

**La Jolla Shores Planned District Advisory Board (LJSPDAB)  
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

**For Action Items**

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
- **PRJ-1140750**
- Address and APN(s): **346-250-07-00**
- Project contact name, phone, e-mail:
- **Name: Claude Anthony Marengo**
- **Phone: (619) 417-1111**
- **Email: camarengo@m2a.io**
- Project description: Proposed remodel to an existing 2 story, 4,905 SF, 5 bed, 4 bath residence resulting in a 2 story, 6,769 SF, 6 bed, 6.5 bath residence over a 3,610 SF basement, with 2,195 SF exempt from FAR per SDMC 113.0234(a)(2)(B). Also proposed is a 701 SF accessory gym structure and a new 2 story, 1,096 SF ADU. The project is located in the La Jolla Community Plan. We are requesting a Coastal Development Permit and a Process 3 Site Development Permit. The project is located on a 22,341 SF lot within the LJSPD-SF Zone.
- Please indicate the action you are seeking from the Advisory Board:
  - Recommendation that the Project is minor in scope (Process 1)
  - Recommendation of approval of a Site Development Permit (SDP)
  - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
  - Other: \_\_\_\_\_
- In addition, provide the following:
  - lot size: 22,341 SQ FT
  - existing structure square footage and FAR (if applicable): 5,557.37 SF and 0.22 FAR
  - proposed square footage and FAR: SDU 10, 379 SF / Acc. Bldg. 701 SF / ADU 1,096 SF
  - existing and proposed setbacks on all sides: Existing: setbacks 4' proposed; Front 26'-4 1/2" Interior Side 27'-10 3/4" Interior side 6'-2 1/2" Rear 9'-8 3/3"
  - height if greater than 1-story (above ground): 29'-9"

**For Information Items** *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): \_\_\_\_\_
- Address and APN(s): \_\_\_\_\_
- Project contact name, phone, e-mail: \_\_\_\_\_
- Project description: \_\_\_\_\_
- In addition to the project description, please provide the following:
  - lot size: \_\_\_\_\_
  - existing structure square footage and FAR (if applicable): \_\_\_\_\_
  - proposed square footage and FAR: \_\_\_\_\_
  - existing and proposed setbacks on all sides: \_\_\_\_\_
  - height if greater than 1-story (above ground): \_\_\_\_\_

- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): \_\_\_\_\_

**Exhibits and other materials to provide:**

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board’s review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City’s website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
  - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
  - B. Elevations for all sides;
  - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
  - D. If the proposal is for a building with more than one story, show:
    - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
    - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
    - the height of neighboring buildings compared to the proposed structure’s height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners’ Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

**PLEASE DO NOT PROVIDE THE FOLLOWING:**

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board’s review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the “owner/applicant” and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

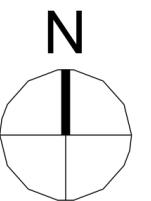
Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner  
[magarcia@sandiego.gov](mailto:magarcia@sandiego.gov)  
 City Planning Department 619-236-6173



**Feder Residence**  
**2486 Vallecitos Ct, La Jolla CA, 92037**  
**February 2026**





# 2486 Vallecitos Ct

300' Radius Survey

## 300' Radius FAR and Setbacks

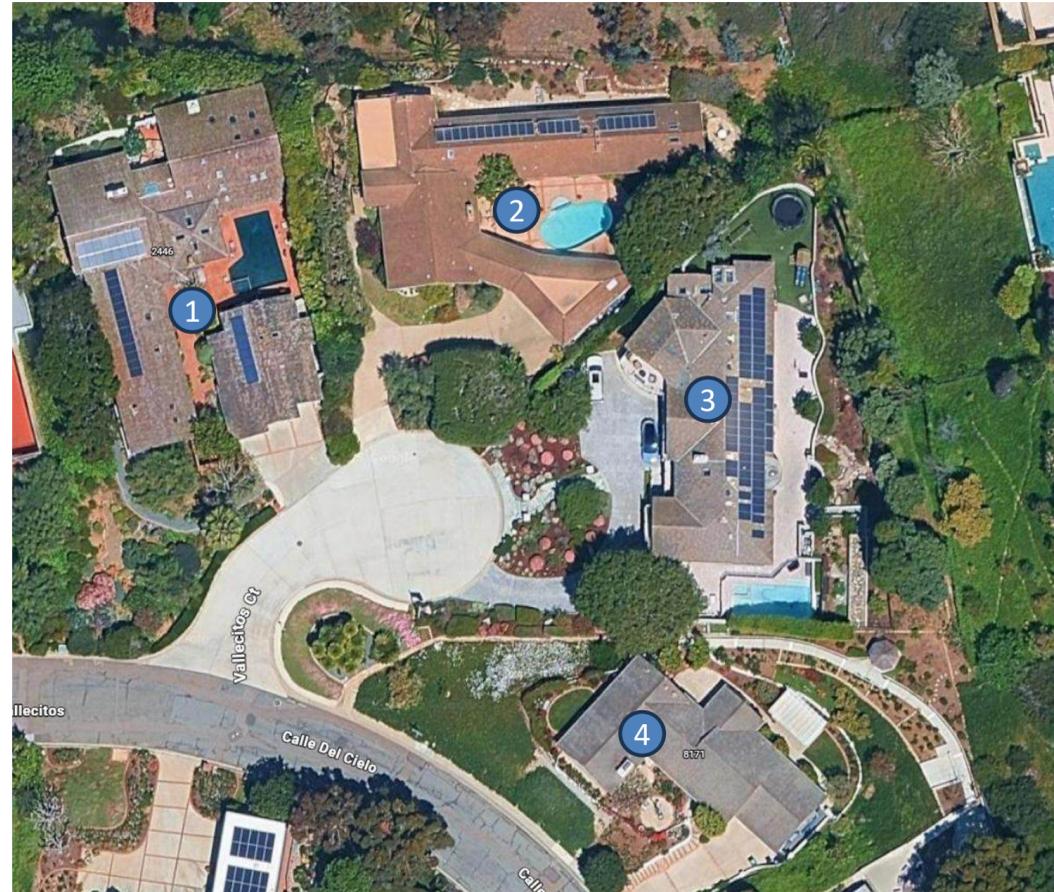
Reference #	Parcel Number	Address	Lot Size	GFA	FAR	FYSB	SYSB	SYSB	RYSB
1	346-262-02-00	2532 Calle del Oro	22278	3490	0.16	29	8	6	111
2	346-262-03-00	2542 Calle del Oro	22812	3989	0.17	35	6	4	107
3	346-262-09-00	2552 Calle del Oro	41627	9945	0.24	28	29	16	96
4	346-332-01-00	2572 Calle del Oro	18560	4244	0.23	15	7	9	60
5	346-332-02-00	2586 Calle del Oro	18595	2511	0.14	17	47	9	16
6	346-261-01-00	2521 Calle del Oro	20183	8452	0.42	18	5	7	107
7	346-261-02-00	2533 Calle del Oro	20326	3528	0.17	16	4	9	97
8	346-261-03-00	2543 Calle del Oro	21167	4425	0.21	18	9	11	87
9	346-261-04-00	2553 Calle del Oro	21221	4556	0.21	16	7	4	106
10	346-331-01-00	2563 Calle del Oro	20361	5002	0.25	18	7	7	100
11	346-331-02-00	2575 Calle del Oro	20209	2416	0.12	16	10	15	80
12	346-331-03-00	2585 Calle del Oro	21494	7807	0.36	29	6	9	11
13	346-331-04-00	2595 Calle del Oro	20710	4369	0.21	15	5	7	98
14	346-331-05-00	2605 Calle del Oro	21727	6580	0.30	21	8	6	132
15	346-431-01-00	2621 Calle del Oro	19601	9721	0.50	23	5	5	44
16	346-322-03-00	8131 Calle del Cielo	19155	3664	0.19	6	5	8	47
17	346-322-02-00	8151 Calle del Cielo	19270	3173	0.16	13	7	31	42
18	346-322-01-00	8171 Calle del Cielo	20320	2220	0.11	20	9	23	7
19	346-250-06-00	2466 Vallecitos Ct	20037	3637	0.18	27	39	5	4
Image N/A	346-250-08-00	8303 La Jolla Shores Dr	26136	3304	0.13	5	48	11	62
20	346-250-05-00	2446 Vallecitos Ct	20020	5399	0.27	7	13	0	7
21	346-250-03-00	2406 Vallecitos	20908	4600	0.22	26	16	5	57
22	346-240-17-00	2350 Vallecitos	19602	5160	0.26	20	10	0	106
23	346-300-07-00	2351 Vallecitos	20735	2664	0.13	18	7	10	16
24	346-310-05-00	2476 Avenida de la Playa	36108	4523	0.13	43	6	13	35
25	346-321-01-00	2411 Vallecitos	19250	2872	0.15	16	13	3	50
26	346-321-02-00	2431 Vallecitos Ct	19505	3650	0.19	3	22	8	38
27	346-321-03-00	8152 Calle del Cielo	21645	4608	0.21	16	51	18	8
28	346-321-04-00	2496 Avenida de la Playa	20482	3600	0.18	21	26	14	0
29	346-310-11-00	2466 Avenida de la Playa	20439	3745	0.18	47	0	10	66
	346-250-07-00	(E) 2486 Vallecitos Ct	22341	4905	0.22	42	6	28	26
		Averages	21833	4605	0.45*	20.8	14.2	10.3	58.8
	346-250-07-00	(P) 2486 Vallecitos Ct	22341	9981	0.446	26	6	28	10



\*Max FAR Allowed per SDMC 131.0446(a)(1), Table 131-04J

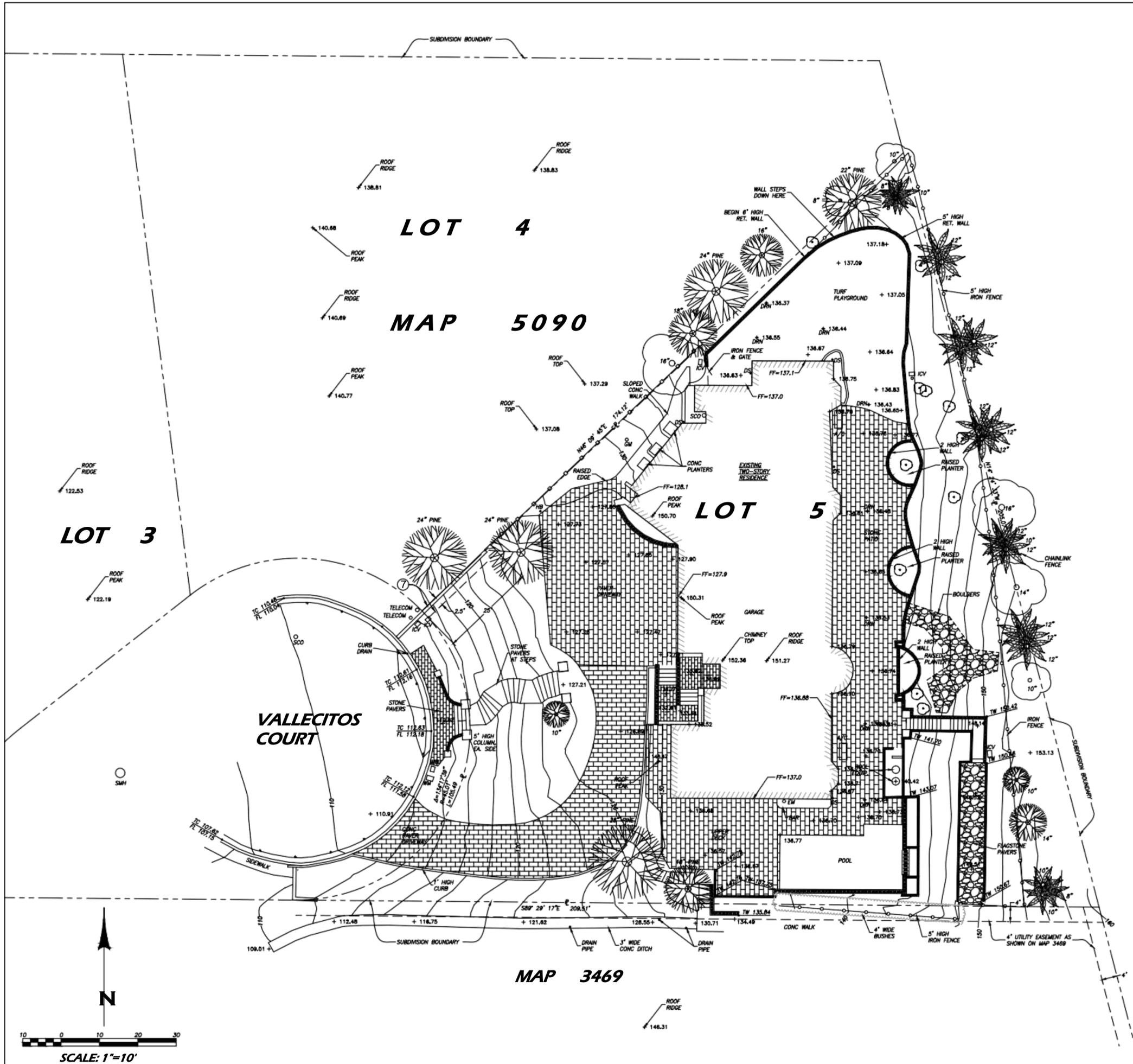
# 2486 Vallecitos Ct

Bulk and Scale



## Vallecitos Ct. Neighbors

1. 2446 Vallecitos Ct.
2. 2466 Vallecitos Ct
3. 2486 Vallecitos Ct. (PROPOSED)
4. 8171 Calle Del Cielo



**LEGEND**

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
PROPERTY LINE - OFFSITE		
STREET CENTERLINE		
CONTOUR		
LOT LINE (OFFSITE)		
EDGE OF PAVING		
EXISTING SPOT ELEVATION		100.00 + 100.00
BUILDING FOOTPRINT		
IRON FENCE		
WOOD FENCE		
CHAIN LINK FENCE		
FREE STANDING WALL		
RETAINING WALL		
TREE; PLANT; PALM		

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE	FLD BK	FIELD BOOK
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	HB	HOSE END
BRK	BRICK	ICV	IRRIGATION CONTROL VALVE
BR	GRADE AT BOTTOM OF WALL	L.P.	LOW PRESSURE
C	CENTER LINE	PLTR	PLANTER
C/2	CONC	PVMT	PAVEMENT
C.O.	CLEANOUT	SCD	SEWER CLEANOUT
EL	ELECTRIC	SMH	SEWER MANHOLE
EM	ELECTRIC METER	TEL	TELEPHONE
ELEV	ELEVATION	TW	GRADE AT TOP OF WALL
FF	FINISH FLOOR	TYP	TYPICAL
F.L.	FLOW LINE	WM	WATER METER
		WV	WATER VALVE

**NOTES**

1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
2. THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

**EASEMENTS**

THE TITLE REPORT USED FOR THIS TOPOGRAPHIC SURVEY IS THE PRELIMINARY REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 989-30061026-LD1, DATED JANUARY 28, 2021.

PLOTTED EASEMENTS ARE INDICATED WITH A CIRCLE SYMBOL.

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM ARE AS FOLLOWS:

5. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
6. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDING NO: 207627, OF OFFICIAL RECORDS, RECORDED DECEMBER 5, 1962, AS RECORDING NO: 207627, OF OFFICIAL RECORDS. THE PROVISIONS OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS WERE EXTENDED TO INCLUDE THE HEREIN DESCRIBED LAND BY AN INSTRUMENT RECORDED DECEMBER 30, 1993 AS RECORDING NO: 1993-087048, OF OFFICIAL RECORDS, AND RECORDED DECEMBER 30, 1993 AS RECORDING NO: 1993-087048, OF OFFICIAL RECORDS, AND RECORDED JULY 23, 2009 AS RECORDING NO: 2009-0409250, OF OFFICIAL RECORDS.
7. EASEMENT(S) GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 1, 1963 AS RECORDING NO: 54931, OF OFFICIAL RECORDS.
8. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "DECLARATION OF COVENANTS FOR PUBLIC IMPROVEMENTS", RECORDED NOVEMBER 22, 1991 AS RECORDING NO. 1991-0605259, OF OFFICIAL RECORDS. (REFERS TO INSTALLATION OF SIDEWALKS IN 1991.)
9. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT", EXECUTED BY THE CITY OF SAN DIEGO AND BROADFORD F. WASHBURN AND MARGOT M. WASHBURN, RECORDED DECEMBER 8, 1991, AS RECORDING NO: 1991-0628903, OF OFFICIAL RECORDS. (REFERS TO THE INSTALLATION OF STAMPED CONCRETE DRIVEWAY, TREES, ROCKS, AND IRRIGATION IN 1991.)

OTHER EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.

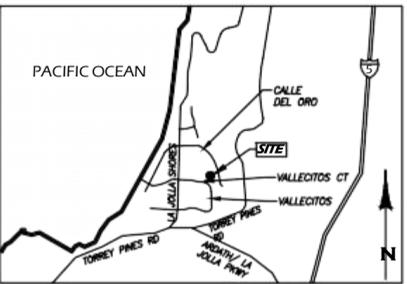
**LEGAL DESCRIPTION**

LOT 5 OF LYONS TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5090, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 5, 1962.

APN: 346-250-07-00

**BENCHMARK**

NORTHEAST BRASS PIN, VALLECITOS & VALLECITOS COURT.  
 ELEV = 104.991 ; DATUM: NVD29; CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.



**VICINITY MAP**  
 THOMAS BROS. MAP 1227-H4  
 NO SCALE

**COFFEY ENGINEERING, INC.**  
 1405 BUSINESSPARK AVENUE, SUITE 200, SAN DIEGO, CA 92108  
 TEL: (619) 594-0111 FAX: (619) 594-0119



*J.S. Coffey*

**FederResidence**  
 2486VallecitosCourt  
 LaJolla, CA 92037

DATE OF SURVEY: 5/28/2021 SURVEY CREW CHIEF: L. MARRIOTT

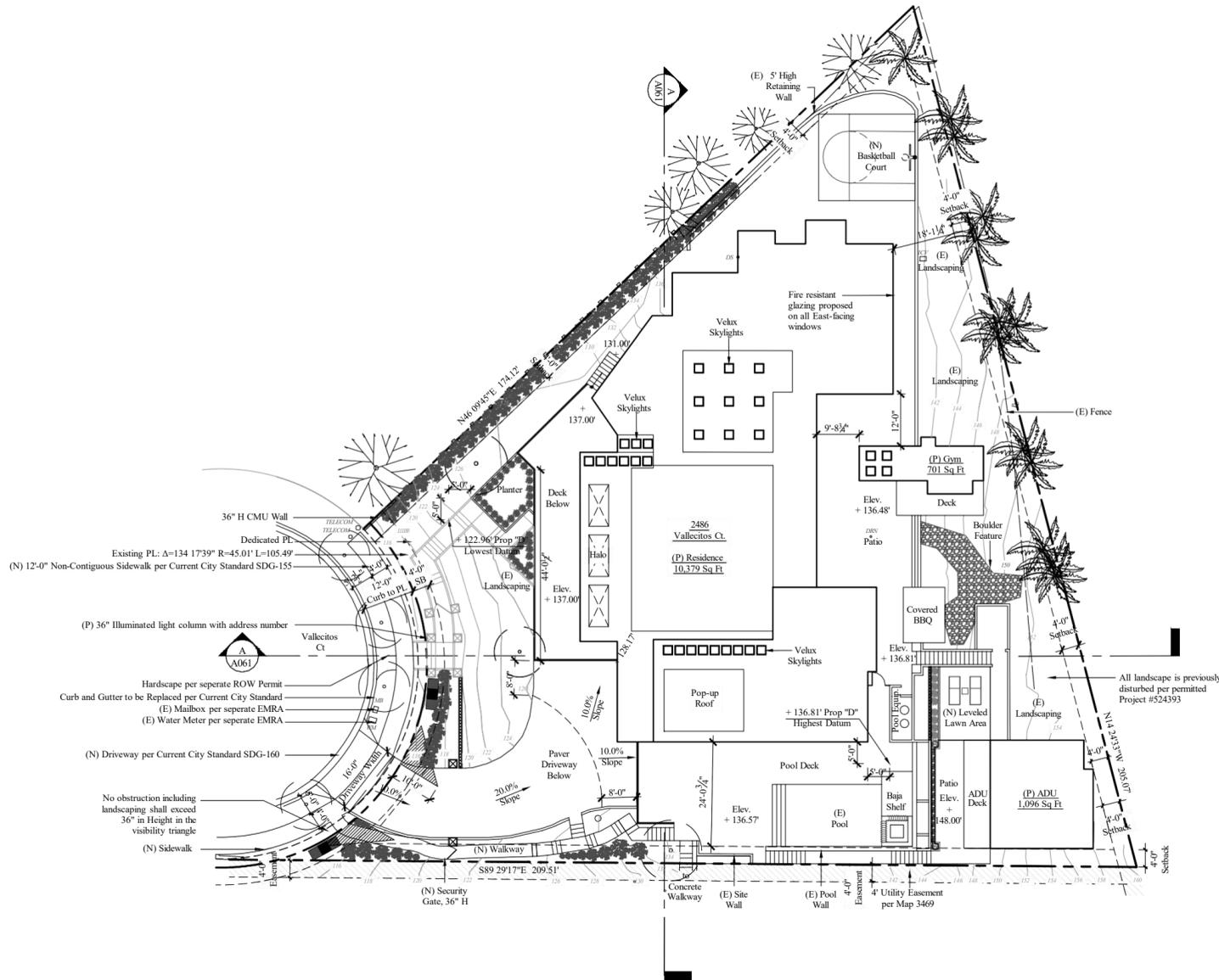
**TOPOGRAPHIC SURVEY**

DRAWN BY:	EM/GC
CHECKED BY:	JC
ORIGINAL:	6/17/21
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
Topographic Survey	
SCALE: 1"=10'	
<b>C.O.</b>	
SHT	1 of 1 SHTS



S:\Projects\2025\Projects\2025-603 Feder Residence\2025-603 Feder Residence\2486 Vallecitos.ctd\Agency\1-Civil\2-Concept\Package\3d\Submittal\DWG and PDF\2486-010 SITE PLAN.dwg Feb 12, 2025 9:47am

# PROPOSED SITE PLAN



FAR TABLE				
	SDU	ADU	Gym	Total
Basement	1,415 S.F.*	0	0	1,415 S.F.
First Floor	5,312 S.F.	523 S.F.	68 S.F.	5,380 S.F.
Second Floor	1,457 S.F.	573 S.F.	368 S.F.	1,825 S.F.
Third Floor	0	0	265 S.F.	265 S.F.
Total GFA	8,184 S.F.	1,096 S.F.	701 S.F.	9,981 S.F.
Total Lot Area				22,341 S.F.
FAR				0.446

\* 2,195 S.F. of area exempt from FAR calculations per SDMC 113.0234(a)(2)(B)

- ### GENERAL SITE NOTES
- The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
  - This is an interior tenant improvement plan only, only new or relocation of non-bearing walls are involved. Minor alterations to existing electrical, water, phone and other existing utilities to the tenant space are proposed.
  - Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
  - All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
  - The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the architect's office.
  - Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
  - Coordinate with other tenants the temporary shut-off of any site utilities, including but not limited to electrical service, gas service, water service, sewer service, telephone service, cable or other data links with are connected to the building.
  - Locate refuse bin at approved on-site location. Contractor shall dispose of all site refuse at city-approved locations.
  - Provide building address numbers, visible and legible from street or road fronting the property.
  - Verify the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
  - No trees or shrubs whose height will be 3' at maturity shall be installed within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.
  - All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.
  - Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.
  - Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.
  - All public improvements and dedications must be up to current city standards prior to the issuance of any building permit as required per SDMC 142.0610(a).
  - The project is located in the ASBS Watershed.
  - Prior to issuing any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared by the guidelines in Part 2 of Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

### TOTAL DISTURBANCE AREA

New building footprint	2,429 S.F.
New hardscape/concrete areas	3,286 S.F.
New landscape areas	2,219.0 S.F.
Removal of existing building footprint	0 S.F.
Removal of existing concrete	0 S.F.
Removal of existing landscape areas	2,016 S.F.
Total disturbance area	2,016 S.F.

### NEW/REPLACED IMPERVIOUS AREA

a) Existing impervious area (Ex. bldg. footprint & Ex. hardscape areas, etc.)	12,353 S.F.
b) New impervious area (Bldg. footprint, parking lot, walkways, hardscape areas, etc.)	2,016 S.F.
c) Replaced impervious area (Ex. bldg. footprint, hardscape areas, walkways, etc. to be replaced)	505 S.F.
Total new & replaced impervious area:	2,521 S.F.

NOTE: Impervious area shall include: roof, sidewalk, parking area, walkways, pool, pool decks, etc.

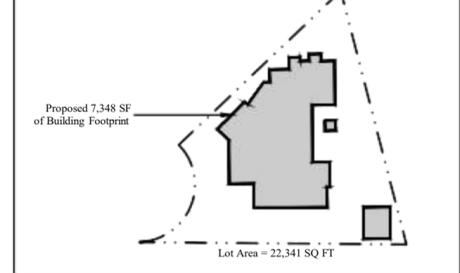
### EARTHWORK QUANTITIES

Cut quantities (Outside of Footprint):	44 CYD
Fill quantities (Outside of Footprint):	35 CYD
Import/export (Outside of Footprint):	Ex. 9 CYD
Max cut depth (Outside of Footprint):	4'-10" FT
Max fill depth (Outside of Footprint):	4'-2" FT
Amount of Dirt (Below Footprint):	142 CYD
Max cut depth (Below Footprint):	7'-2" FT

NOTES:  
1. The project proposes to export 151 cubic yards of material from this site. All export material shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate conditional use permit.

### Lot Coverage

Lot Area = 22,341 SF  
Max. Lot Coverage = 60% (13,404.6 SF) Per SDMC 1510.0304(d)  
Proposed Lot Coverage = **32.8% (7,348 SF)**



**Marengo Morton Architects**  
7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

**Feder Residence**  
 2486 Vallecitos Ct  
 La Jolla, CA 92037

REVISIONS	PROJECT START
03/03/2025	

PHASE: COASTAL

PROJECT NO. 2025-03

REVIEWED BY: CAM

DRAWN BY: CP

DATE: 02/17/26

Marengo Morton Architects, Inc. is providing its services to you as a consultant. We are not responsible for the accuracy or completeness of the information you provide to us. We are not responsible for the accuracy or completeness of the information you provide to us. We are not responsible for the accuracy or completeness of the information you provide to us. We are not responsible for the accuracy or completeness of the information you provide to us.

SHEET TITLE: PROPOSED SITE PLAN

# A010



## PROJECT DATA

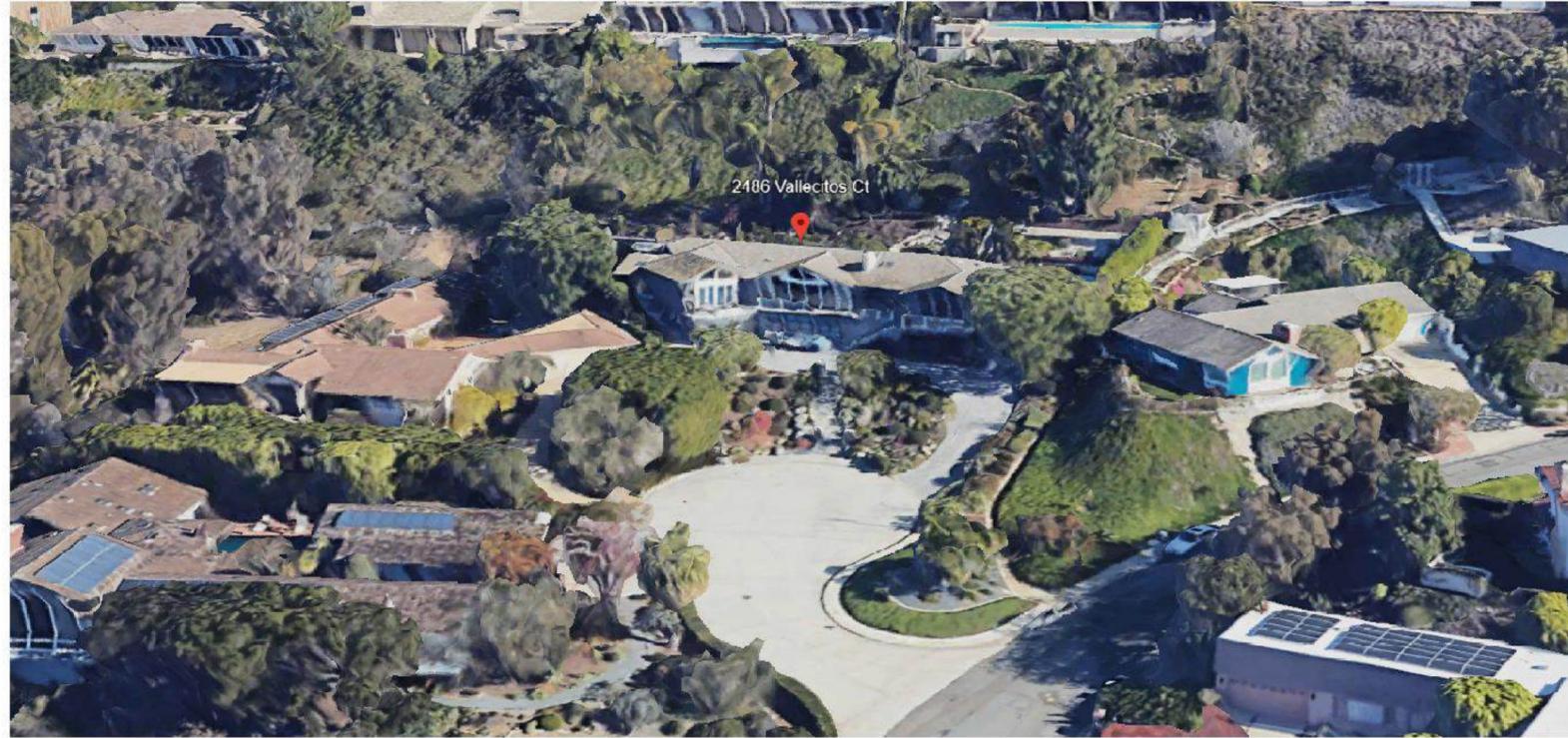
**2486 Vallecitos Ct**

Project Data

PROJECT INFORMATION						
PROJECT ADDRESS:		2486 Vallecitos Ct La Jolla, CA 92037				
ASSESSORS PARCEL NUMBER:		346-250-0700				
LEGAL DESCRIPTION:						
Lot 5 of Lyons Terrace, Map 5090, City of San Diego						
YEAR BUILT		1965				
BUILDING CODE:		CALIFORNIA RESIDENTIAL CODE (CRC), 2022 EDITION & ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2022 IBC. NATIONAL ELECTRICAL CODE (NEC), 2022 EDITION NATIONAL MECHANICAL CODE (CMC), 2022 EDITION CALIFORNIA PLUMBING CODE (CPC), 2022 EDITION SAN DIEGO COUNTY MUNICIPAL CODE (SDC), PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CBC, 2022 CMC AND 2022 SPC AND THE 2022 CEC.				
OCCUPANCY TYPE:		R-3				
NUMBER OF DWELLINGS:		1				
CONSTRUCTION TYPE:		V				
NUMBER OF STORIES:		2				
LOT AREA:		22,341 SQ FT				
ZONING INFORMATION						
ZONE:		LJSPD-SF				
OVERLAY ZONES:		Coastal Height Limit Overlay Zone, Coastal Overlay Zone, Parking Impact Overlay Zone				
GEO HAZARD ZONE:		26				
SETBACKS		ALLOWED	PROPOSED	DIFFERENCE		
FRONT (STREET FRONTAGE):		N/A	26'-4 1/2"		*2,195 SF Exempt from FAR per SDMC 113.0234 (a)(2)(B)	
INTERIOR SIDE:		N/A	27'-10 3/4"			
INTERIOR SIDE:		N/A	6'-2 1/4"			
REAR:		N/A	9'-8 3/8"			
BUILDING HEIGHT LIMITATIONS:		30'-0"	29'-9"			
Max. FLOOR AREA RATIO (F.A.R.):		0.45	0.45			
PARKING SPACES:		10	7	3		
BUILDING AREAS:		EXISTING	PROPOSED	TOTAL SDU	(N) Acc. Bldg.	(N) ADU
BASEMENT		1,123.90 SF	2,486.1 SF	<b>3,610 SF*</b>		
FIRST FLOOR		4,433.47 SF	878.53 SF	<b>5,312 SF</b>	68 SF	523 SF
SECOND FLOOR			1,457 SF	<b>1,457 SF</b>	368 SF	573 SF
THIRD FLOOR					265 SF	
TOTAL AREA:		5,557.37 SF	4,821.63 SF	<b>10,379 SF</b>	701 SF	1,096 SF
TOTAL GFA: 9,981		(4,905)	(3,279)	<b>(8,184)</b>	(701)	(1,096)
ROOF DECK AREA				1,122 SF		
LANDSCAPE REQUIRED: 30%						
LANDSCAPE PROVIDED: 33.0%						
MAXIMUM LOT COVERAGE: 60%						
PROPOSED LOT COVERAGE: 32.8%						
LOT AREA: 22,341 SQ FT						
PROPOSED F.A.R.: 0.45						
ALLOWABLE F.A.R.: 0.45						
EXISTING IMPERVIOUS AREA		12,408 SF				
PROPOSED IMPERVIOUS AREA		14,874 SF				

# Feder Residence

2486 Vallecitos Ct, La Jolla, CA 92037



## Marengo Morton Architects

7724 Girard Ave.  
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Feder Residence  
2486 Vallecitos Ct  
La Jolla, CA 92037

REVISIONS  
03/03/2025 PROJECT START



PHASE  
COASTAL

PROJECT NO. 2025-03

REVIEWED BY CAM

DRAWN BY CP

DATE 02/24/26

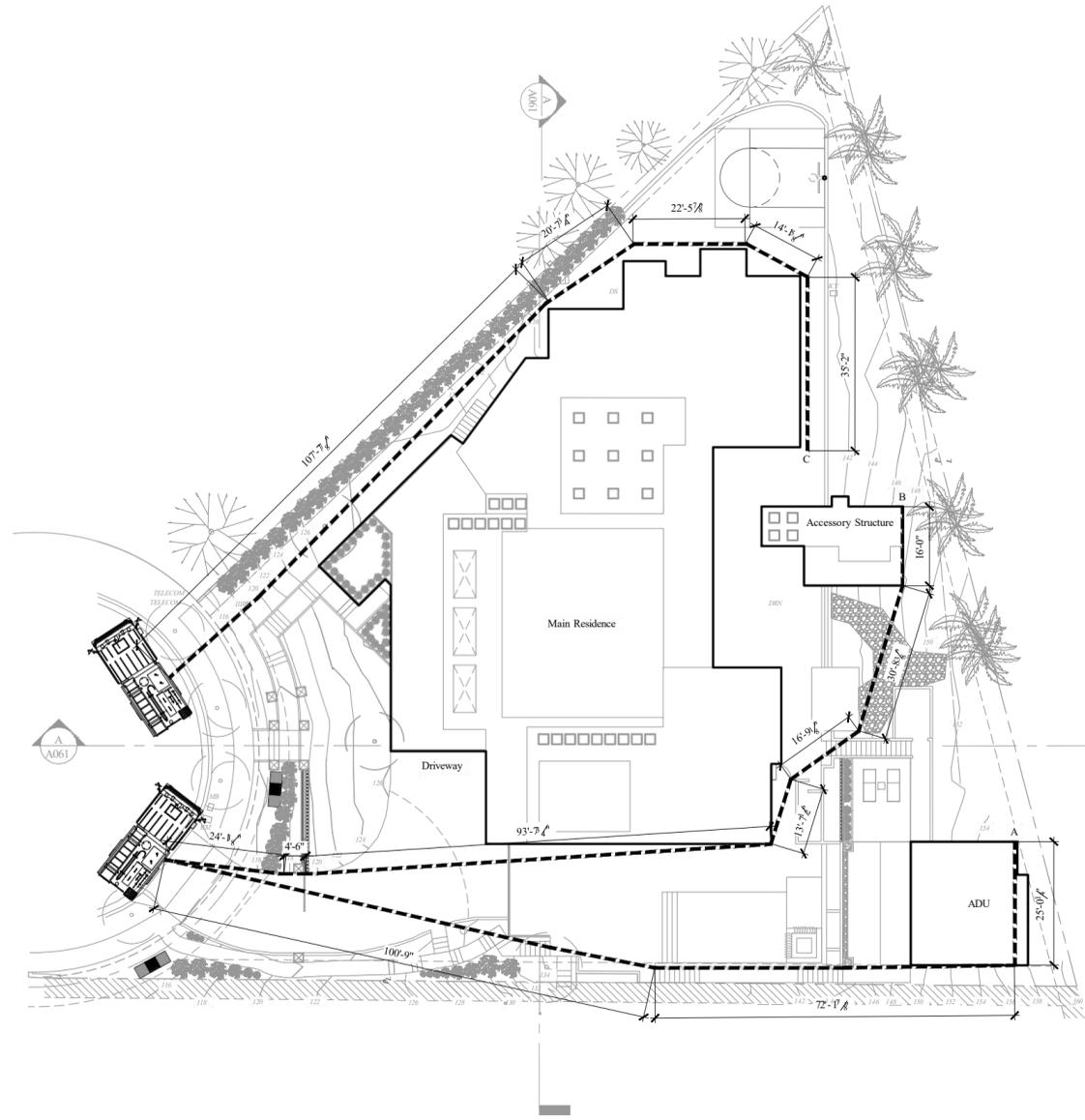
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SHEET TITLE  
TITLE SHEET

TS01

SHEET INDEX	PROJECT TEAM	SCOPE OF WORK	PROJECT DATA																																																																																																				
<b>ARCHITECTURAL :</b>  TS01 Title Sheets  Survey A010 Site Plan A011 Drainage Plan A012 Conceptual Grading Plan A013 Fire Plan A020 Basement Demo A021 First Floor Demo A022 Basement Floor Plan A023 First Floor Plan A024 Second Floor Plan A025 Upper Floor Plan A040 Roof Plan A050 Elevations A051 Elevations A060 Section A A061 Section B A062 Sections C&D  L01 Landscape Plan L02 Landscape Diagram L03 Water Use Diagram	<b>OWNER'S</b> Dan & Jaime Feder 2486 Vallecitos Ct. La Jolla, CA 92037  <b>ARCHITECT</b> Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo CAMarengo@m2a.io Cell: (619) 417-1111  <b>SURVEY</b> Coffey, Engineering, Inc. 9666 Businesspark Avenue, Suite 210, San Diego CA, 92131 Office: (858) 831-0111 Fax: (858) 831-0179 Contact: Michael Kinnear michael@coffeyengineering.com  <b>GEOTECHNICAL ENGINEER</b> Christian Wheeler Engineering 3980 Home Avenue, San Diego CA, 92105 Office: (619) 550-1700 Fax: (619) 550-1701 Contact: David Russell drussell@christianwheeler.com	<b>PROJECT SCOPE</b> Proposed remodel to an existing 2 story, 4,905 SF, 5 bed, 4 bath residence resulting in a 2 story, 6,769 SF, 6 bed, 6.5 bath residence over a 3,610 SF basement, with 2,195 SF exempt from FAR per SDMC 113.0234(a)(2)(B). Also proposed is a 701 SF accessory gym structure and a new 2 story, 1,096 SF ADU.  The project is located in the La Jolla Community Plan. We are requesting a Coastal Development Permit and a Process 3 Site Development Permit. The project is located on a 22,341 SF lot within the LJSPP-SF Zone.	<b>PROJECT INFORMATION</b> PROJECT ADDRESS: 2486 Vallecitos Ct La Jolla, CA 92037 ASSESSORS PARCEL NUMBER: 346-250-0700 LEGAL DESCRIPTION: Lot 5 of Lyons Terrace, Map 5090, City of San Diego  YEAR BUILT: 1965 BUILDING CODE: CALIFORNIA RESIDENTIAL CODE (CRC), 2022 EDITION & ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2022 IBC. NATIONAL ELECTRICAL CODE (NEC), 2022 EDITION NATIONAL MECHANICAL CODE (CMC), 2022 EDITION CALIFORNIA PLUMBING CODE (CPC), 2022 EDITION SAN DIEGO COUNTY MUNICIPAL CODE (SDC). PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CBC, 2022 CMC AND 2022 SPC AND THE 2022 CEC.  OCCUPANCY TYPE: R-3 NUMBER OF DWELLINGS: 1 CONSTRUCTION TYPE: V NUMBER OF STORIES: 2  LOT AREA: 22,341 SQ FT  <b>ZONING INFORMATION</b> ZONE: LJSPP-SF OVERLAY ZONES: Coastal Height Limit Overlay Zone, Coastal Overlay Zone, Parking Impact Overlay Zone  GEO HAZARD ZONE: 26  <table border="1"> <thead> <tr> <th>SETBACKS</th> <th>ALLOWED</th> <th>PROPOSED</th> <th>DIFFERENCE</th> <th>#2,195 SF</th> </tr> </thead> <tbody> <tr> <td>FRONT (STREET FRONTAGE):</td> <td>N/A</td> <td>26'-4"</td> <td></td> <td>Exempt from FAR per SDMC</td> </tr> <tr> <td>INTERIOR SIDE:</td> <td>N/A</td> <td>27'-10 1/2"</td> <td></td> <td></td> </tr> <tr> <td>INTERIOR SIDE:</td> <td>N/A</td> <td>6'-2 1/2"</td> <td></td> <td></td> </tr> <tr> <td>REAR:</td> <td>N/A</td> <td>9'-8 1/2"</td> <td></td> <td></td> </tr> <tr> <td>BUILDING HEIGHT LIMITATIONS:</td> <td>30'-0"</td> <td>29'-9"</td> <td></td> <td>(a)(2)(B)</td> </tr> <tr> <td>Max. 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### FIRE NOTES

- A. Building address numbers, visible & legible from the street, shall be provide per FHPS Policy P-06-6 (UFC 901.4.4).
- B. An approved vehicle strobe detector system, with Knox Keyswitch override, satisfactory to the Fire Marshal, shall be provided on all vehicle main entry and emergency entry points to the project(s) per FHPS Policy K-00-2 (UFC 902.4).
- C. Fire alarm system required for R1 occupancy.
- D. All required hose pulls are shown to reach all portions of the EXTERIOR of the buildings per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access road/lane. Hose pull can be measured from multiple locations within the access road/lane. The pulls must connect or overlap to show complete coverage. For sprinklered buildings, the maximum hose pull is 200 ft. For non sprinklered buildings, the maximum hose pull is 150'. Change in vertical elevation must also be accounted for.
- E. All existing and/or proposed fire hydrants within 600' of the project site and a 300' radius overlay shall be shown to encompass all portions of all structures as part of submitted project. SD Ordinance 17927.
- F. The locations of an approved "knock" key box are shown on the FAP and follow the San Diego Fire Department FPB policy K-15-2

### HOSE PULLS

HOSE PULL	Distance
HOSE PULL A	197.93 FT
HOSE PULL B	199.14 FT
HOSE PULL C	200.00 FT

Proposed sprinklered buildings Max. hose pull distance is 200 ft.



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Feder Residence

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La Jolla, CA 92037

REVISIONS  
03/03/2025 PROJECT START



PHASE  
COASTAL

PROJECT NO. 2025-03

REVIEWED BY CAM

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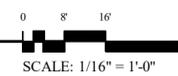
DATE 01/27/25

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SHEET TITLE  
PROPOSED FIRE PLAN

A013

### PROPOSED FIRE ACCESS PLAN



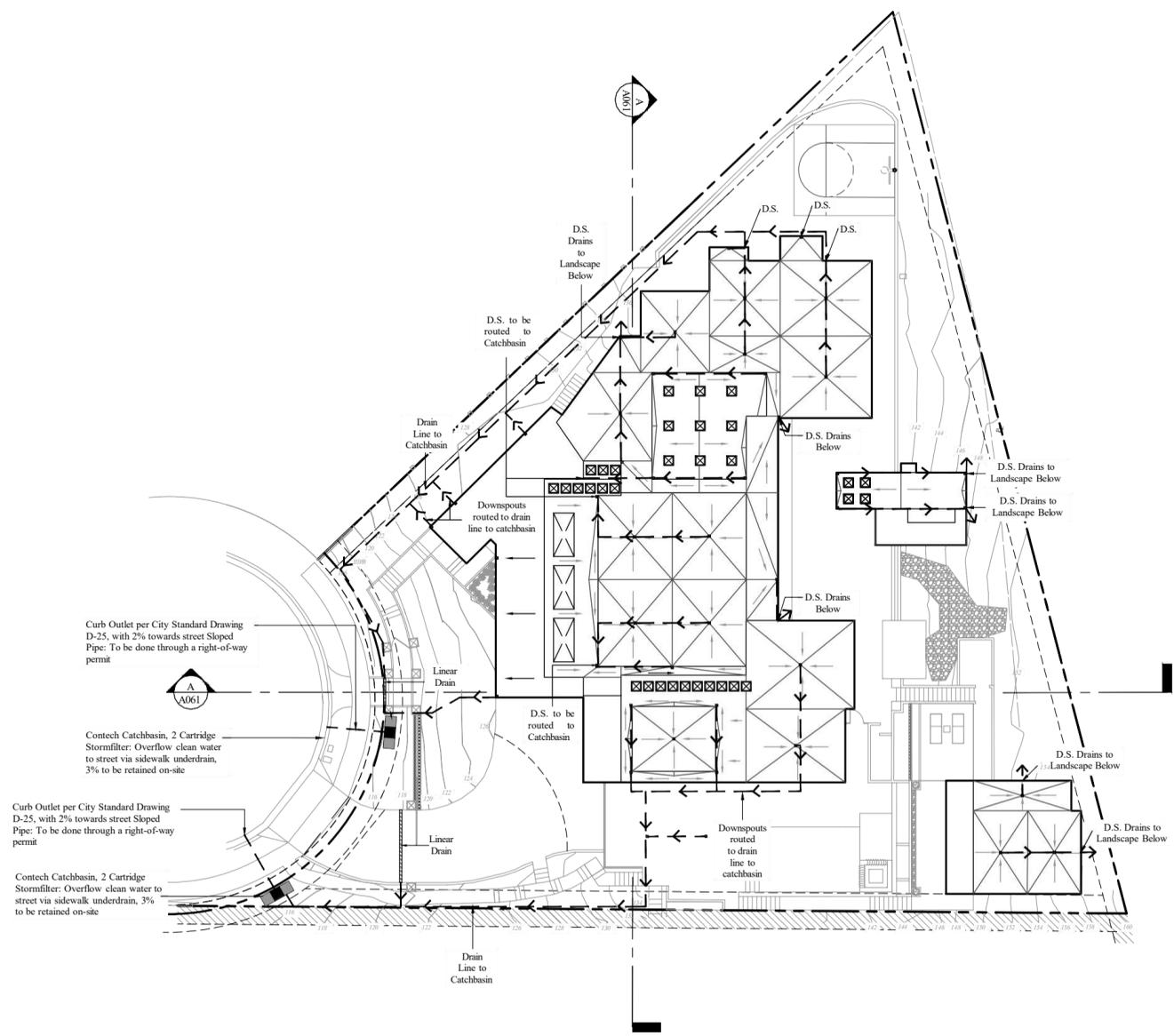
S:\Projects\2025\Project\2025-03 Feder Residence\2025-03 Feder Residence\2486 Vallecitos Ct-4-Agency\1-Civil\Package\3d\Submittal\DWG and PDF\8/26/25\A011 DRAINAGE PLAN.dwg Feb 12, 2026 - 2:24pm

### DRAINAGE PLAN LEGEND

- Storm Water Collecting And Exiting Circuit Direction, 4" Pvc Subterranean Drain Pipe  
Drainage Flow Pattern, 2% Slope Min @ Impermeable Surfaces
- Area Drain location
- ▣ Contech - stormfilter catch basin - 2 cartridge
- ▬ Linear drain

### STORM DRAINAGE NOTES

1. The primary storm drainage system shall connect to the building storm water that connects to an underground public storm sewer
2. The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel
3. All storm water to be collected from all hardscape areas and to be directed to adjacent landscape locations.
4. Catch basin to collect any remaining storm water and clean it out before overflowing back for proper use of water on site.



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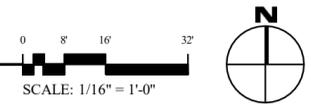
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SHEET TITLE  
**DRAINAGE PLAN**  
**A011**

## PROPOSED DRAINAGE PLAN

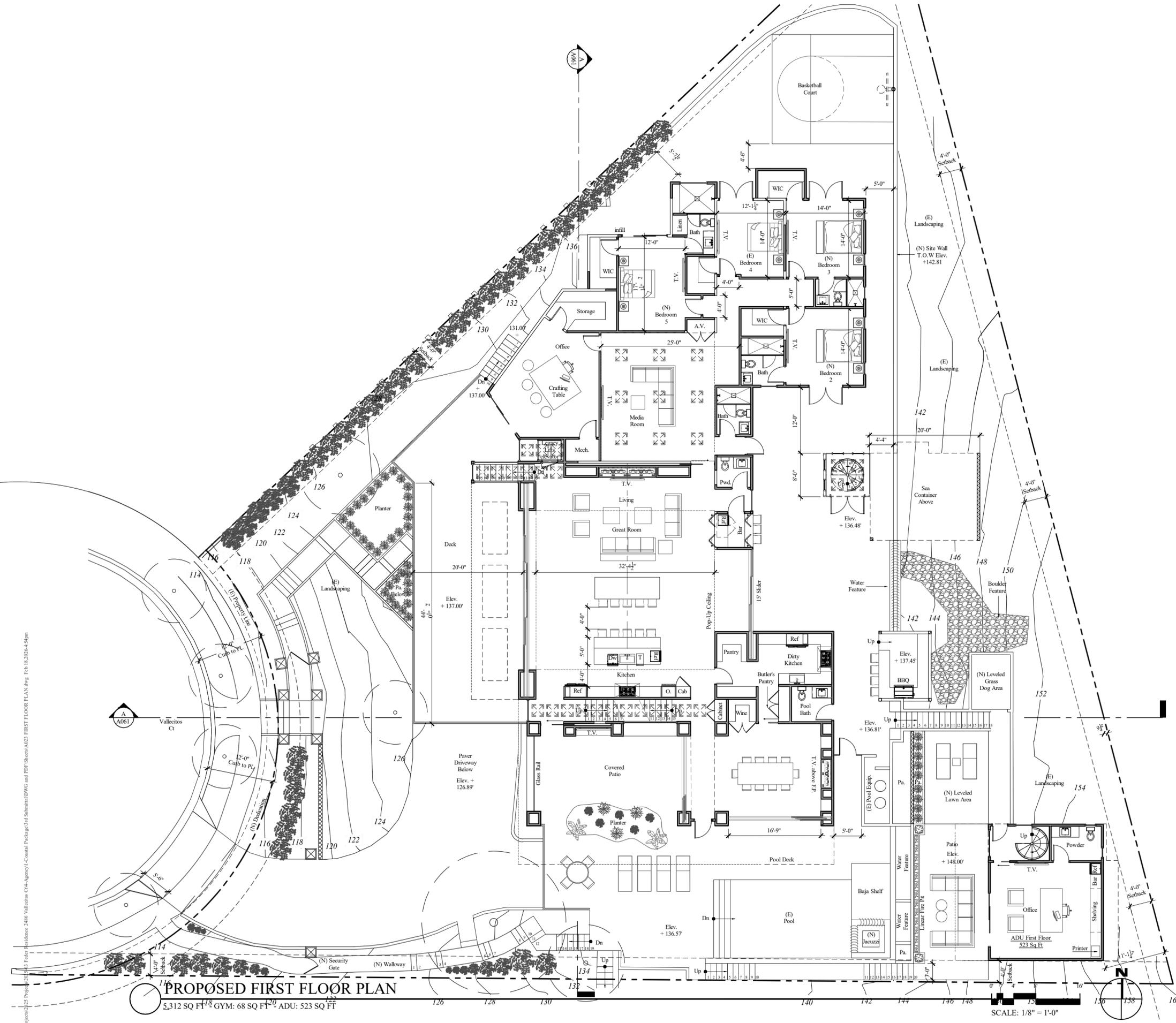












### FLOOR PLAN NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.  
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas  
R-13 batt insulation at all accessible interior walls for sound control.  
R-30 batt insulation at ceiling & roof areas.  
R-4.5 insulation wrap on all new hot water piping.  
R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cre #307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33, welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in table 803.1.1 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- U. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1)"
- V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped waterproofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed windows: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1/4" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

### FLOOR PLAN LEGEND

- Existing 2 x 4 interior wall - 1/2" gyp. each side
  - Existing 2 x 4 exterior wall - 5/8" gyp. interior, 3/4" sheathing, 7/8" stucco exterior
  - New 2 x 4 stud interior wall @ 16" o.c. .  
Finish interior w/ 5/8" gyp. Bd. Use tile backer board at restrooms.
  - New 2 x 4 exterior wall - 5/8" gyp. interior, 3/4" sheathing, 7/8" stucco exterior
  - New 2 x 4 flat stud wall, finish w/ 5/8" gyp.
  - New 8" CMU block wall
  - (I) New doors and door symbol, see schedule on a8.1
  - (A) New window and window symbol, see schedule on a8.1
  - (S) Smoke detector - perm. Wired to building power w/ battery back-up, verify in field for existing conditions
  - floor drain (fd) slope 1/4" per 1'-0"
  - (I) Flush washer and dryer connection per ox box specifications
  - Proposed exterior lighting
  - New swing door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
  - New pocket door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
  - Existing structure dimension
  - Proposed structure dimension
- Exterior wall dimensions to face of stud/ftn. Wall. Interior wall dimensions to center line of stud.  
For additional project information see additional sheets.



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Feder Residence  
2486 Vallecitos Ct  
La Jolla, CA 92037

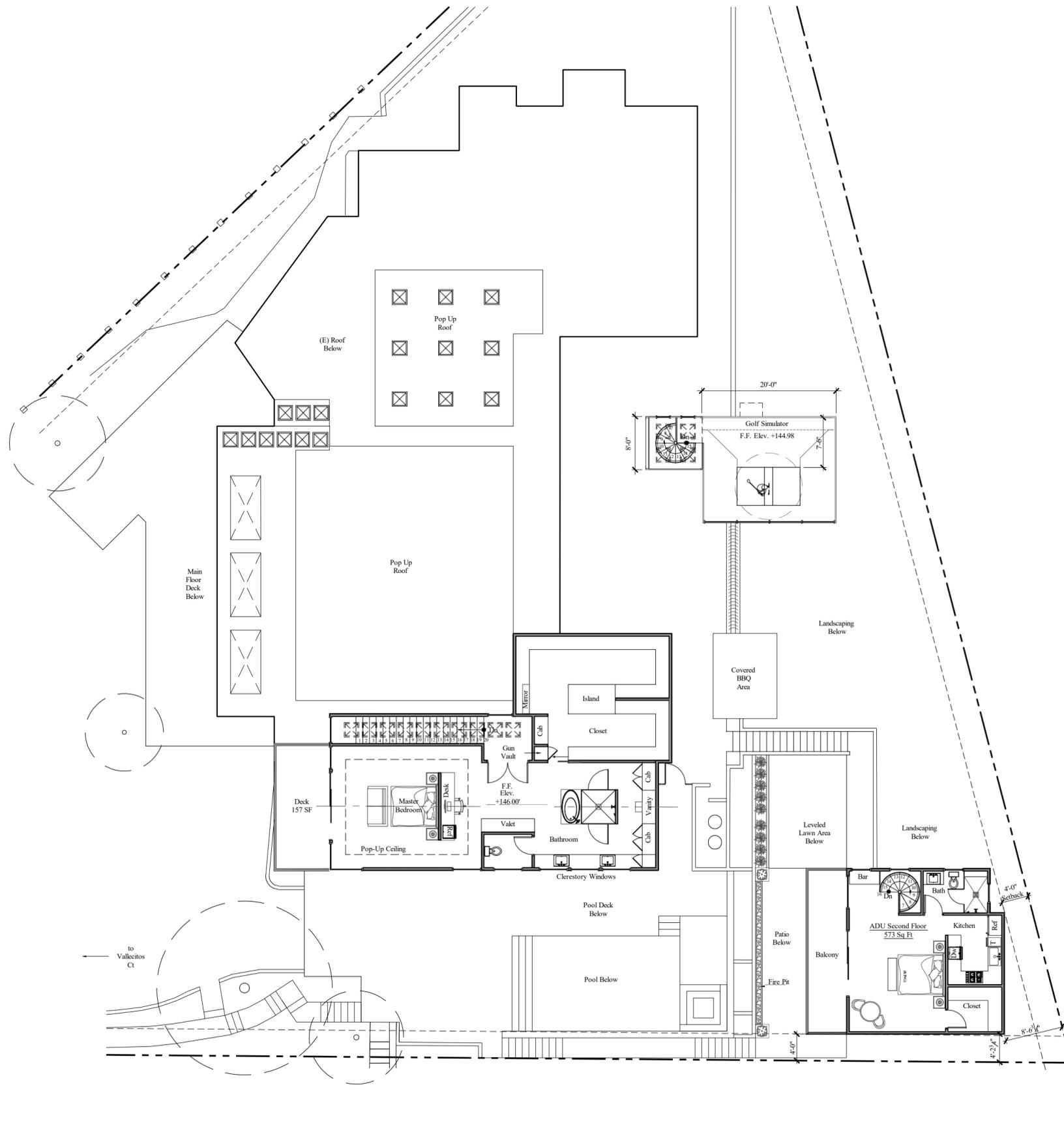
REVISIONS	PROJECT START
03/03/2025	
PHASE:	COASTAL
PROJECT NO.	2025-03
REVIEWED BY	CAM
DRAWN BY	CP
DATE	02/17/26

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SHEET TITLE  
**FIRST FLOOR PLAN**  
**A023**

S:\Projects\2025\Projects\2025-03\Feder Residence\2486 Vallecitos Ct-Agency\1-C-Consent\Package\2d\Submittal\DWG and PDF\2025-03-03\FIRST FLOOR PLAN.dwg Feb 18, 2025 4:46pm

S:\Project\2025\Projects\2025-03 Feder Residence\2486 Vallejos Ct\Agency\1-Central Package\2nd Submittal\DWG and PDF\Sheet\A024-SECOND FLOOR PLAN.dwg, Date: 12/11/25, 9:11am



### FLOOR PLAN NOTES

- A. All dimensions shall be field verified. any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.  
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas  
R-13 batt insulation at all accessible interior walls for sound control.  
R-30 batt insulation at ceiling & roof areas.  
R-4.5 insulation wrap on all new hot water piping.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup, c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc).
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cre (307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1.
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cfc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- U. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1)
- V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8" x 12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1/8" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

### FLOOR PLAN LEGEND

- Existing 2 x 4 interior wall - 1/2" gyp. each side
- Existing 2 x 4 exterior wall - 1/2" gyp. interior, 1/2" sheathing, 1/2" stucco exterior
- New 2 x 4 stud interior wall @ 16" o.c. .  
Finish interior w/ 5/8" gyp. Bd. Use tile backer board at restrooms.
- New 2 x 4 exterior wall - 1/2" gyp. interior, 1/2" sheathing, 1/2" stucco exterior
- New 2 x 4 flat stud wall, finish w/ 5/8" gyp.
- New 8" CMU block wall
- (I) New doors and door symbol, see schedule on a8.1
- (A) New window and window symbol, see schedule on a8.1
- Smoke detector - perm. Wired to building power w/ battery back-up, verify in field for existing conditions
- floor drain (fd) slope 1/8" per 1'-0"
- Flush washer and dryer connection per ox box specifications
- Proposed exterior lighting
- New swing door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
- New pocket door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
- Existing structure dimension
- Proposed structure dimension

Exterior wall dimensions to face of stud/dftn. Wall. Interior wall dimensions to center line of stud.  
For additional project information see additional sheets.



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**Feder Residence**  
2486 Vallejos Ct  
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REVISIONS  
03/03/2025 PROJECT START

PHASE FEASIBILITY

PROJECT NO. 2025-03

REVIEWED BY CAM

DRAWN BY CP

DATE 12/11/25

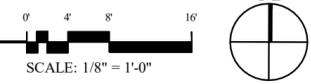
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SHEET TITLE SECOND FLOOR PLAN

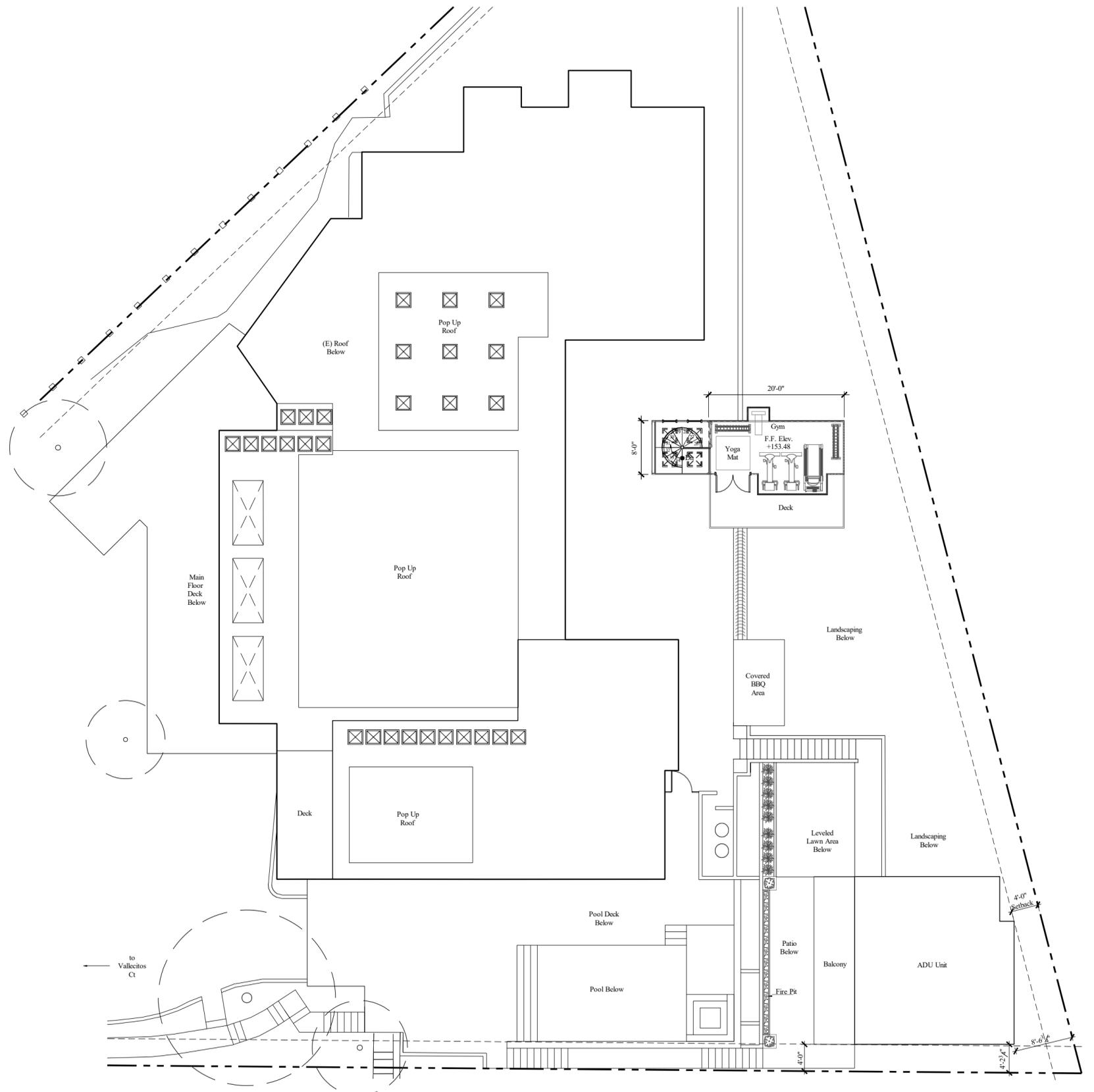
# A024

## PROPOSED SECOND FLOOR PLAN

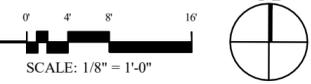
1,457 SQ FT - GYM: 368 SQ FT - ADU: 573 SQ FT



S:\Projects\2025\Projects\2025-03 Feder Residence\2486 Vallejos Ct\Agency\1-Central Package\2nd Submission\DWG and PDF\Sheet\A025 UPPER FLOOR PLAN.dwg Dec 11 2025 9:11am



**PROPOSED UPPER FLOOR PLAN**  
GYM: 265 SQ FT



**FLOOR PLAN NOTES**

- A. All dimensions shall be field verified. any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
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**Feder Residence**  
2486 Vallejos Ct  
La Jolla, CA 92037

REVISIONS  
03/03/2025 PROJECT START

PHASE **FEASIBILITY**

PROJECT NO. **2025-03**

REVIEWED BY **CAM**

DRAWN BY **CP**

DATE **12/11/25**

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SHEET TITLE  
**UPPER FLOOR PLAN**

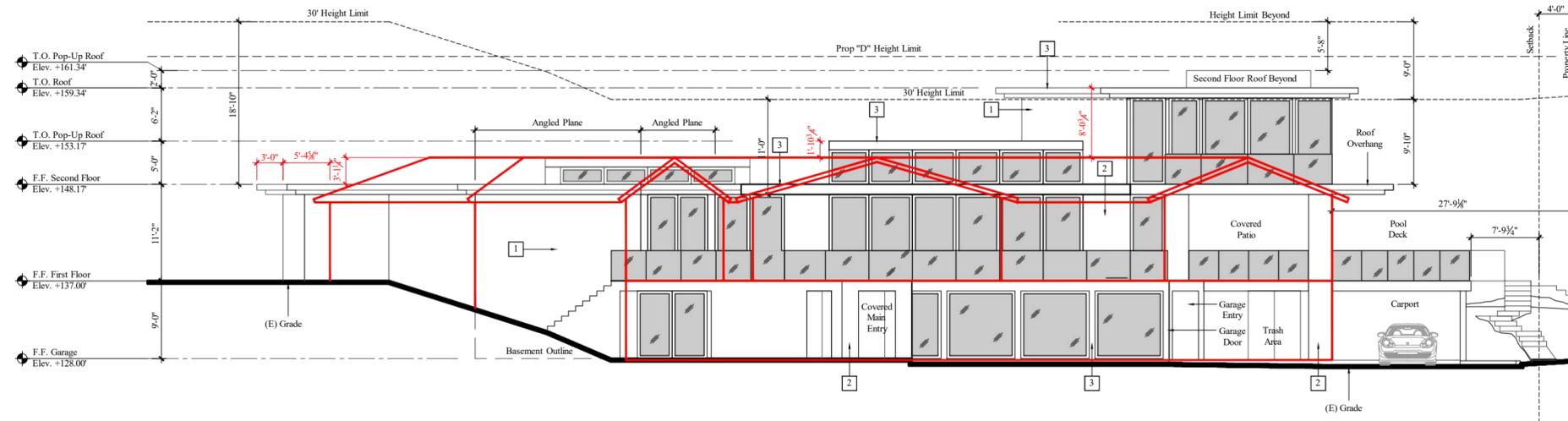
**A025**

## MATERIALS LIST

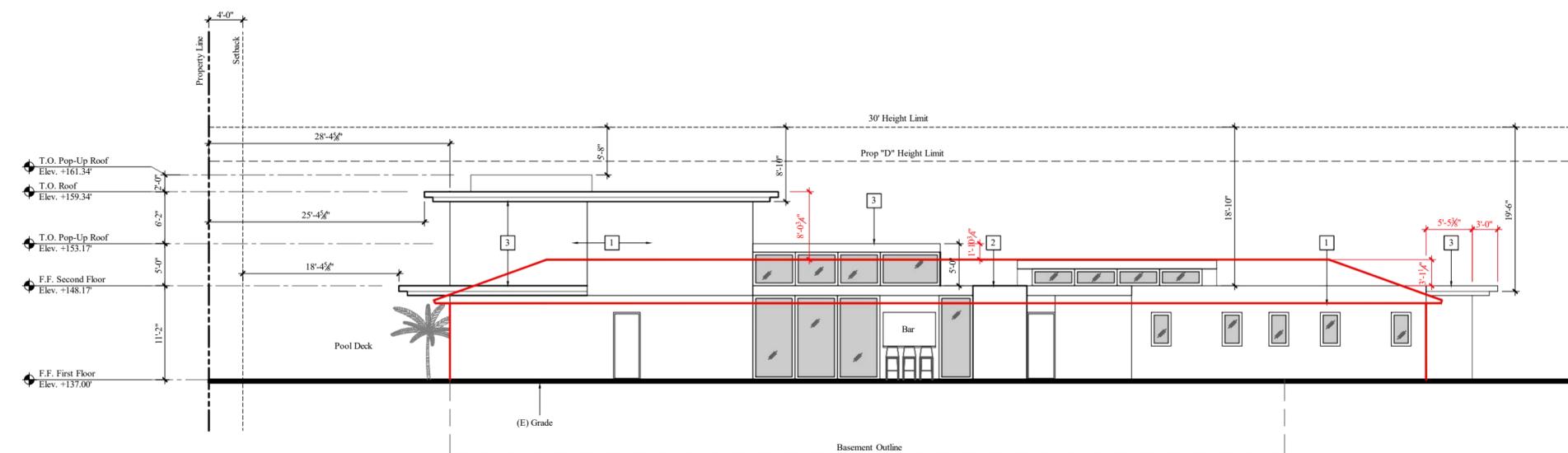
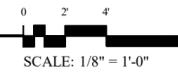
1	Exterior Finish	White Stucco	
2	Exterior Finish	Creme-based Limestone	
3	Architectural roof feature	Anodised aluminum break metal- Dark bronze	

## ELEVATION NOTES

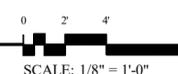
- All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- Refer to site plan for site and utility information.
- Refer to Sheet A060 and A061 for building sections.
- For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.



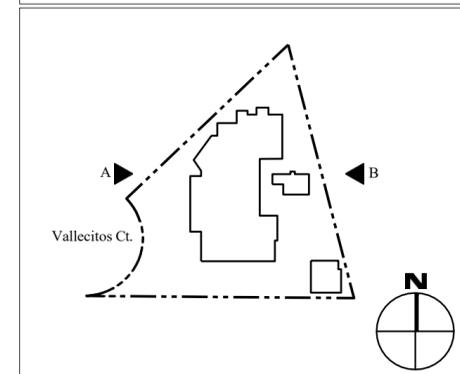
**A** PROPOSED WEST ELEVATION



**B** PROPOSED EAST ELEVATION



## KEY PLAN



**Marengo Morton Architects**

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PROJECT NO. 2025-03

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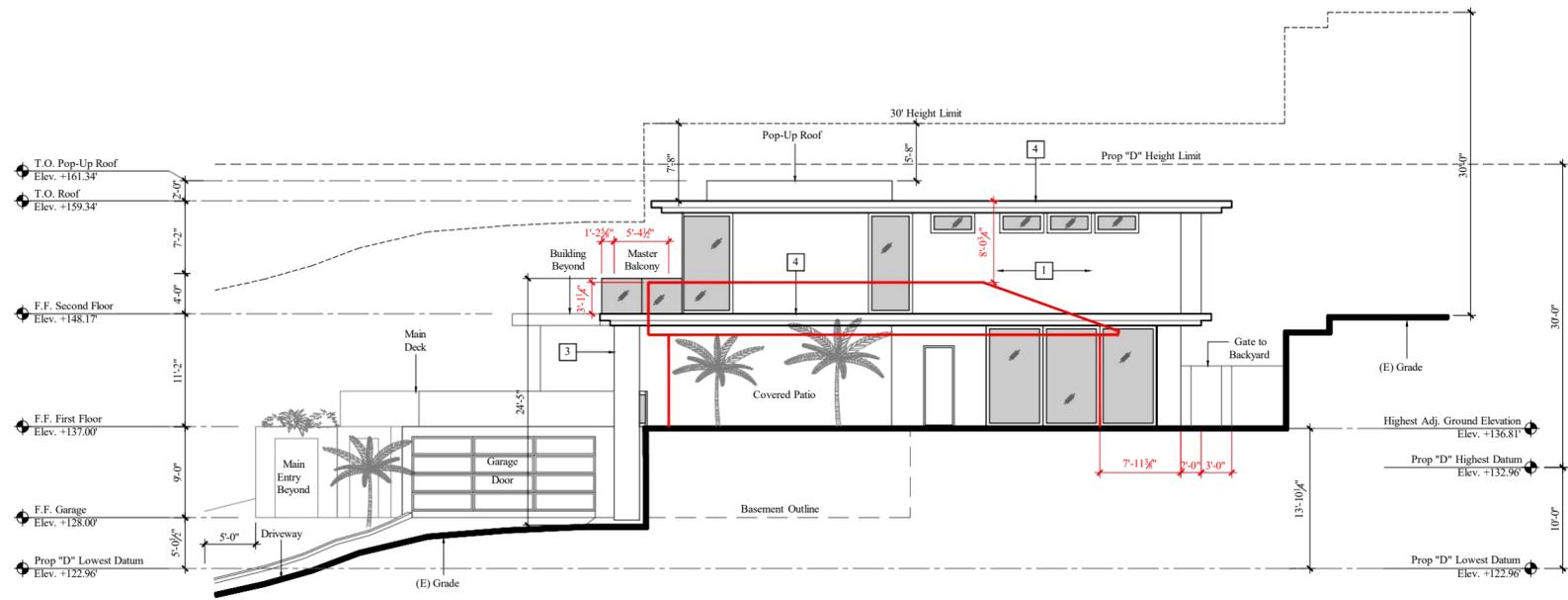
DRAWN BY CP

DATE 02/17/26

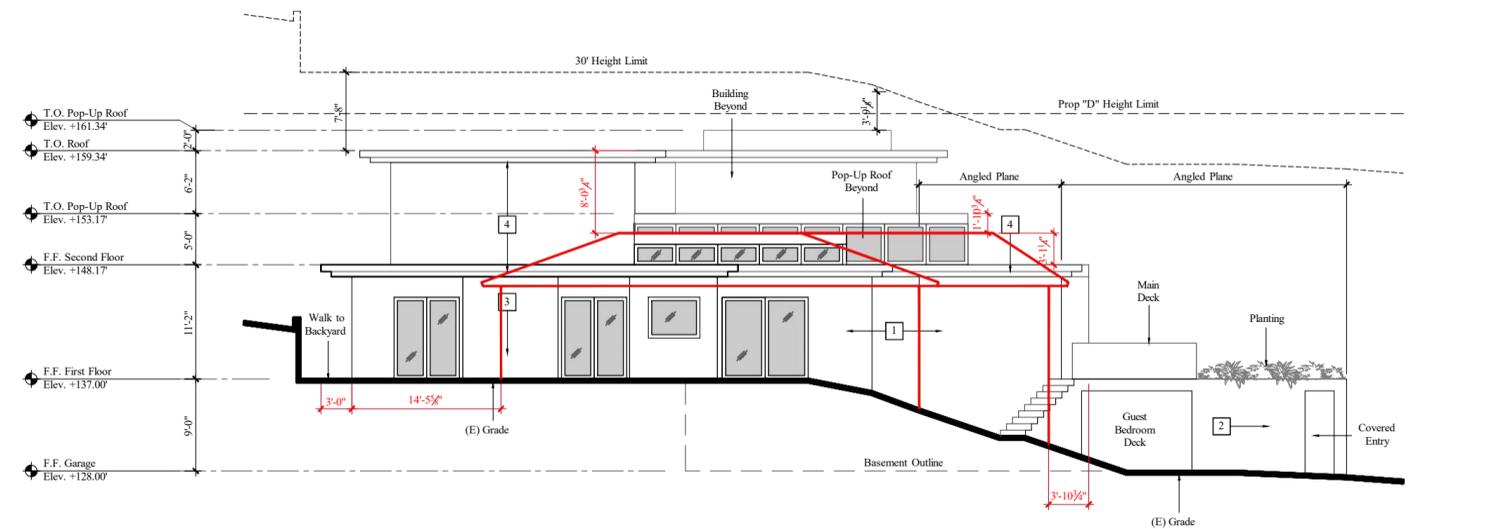
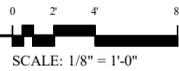
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SHEET TITLE  
PROPOSED ELEVATIONS

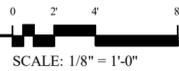
**A050**



PROPOSED SOUTH ELEVATION



PROPOSED SOUTH ELEVATION



MATERIALS LIST

1	Exterior Finish	White Stucco	
2	Exterior Finish	Crema-based Limestone	
3	Architectural roof feature	Anodised aluminum break metal- Dark bronze	

ELEVATION NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
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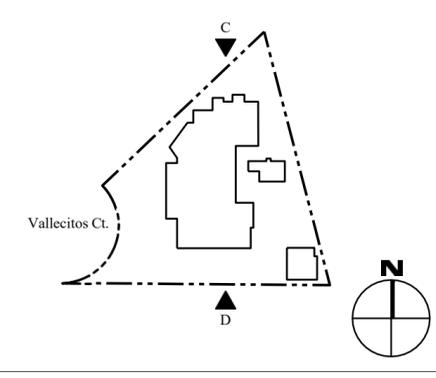
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SHEET TITLE  
 PROPOSED ELEVATIONS

A051

KEY PLAN





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PHASE FEASIBILITY

PROJECT NO. 2025-03

REVIEWED BY CAM

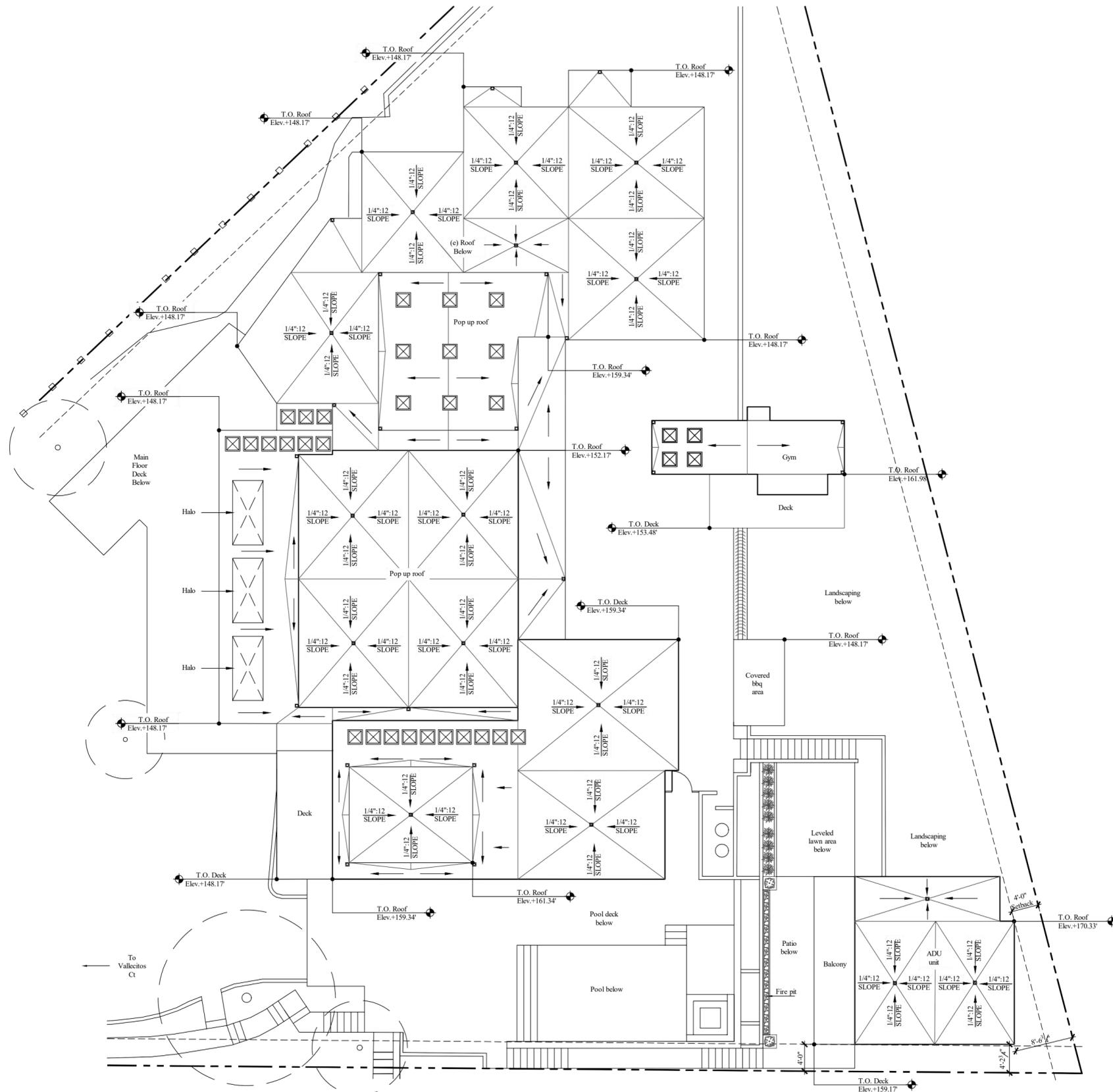
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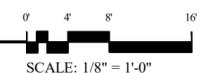
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SHEET TITLE  
ROOF PLAN

# A040



## PROPOSED ROOF PLAN



S:\Project\2025\Projects\2025-03 Feder Residence\2486 Vallecitos Ct\Agency\1-Central Package\1-Consul Package\2d\Submittal\DWG and PDF\Sheet\A040 ROOF PLAN.dwg Doc 11.20.25 5:13pm



# Marengo Morton Architects

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REVISIONS	PROJECT START
03/03/2025	



PHASE: COASTAL

PROJECT NO. 2025-03

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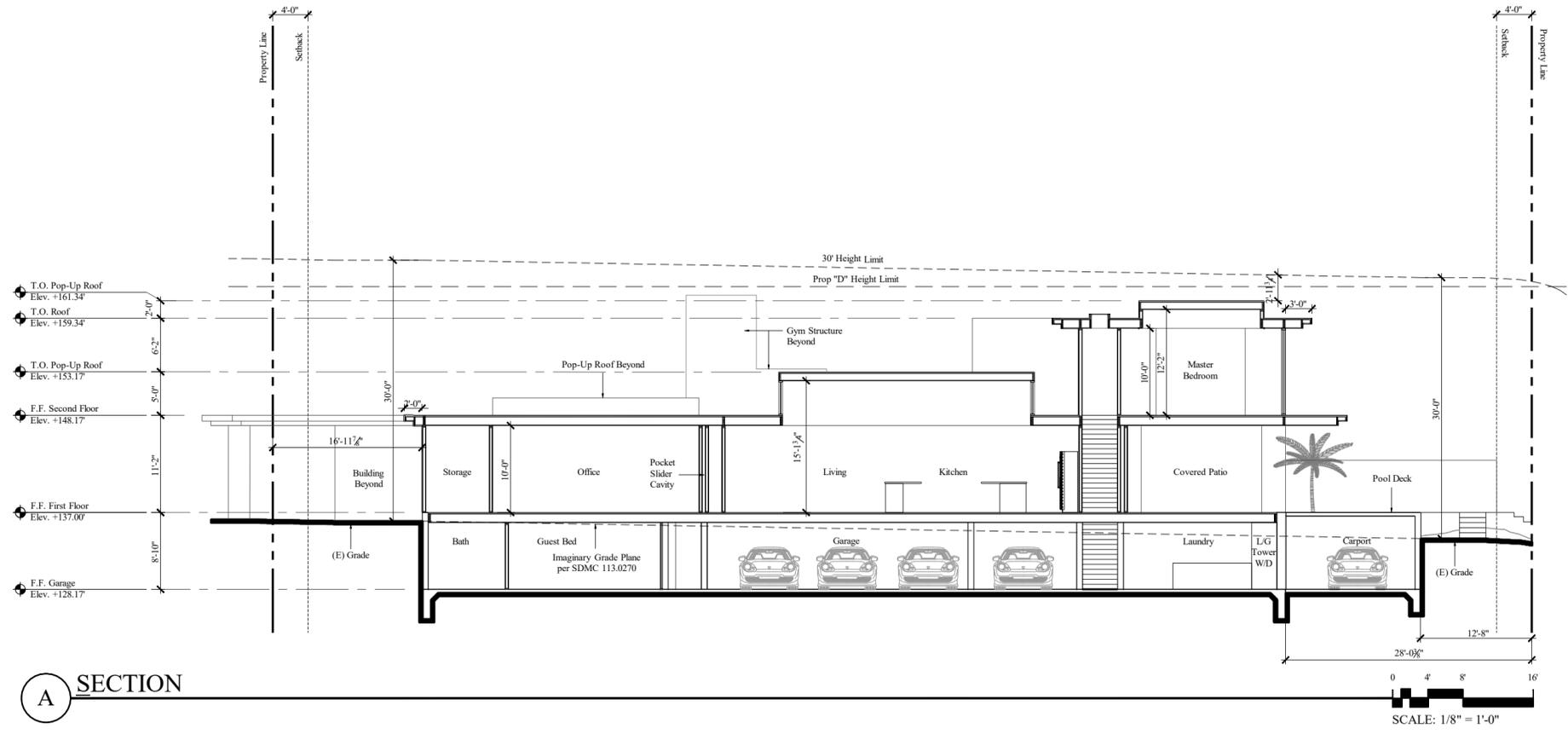
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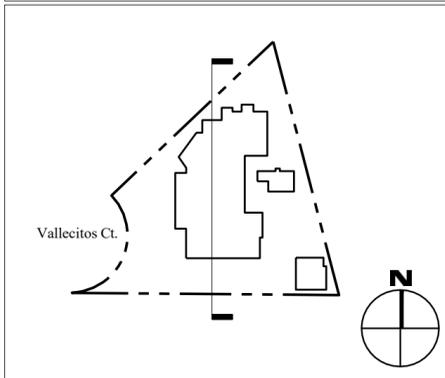
SHEET TITLE: PROPOSED SECTIONS

# A060



### A SECTION

### KEY PLAN





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REVISIONS	PROJECT START
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PHASE: COASTAL

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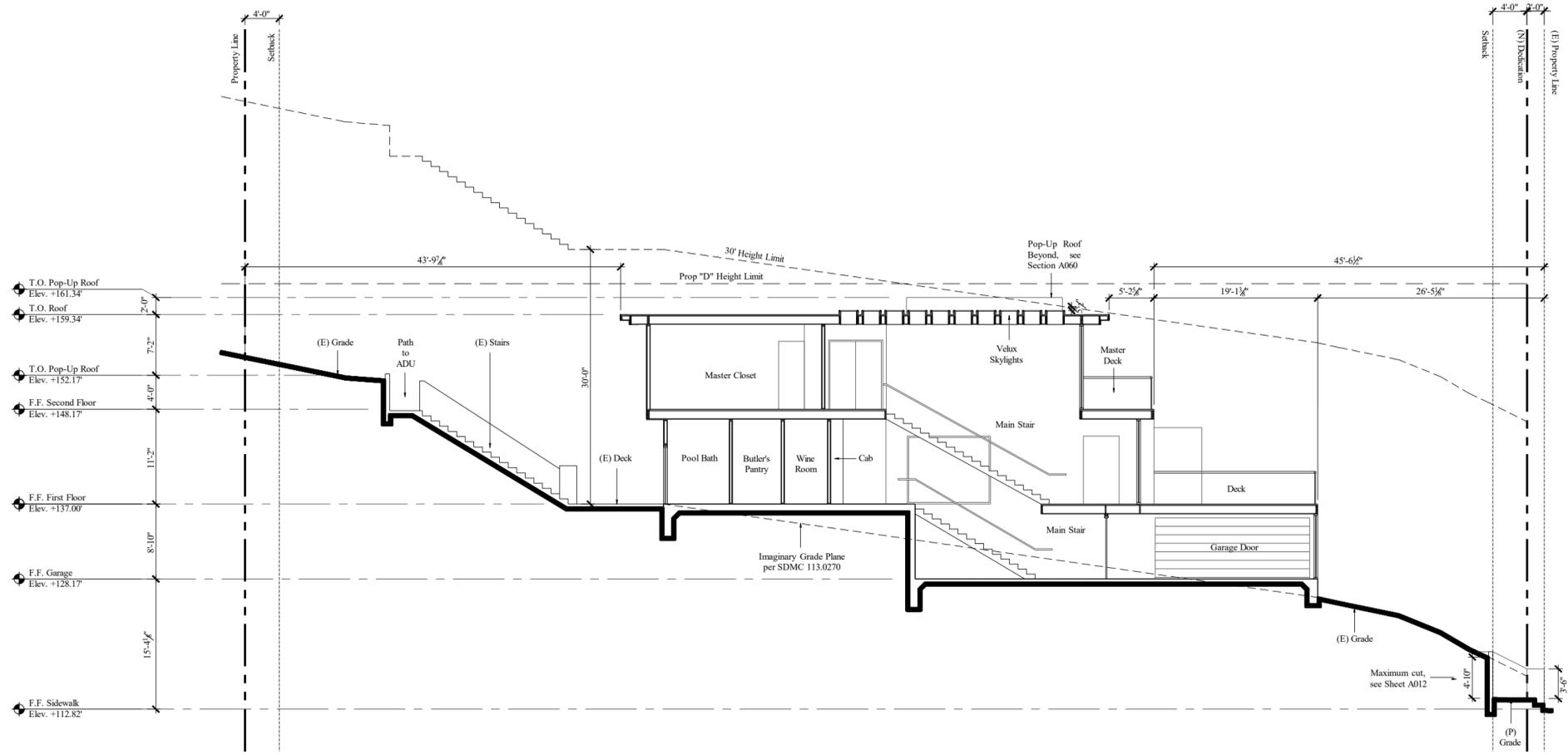
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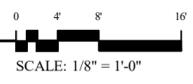
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SHEET TITLE: PROPOSED SECTIONS

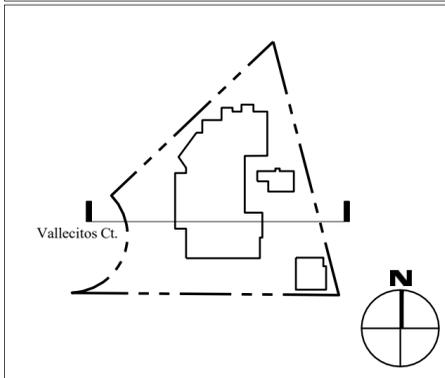
# A061



## B SECTION



## KEY PLAN





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03/03/2025 PROJECT START



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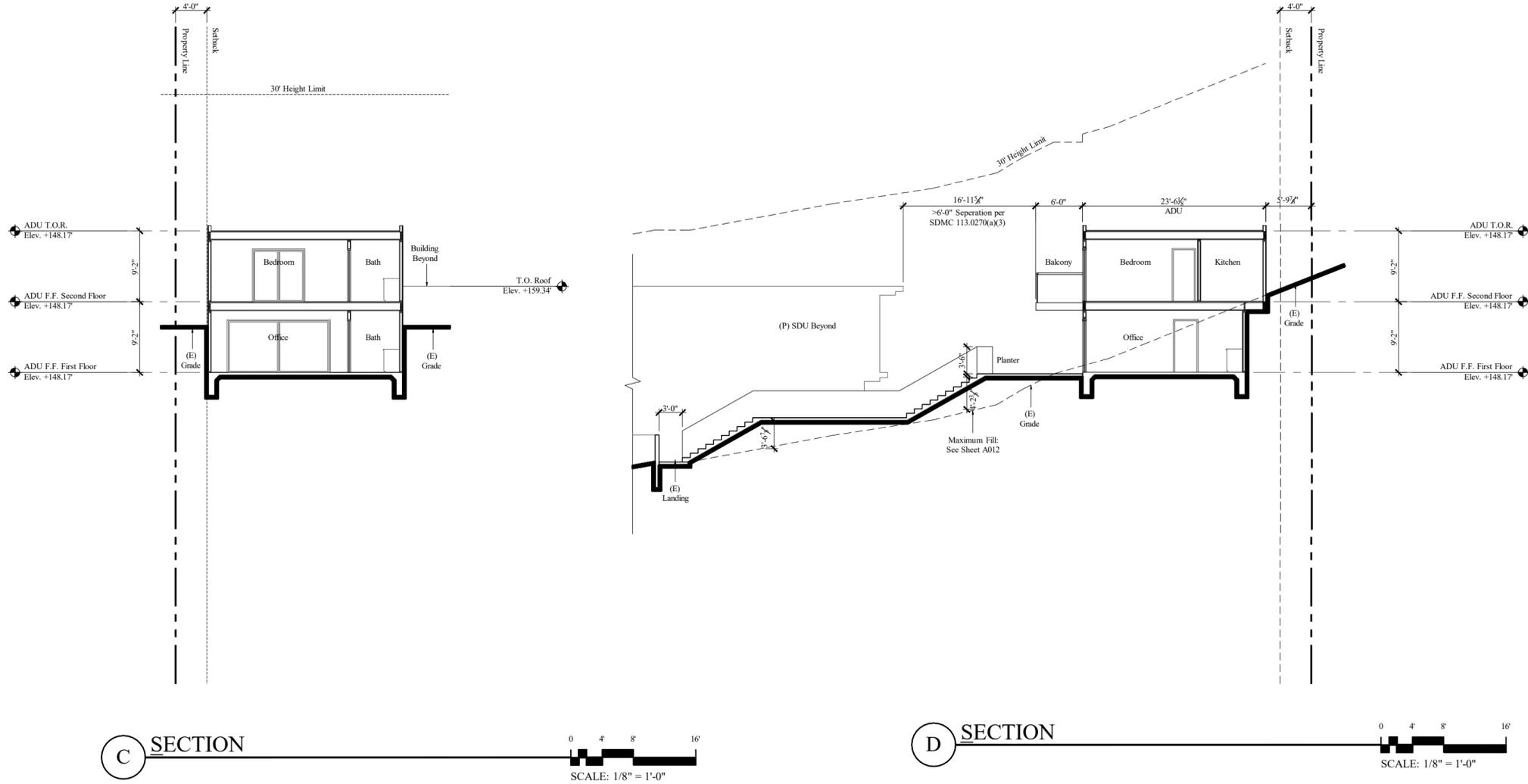
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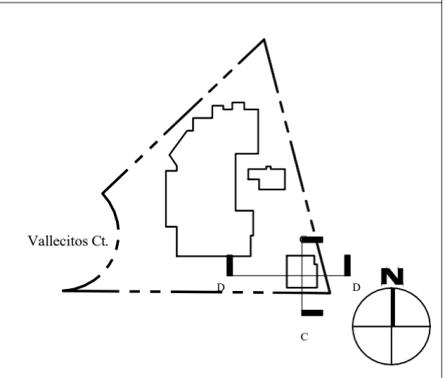
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SHEET TITLE  
PROPOSED SECTIONS

# A062



## KEY PLAN



# 2486 Vallecitos Ct

Material Palette



1. White Stucco



2. Crème-based limestone



3. Anodized aluminum break metal – dark bronze

# 2486 Vallecitos Ct

Rendering



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**PTS #**

**Date:** 7.07.2025

# 2486 Vallecitos Ct

Rendering



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