



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: March 11, 2026 REPORT NO. HO-26-018

HEARING DATE: March 25, 2026

SUBJECT: 1720 Torrey Pines, Process Three Decision

PROJECT NUMBER: [PRJ-1111223](#)

OWNER/APPLICANT: Lowenthal-Tanimoto Living Trust, Owners / Marengo Morton Architects, Applicant

### SUMMARY:

Issue: Should the Hearing Officer approve the partial demolition and remodeling of a one-story, 3,574-square-foot single dwelling unit into a two-story, 14,265-square-foot single dwelling unit over basement with an attached garage on a 0.91-acre site at 1720 Torrey Pines Road within the La Jolla Community Plan area?

### Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3274890 and Site Development Permit No. PMT-3274891; and
2. ADOPT Mitigated Negative Declaration No. 1111223 and Mitigation, Monitoring, and Reporting Program

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project consists of the partial demolition and remodeling of a one-story, single dwelling unit into a two-story, single dwelling unit over basement with an attached garage.

Community Planning Group Recommendation: On November 15, 2024, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project without conditions (Attachment 7).

Environmental Review: An Initial Environmental Study was prepared which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects.

## BACKGROUND

The 0.91-acre site is located at 1720 Torrey Pines Road in the RS-1-7 (Residential Single Dwelling Unit) Base Zone, the Coastal Overlay Zone (Appealable Area), the Coastal Height Limit Overlay Zone and is in the First Public Roadway within the La Jolla Community Plan and Local Coastal Land Use Plan area (Community Plan) (Attachments 1-3). The project site is a previously developed parcel, containing a coastal bluff, within the first public roadway. The project site is not located within or adjacent to the Multiple Habitat Planning Area.

The existing structure, built in 1958, is more than 45 years old, requiring staff to evaluate the proposal for historic significance per SDMC Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria specified in the Historical Resources Guidelines of the Land Development Manual.

In August 2025, Building and Land Use Enforcement opened Code Enforcement case CE-0536464 for unpermitted demolition and grading on the project site. The proposed application for the requested the Coastal Development Permit and Site Development Permit addresses the violations for the project site.

## DISCUSSION

The proposed project consists of the partial demolition of a one-story, 3,574-square-foot single dwelling unit and construction of a 10,691-square-foot addition into a two-story, 14,265-square-foot single dwelling unit over basement with an attached garage (Attachment 9 – Project Plans). The project complies with the RS-1-7 Zone development regulations for building height (30 feet) which does not exceed the 30-foot height limit, density, setbacks, and floor area ratio (0.32) that is below the maximum (0.45) allowed. No deviations or variations are required. The development will be located within the footprint of the original development and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge.

The Community Plan designates the site as low-density residential (5-9 dwelling units per acre). The project remodel and addition from a one-story single dwelling unit into a two story dwelling unit over basement and an attached garage is consistent with the land use designation and prescribed density. A goal in the Community Plan is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The project is consistent with this Community Plan goal since the project will be contained within the footprint of the original development and will not encroach onto the coastal bluffs by observing a 50-foot setback from the coastal bluff edge.

Additionally, a recommendation in the Community Plan is to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or offsetting planes, building articulation, roofline treatment, and variations within front yard setback requirements (LJCP, 76.). The project complies with this Community Plan recommendation by creating a design that steps down and includes offsetting planes between first and second floor for visual relief. The building has also been designed to account for varying articulation between roof overhangs, the face of the first and second floor, and the stone wall which is complementary to the adjacent one and two-story residences in the neighborhood.

The project will not adversely impact any public view or coastal access from the project site, as identified in the Community Plan. The site is identified as a view corridor with unobstructed framed view down a public right-of-way. Community Plan Policy 2a states that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The project will adhere to this policy by conforming to the regulations of Environmentally Sensitive Lands and development within the Coastal Overlay Zone, which requires easements for coastal bluffs and view corridors on applicable sites. Additionally, the project will observe a private Right of Unobstructed View Easement ("Easement Agreement" recorded August 27, 1998, Instrument No. 98-545700) running across the southwest portion of the site.

A Biological Technical Report prepared for the site concluded that there are no impacts that would occur to sensitive vegetation. Further, staff has completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects.

Additionally, a geology report was prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions. The project complies with the City's drainage regulations and standards and will be required to address storm water and run off by implementing storm water construction best management practices (BMPs) and ongoing permanent BMP maintenance. The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The permit includes requirements that address storm water and runoff, landscaping and maintenance, public improvements, private water and sewer facilities, lighting and parking.

#### Required Actions

A Coastal Development Permit, Process Three is required for development in the Coastal Overlay Zone, pursuant to SDMC Section 126.0702(a) and 126.0707. Additionally, a Process Three Site Development Permit is required for development in the Environmentally Sensitive Lands, pursuant to SDMC Section 126.0502(a) and 126.0504. The decision to approve, conditionally approve, or deny the project shall be made by the Hearing Officer, and the decision is appealable to the Planning Commission. For decisions involving coastal development within the appealable area, the final City decision is appealable to the Coastal Commission.

Conclusion:

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3274890 and Site Development Permit No. PMT-3274891, and adopt Mitigated Negative Declaration No. 1111223 and Mitigation, Monitoring, and Reporting Program, with modifications.
2. Deny Coastal Development Permit No. PMT-3274890 and Site Development Permit No. PMT-3274891, and Mitigated Negative Declaration No. 1111223 and Mitigation, Monitoring, and Reporting Program, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

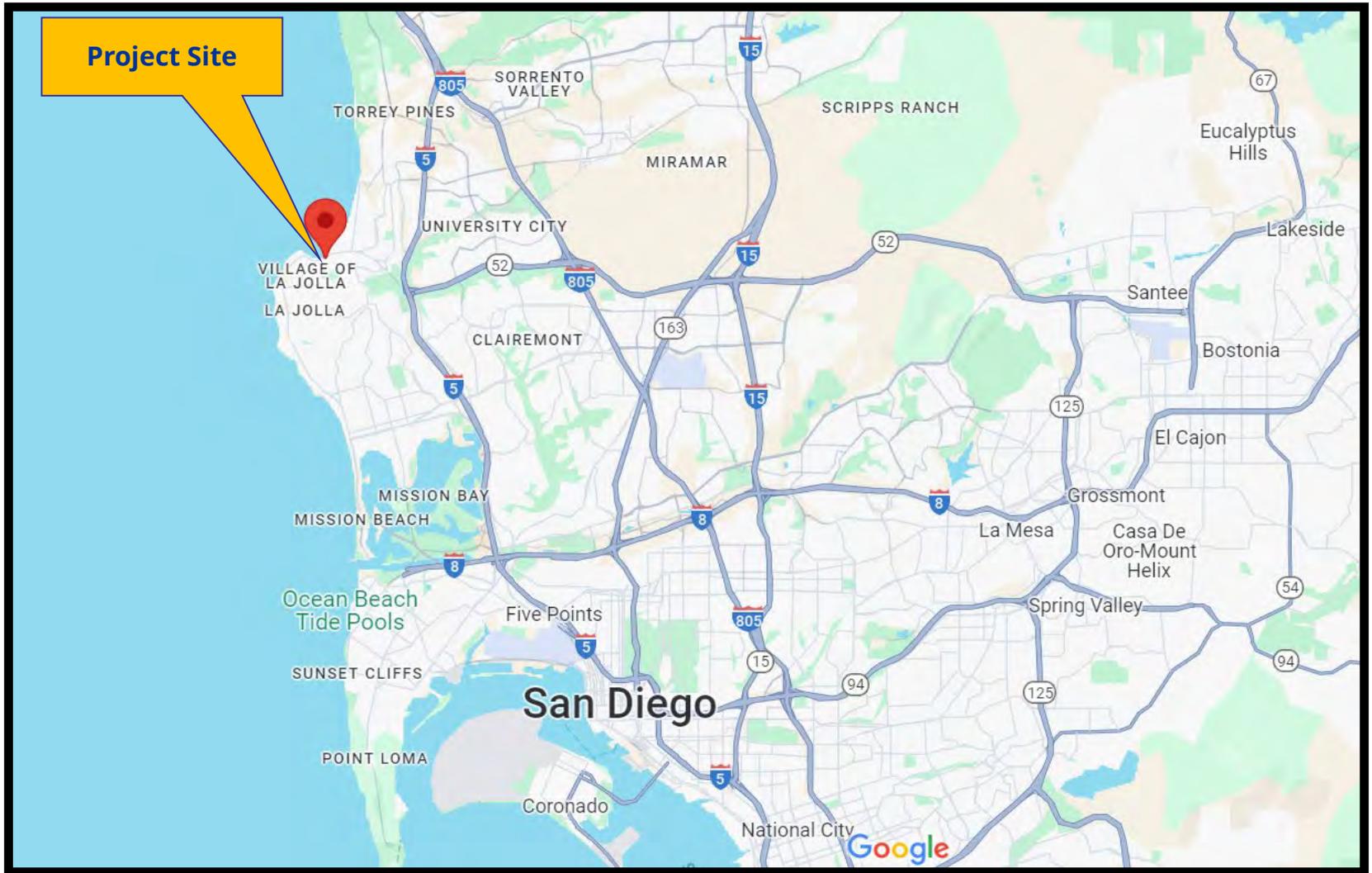


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Karen Bucey, Development Project Manager

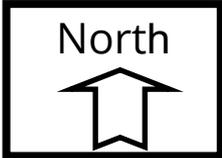
Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Resolution
5. Draft Permit with Conditions
6. [Draft Environmental Resolution with MMRP](#)
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



# Project Location Map

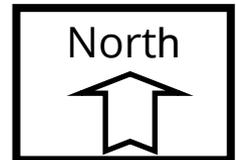
1720 Torrey Pines PRJ-1111223

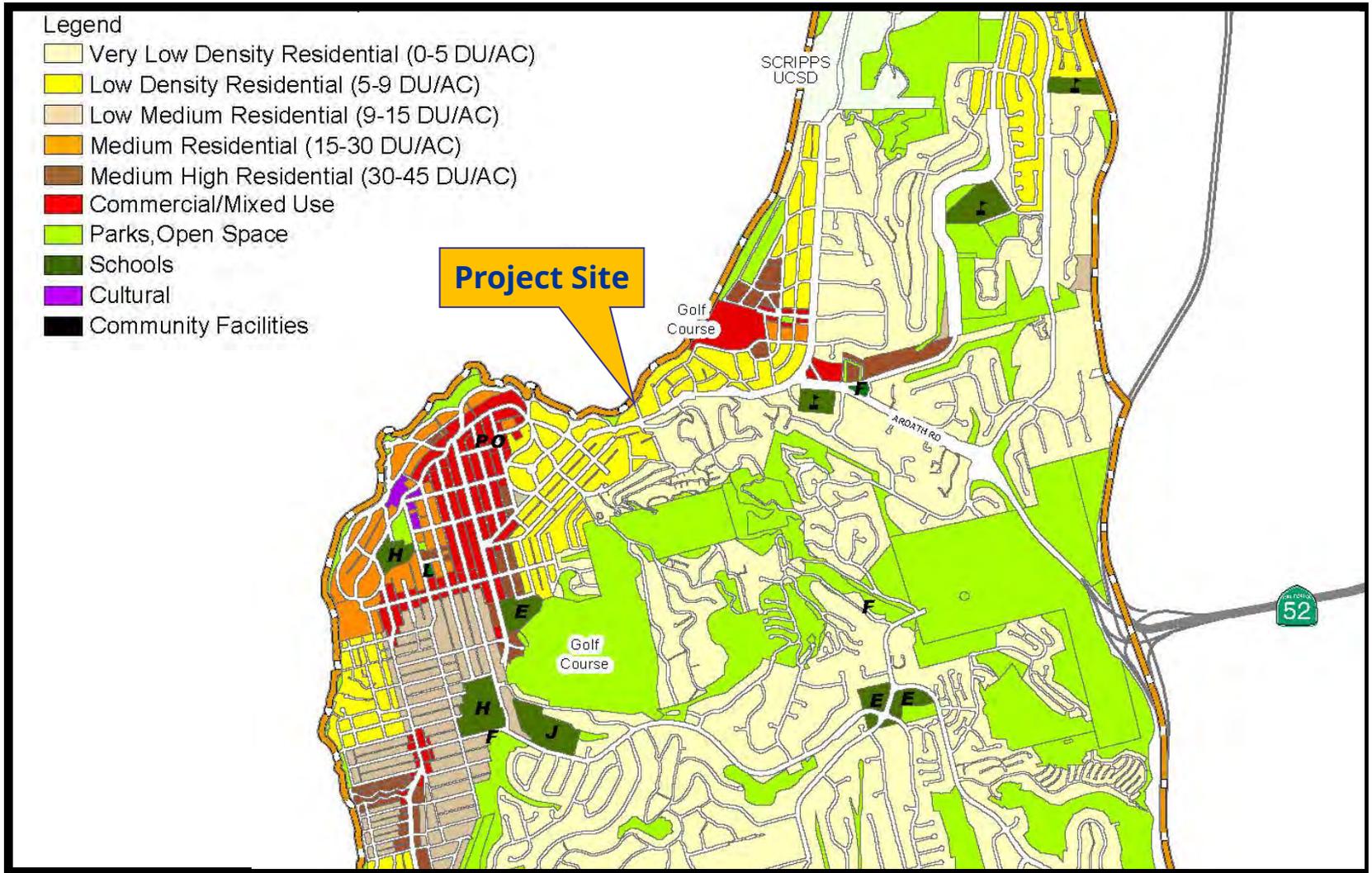




## Aerial Photo

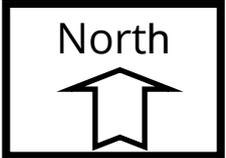
1720 Torrey Pines PRJ-1111223





# Community Plan Land Use Map

Project No. PRJ-1111223, 1720 Torrey Pines



HEARING OFFICER RESOLUTION NO. HO-\_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. PMT-3274890  
SITE DEVELOPMENT PERMIT NO. PMT-3274891  
**PRJ-1111223: 1720 TORREY PINES ROAD (MMRP)**

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. LOWENTHAL-TANIMOTO LIVING TRUST, DATED APRIL 3, 2006, RICHARD E.

LOWENTHAL AND SARINA TANIMOTO, TRUSTEES, Owner/Permittee, submitted an application to the City of San Diego for Coastal Development Permit No. PMT-3274890 and Site Development Permit No. PMT-3274891 to partially demolish an existing one-story, 3,574-square-foot single dwelling unit and construct a 10,691-square-foot addition, resulting in a two-story, 14,265-square-foot single dwelling unit over basement level and with attached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the 1720 Torrey Pines Road project (Project).

B. The 0.91-acre site is located at 1720 Torrey Pines Road in the RS-1-7 (Residential Single Dwelling Unit) Base Zone, the Coastal Overlay Zone (Appealable Area, First Public Roadway), and the Coastal Height Limit Overlay Zone within the La Jolla Community Plan and Local Coastal Land Use Plan. The site is legally described as Lot 3 and that portion of Lot 1 of Judkins Estates, in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 3326, filed on November 3, 1955, in the Office of the County of San Diego Recorder of San Diego County.

C. On March 25, 2026, the Hearing Officer considered Coastal Development No. PMT-3274890 and Site Development Permit No. PMT-3274891 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Coastal

Development No. PMT-3274890 and Site Development Permit No. PMT-3274891.

**A. COASTAL DEVELOPMENT PERMIT San Diego Municipal Code (SDMC) Section 126.0707**

**1. Findings for all Coastal Development Permits:**

- a. **The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is a previously developed parcel, containing a coastal bluff, within the first public roadway and the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) area. Torrey Pines Street in this location is designated as a view corridor with unobstructed framed view down a public right-of-way (Figure 9, pg. 35-36). Policy 2a states that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The project will adhere to this policy by developing within the allowable RS-1-7 zone development regulations, Environmentally Sensitive Lands regulations, and coastal height limitation as discussed below.

The RS-1-7 zone regulations require setbacks of 15 feet front, 24.33-foot combined side yards setbacks and 13-foot rear setbacks. The development will observe a 133.83 front setback, 39.67 north and 11.67-foot south side setback, and a 72 foot rear setback. Additionally, the project will observe a private Right of Unobstructed View Easement ("Easement Agreement" recorded August 27, 1998, Instrument No. 98-545700) running across the southwest portion of the site (to the benefit of 1700 Torrey Pines). The proposed development is sited to the eastern portion of the parcel outside of the private Right of Unobstructed View Easement area. The proposed structure height of 30 feet, with a differential for the sloping site, complies with the Coastal Height Limitation of 30 feet. The sites proposed floor area ratio of (0.32) is below the maximum (0.45) allowed.

Further, the Coastal Overlay Zone regulations for Environmentally Sensitive Lands requires protection of coastal bluffs. The project is designed to be 50 feet from the coastal bluff and will be conditioned to record a Covenant of Easement, which ensures the preservation of the Sensitive Coastal Bluff Environmentally Sensitive Land on the premises.

The project will not adversely impact public views or coastal access as identified in the Community Plan and no deviations or variations are required. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is a previously developed parcel, containing Environmentally Sensitive Lands in the form of a coastal bluff. Development will take place within the footprint of the original development and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge.

The project site is not located within or adjacent to the Multiple Habitat Planning Area. Staff has accepted a Biological Technical Report which concluded that no impacts to sensitive vegetation would occur. Staff has completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects.

Additionally, the project complies with City's drainage regulations and standards and will be required to implement construction best management practices (BPMs) including permanent BMP maintenance. Staff has also accepted a Geology Report that concluded that the project adequately addresses the geologic conditions for the site. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The existing structure, built in 1958, is more than 45 years old, requiring staff to evaluate the proposal for historic significance per SDMC Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria specified in the Historical Resources Guidelines of the Land Development Manual.

The Community Plan designates the site as low-density residential (5-9 dwelling units per acre). The project consists of the remodel and addition to a one-story single

dwelling unit with first and second story additions over basement and with an attached garage. The project complies with the RS-1-7 zone development regulations for coastal height limitation, density, setbacks, and floor area ratio as detailed in A1(a) above. No deviations or variations are required. Therefore, the project is consistent with the land use designation and prescribed density.

A goal in the Community Plan is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The project is consistent with this Community Plan goal since the project will be contained within the footprint of the original development and will not encroach onto the coastal bluffs by observing a 50-foot setback from the coastal bluff edge.

Additionally, a recommendation in the Community Plan is to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or offsetting planes, building articulation, roofline treatment, and variations within front yard setback requirements (LJCP, 76.). The project complies with this Community Plan recommendation by creating a design that steps down and includes offsetting planes between first and second floor for visual relief. The building has also been designed to account for varying articulation between roof overhangs, the face of the first and second floor, and the stone wall which is complementary to the adjacent one and two-story residences in the neighborhood.

The project will not adversely impact any public view or coastal access from the project site, as identified in the Community Plan. Torrey Pines Street in this location is designated as a view corridor with unobstructed framed view down a public right-of-way (Figure 9, pg. 35-36). Policy 2a states that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The project will adhere to this policy by conforming to the regulations of Environmentally Sensitive Lands and development within the Coastal Overlay Zone, which requires easements for coastal bluffs and view corridors on applicable sites. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is a previously developed parcel, containing Environmentally Sensitive Lands in the form of a coastal bluff and between the sea and the first public roadway within the La Jolla Community Plan and Local Coastal Program Land Use Plan area.

Chapter 3, Article 2 of the California Coastal Act contains policies designed to provide, maintain, and enhance public access to the coast “consistent with public safety needs and the need to protect public rights, rights of private property owners, and natural resource areas from overuse”. Development shall not interfere with the public's right of access to the sea (Section 30211). The Coastal Act requires that public access from the nearest public roadway to the shoreline and along the coast shall be provided in new development projects except where adequate access exists nearby per Section 30212(a)(2). The project does not inhibit existing public access to the coast, which is steep and rocky at this location, and adequate access exists approximately 700 feet away via Coast Walk. Emergency access exists approximately 600 feet away via Princess Street.

Chapter 3, Article 3 of the California Coastal Act contains policies designed to protect recreational opportunities along the coast. This article is designed to facilitate recreational use of existing oceanfront and upland areas for coastal recreational uses. The subject site is not designated for such uses in the Community Plan and the proposed project will be developed entirely within private property. It does not contain any existing public access way or any public recreation areas identified in the Community Plan. The project will enhance and protect public views to the Pacific Ocean by providing a conservation easement across the coastal bluff area on the premises.

The proposed development will not impact public access to coastal areas in that the project site does not provide and is not required to provide physical access to the coast. Therefore, it will not impact public recreation policies of Chapter 3 of the California Coastal Act.

**B. SITE DEVELOPMENT PERMIT SDMC SECTION 126.0505**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The Community Plan designates the site as low-density residential (5-9 dwelling units per acre). The project consists of the remodel and addition to a one-story single dwelling unit with first and second story additions over basement and with an attached garage. Therefore, the project is consistent with the land use designation and prescribed density.

A goal in the Community Plan is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The project is consistent with this Community Plan goal since the project will be contained within the footprint of the original development and will not encroach onto the coastal bluffs by observing a 50-foot setback from the coastal bluff edge.

Additionally, a recommendation in the Community Plan is to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or offsetting planes, building articulation, roofline treatment, and variations within front yard setback requirements (LJCP, 76.). The project complies with this Community Plan recommendation by creating a design that steps down and includes offsetting planes between first and second floor for visual relief. The building has also been designed to account for varying articulation between roof overhangs, the face of the first and second floor, and the stone wall which is complementary to the adjacent one and two-story residences in the neighborhood.

The project will not adversely impact any public view or coastal access from the project site, as identified in the Community Plan. Torrey Pines Street in this location is designated as a view corridor with unobstructed framed view down a public right-of-way (Figure 9, pg. 35-36). Policy 2a states that public views from identified vantage points to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The project will adhere to this policy by conforming to the regulations of Environmentally Sensitive Lands and development within the Coastal Overlay Zone, which requires easements for coastal bluffs and view corridors on applicable sites. Therefore, the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

A geology report has been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions. The Project complies with the City's drainage regulations and standards and will be required to address storm water and run off by implementing storm water construction best management practices (BMPs) and ongoing permanent BMP maintenance.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The Permit includes requirements that address storm water and runoff, landscaping and maintenance, public improvements, private water and sewer facilities, lighting and parking.

Staff has completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects. Therefore, the proposed development will not be detrimental to public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The existing structure, built in 1958, is more than 45 years old, requiring staff to evaluate the proposal for historic significance per SDMC Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria specified in the Historical Resources Guidelines of the Land Development Manual.

The project complies with the Community Plan Land Use, implementing RS-1-7 zoning, and coastal overlays and development regulations for height limit, density, setbacks, and floor area ratio. No deviations or variations are required. Therefore, the proposed development will comply with the regulations of the Land Development Code.

**2. Supplemental Findings – Environmentally Sensitive Lands**

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project site is a previously developed parcel, containing a coastal bluff, and is located between the sea and the first public roadway. Development will take place within the footprint of the original development and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge. The project complies with City's drainage regulations and standards and will be required to implement construction best management practices including permanent BMP maintenance. Additionally, staff has accepted a Geology Report that concluded that the project has adequately addresses the geologic conditions for the site.

Additionally, staff has accepted a Biological Technical Report prepared for the site that concluded that there are no impacts that would occur to sensitive vegetation. Staff has also completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

- b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The project will be located within the footprint of the original development and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge. The project complies with City's drainage regulations and standards and will be required to implement construction best management practices including permanent BMP maintenance. Staff has also accepted a Geology Report that concluded that the project adequately addresses the geologic conditions for the site. Therefore, proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

- c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The project will be located within the footprint of the original development and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge. Staff has accepted a Biological Technical Report prepared for the site that concluded that there are no impacts that would occur to sensitive vegetation. Staff has also completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects.

Additionally, the project complies with City's drainage regulations and standards and will be required to implement construction best management practices including permanent BMP maintenance. Staff has also accepted a Geology Report that concluded that the project adequately addresses the geologic conditions for the site. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

- d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The project site is not located within or adjacent to the Multiple Habitat Planning Area. Staff has also accepted a Biological Technical Report prepared for the site that concluded that there are no impacts that would occur to sensitive vegetation. The project is not located within a Vernal Pool Habitat Conservation Plan area. Therefore, the proposed development will be consistent with the City of San Diego's Multiple

Species Conservation Program Subarea Plan and Vernal Pool Habitat Conservation Plan.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The project site is a previously developed parcel, containing Environmentally Sensitive Lands in the form of a coastal bluff. The project site is developed and adjacent to the sensitive coastal bluff located along the northern edge of the site. Development will take place within the existing footprint and extend onto the previously graded area of the site to the north and west of the lot containing ornamental vegetation. The project will not encroach on the coastal bluffs and will observe a 50-foot setback from the coastal bluff edge. Additionally, staff has accepted a Geology Report that concluded that the project adequately addresses the geologic conditions for the site. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

Staff has completed an Initial Environmental Study which determined that the project could have a significant environmental effect in the areas of Cultural Resources (Archaeology) and Tribal Cultural Resources. Therefore, a Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program has been prepared in order for the project to avoid or mitigate the potentially significant environmental effects.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The permit includes requirements that address storm water and runoff, landscaping and maintenance, public improvements, private water and sewer facilities, lighting and parking. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Coastal Development No. PMT-3274890 and Site Development Permit No. PMT-3274891 is granted by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Coastal

## ATTACHMENT 4

Development No. PMT-3274890 and Site Development Permit No. PMT-3274891, a copy of which is attached to and made a part of this Resolution by this reference.

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Karen Bucey  
Development Project Manager  
Development Services

Adopted on March 25, 2026

IO#: 24009836

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
DSD-1A

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION DSD-1A**

INTERNAL ORDER NUMBER: 24009836

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3274890  
SITE DEVELOPMENT PERMIT NO. PMT-3274891  
**1720 TORREY PINES NO. 1111223 MMRP**  
HEARING OFFICER

This Coastal Development Permit No. PMT-3274890 and Site Development Permit No. PMT-3274891 is granted by the Hearing Officer of the City of San Diego to LOWENTHAL-TANIMOTO LIVING TRUST dated April 3, 2006, Richard E. Lowenthal and Sarina Tanimoto, Trustees, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Sections 126.0707 and 126.0505. The 0.91-acre site is located at 1720 Torrey Pines Road in the RS-1-7 (Residential Single Dwelling Unit) Base Zone, the Coastal Overlay Zone (Appealable Area), the Coastal Height Limit Overlay Zone and is in the First Public Roadway within the La Jolla Community Plan and Local Coastal Land Use Plan Area. Legally described as Lot 3 and that portion of Lot 1 of Judkins Estates, in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 3326, filed on November 3, 1955, in the Office of the County of San Diego Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to partially demolish an existing single-story single dwelling unit and construct a two-story, single dwelling unit over basement with an attached garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 25, 2026, on file in the Development Services Department.

The project shall include:

- a. Partial demolition of an existing one-story, 3,574-square-foot single dwelling unit and the construct of an 10,691-square-foot addition into a two-story, 14,265-square-foot single dwelling unit over basement level with an attached garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by April 9, 2029.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

12. Mitigation requirements in the **MITIGATION, MONITORING, AND REPORTING PROGRAM (MMRP)** shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 1111223 shall be noted on the construction plans and specifications under the heading Environmental Mitigation Requirements.

14. The Owner/Permittee shall comply with the MMRP as specified Mitigated Negative Declaration, No. 1111223 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the

satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

**Archaeological and Tribal Cultural Resource**

**ENGINEERING REQUIREMENTS:**

15. Prior to the issuance of any building permit, the Owner/Permittee shall grant to the City a nine-foot irrevocable offer of dedication Right-of-Way to provide a 15-foot parkway, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement signed by all three property owners for the non-standard driveway, mailboxes, and fences within the Torrey Pines Road's Right-of-Way from the City engineer.
17. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
18. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
19. Prior to the issuance of any building permit, the Owner/Permittee shall submit Drainage Study report to demonstrate that the proposed condition peak flows from the project site are less than pre-project condition peak flows from the project site. The detention analysis should be run for the 100-year, six-hour design rainfall event to demonstrate adequate vault capacity. The Drainage Study shall demonstrate the required sizing of proposed energy dissipation systems at each discharge location from the project site to mitigate erosive flows to the receiving waters, to the satisfaction of the City Engineer.
20. The project shall provide adequate energy dissipation and/or erosion protection to avoid damage as project runoff enters the coastal bluff and coastal canyon.
21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
22. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.

**LANDSCAPE REQUIREMENTS:**

23. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

24. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per San Diego Municipal Code Section 142.0403(b)6.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

27. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing by the appropriate City decision-maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement, which ensures the preservation of the Sensitive Coastal Bluff Environmentally Sensitive Land on the premises.

30. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 25, 2026, and (Approved Resolution Number).

**ATTACHMENT 5**

Coastal Development Permit No. PMT-3274890  
Site Development Permit No. PMT-3274891  
Date of Approval: March 25, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Karen Bucey  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**LOWENTHAL-TANIMOTO LIVING TRUST  
OWNER/PERMITTEE**

By \_\_\_\_\_  
Richard E. Lowenthal  
TRUSTEE

**LOWENTHAL-TANIMOTO LIVING TRUST  
OWNER/PERMITTEE**

By \_\_\_\_\_  
Sarina Tanimoto  
TRUSTEE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER R-\_\_\_\_\_

DATE OF FINAL PASSAGE \_\_\_\_\_

A RESOLUTION OF THE HEARING OFFICER OF THE CITY OF SAN DIEGO ADOPTING MITIGATED NEGATIVE DECLARATION NO. 1111223 AND ADOPTING THE MITIGATION MONITORING AND REPORTING PROGRAM FOR 8204 1720 TORREY PINES PROJECT NO. 1111223.

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. On February 16, 2024, Claude Anthony Marengo submitted an application to Development Services Department for a Coastal Development Permit and Site Development Permit for the partial demolition and remodel of a 3,574 square foot one-story (sf) single-family residence to a two-story 14,265 sf single-family residence over basement and associated site improvements at 1720 Torrey Pines Road (Project).

B. The matter was set for a public hearing and heard by the Hearing Officer of the City of San Diego on March 25, 2026. At the hearing, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 1111223 (Declaration) prepared for this Project.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. It is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code section 21000, *et seq.*), as amended, and the State CEQA Guidelines (California Code of Regulations Title 14, Chapter 3, section 15000, *et seq.*), that the Declaration reflects the independent judgment of the

City of San Diego as Lead Agency, and that the information contained in the Declaration, together with the report and any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

2. The Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, the Declaration is adopted.

3. Pursuant to California Public Resources Code section 21081.6, the Hearing Officer adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment. A copy of the Mitigation Monitoring and Report Program is attached to this Resolution as Exhibit A.

4. The City Clerk or designee is directed to file a Notice of Determination in accordance with CEQA with the San Diego County Clerk's Office and the State Clearinghouse in the Office of Land Use and Climate Innovation regarding the Project.

APPROVED: Karen Bucey

By \_\_\_\_\_  
Development Project Manager

XXX:xxx  
MONTH/DAY/YEAR  
Or. Dept: DSD

**EXHIBIT A**

**MITIGATION MONITORING AND REPORTING PROGRAM**

**COASTAL DEVELOPMENT PERMIT NO. PMT-3274890 AND SITE DEVELOPMENT  
PERMIT NO. PMT-3274891;**

**PRJ- 1111223 / SCH NO. 2025070372**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies, at a minimum, the department responsible for monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and the completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Development Services Department, 7650 Mission Valley Road, MS DSD-1A, San Diego, CA 92108. All mitigation measures contained in Mitigated Negative Declaration No. 1111223 / SCH No. 2025070372 shall be made conditions of COASTAL DEVELOPMENT PERMIT NO. PMT-3327890 AND SITE DEVELOPMENT PERMIT NO. PMT-3327981 as may be further described below.

MITIGATION, MONITORING AND REPORTING PROGRAM:

**A. GENERAL REQUIREMENTS - PART I Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of any construction permits, such as demolition, grading or building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve construction documents (CD) (plans, specification, details, etc.) to ensure the applicable MMRP requirements are incorporated into the design and/or construction documents.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City of San Diego (City) website:  
<https://www.sandiego.gov/development-services/forms-publications/design-guidelines-templates>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY:** The DSD Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder’s Representative(s), Job Site Superintendent, and the following consultants:

*Qualified Archaeologist*  
*Qualified Native American Monitor*

**Note: If all responsible Permit Holders' representatives and consultants fail to attend, an additional meeting with all parties present will be required.**

CONTACT INFORMATION:

- a) **The PRIMARY POINT OF CONTACT is the RE at the Field Engineering Division and can be reached at (858) 627-3200**
- b) **For Clarification of ENVIRONMENTAL REQUIREMENTS, contact call RE and MMC at (858) 627-3360**

2. **MMRP COMPLIANCE:** This Project, PRJ-1111223 and /or Environmental Document 1111223 shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD’s Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and the location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, monitoring times, methodology, etc.)

**Note: The Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans, notes, or changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include

copies of permits, letters of resolution, or other documentation issued by the responsible agency.

**None Applicable**

- 4. **MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on an 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**Note: Surety and Cost Recovery: When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

- 5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>Document Submittal/Inspection Checklist</b>		
<b>Issue Area</b>	<b>Document Submittal</b>	<b>Associated Inspection/Approvals/Notes</b>
General	Consultant Qualification Letters	Prior to the Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at the Preconstruction Meeting
Archaeology	Monitoring Reports	Archaeology/Historic Site Observation
Tribal Cultural Resources	Monitoring Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**HISTORICAL RESOURCES (ARCHAEOLOGY)**

**I. Prior to Permit Issuance**

**A. Entitlements Plan Check**

- 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is

applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

- B. Letters of Qualification have been submitted to ADD
  - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
  - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
  - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

## **II. Prior to Start of Construction**

- A. Verification of Records Search
  - 1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
  - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
  - 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.
- B. PI Shall Attend Precon Meetings
  - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
    - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
  - 2. Identify Areas to be Monitored
    - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
    - b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
  1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
  2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
  3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
  4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed or emailed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
  1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
    - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in Guidelines Section, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
    - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

**IV. Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
  2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
  2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
  3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains ARE determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.

2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Guidelines Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
  - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
  - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN
  - c. To protect these sites, the landowner shall do one or more of the following:
    - (1) Record the site with the NAHC;
    - (2) Record an open space or conservation easement; or
    - (3) Record a document with the County. The document shall be titled "Notice of Reinterment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.

**V. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
  1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
    - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
  - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**VI. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.
    - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with State of California Department of Parks and Recreation  
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
  - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  - 4. MMC shall provide written verification to the PI of the approved report.
  - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
  - 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
  - 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
  - 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an

appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.

2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
  3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Page 3	City of San Diego · Information Bulletin 620		August 2018
	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: 1720 TORREY PINES ROAD		Project Number: PRJ-1111223	
Community:      La Jolla			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: November 07,	
# of Members Yes 14	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations: none			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME:      ADRIAN FERAL			
TITLE:      SECRETARY		DATE:      November 15, 2024	

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM</b> <b>DS-318</b>
			<b>October 2017</b>

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** Lowenthal Custom Home **Project No. For City Use Only:** \_\_\_\_\_  
**Project Address:** 1720 Torrey Pines Rd. La Jolla CA 92037

**Specify Form of Ownership/Legal Status (please check):**

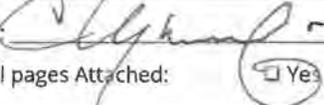
Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Richard Lowenthal  Owner  Tenant/Lessee  Successor Agency  
 Street Address: Lowenthal Custom Home  
 City: La Jolla State: CA Zip: 92307  
 Phone No.: 858-335-1300 Fax No.: \_\_\_\_\_ Email: richardl@ars-phama.com  
 Signature:  Date: 1 December 2023  
 Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Claude Anthony Marengo/ Marengo Morton Architects  Owner  Tenant/Lessee  Successor Agency  
 Street Address: 7724 Girard Ave  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: 6194171111 Fax No.: \_\_\_\_\_ Email: camarengo@m2a.io  
 Signature:  Date: 11/30/2023  
 Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached:  Yes  No

# Lowenthal Residence

1720 Torrey Pines Road, La Jolla, CA 92037



## Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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Lowenthal Residence

1720 Torrey Pines Road  
La Jolla, CA 92037

REVISIONS  
11/01/2023 PROJECT START



PHASE  
Coastal

PROJECT NO. 2023-27

REVIEWED BY CAM

DRAWN BY MS

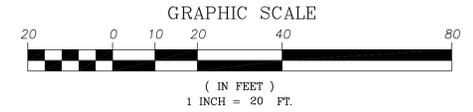
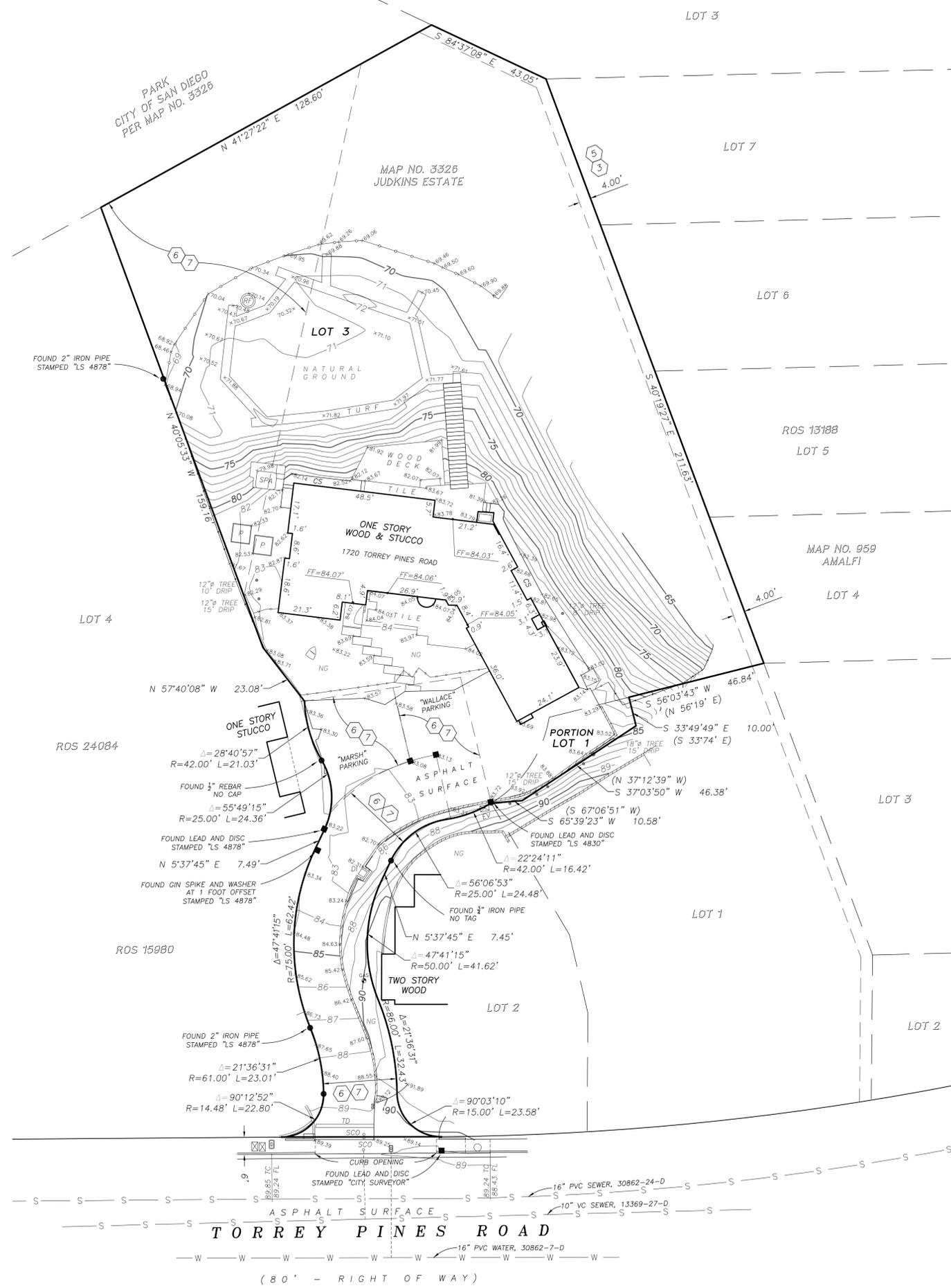
DATE 1/15/2025

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SHEET TITLE  
TITLE SHEET

# TS01

SHEET INDEX	PROJECT TEAM	SCOPE OF WORK	PROJECT DATA																																																																																								
<p><b>GENERAL:</b> TS01 Title sheet</p> <p><b>CIVIL:</b> Survey</p> <p><b>ARCHITECTURAL :</b> A010 Proposed Site Plan A011 Drainage Site Plan A021 Demo First Floor Plan A022 Proposed Basement Floor Plan A023 Proposed First Floor Plan A024 Proposed Second Floor Plan A041 Proposed Roof Plan A051 Proposed Elevation A052 Proposed Elevation A053 Proposed Elevation A054 Proposed Elevation A060 Proposed Section A061 Proposed Section A062 Proposed Section</p> <p><b>LANDSCAPE :</b> L001 Landscape Area Diagram Plan</p>	<p><b>OWNER'S</b> Mr. Richard Lowenthal 1720 Torrey Pines Road La Jolla, CA 92037 Telephone: (858) 335-1300</p> <p><b>ARCHITECT</b> Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo CAMarengo@m2a.io Cell: (619) 417-1111</p> <p><b>SURVEY</b> San Diego Land Surveying &amp; Engineering, Inc. 7028 Convoy Court San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354 Contact: Robert J. Bateman RBateman@sdlse.com</p>	<p><b>PROJECT SCOPE</b></p> <p>Project located in the La Jolla Community Plan, We are requesting a Coastal Development Permit and a Site Development Permit (Process 3). The project is located in a 39,640 sq ft lot (.91 acre) and is located in RS-1-7 Zone in the Coastal Overlay Zone - APP within the La Jolla Community Plan. Council District 1</p> <p>We are proposing the Remodel of a 3,574 sq ft. one-story existing single family residence to a two-story over basement residence adding 10,691 sq ft for a total of 14,265 sq ft. The project will demo exterior walls at the north and east and portion of south side and will keep a portion of existing walls at the west side. Existing Deck will be demo too.</p> <p>Pool and jacuzzi to be under separate permit.</p>	<p><b>Project information</b> Project address: 1720 Torrey Pines Road, La Jolla CA 92037</p> <p>Assessors parcel number: 350-151-1000</p> <p><b>Legal description:</b> Lot 3 and that portion of Lot 1 of Judkins Estates, City Of San Diego, County of San Diego, States of California, according to map thereof no. 3326</p> <p>Year built: Building 1959 Deck 1964 Pool 1958 Addition/ Remodel 2003</p> <p><b>Building code:</b> California residential code (CRC), 2022 edition &amp; associated amendments in SDMC. California Bldg. Code (CBC) based on 2022 IBC. National electrical code (NEC), 2022 edition National mechanical code (CMC), 2022 edition California plumbing code (CPC), 2022 edition San diego county municipal code (SDC), project shall comply with title 24 and 2022 CBC, 2022 CMC and 2022 SPC and the 2022 CEC.</p> <p>Occupancy type: R-3 Number of dwellings: 1 Construction type: V Number of stories: 2</p> <p><b>Lot area:</b> 39,640 s.f.</p> <p><b>Zoning information</b> Zone: RS-1-7</p> <p><b>Overlay zones:</b> Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (COZ) CST-APP, Coastal Overlay Zone First Public Roadway (COZFPR), Parking Impact Overlay Zone (PIOZ), Sensitive Coastal Overlay Zone (SCOZ), Transit Area Overlay Zone (TAOZ), Parking Standards Transit Priority Area (PSTPA), Transit Priority Area (TPA), Affordable Housing Parking Demand, La Jolla Shores Archaeological Study Area (LJSASA), Paleontological Sensitivity Area, Coastal Bluff Environmentally Sensitive Area (ESA), Areas of Special Biological Significance (ASBS).</p> <p><b>Geo hazard zone:</b> 43, 53</p> <table border="1"> <thead> <tr> <th>Setbacks</th> <th>Allowed</th> <th>Proposed</th> <th></th> </tr> </thead> <tbody> <tr> <td>Front (street frontage):</td> <td>15'-0"</td> <td>133'-10" 1/8"</td> <td>Table 131-04D</td> </tr> <tr> <td>.08 Interior side (North):</td> <td>20'-4"</td> <td>39'-8 5/8"</td> <td>Min. side setback .08</td> </tr> <tr> <td>.08 Interior side (South):</td> <td>4'-0"</td> <td>11'-8 1/2"</td> <td>footnote 2</td> </tr> <tr> <td>.08 Interior side (West):</td> <td>5'-0"</td> <td>5'-0"</td> <td></td> </tr> <tr> <td>Rear:</td> <td>13'-0"</td> <td>72'-0"</td> <td></td> </tr> <tr> <td>Building height limitations:</td> <td>30'-0"</td> <td>30'-0"</td> <td></td> </tr> <tr> <td>Max. Floor area ratio (F.A.R.):</td> <td>0.45</td> <td>0.32</td> <td></td> </tr> <tr> <td>Parking spaces:</td> <td>2</td> <td>8</td> <td></td> </tr> <tr> <td><b>Building areas:</b></td> <td><b>Existing</b></td> <td><b>Proposed</b></td> <td><b>Difference</b></td> </tr> <tr> <td>Basement floor</td> <td>0 s.f.</td> <td>2,617 s.f.</td> <td>2,617 s.f.</td> </tr> <tr> <td>First floor</td> <td>3,056 s.f.</td> <td>4,763 s.f.</td> <td>1,707 s.f.</td> </tr> <tr> <td>First floor garage</td> <td>518 s.f.</td> <td>1,812 s.f.</td> <td>1,294 s.f.</td> </tr> <tr> <td>Second floor</td> <td>0 s.f.</td> <td>5,041 s.f.</td> <td>5,041 s.f.</td> </tr> <tr> <td><b>Total area:</b></td> <td><b>3,574 s.f.</b></td> <td><b>14,265 s.f.</b></td> <td><b>10,691 s.f.</b></td> </tr> <tr> <td>First floor deck area</td> <td>672 s.f.</td> <td>2,411 s.f.</td> <td></td> </tr> <tr> <td>Second floor deck area</td> <td>0 s.f.</td> <td>581 s.f.</td> <td></td> </tr> <tr> <td>Total</td> <td>672 s.f.</td> <td>2,992 s.f.</td> <td></td> </tr> <tr> <td>Landscape required:</td> <td>39,640 s.f. (30%)</td> <td>11,892 s.f.</td> <td></td> </tr> <tr> <td>Landscape provided:</td> <td>26,365.28 s.f. (65.80%)</td> <td></td> <td></td> </tr> <tr> <td>Allowable F.A.R.</td> <td>Max. F.A.R.= 0.45</td> <td>17,838 s.f.</td> <td></td> </tr> <tr> <td>Proposed F.A.R.</td> <td>Basement 1,128 s.f. + First floor 6,575 s.f. + Second Floor 5,041 s.f.</td> <td>=12,734 s.f. (0.32 f.a.r.)</td> <td></td> </tr> </tbody> </table>	Setbacks	Allowed	Proposed		Front (street frontage):	15'-0"	133'-10" 1/8"	Table 131-04D	.08 Interior side (North):	20'-4"	39'-8 5/8"	Min. side setback .08	.08 Interior side (South):	4'-0"	11'-8 1/2"	footnote 2	.08 Interior side (West):	5'-0"	5'-0"		Rear:	13'-0"	72'-0"		Building height limitations:	30'-0"	30'-0"		Max. Floor area ratio (F.A.R.):	0.45	0.32		Parking spaces:	2	8		<b>Building areas:</b>	<b>Existing</b>	<b>Proposed</b>	<b>Difference</b>	Basement floor	0 s.f.	2,617 s.f.	2,617 s.f.	First floor	3,056 s.f.	4,763 s.f.	1,707 s.f.	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		<p><b>VICINITY MAP</b></p>																																																																																									



- LEGEND:**
- INDICATES FOUND SPIKE AND WASHER STAMPED "L.S. 4830" UNLESS OTHERWISE NOTED
  - INDICATES FOUND 3/4" IRON PIPE STAMPED "L.S. 2460"
  - INDICATES WATER METER
  - ⊕ INDICATES GAS METER/VALVE
  - ⊖ INDICATES ELECTRIC METER
  - ⊗ INDICATES WATER GATE VALVE
  - ⊙ INDICATES UTILITY POLE
  - INDICATES GUY/SUPPORT
  - ☆ INDICATES LIGHT POLE
  - FF INDICATES FINISH FLOOR
  - NG INDICATES NATURAL GROUND
  - CR INDICATES COMMUNICATIONS RISER
  - MB INDICATES MAIL BOX
  - P INDICATES PLANTER
  - CS INDICATES CONCRETE SURFACE
  - RF INDICATES ROCK FOUNTAIN
  - INDICATES PROPERTY LINE
  - ○ ○ ○ INDICATES WOOD FENCE
  - x — INDICATES CHAIN LINK FENCE
  - / — INDICATES WALL
  - S — INDICATES SEWER LINE
  - W — INDICATES WATER LINE
  - - - - INDICATES EASEMENT
  - ( ) INDICATES RECORD DATA PER MAP NO. 3326

**EASEMENTS:**

- THE FOLLOWING EASEMENTS APPEAR IN FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY REPORT, ORDER NO. DIV-7041206, DATED AS OF SEPTEMBER 26, 2023.
3. EASEMENTS AS SHOWN ON MAP NO. 3326. PLOTTED HEREON.
  4. AN EASEMENT FOR DRAINAGE STRUCTURES, EXCAVATION AND EMBANKMENT SLOPES PER DOCUMENT RECORDED MARCH 25, 1955 AS BOOK 5580, PAGE 573 OF OFFICIAL RECORDS. EASEMENT NOT LOCATED ON SUBJECT PROPERTY.
  5. AN EASEMENT FOR EITHER OR BOTH POLE LINES, UNDERGROUND CONDUITS, RECORDED DECEMBER 23, 1955 IN BOOK 5917, PAGE 59 OF OFFICIAL RECORDS. PLOTTED HEREON.
  6. AN EASEMENT FOR INGRESS AND EGRESS FOR ROAD PURPOSES AND FOR PARKING AND RIGHT OF UNOBSTRUCTED VIEW, RECORDED FEBRUARY 19, 1955 IN BOOK 6957, PAGE 181 AND DECEMBER 12, 1962 AS INSTRUMENT NO. 211205, BOTH OF OFFICIAL RECORDS. ALSO, THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED AUGUST 27, 1998 AS INSTRUMENT NO. 98-545700 OF OFFICIAL RECORDS. PLOTTED HEREON.
  7. AN EASEMENT FOR RIGHT OF UNOBSTRUCTED VIEW, ROAD AND PARKING AND INCIDENTAL PURPOSES AS DISCLOSED BY RECORD OF SURVEY MAP NO. 15980. PLOTTED HEREON.

**LEGAL DESCRIPTION:**

LOT 3 AND THAT PORTION OF LOT 1 OF JUDKINS ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3326, FILED ON NOVEMBER 3, 1955 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, LYING WESTERLY AND NORTHERLY OF THE LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY TERMINUS OF THE SOUTHWESTERLY 28.00 FEET OF THAT COURSE IN THE NORTHWESTERLY BOUNDARY OF SAID LOT 1, HAVING A BEARING AND LENGTH OF NORTH 56°19' EAST 74.84 FEET; THENCE SOUTH 33°41' EAST 10.00 FEET; THENCE SOUTH 37°12'39" WEST 46.38 FEET; THENCE SOUTH 67°06'51" WEST 10.87 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 1.

**BASIS OF ELEVATION:**

CITY OF SAN DIEGO VERTICAL CONTROL:  
 NORTHWEST BRASS PLUG  
 TORREY PINES ROAD AND PRINCESS STREET.  
 ELEVATION = 92.029 M.S.L.



Robert J. Bateman  
 ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHY SURVEY		
For the exclusive use of: RICHARD LOWETHAL c/o MARENGO MORTON ARCH. 7724 GIRARD AVENUE, 2ND FLOOR LA JOLLA, CALIFORNIA 92037		
San Diego Land Surveying & Engineering, Inc.		
7028 Convoy Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 12-05-2023	Revised: 5-15-2024	Revised:
Scale: 1"=20'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Torrey Pines Rd 1720 Topo	A.P.N. 350-151-10	

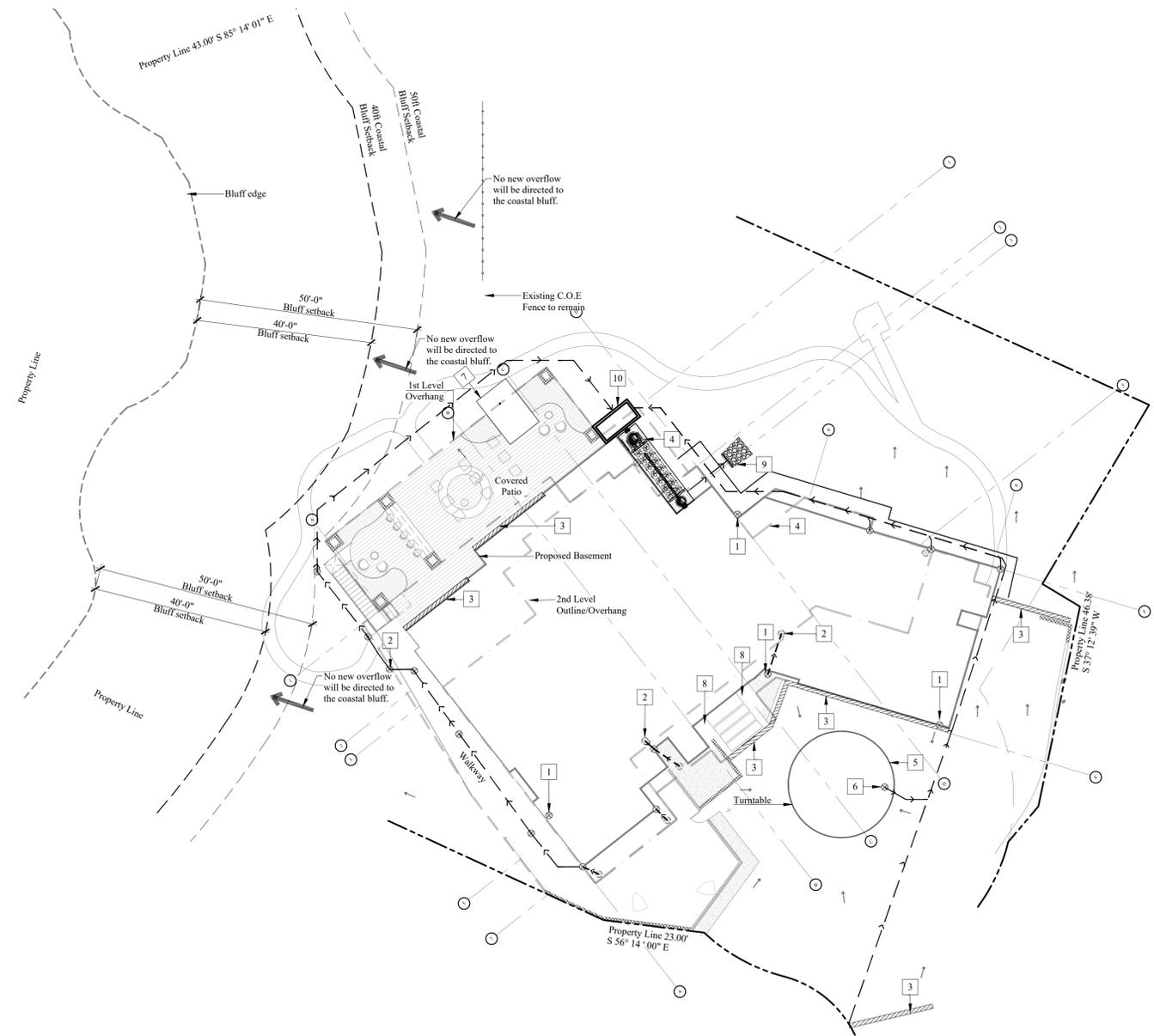


### DRAINAGE PLAN LEGEND

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### STORMWATER DISCHARGE NOTE

No increase in storm water run-off, we are reverting all drainage away from the Coastal Bluff, water to be collected and clean water to discharge and flow to natural swale at north canyon. The outflow of the pipe is conditioned to be less than what the existing outflow currently is. A Q&V to be conditioned and perform at ministerial phase to corroborate that flow is equal or less than existing conditions.



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**Lowenthal Residence**  
 1720 Torrey Pines Road  
 La Jolla, CA 92037

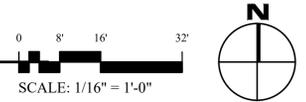
REVISIONS	PROJECT START
11/01/2023	
PHASE	Coastal
PROJECT NO.	2023-27
REVIEWED BY	CAM
DRAWN BY	
DATE	1/30/2025

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SHEET TITLE: PROPOSED DRAINAGE PLAN

**A011**

Drainage Plan





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Lowenthal Residence

1720 Torrey Pines Road  
 La Jolla, CA 92037

REVISIONS  
 11/01/2023 PROJECT START



PHASE  
 Agency

PROJECT NO. 2023-27

REVIEWED BY CAM

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DATE 07/19/2024

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SHEET TITLE  
 PROPOSED DEMO PLAN

A021

**First Floor Perimeter Calculation Worksheet**

Project Name		Lowenthal Residence	
Project Address		1720 Torrey Pines Road, La Jolla, CA 92037	
<b>Existing Residence Perimeter Lengths</b>			
<b>Direction Existing Wall Faces</b>	<b>Existing Length</b>	<b>Length Remaining</b>	<b>Length Removed</b>
A- North	74.45 LF	0.00 LF	74.45 LF
B- East	65.20 LF	19.15 LF	46.05 LF
C- South	140.85 LF	89.99 LF	50.86 LF
D- West	47.33 LF	40.38 LF	6.95 LF
<b>Total Exist. Basement Level Perimeter Length</b>	<b>327.83 LF</b>	<b>149.52 LF</b>	<b>178.31 LF</b>
	163.915	-14.40 LF above 50%	
<b>Existing Perimeter Wall Remaining</b>	<b>149.52 LF</b>		
<b>Total Existing Building Perimeter Length</b>	<b>327.83 LF</b>		
<b>46% Percentage of Existing Perimeter Wall Which Remains</b>			
50% of existing wall must remain to qualify for coastal exemption			
<b>Cumulative Perimeter Wall Remaining</b>	<b>149.52 LF</b>		
<b>Total Cumulative Building Perimeter</b>	<b>327.83 LF</b>		
<b>46% Percentage of Cumulative Perimeter Wall Which Remains</b>			
50% of existing wall must remain to qualify for coastal exemption			
		-4.39%	-14.40 LF above 50% min perimeter wall length to remain

**DEMOLITION LEGEND**

- Existing exterior perimeter walls to remain
- Existing interior walls to remain
- Existing walls to be removed
- Existing wall to remain, opening to be infilled
- Existing glass wall to be removed
- Existing glass wall to remain, opening to be infilled
- Indicates dimension of existing walls that remain in place
- Indicates dimension of existing walls to be removed
- Removed window
- Removed door

**DEMOLITION NOTES**

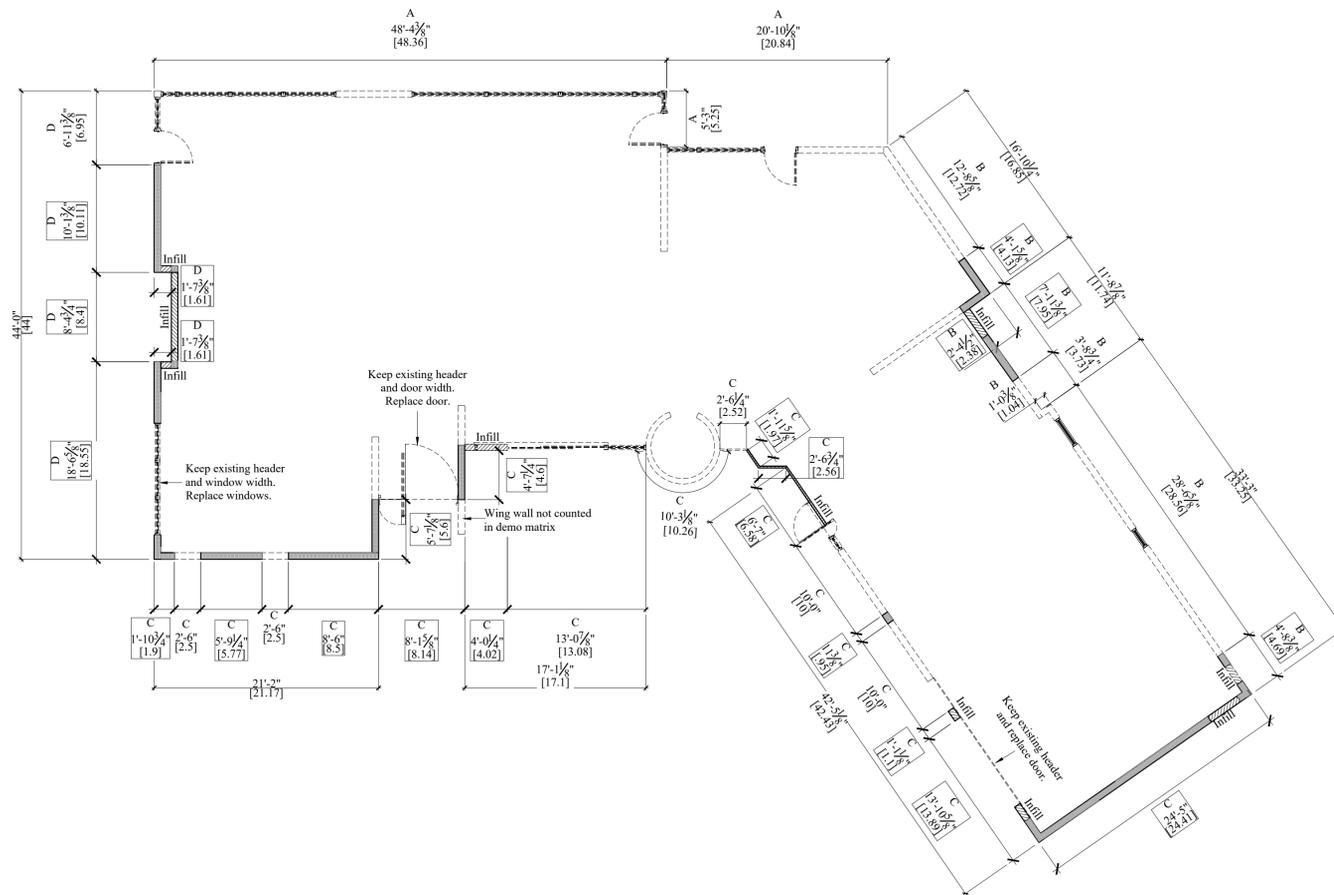
1. Architect shall be notified immediately when any discrepancy with architectural or structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
3. Before start of demolition contractor shall verify with the owner any item to be saved (s), covered, or stored, verify storage locations with owner before demolition commences.
4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
5. All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
6. Contractor to verify dumpster location with architect before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. Contractor shall notify architect if any of the exposed wood show evidence of active water leaks, termites or dry rot.
10. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
11. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
12. Remove all existing landscape and tree roots with in 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
13. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
14. Existing floors shall be covered during construction. openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
15. Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
16. Existing FAU & water heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
17. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
18. Please be advised this is a remodel project. concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
19. Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
20. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
21. Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify the architect to make modifications and/or other corrective measures.
22. If soils report or survey not included with this set of documents, the architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.

**Coastal Projects Additional Notes**

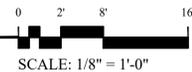
- A. This is a coastal project. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from architect.
- B. It is the general contractor's sole responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

**DEMOLITION NOTES FOR COASTAL EXEMPTION**

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure without modifications.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall)
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill. New member is to be notched to sister and incorporate. Not existing lumber.
- G. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount). Need to be approved by architect to be sure after all cuts are made that we still comply.
- H. Cripple walls are permitted (placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to be interior & verified by the architect.
- L. There shall be no significant alteration of land forms including removal or placement of vegetation, on a beach, wetland or sand dune, or within 100 feet of the edge of a coastal bluff without first obtaining approval from the governing authority having jurisdiction over the project.
- M. If a sill is required to be 3x material where a 2x4 wall exists, a site meeting should take place with architect and engineer to block 3x on top of existing sill in between existing studs strapped and/or clipped in place.



**FIRST FLOOR DEMOLITION PLAN**





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**Lowenthal Residence**  
 1720 Torrey Pines Road  
 La Jolla, CA 92037

REVISIONS  
 11/01/2023 PROJECT START



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PROJECT NO. 2023-27

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DATE 01/09/24

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SHEET TITLE  
 PROPOSED BASEMENT FLOOR PLAN

**A022**

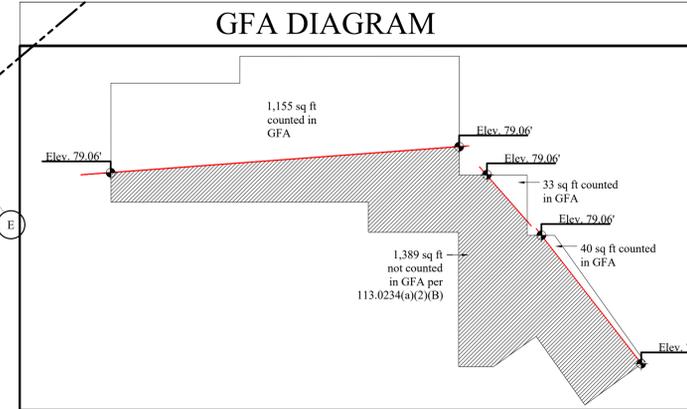
**FLOOR PLAN NOTES**

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls. R-19 batt insulation at all new 2x6 exterior walls and raised floor areas. R-13 batt insulation at all accessible interior walls for sound control. R-30 batt insulation at ceiling & roof areas. R-4.5 insulation wrap on all new hot water piping. R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above flr. crc r307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of San Diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- U. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1.)
- V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 2" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

**FLOOR PLAN LEGEND**

- 2 x 4 existing interior wall - gyp. Each side
- 2 x 6 existing exterior wall - gyp., stucco exterior
- New 2 x 6 stud wall @ 16" o.c. Finish per interior finish schedule
- (I) New doors and door symbol, see schedule on a8.1
- (A) New window and window symbol, see schedule on a8.1
- New door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
- Existing structure dimension
- Proposed structure dimension

Exterior wall dimensions to face of stud/ftn. Wall. Interior wall dimensions to center line of stud.  
 For additional project information see additional sheets.



**Proposed Basement Floor Plan Opt. C (2,617 s.f.)**  
 SCALE: 1/8" = 1'-0"  
 0 4 8 16'

S:\Projects\2023\Projects\2023-27 Lowenthal Custom Home-4-Agency\1-Casual Package\3-3rd Submittal\DWG & PDFs\Sheets\A022 Proposed Basement Floor Plan - Opt. C.dwg Jan 16,2025 5:40pm



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**Lowenthal Residence**  
 1720 Torrey Pines Road  
 La Jolla, CA 92037

REVISIONS  
 11/01/2023 PROJECT START



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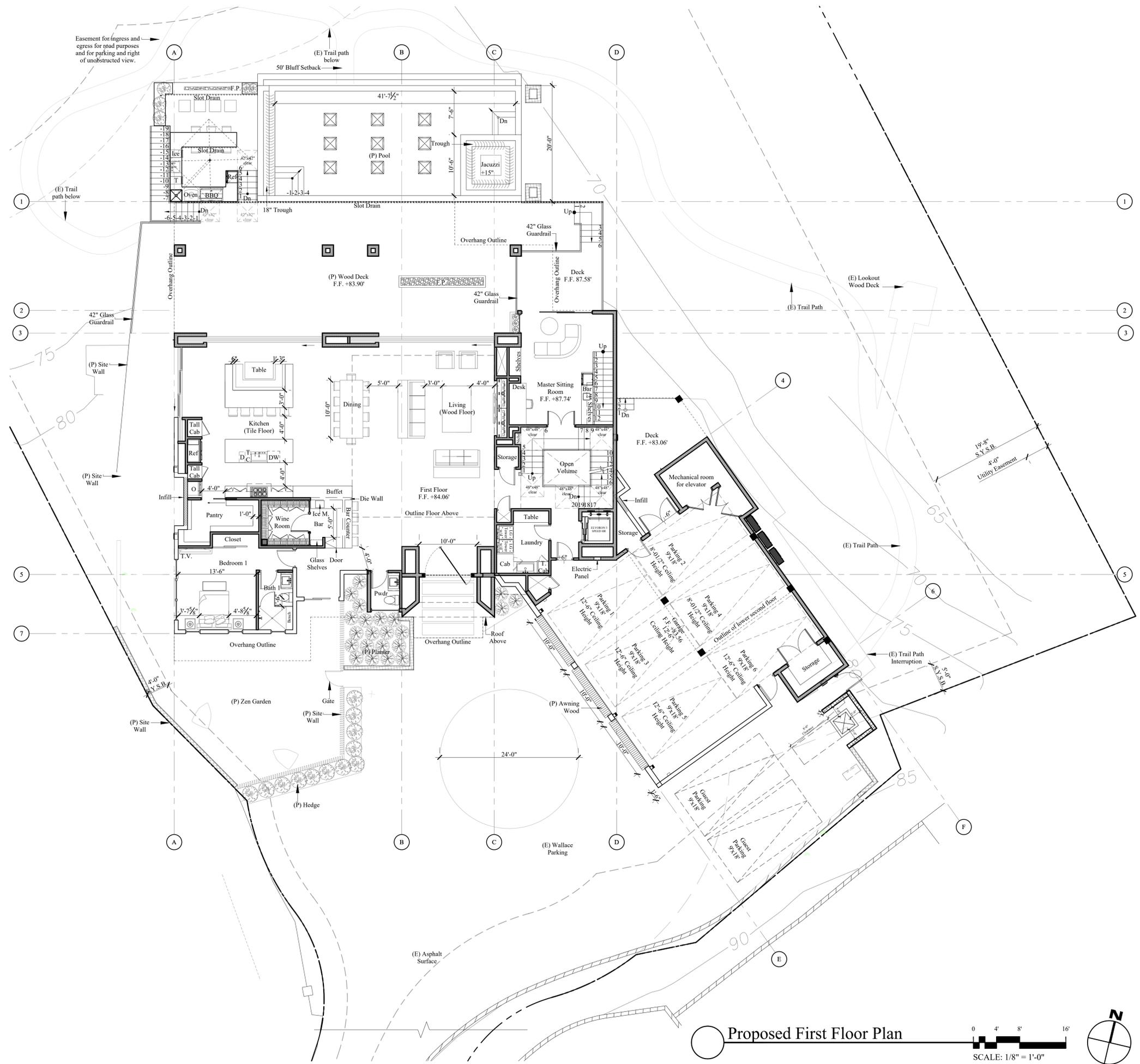
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SHEET TITLE  
 PROPOSED  
 FIRST FLOOR PLAN

**A023**



**FLOOR PLAN LEGEND**

- 2 x 4 existing interior wall - gyp. Each side
- 2 x 6 existing exterior wall - gyp., stucco exterior
- New 2 x 6 stud wall @ 16" o.c. Finish per interior finish schedule
- New doors and door symbol, see schedule on a8.1
- New window and window symbol, see schedule on a8.1
- New door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
- Existing structure dimension
- Proposed structure dimension

Exterior wall dimensions to face of stud/ftn. Wall. Interior wall dimensions to center line of stud.  
 For additional project information see additional sheets.

**KEYNOTES**

- 1 Wood Slats
- 2 Wood slats over dropped shower pan in stainless steel with wood slats over top.

**Proposed First Floor Plan**





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**Lowenthal Residence**  
 1720 Torrey Pines Road  
 La Jolla, CA 92037

REVISIONS	PROJECT START
11/01/2023	



PHASE	Coastal
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PROJECT NO.	2023-27
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DATE	1/15/2025
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SHEET TITLE	PROPOSED SECOND FLOOR PLAN
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**A024**

**FLOOR PLAN NOTES**

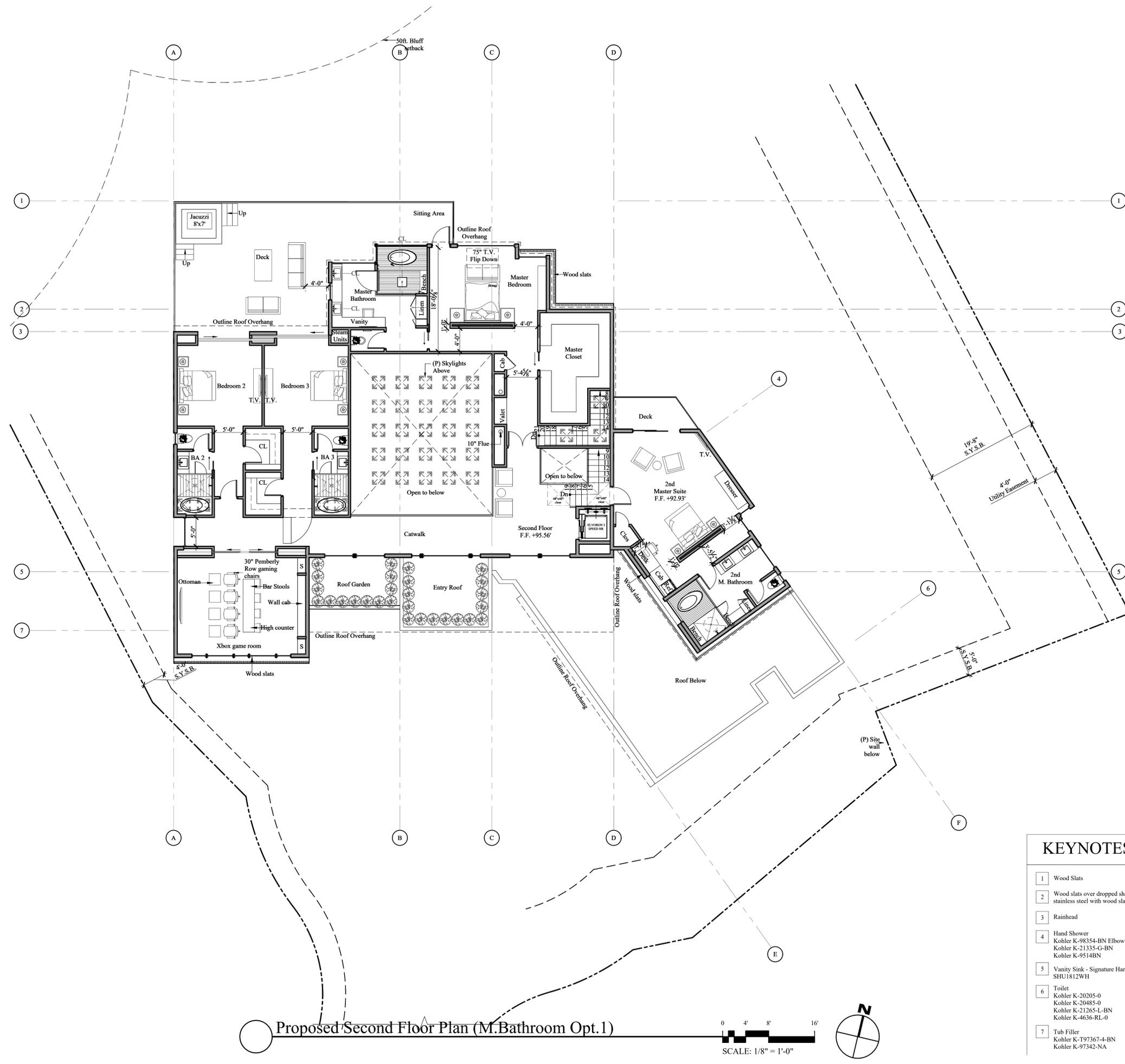
- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.  
 R-19 batt insulation at all new 2x6 exterior walls and raised floor areas  
 R-13 batt insulation at all accessible interior walls for sound control.  
 R-30 batt insulation at ceiling & roof areas.  
 R-4.5 insulation wrap on all new hot water piping.  
 R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cec 307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35. unless equipped with an approved cover, hot and water connections allowed.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure, premises identification shall conform to cbc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 903.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- U. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (See 4.506.1.)
- V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 8" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

**FLOOR PLAN LEGEND**

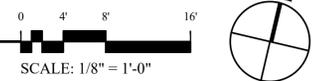
- 2 x 4 existing interior wall - gyp. Each side
  - 2 x 6 existing exterior wall - gyp., stucco exterior
  - New 2 x 6 stud wall @ 16" o.c. Finish per interior finish schedule
  - New doors and door symbol, see schedule on a8.1
  - New window and window symbol, see schedule on a8.1
  - New door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
  - Existing structure dimension
  - Proposed structure dimension
- Exterior wall dimensions to face of stud/fdn. Wall. Interior wall dimensions to center line of stud.  
 For additional project information see additional sheets.

**KEYNOTES**

- 1 Wood Slats
- 2 Wood slats over dropped shower pan in stainless steel with wood slats over top.
- 3 Rainhead
- 4 Hand Shower  
 Kohler K-98354-BN Elbow  
 Kohler K-21335-G-BN  
 Kohler K-9514BN
- 5 Vanity Sink - Signature Hardware  
 SHU1812WH
- 6 Toilet  
 Kohler K-20205-0  
 Kohler K-20485-0  
 Kohler K-21265-L-BN  
 Kohler K-4636-RL-0
- 7 Tub Filler  
 Kohler K-T97367-4-BN  
 Kohler K-97342-NA
- 8 Sink Faucet  
 Kohler K-97352-4-BN



**Proposed Second Floor Plan (M.Bathroom Opt.1)**



S:\Projects\2023\Projects\2023-27 Lowenthal Custom Home\4-Agency\1-Costal Package\3. 3rd Submittal\DWG.& PDFs\Sheets\A024 Proposed Second Floor Plan.dwg Jan 16, 2025 - 5:06pm



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**ROOF NOTES**

1. **Roofing underlayment** slope 3:12 or less: "ice and water shield" by w.R. Grace, esr-1677, or "winter guard hi" by certain teed corp. Esr-1492 (or architect approved equal). Install per manufacturer's instructions. Install a #40 fiberglass reinforced felt sheet over roof membrane.
2. **Counter-slopes:** 1/4" per 12" (minimum) towards drains created using g-26 (latex-cement) flooring underlayment by crossfield products corp.
3. **Roof edge:** drip, metal flashing, panel clips and counter flashing: all exterior flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges. **Drip edge at flashing:** used at the free edges of roofing materials shall be non-combustible. [sdmc 149.0327(c) (2)]
4. **Built-up roofing system:** by gaf, gaf/glas 4-ply hot mopped modified bitumen mineral surfaced roofing system. Provide a 1/4" per foot minimum roof slope. Install per manufacturer's instruction. Roofing system shall have a minimum 10 year labor and material warranty. Per specification division 7.1, section g. For flashing, "springlok" flashing system, type stx. By fry reglet corp. Material 26 ga. Provide "windlok" clips and prefabricated mitered corner sections. Install per manufacturer's specifications. **Roofing system shall be a ul class "a" rated. Ice report ul or 1306-02.**
5. **Plumbing vent:** abs plastic to be flashed with carlisle-syntec tpo pre-molded pipe flashing.
6. **Parapet, transitions and other horizontal stucco surface waterproofing:** membrane waterproofing shall be jiffy seal 140.60 by protecto wrap. Extend membrane a minimum of 6" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. Esr-1127.
7. **Roof drain:** Roof drain shall be tpo-rd2nh - 2" tpo-clad no-hub bottom outlet drain by thunderbird products with a B.S. Dome strainer. Telephone (800) 658-2473. Provide 3" D. Abs drain lines with min 2 1/2" slope. Connect to building storm water.
8. **Fireplace vent:** fireplace vent shall be type b stainless steel as required by fireplace manufacturer. Minimum size mesh in spark arrestor shall be 1/4". Mesh shall be stainless steel or copper.
9. **Roof vent:** tpo pre-molded roof venting see detail 6/a-10.4.1
10. **Roof gutters:** shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials. [crc r337.5.4.sdmc 149.-327(c) (1)]
11. Drip edge flashing used at the free edges of roofing materials shall be non-combustible.
12. The entire roof shall be covered with a fire-retardant roof covering that is at least class 'a' when the area of the addition to the existing building is more than twenty-five percent (25%) of the original floor area of the building [sdmc 149.0902(a)(2)].
13. **Glazing frames** made of aluminum materials shall have welded corners, metal reinforcement in the interlock area, and be certified to the most current edition of ansi/aama/nwda 101/1s2 structural requirements [crc r337.7.3].
14. **Vent openings** to be protected by non-combustible, corrosion resistant mesh. Individual vent openings shall not exceed 144 sq inches. The dimensions of the openings shall be a minimum of 1/4" inch and shall not exceed 1/2 inch.

**STORM DRAINAGE NOTES**

1. The primary storm drainage system shall connect to the building storm water that connects to an underground public storm sewer
2. The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel

**HEIGHT NOTES**

1. The highest point of the roof, equipment, or any vent, pipe, antenna or other projection, shall not exceed 30' above grade.
2. No portion of the proposed structure will exceed the existing building height. Proposed height to be field verified to ensure compliance

**FLOOR PLAN LEGEND**

	Skylight VCS Velux skylight - ICC-ES-199,
	Roof Drain with overflow,
T.O.P.	Indicates top of parapet
T.O.W.	Indicates top of wall
	Indicates direction of slope
	Solar Panels,

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REVISIONS	PROJECT START
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PHASE	Agency
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PROJECT NO. 2023-27

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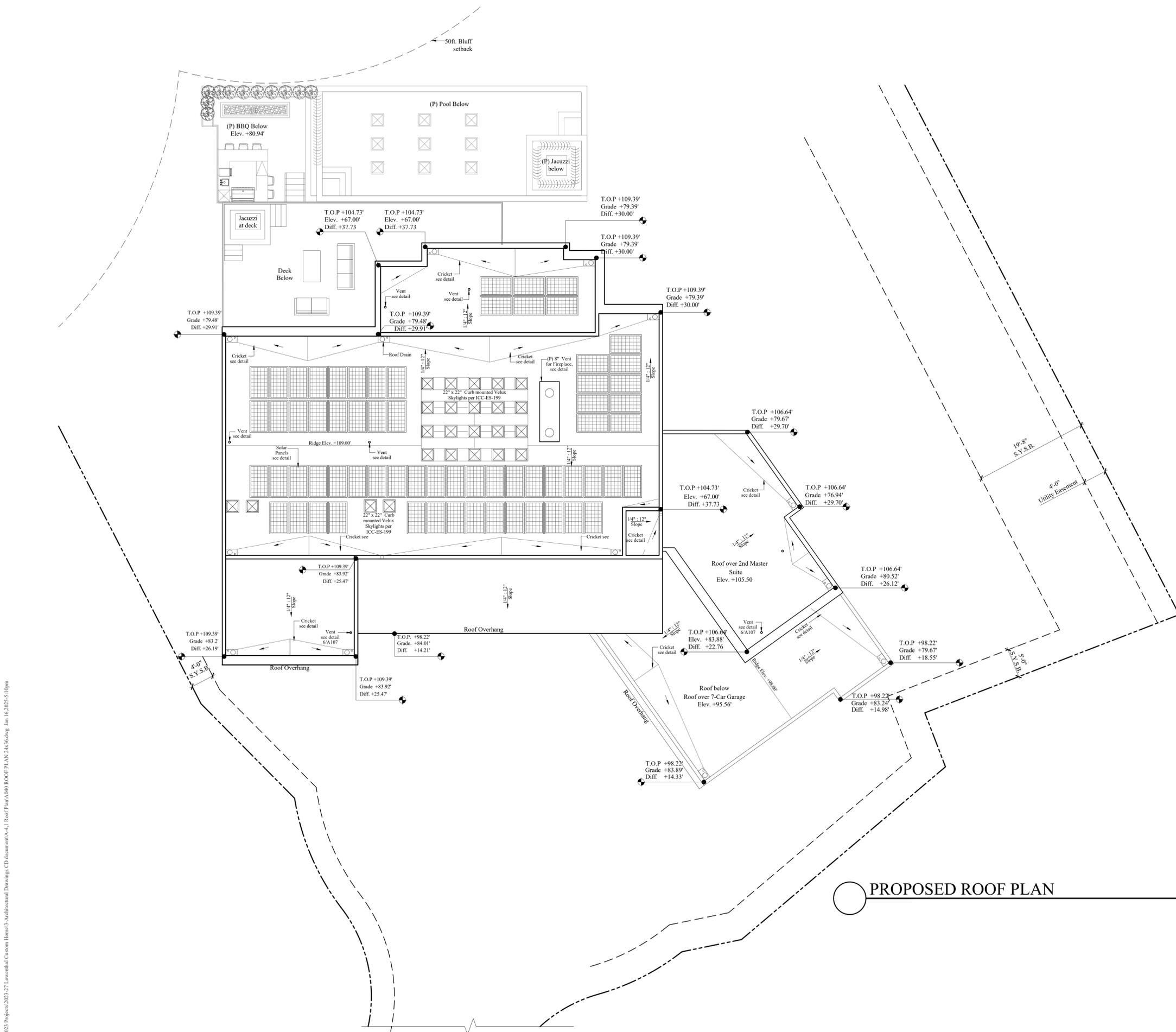
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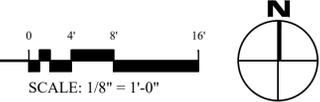
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SHEET TITLE  
 PROPOSED ROOF PLAN

**A040**



**PROPOSED ROOF PLAN**





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REVISIONS  
 11/01/2023 PROJECT START



PHASE Coastal

PROJECT NO. 2023-27

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DATE 1/30/2025

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SHEET TITLE  
 PROPOSED ELEVATIONS

**A050**

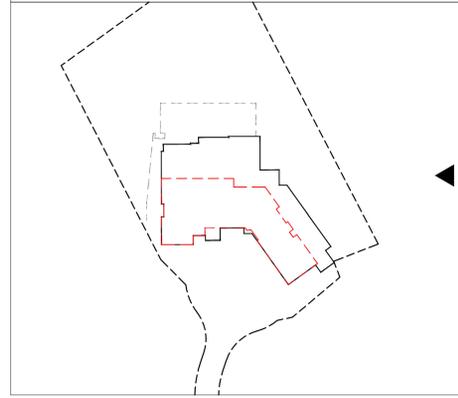
**ELEVATION NOTES**

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility information.
- C. Refer to Sheet A060 and A061 for building sections.
- D. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.

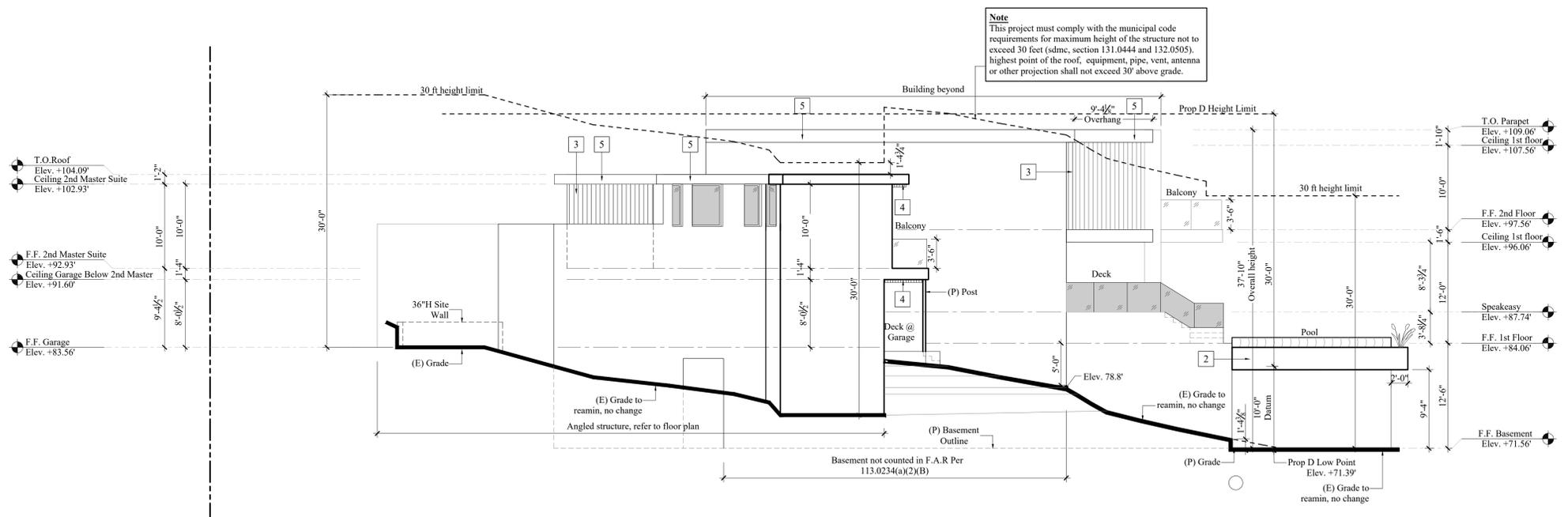
**KEYNOTES**

- 1 Rising Source :Polished Stone Slab Custom Cut White Crystal Wood Grain Marble
- 2 Stucco
- 3 Architectural Louvered Electric Outdoor Removable Shade System  
 Material: Aluminum Alloy  
 Color: Wood
- 4 Wood under side
- 5 Break metal champagne color
- 6
- 7
- 8
- 9

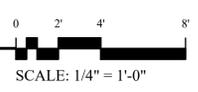
**KEY PLAN**



**Note**  
 This project must comply with the municipal code requirements for maximum height of the structure not to exceed 30 feet (sdmc, section 131.0444 and 132.0505). highest point of the roof, equipment, pipe, vent, antenna or other projection shall not exceed 30' above grade.



**PROPOSED ELEVATION**





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PHASE: Coastal

PROJECT NO. 2023-27

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DATE: 1/30/2025

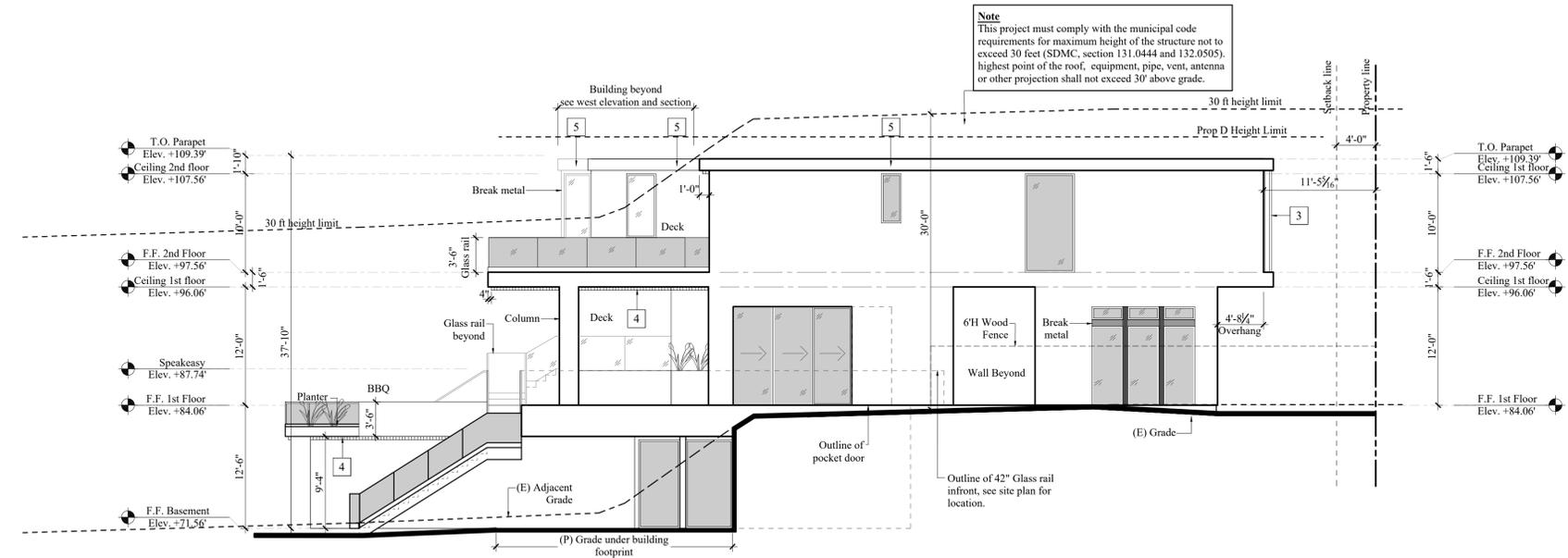
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SHEET TITLE: PROPOSED ELEVATIONS

**A051**

**ELEVATION NOTES**

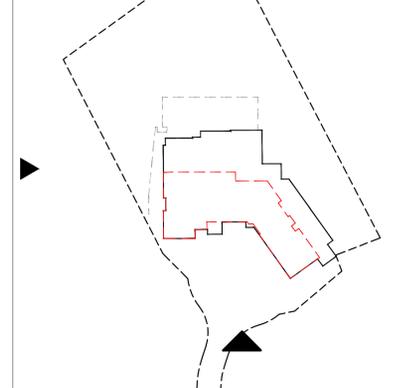
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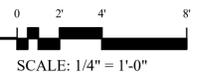
**KEYNOTES**

- 1 Rising Source - Polished Stone Slab Custom Cut White Crystal Wood Grain Marble
- 2 Stucco
- 3 Architectural Louvered Electric Outdoor Removable Shade System Material: Aluminum Alloy Color: Wood
- 4 Wood under side
- 5 Break metal champagne color
- 6
- 7
- 8
- 9

**KEY PLAN**



**PROPOSED ELEVATION**





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PHASE Coastal

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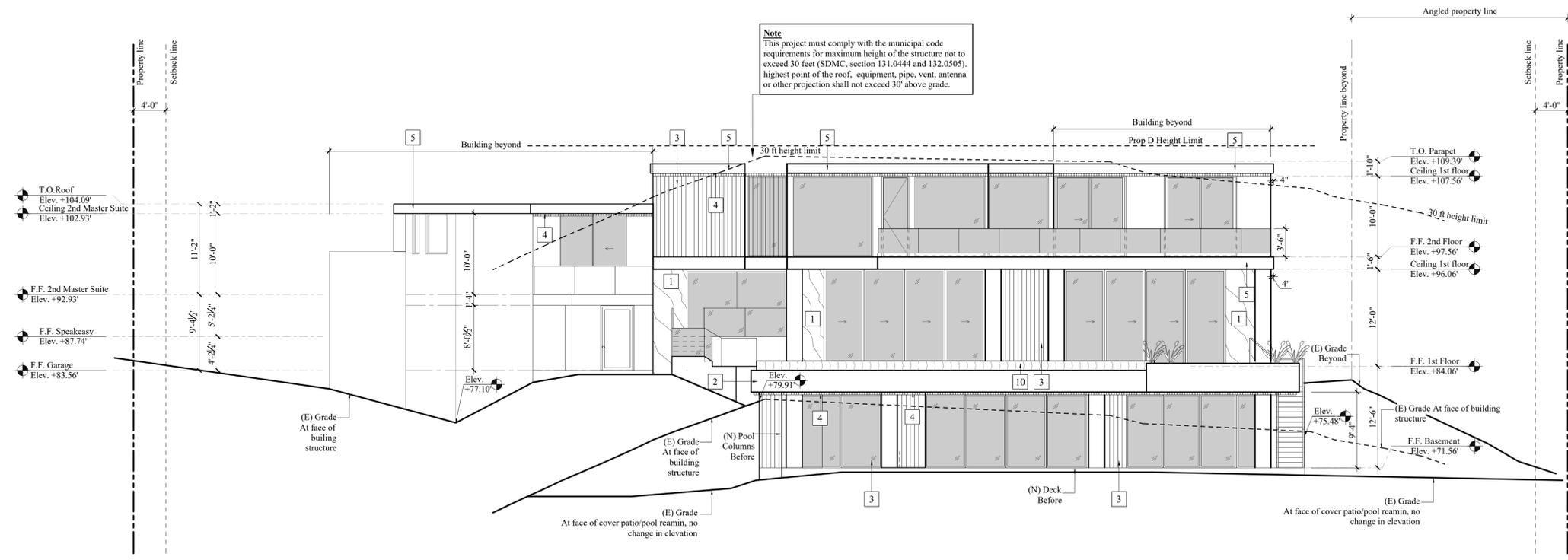
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SHEET TITLE  
PROPOSED ELEVATIONS

**A052**

**ELEVATION NOTES**

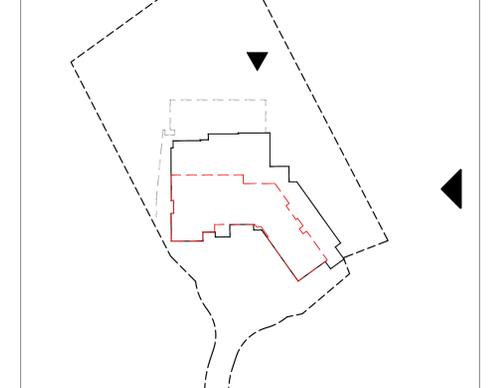
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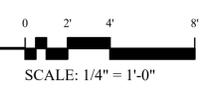
**KEYNOTES**

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- 2 Stucco
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Material: Aluminum Alloy  
Color: Wood
- 4 Wood under side
- 5 Break metal champagne color
- 6 Black Obsidian Slabs
- 7
- 8
- 9

**KEY PLAN**



**PROPOSED ELEVATION**





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SHEET TITLE PROPOSED SOUTH ELEVATION

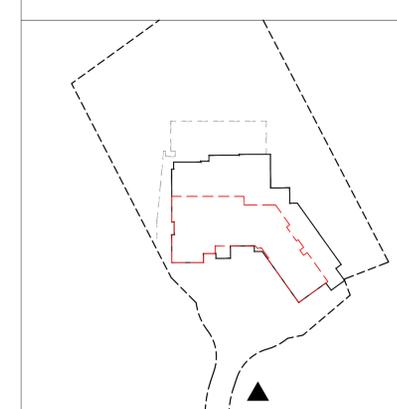
**A053**

**ELEVATION NOTES**

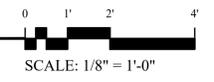
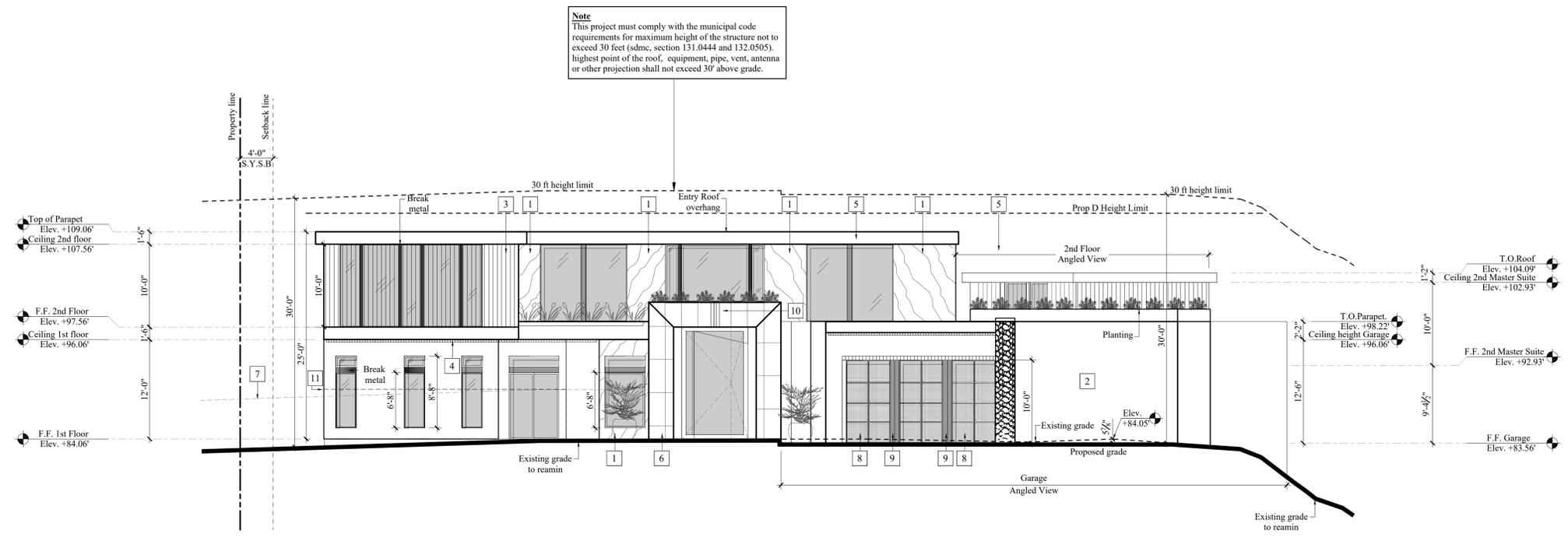
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**KEYNOTES**

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- 2 Stucco
- 3 Architectural Louvered Electric Outdoor Removable Shade System Material: Aluminum Alloy Color: Wood
- 4 Wood under side
- 5 Break metal champagne color
- 6 Tile Bar: Acadia Charcoal Black 24x48 Limestone look Matte Porcelain Tile
- 7 6' Site wall
- 8 Tinted glass garage door
- 9 Wood beam
- 10 Stainless steel panels 3"x4"
- 11 Fence, for details see Interior Elevations Sheet



**Note**  
This project must comply with the municipal code requirements for maximum height of the structure not to exceed 30 feet (sdmc, section 131.0444 and 132.0505). highest point of the roof, equipment, pipe, vent, antenna or other projection shall not exceed 30' above grade.



**PROPOSED ELEVATION**



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Date Signed:

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Issue Date PROJECT START



PHASE Schematic Phase

PROJECT NO. 2023-27

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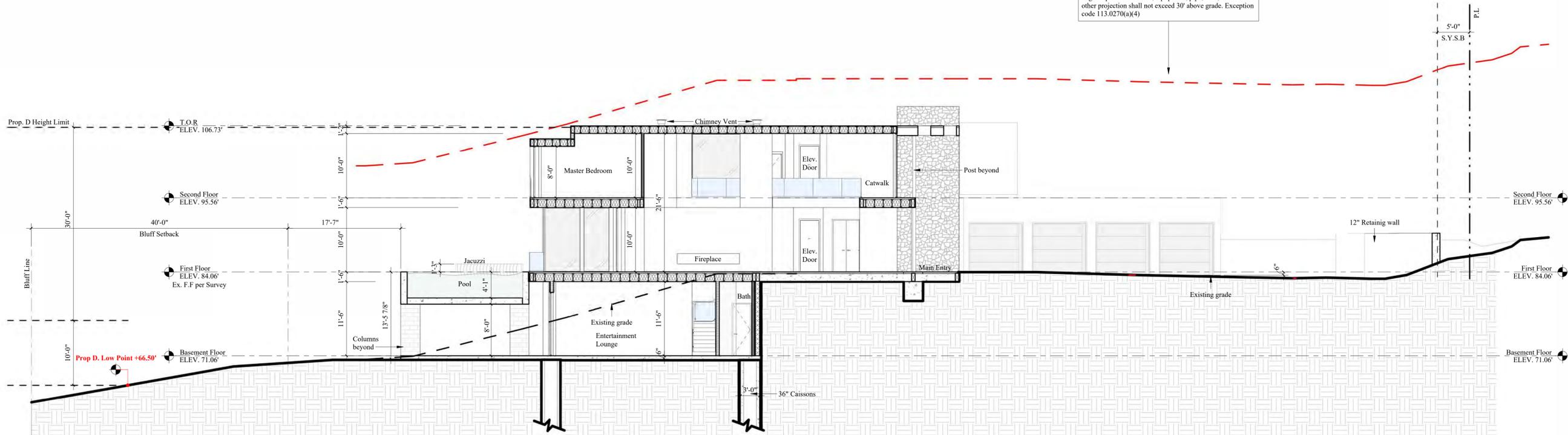
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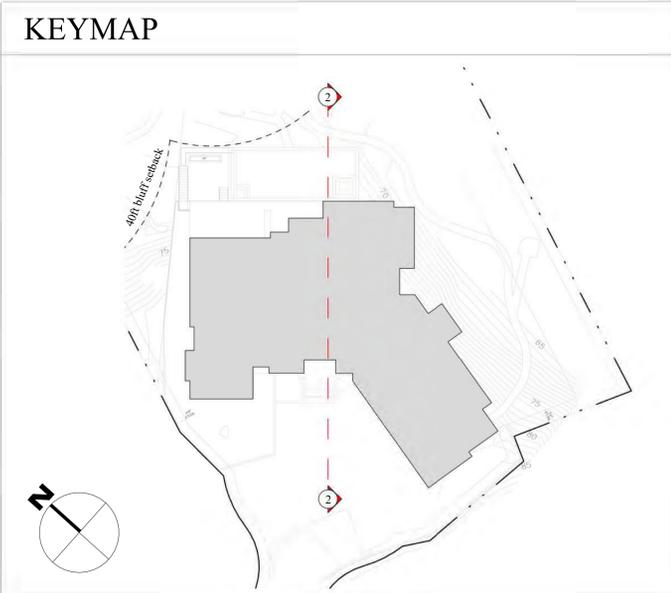
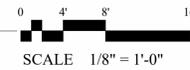
SHEET TITLE Section 02

A061

Note: This project must comply with the municipal code requirements for maximum height of the structure not to exceed 30 feet (SDMC, Section 131.0444, 132.0505 and 113.0270(a)(s)). Highest point of the roof, equipment, pipe, vent, antenna or other projection shall not exceed 30' above grade. Exception code 113.0270(a)(4)



Section 2







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**Lowenthal Residence**  
 1720 Torrey Pines Road  
 La Jolla, CA 92037

REVISIONS	PROJECT START
11/01/2023	



PHASE: Agency

PROJECT NO. 2023-27

REVIEWED BY: CAM

DRAWN BY:

DATE: 07/19/2024

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SHEET TITLE: LANDSCAPE AREA DIAGRAM

**L001**

**Notes**

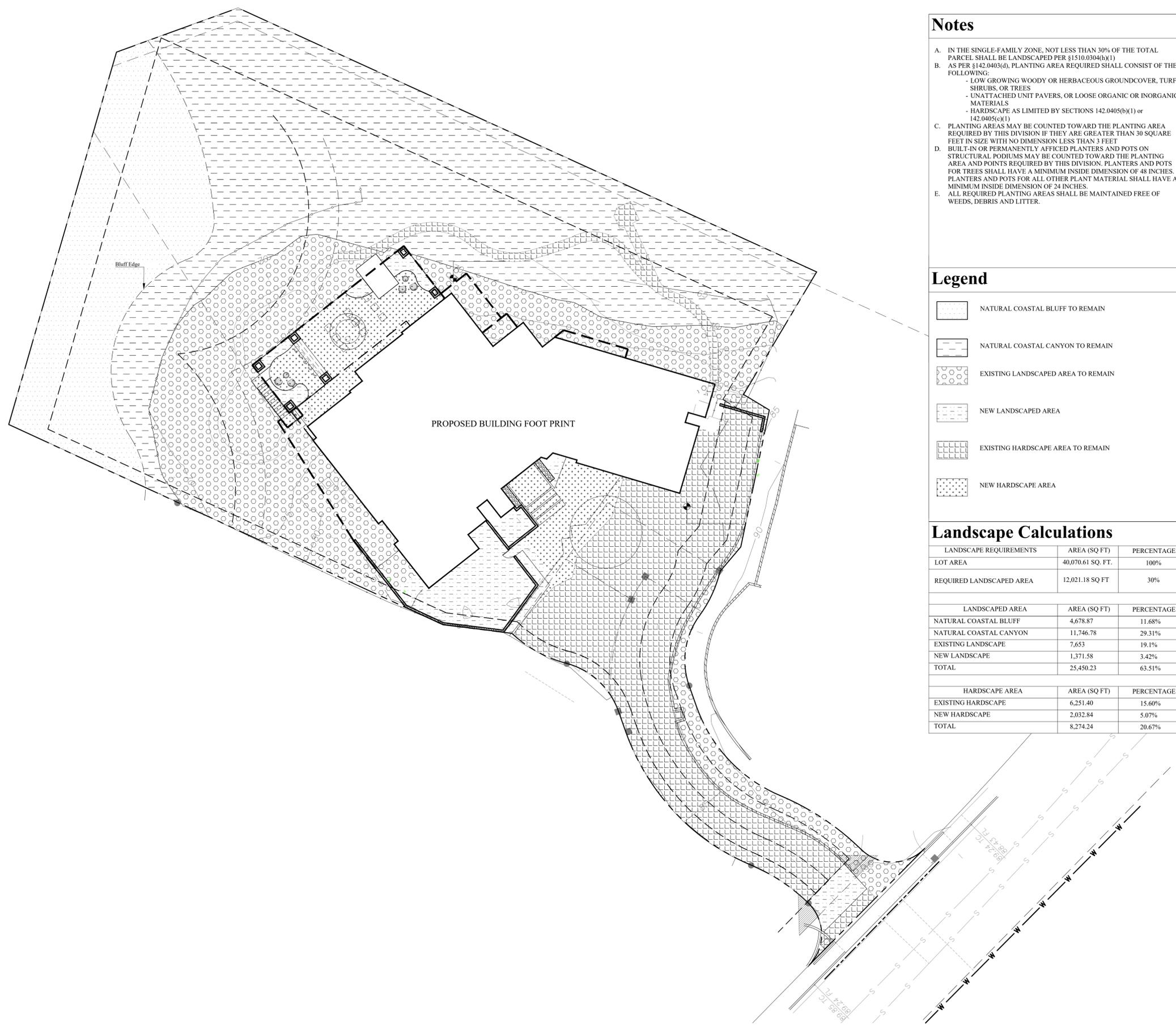
- A. IN THE SINGLE-FAMILY ZONE, NOT LESS THAN 30% OF THE TOTAL PARCEL SHALL BE LANDSCAPED PER §1510.0304(b)(1)
- B. AS PER §142.0403(d), PLANTING AREA REQUIRED SHALL CONSIST OF THE FOLLOWING:
  - LOW GROWING WOODY OR HERBACEOUS GROUNDCOVER, TURF, SHRUBS, OR TREES
  - UNATTACHED UNIT PAVERS, OR LOOSE ORGANIC OR INORGANIC MATERIALS
  - HARDSCAPE AS LIMITED BY SECTIONS 142.0405(b)(1) or 142.0405(c)(1)
- C. PLANTING AREAS MAY BE COUNTED TOWARD THE PLANTING AREA REQUIRED BY THIS DIVISION IF THEY ARE GREATER THAN 30 SQUARE FEET IN SIZE WITH NO DIMENSION LESS THAN 3 FEET
- D. BUILT-IN OR PERMANENTLY AFFICED PLANTERS AND POTS ON STRUCTURAL PODIUMS MAY BE COUNTED TOWARD THE PLANTING AREA AND POINTS REQUIRED BY THIS DIVISION. PLANTERS AND POTS FOR TREES SHALL HAVE A MINIMUM INSIDE DIMENSION OF 48 INCHES. PLANTERS AND POTS FOR ALL OTHER PLANT MATERIAL SHALL HAVE A MINIMUM INSIDE DIMENSION OF 24 INCHES.
- E. ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER.

**Legend**

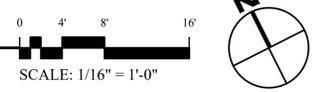
- NATURAL COASTAL BLUFF TO REMAIN
- NATURAL COASTAL CANYON TO REMAIN
- EXISTING LANDSCAPED AREA TO REMAIN
- NEW LANDSCAPED AREA
- EXISTING HARDSCAPE AREA TO REMAIN
- NEW HARDSCAPE AREA

**Landscape Calculations**

LANDSCAPE REQUIREMENTS	AREA (SQ FT)	PERCENTAGE
LOT AREA	40,070.61 SQ. FT.	100%
REQUIRED LANDSCAPED AREA	12,021.18 SQ FT	30%
<b>LANDSCAPED AREA</b>		
NATURAL COASTAL BLUFF	4,678.87	11.68%
NATURAL COASTAL CANYON	11,746.78	29.31%
EXISTING LANDSCAPE	7,653	19.1%
NEW LANDSCAPE	1,371.58	3.42%
<b>TOTAL</b>	<b>25,450.23</b>	<b>63.51%</b>
<b>HARDSCAPE AREA</b>		
EXISTING HARDSCAPE	6,251.40	15.60%
NEW HARDSCAPE	2,032.84	5.07%
<b>TOTAL</b>	<b>8,274.24</b>	<b>20.67%</b>



**LANDSCAPE AREA DIAGRAM**



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