH ELEVATION OF ADU

SCALE: 3/16"=1'-0"

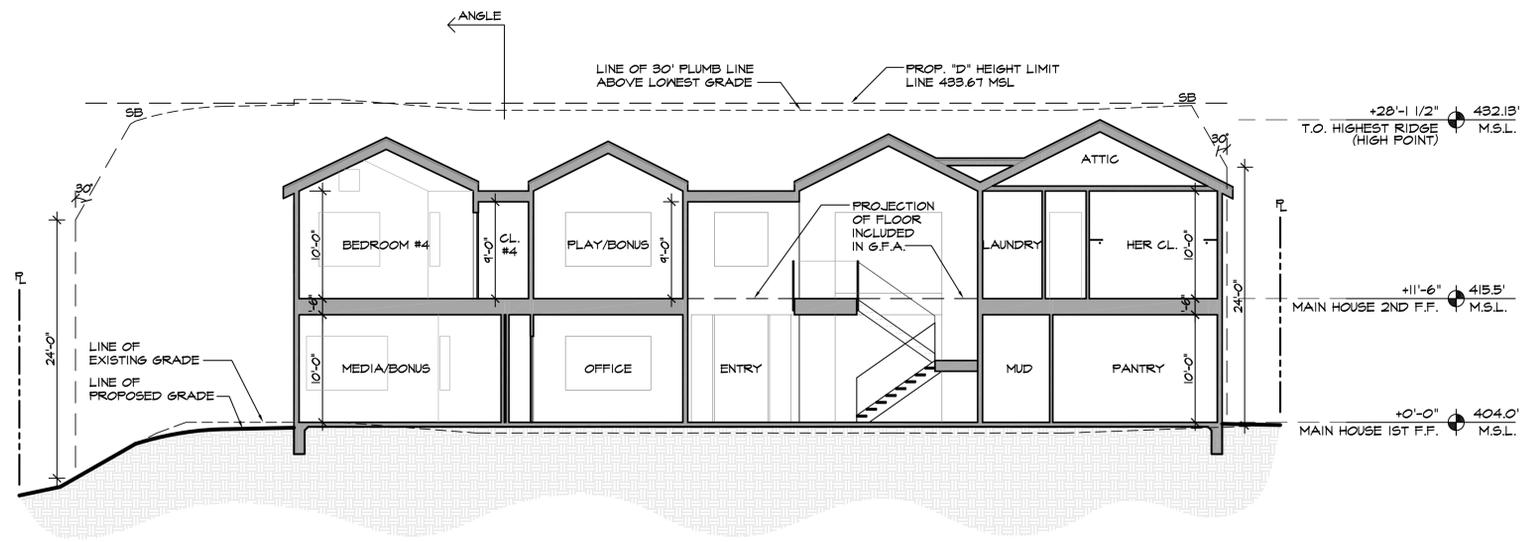


NORTH ELEVATION OF ADU

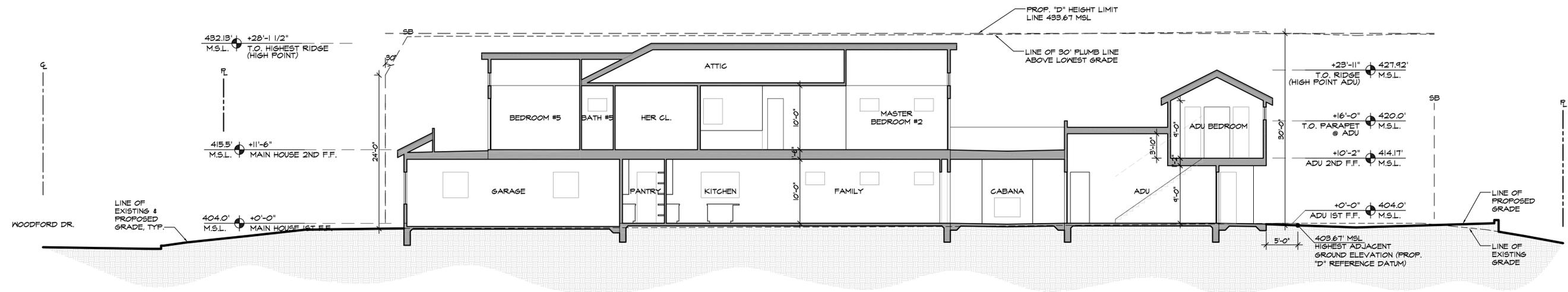
SCALE: 3/16"=1'-0"

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A SITE SECTION
SCALE: 1/8"=1'-0"



B SITE SECTION
SCALE: 1/8"=1'-0"

GOLBA ARCHITECTURE
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Phone: (619) 231-9905 www.golba.com

WOODFORD RESIDENCE
2955 WOODFORD DR.
LA JOLLA, CA 92037

A30

LANDSCAPE DEVELOPMENT PLANS FOR: 2955 Woodford Drive La Jolla, CA 92037

Project No.: PRJ-1134889

NOTES:

1. The contractor shall obtain all necessary permits and pay all related fees.
2. The contractor shall be appropriately licensed in the State of California.
3. The contractor shall notify the Owner prior to beginning the work and shall be responsible for coordinating with the Owner, Landscape Architect, Local Agencies, and other trades.
4. The Contractor shall notify the Landscape Architect immediately of any errors, omissions or discrepancies in the existing conditions or with the plans prior to starting the work.
5. Determination of "or equal" substitutions shall be the responsibility of the Landscape Architect.
6. The Landscape Architect shall be notified no less than 24 hours prior to any required site observations and/or meetings.
7. Site observations by the Landscape Architect during the installation of this project does not relieve the Contractor of his responsibility to perform all work in accordance with the plans, specifications and governing codes.
8. This firm does not practice or consult in the Field of Safety Engineering. This firm does not direct the construction operation and is not responsible for the safety of any persons other than our own on the site. The safety of others is the responsibility of the Contractor. The Contractor shall notify the Owner and the Landscape Architect if any of the recommendations presented herein are considered to be unsafe.

BUILDING CODE INFORMATION:

APPLICABLE CODES:

- 2022 California Administrative Code
- 2022 California Building Code (CBC), including amendments by the jurisdiction having authority
- 2022 California Mechanical Code
- 2022 California Plumbing Code
- 2022 California Electrical Code
- 2022 California Energy Code
- 2022 California Fire Code
- 2022 California Green Building Standards Code
- 2024 City of San Diego Municipal Code - Landscape Regulations
- 2010 ADA Standards for Accessible Design

All Work shall conform to State and Federal rules and regulations. Notify the Landscape Architect of any discrepancies in the Documents and do not proceed with that portion of the Work until the discrepancies are resolved.



TOPIA

2030 Galveston Street
San Diego, California
92110
T: 858.458.0555
www.topialand.com



Woodford Residence

2955 Woodford Drive
La Jolla, CA 92037

PROJECT NO. 25.002.00

NOT FOR CONSTRUCTION

ISSUED
Issue Date

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION, PUBLICATION, OR REUSE BY ANY METHOD, IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT OF TOPIA IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAIN IN TOPIA WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Cover

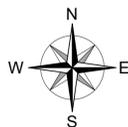
DATE: 11.06.25
SCALE:

L0

VICINITY MAP:



PROJECT SITE



PROJECT DESCRIPTION:

Proposed new paving, walls, fencing, swimming pool, firepit, irrigation, planting and lighting on private property.
Proposed paving, planting and irrigation in the right-of-way.

SITE DATA:

BUILDING ADDRESS:
2955 Woodford Drive
La Jolla, CA 92037

ASSESSORS PARCEL NUMBER:
346-741-31-00

LEGAL DESCRIPTION:
LOT 12 OF LA JOLLA VISTA ESTATES, ACCORDING TO THE MAP THEREOF NO. 6016, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 29, 1957.

PROJECT DIRECTORY:

ARCHITECT:
Golba Architecture
4455 Lamont Street, Suite 101
San Diego, CA 92109
Tel: (619) 231-9905

CIVIL ENGINEER:
Christensen Engineering & Surveying, Inc.
7888 Silverton Avenue, Suite J
San Diego, CA 92126
Tel: (858) 271-9901

LANDSCAPE ARCHITECT:
TOPIA
2030 Galveston Street
San Diego, CA 92110
Tel: (858) 458-0555
Contact: Frank Marczynski
frank@topialand.com

SHEET INDEX:

SHEET: DESCRIPTION:

LANDSCAPE ARCHITECTURAL

- L0 COVER
- L1 LANDSCAPE DEVELOPMENT PLAN - NOTES & LEGEND
- L2 HARDSCAPE DEVELOPMENT PLAN
- L3 LANDSCAPE DEVELOPMENT PLAN
- L4 LANDSCAPE AREA CALCULATIONS
- L5 WATER CONSERVATION PLAN
- L6 WATER USE CALCULATIONS

PLANTING LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT / SPREAD	FORM / FUNCTION	WUCOLS	HYDROZONE
SMALL CANOPY TREE							
	24" BOX	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL FRUITLESS OLIVE	20'-35' HEIGHT/20'-35' SPREAD	CANOPY STREET TREE	LOW	ZONE 4
MEDIUM CANOPY TREE							
	24" BOX	LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS	FERNLEAF CATALINA IRONWOOD	40' HEIGHT/15'-20' SPREAD	MEDIUM CANOPY TREE	LOW	ZONE 4 & 6
	24" BOX	PLATANUS X HISPANICA	LONDON PLANE TREE	60' HEIGHT/60' SPREAD	MEDIUM CANOPY TREE	LOW	ZONE 4 & 6
TALL CANOPY TREE							
	60" BOX	QUERCUS AGRIFOLIA	COAST LIVE OAK	35'-70' HEIGHT/35'-50' SPREAD	TALL CANOPY TREE	VERY LOW	ZONE 6
	60" BOX	QUERCUS ILEX	HOLLY OAK	30'-60' HEIGHT/25'-35' SPREAD	TALL CANOPY TREE	LOW	ZONE 6
TALL HEIGHT SUN SHRUB							
	15 GALLON	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	6' HEIGHT/6' SPREAD	SCREENING SHRUB	LOW	ZONE 4 & 6
	15 GALLON	PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	15' HEIGHT/15' SPREAD	SCREENING SHRUB	LOW	ZONE 4 & 6
	15 GALLON	RHAMNUS CALIFORNICA	COFFEEBERRY	6'-8' HEIGHT/6' SPREAD	SCREENING SHRUB	LOW	ZONE 4 & 6
TALL HEIGHT SUN ACCENT SHRUB							
	15 GALLON	CUPRESSUS SEMPERVIRENS 'TINY TOWER'	TINY TOWER ITALIAN CYPRESS	10'-25' HEIGHT/ 3' SPREAD	VERTICAL ACCENT	LOW	ZONE 4
	15 GALLON	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	GREEN COLUMNAR JUNIPER	15' HEIGHT/5' SPREAD	VERTICAL ACCENT	LOW	ZONE 4
MEDIUM HEIGHT SUN SHRUB							
	5 GALLON	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD	3'-4' HEIGHT/3'-4' SPREAD	FOUNDATION SHRUB	MODERATE	ZONE 2,3,4,6
	5 GALLON	RHAPHIOLEPIS UMBELLATA 'MINOR'	WHITE COMPACT YEDDO HAWTHORN	4'-6' HEIGHT/2'-3' SPREAD	FOUNDATION SHRUB	LOW	ZONE 2,3,4,6
	5 GALLON	WESTRINGIA FRUTICOSA 'BLUE GEM'	COAST ROSEMARY	3'-6' HEIGHT/6' SPREAD	FOUNDATION SHRUB	LOW	ZONE 2,3,4,6
	5 GALLON	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	3' HEIGHT / 3' SPREAD	FOUNDATION SHRUB	LOW	ZONE 2,3,4,6
	5 GALLON	WESTRINGIA FRUTICOSA 'SMOKEY'	COAST ROSEMARY	4'-6' HEIGHT/4'-5' SPREAD	FOUNDATION SHRUB	LOW	ZONE 2,3,4,6
	5 GALLON	WESTRINGIA FRUTICOSA 'WYNABBIE GEM'	COAST ROSEMARY	3'-6' HEIGHT/6'-8' SPREAD	FOUNDATION SHRUB	LOW	ZONE 2,3,4,6
MEDIUM HEIGHT SUN ACCENT SHRUB							
	15 GALLON	PHORMIUM TENAX 'ATROPURPUREUM'	NEW ZEALAND FLAX	4'-6' HEIGHT/3'-4' SPREAD	ACCENT SHRUB	LOW	ZONE 4 & 6
	15 GALLON	PHORMIUM TENAX	NEW ZEALAND FLAX	4'-6' HEIGHT/3'-4' SPREAD	ACCENT SHRUB	LOW	ZONE 4 & 6
MEDIUM HEIGHT FLOWERING SHRUB							
	5 GALLON	AZALEA 'ALASKA'	ALASKA AZALEA	3'-5' HEIGHT/3'-4' SPREAD	FLOWERING SHRUB	MODERATE	ZONE 5
	5 GALLON	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	3' HEIGHT/3' SPREAD	FLOWERING SHRUB	LOW	ZONE 4
	5 GALLON	ROSA 'ICEBERG'	WHITE ICEBERG ROSE	4'-6' HEIGHT/3'-5' SPREAD	FLOWERING SHRUB	MODERATE	ZONE 5
LOW HEIGHT SUN SHRUB							
	5 GALLON	ROSMARINUS OFFICINALIS 'BOULE'	ROSEMARY	2' HEIGHT/2' SPREAD	LOW SHRUB	LOW	ZONE 2,3,4,6
	5 GALLON	WESTRINGIA FRUTICOSA 'LOW HORIZON'	COAST ROSEMARY	1' HEIGHT/3'-4' SPREAD	LOW SHRUB	LOW	ZONE 2,3,4,6
LOW HEIGHT SUN GRASS							
	5 GALLON	LOMANDRA 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	3'-4' HEIGHT/3'-5' SPREAD	GRASSY ACCENT	LOW	ZONE 2,3,4,6
	5 GALLON	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1.5' HEIGHT/1.5' SPREAD	GRASSY ACCENT	MODERATE	ZONE 2,3,4,6
MEDIUM HEIGHT SHADE SHRUB							
	5 GALLON	AZALEA 'ALASKA'	ALASKA AZALEA	3'-5' HEIGHT/3'-4' SPREAD	SHADE SHRUB	MODERATE	ZONE 5
	5 GALLON	NANDINA DOMESTICA	HEAVENLY BAMBOO	1'-8' HEIGHT/2'-3' SPREAD	SHADE SHRUB	LOW	ZONE 5
LOW HEIGHT SHADE SHRUB							
	5 GALLON	ASPARAGUS DENSIFLORUS 'MYERII'	FOXTAIL FERN	2' HEIGHT/3' SPREAD	SHADE SHRUB	MODERATE	ZONE 5
	5 GALLON	RUMOHRA ADIANTIFORMIS	LEATHER FERN	3' HEIGHT/3' SPREAD	SHADE SHRUB	MODERATE	ZONE 5
LAWN (TURF)							
	SOD	TIFGREEN BERMUDA	BERMUDA GRASS	-	LAWN	HIGH	ZONE 1 & 7
SLOPE GROUND COVER							
	HYDRO-S EED	S&S SEEDS CALIFORNIA COASTAL NATIVE WILDFLOWER MIX	SEE DESCRIPTION THIS SHEET	-	HYDROSEED	LOW	ZONE 6
LOW HEIGHT SHADE GROUND COVER							
	1 GALLON	HELICHRYSUM PETIOLARE 'LIMELIGHT'	LIMELIGHT STRAWFLOWER	1'-3' HEIGHT/3'-4' SPREAD	LOW HEIGHT SHADE GROUND COVER	MODERATE	ZONE 5
	1 GALLON	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1'-3' HEIGHT/3'-4' SPREAD	LOW HEIGHT SHADE GROUND COVER	MODERATE	ZONE 5

DESIGN STATEMENT:

AS A SINGLE FAMILY RESIDENCE & ADU PROJECT, THE PRIMARY INTENT OF THIS PLAN IS TO CREATE A LANDSCAPE DESIGN THAT EXEMPLIFIES THE RURAL MODERN FARMHOUSE STYLE, AND INTEGRATING IT INTO THIS RUSTIC SUBURBAN NEIGHBORHOOD.

SEVERAL SECONDARY ISSUES WILL BE ADDRESSED WITH THIS PLAN AS WELL.

- IMPLEMENTATION OF THE STREET TREE PLANTING PROGRAM OF THE LA JOLLA COMMUNITY PLAN ALONG WOODFORD DRIVE.
- STORM WATER MANAGEMENT BMP'S WILL BE INTEGRATED INTO THE DESIGN OF THE SITE AND THE LANDSCAPING.

GENERAL NOTES:

- PER SDMC SECTION 142.0409(b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT RIGHT-OF-WAY SHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(6).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE §142.0403(B)(10).
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALLATION OF ROOT BARRIERS IN THESE LOCATIONS SHALL BE SUBJECT TO THESE CONDITIONS PER 142.0403(B).
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES PER SDMC 142.0413(C), EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

IRRIGATION:

- ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC, PERMANENT IRRIGATION SYSTEM.
- AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

MAINTENANCE:

- LANDSCAPE AND IRRIGATION AREAS IN PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- LANDSCAPE AND IRRIGATION AREAS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING PER SDMC 142.0403(b)(8). TOPPING OF TREES IS NOT PERMITTED.

REVEGETATION AND EROSION CONTROL:

- PERMANENT REVEGETATION. ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.

BRUSH MANAGEMENT:

- THIS PROJECT IS AN INFILL PROJECT AND IS NOT REQUIRED TO PROVIDE BRUSH MANAGEMENT.

MINIMUM STREET TREE SEPARATION:

- TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET*
- SEWER LINES - 10 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- *NOTE THAT THE MINIMUM DISTANCE TO ANY SEWER LINE IS TYPICALLY 10 FEET

HISTORICAL CONCRETE:

- NEW CONCRETE SIDEWALKS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH HISTORIC DESIGN OF SIDEWALKS ON ADJACENT PROPERTIES INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, TEXTURE, COLOR, AND MATERIAL. EXISTING CONTRACTOR DATE STAMPS ARE ALSO CONSIDERED HISTORIC MARKINGS TO BE PRESERVED. CONTRACTOR SHALL REMOVE AND PROTECT ANY CONTRACTOR DATE STAMPS ON-SITE AND RESET THEM ON SITE IN NEW CONCRETE AT A NEARBY LOCATION.

HYDROSEED MIX - S&S SEEDS CALIFORNIA COASTAL NATIVE WILDFLOWER MIX

SPECIES	COMMON NAME	BULK #s/ACRE
Camissoniopsis cheiranthifolia	Beach evening primrose	0.50
Clarkia amoena	Farewell-to-spring	1.00
Clarkia unguiculata	Mountain garland	1.00
Collinsia heterophylla	Chinese houses	1.00
Eschscholzia californica	California poppy	2.00
Gilia capitata	Globe gilia	1.00
Gilia tricolor	Bird's eye	1.00
Lasthenia californica	Dwarf goldfields	0.50
Layia platyglossa	Tidy tips	0.50
Lupinus microcarpus 'Ed Gedling'	Golden lupine	2.00
Lupinus nanus	Sky lupine	1.50
Lupinus succulentus	Arroyo lupine	3.00
Mimulus aurantiacus aurantiacus	Monkeyflower	1.50
Nemophila menziesii	Baby blue eyes	1.50
Penstemon spectabilis	Showy penstemon	1.00
Sisyrinchium bellum	Blue eyed grass	1.00
		20.00

* MIN % PLS (Pure Live Seed) = Seed Purity x Germination Rate



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Landscape Development Plan Notes & Legend

DATE: 08.04.25
SCALE:

L1



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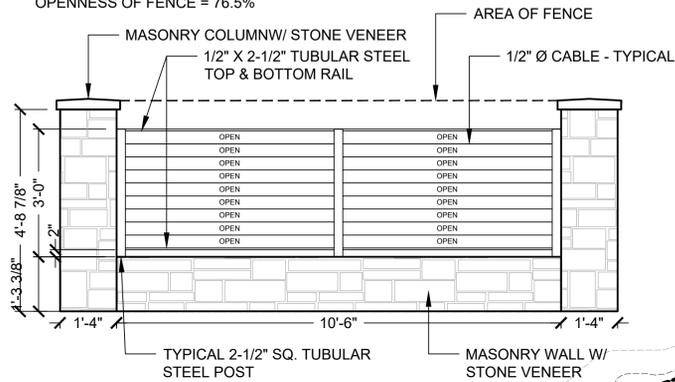
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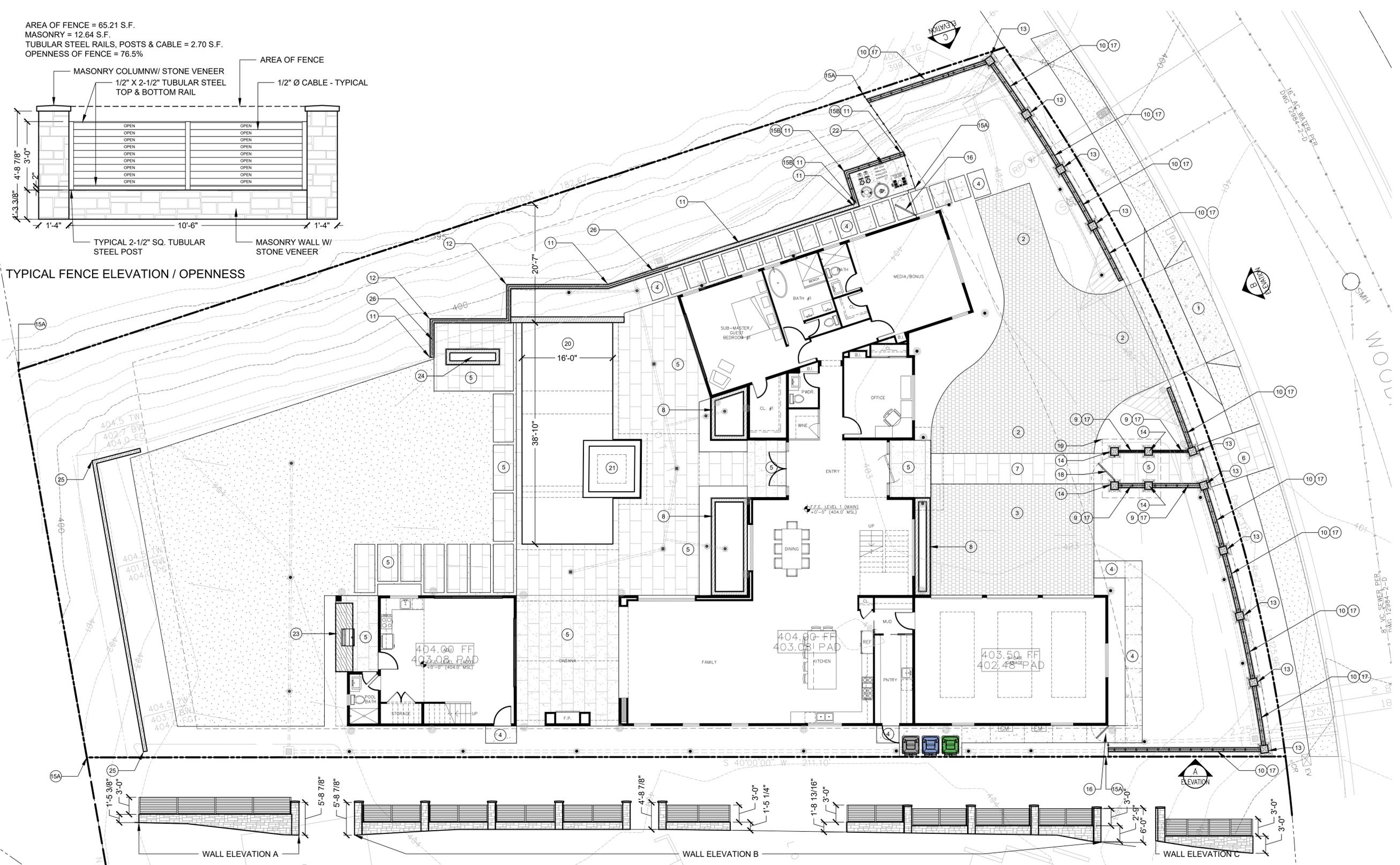
Hardscape Development Plan

DATE: 11.06.25
SCALE: 1/8" = 1'-0"

AREA OF FENCE = 65.21 S.F.
MASONRY = 12.64 S.F.
TUBULAR STEEL RAILS, POSTS & CABLE = 2.70 S.F.
OPENNESS OF FENCE = 76.5%



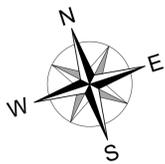
TYPICAL FENCE ELEVATION / OPENNESS



CALLOUT	DESCRIPTION
1	PROPOSED CONCRETE DRIVEWAY APRON PER CIVIL ENGINEER
2	PROPOSED 100 MM PERMEABLE PAVERS IN DRIVEWAY
3	PROPOSED 6" THICK CONCRETE PAVING WITH COBBLESTONES
4	PROPOSED 4" THICK CONCRETE PAVING
5	PROPOSED 4" THICK CONCRETE PAVING WITH TILE FINISH
6	PROPOSED 4" THICK CONCRETE PAVING WITH TILE FINISH IN RIGHT-OF-WAY; EMRA #
7	PROPOSED 6" THICK CONCRETE PAVING WITH TILE FINISH IN DRIVEWAY

8	PROPOSED 16" HIGH MASONRY PLANTER WALL WITH STONE VENEER
9	PROPOSED 16" HIGH MASONRY WALL WITH STONE VENEER
10	PROPOSED 36" HIGH MAX. MASONRY WALL WITH STONE VENEER
11	PROPOSED 36" HIGH MAX. MASONRY RETAINING WALL WITH STONE VENEER - SEE CIVIL PLANS FOR EXACT WALL HEIGHTS
12	PROPOSED 60" HIGH MAX. MASONRY RETAINING WALL WITH STONE VENEER
13	PROPOSED 72" HIGH MAX. MASONRY COLUMN WITH STONE VENEER
14	PROPOSED 96" HIGH MAX. MASONRY COLUMN WITH STONE VENEER
15A	PROPOSED 72" HIGH WOOD FENCE
15B	PROPOSED 36" HIGH WOOD FENCE ON 36" HIGH MASONRY WALL

16	PROPOSED 72" HIGH WOOD GATE - SELF CLOSING, SELF LATCHING
17	PROPOSED 36" HIGH MAX. TUBULAR STEEL & CABLE FENCE
18	PROPOSED 72" HIGH MAX. WOOD ENTRY GATE
19	PROPOSED WOOD PERGOLA AT ENTRY GATE
20	PROPOSED SWIMMING POOL PER SEPARATE PERMIT
21	PROPOSED RAISED SPA PER SEPARATE PERMIT
22	PROPOSED POOL EQUIPMENT
23	PROPOSED BUILT-IN BARBECUE COUNTER & GRILL
24	PROPOSED 16" HIGH MASONRY FIREPIT WITH STONE VENEER
25	PROPOSED RETAINING WALL PER CIVIL ENGINEER
26	PROPOSED 42" HIGH GLASS GUARDRAIL ON RETAINING WALL





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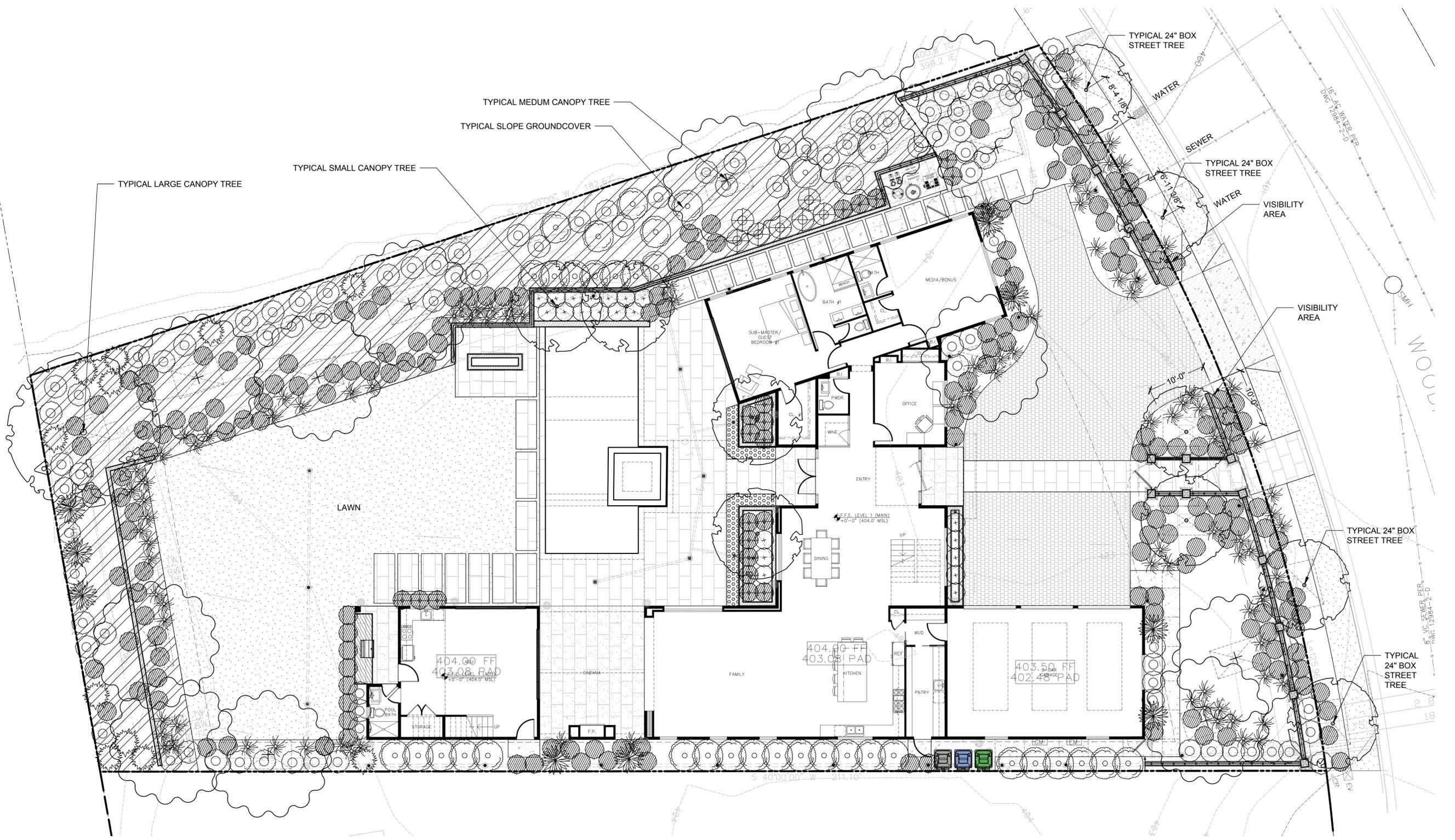
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Landscape Development Plan

DATE: 08.04.25
SCALE: 1/8" = 1'-0"



LEGEND

SYMBOL	DESCRIPTION
	Proposed Small Canopy Tree
	Proposed Medium Canopy Tree
	Proposed Tall Canopy Tree

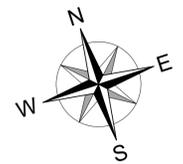
	Proposed Tall Height Sun Shrub
	Proposed Tall Height Sun Accent Shrub
	Proposed Medium Height Sun Shrub
	Proposed Medium Height Sun Accent Shrub
	PROPOSED MEDIUM HEIGHT FLOWERING SHRUB
	PROPOSED LOW HEIGHT SUN SHRUB
	PROPOSED LOW HEIGHT SUN GRASS

	PROPOSED MEDIUM HEIGHT SHADE SHRUB
	PROPOSED LOW HEIGHT SHADE SHRUB
	PROPOSED LAWN (TURF)
	PROPOSED SLOPE GROUNDCOVER
	PROPOSED LOW HEIGHT SHADE GROUNDCOVER
SEE SHEET L1 FOR SPECIFIC PLANT SELECTIONS UNDER THESE CATEGORIES.	

STREET TREE CALCULATIONS

WOODFORD DRIVE FRONTAGE = 125.96 FT.
REQUIRED STREET TREES = 4
PROVIDED STREET TREES = 4

THE PROPOSED STREET TREES CONFORM TO THE LA JOLLA COMMUNITY PLAN STREET TREE DISTRICT 3.





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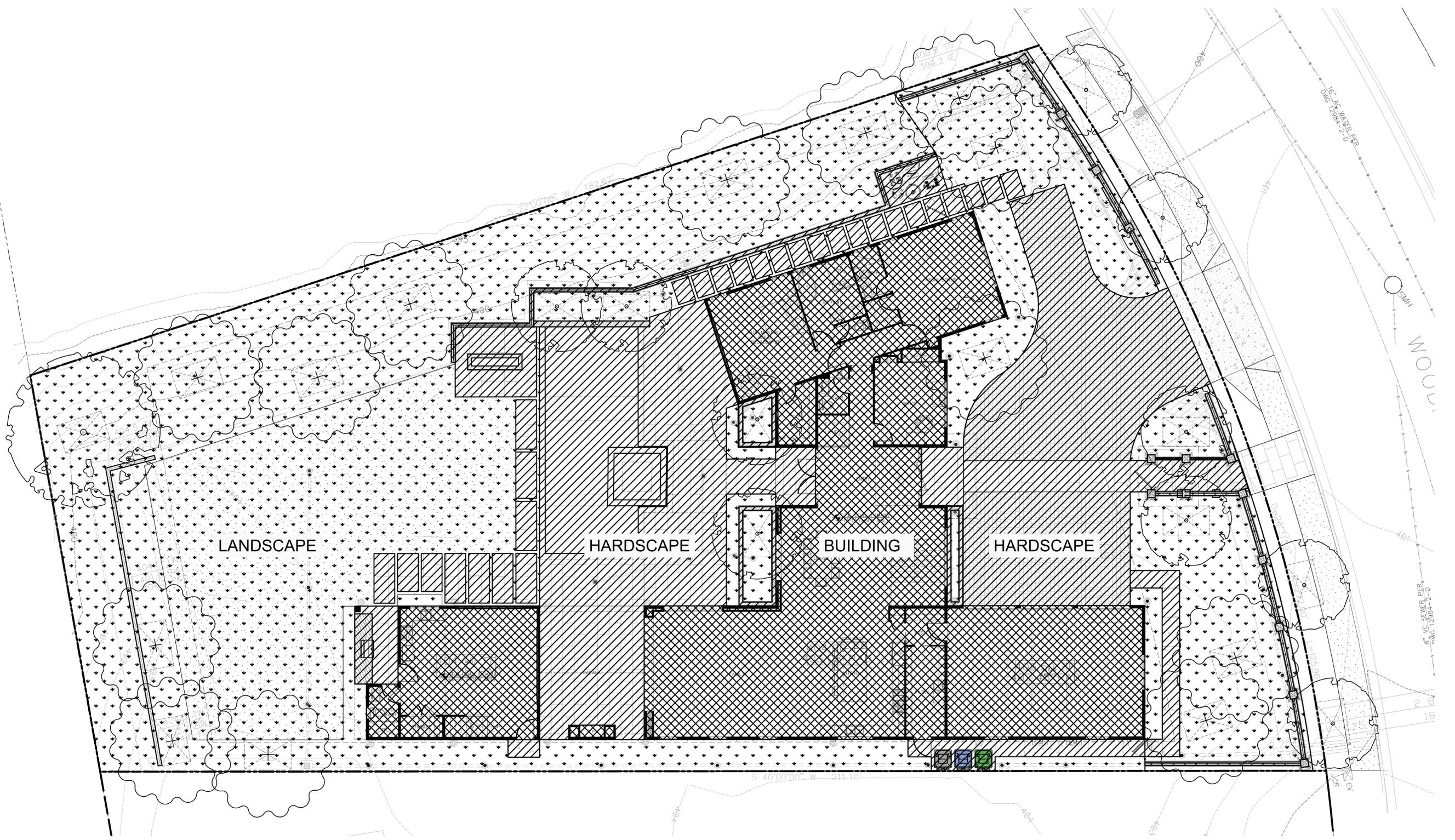
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ISSUED	Date
Issue	

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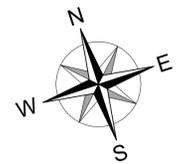
Landscape Area Calculations

DATE: 08.04.25
SCALE: 1/8" = 1'-0"



LANDSCAPE AREA		
SYMBOL	AREA	SQUARE FOOTAGE (S.F.)
	TOTAL LOT AREA	19,805.91 S.F.
	BUILDING AREA	4,634.50 S.F.
	HARDSCAPE AREA	5,298 S.F.
	LANDSCAPE AREA	9,873.41 S.F.
	LANDSCAPE PERCENTAGE OF TOTAL LOT AREA	49.85%

ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS, AND DRIVEWAYS SHALL BE LANDSCAPED, AND IN NO CASE SHALL THIS LANDSCAPE AREA BE LESS THAN 30% OF THE TOTAL PARCEL AREA.





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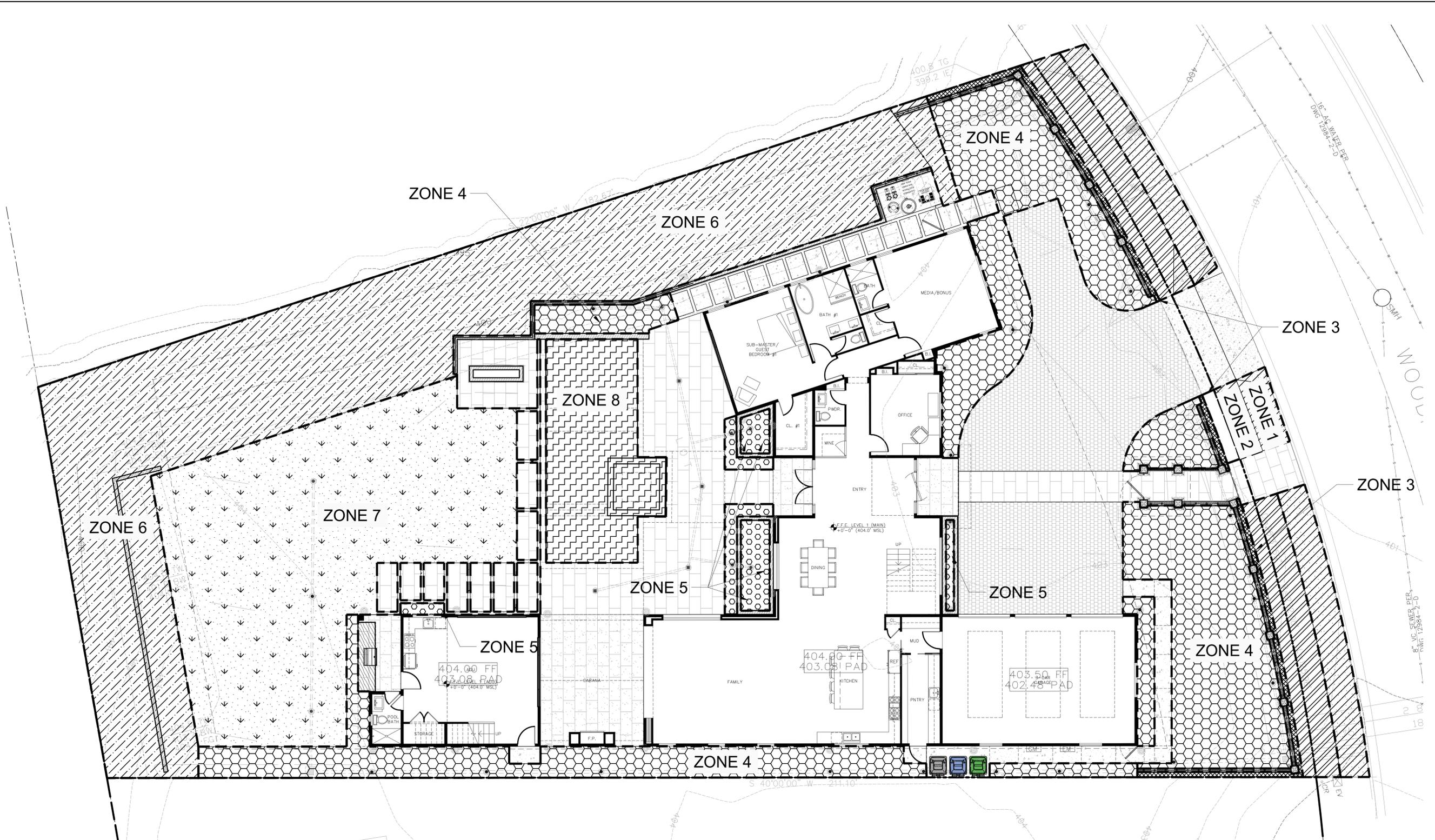
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Water Conservation Plan Notes & Legend

DATE: 08.04.25
SCALE: 1/8" = 1'-0"

L5



HYDROZONE LEGEND	
SYMBOL	DESCRIPTION
	HYDROZONE 1: PUBLIC R.O.W. PLANTER 602 SF HIGH WATER USE PLANTING 5.2% OF TOTAL PLANTING AREA
	HYDROZONE 2: PUBLIC R.O.W. PLANTER 646 SF. LOW WATER USE PLANTING 5.6% OF TOTAL PLANTING AREA
	HYDROZONE 3: PRIVATE PLANTER - SUN 137 S.F. LOW WATER USE PLANTING 1.2% OF TOTAL PLANTING AREA

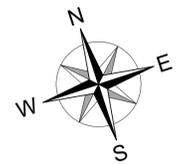
	HYDROZONE 4: PRIVATE PLANTER - SUN 2,848 S.F. LOW WATER USE 24.7% OF TOTAL PLANTING AREA
	HYDROZONE 5: PRIVATE PLANTER - SHADE 224 S.F. MODERATE WATER USE 1.9% OF TOTAL PLANTING AREA
	HYDROZONE 6: PRIVATE PLANTER - SLOPE 3,852 S.F. VERY LOW WATER USE 33.4% OF TOTAL PLANTING AREA
	HYDROZONE 7: PRIVATE PLANTER - LAWN 2,567 S.F. HIGH WATER USE 22.2% OF TOTAL PLANTING AREA

	HYDROZONE 8: SWIMMING POOL 673 S.F. HIGH WATER USE 5.8% OF TOTAL PLANTING AREA TOTAL PLANTING AREA = 11,549 S.F.
--	--

FOR WATER USE CALCULATIONS,
SEE SHEET L6.

WATER CONSERVATION NOTES:

- PROPOSED TURF AREAS:
TURF AREAS PROPOSED ON THIS PROJECT = 3,169 S.F.
TOTAL TURF AREA= 27.4% OF TOTAL PROPOSED LANDSCAPE
- XERISCAPE PRINCIPLES APPLIED:
 - THE DESIGN OF THE LANDSCAPE IS INTENDED TO MATCH GROWTH REQUIREMENTS OF THE PLANT COMMUNITIES, TO MODIFY PLANT GROUPINGS TO ACCOUNT FOR SUN AND WIND EXPOSURE, AND TO MINIMIZE WHERE POSSIBLE, WATER AND MAINTENANCE REQUIREMENTS. PLANTS WITH SIMILAR CULTURAL REQUIREMENT OF EXPOSURE, SOILS, AND WATER NEEDS WILL BE GROUPED TOGETHER AND LOCATED ON THE PROJECT SITE IN MICRO-CLIMATES WHERE THEY WILL REQUIRE THE LEAST AMOUNT OF WATER FOR OPTIMUM GROWTH AND MAINTENANCE. THE SOILS WILL BE TESTED UPON COMPLETION OF ROUGH GRADING FOR THEIR ABILITY TO SUSTAIN PLANT GROWTH AND WILL BE AMENDED AS NECESSARY TO PROVIDE OPTIMAL CONDITIONS FOR CONTINUING GROWTH AND DEVELOPMENT OF THE PLANT MATERIAL.



**WATER BUDGET
LANDSCAPE WORKSHEET**

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: Woodford Drive Residence Project #: 25.002.00
 Project Address: 2975 Woodford Drive, La Jolla, CA 92037
 Individual/Business Completing the Worksheet: Frank Marczynski / Topia
 Phone Number: (858) 458-0555

I. DEFINITIONS:

Estimated Total Water Use (ETWU): The total water used for the landscape based on the plants used and irrigation method selected for the landscape design. The ETWU shall not exceed the MAWA.

Evapotranspiration: The quantity of water as measured in average inches per year that evaporated from adjacent soil surfaces and transpired by plants during a specific time period. (Evapotranspiration data may be found at www.cimis.water.ca.gov. You may obtain a free password from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.)

Evapotranspiration Adjustment Factor (ETAF): A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

Hydrozone: A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For the purpose of the calculation, the surface area of manmade water features (see LDM Section 1.8) are included in the high water use hydrozone, and the surface area of artificial turf and temporary irrigation is included in the low water use hydrozone.

Irrigation Audit: An in-depth evaluation of the performance of an irrigation system conducted by a professional authorized by the State to perform such work. An irrigation audit includes,

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area ² -(square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
A	1		0.7	602	SPRAY	0.75	5.2%
A	2		0.3	646	DRIP	0.81	5.6%
A	3		0.3	137	DRIP	0.81	1.2%
A	4		0.3	2,848	SPRAY	0.75	24.7%
A	5		0.5	224	DRIP	0.81	1.9%
A	6		0.2	3,852	SPRAY	0.75	33.4%
A	7		0.7	2,567	SPRAY	0.75	22.2%
A	8		1.0	673	(POOL)	1.0	5.8%
Total							100%

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. **The total ETWU cannot exceed the total Water Budget-MAWA.**

Controller No.	ETWU [(ETo)(0.62)] - [(ETo)(0.62)](PF) + SLA	Result in Gallons per Year
A-ZONE 1	(40)(0.62)(0.7)(602/0.75) + 0	13,934
A-ZONE 2	(40)(0.62)(0.3)(646/0.81) + 0	5,934
A-ZONE 3	(40)(0.62)(0.3)(137/0.81) + 0	1,258
A-ZONE 4	(40)(0.62)(0.3)(2,848/0.75) + 0	28,252
A-ZONE 5	(40)(0.62)(0.5)(224/0.81) + 0	3,429
A-ZONE 6	(40)(0.62)(0.2)(3,852/0.75) + 0	24,475
A-ZONE 7	(40)(0.62)(0.7)(2,567/0.75) + 0	59,417
ZONE 8	(40)(0.62)(1.0)(673/1.0) + 0	16,690
Total ETWU gallons per year		153,389

MAWA CALCULATIONS

MAWA (RESIDENTIAL) =	(ETo)(0.62)[(ETAF X LA) + ((1-ETAF) X SLA)] (40)(0.62)[(0.55 x 11,549) + (0.45 x 0)] 24.8[(6,352) + (0)] 24.8[6,352] 157,530 Gallons Per Year
MAWA (TOTAL) =	157,530 Gallons Per Year
ETWU FROM WORKSHEET ABOVE = 153,389 Gallons Per Year ETWU DOES NOT EXCEED MAWA.	

TOPIA

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**Water Use
Calculations**

DATE: 08.04.25
SCALE: N/A

L6