



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 29, 2026 REPORT NO. HO-26-023
HEARING DATE: May 6, 2026
SUBJECT: 6021 BUSINESS CENTER COURT Process Three Decision
PROJECT NUMBER: [PRJ-1123958](#)
OWNER/APPLICANT: Business Center Court LLC, Owner / Jamie Pham, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit (CUP) to allow the demolition of an existing 7,875-square-foot commercial retail building and the construction of a 3,694-square-foot eating and drinking establishment with a drive-thru, located at [6021 Business Center Court](#) within the Otay Mesa Community Plan?

Proposed Actions:

1. **APPROVE** CONDITIONAL USE PERMIT NO. PMT-3319528.

Fiscal Considerations: None. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Community Planning Group Recommendation: On April 16, 2026, the Otay Mesa Community Planning Group voted 8-0-0 to recommend approval of the proposed project without conditions.

Environmental Impact:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures) and Section 15332 (In-Fill Development Project) of the State CEQA Guidelines. The environmental determination was made on March 9, 2026, and the opportunity to appeal the environmental determination ended on March 23, 2026. There were no appeals of the environmental determination.

of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 1.18-acre site is located at 6021 Business Center Court in the IL-2-1 (Industrial - Light) zone and the Otay Mesa Community Plan. The site is also in a Transit Priority Area (TPA), Prime Industrial Lands (PIL), a Sustainable Development Area, a Community of Concern (COC), the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Brown Field, the Community Plan Implementation Overlay Zone Type A (CPIOZ-A), ALUCP Airport Influence Area (AIA) Review Area 1 and 2 for Brown Field, ALUCP Safety Zone 6 for Brown Field, the FAA Part 77 Noticing Area for Brown Field. The project site is within the Ocean View Hills Corporate Center, an industrial and business park that includes a developed 7,875-square-foot commercial retail building that previously operated as a discount grocery store, as well as other commercial retail establishments at the northeast corner of Otay Mesa Road and Corporate Center Drive.

DISCUSSION

The project proposes demolishing the existing commercial building and associated surface parking and constructing a new 3,964-square-foot McDonald's restaurant with a drive-thru, along with surface parking and landscape improvements. The 1.18-acre site is in the IL-2-1 zone, which permits an eating establishment with a drive-thru through a Conditional Use Permit. The proposed eating establishment is consistent with permitted commercial uses and would replace an existing vacant commercial use with a new commercial use compatible with the surrounding retail center and the adjacent business and industrial development. The project also complies with all applicable development standards, including required vehicle queuing for an eating establishment with drive-thru, ensuring that drive-thru operations will function safely on site without causing overflow or circulation impacts on surrounding streets. Furthermore, the project replaces an underutilized vacant building with a new commercial use that introduces substantial landscaping upgrades both on-site and within the public right-of-way, improving the visual quality and overall character of the neighborhood.

The project site is located north of Otay Mesa Road and east of Corporate Center Drive. The Multi Habitat Planning Area (MHPA) and Vernal Pool Habitat Conservation Preserve (VPHCP) are located approximately 40 feet from the project site west of Corporate Center Drive. The development complies with the MSCP Subarea Plan, VPHCP Avoidance and Minimization Measures and the MHPA Land Use Adjacency Guidelines related to lighting, drainage, landscaping, grading, access, and noise, demonstrating compliance with Chapter 14, Article 3, Division 1 of the Land Development Code. Therefore, based on the above, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

Additionally, the project will dedicate a proposed 12-foot right-of-way to provide a 22-foot-wide parkway with a six-foot-wide non-contiguous sidewalk along the project's frontage on Otay Mesa Road. Along the project's frontage on Corporate Center Drive, the project proposes dedicating four feet of right-of-way to provide a 14-foot-wide parkway with a five-foot-wide non-contiguous sidewalk. Additionally, the project will dedicate two feet of right-of-way to provide a 12-foot-wide parkway with a five-foot-wide non-contiguous sidewalk along the project's frontage on Business Center Court, per current City standards. The proposed streetscape, landscape upgrades, dedication, and public improvements will benefit the surrounding community and public realm.

Permits Required

- A Conditional Use Permit (CUP), Process 3, with the Hearing Officer as the decision maker, for an eating and drinking establishment with a drive-through component, per SDMC section [131.0622](#), Table 131-06B.

Community Plan Analysis:

The site is designated as Light Industrial in the Otay Mesa Community Plan (Community Plan). This land use provides for a wider variety of industrial uses by permitting a full range of light manufacturing and research and development uses and adding other industrial uses such as storage and distribution and transportation terminals. Multi-tenant industrial uses and corporate headquarters office uses are permitted. The zone implements the land use designation of the plan, and the proposed use provides additional eating and drinking establishments in proximity to employment centers. The proposed land use is not in conflict with the light industrial land use designation and is allowed in the IL-2-1 zone with a CUP. The project is consistent with the Community Plan, which is the goal of providing a complete mixed range of goods and services for the community.

Mobility Element (Section 3). As shown on the landscape plans, the project will comply with Policies 3.1-5 and 3.3-5 and the Community Plan's Street Tree Master Plan by planting drought-tolerant Street trees at the rate of one 24-inch box canopy-form tree for every 30 feet of linear street frontage, which will beautify and enhance the public streetscape. The project will comply with Policy 3.3-3 by incorporating Best Management Practices (BMPs) into the design to manage stormwater and remove pollutants, as well as Street surface water runoff. The project will also comply with Policy 3-4.1 by providing long and short-term bicycle parking spaces in compliance with the Municipal Code.

Urban Design Element (Section 4). As shown on the landscape plans, the project will comply with Policy 4.2-6 by incorporating a consistent landscape theme along the site's Street frontages through the planting of a variety of trees, shrubs, and groundcover. The project complies with the Street Tree Policies in Section 4.8 by incorporating Street trees identified in Appendix B of the Community Plan along Otay Mesa and Corporate Center Drive to create a unified landscape theme which will improve community aesthetics (Policy 4.8-1) by incorporating an appropriate mix of tree species that include Palo Verde, Jacaranda, African Sumac, Desert Willow, and Fern Pine species (Policy 4.8-2).

Conclusion:

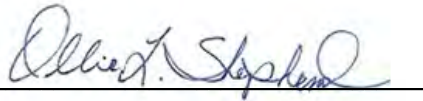
City Staff has reviewed the proposed project and has determined that the project, as conditioned, would conform to all applicable sections of the San Diego Municipal Code. Draft findings and conditions to support the project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Conditional Use Permit No. PMT-3319528, with modifications.

2. Deny Conditional Use Permit No. PMT-3319528, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Ollie Shepherd
Development Project Manager
Development Services Department

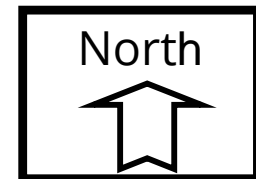
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photographs
4. Draft Permit with Conditions
5. Draft Resolution with Findings
6. Environmental Exemption
7. Ownership Disclosure Statement
8. Project Plans

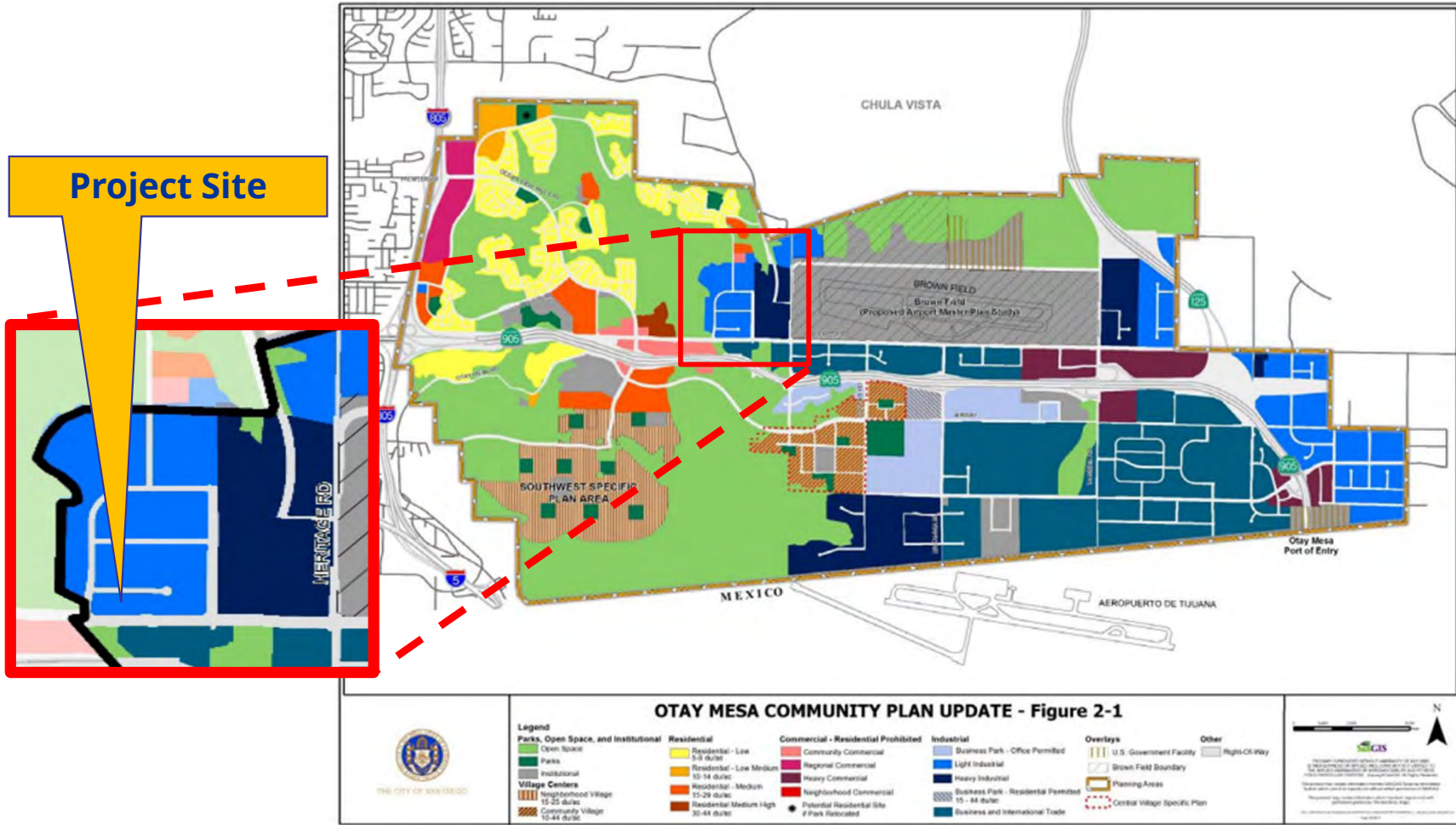


Project Location Map

6021 Business Center Court, PRJ-1123958
6021 Business Center Court San Diego, CA. 92154



Land Use Element



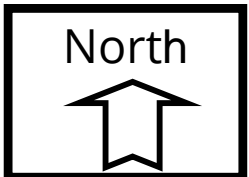
Otay Mesa Community Plan

LU-3



Otay Mesa Community Plan Land Use Map

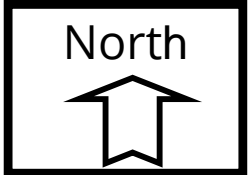
6021 Business Center Court, PRJ-1123958
6021 Business Center Court





Aerial Photo

6021 Business Center Court, PRJ-1123958
6021 Business Center Court



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
DSD-1A

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24010039 SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. PMT-3319528
6021 BUSINESS CENTER COURT PROJECT NO. 1123958
HEARING OFFICER

This Conditional Use Permit No. PMT-3319528 is granted by the Hearing Officer of the City of San Diego to 6021 BUSINESS CENTER COURT LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 1.18-acre site is located at 6021 Business Center Court in the IL-2-1 (Industrial - Light) zone and the Otay Mesa Community Plan. The site is also in a Transit Priority Area (TPA), Prime Industrial Lands (PIL), a Sustainable Development Area, a Community of Concern (COC), the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Brown Field, the Community Plan Implementation Overlay Zone Type A (CPIOZ-A), ALUCP Airport Influence Area (AIA) Review Area 1 and 2 for Brown Field, ALUCP Safety Zone 6 for Brown Field, the FAA Part 77 Noticing Area for Brown Field. The project site is legally described as: Lot 1 of Ocean View Hills Corporate Center, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map No. 13882, filed in the Office. Of The County Recorder of San Diego County, December 2, 1999.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing commercial retail building and parking surfaces, and construct a proposed restaurant, eating and drinking establishment with a drive-through component, subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 6, 2026, on file in the Development Services Department.

The project shall include:

1. Demolition of the existing 7,875-square-foot retail building and parking lot;
2. Construction of a 3,694-square-foot eating and drinking establishment with a drive-through component; and
3. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, and any other applicable regulations.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 20, 2029.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property, and all the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies, including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the conditions contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding, and if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including, without limitation, reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall provide a pedestrian and vehicular circulation plan to ensure public safety.

12. Noise reduction techniques shall be incorporated, including measures to ensure that speaker systems are not audible beyond the property line.

13. Prior to the issuance of any building permit, the Owner/Permittee shall provide a lighting control plan to minimize potential off-site impacts.

14. Prior to the issuance of any building permit, the Owner/Permittee shall provide a litter control plan to keep the premises free of litter and to prevent litter attributable to the establishment from occurring on adjacent properties.

15. The operator of the establishment shall take reasonable steps to prevent loitering on the premises, in parking lots serving the premises, and on public sidewalks adjacent to the premises.

MULTIPLE SPECIES CONSERVATION PROGRAM

16. Prior to issuance of any construction permits, including but not limited to the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Owner/Permittee shall depict the following requirements on the construction documents and plans for the Project Site under the title "MHPA Land Use Adjacency Guidelines".

- **Drainage** – All new and proposed parking lots and developed areas in and adjacent to the preserve must not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that may adversely affect the adjacent MHPA. Instead, runoff should flow into sedimentation basins, grassy swales or mechanical trapping devices prior to draining into the MHPA.
- **Toxins** – Land uses, such as recreation and agriculture, that use chemicals or generate byproducts that are potentially toxic or impactful to wildlife, sensitive species, habitat, or water quality shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA.
Such measures should include drainage/detention basins, swales, or holding areas with non-invasive grasses or wetland-type native vegetation to filter out the toxic materials. Regular maintenance should be provided.
- **Lighting** – Lighting of all developed areas adjacent to the MHPA should be directed away from the MHPA. Where necessary, development should provide adequate shielding with non-invasive plant materials (preferably native), berming, and/or other methods to protect the MHPA and sensitive species from night lighting. Please see Municipal Code 142.0740 for further information if needed.
- **Landscaping** – No invasive non-native plant species shall be introduced to the MHPA.
- **Grading/Land Development** – Manufactured slopes associated with site development shall be included within the development footprint for projects within or adjacent to the MHPA.
- **Barriers** – Development adjacent to the MHPA shall provide barriers where appropriate (e.g. non-invasive vegetation, rocks/boulders, fences, walls, and/or signage) along the MHPA boundaries to direct public access to appropriate locations and reduce domestic animal predation.
- **Brush Management** – All Zone 1 brush management areas must be included within the development footprint and outside the MHPA. Brush management Zone 2 may be permitted within the MHPA (considered impact neutral) but cannot be used as mitigation. The amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with Municipal Code §142.0412 and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new developments, regardless of ownership, the brush management in the Zone 2 area will be the responsibility of a homeowner association or other private party.
- **Noise** - Due to the site's location adjacent to (could also be within) the MHPA, construction noise will need to be avoided, if possible, during the breeding season of the California gnatcatcher (3/1-8/15), least Bell's vireo (3/15-9/15), southwestern willow

flycatcher (5/1-8/30). If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys will be required in order to determine species presence/absence.

If the species is/are not identified within the MHPA, no additional measures will be required. If present, measures to minimize noise impacts will be required and should include temporary noise walls/berms. If a survey is not conducted and construction is proposed during the species' breeding season, presence would be assumed, and a temporary wall/berm would be required. Noise levels from construction activities during the bird breeding season should not exceed 60 dBA hourly LEQ at the edge of the occupied MHPA, or the ambient noise level if noise levels already exceed 60 dBA hourly LEQ.

17. Prior to issuance of any construction permits, including but not limited to the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Owner/Permittee shall depict the following requirements on the construction documents and plans for the Project Site under the title "VPHCP Avoidance and Minimization Measures."

- Any development adjacent to the MHPA shall be constructed to slope away from the extant pools to be avoided, to ensure that runoff from the project does not flow into the pools
- Impacts from fugitive dust that may occur during construction grading shall be avoided and minimized through watering and other appropriate measures
- The following conditions shall be implemented during project construction:
 - a) Employees shall strictly limit their activities, vehicles, equipment, and construction materials to the fenced project footprint
 - b) The project site shall be kept as clean of debris as possible. All food-related trash items shall be enclosed in sealed containers and regularly removed from the site.
 - c) Disposal or temporary placement of excess fill, brush, or other debris shall be limited
- All equipment maintenance, staging, and dispensing of fuel, oil, coolant, or any other such activities shall occur in designated areas within the fenced project impact limits. These designated areas shall be located in previously compacted and disturbed areas to the maximum extent practicable in such a manner as to prevent any runoff from entering the vernal pools or their watersheds and shall be shown on the construction plans. Fueling of equipment shall take place within the existing paved areas greater than 100 feet from the vernal pools or their watersheds. Contractor equipment shall be checked for leaks prior to operation, and repairs shall be made as necessary. A spill kit for each piece of construction equipment shall be on-site and must be used in the event of a spill. "No- fueling zones" shall be designated on construction plans.

ENGINEERING REQUIREMENTS:

18. Prior to the issuance of any building permit, the Owner/Permittee shall submit a Deviation from Standard form for the existing curb ramp at the northeast corner of Corporate Center Drive and Otay Mesa Road.

19. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the landscape, irrigation, and private storm drains located within the City's right-of-way, satisfactory to the City Engineer.
20. The drainage system proposed for this development is private and subject to approval by the city engineer.
21. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code into the construction plans or specifications, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Stormwater Standards in effect at the time of the construction permit issuance.
24. Development of this project shall comply with all stormwater construction requirements of the State Construction General Permit Order No. 2022-0057-DWQ. In accordance with Order No. 2022-0057-DWQ or subsequent order, a Risk Level Determination shall be calculated for the site, and a Stormwater Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance satisfactory to the City Engineer.
26. Prior to the issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to the filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2022-0057-DWQ, and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

28. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot unencumbered area around each tree, free of hardscape and utilities, unless otherwise approved per §142.0403(b)6.

30. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department, identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.

31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscapes shall be maintained consistent with the Landscape Standards in a disease, weed, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

TRANSPORTATION REQUIREMENTS

33. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

34. Prior to issuance of any building permit, the Owner/Permittee shall dedicate 12 feet of right-of-way along the project's frontage on Otay Mesa Road and assure by permit and bond the construction of a 22-foot-wide parkway with a six-foot-wide non-contiguous sidewalk, as shown on

Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

35. Prior to issuance of any building permit, the Owner/Permittee shall dedicate 4 feet of right-of-way along the project's frontage on Corporate Center Drive and assure by permit and bond the construction of a 14-foot-wide parkway with a five-foot-wide non-contiguous sidewalk, as shown on Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

36. Prior to issuance of any building permit, the Owner/Permittee shall dedicate 2 feet of right-of-way along the project's frontage on Business Center Court and assure by permit and bond the construction of a 12-foot-wide parkway with a five-foot-wide non-contiguous sidewalk, as shown on Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

37. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the installation of traffic signal heads with retroreflective borders at all approaches at the intersection of Corporate Center Drive and Otay Mesa Road via traffic signal modification plans per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

38. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond to remove and replace the existing westerly driveway with a 24-foot-wide driveway along the project's frontage on Business Center Court as shown on Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

39. Prior to the issuance of any construction permit, the Owner/Permittee shall record a Joint Use Driveway/Mutual Access Agreement (DS-3248) for the Easterly driveway along Business Center Court in favor of all affected parcels, satisfactory to the City Engineer.

40. Prior to first occupancy, the Owner/Permittee shall provide and privately maintain the following VMT Reduction Measures totaling at least 5 points, as shown in Exhibit A:

- Two (2) long-term bicycle parking spaces (20 points)

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

41. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

42. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

43. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at final inspection of completed buildings.

APPROVED by the Hearing Officer of the City of San Diego on May 6, 2026, and [Approved Resolution Number].

CONDITIONAL USE PERMIT NO. PMT-3319528
May 6, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Ollie Shepherd
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

BUSINESS CENTER COURT LLC
Owner/Permittee

By _____
Drew Sanchez,
Area Construction Manager, McDonald's
USA LLC

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. PMT-3319528
6021 BUSINESS CENTER COURT PROJECT NO. 1123958

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. BUSINESS CENTER COURT LLC, Owner/Permittee, submitted an application to the City of San Diego for a Conditional Use Permit for demolition of the existing 7,875 square feet commercial retail building and parking surfaces, and the proposed construction of a 3,694 square feet restaurant, eating and drinking establishment with a drive-through component, and allowable deviations pursuant to the Land Development Code (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the Conditional Use Permit No. PMT-3319528 project (Project).

B. The 1.18-acre site is located at 6021 Business Center Court in the IL-2-1 (Industrial - Light) zone and the Otay Mesa Community Plan. The site is also in a Transit Priority Area (TPA), Prime Industrial Lands (PIL), a Sustainable Development Area, a Community of Concern (COC), the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Brown Field, the Community Plan Implementation Overlay Zone Type A (CPIOZ-A), ALUCP Airport Influence Area (AIA) Review Area 1 and 2 for Brown Field, ALUCP Safety Zone 6 for Brown Field, and the FAA Part 77 Noticing Area for Brown Field. The project site is legally described as Lot 1 of Ocean View Hills Corporate Center, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map No. 13882, filed in the Office. Of The County Recorder of San Diego County, December 2, 1999.

C. On March 9, 2026, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.)

under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and Section 15332 (In-Fill Development Project) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

D. On May 6, 2026, the Hearing Officer of the City of San Diego considered and APPROVED Conditional Use Permit No. PMT-3319528 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Conditional Use Permit No. PMT-3319528:

A. CONDITIONAL USE PERMIT San Diego Municipal Code (SDMC) Section 126.0305

I. The proposed development will not adversely affect the applicable land use plan.

The project site is located at the northeast corner of Otay Mesa Road and Corporate Center Drive within the Otay Mesa Community Plan and is developed with a 7,875-square-foot commercial retail building that previously operated as a discount grocery and general store. The site is part of the Ocean View Hills retail center, which includes other commercial uses, such as a sandwich shop, a taco restaurant, a martial arts business, a postal delivery business, and an insurance office. Adjacent development includes a California DMV office to the east and the Ocean View Hills Corporate Center to the north, a large business and industrial park containing office, warehousing, and distribution uses.

The project proposes demolishing the existing commercial building and associated surface parking and constructing a new 3,964-square-foot McDonald's restaurant with a drive-thru, along with surface parking and landscape improvements. The site is in the IL-2-1 zone, which permits an eating establishment with a drive-thru through a Conditional Use Permit. The Community Plan designates the site for Light Industrial land uses, which includes light manufacturing, research and development, distribution, transportation-related facilities, corporate office uses, and limited office and commercial uses. The proposed eating establishment is consistent with the permitted commercial uses under this designation and would replace an existing vacant commercial use with a new commercial use that is compatible with the surrounding retail center and the adjacent business and industrial development.

The project also complies with applicable Community Plan policies. Under the Mobility Element, section 3, the project will provide drought-tolerant Street trees consistent with Policies 3.1.5 and 3.3.5, incorporate stormwater Best Management Practices consistent with Policy 3.3.3, and provide bicycle parking in accordance with Policy 3.4.1. Under the Urban Design Element, section 4, the project incorporates a consistent landscape theme along street frontages (Policy 4.2.6), provides street trees consistent with Section 4.8, and enhances community aesthetics through an appropriate mix of species (Policies 4.8.1 and 4.8.2). Architectural elevations demonstrate compliance with Policy 4.3.5 by incorporating a variety of materials, details, and colors to provide visual interest and neighborhood identity. The project also meets Community Plan sustainability policies by incorporating energy-efficient design elements, durable materials, reduced impervious surfaces, and stormwater BMPs (Policies 4.9.1 and 4.9.2). Horizontal overhangs and expanded landscaping reduce heat gain, consistent with Policies 4.9.3 and 4.9.4. The Stormwater Quality Management Plan further demonstrates compliance with low-impact development requirements in Policy 4.9.5. These project features will be conditions of approval.

Therefore, based on the project's consistency with the site's Light Industrial land use designation, its compatibility with surrounding development, and its compliance with applicable Community Plan policies, the proposed development will not adversely affect the applicable land use plan.

II. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is located within an already developed commercial area of the City, and the proposed improvements will comply with all applicable buildings, mechanical, electrical, and fire regulations, as well as development regulations, designed to protect public health, safety, and general welfare. In addition to on-site improvements, the project will dedicate right-of-way and construct public improvements through conditions of approval. The project will dedicate a proposed 12-foot right-of-way to provide a 22-foot-wide parkway with a six-foot-wide non-contiguous sidewalk along the project's frontage on Otay Mesa Road. Along the project's frontage on Corporate Center Drive, the project proposes dedicating 4 feet of right-of-way to provide a 14-foot-wide parkway with a five-foot-wide on-contiguous sidewalk. Additionally, the project will dedicate two feet of right-of-way to provide a 12-foot-wide parkway with a five-foot-wide non-contiguous sidewalk along the project's frontage on Business Center Court, per current City standards and meeting the Street Design Manual requirements. The proposed streetscape, landscape upgrades, dedication, and public improvements to be constructed by the project will benefit the surrounding community and the public realm.

The project also complies with all applicable supplemental development regulations in SDMC Section 141.0607 for Eating and Drinking Establishments with Drive-in or Drive-through Service, which include the required vehicle queuing distances, ensuring that drive-thru operations will function on site without causing overflow or

circulation impacts on surrounding streets. Furthermore, the project replaces an underutilized vacant building with a new eating and drinking establishment, introducing substantial on-site landscaping upgrades and improvements within the public right-of-way, thereby improving the visual quality and overall character of the neighborhood.

Based on compliance with applicable codes, enhanced public improvements, circulation safeguards, and overall site upgrades, the proposed development will not be detrimental to the public health, safety, and welfare.

III. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed development will comply with the Land Development Code regulations. The project meets all applicable requirements of the Land Development Code, including the Conditional Use Permit required to allow an eating and drinking establishment with a drive-thru component in the IL-2-1 zone. The project does not request any deviations to the Municipal Code. In accordance with SDMC Section 131.0631, the project proposes a 0.07 FAR, which is below the 0.50 FAR maximum allowed in the Otay Mesa Community Plan. The project also meets the minimum required setbacks for eating and drinking establishments within the IL-2-1 zone, as required by SDMC Section 131.0631 Table 131-06C. Consistent with SDMC Section 131.0620(C), the eating establishment use will operate entirely within the proposed building and would be in compliance with SDMC Section 131.0623(b). The dining and service areas remain below the maximum 3,000 square feet permitted.

The project complies with SDMC Sections 131.0623(b)(3) and 141.0607 by providing the required vehicle queuing for a drive-thru establishment. Plans demonstrate that 60 and 80 feet of queue space will be provided prior to each ordering station, exceeding the minimum 40 feet required. Additionally, there are approximately 110' from the pick-up window to ordering station 1 and approximately 100' from the pick-up window to ordering station 2. Queuing space will be provided between the primary pickup window and the order stations, meeting the minimum of five vehicles. An additional secondary pick-up window and bypass lane are proposed to ensure efficient circulation and prevent queue overflow into parking areas or adjacent streets. The project also ensures that ordering speaker systems will not be audible beyond the property line and that site lighting is designed to minimize off-site impacts, as shown in the photometric plan.

The project complies with the Landscape Regulations by providing over 21,000 square feet of on-site and frontage landscaping, exceeding the minimum 12,850 square feet required. In accordance with SDMC Section 142.0530 and Table 142.05F, the project provides the minimum required 16 parking spaces in a Transit Priority Area, including accessible, electric vehicle, and carpool/zero emissions spaces. Two long-term and two short-term bicycle parking spaces are also provided, meeting the code requirements.

Consistent with Appendix T – Mobility Choices Regulations (SDMC Division 11), the project implements VMT Reduction Measure 17 by providing additional long-term bicycle parking through conditions of approval. The project also meets SDMC Section 142.0610 by providing the required street frontage improvements, as further discussed in Finding III above. The project will also remove and replace the existing westerly driveway with a 24-foot-wide driveway along Business Center Court per current City standards.

Finally, the project site is located north of Otay Mesa Road and east of Corporate Center Drive, with the adjacent Multi Habitat Planning Area (MHPA) and Vernal Pool Habitat Conservation Preserve (VPHCP) located approximately 40 feet from the project site west of Corporate Center Drive. The development complies with the MSCP Subarea Plan, Vernal Pool Avoidance and Minimization Measures and the MHPA Land Use Adjacency Guidelines related to lighting, drainage, landscaping, grading, access, and noise, demonstrating compliance with Chapter 14, Article 3, Division 1 of the Land Development Code. Therefore, based on the above, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

IV. The proposed use is appropriate at the proposed location.

The project site is within the Ocean View Hills Corporate Center, a planned industrial and business park that includes an established commercial retail component at the corner of Otay Mesa Road and Corporate Center Drive. The retail center, constructed in 2006, consists of two buildings totaling 16,275 square feet and supports a variety of commercial uses that serve both the business park and the surrounding community.

The project proposes demolishing one of the existing commercial buildings—formerly occupied by a discount grocery and general store—and replacing it with a new McDonald's restaurant with a drive-thru, surface parking, and landscape improvements. The proposed restaurant represents a continuation of commercial activity on a site already designated and developed for such uses. It is compatible with existing on-site commercial tenants and with the broader business and industrial park context to the north.

Because the project replaces an underutilized vacant commercial space with a similar service-oriented commercial use functioning within an established retail center, the proposed use is appropriate at the proposed location.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.
3. Based on these findings adopted by the Hearing Officer, Conditional Use Permit No. PMT-3319528 is granted by the Hearing Officer to the referenced Owner/Permittee, in the form,

ATTACHMENT 5

exhibits, terms, and conditions as set forth in Conditional Use Permit No. PMT-3319528, a copy of which is attached to and made a part of this Resolution by this reference.

Ollie Shepherd
Development Project Manager
Development Services

Adopted on: May 6, 2026

IO#: 24010039

DRAFT

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
7650 Mission Valley Road, MS DSD-1A
San Diego, CA 92108

Office of Land Use and Climate Innovation
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Title / Number: 6021 Business Center Court / PRJ-1123958

State Clearinghouse No.: N/A

Project Location-Specific: 6021 Business Center Court, San Diego, CA 92154

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: CONDITIONAL USE PERMIT for the demolition of an existing 7,875-square foot commercial retail building with associated parking and the construction of a 3,694-square foot restaurant with dual drive thru lanes. The 1.18-acre site is designated as Light Industrial, per the Otay Mesa Community Plan, and zoned Industrial - Light (IL-2-1). Additionally, the project site is located within the Airport Land Use Compatibility Overlay Zone (Brown Field), the Airport Influence Area (Brown Field, Review Area 1 and 2), the Federal Aviation Administration part 77 Noticing Area (Brown Field), the ALUCP Safety Zone (Brown Field, Safety Zone 6), and the Community Plan Implementation Overlay Zone (CPIOZ-A). Council District 8. LEGAL DESCRIPTION: LOT 1 OF OCEAN VIEW HILLS CORPORATE CENTER UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13882, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 2, 1999.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Bickel Group, Inc., 3600 Birch Street, Suite 120, Newport Beach, CA 92660, (949) 757-0411.

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15303 (New Construction or Conversion of Small Structures) and Section 15332 (In-Fill Development Project)
- Statutory Exemptions:
- Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to 15303, New Construction or Conversion of Small

Structures. Section 15303 allows for the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. In urbanized areas, 15303(c) applies to up to four commercial (store, motel, office, restaurant, or similar structure) buildings not exceeding 10,000 square feet in floor area on site zoned for such use. The project meets this criteria since the construction one 3,694-square-foot restaurant with dual drive-thru lanes would not exceed the four commercial buildings and 10,000 square foot floor area thresholds.

The project would also qualify to be categorically exempt from CEQA pursuant to Section 15332, In-Fill Development Projects. The In-Fill Development Project exemption applies to projects characterized as in-fill that meet the conditions described in sections 15332(a) – (e). Consistent with section 15332(a), the project is consistent with the applicable general plan designation and policies as well as zoning regulations. The General Plan designates the site for Industrial Employment uses; the Otay Mesa Community Plan designates the site for Light Industrial uses; and the underlying IL-2-1 zone allows for a mix of light industrial, and office uses with limited commercial. Therefore, the proposed drive-thru restaurant (commercial use) would be consistent with the General Plan, applicable community plan and zone. Consistent with section 15332(b), the project would occur within City limits, the project site is no more than 5 acres and is substantially surrounded by urban uses. As defined in Public Resources Code section 21072, qualified urban uses means any residential, commercial, public institutional, transit or transportation passenger facility, or retail use, or any combination of those uses. The project site is 1.18 acres, or less than 5 acres. The site is substantially surrounded by urban uses which include Otay Mesa Road to the south, Corporate Center Drive directly west, commercial warehouses to the north and food service establishments and a shopping center directly northeast and east. In accordance with section 15332(c), the site is developed with urban uses and has no value as a habitat for endangered, rare or threatened species. Approval of the project would not result in significant effects relating to traffic, noise, air quality, or water quality as outlined in section 15332(d). **TRAFFIC:** Transportation studies were prepared to address circulation improvements and vehicle miles travelled (VMT) requirements consistent with the City's Transportation Study Manual. The project would implement pedestrian/vehicular circulation improvements and be considered locally serving and therefore presumed to have a less than significant impact related to transportation. **NOISE:** The project would be required to comply with SDMC sections 59.5.401 (Sound Level Limits) and 59.5.0404 (Construction Noise), thereby ensuring that noise impacts are less than significant. **AIR QUALITY:** The project would be required to comply with applicable local, state and federal regulations, thereby also ensuring that significant air quality impacts would not occur. This commercial use is consistent with the land use and underlying zone and the operational use of this restaurant is not anticipated to exacerbate air quality standards. **WATER QUALITY:** The project is considered a Medium Priority construction project and would be required to prepare a Stormwater Pollution Prevention Plan. The project is also considered a Priority Development Project and would use Best Management Practices (BMPs) for pollutant control. Adherence to applicable City, state, and federal requirements would ensure that the project does not affect water quality. Lastly, consistent with CEQA Guidelines section 15332(e), the project would be adequately served by utilities and public services. The proposed restaurant would result in no change in need for public services, and the project site would continue to be adequately served.

Furthermore, the project can be adequately served by all required utilities and public services as it is

located within an urban area with services present. The exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment was identified; the project is not adjacent to a scenic highway; lastly, the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

Analyst: Kristy Blodgett / (619) 236-7788

Filed by:

Ollie Shepherd / (619) 446-5412
Name/Phone Number

Signature

Development Project Manager
Title

Date

Check One:

- Signed by Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or LCI:

FORM
DS-318
July 2024

Ownership Disclosure Statement

Permit/Approval Type: Check the appropriate box for permit/approval and type(s) requested (See Project Submittal Manual):

Development Permit: Conditional Use Permit / General

Subdivision Approval: _____

Policy Approval: _____

Project Title: McDonald's Restaurant **Project No. For City Use Only:** _____

Project Location/Address/Accessor's Parcel Number:

6021 Business Center Court / 645-180-01-00

Specify Form of Ownership/Legal Status (please check):

Individual Partnership Corporation Limited Liability -or- General – What State? _____

Corporate Identification No.: _____ Trust - Date of Trust: May 2, 2000

City of San Diego/Asset Management Department: _____

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. On the second page of this form, please list the owner(s), the applicant(s), and other financially interested persons of the above-referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application, or:

Important Instructions

1. If the applicant includes a corporation or partnership, include the names, titles, and addresses of all individuals owning more than 10% of the shares.
2. If it's a publicly owned corporation, include the names, titles, and addresses of the corporate officers.
3. If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer, director, trustee or beneficiary of the nonprofit organization.
4. The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least 30 days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.
5. A signature is required of at least one of the property owners.
6. Attach additional pages if needed.

Property Owner/Authorized Agent

(Per)

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency
- City of San Diego/Asset Management Department*

Name of Individual:

Alex Shah

On behalf of:

Street Address: 9819 Mira Mesa Blvd

City: San Diego

State: CA

Zip: 92131

Phone Number:

Email:

Signature:

Alex Shah

Date:

9/18/2024

Additional pages attached: Yes No

**(Signature within this section not required for City of San Diego/Asset Management Department)*

Applicant Check if Same as Property Owner/Authorized Agent

(Per)

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

Name of Individual: Scott Wilkeson

On behalf of: McDonald's USA

Street Address: 110 N. Carpenter Street

City: Chicago

State: IL

Zip: 60607

Phone Number: 951-323-3002

Email: scott.wilkeson@us.mcd.com

Signature:

Scott Wilkeson

Date:

9/24/2024

Additional pages attached: Yes No

Other Financially Interested Persons Check if N/A

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

Name of Individual:

On behalf of:

Street Address:

City:

State:

Zip:

Phone Number:

Email:

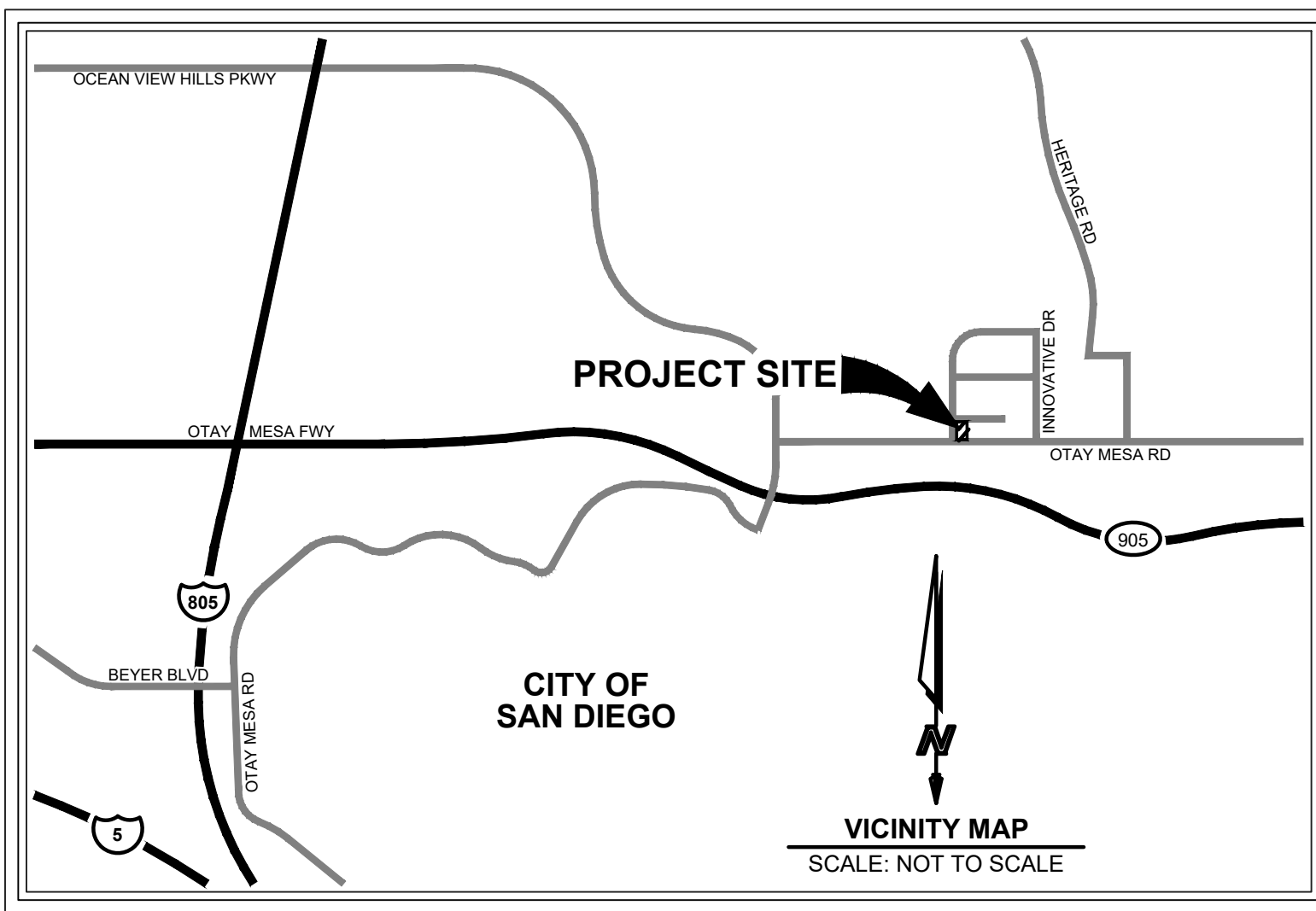
Signature:

Date:

Additional pages attached: Yes No

visit our web site: sandiego.gov/DSD.

Upon request, this information is available in alternative formats for persons with disabilities.



PROJECT SCOPE

A CONDITIONAL USE PERMIT APPLICATION FOR THE PROPOSED CONSTRUCTION OF A 3,694 SF RESTAURANT WITH DUAL DRIVE-THRU. PROJECT INCLUDES DEMOLITION OF THE EXISTING 7,875 SF COMMERCIAL RETAIL BUILDING AND PARKING SURFACES.

SITE INFORMATION:

APN: 645-180-01-00
 LEGAL DESCRIPTION:
 LOT 1 OF OCEAN VIEW HILLS CORPORATE CENTER UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13882, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 2, 1999.

COMMUNITY PLAN AREA: OTAY MESA
 GENERAL PLAN LAND USE DESIGNATION: INDUSTRIAL EMPLOYMENT
 COMMUNITY PLAN LAND USE DESIGNATION: LIGHT INDUSTRIAL
 ZONING DESIGNATION: IL-2-1

OVERLAY ZONES:
 AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (ALUCOZ): YES; BROWN FIELD
 CLAIREMONT MESA HEIGHT LIMIT OVERLAY: NO
 COASTAL HEIGHT LIMIT OVERLAY ZONE: NO
 COASTAL OVERLAY ZONE: NO; NONE
 COASTAL OVERLAY ZONE FIRST PUBLIC ROADWAY: NO
 COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE: YES; CPIOZ-A
 MISSION TRAILS: NO; NONE
 MOBILE HOME PARK OVERLAY ZONE: NO
 PARKING IMPACT OVERLAY ZONE: NO; NONE
 SENSITIVE COASTAL OVERLAY ZONE: NO; NONE
 TRANSIT OVERLAY ZONE: NO
 URBAN VILLAGE OVERLAY ZONE: NO

TRANSIT PRIORITY AREA: YES,
 TRANSIT STOP: BUS STOP ID: 99415
 (OTAY MESA RD & CORPORATE CENTER DR.)

GEOLOGIC HAZARD CATEGORY: 51, 53
 ELEVATION CONTOUR 5 FEET (1999): MIN: 500, MAX 505
 SLOPES 25% OR GREATER (1999): YES
 FIRE HYDRANTS (WITHIN 600'): YES, (4) EXISTING NEARBY HYDRANTS
 SEE SHEET C-4.0 PRELIM. UTILITY PLAN

SCHOOL DISTRICT:
 ELEMENTARY SCHOOL DISTRICT: GEN ELEM SAN YSIDRO
 HIGH SCHOOL DISTRICT: HIGH SEETWATER UNION
 UNIFIED SCHOOL DISTRICT: N/A

PALEONTOLOGICAL SENSITIVITY AREA: YES
 SENSITIVE VEGETATION: YES: PSV ,SV
 WATERSHED: SAN DIEGO BAY TIJUANA RIVER
 WATERSHED SUBAREA: 910.2 - OTAY VALLEY
 911.12 - WATER TANKS

FLOOR AREA RATIO:

TOTAL PROJECT AREA: ±51,400 SF / 1.18 AC
 TOTAL BUILDING AREA: ±3,694 SF (NOT INCLUDING UTILITY AREAS)
 FAR: 0.07

OTAY MESA COMMUNITY PLAN AREA MAX. FAR = 0.5

BUILDING DATA:

OCCUPANCY TYPE: A2
 CONSTRUCTION TYPE: TYPE VB - FULLY SPRINKLERED
 EXISTING USE: RETAIL BUILDING
 YEAR CONSTRUCTED: 2004
 PROPOSED USE: EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THROUGH COMPONENT

ALLOWABLE HEIGHT:

NO HEIGHT LIMITS FOR INDUSTRIAL BASE ZONES;
 ALLOWABLE HEIGHT ABOVE GRADE PLANE PER ALUCOZ OVERLAY = 35'
 PROPOSED: 21'

LANDSCAPING:

REQUIRED
 MINIMUM 25% LANDSCAPING
 51,400 SF (.25) = 12,850
 FRONTAGE LANDSCAPE 14,603 SF
 PARKING LANDSCAPE & PLANTERS AT BUILDINGS 6,955 SF
 TOTAL LANDSCAPE 21,558 SF

PARKING REQUIREMENTS:

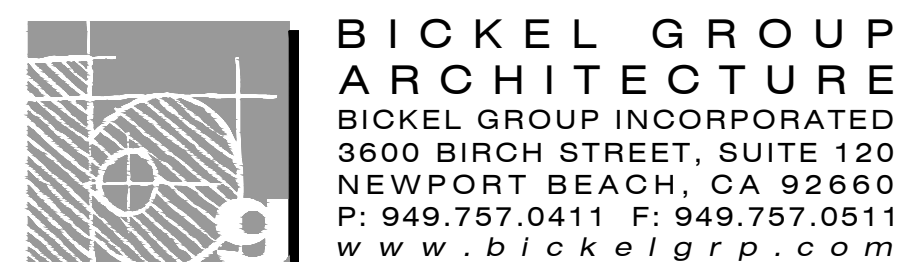
MINIMUM VEHICLE PARKING STALLS REQUIRED: 16
 (4.3 SPACES PER 1,000 SF OF GFA)
 MAXIMUM VEHICLE PARKING STALLS ALLOWED: 24
 (6.5 SPACES PER 1,000 SF OF GFA)
 STALLS PROVIDED: 16 STALLS
 ACCESSIBLE
 REQUIRED: 1 (1-25 PARKING SPACES)
 PROVIDED: 2 STALLS (1 VAN ACCESSIBLE + 1 STANDARD)]
 EV CAPABLE:
 REQUIRED: 4 (10-25 ACTUAL PARKING SPACES)
 PROVIDED: 4 STALLS (INCLUDES 1 VAN ACCESSIBLE)
 EV CHARGER:
 REQUIRED: 0 / PROVIDED: 0
 CARPOOL / ZERO EMISSIONS:
 REQUIRED: 1 PER 10-25 AUTOMOBILE PARKING SPACES
 PROVIDED: 1 STALL
 MOTORCYCLE PARKING:
 REQUIRED: 2 (2% OF PARKING PROVIDED OR 2 SPACES, WHICHEVER IS GREATER)
 PROVIDED: 2 STALLS
 LONG TERM BICYCLE:
 REQUIRED: 1 (5% OF PARKING PROVIDED)
 PROVIDED: 2 LOCKERS
 SHORT TERM BICYCLE:
 REQUIRED: 2 (5% OF PARKING PROVIDED)
 PROVIDED: 2 RACKS

PROJECT TEAM

OWNER: ALEX SHAH
 9819 MIRA MESA BLVD.
 SAN DIEGO, CA 92131
TENANT: MCDONALD'S USA
 110 N. CARPENTER STREET
 CHICAGO, IL 60607
 TEL: (951) 323-3002
 CONTACT: SCOTT WILKESON
ARCHITECT: BICKEL GROUP ARCHITECTURE
 3600 BIRCH ST.
 SUITE 120
 NEWPORT BEACH, CALIFORNIA 92660
 TEL (949) 757-0411 FAX (949) 757-0511
 CONTACT: JUNORA BRANES
 JAMIE PHAM
CIVIL ENGINEER: ATLAS CIVIL DESIGN
 872 HIGUERA STREET
 SAN LUIS OBISPO, CA 93401
 TEL: (858) 294-0667
 CONTACT: LAURA ZUILL
GEOTECHNICAL ENGINEER: LEIGHTON CONSULTING, INC
 41715 ENTERPRISE CIRCLE N, SUITE 103
 TEMECULA, CA 92590
 TEL: (951) 296-0530
 CONTACT: STEVEN NORTON
LANDSCAPE ARCHITECT: CHARLES TROWBRIDGE & ASSOC.
 17901 ROMELLE AVE.
 SANTA ANA, CA 92705
 TEL: (714) 532-3663
 CONTACT: CHARLES TROWBRIDGE
CONTRACTOR: T.B.D.

SHEET INDEX

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 A-1.0 SITE PLAN
 A-1.1 VEHICLE AND PED EXHIBIT
 A-1.3 MHPA
 A-2.0 FLOOR PLAN
 A-2.1 ROOF PLAN
 A-3.0 ELEVATIONS
 A-4.0 SECTIONS
 C-1.0 EXISTING CONDITIONS
 C-2.0 PRELIMINARY GRADING AND BMP PLAN
 C-3.0 CROSS SECTIONS
 C-4.0 PRELIMINARY UTILITY PLAN
 L-1.0 PRELIMINARY LANDSCAPE PLAN
 L-1.1 LANDSCAPE YARD CALCULATION
 P-1.0 PHOTOMETRIC PLAN



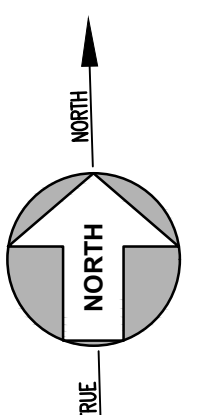
MCDONALD'S 004-5189
 6021 BUSINESS CENTER COURT
 SAN DIEGO, CALIFORNIA

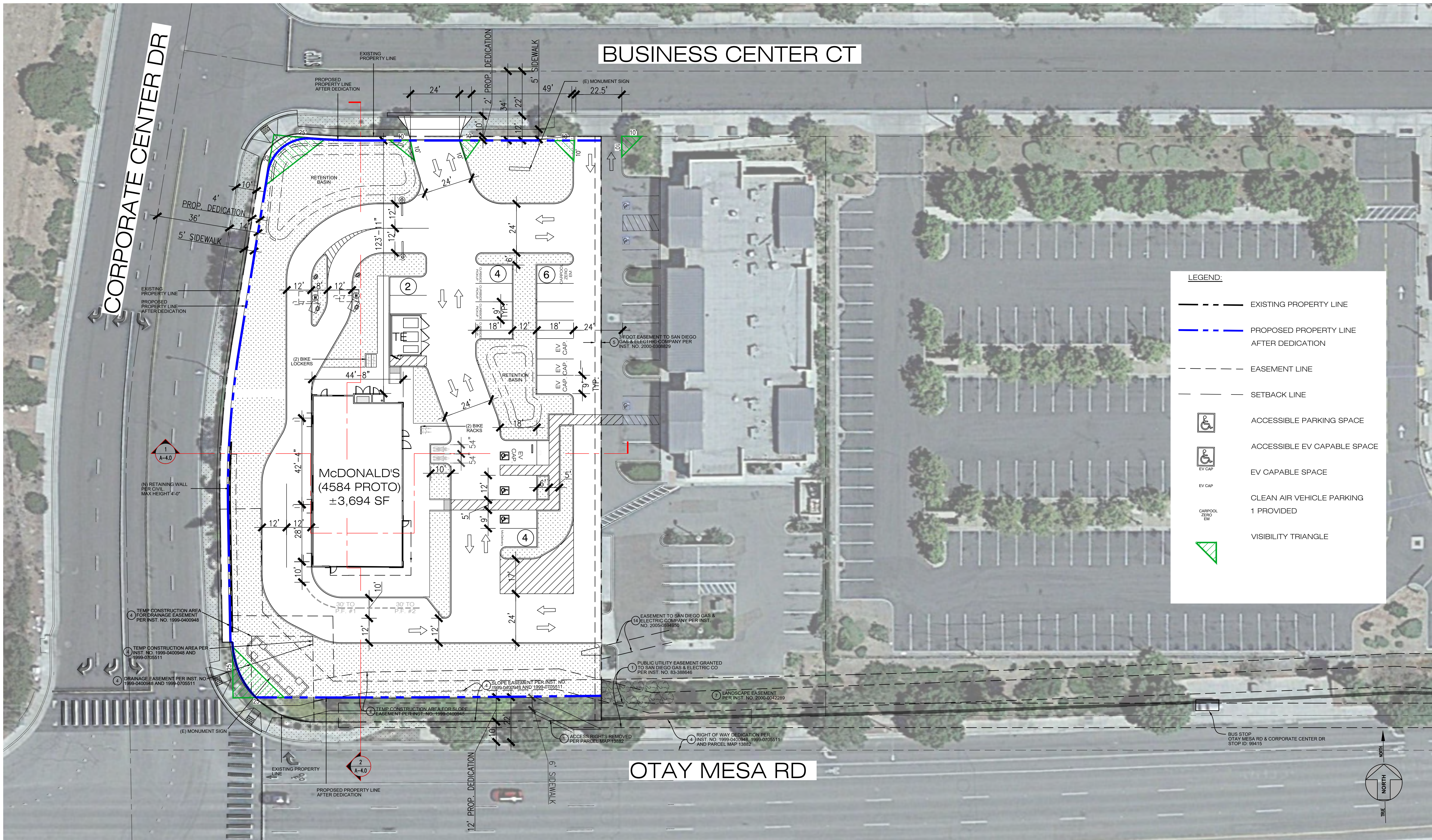
A-0.0
TITLE SHEET

Scale: 1" = 30'
 March 26, 2025

P:\23\23660 - McD San Diego, 6021 Business Center Ct
 004-5189\Design\Site\23660 - Site Plan.dwg

The plans, ideas, arrangements and designs indicated or represented by this drawing are owned by, and are the property of BICKEL GROUP, and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from BICKEL GROUP © 2017.





LEGEND:

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE AFTER DEDICATION
- EASEMENT LINE
- SETBACK LINE
- ACCESSIBLE PARKING SPACE
- ACCESSIBLE EV CAPABLE SPACE
- EV CAPABLE SPACE
- CLEAN AIR VEHICLE PARKING 1 PROVIDED
- CARPOOL ZERO EM
- VISIBILITY TRIANGLE

BICKEL GROUP ARCHITECTURE
 BICKEL GROUP INCORPORATED
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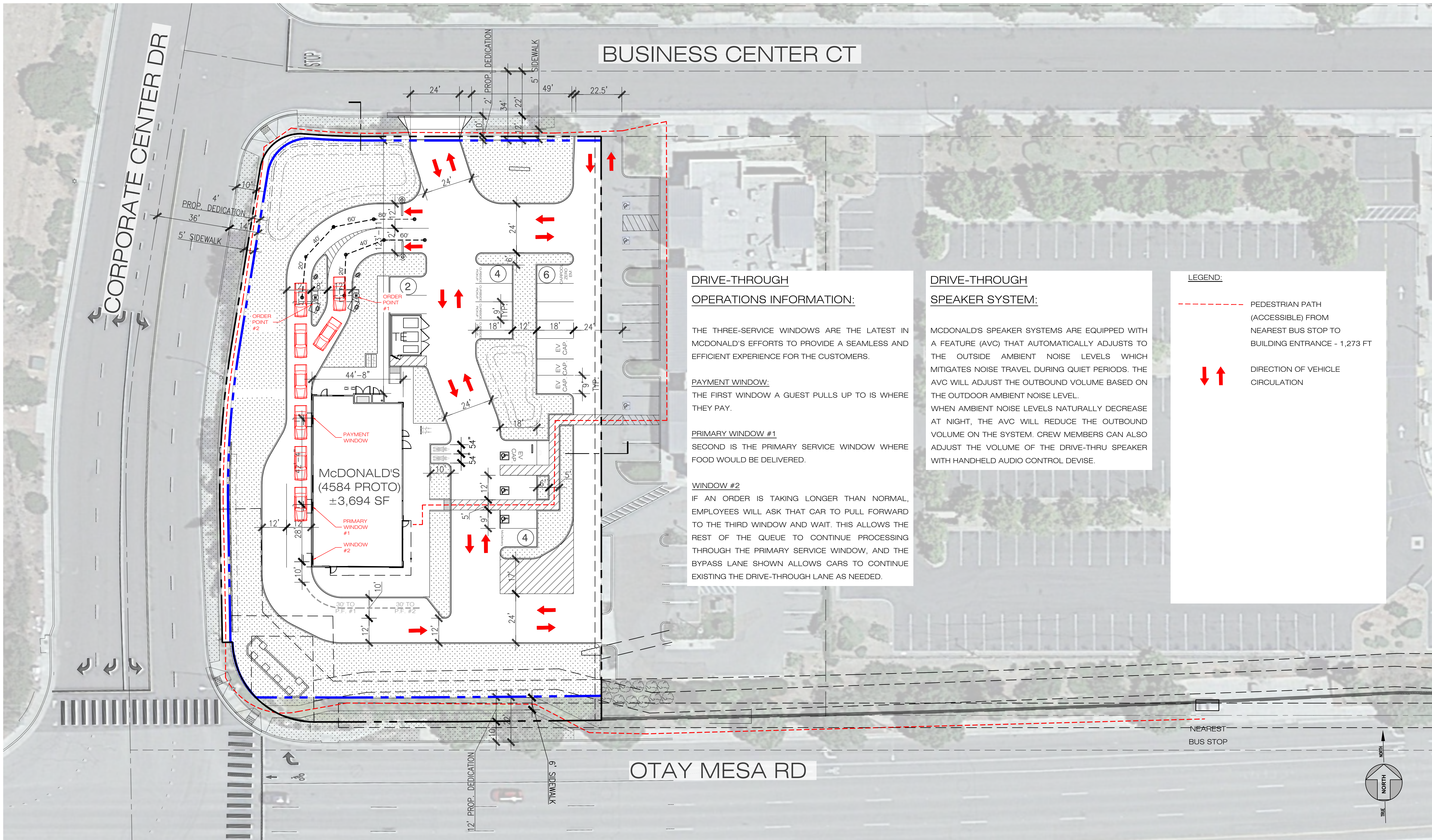
McDONALD'S 004-5189

6021 BUSINESS CENTER COURT
 SAN DIEGO, CALIFORNIA

A-1.0
 SITE PLAN
 Scale: 1" = 20'
 March 26, 2025

P:\23\23660 - McD San Diego, 6021 Business Center Ct
 004-5189\Design\Site\23660 - Site Plan.dwg

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DRIVE-THROUGH OPERATIONS INFORMATION:

THE THREE-SERVICE WINDOWS ARE THE LATEST IN MCDONALD'S EFFORTS TO PROVIDE A SEAMLESS AND EFFICIENT EXPERIENCE FOR THE CUSTOMERS.

PAYMENT WINDOW:
THE FIRST WINDOW A GUEST PULLS UP TO IS WHERE THEY PAY.

PRIMARY WINDOW #1
SECOND IS THE PRIMARY SERVICE WINDOW WHERE FOOD WOULD BE DELIVERED.

WINDOW #2
IF AN ORDER IS TAKING LONGER THAN NORMAL, EMPLOYEES WILL ASK THAT CAR TO PULL FORWARD TO THE THIRD WINDOW AND WAIT. THIS ALLOWS THE REST OF THE QUEUE TO CONTINUE PROCESSING THROUGH THE PRIMARY SERVICE WINDOW, AND THE BYPASS LANE SHOWN ALLOWS CARS TO CONTINUE EXISTING THE DRIVE-THROUGH LANE AS NEEDED.

DRIVE-THROUGH SPEAKER SYSTEM:

MCDONALD'S SPEAKER SYSTEMS ARE EQUIPPED WITH A FEATURE (AVC) THAT AUTOMATICALLY ADJUSTS TO THE OUTSIDE AMBIENT NOISE LEVELS WHICH MITIGATES NOISE TRAVEL DURING QUIET PERIODS. THE AVC WILL ADJUST THE OUTBOUND VOLUME BASED ON THE OUTDOOR AMBIENT NOISE LEVEL. WHEN AMBIENT NOISE LEVELS NATURALLY DECREASE AT NIGHT, THE AVC WILL REDUCE THE OUTBOUND VOLUME ON THE SYSTEM. CREW MEMBERS CAN ALSO ADJUST THE VOLUME OF THE DRIVE-THRU SPEAKER WITH HANDHELD AUDIO CONTROL DEVICE.

LEGEND:

- PEDESTRIAN PATH (ACCESSIBLE) FROM NEAREST BUS STOP TO BUILDING ENTRANCE - 1,273 FT
- ↕↕ DIRECTION OF VEHICLE CIRCULATION

MHPA LAND USE ADJACENCY GUIDELINES



DRAINAGE
 ALL NEW AND PROPOSED PARKING LOTS AND DEVELOPED AREAS IN AND ADJACENT TO THE PRESERVE MUST NOT DRAIN DIRECTLY INTO THE MHPA. ALL DEVELOPED AND PAVED AREAS MUST PREVENT THE RELEASE OF TOXINS, CHEMICALS, PETROLEUM PRODUCTS, EXOTIC PLANT MATERIALS AND OTHER ELEMENTS THAT MAY ADVERSELY AFFECT THE ADJACENT MHPA. INSTEAD, RUNOFF SHOULD FLOW INTO SEDIMENTATION BASINS, GRASSY SWALES OR MECHANICAL TRAPPING DEVICES PRIOR TO DRAINING INTO THE MHPA. STORM WATER SYSTEMS SHOULD BE MAINTAINED APPROXIMATELY ONCE A YEAR, OR AS OFTEN AS NEEDED, TO ENSURE PROPER FUNCTIONING. MAINTENANCE SHOULD INCLUDE DREDGING OUT SEDIMENTS IF NEEDED, REMOVING EXOTIC PLANT MATERIALS, AND ADDING CHEMICAL-NEUTRALIZING COMPOUNDS (E.G., CLAY COMPOUNDS) WHEN NECESSARY AND APPROPRIATE.

TOXINS
 LAND USES, SUCH AS RECREATION AND AGRICULTURE, THAT USE CHEMICALS OR GENERATE BY-PRODUCTS SUCH AS MANURE, THAT ARE POTENTIALLY TOXIC OR IMPACTIVE TO WILDLIFE, SENSITIVE SPECIES, HABITAT, OR WATER QUALITY SHALL INCORPORATE MEASURES TO REDUCE IMPACTS CAUSED BY THE APPLICATION AND/OR DRAINAGE OF SUCH MATERIALS INTO THE MHPA. SUCH MEASURES SHOULD INCLUDE DRAINAGE/DETENTION BASINS, SWALES, OR HOLDING AREAS WITH NON-INVASIVE GRASSES OR WETLAND-TYPE NATIVE VEGETATION TO FILTER OUT THE TOXIC MATERIALS. REGULAR MAINTENANCE SHOULD BE PROVIDED.

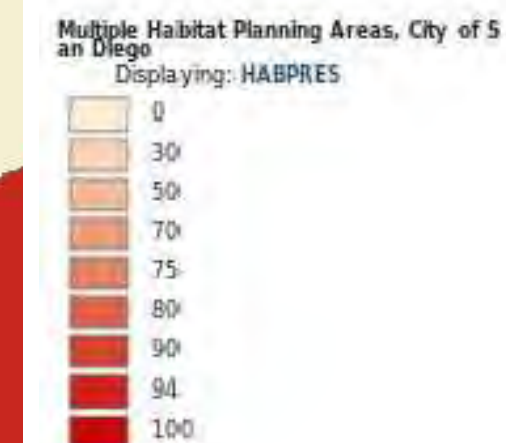
LIGHTING
 LIGHTING OF ALL DEVELOPED AREAS ADJACENT TO THE MHPA SHOULD BE DIRECTED AWAY FROM THE MHPA. WHERE NECESSARY, DEVELOPMENT SHOULD PROVIDE ADEQUATE SHIELDING WITH NON-INVASIVE PLANT MATERIALS (PREFERABLY NATIVE), BERMING, AND/OR OTHER METHODS TO PROTECT THE MHPA AND SENSITIVE SPECIES FROM NIGHT LIGHTING. PLEASE SEE MUNICIPAL CODE §142.0740 FOR FURTHER INFORMATION IF NEEDED.

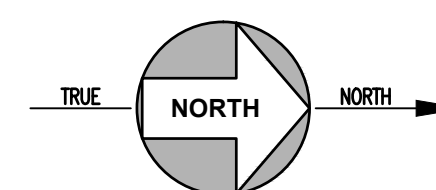
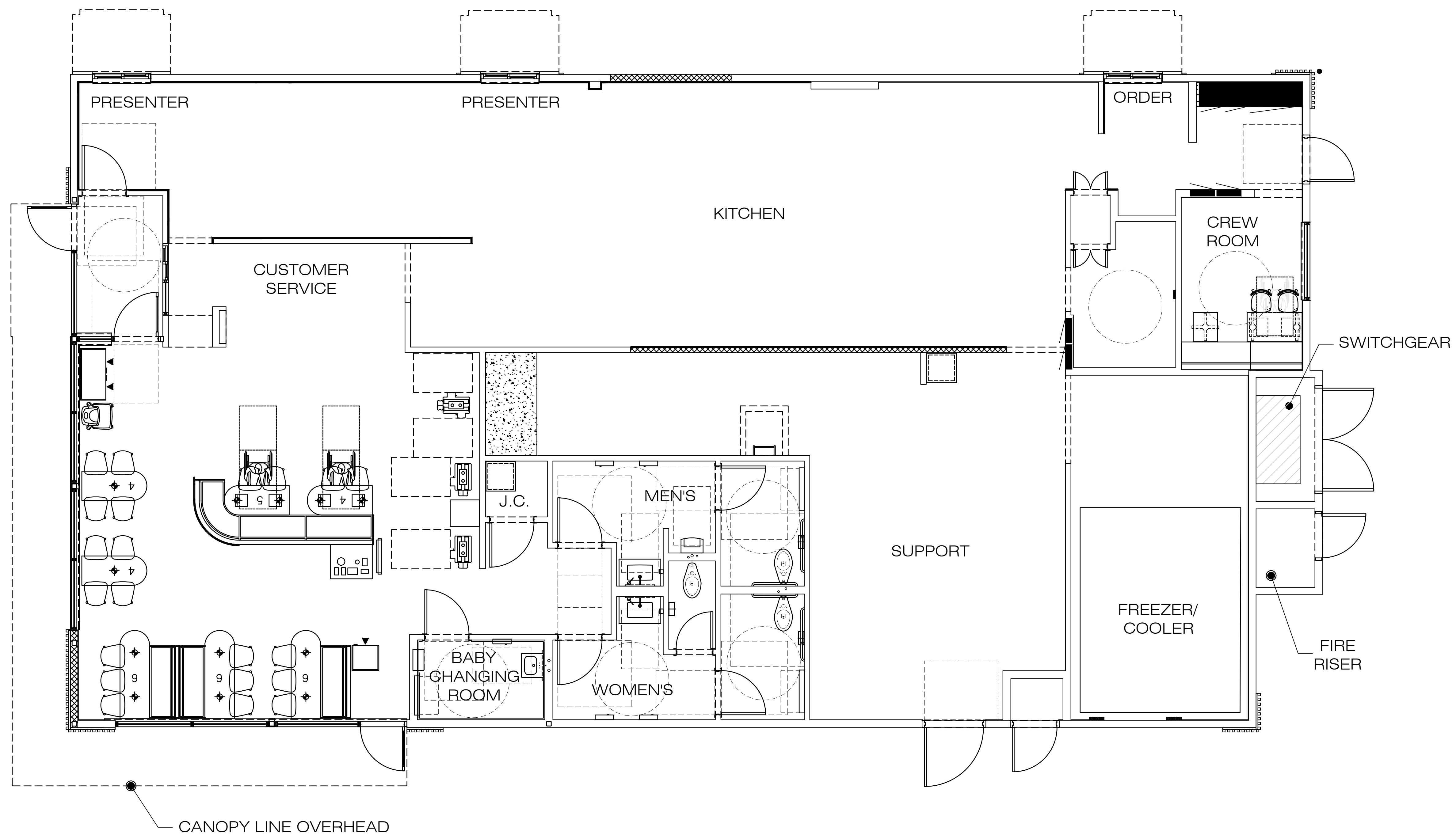
LANDSCAPING
 NO INVASIVE NON-NATIVE PLANT SPECIES SHALL BE INTRODUCED INTO AREAS ADJACENT TO THE MHPA. THE LANDSCAPE PLAN SHOULD BE REVISED TO DELETE INVASIVE PLANT SPECIES, E.G., CORTADERIA SELLOANA...FROM THE PLANTING PALETTE.
GRADING/LAND DEVELOPMENT
 MANUFACTURED SLOPES ASSOCIATED WITH SITE DEVELOPMENT SHALL BE INCLUDED WITHIN THE DEVELOPMENT FOOTPRINT FOR PROJECTS WITHIN OR ADJACENT TO THE MHPA.

BARRIERS
 DEVELOPMENT ADJACENT TO THE MHPA SHALL PROVIDE BARRIERS WHERE APPROPRIATE (E.G., NON-INVASIVE VEGETATION, ROCKS/BOULDERS, FENCES, WALLS, AND/OR SIGNAGE) ALONG THE MHPA BOUNDARIES TO DIRECT PUBLIC ACCESS TO APPROPRIATE LOCATIONS AND REDUCE DOMESTIC ANIMAL PREDATION.

BRUSH MANAGEMENT
 ALL ZONE 1 BRUSH MANAGEMENT AREAS MUST BE INCLUDED WITHIN THE DEVELOPMENT FOOTPRINT AND OUTSIDE THE MHPA. BRUSH MANAGEMENT ZONE 2 MAY BE PERMITTED WITHIN THE MHPA (CONSIDERED IMPACT NEUTRAL) BUT CANNOT BE USED AS MITIGATION. THE AMOUNT OF WOODY VEGETATION CLEARING SHALL NOT EXCEED 50 PERCENT OF THE VEGETATION EXISTING WHEN THE INITIAL CLEARING IS DONE. VEGETATION CLEARING SHALL BE DONE CONSISTENT WITH MUNICIPAL CODE §142.0412 AND SHALL AVOID/MINIMIZE IMPACTS TO COVERED SPECIES TO THE MAXIMUM EXTENT POSSIBLE. FOR ALL NEW DEVELOPMENT, REGARDLESS OF THE OWNERSHIP, THE BRUSH MANAGEMENT IN THE ZONE 2 AREA WILL BE THE RESPONSIBILITY OF A HOMEOWNERS ASSOCIATION OR OTHER PRIVATE PARTY.

NOISE
 DUE TO THE SITE'S LOCATION ADJACENT TO (COULD ALSO BE WITHIN) THE MHPA, CONSTRUCTION NOISE WILL NEED TO BE AVOIDED, IF POSSIBLE, DURING THE BREEDING SEASON OF THE CALIFORNIA GNATCATCHER (3/1-8/15), LEAST BELL'S VIREO (3/15-9/15), SOUTHWESTERN WILLOW FLYCATCHER (5/1-8/30). IF CONSTRUCTION IS PROPOSED DURING THE BREEDING SEASON FOR THE SPECIES, U.S. FISH AND WILDLIFE SERVICE PROTOCOL SURVEYS WILL BE REQUIRED IN ORDER TO DETERMINE SPECIES PRESENCE/ABSENCE. IF THE SPECIES IS/ARE NOT IDENTIFIED WITHIN THE MHPA, NO ADDITIONAL MEASURES WILL BE REQUIRED. IF PRESENT, MEASURES TO MINIMIZE NOISE IMPACTS WILL BE REQUIRED AND SHOULD INCLUDE TEMPORARY NOISE WALLS/BERMS. IF A SURVEY IS NOT CONDUCTED AND CONSTRUCTION IS PROPOSED DURING THE SPECIES' BREEDING SEASON, PRESENCE WOULD BE ASSUMED AND A TEMPORARY WALL/BERM WOULD BE REQUIRED. NOISE LEVELS FROM CONSTRUCTION ACTIVITIES DURING THE BIRD BREEDING SEASON SHOULD NOT EXCEED 60 DBA HOURLY LEQ AT THE EDGE OF THE OCCUPIED MHPA, OR THE AMBIENT NOISE LEVEL IF NOISE LEVELS ALREADY EXCEED 60 DBA HOURLY LEQ.





A-2.0
FLOOR PLAN

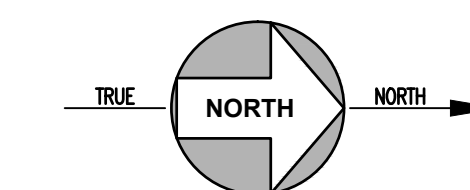
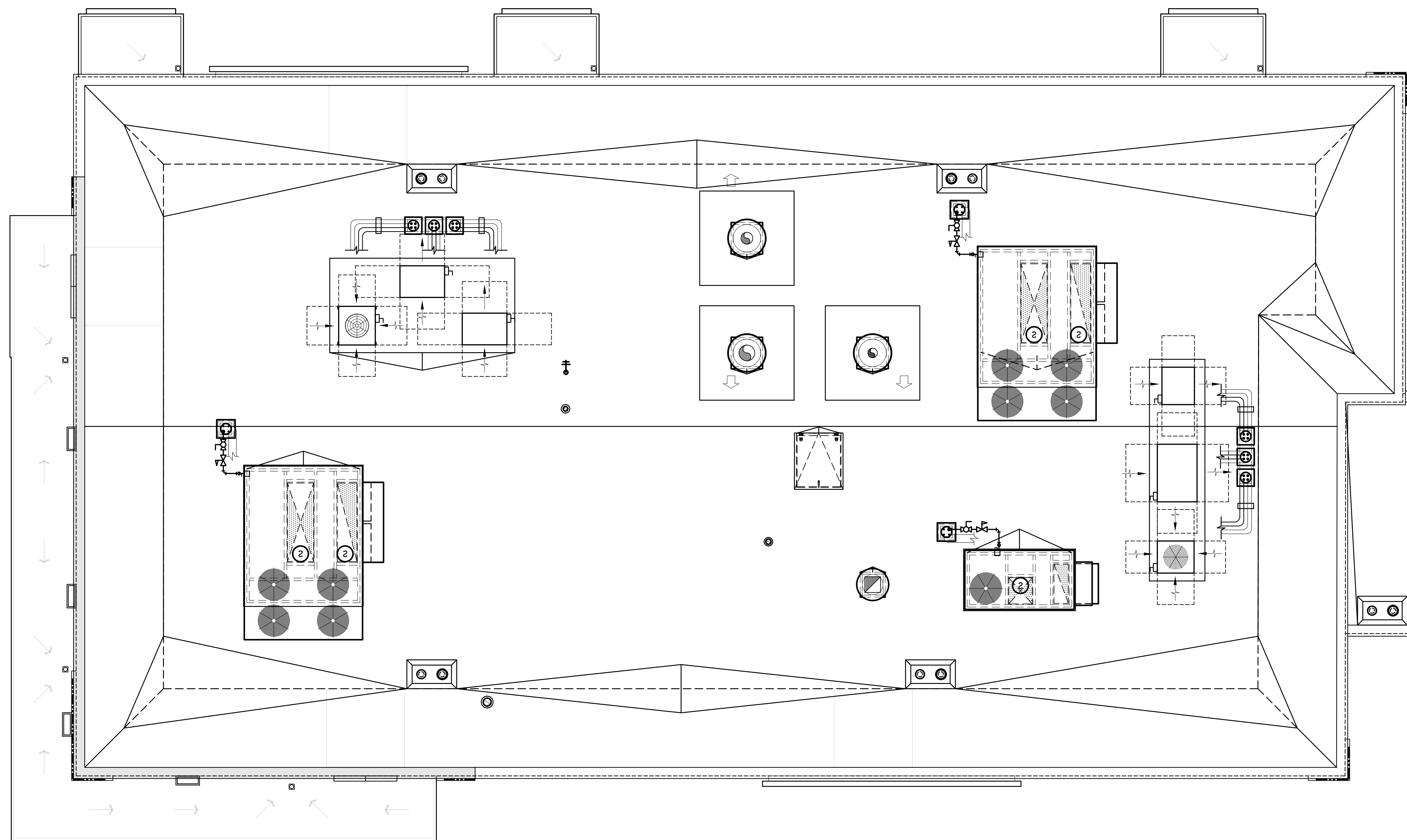
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October 21, 2024

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A-2.1
ROOF PLAN

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SOUTH ELEVATION



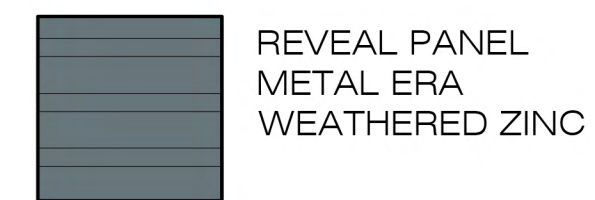
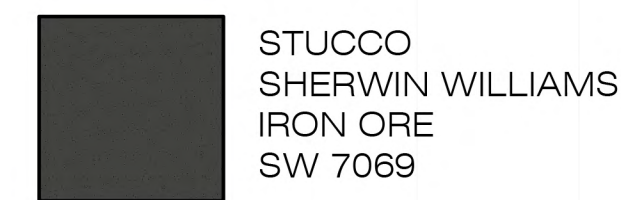
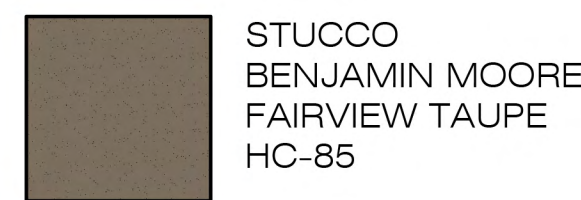
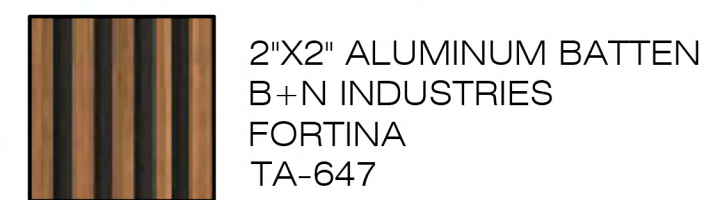
EAST ELEVATION

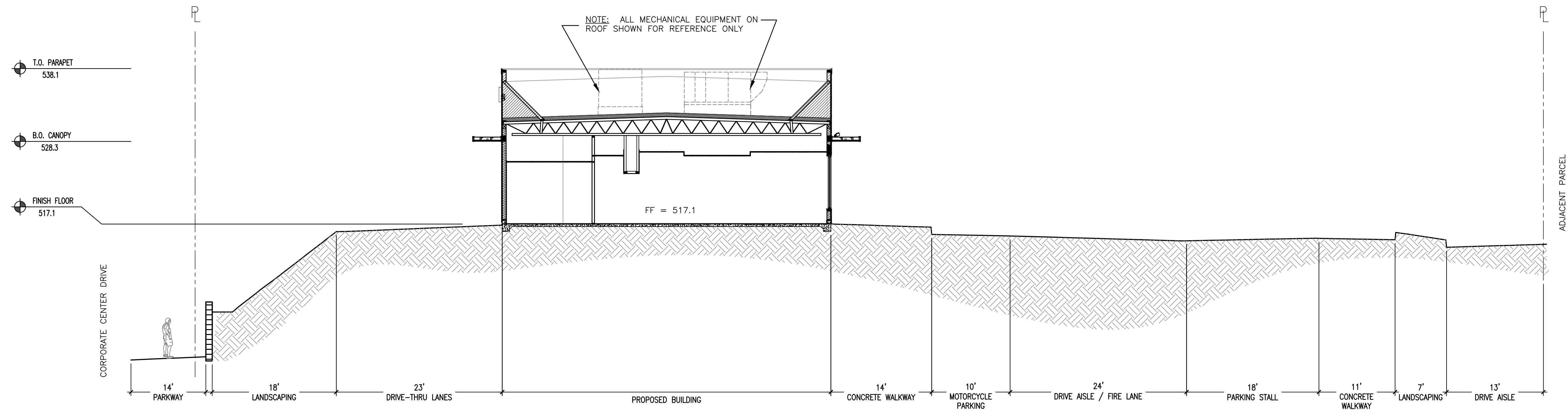


NORTH ELEVATION

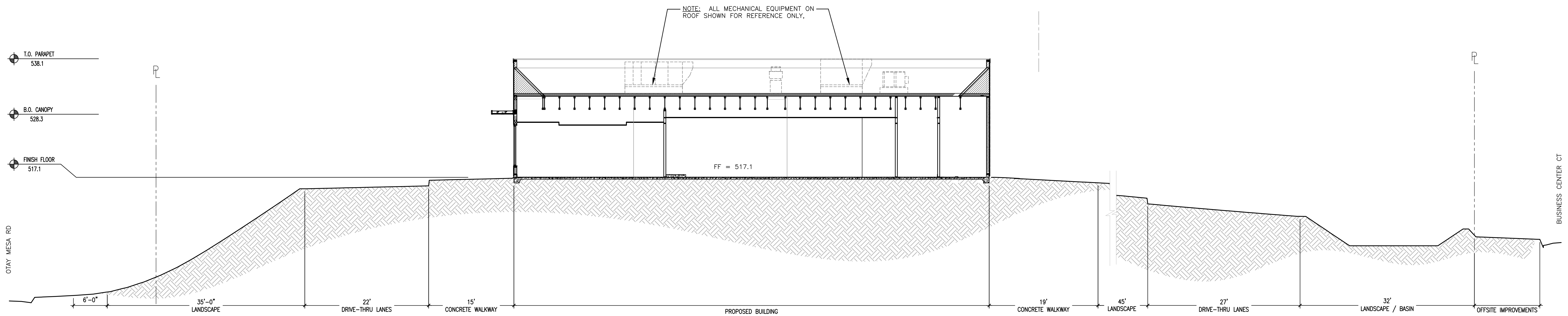


WEST ELEVATION





1 EAST TO WEST BUILDING/SITE SECTION
SCALE: 1/8"=1'-0"



2 NORTH TO SOUTH BUILDING/SITE SECTION
SCALE: 1/8"=1'-0"



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A-4.0 SECTIONS

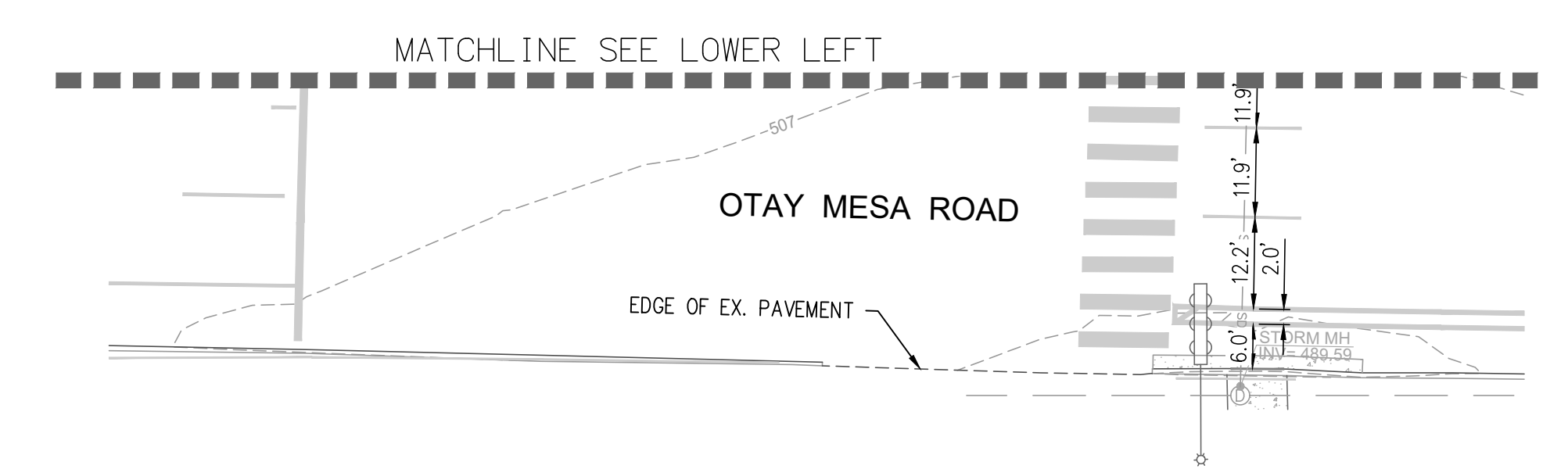
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LEGEND

	EXISTING PROPERTY BOUNDARY LINE
	PROPOSED SETBACK
	CENTERLINE
	EASEMENT LINE
	EXISTING CONTOURS
	LIMITS OF WORK
	FLOW DIRECTION
	FOUND MONUMENT



BENCHMARK

THE OFF-SITE BENCHMARK IS BASED ON MEAN SEA LEVEL DATUM, BENCHMARK USED IS CITY OF SAN DIEGO BRASS PLUG ON THE NORTHEAST TOP INLET, LOCATED AT CORPORATE AVENUE. ELEVATION = 506.22 FEET.

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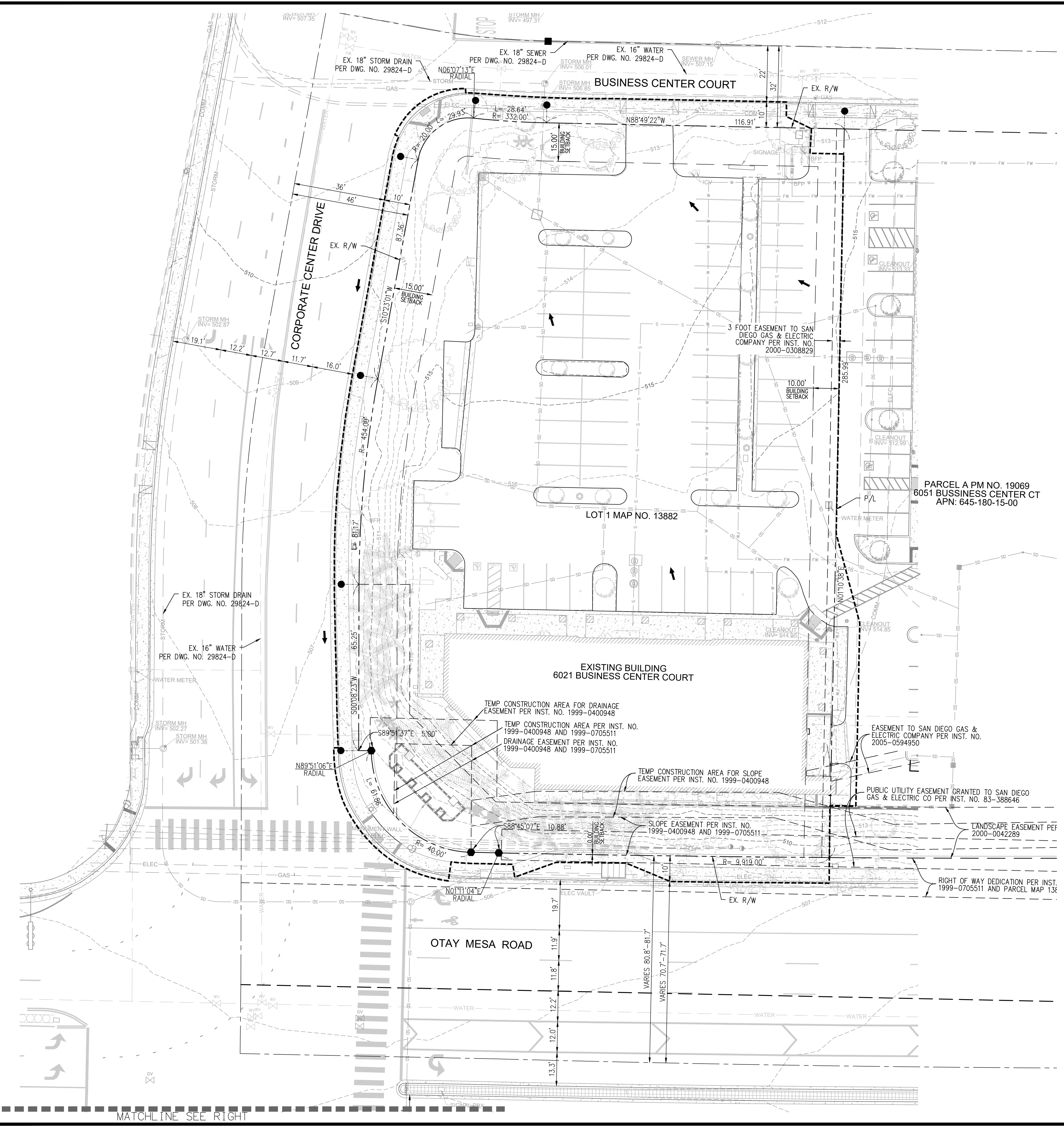
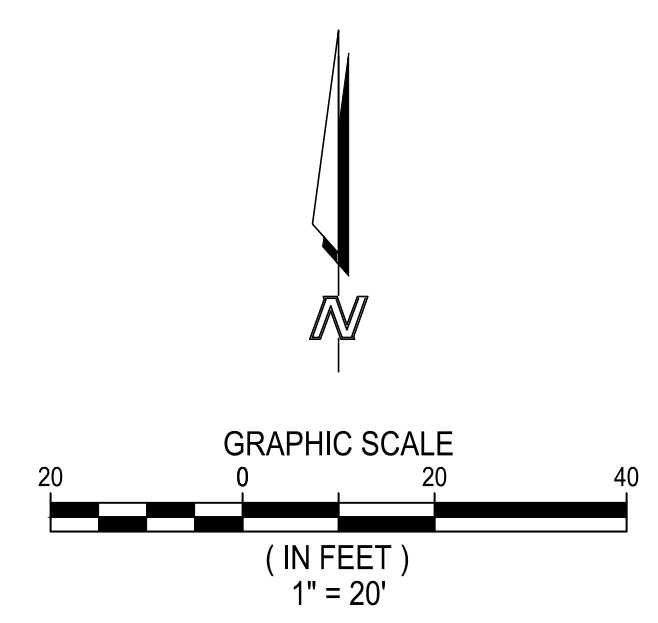
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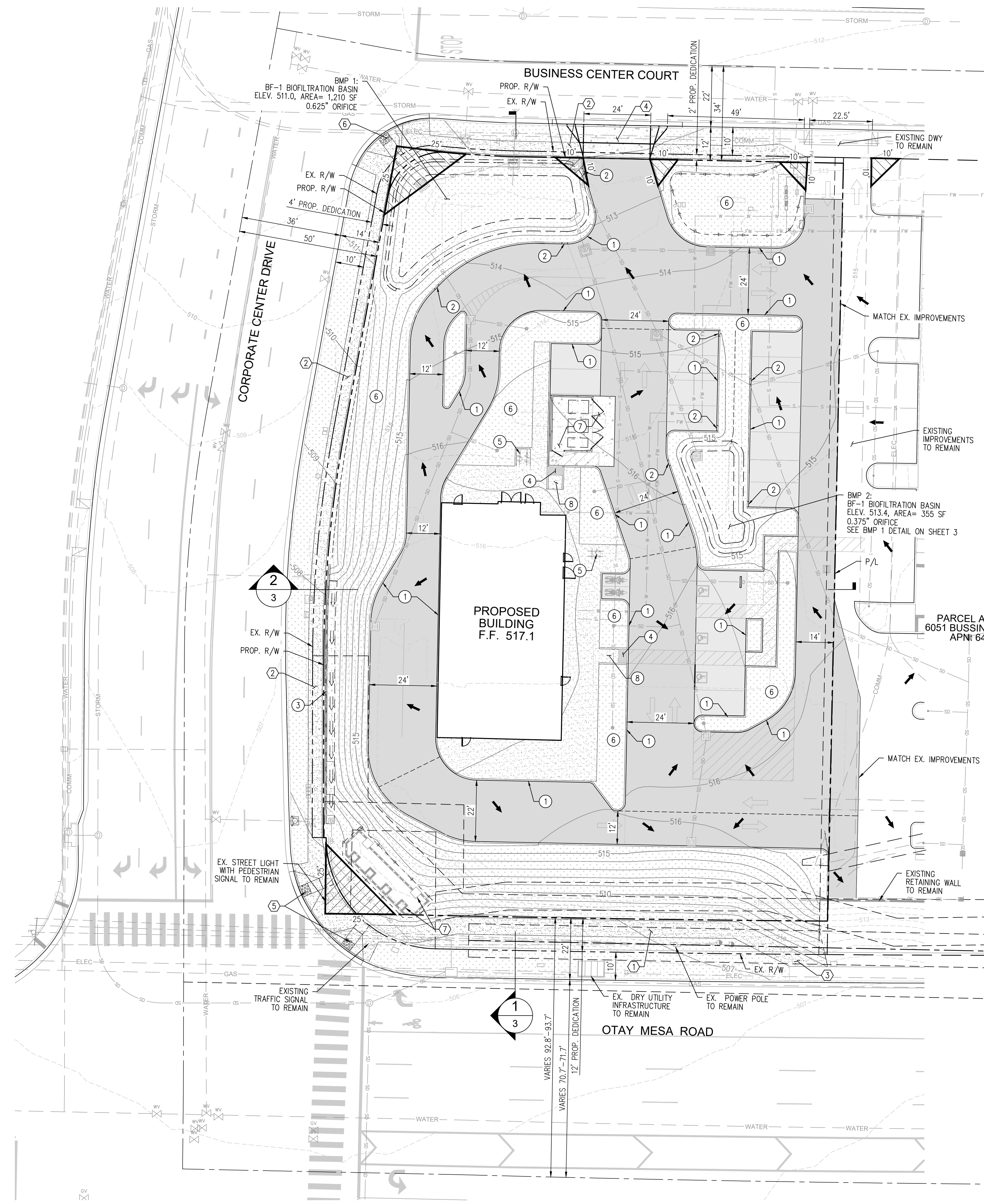
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The City of **SAN DIEGO** DEVELOPMENT SERVICES DEPARTMENT

SHEET 1 OF 4 SHEETS

PROJECT NO. PRJ-1123958
SHEET TITLE: **EXISTING CONDITIONS**





- ### ON-SITE KEYNOTES
- PROPOSED CURB AND/OR GUTTER.
 - PROPOSED CURB CUT.
 - PROPOSED CMU RETAINING WALL WITH 2' WIDE DITCH, 4' MAX. RETAINED HEIGHT.
 - PROPOSED TRUNCATED DOMES.
 - PROPOSED BIKE RACKS PER ARCHITECTURAL PLAN.
 - PROPOSED LANDSCAPE PER LANDSCAPE PLAN.
 - PROPOSED TRASH ENCLOSURE WITH GATE AND BLOCK WALL PER ARCHITECTURAL PLAN.
 - PROPOSED ACCESSIBLE CURB RAMP.

- ### PUBLIC IMPROVEMENT KEYNOTES
- REPLACE EX. CONTIGUOUS SIDEWALK W/ 6' WIDE NON-CONTIGUOUS SIDEWALK PER SDG-155.
 - REPLACE EX. CONTIGUOUS SIDEWALK W/ 5' WIDE NON-CONTIGUOUS SIDEWALK PER SDG-155.
 - TRANSITION TO EX. CONTIGUOUS SIDEWALK.
 - PROPOSED COMMERCIAL DRIVEWAY PER SDG-163.
 - REMOVE EX. CURB RAMP AND INSTALL TYPE A DUAL CURB RAMPS PER SDG-134.
 - REMOVE AND REPLACE CURB RAMP TYPE A PER SDG-132.
 - PROTECT IN PLACE EX. LANDSCAPE WALL AND MONUMENT SIGN. PROPOSED SIDEWALK TO TRANSITION AROUND EXISTING WALL.

VISIBILITY TRIANGLES

NO FENCE/SHRUBS HIGHER THAN 36 INCHES IN HEIGHT ARE PERMITTED IN THE VISIBILITY AREAS OF THE PROJECT DRIVEWAYS ON BUSINESS CENTER CT. AND STREET INTERSECTION OF OTAY MESA RD/ CORPORATE CENTER DR. REVISE THE SITE PLAN TO SHOW VISIBILITY TRIANGLES WITH DIMENSIONS AT PROJECT DRIVEWAYS AND THE NORTHWEST CORNER OF THE STREET INTERSECTION OF CORPORATE CENTER DRIVE/OTAY MESA ROAD AND CLEARLY NOTE ON THE PLANS THAT NO OBJECTS HIGHER THAN 36 INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS. REFER TO THE LAND DEVELOPMENT CODE SECTION 113.0273 FOR MEASURING VISIBILITY AREA.

IMPERVIOUS AREAS

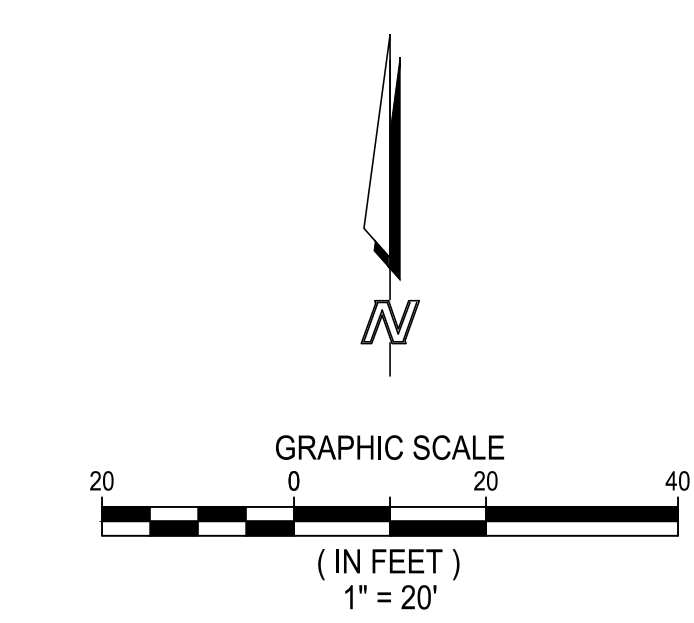
PROJECT AREA: 49,000 SF
 PROPOSED IMPERVIOUS AREA (NEW AND REPLACED): 31,100 SF
 NOTE: AREA TABULATION EXCLUDES WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

GRADING QUANTITIES

GRADED AREA	1.26 [ACRES]	MAX. CUT DEPTH UNDER BUILDING	0.5 [FT]
CUT QUANTITIES	1800 [CYD]	MAX. CUT DEPTH OUTSIDE BUILDING	8.0 [FT]
FILL QUANTITIES	500 [CYD]	MAX. CUT SLOPE RATIO (2:1MAX)	2:1
EXPORT	1300 [CYD]	MAX. FILL DEPTH UNDER BUILDING	1.5 [FT]
		MAX. FILL DEPTH OUTSIDE BUILDING	2.0 [FT]
		MAX. FILL SLOPE RATIO (2:1MAX)	2:1

NOTE: MAX. CUT DEPTH OCCURS DUE TO CITY OF SAN DIEGO REQUIREMENT FOR 22' PARKWAY WITH NON-CONTIGUOUS SIDEWALK ON OTAY MESA ROAD.

THIS PROJECT PROPOSES TO EXPORT 1300 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.



LEGEND

	EXISTING PROPERTY BOUNDARY LINE
	PROPOSED PROPERTY BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING CONTOURS
	PROPOSED STORM DRAIN
	PROPOSED VEHICULAR CONCRETE
	PROPOSED PEDESTRIAN CONCRETE
	PROPOSED HEAVY DUTY AC PAVEMENT
	PROPOSED LIGHT DUTY AC PAVEMENT
	PROPOSED LANDSCAPE
	FLOW DIRECTION



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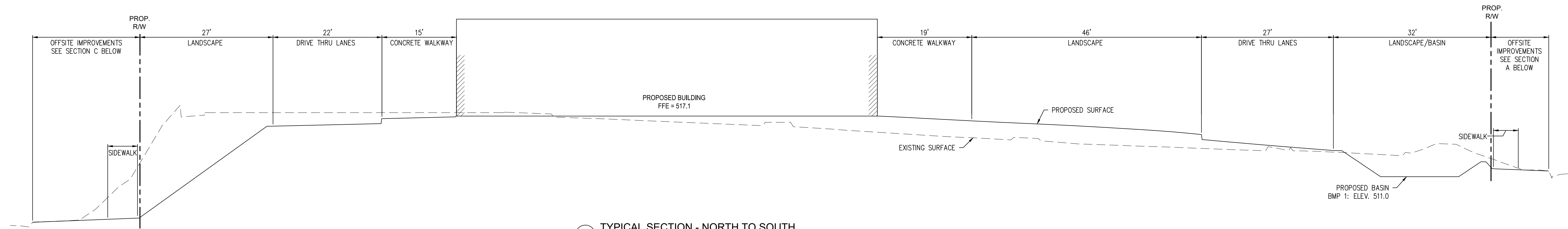
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The City of **SAN DIEGO** DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 4 SHEETS PROJECT NO. PRJ-1123958 SHEET TITLE: PRELIMINARY GRADING AND BMP PLAN

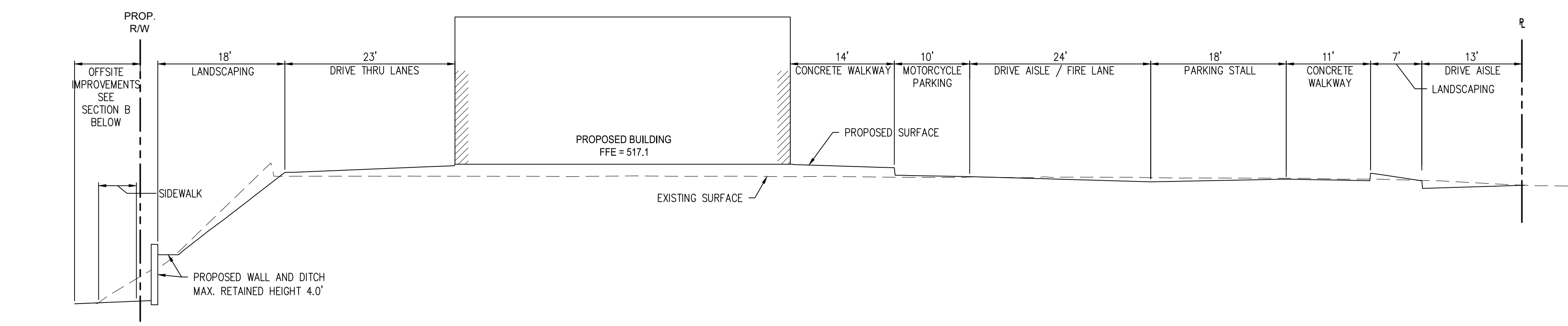


1 TYPICAL SECTION - NORTH TO SOUTH
NOT TO SCALE

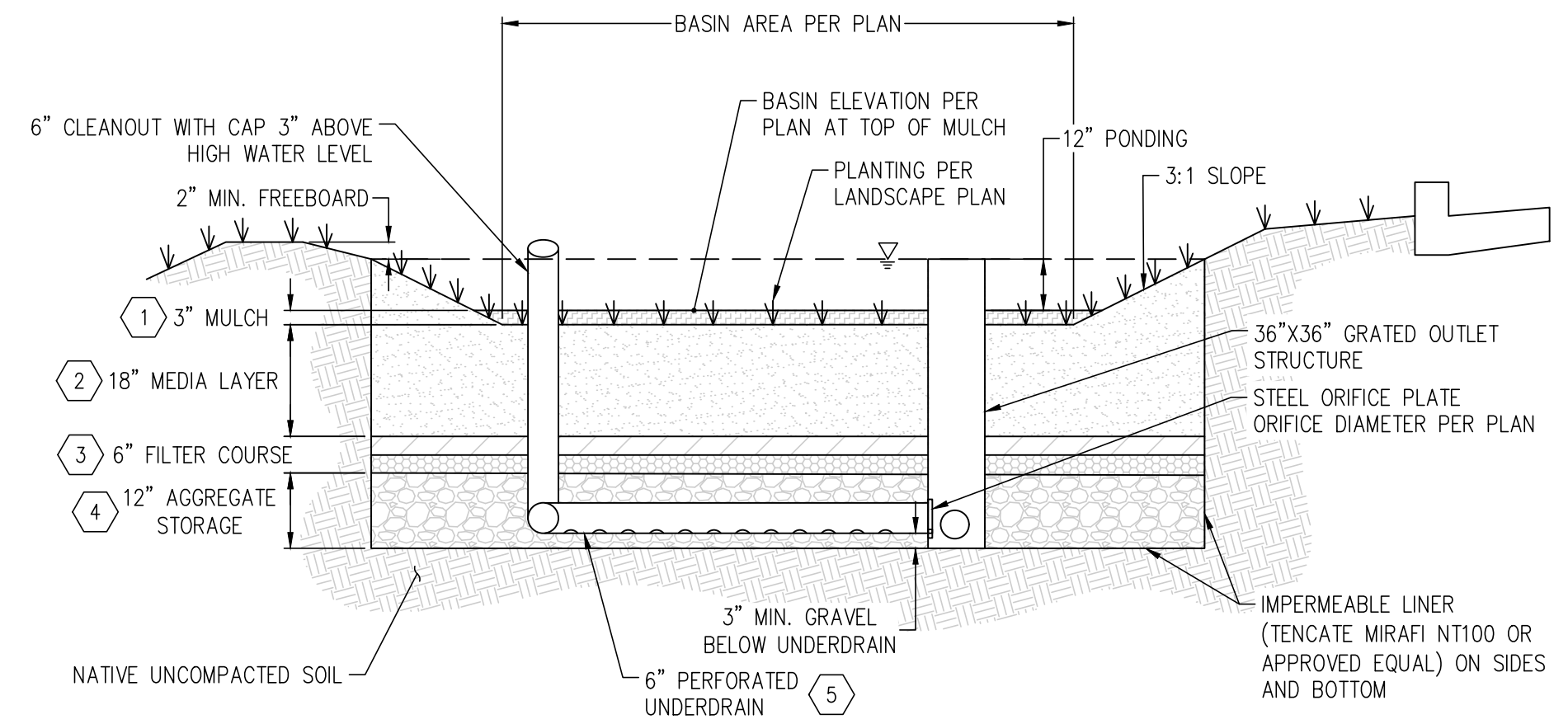
BIOFILTRATION BASIN NOTES:

BIOFILTRATION BASIN SHALL COMPLY WITH CITY OF SAN DIEGO STORMWATER STANDARDS MANUAL, DATED AUGUST 2024, APPENDIX E.18 AND APPENDIX F, INCLUDING THE FOLLOWING SPECIFICATIONS:

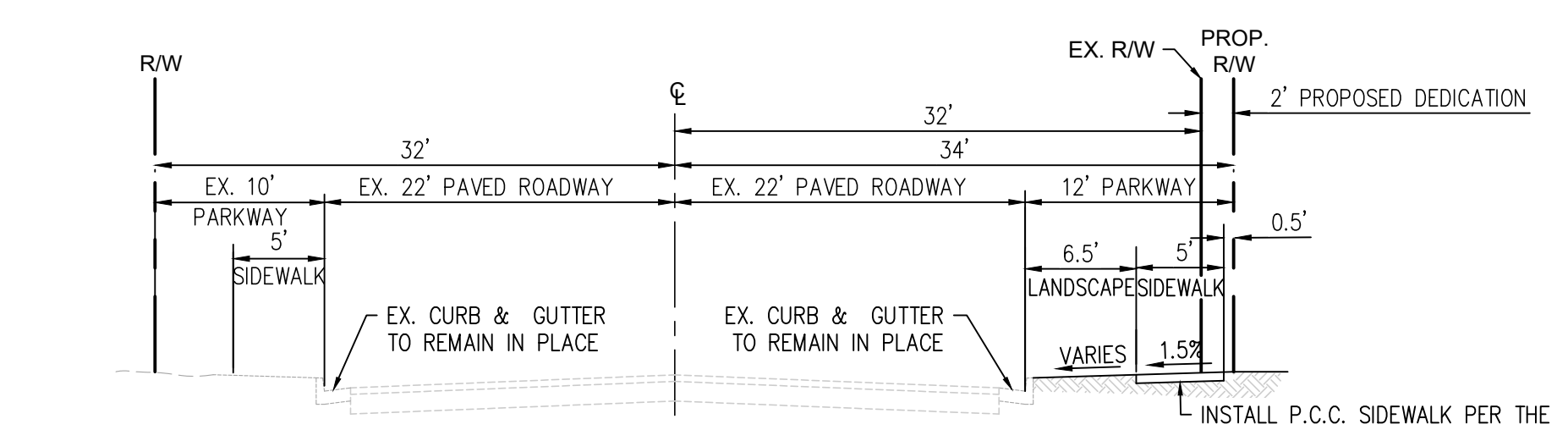
- 1 A MINIMUM OF 3" OF WELL-AGED, SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS SHALL BE PROVIDED. USE OF DOUBLE SHREDDED HARDWOOD BARK MULCH AND WETTING MULCH DURING INSTALLATION TO KNIT IT TOGETHER ARE RECOMMENDED TO PREVENT FLOATING.
- 2 BIOFILTRATION MEDIA SOIL MEDIA SPECIFICATION SHALL COMPLY WITH APPENDIX F.3. MEDIA SHALL MAINTAIN A MINIMUM FILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.
- 3 A TWO-LAYER FILTER COURSE SHALL BE PROVIDED CONSISTING OF ONE 3" LAYER OF CLEAN AND WASHED ASTM 33 FINE AGGREGATE SAND OVERLYING A 3" LAYER OF ASTM NO. 8 STONE (APPENDIX F.4). FILTER COURSE SHALL BE WASHED AND FREE OF FINES. BOTH LAYERS SHALL BE SPREAD IN SINGLE LAYERS. MARKER STAKES SHOULD BE USED TO ENSURE UNIFORM LIFT THICKNESS.
- 4 WASHED ASTM NO. 57 OPEN GRADED STONE SHALL BE USED FOR THE STORAGE LAYER (APPENDIX F.4).
- 5 UNDERDRAIN SHALL BE SLOTTED, PVC PIPE CONFORMING TO ASTM D 3034 OR EQUIVALENT.



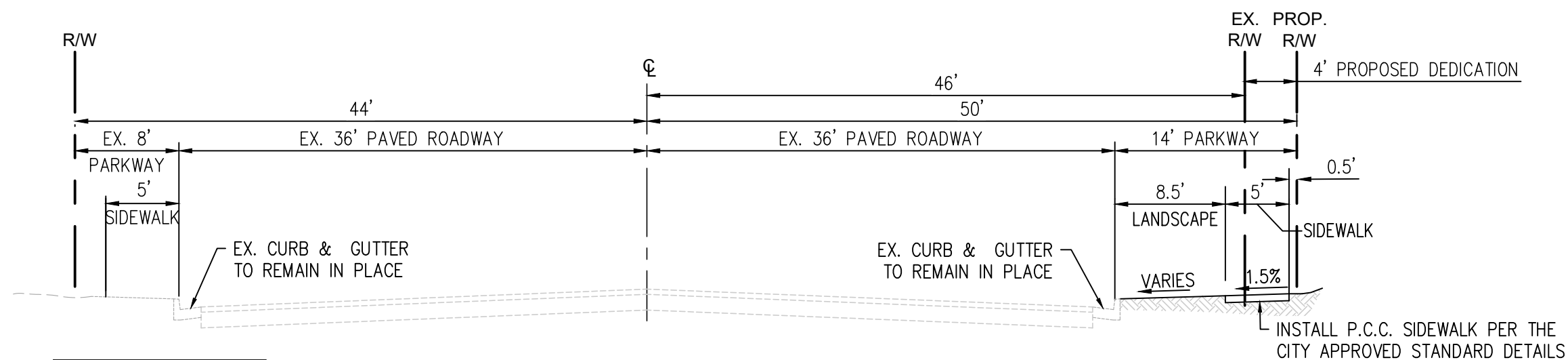
2 TYPICAL SECTION - EAST TO WEST
NOT TO SCALE



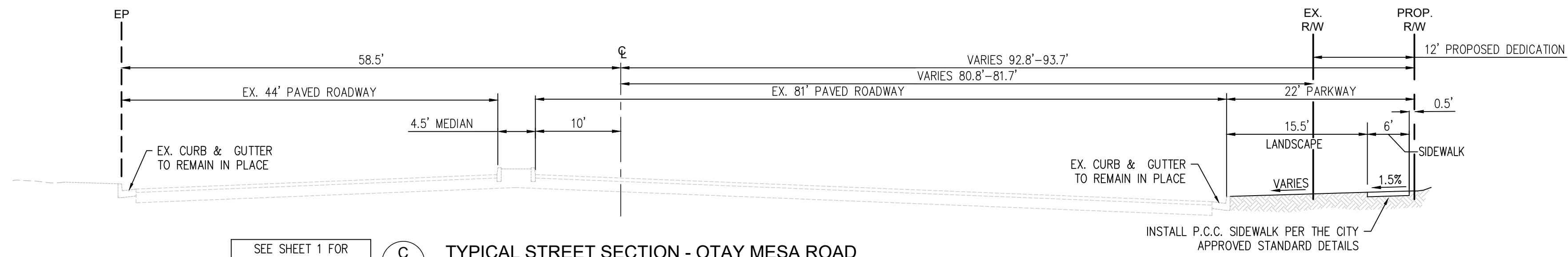
BMP 1 - BIOFILTRATION BASIN (PVT.)
NOT TO SCALE



A TYPICAL STREET SECTION - BUSINESS CENTER COURT
PROPOSED SIDEWALK IMPROVEMENTS
NOT TO SCALE



B TYPICAL STREET SECTION - CORPORATE CENTER DRIVE
PROPOSED SIDEWALK IMPROVEMENTS
NOT TO SCALE



C TYPICAL STREET SECTION - OTAY MESA ROAD
PROPOSED SIDEWALK IMPROVEMENTS
NOT TO SCALE



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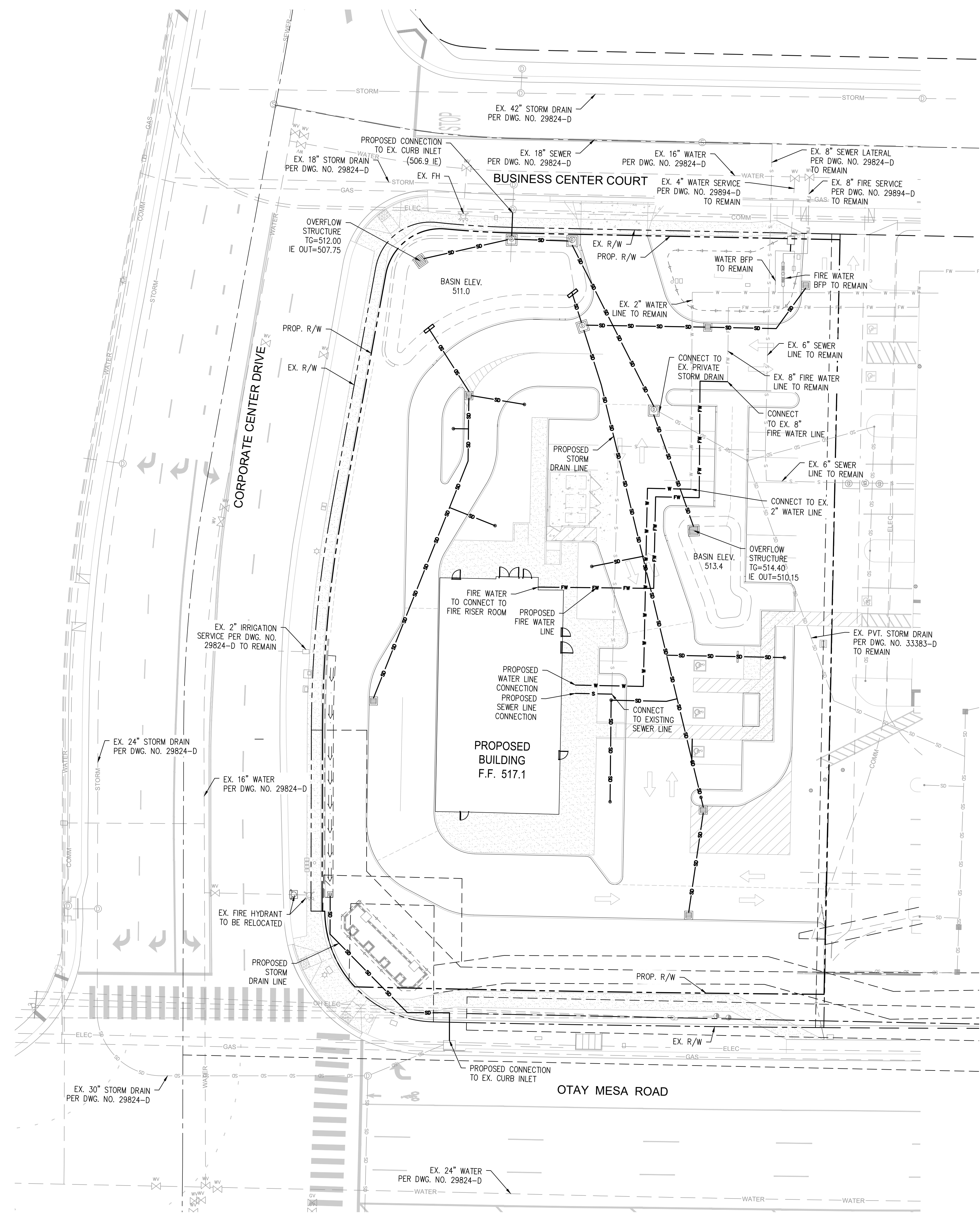
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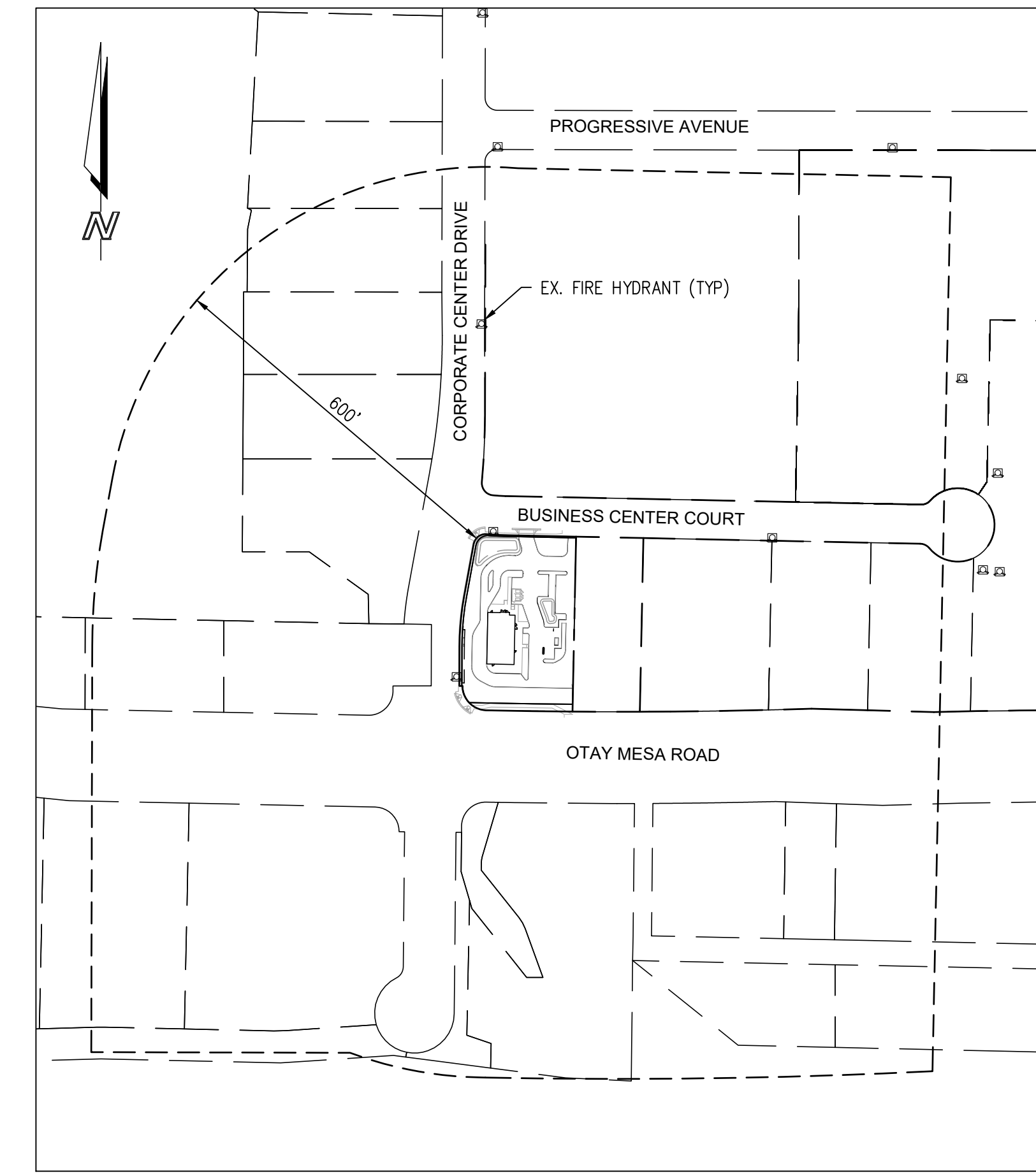
The City of **SAN DIEGO** DEVELOPMENT SERVICES DEPARTMENT
SHEET 3 OF 4 SHEETS

PROJECT NO. PRJ-1123958
SHEET TITLE: CROSS SECTIONS

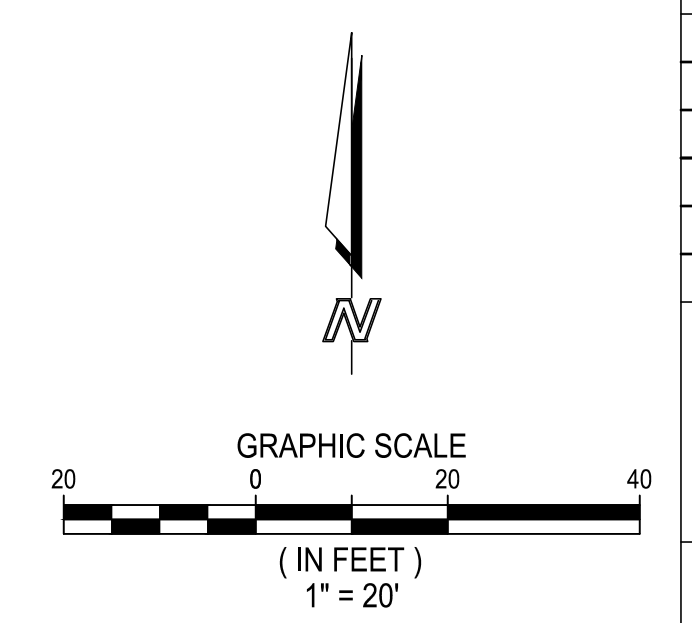


LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- - - PROPOSED PROPERTY BOUNDARY LINE
- - - CENTERLINE
- - - EASEMENT LINE
- S- PROPOSED SANITARY SEWER
- SD- PROPOSED STORM DRAIN
- W- PROPOSED WATER
- FS- PROPOSED FIRE WATER
- S- EXISTING SANITARY SEWER
- SD- EXISTING STORM DRAIN
- W- EXISTING WATER
- FS- EXISTING FIRE WATER
- • PROPOSED STORM DRAIN INLET



KEY MAP: EX. FIRE HYDRANTS
1" = 200'



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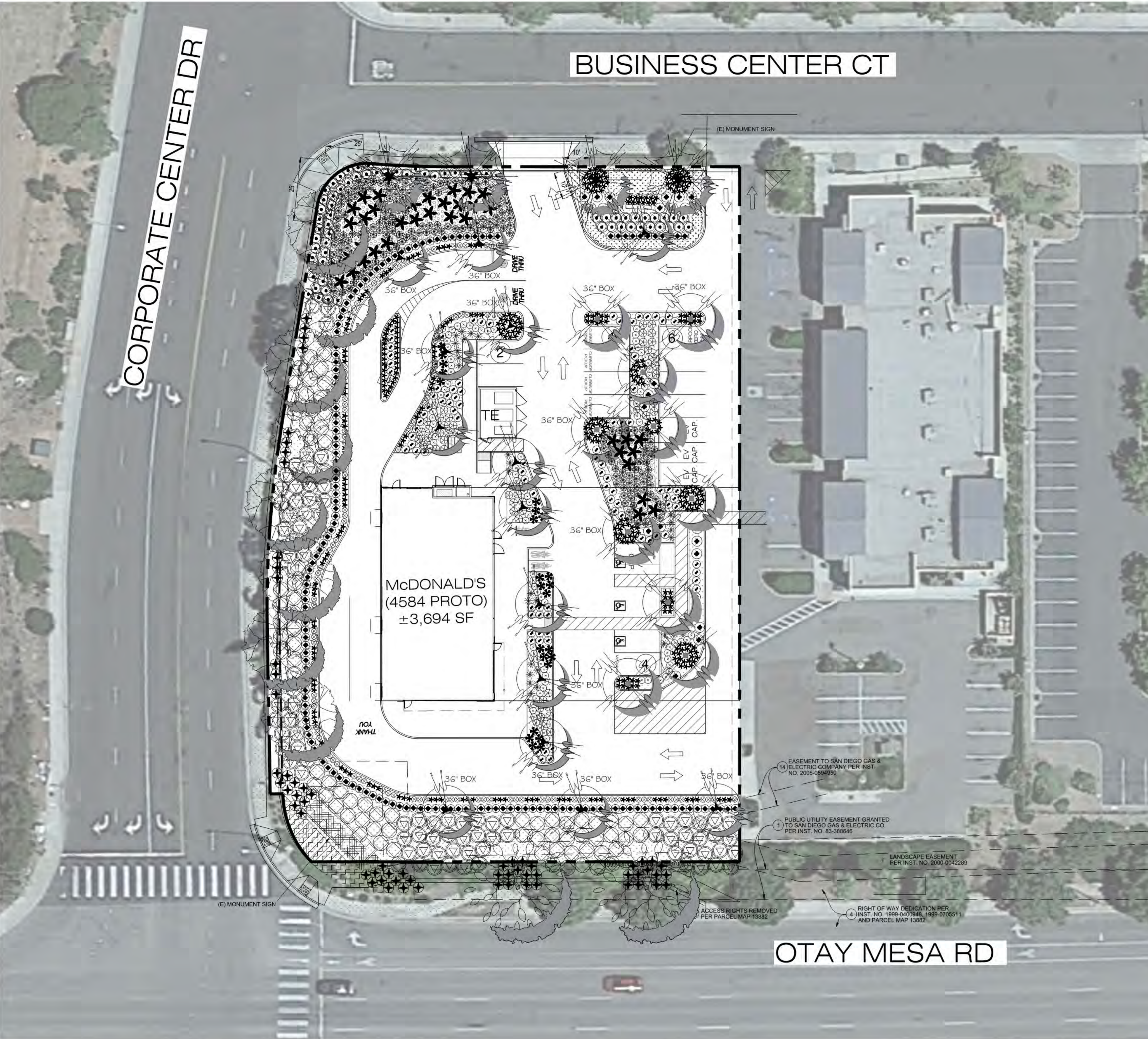
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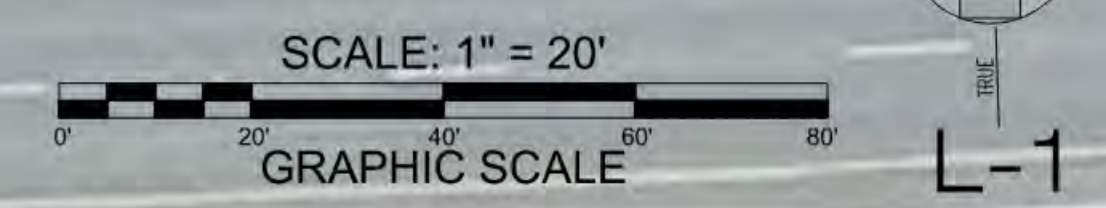
The City of **SAN DIEGO** DEVELOPMENT SERVICES DEPARTMENT PROJECT NO. PRJ-1123958
 SHEET 4 OF 4 SHEETS SHEET TITLE: PRELIMINARY UTILITY PLAN



PLANT PALETTE

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	PLANT FACTOR
SYM. TREES				
	PARKINSONIA DESERT MUSEUM	PALO VERDE	36" BOX MULTI	LOW
	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX 51NDRD	LOW
	RHUS LANCEA	AFRICAN SUMAC	24" x 36" BOX 51NDRD	LOW
	CHILOPSIS LINEARIS 'BURGUNDY'	DESERT WILLOW	24" x 36" BOX 51NDRD	LOW
	PODOCARPUS GRACILIOR	FERN PINE	EXISTING PROTECT IN PLACE	
SHRUBS				
	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE SHRUB	5 GAL	LOW
	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	5 GAL	LOW
	BOUGAINVILLEA 'BABY VICTORIA'	VARIEGATED BOUGAINVILLEA	6 GAL	LOW
	MUHLENBERGIA CAPILLARIS	PINK MUHLY	5 GAL	LOW
	DIANELLA REVOLUTA 'LITTLE RED'	LITTLE RED FLAX LILY	1 GAL	LOW
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	LOW
	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	LOW
	LEUCOPHYLLUM 'GREEN CLOUD'	TEXAS RANGER	5 GAL	LOW
	LANTANA CAMARA 'YELLOW'	LANTANA	1 GAL	LOW
	FESTUCA GLAUCA 'ELLIAM BLUE'	BLUE FESCUE	1 GAL	LOW
	RHAMPHOLEPIS INDICA 'SPRINGTIME'	INDIA HAWTHORN	5 GAL	LOW
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MATT RUSH	5 GAL	LOW
	LANTANA MONTEVIDENSIS 'WHITE'	TRAILING LANTANA	1 GAL	LOW
	BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	5 GAL	LOW
	CAREX BUCHANANII 'RED ROOSTER'	LEATHERLEAF SEDGE	1 GAL	LOW
GROUNDCOVER				
	ROSMARINUS O. IRENE	ROSEMARY	1 GALLON @ 36" O.C.	
	FESTUCA 'ELLIAM BLUE'	BLUE FESCUE	1 GALLON @ 18" O.C.	
	GAZANIA MITSUWA MIXED'	YELLOW ORANGE BRGNDY. WHY'	ROOTED CUTTINGS @ 8" O.C.	
	CARISSA M. 'GREEN CARPET'	NATAL PLUM	4" MIN THICK THICK LAYER	
	CARISSA M. 'GREEN CARPET'	NATAL PLUM	4" MIN THICK THICK LAYER	

NOTES:
 NO OBJECTS HIGHER THAN 36" WILL BE PROPOSED IN THE VISIBILITY AREAS
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 MINIMUM TREE SEPARATION DISTANCE TRAFFIC SIGNALS / STOP SIGNS = 20 FEET
 UNDERGROUND UTILITIES = 5 FEET (10 FEET FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES = 10 FEET, DRIVEWAY ENTRIES = 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) = 25 FEET.
 MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE EXISTING MAINTENANCE ENTITY CURRENTLY MAINTAINING THESE AREAS. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.



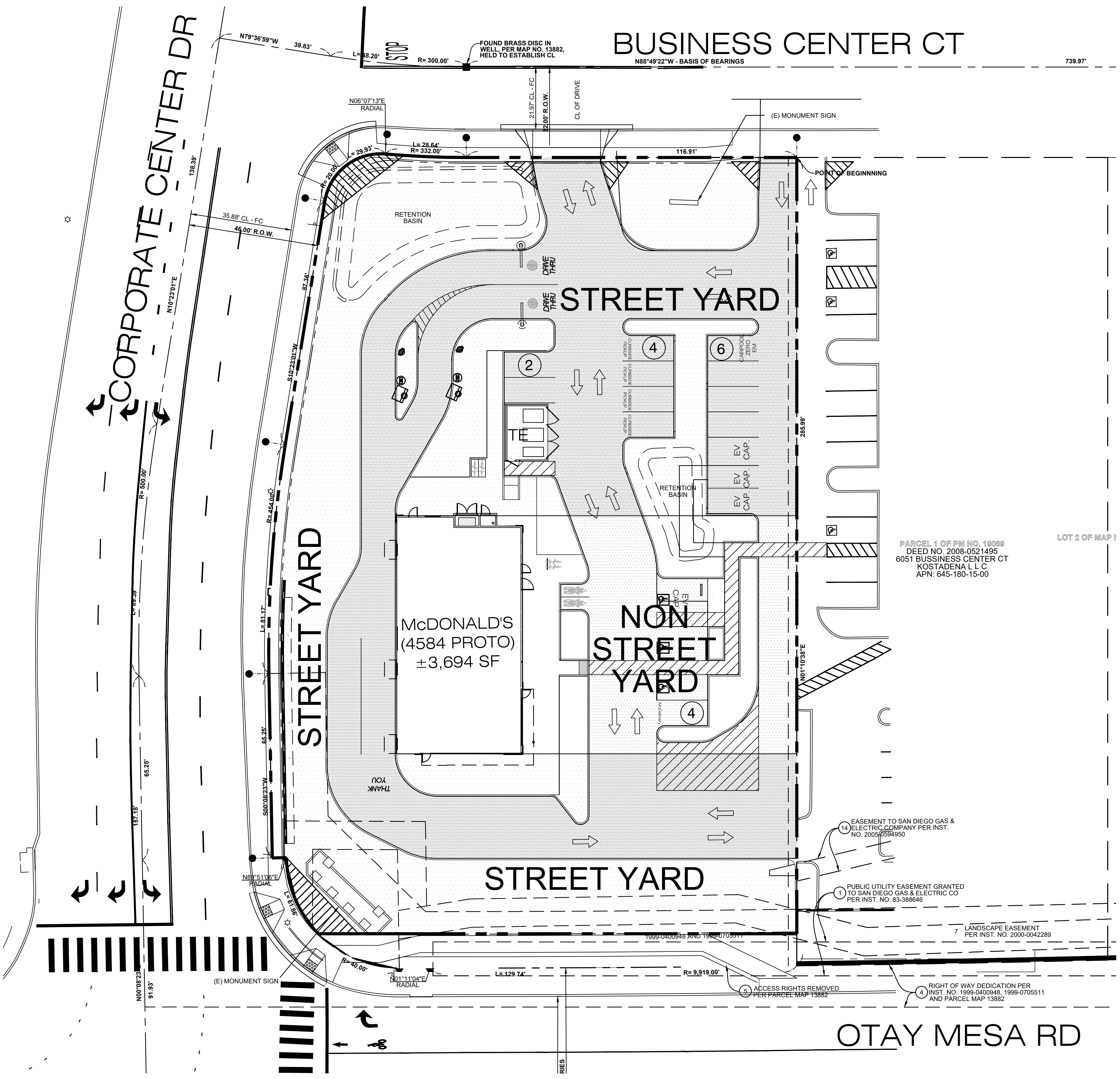
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McDONALD'S 004-5189

6021 BUSINESS CENTER COURT
 SAN DIEGO, CALIFORNIA

PRELIMINARY LANDSCAPE PLAN
 Scale: 1" = 20'
 March 25, 2025

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Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

STREET YARD [§142.0404 - §142.0405]

Industrial and Commercial Development (except Auto Service Stations—see below)

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area (a) 37,482 sq. ft. x 25% = (b) 9,371 sq. ft.	(c) 17,003 sq. ft.	$(c-b)$ 7,632 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area (a) 37,482 sq. ft. x 0.05* = (d) 1,875 points	(e) 2,922 points	$(e-d)$ 1,047 points
Plant Points Achieved with Trees (50%)		
950 points		

Auto Service Stations Only

Planting Area Required [§142.0405(c)(2)]	Planting Area Provided	Excess Area Provided
Total Area _____ sq. ft. x 15% = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area _____ sq. ft. x 0.03 = _____ points	_____ points	_____ points
Plant Points Achieved with Trees (50%)		
_____ points		

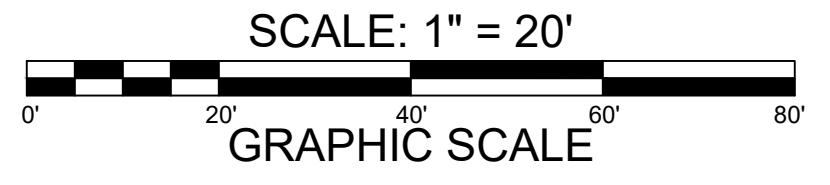
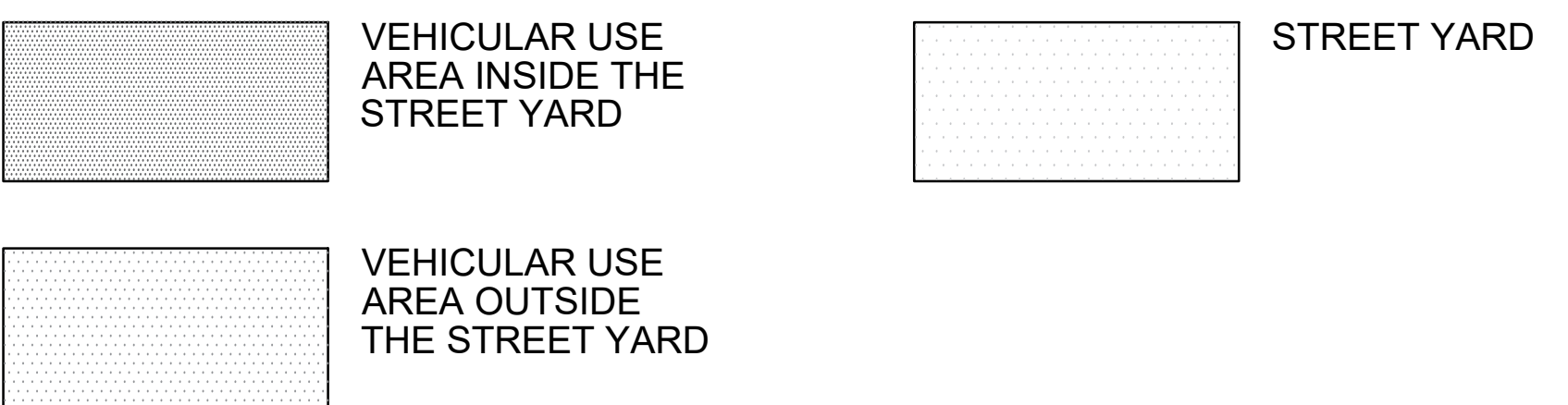
REMAINING YARD [§142.0404 - §142.0405]

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 8,198 sq. ft. x 30% = 2,459 sq. ft.	1,946 sq. ft.	-513 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 8,198 sq. ft. x 0.05 = 410 points	551 points	141 points
Plant Points Achieved with Trees (50%)		
220 points		

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DS-4 (08-20)

USE AREA KEY



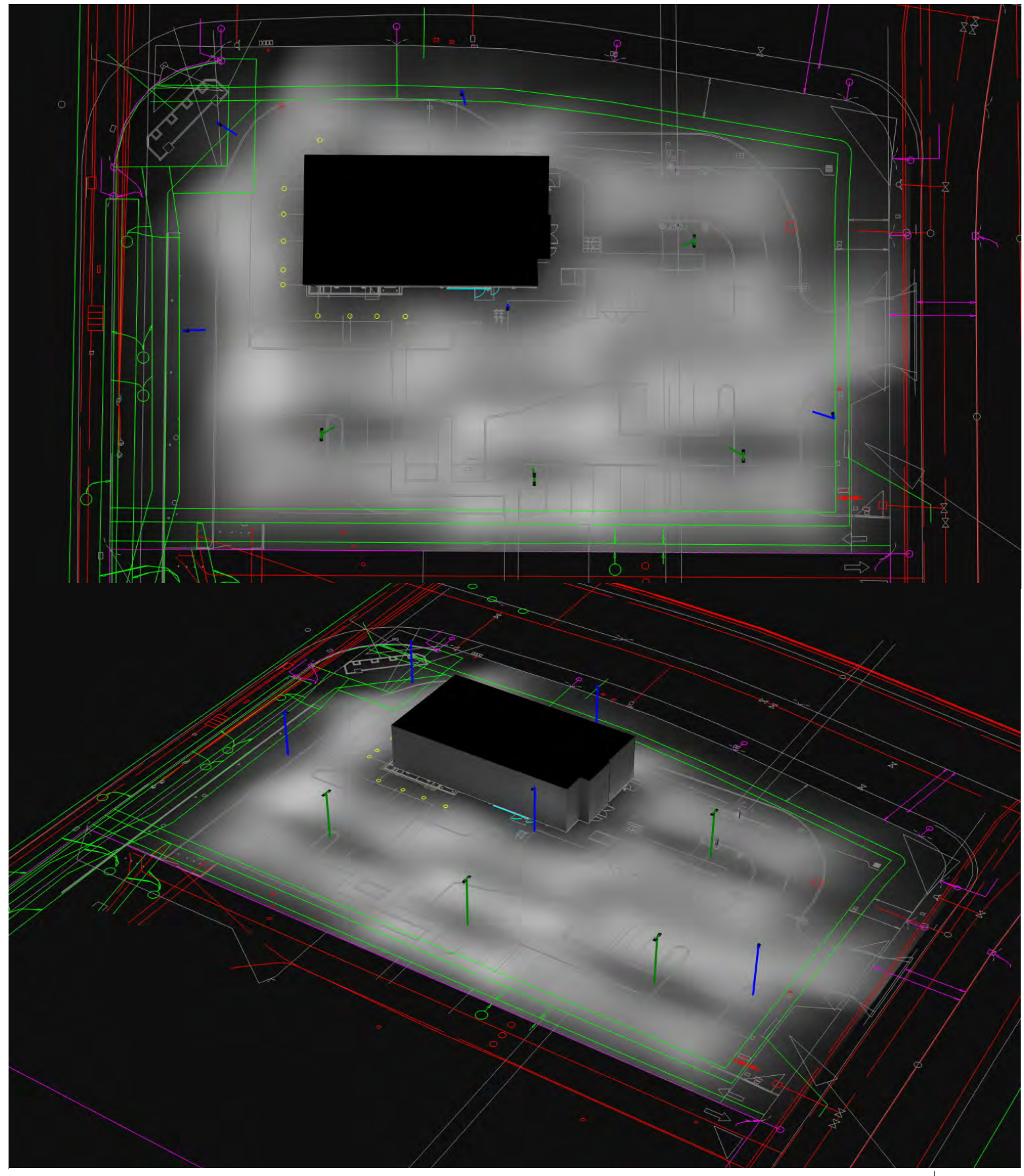
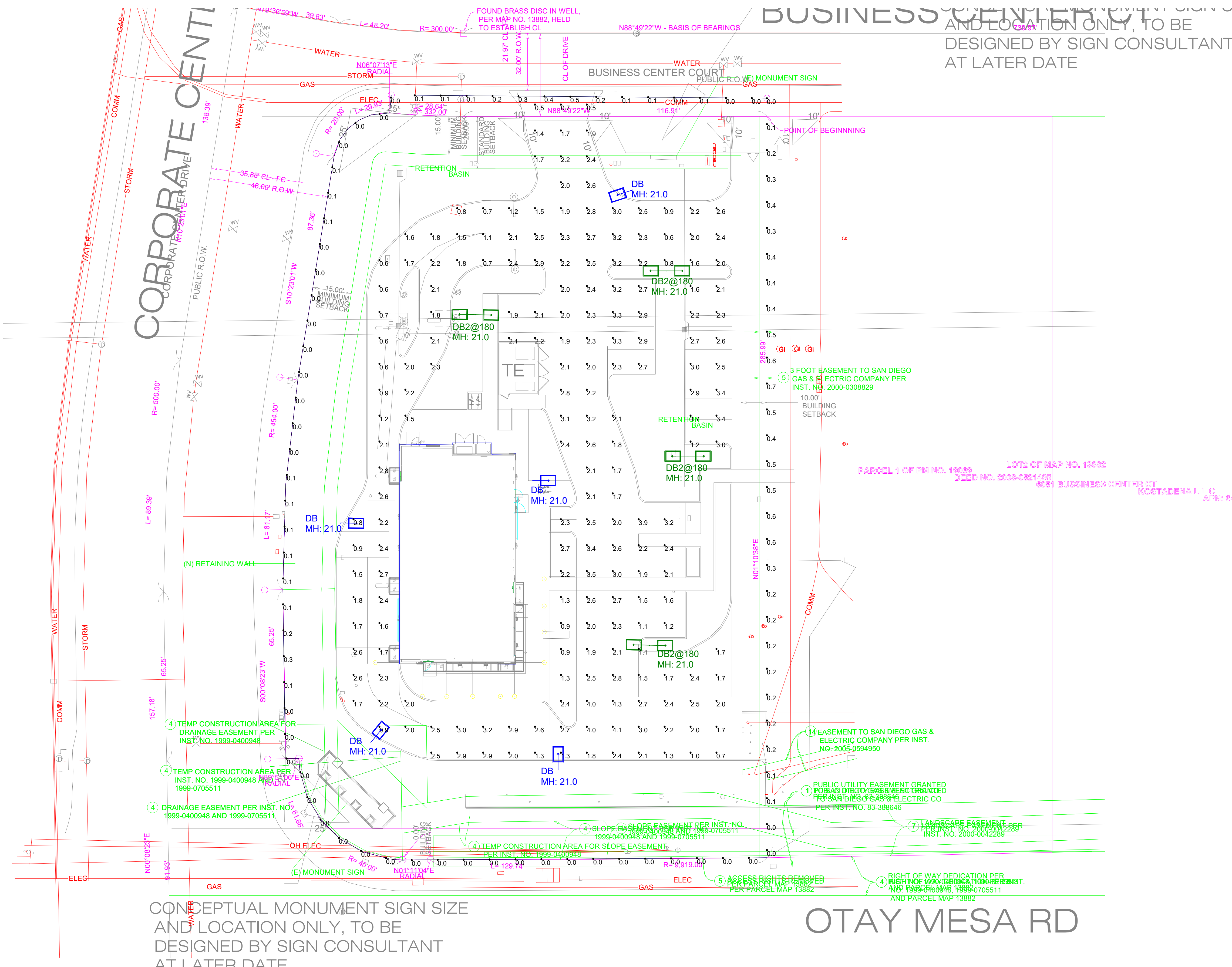
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Scale: 1" = 20'
March 25, 2025

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- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS 10'

Pole Fixtures Are Full Cutoff
Tilt=0
Calculation Grids Are At Grade
Pole Light Mounting Height=21ft
(18' Pole + 3' Base)

CONCEPTUAL MONUMENT SIGN SIZE AND LOCATION ONLY, TO BE DESIGNED BY SIGN CONSULTANT AT LATER DATE

OTAY MESA RD

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Surface Areas	Illuminance	Fc	2.12	4.3	0.5	4.24	8.60
Propertyline	Illuminance	Fc	0.14	0.7	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	5	DB	Single	0.900	RAR-1-160L-70-5K7-4W-BC-SCP-40F	68.4	0.607	21	SES-18-40-1-TA-GL-xx (4")
	4	DB2@180	Back-Back	0.900	RAR-1-160L-70-5K7-4W-BC-SCP-40F	68.4	0.607	21	SES-18-40-1-TA-GL-xx (4")

PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL
ALLOWED EPA 13.6 @ WIND LOAD 85 MPH



Regional Drawing
004-5189

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES	
SCALE	1"=20' 0"
DRAWN BY	CLB
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALD'S	
6051 BUSINESS CENTER CT SAN DIEGO, CA 92154	
NATIONAL STORE NUMBER	41331
DATE	3/21/2025
DRAWING NUMBER	A250546A.AGI

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.