

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
- **PRJ-1113950**
- Address and APN(s): **346-680-09-00**
- Project contact name, phone, e-mail:
- **Name: Claude Anthony Marengo**
- **Phone: (619) 417-1111**
- **Email: camarengo@m2a.io**
- Project description: **Propose to demolish an existing 3,819.18sf one-story single-family residence and propose a 6,678sf one-story single family residence with 4 parking spaces.**
- **The site is located in the LJSPD-SF base zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone (N-APP-2) and within the La Jolla Community Plan Area (CPA). We are requesting a Discretionary Permit.**
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____
- In addition, provide the following:
 - lot size: **20,123.04 SF SQ FT**
 - existing structure square footage and FAR (if applicable): **3,819.18 SF and 0.45 FAR**
 - proposed square footage and FAR: **6,678 SF / FAR .32**
 - existing and proposed setbacks on all sides: **Existing 27' front / South side 13' / North side 13' / Rear 57' | Proposed; Front 23'-11" / South side 20'-7" / North side 10' Rear 10'**
 - height if greater than 1-story (above ground): **13'-0"**

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____

- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board’s review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City’s website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure’s height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners’ Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board’s review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the “owner/applicant” and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

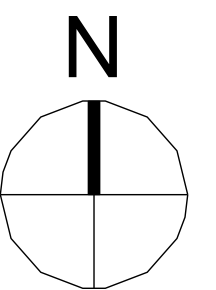
Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
 City Planning Department 619-236-6173



Prestwick Residence
8504 Prestwick Drive, La Jolla,
California 92037
Friday, April 3rd, 2026

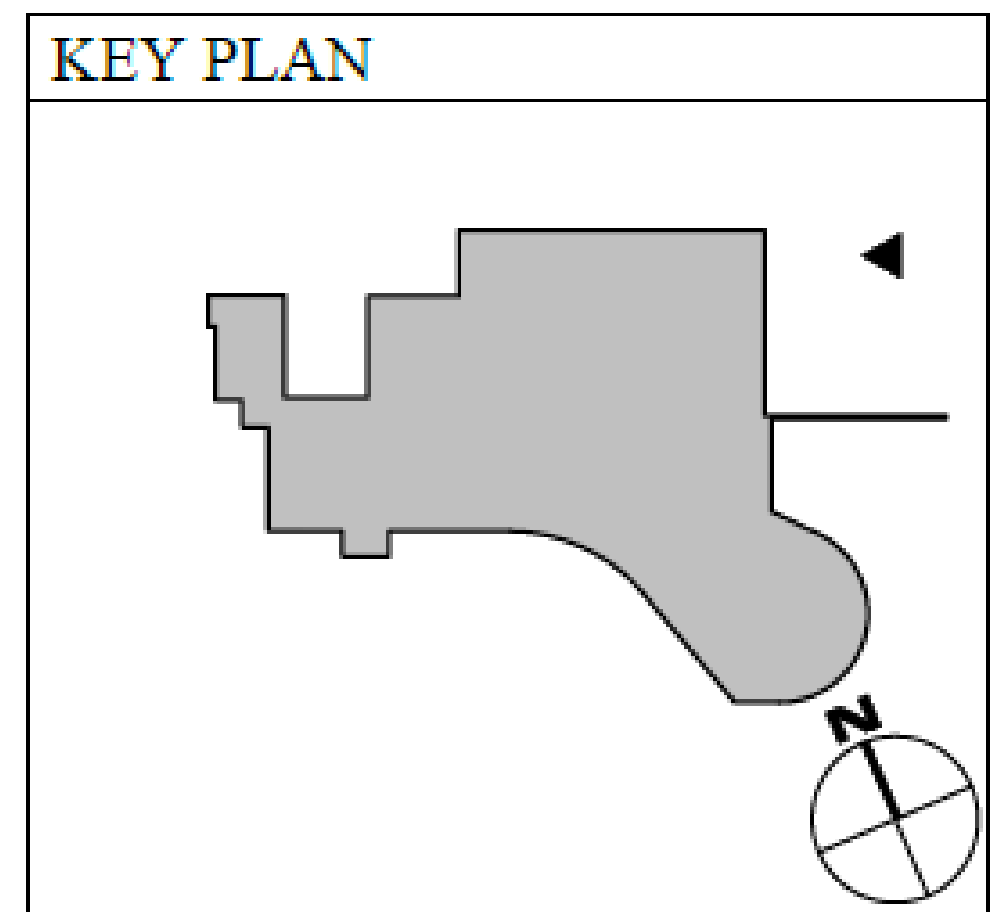




8504 Prestwick Drive
Existing Building



A-Front Elevation (West)



8504 Prestwick Drive

300' Radius Survey

300' Radius FAR and Setbacks

Reference #	Site Address	Parcel Number	Lot Size	FAR	Front SB	Side SB
1	8514 Prestwick Dr	346-680-07-00	16,514 sf	0.30	25 ft	6 ft
2	7645 Prestwick Dr	346-212-02-00	14,962 sf	0.23	22 ft	10 ft
3	2678 Prestwick Ct.	346-680-20-00	28,748 sf	0.25	20 ft	10 ft
4	8528 Prestwick Dr	346-680-19-00	28,313 sf	0.25	30 ft	10 ft
5	8538 Prestwick Dr	346-680-01-00	23,429 sf	0.22	25 ft	7 ft
6	8548 Prestwick Dr	346-670-05-00	29,184 sf	0.30	30 ft	10 ft
7	8558 Prestwick Dr	346-670-04-00	27,237 sf	0.24	25 ft	10 ft
8	8505 Prestwick Dr	346-680-14-00	22,650 sf	0.22	25 ft	8 ft
9	8515 Prestwick Dr	346-680-10-00	13,190 sf	0.26	20 ft	8 ft
10	8529 Prestwick Dr	346-680-11-00	11,638 sf	0.28	25 ft	8 ft
PROPOSED	8504 Prestwick Dr	346-680-09-00	20,123.04	0.32	23'-11"	20'-7"South/10'North
Right at AVERAGE	Zone: LUSPD SF		21,643 sf	0.26	24'-7"	9'



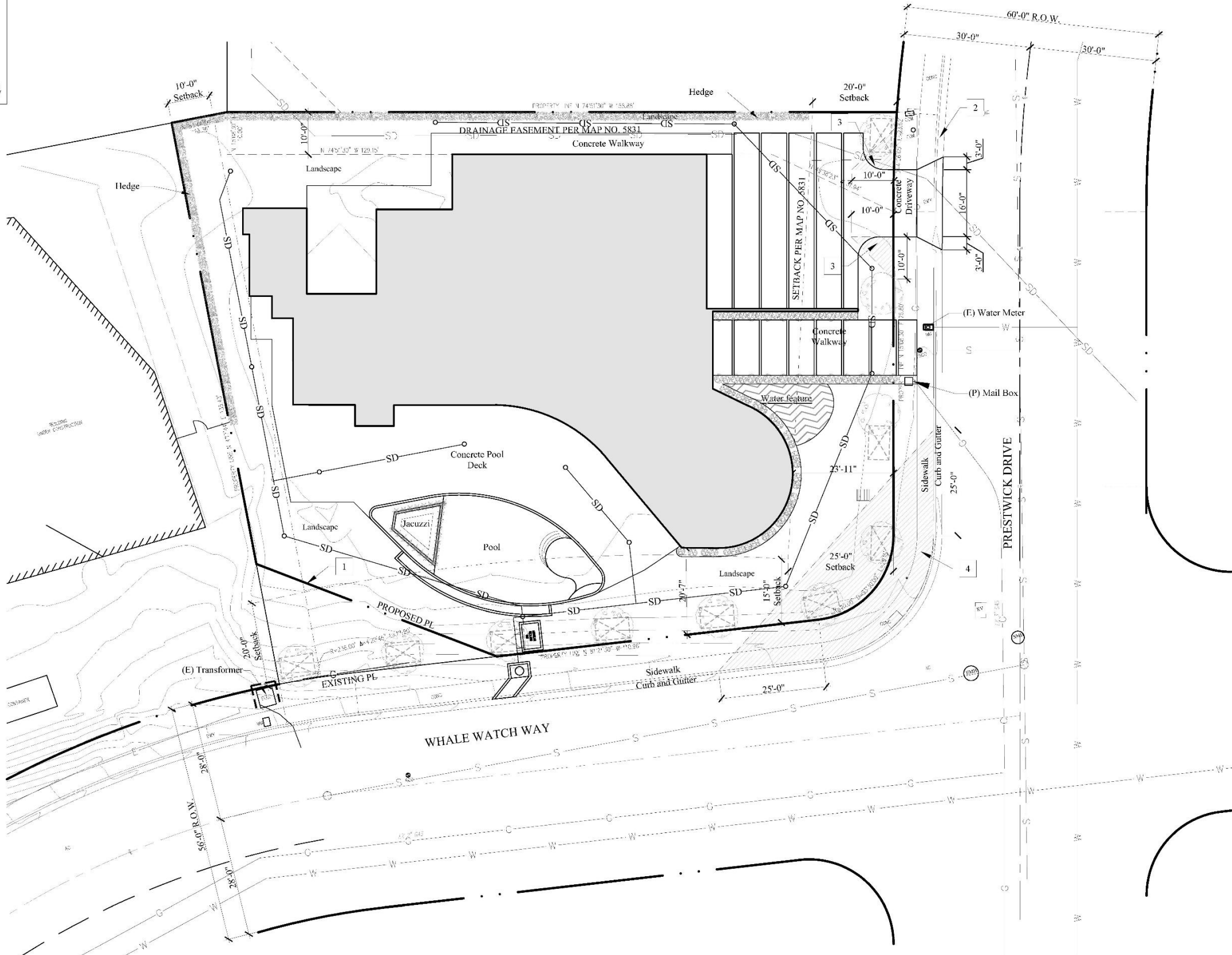
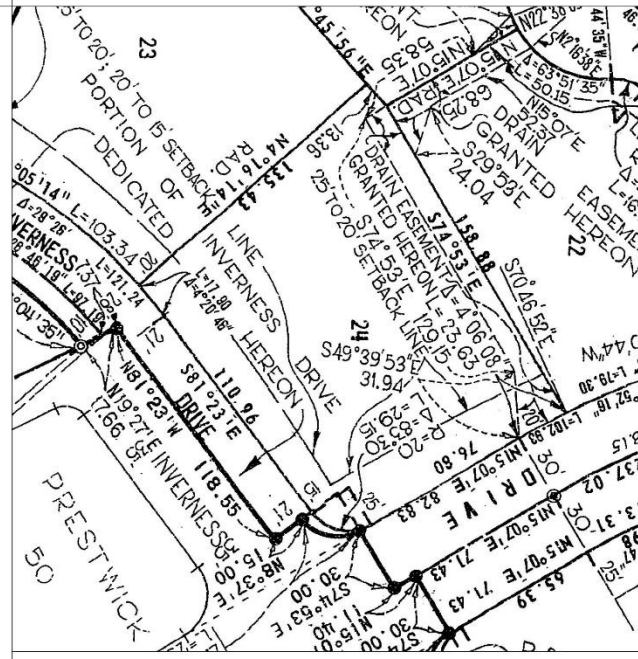
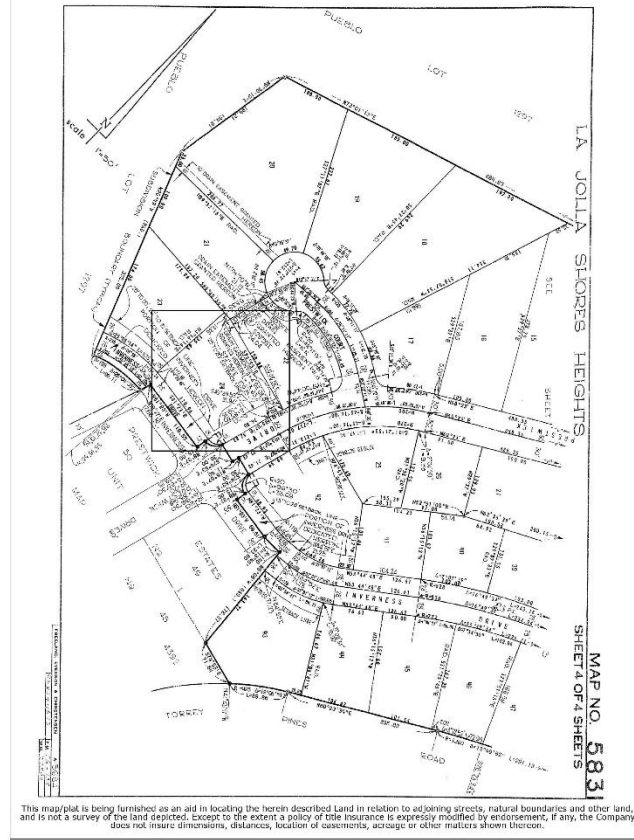
8504 Prestwick Drive

Bulk and Scale



8504 Prestwick. Neighbors

1. 8504 Prestwick Dr (Proposed)
2. 8514 Prestwick Dr
3. 8515 Prestwick Dr
4. 8505 Prestwick Dr



GENERAL SITE NOTES

- A. The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- C. All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
- D. The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the architect's office.
- E. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- F. Coordinate with other tenants the temporary shut-off of any site utilities, including but not limited to electrical service, gas service, water service, sewer service, telephone service, cable or other data links with are connected to the building.
- G. Locate refuse bin at approved on-site location. contractor shall dispose of all site refuse at city-approved locations.
- H. Provide building address numbers, visible and legible from street or road fronting the property.
- I. Verify the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
- J. No trees or shrubs whose height will be 3' at maturity shall be installed within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.
- K. All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.
- L. Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.
- M. Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.

TOTAL DISTURBANCE AREA

New building footprint	6,678 S.F.
New hardscape/concrete areas	6,275.33 S.F.
New landscape areas	7,169.71 S.F.
Removal of existing building footprint	3,915.75 S.F.
Removal of existing concrete	5,494 S.F.
Removal of existing landscape areas	6,174 S.F.
Total disturbance area	20,123.04 S.F.

NEW/REPLACED IMPERVIOUS AREA

Total Lot area	20,123.04
a) Existing impervious area (Ex. bldg. footprint & Ex. hardscape areas)	10,003 S.F.
b) New impervious area (Bldg. footprint, parking lot, walkways, hardscape areas, etc.)	12,953.33 S.F.
Total new impervious area:	12,953.33 S.F.

NOTE: Impervious area shall include: roof, sidewalk, parking area, walkways, pool, pool decks, etc.

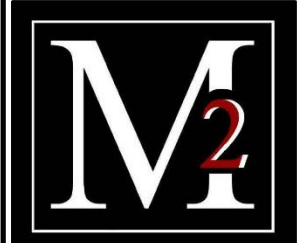
EARTHWORK QUANTITIES

Cut quantities:	183 CYD
Fill quantities:	94 CYD
Import/export:	277 CYD
Max cut depth:	12'-4" FT (See civil sheet)
Max fill depth:	0 FT

Notes:
1. The project proposes to export 4,604 cubic yards of material from this site. All export material shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate conditional use permit.

KEYNOTES

- 1 Property line adjustment
- 2 Replace curb and gutter per SDG-160 (Non-Contiguous Sidewalk)
- 3 10'-0" x 10'-0" Visibility Triangle (No obstruction including landscaping or solid walls in the visibility area shall exceed 36 inches in height)
- 4 Corner Visibility Triangle



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DtsA



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Prestwick Residence
8504 PRESTWICK DRIVE
La Jolla, CA 92037

REVISIONS
9/25/2020 PROJECT START

PHASE:
DESIGN PHASE

PROJECT NO 2025-32

REVIEWED BY CAM

DRAWN BY FE

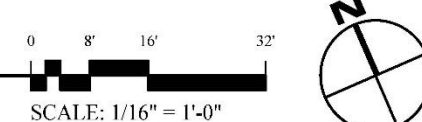
DATE 02/02/2025

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SHEET TITLE
PROPOSED SITE PLAN

A010

PROPOSED SITE PLAN





PROJECT DATA

8504 Prestwick Drive
Project Data

PROJECT INFORMATION				
Project Address:	8504 Prestwick Drive, La Jolla Ca, 92037			
Assessors Parcel Number:	346-680-09-00			
Legal Description:	LOT 24 OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5831, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1967.			
Year Built	1969			
Building Code:	California Residential Code (CRC), 2025 Edition & Associated Amendments in SDMC. California Bldg. Code (CBC) based on 2024 IBC. National Electrical Code (NEC), 2023 Edition California Mechanical Code (CMC), 2025 Edition California Plumbing Code (CPC), 2025 Edition San Diego Municipal Code (SDMC) Project shall comply with Title 24 and 2025 CBC, 2025 CMC and 2025 SPC and the 2022 CEC.			
Occupancy Type:	R-3			
Number of Dwellings:	1 (One)			
Construction Type:	V			
Number of Stories:	1 (One)			
Lot Area:	20,123.04sf			
ZONING INFORMATION				
Zone:	LJSPD-SF			
Overlay Zones:	Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (N-APP-2), Parking Impact Overlay Zone (SCOZ)			
Geo Hazard Zone:	53			
Setbacks	Allowed	Proposed		
Front (Street Frontage):	27'-10"	23'-11"		
South Side (Street Frontage):	13'-10"	20'-7"		
North Side:	13'-10"	10'-0"		
Rear:	57'-0"	10'-0"		
Building Height Limitations:	30'-0"	13'-0"		
Max. Floor Area Ratio (F.A.R.):	0.45			
Parking Spaces:	2	4		
BUILDING AREAS:	Exsting	Proposed	Total	
First Floor	3,819.18sf	2,858.82sf	6,678 Sf	
Total Area:	3,819.18sf	2,858.82sf	6,678 Sf	
Landscape Required:	30% - 6,036.91 Sf			
Landscape Provided:	36% - 7,169.71 Sf			
Lot Area:	20,123.04 Sf			
Proposed F.A.R.:	0.32 (6464.03 Sf)			
Allowable F.A.R.:	0.45			
Existing Impervious Area:	6,677.29 Sf			
Proposed Impervious Area:	12,953.33 Sf			

PRESTWICK RESIDENCE

8504 PRESTWICK DRIVE (LA JOLLA, CA) 92037



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Prestwick Residence
 8504 PRESTWICK DRIVE
 La Jolla, CA 92037

REVISIONS	PROJECT START
9/25/2020	
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PHASE	DESIGN PHASE
PROJECT NO.	2025-32
REVIEWED BY	CAM
DRAWN BY	AP
DATE	02/06/2025

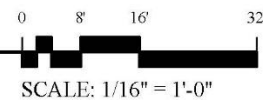
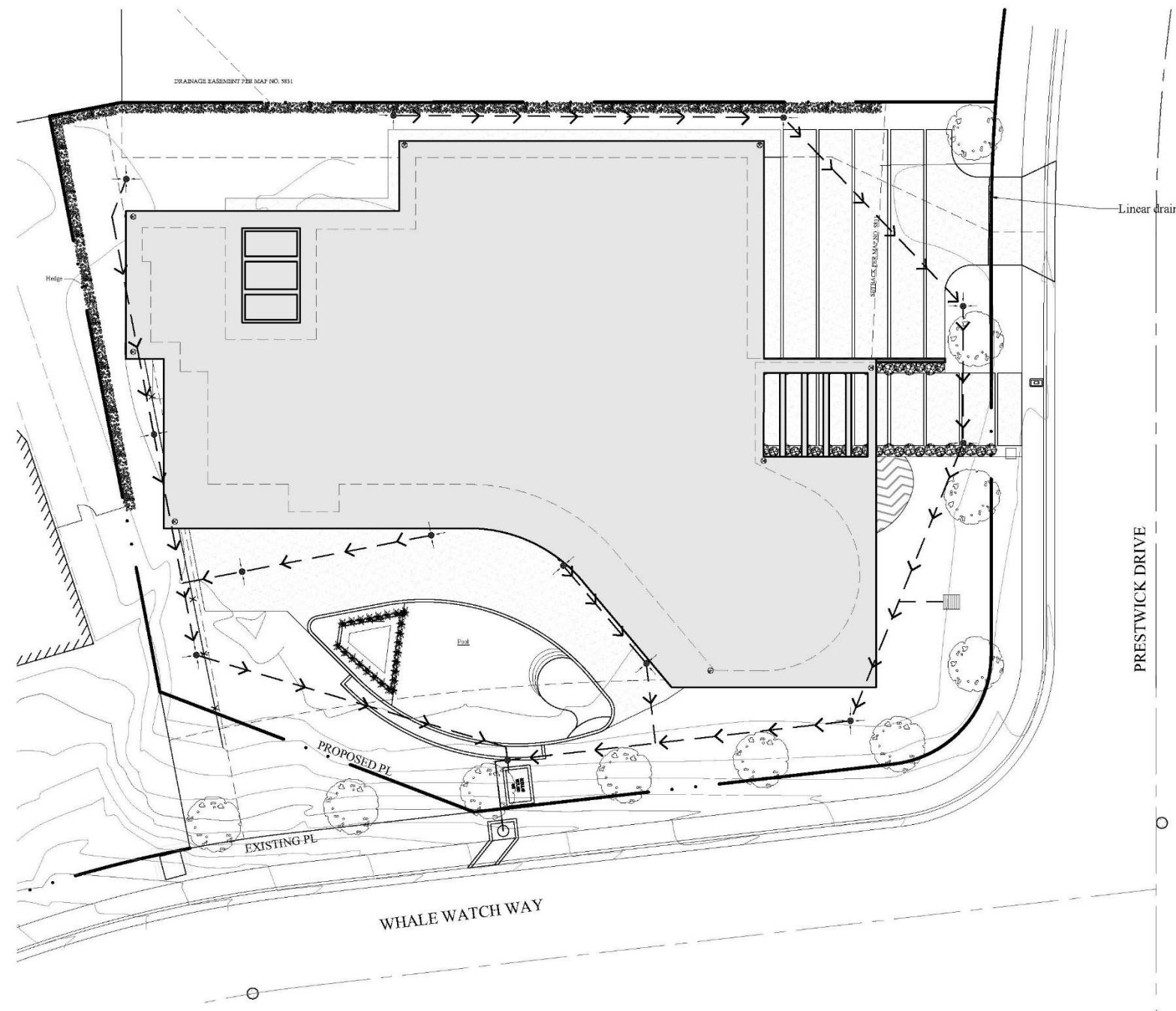
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SHEET TITLE
 TITLE SHEET
TS01

SHEET INDEX	PROJECT TEAM	SCOPE OF WORK	PROJECT DATA												
ARCHITECTURAL: TS01 Title Sheets Survey Plan A010 Site Plan A011 Drainage Plan A020 Site Demo A021 First Floor Plan A040 Roof Plan A050 Elevations A060 Sections L010 Landscape Plan	OWNER'S Dan Smargon P.O. Box 910409 San Diego, CA 92191 ARCHITECT Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo Email: CAM@engo@m2a.io Cell: (619) 417-1111 SURVEY Christensen Engineering & Surveying 7888 Silverton Ave., Suite J San Diego, CA 9126 Phone: (858) 271-9901 Email: Ceands@aol.com	PROJECT SCOPE Propose to demolish an existing 3,819.18sf one-story single family residence and propose a 6,678sf one-story single family residence with 4 parking spaces. The site is located in the LJSFD-SF base zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone (N-APP-2) and within the La Jolla Community Plan Area (CPA). We are requesting a Discretionary Permit.	PROJECT INFORMATION Project Address: 8504 Prestwick Drive, La Jolla Ca, 92037 Assessor's Parcel Number: 346-680-09-00 Legal Description: LOT 24 OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8831, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1967. Year Built: 1969 Building Code: California Residential Code (CRC), 2025 Edition & Associated Amendments in SDMC, California Bldg. Code (CBC) based on 2024 IBC, National Electrical Code (NEC), 2023 Edition, California Mechanical Code (CMC), 2025 Edition, California Plumbing Code (CPC), 2025 Edition, San Diego Municipal Code (SDMC) Project shall comply with Title 24 and 2025 CBC, 2025 CMC and 2025 SPC and the 2022 CEC. Occupancy Type: R-3 Number of Dwellings: 1 (One) Construction Type: V Number of Stories: 1 (One) Lot Area: 20,123.04sf ZONING INFORMATION Zone: LJSFD-SF Overlay Zones: Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (N-APP-2), Parking Impact Overlay Zone (SCOZ) Geo Hazard Zone: 53 Setbacks: Front (Street Frontage): 27'-10" Proposed 23'-11" South Side (Street Frontage): 13'-10" Proposed 20'-7" North Side: 13'-10" Proposed 10'-0" Rear: 37'-0" Proposed 10'-0" Building Height Limitations: 30'-0" Proposed 13'-0" Max. Floor Area Ratio (F.A.R.): 0.45 Parking Spaces: 2 4 BUILDING AREAS: <table border="1"> <thead> <tr> <th></th> <th>Existing</th> <th>Proposed</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>First Floor</td> <td>3,819.18sf</td> <td>2,858.82sf</td> <td>6,678 SF</td> </tr> <tr> <td>Total Area:</td> <td>3,819.18sf</td> <td>2,858.82sf</td> <td>6,678 SF</td> </tr> </tbody> </table> Landscape Required: 30% - 6,036.91 SF Landscape Provided: 36% - 7,169.71 SF Lot Area: 20,123.04 SF Proposed F.A.R.: 0.32 (646403 SF) Allowable F.A.R.: 0.45 Existing Impervious Area: 6,577.29 SF Proposed Impervious Area: 12,933.33 SF		Existing	Proposed	Total	First Floor	3,819.18sf	2,858.82sf	6,678 SF	Total Area:	3,819.18sf	2,858.82sf	6,678 SF
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		SCHOOL FEES *REFERENCE SCHOOL FEES BULLETIN*													
		VICINITY MAP 													

S:\Project\2025\Project\2025-32_8504_Prestwick_Residence\2-Interior\Bldg\Items\25-03-05\Drawings\011_DRAINAGE PLAN 21026.dwg, Pld: 02/02/2025 - 15:55pm

PROPOSED DRAINAGE PLAN

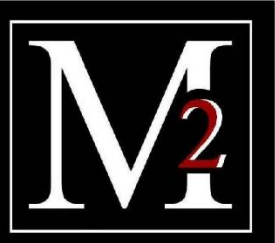


STORM DRAINAGE NOTES

1. The primary storm drainage system shall connect to the building storm water that connects to an underground public storm sewer
2. The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel
3. All storm water to be collected from all hardscape areas and to be directed to adjacent landscape locations
4. Catch basin to collect any remaining storm water and clean it out before overflowing back for proper use of water on site.

DRAINAGE PLAN LEGEND

- > — Storm Water Collecting And Exiting Circuit Direction, 4" Pvc Subterranean Drain Pipe
- > — Drainage Flow Pattern, 2% Slope Min @ Impermeable Surfaces
- Area Drain location
- ▣ Proposed Gravity Catch Basin With BMP Filter and Pedestrian Grate. Overflows Clean Water To Sidewalk Underdrain
- ▨ Linear drain
- ⊗ Indicates downspout location at roof
- > — Circuit Direction, 4" PVC Thunderbird Drain Pipe @ Decks 1/8" - 1/2" Slope



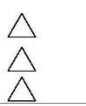
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Prestwick Residence
 8504 PRESTWICK DRIVE
 La Jolla, CA 92037

REVISIONS	PROJECT START
9/25/2020	



PHASE
 DESIGN PHASE

PROJECT NO. 2025-32

REVIEWED BY CAM

DRAWN BY FE

DATE 02/02/2025

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SHEET TITLE
 PROPOSED DRAINAGE PLAN

A011

DEMOLITION NOTES FOR COASTAL EXEMPTION

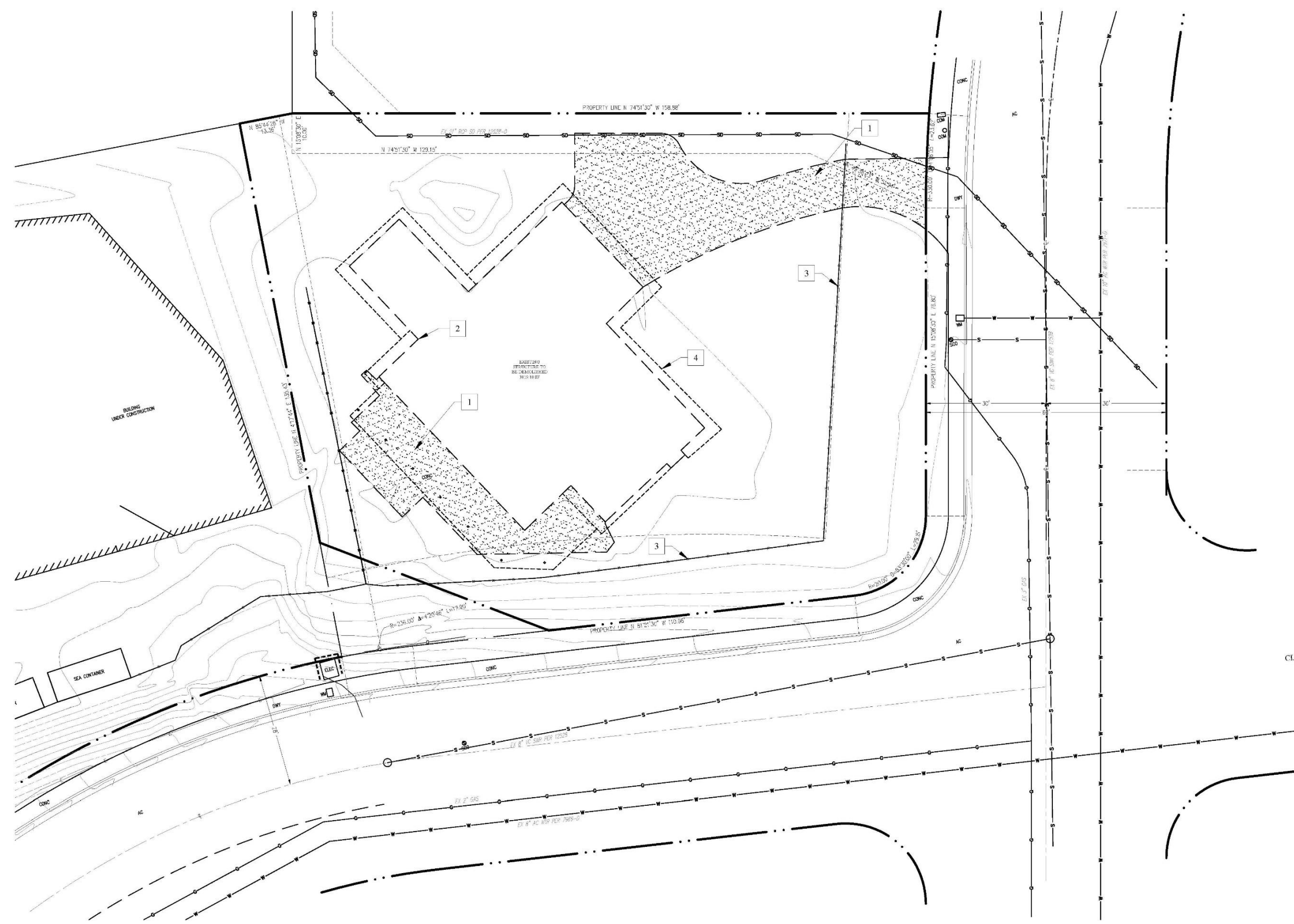
- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure without modifications.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill. New member is to be notched to sister and incorporate. Not existing lumber.
- G. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount). Need to be approved by architect to be sure after all cuts are made that we still comply.
- H. Cripple walls are permitted (placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the architect.
- L. There shall be no significant alteration of land forms including removal or placement of vegetation, on a beach, wetland or sand dune, or within 100 feet of the edge of a coastal bluff without first obtaining approval from the governing authority having jurisdiction over the project.
- M. If a sill is required to be 3x material where a 2x4 wall exists, a site meeting should take place with architect and engineer to block 3x on top of existing sill in between existing studs strapped and/or clipped in place.

DEMOLITION LEGEND

- Existing exterior perimeter walls to remain
- Existing interior walls to remain
- Existing walls to be removed
- Existing wall to remain, opening to be infilled
- Indicates dimension of existing walls that remain in place
- Indicates dimension of existing walls to be removed
- Perimeter of new walls
- Hardscape to be removed
- Removed window
- Removed door
- Chain link fence

DEMOLITION KEYNOTES

- 1** Existing Concrete driveway to be demolished
- 2** Existing Structure to be demolished
- 3** Existing Chain Link fence to be removed in its entirety
- 4** Existing roof above to be demolished



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Prestwick Residence
 8504 PRESTWICK DRIVE
 La Jolla, CA 92037

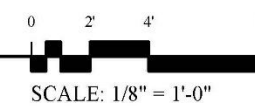
REVISIONS	PROJECT START
9/25/2020	
PHASE	DESIGN PHASE
PROJECT NO.	2025-32
REVIEWED BY	CAM
DRAWN BY	FE
DATE	02/02/2025

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SHEET TITLE
PROPOSED DEMO PLAN

A020

FIRST FLOOR DEMOLITION PLAN



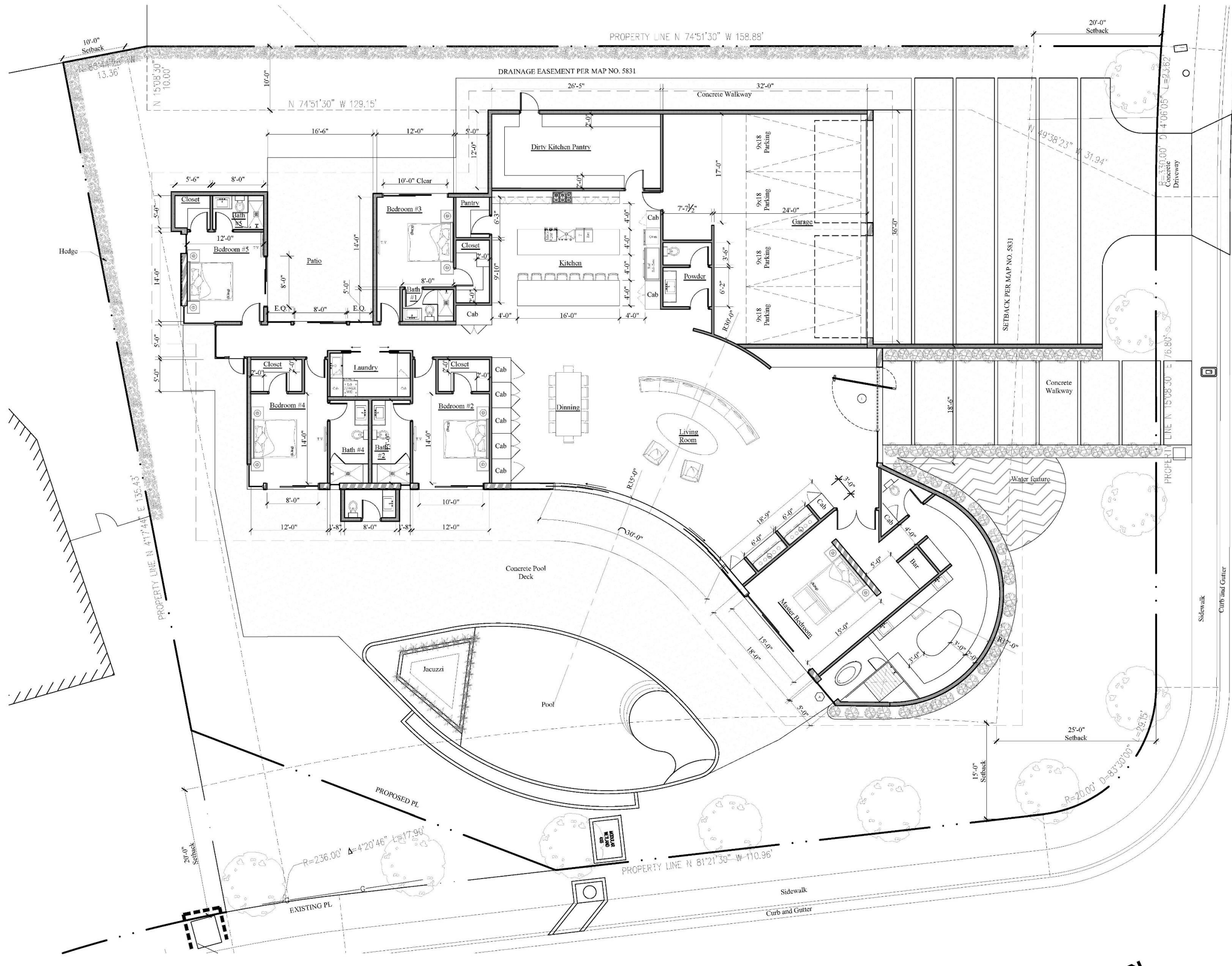
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HERS NOTES

1. An electronically signed and registered installation certificate(s) (eI2r) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered eI2r will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated eI2r. Certificate of occupancy will not be issued until forms eI2rs reviewed and approved.
2. An electronically signed and registered certificate(s) of field verification and diagnostic testing (eI3r) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (eI3r) shall be posted at the building site by a certified HERS rater. A registered eI3r will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated eI2r. Certificate of occupancy will not be issued until eI3r is reviewed and approved.

FLOOR PLAN NOTES

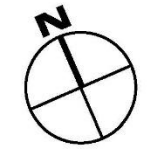
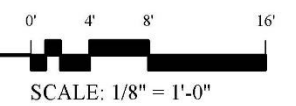
- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1.
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (CMC)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above flr. circ 407.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official.
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure, premises identification shall conform to cbc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC.
- U. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1)
- V. All stucco applications that return from a projection; need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep scored to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1/4" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be laid of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.



FLOOR PLAN LEGEND

- 2 x 4 existing interior wall - gyp. Each side
 - 2 x 6 existing exterior wall - gyp., stucco exterior
 - Existing 8" thick cmu wall
 - New 2 x 4 stud wall @ 16" o.c.
 - Finish interior w/ 5/8" gyp. Bd. Use tile backer board at restrooms.
 - New 2 x 6 stud wall @ 16" o.c. Gyp. each side.
 - One hour construction**
2 x wood stud @ 16" o.c. W/ 5/8" type "x" gyp. Bd. Each side. See detail 5 a10.3.
 - New doors and door symbol, see schedule on a8.1
 - New window and window symbol, see schedule on a8.1
 - Smoke detector - penn. Wired to building power w/ battery back-up, verify in field for existing conditions
 - floor drain (fd) slope 1/4" per 1'-0"
 - Flush washer and dryer connection per ox box specifications
 - Proposed exterior lighting
 - New door, installed 4 1/2" traditional jamb allowances from adjacent wall unless otherwise noted
 - Existing structure dimension
 - Proposed structure dimension
- Exterior wall dimensions to face of stud/fdn. Wall. Interior wall dimensions to center line of stud.
For additional project information see additional sheets.

PROPOSED FLOOR PLAN



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Prestwick Residence
8504 PRESTWICK DRIVE
La Jolla, CA 92037

REVISIONS	PROJECT START
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DESIGN PHASE	
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SHEET TITLE
PROPOSED FLOOR PLAN

A021

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STORM DRAINAGE NOTES

- The primary storm drainage system shall connect to the building storm water that connects to an underground public storm sewer.
- The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel.

HEIGHT NOTES

- The highest point of the roof, equipment, or any vent, pipe, antenna or other projection, shall not exceed 30' above grade.
- No portion of the proposed structure will exceed the existing building height, proposed height to be field verified to ensure compliance.

ROOF NOTES

- Roofing Underlayment Slope 3:12 or less:** "Ice and water shield" by W.R. Grace, ESR-1677, or "Winter guard HT" by Certain Teed Corp. ESR-1492 (or architect approved equal). Install per manufacturer's instructions. Install a #4 fiberglass reinforced felt sheet over roof membrane.
- Counter-slopes:** 1/2" per 12" (minimum) towards drains created using G-26 (latex-cement) flooring underlayment by Crossfield Products Corp.
- Roof edge drip, metal flashing, panel clips and counter flashing:** All exterior flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges.
- Built-up roofing system:** By GAF, GAFGLAS 4-ply hot mopped modified bitumen mineral surfaced roofing system. Provide a 1/2" per foot minimum roof slope. Install per manufacturer's instruction. Roofing system shall have a minimum 10 year labor and material warranty. Per specification division 7.1, Section G, for flashing, "Springlok" flashing system, type STX, by Fry Reglet Corp. Material 26 GA, provide "Windlok" clips and prefabricated mitered corner sections. Install per manufacturer's specifications. **Roofing system shall be a UL class "A" rated, ICC report UL ER 1306-02.**
- Plumbing vent:** ABS plastic to be flashed with Carlisle-syntec TPO pre-molded pipe flashing.
- Parapet, transitions and other horizontal stucco surface waterproofing:** Membrane waterproofing shall be Jifly Seal 140/60 by Protecto-Wrap. Extend membrane a minimum of 6" below edge of parapet, each side, provide a minimum and lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESR-1127.
- Roof drain:** Roof drain shall be TPO-RD2NH-2" TPO-clad no-hub bottom outlet drain by Thunderbird Products with A.B.S. Dome strainer. Telephone (800) 658-2473. Provide 3" i.d. ABS drain lines with min 1/2" slope. Connect to building storm water.
- Fireplace vent:** Fireplace vent shall be type B stainless steel as required by fireplace manufacturer. Minimum size mesh in spark arrestor shall be 1/4". Mesh shall be stainless steel or copper.
- Roof vent:** TPO pre-molded roof venting.
- Clay tile roofing:** Roofing shall be two-piece mission tile, to be "Carmel blend by US Tile, ESR-1017. Provide a 3x3" sample of mock of tile pattern and color for owner and architect approval prior to ordering material. Install with random exposure pattern. Provide 20% random field boosters. Install per manufacturer's instructions over 40# roofing felt underlayment at roof with a minimum of 3 to 12 slope. All roofing materials shall be class "A".
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials.
- Drip edge flashing used at the free edges of roofing materials shall be non-combustible.
- Valley flashings shall be not less than 0.019" (#26 copper gauge) corrosion-resistant metal installed over a min. 36"-wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley.
- Turbine attic vents shall be equipped to allow one-way direction rotation only and shall not free spin in both directions.
- Enclosed rafter assemblies not required to be vented per CRC R806.5.
- The entire roof shall be covered with a fire-retardant roof covering that is at least class "A" when the area of the addition to the existing building is more than twenty-five percent (25%) of the original floor area of the building (SDMC 149.0902(a)(2)).



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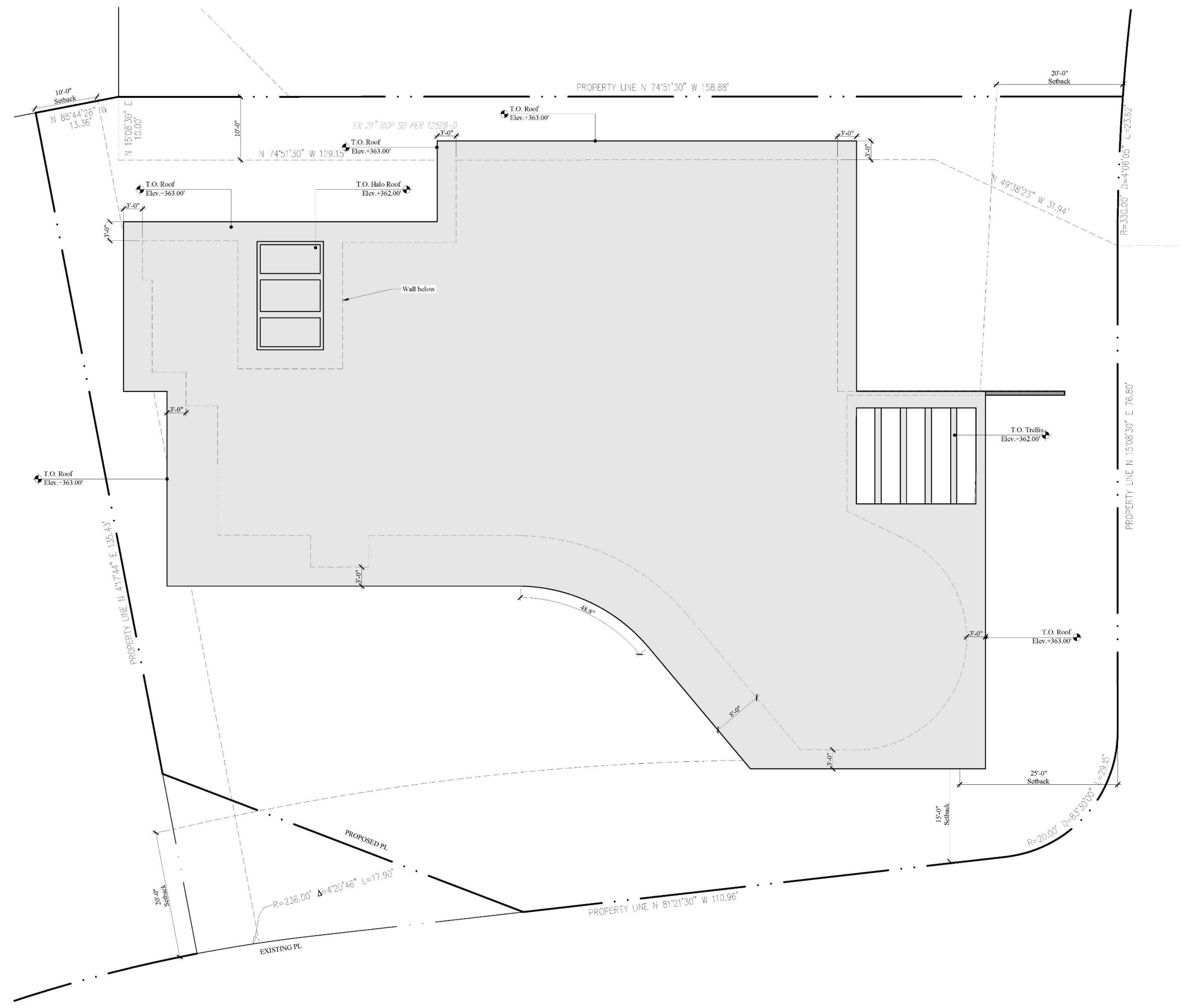
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Prestwick Residence
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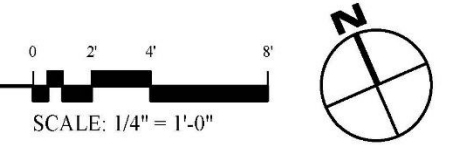
REVISIONS	PROJECT START
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SHEET TITLE
PROPOSED ROOF PLAN
A040



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



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ELEVATION NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility information.
- c. Refer to Sheet A060 and A061 for building sections.
- d. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- e. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.



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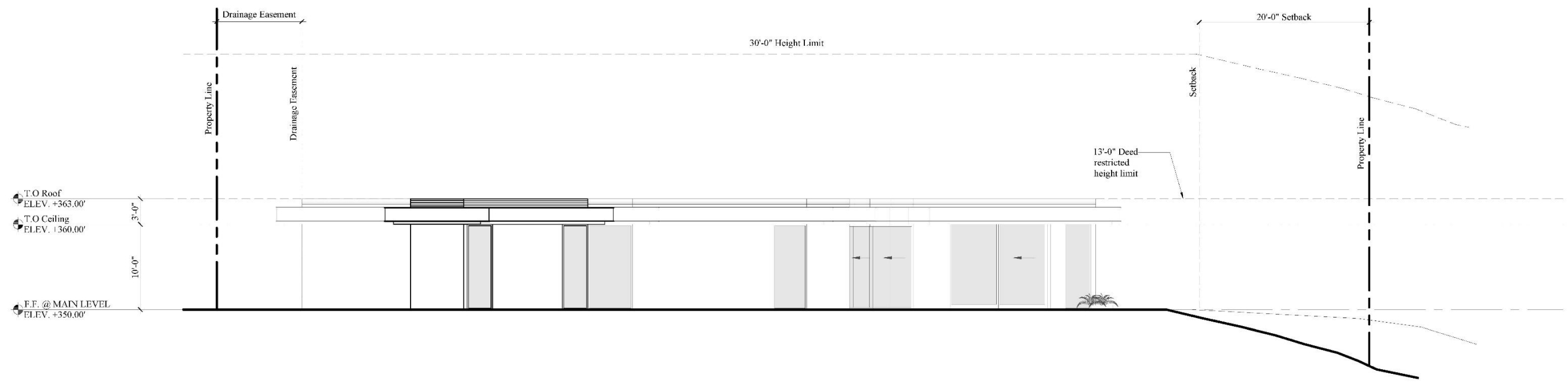
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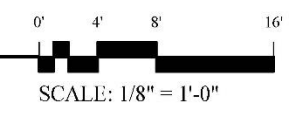
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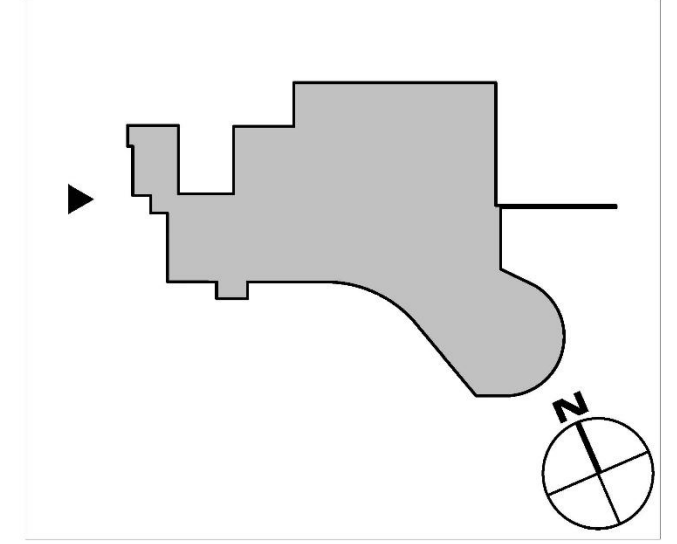
SHEET TITLE
PROPOSED ELEVATIONS
A050



PROPOSED EAST ELEVATION



KEY PLAN



ELEVATION NOTES

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- c. Refer to Sheet A060 and A061 for building sections.
- d. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- e. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.



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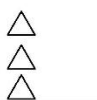
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REVISIONS
9/25/2020 PROJECT START



PHASE
DESIGN PHASE

PROJECT NO. 2025-32

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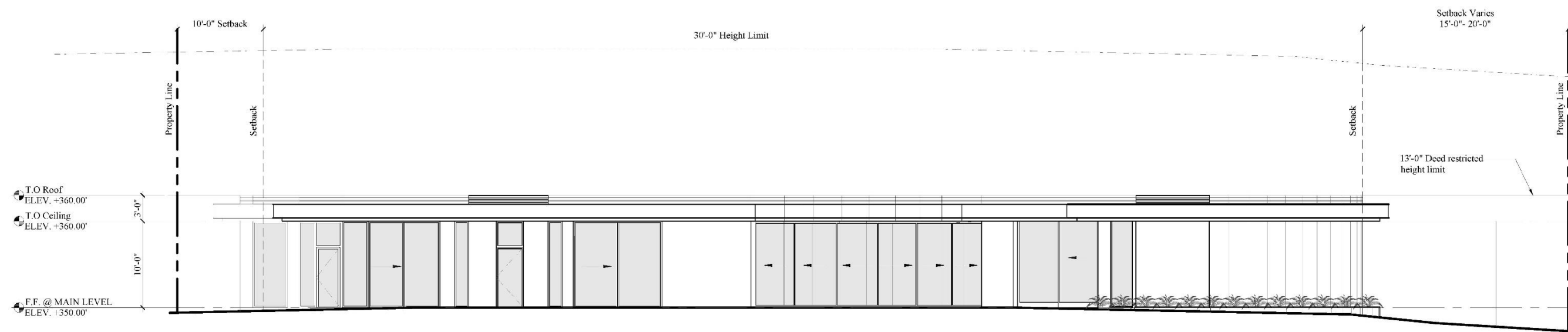
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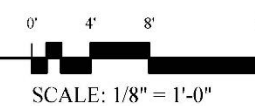
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SHEET TITLE
PROPOSED ELEVATIONS

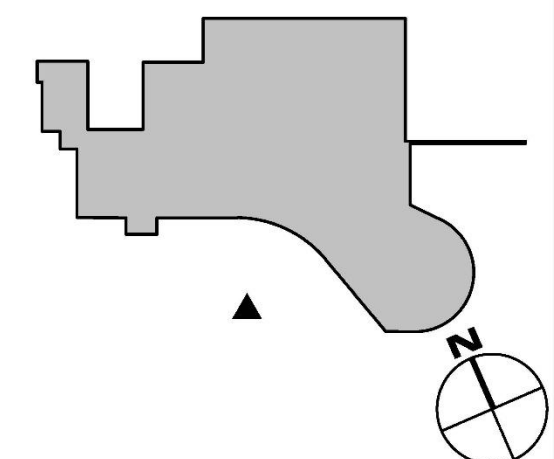
A051



PROPOSED SOUTH ELEVATION



KEY PLAN



ELEVATION NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility information.
- c. Refer to Sheet A060 and A061 for building sections.
- d. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- e. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.



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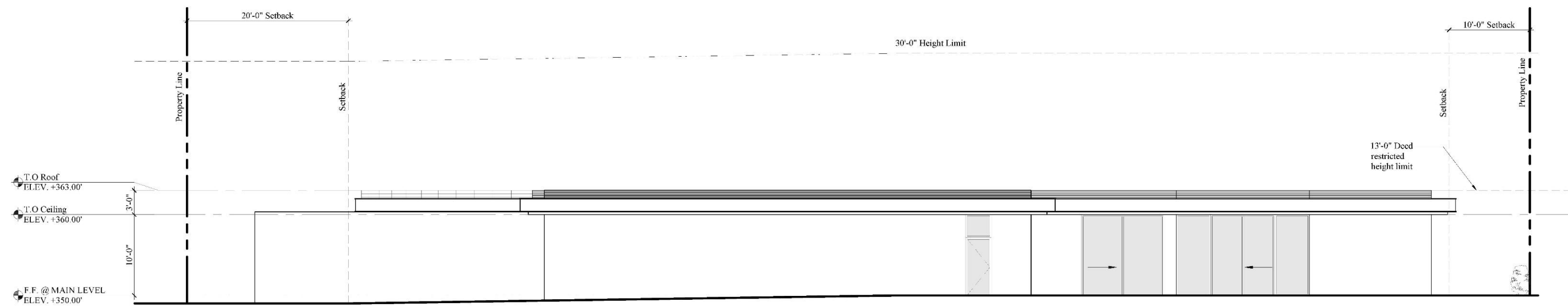
Prestwick Residence
 8504 PRESTWICK DRIVE
 La Jolla, CA 92037

REVISIONS	PROJECT START
9/25/2020	
△	
△	
△	
PHASE	DESIGN PHASE
PROJECT NO.	2025-32
REVIEWED BY	CAM
DRAWN BY	FE
DATE	02/02/2025

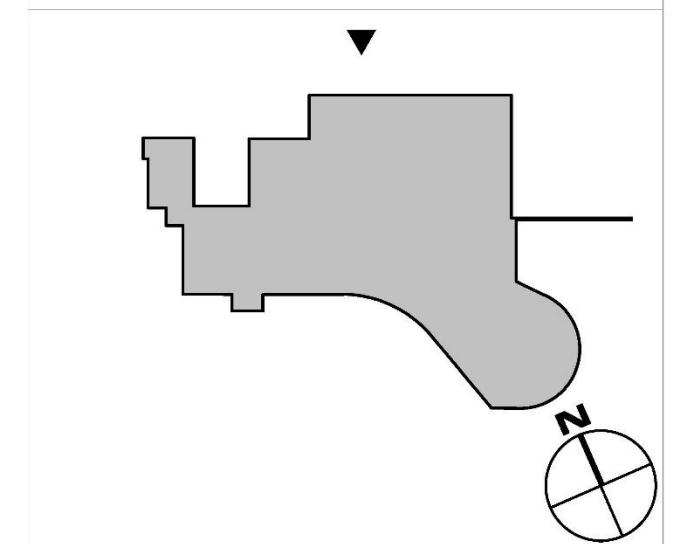
Marengo Morton Architects, Inc. is providing, by agreement with our client, certain design services. We warrant that the data, plans, specifications, reports, documents, or other information received or transmitted in electronic media (including but not necessarily limited to "CAD documents") and subject to unavoidable distortions, either intentional or unintentional, due to, among other causes, transmission, compression, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the client for informational purposes only and not as an end product for a construction project. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped seal copies with the registration of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SHEET TITLE
PROPOSED ELEVATIONS

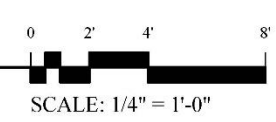
A052



KEY PLAN



PROPOSED NORTH ELEVATION



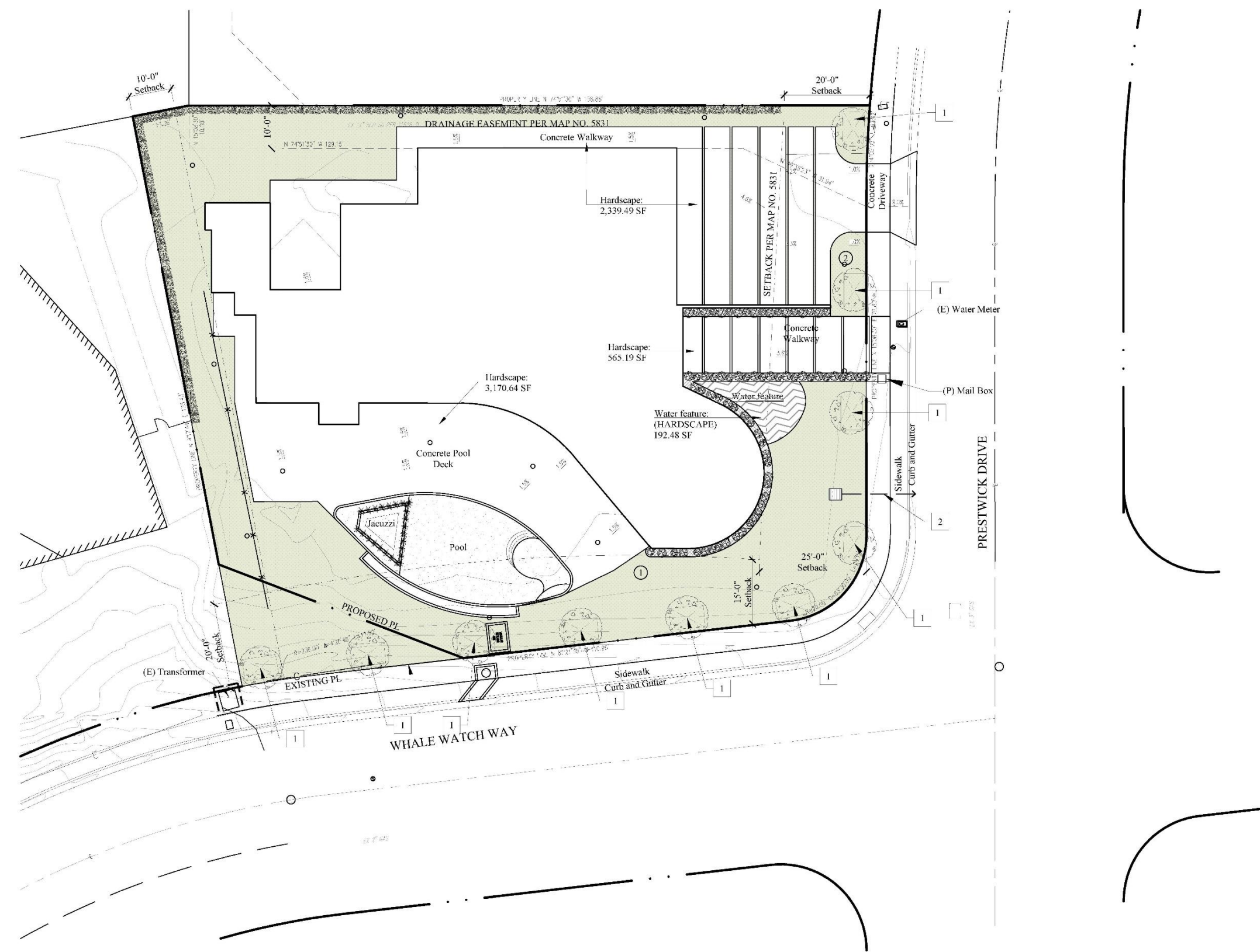
PLANTING SQ FT TABLE	
SYM.	SQ FT
①	YARD PLANTING AREA 10,486.46
②	DRIVEWAY PLANTING AREA 108.77
TOTAL FIRST FLOOR @ STREET 1,326.81	

STREET TREE CALCULATIONS	
Per SDMC 142.0409(a)(1)(A):	
Street Tree Requirement: (1) 24" Box Street Tree per 30 Linear Feet of Street Frontage	
Street Frontage: 258 Linear Feet	
Street Trees Required: $258 / 30 = 8.6 = 9$	
Street Trees Proposed: (10) Magnolia Grandiflora	

PLANT LEGEND	
	(14x) New 5-gallon shrubs (2 points per plant)
	New Magnolia Grandiflora 'Little Gem' Common name: Little Gem Magnolia Height: 20' Spread: 10' Container size: 36"x36" (50 points per plant)

LEGEND	
	PROPOSED RESIDENCE
	PLANTING AREA PROVIDED
	PLANTING AREA NOT COUNTED IN LANDSCAPE CALC.**
	HARDSCAPE AREA PROVIDED
	WATER FEATURE (HARDSCAPE)
	40 SQ FT ROOT ZONE (5'x8')

- ### LANDSCAPE NOTES
- The plan is for general landscape reference only. Refer to other construction documents for complete scope of work.
 - All landscape and irrigation shall conform to the standards of the city-wide landscape regulations and the city of San Diego Land Development Manual landscape standards and all the other landscape related city and regional standards.
 - All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
 - The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawings until written or verbal instructions are issued by the architect's office.
 - No trees or shrubs whose height will be 3' at maturity shall be installed within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.
 - Minimum tree separation distance:
to traffic signals (stop sign): 20 ft.
to underground utility lines: 5 ft. (10 ft. To sewer)
to above ground utility structures: 10 ft.
 - Intersections (intersecting curb line of two streets): 25 ft.
 - Irrigation: An automatic, electrically controlled drip irrigation system shall be provided as required for proper irrigation, development and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.
 - Maintenance: All required landscape areas shall be responsible for long-term maintenance by 5510 C.L.L.C. Landscape and irrigation areas in the public row shall be maintained by 5510 C.L.L.C. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactory treated or replaced per the conditions of the permit.
 - Per SD municipal code 142.0409: Minimum of one 24-inch box tree for every 30 ft. Of street frontage or one 10-foot brown trunk height palm tree for each 20 feet of street frontage.
 - Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of travel way per the SDMC 142.0405(b)(10).
 - Landscaping shall be planted and maintained to not exceed 3ft in height in order to preserve public views.
 - Prior to issuance of any construction permits for structures, the owner/permittee shall submit complete landscape and irrigation construction documents to the development services department for approval.
 - Owner shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a landscape maintenance district or other approved entity. All required landscape shall be maintained consistent with the landscape standards in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
 - If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the development services department within 30 days of damage.
 - A minimum root zone of 40 sq ft in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).
 - Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.
 - The applicant agrees to comply with the requirements of the prescriptive compliance option to the Model Water Efficient Landscape Ordinance (MWELO) in accordance with state law and Land Development Code Section 142.0413(h) and will provide record owner at the time of final inspection with a certificate of completion, certificate of installation, irrigation schedule, and schedule of landscape and irrigation maintenance.
 - Irrigation Audit: Projects subject to the requirement for a water budget Table 142-041 must conduct and submit to the City an Irrigation Audit consistent with San Diego Municipal Code 142.0413(i) and Section 2.7 of the Landscape Standards of the Land Development Manual prior to occupancy and use.
 - Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.0411.
 - All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
 - All landscaping shall be completed within 6 months of occupancy or within one year for the notice of a completion of a residence.



LANDSCAPE CALCULATIONS

LANDSCAPE REQUIREMENTS	AREA (SQ FT)	PERCENTAGE
LOT AREA	20,123.04 SQ FT	100%
REQUIRED LANDSCAPED AREA	6,036.91 SQ FT	30%
TOTAL LANDSCAPED AREA PROVIDED (PLANTING + HARDSCAPE)	13,445.04 SQ FT	66.81%
TOTAL PLANTING PROVIDED	7169.71 SQ FT	36%
TOTAL HARDSCAPE PROVIDED*	6275.33 SQ FT	31%
FIRST FLOOR BLDG FOOTPRINT	6,678 SQ FT	33%
		100.00%

* CMU site and retaining walls included in the hardscape calculations

** Area not included in landscape calculations due to being less than 30 square feet in size or with a dimension less than 3 feet in length per SDMC 142.0403(d)(2). "Planting areas may be counted toward the planting area required by this division if they are greater than 30 square feet in size with no dimension less than 3 feet."

*** The landscaping percentage (46.23%) exceeds 30% of the total parcel area as required by SDMC 1510.0304(h)(1)

Note: All landscape area is calculated in accordance with SDMC 142.0403(d) and SDMC 1510.0304(h) for Landscape Regulation in the Single-Family Zone for the La Jolla Shores Planned District. All landscaped area is to be maintained in a healthy condition and is to be irrigated in accordance with the Landscape Guidelines of the Land Development Manual.

- ### KEY NOTES
- New (10x) Magnolia Grandiflora (Refer to plant legend)
 - Sidewalk Underdrain Per Standard Drawing D-27 Q=0.11 CFS, V=1.2 CFS

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Michael Morton AIA
Claude Anthony Marengo DESA

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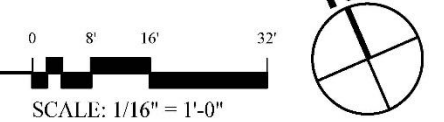
Prestwick Residence
8504 PRESTWICK DRIVE
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REVISIONS	PROJECT START
9/25/2020	
△	
△	
△	
PHASE	DESIGN PHASE
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PROPOSED SITE PLAN
L010

PROPOSED LANDSCAPE PLAN



S:\Projects\2025\Projects\2025-32_8504 Prestwick Residence\2-Iterations\Red\1010_LANDSCAPE PLAN.dwg Feb 02, 2025 5:09pm



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Project:	Prestwick Residence
Location:	8504 Prestwick Residence La Jolla, CA 92037
Project #	2025-32
Date:	04/01/2026



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Date:	04/01/2026

Neighborhood Photo Study

Prestwick Residence

8504 Prestwick, La Jolla, CA 92037

APN: 346-680-09-00

LEGAL DESCRIPTION

LOT 24 OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5831, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1967.

April 1st, 2026



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Project #	2025-32
Date:	April 1st, 2026

300' Radius FAR and Setbacks

Reference #	Site Address	Parcel Number	LotSize	FAR	Front SB	Side SB
1	8514 Prestwick Dr	346-680-07-00	16,514 sf	0.30	25 ft	6 ft
2	7645 Prestwick Dr	346-212-02-00	14,982 sf	0.23	22 ft	10 ft
3	2678 Prestwick Ct.	346-680-20-00	28,748 sf	0.25	20 ft	10 ft
4	8528 Prestwick Dr	346-680-19-00	28,313 sf	0.25	30 ft	10 ft
5	8538 Prestwick Dr	346-680-01-00	23,429 sf	0.22	25 ft	7 ft
6	8548 Prestwick Dr	346-670-05-00	29,184 sf	0.30	30 ft	10 ft
7	8558 Prestwick Dr	346-670-04-00	27,237 sf	0.24	25 ft	10 ft
8	8505 Prestwick Dr	346-680-14-00	22,650 sf	0.22	25 ft	8 ft
9	8515 Prestwick Dr	346-680-10-00	13,190 sf	0.26	20 ft	8 ft
10	8529 Prestwick Dr	346-680-11-00	11,638 sf	0.28	25 ft	8 ft
PROPOSED	8504 Prestwick Dr	346-680-09-00	20,123.04	0.32	23'-11"	20'-7"South/10'North
Right at AVERAGE	Zone: LSPD SF		21,643 sf	0.26	24'-7"	9'



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 La Jolla, CA 92037
 Project # 2025-32
 Date: April 1st, 2026



Key Map



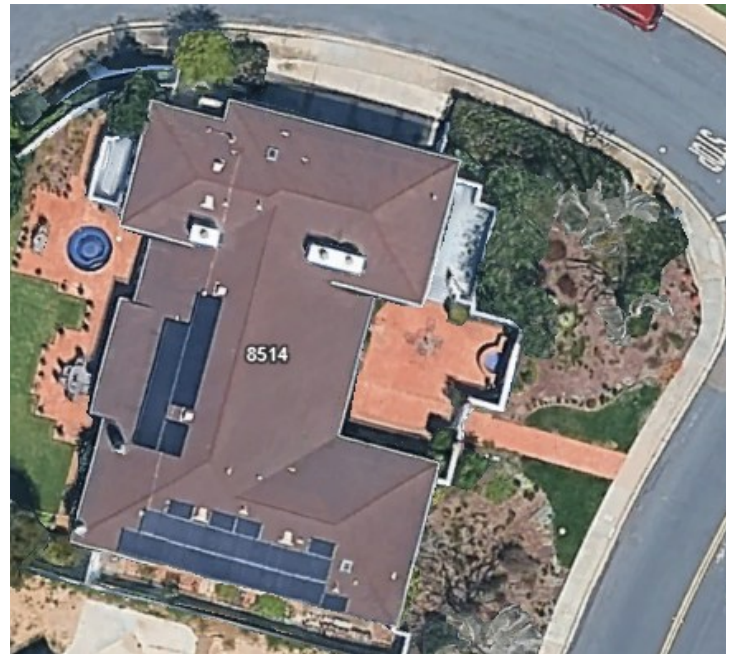
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Prestwick Residence
 8504 Prestwick Dr.
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 2025-32
 April 1st, 2026



1. 8514 Prestwick Dr



Key Map

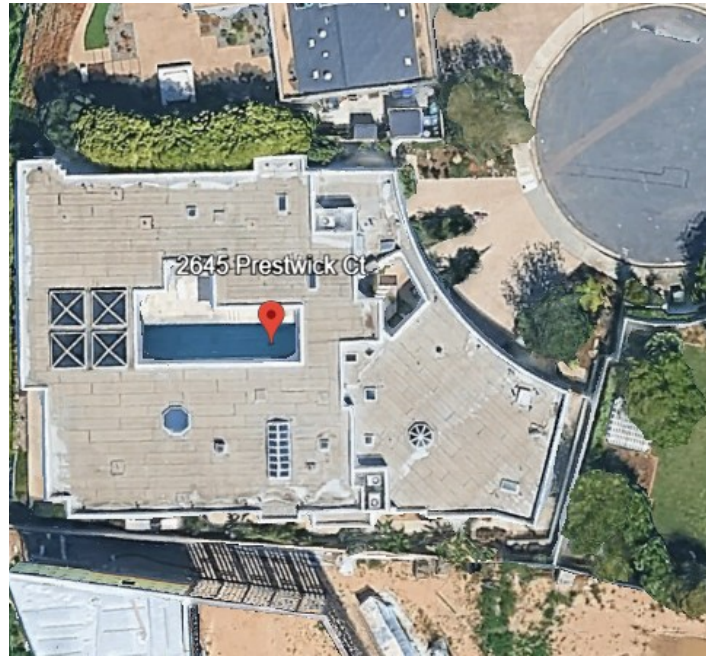


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2. 7645 Prestwick Dr



Key Map

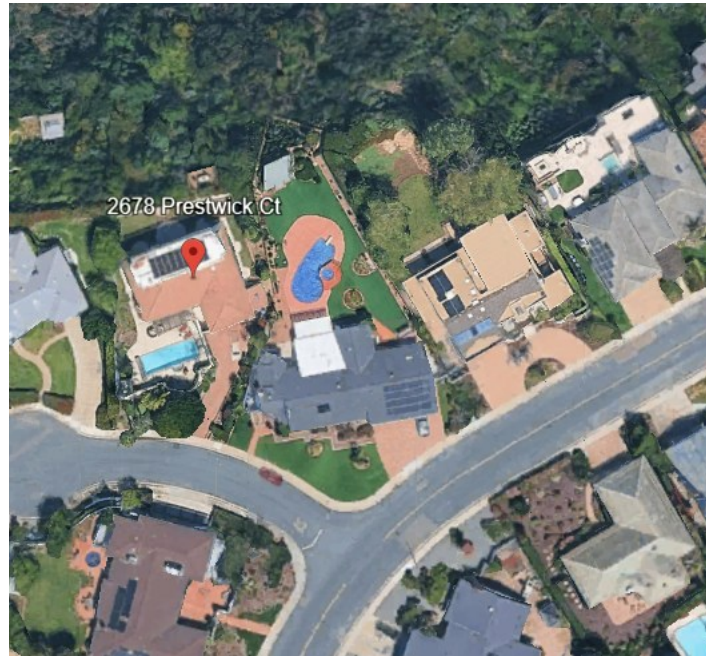


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3. 2678 Prestwick Ct.



Key Map



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Date:

Prestwick Residence
8504 Prestwick Dr.
La Jolla, CA 92037
2025-32
April 1st, 2026



4. 8528 Prestwick Dr



Key Map

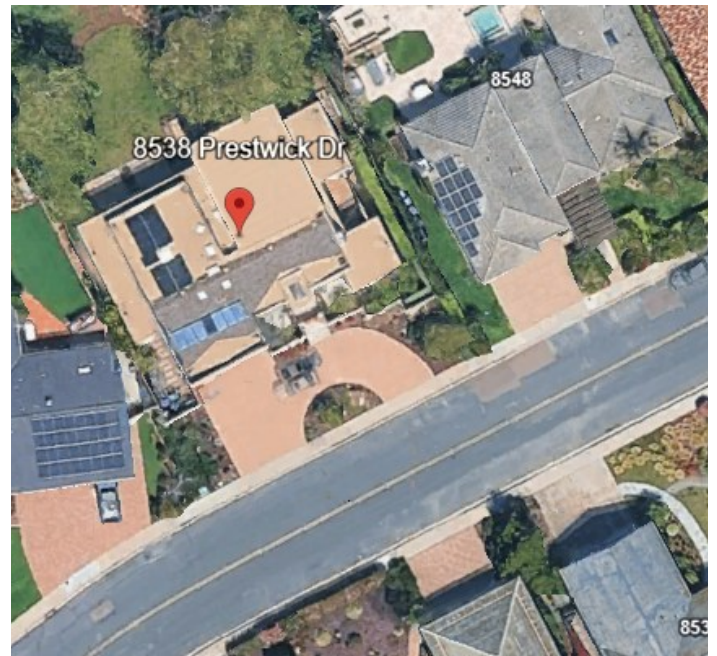


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Project:	Prestwick Residence
Location:	8504 Prestwick Dr. La Jolla, CA 92037
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5. 8538 Prestwick Dr



Key Map



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Location:	8504 Prestwick Dr. La Jolla, CA 92037
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6. 8548 Prestwick Dr



Key Map



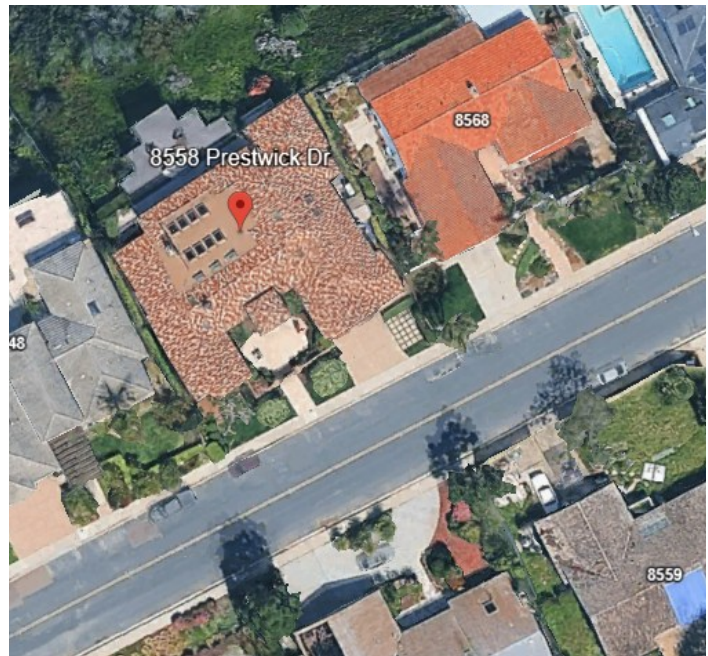
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Project:
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7. 8558 Prestwick Dr



Key Map

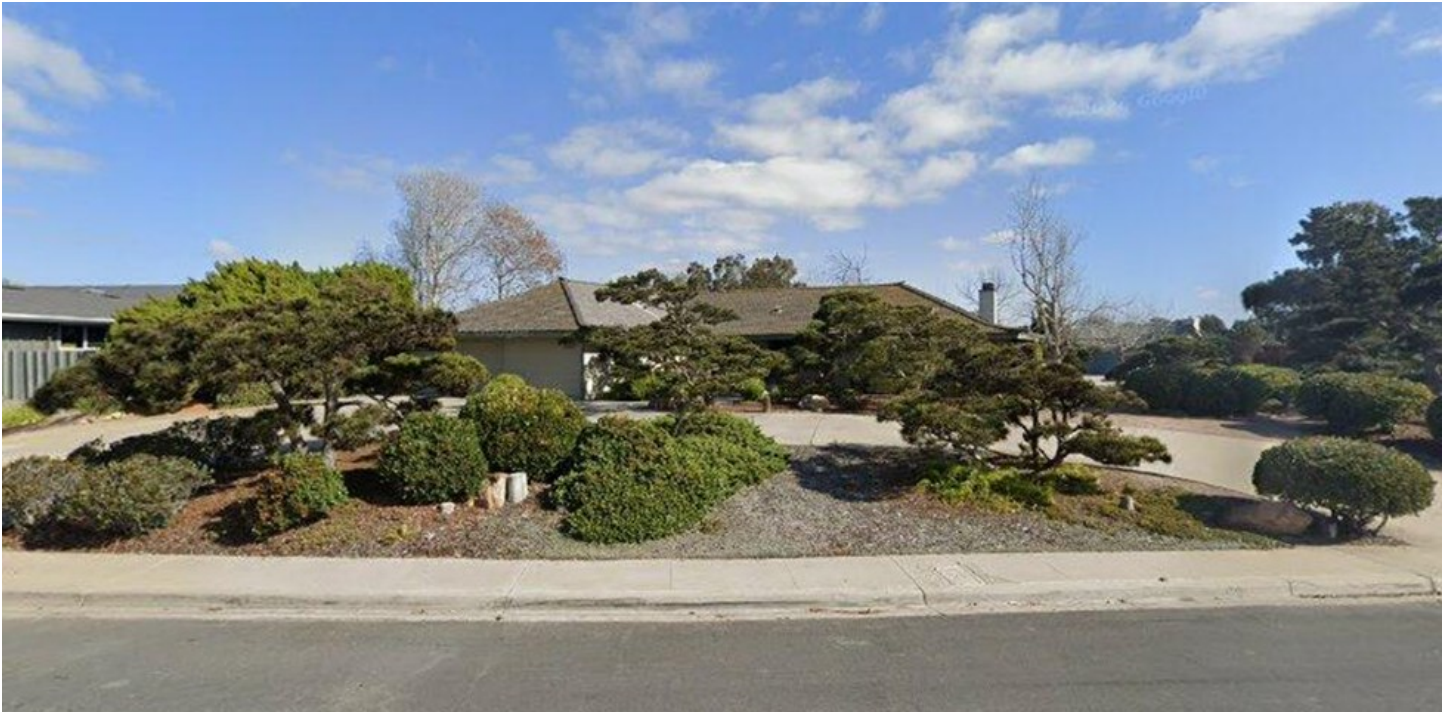


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Project:
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8. 8505 Prestwick Dr



Key Map



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9. 8515 Prestwick Dr

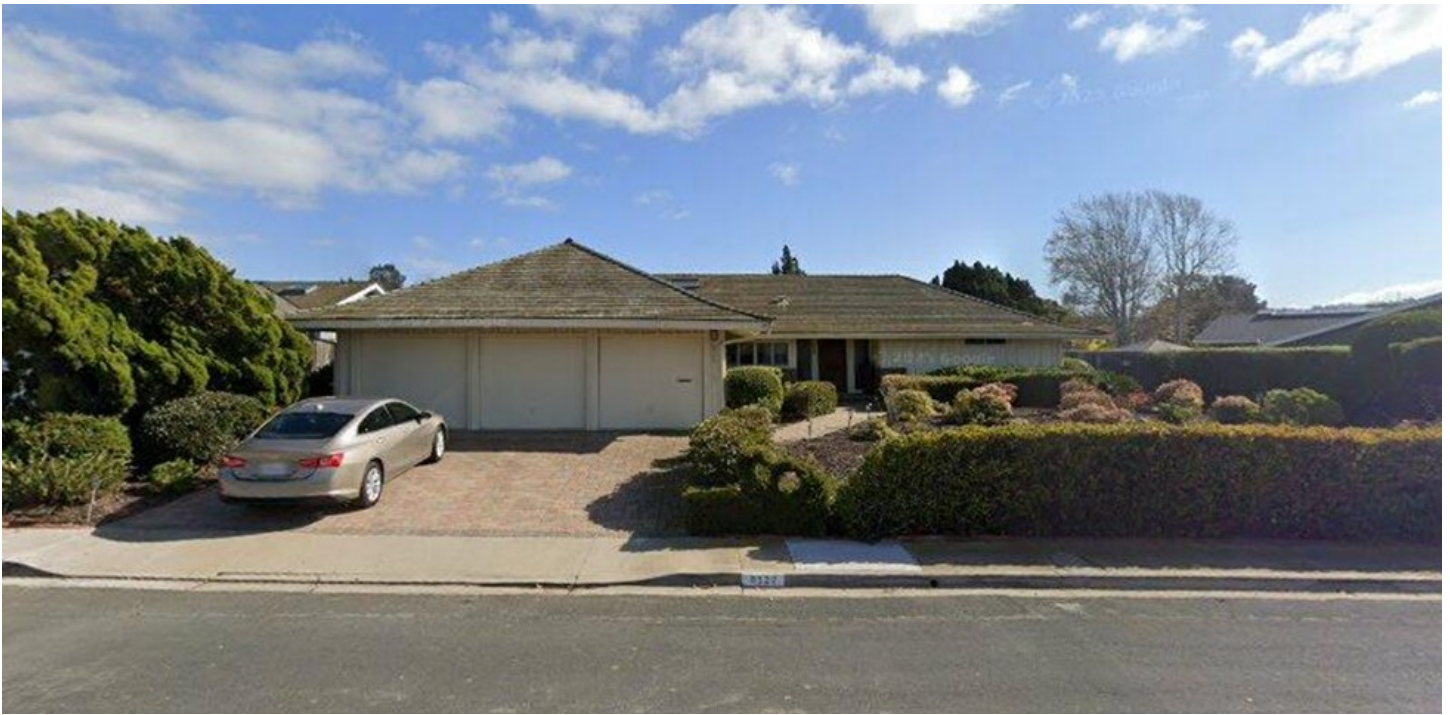


Key Map



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10. 8529 Prestwick Dr



Key Map



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11. 8539 Prestwick Dr



Key Map



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12. 8549 Prestwick Dr



Key Map



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13. 2732 Inverness Dr.



Key Map



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14. 2744 Inverness Dr.



Key Map

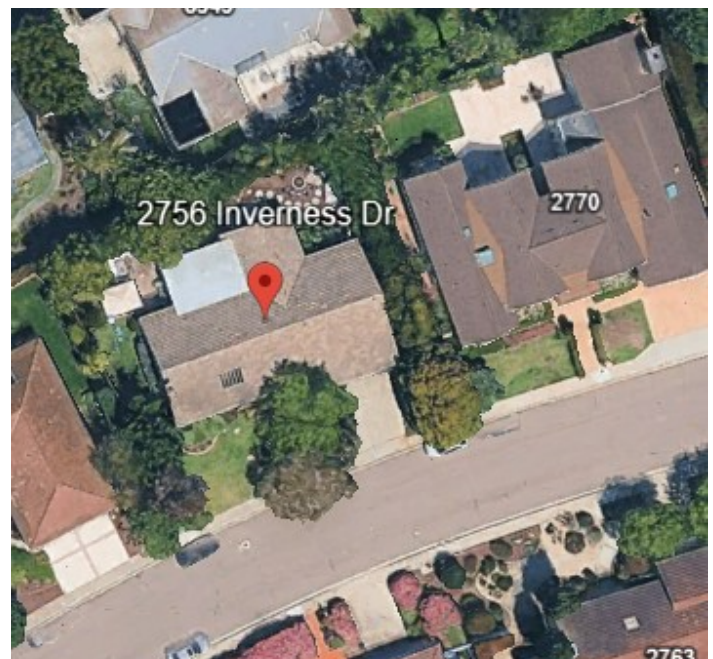


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15. 2756 Inverness Dr



Key Map



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16. 2770 Inverness Dr



Key Map



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Project:	Prestwick Residence
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17. 8741 Whale watch Way



Key Map



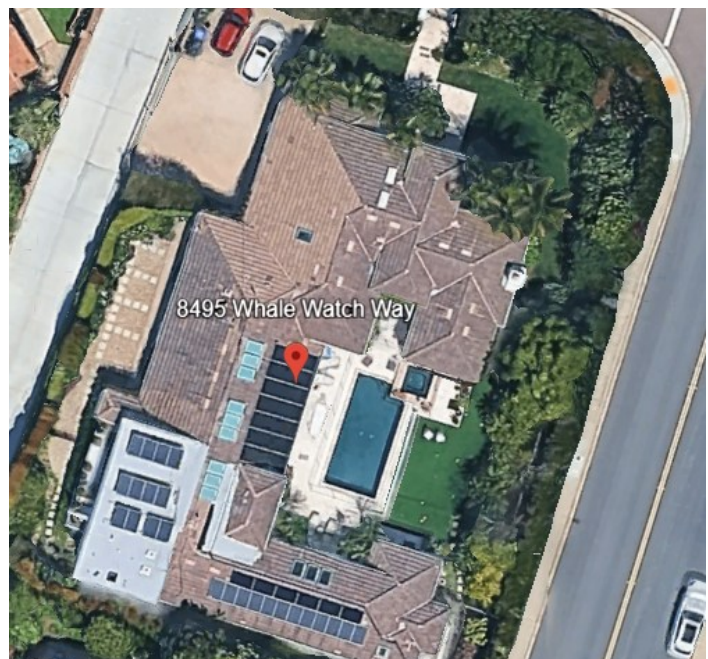
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 CAMarengo@M2A.io

Project:
 Location:
 Project #
 Date:

Prestwick Residence
 8504 Prestwick Dr.
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 2025-32
 April 1st, 2026



18. 8495 Whale Watch Way



Key Map



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19. 2715 Inverness Dr



Key Map



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20. 8480 Whale Watch Way



Key Map



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Project #	2025-32
Date:	April 1st, 2026



THE CITY OF SAN DIEGO
Development Services Department
7650 Mission Valley Road, San Diego, CA 92108

Project Address 8504 Prestwick Dr
San Diego, CA 92037

Project Type Discretionary Project

Primary Contact SHANI SPARKS
shani@eosarc.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Site Development Plans PRJ-1113950.pdf

DSD-Historic

Megan Walker
mewalker@sandiego.gov

[Comment 00001 | Sheet CS1.0 | Closed]

- The property located at **8504 Prestwick Dr, APN 346-680-0900**, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required)
- During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:
<http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf>
(Informational Only; No Response or Action Required)
- More information regarding this review process can be found in Information Bulletin 580:
<http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf>
(Informational Only; No Response or Action Required)
- If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required)
- If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...)
- (...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required)



THE CITY OF SAN DIEGO
Development Services Department
7650 Mission Valley Road, San Diego, CA 92108

- Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination:
 - The property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required)
 - Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle issues report. (Info Only, No Response Required)
-

Other

Community Planning Group

John Norris
JNorris@sandiego.gov
619-687-5988

[[Comment 00042](#) | [Page](#) | [Open](#)]

Please submit the project to the La Jolla Community Planning Association, Harry Bubbins, chair at info@lajollacpa.org for a review and vote. Please submit the results of the vote on form IB 520 to me as Project Manager.

DSD-Engineering Review

Karen Vera
KVera@sandiego.gov

[[Comment 00002](#) | [Page](#) | [Closed](#)]

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions. (Information Only – No Action Required)

[[Comment 00003](#) | [Page](#) | [Closed](#)]

The Engineering Review Section has reviewed the subject development and have the following comments that need to be addressed prior to a Public Hearing / Public Notice of Decision. Upon resubmittal, we will complete our review of the Site Development Permit and Coastal Development Permit Plans.



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[Comment 00004 | Page | Closed]

The San Diego Water Board adopted Order No. R9-2013-0001, NPDES No. CAS0109266, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of ministerial permit.

[Comment 00005 | Page | Closed]

Based on the submitted information, project is a Standard Development Project. (Information Only – No Action Required)

[Comment 00006 | Page | Closed]

Submit a completed Form I-4 and Form I-5 that addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. If any of the 14 possible BMPs have not been applied in the project design, add a discussion in the form why the omitted BMPs are not feasible or not applicable.

[Comment 00007 | Page | Closed]

A copy of the Standard SWQMP forms I-4 and I-5 can be downloaded from:
https://www.sandiego.gov/sites/default/files/january_2018_storm_water_standards_manual_0.pdf (Information Only – No Action Required)

[Comment 00008 | Page | Closed]

No grading is proposed for this project therefore no grading is approved for this project. Spoil dirt shall be hauled away to an approved disposal site. If grading is proposed at a later date an additional Discretionary Review will be required. (Information Only – No Action Required)

[Comment 00009 | Page | Closed]

Revise the Site Plan. Add surface drainage flow patterns and slope gradient, and the collection and discharge points for site.

[Comment 00010 | Page | Open]

Please dimension existing public drainage easement and show and callout storm drain located within property limits. Please note, drainage easement width may be required to be brought up to current City Standards per current Drainage Design Manual.

[Comment 00011 | Page | Closed]

Please note Encroachment Maintenance & Removal Agreement (EMRA) for private landscaping within ROW will be required as a condition of approval.

[Comment 00012 | Page | Closed]

Revise plan set. Please comply with the minimum 1/10" lettering size requirement on all sheets. Revise and update for next submittal.

[Comment 00013 | Page | Closed]

Revise the Site Plan. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.



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[Comment 00014 | Page | Closed]

Revise the Site Plan. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

[Comment 00015 | Page | Closed]

Please add a callout for dirt filled pool: "Dirt filled pool is not included as part of this permit."

[Comment 00016 | Page | Closed]

Development Permit Conditions will be determined on the next submittal when all requested information is provided. (Information Only – No Action Required)

[Comment 00017 | Page | Closed]

Please provide a written response to all comments whether you agree or not and in case of disagreement, express your reasoning.

[Comment 00018 | Page | Closed]

Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions or comments, please email Karen Vera at KVera@saniego.gov. (Information Only – No Action Required)

[Comment 00043 | Page | Closed]

Please add the following to site plan: This project is located within the ASBS watershed. No dry weather runoff is permitted, project will be subject to increased inspections, satisfactory to the City Engineer.

[Comment 00044 | Page | Closed]

Referring to previous cycle issue #6: Please make sure the entire form is filled out. Submitted form I-5A was not completed in its entirety. Please make sure all sections are marked off "yes, no, or N/A". Please note if "no" is marked off for any section of form I-5A, justification must be provided.

[Comment 00045 | Page | Open]

Referring to previous cycle issue #10: Please show and call out existing storm drain pipe located within drainage easement. Please call out D-Sheet number associated with pipe, size and material. Please refer to section 4.1.6.1 of the Drainage Design Manual and show and call out the dedication of the additional easement width to meet minimum standards.

[Comment 00046 | Page | Closed]

Referring to previous cycle issue #12: Font size does not appear to be updated when comparing cycle 1 and cycle 2 site development plans. Please resize all font for next submittal.

[Comment 00047 | Page | Closed]

Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional 5' Drainage easement as shown on approved Exhibit 'A', satisfactory to the City Engineer.

[Comment 00048 | Page | Closed]



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Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for the existing sidewalk underdrains, mailbox, light post, and private landscaping within the Prestwick Drive and Whale Watch Way Right-of-Way, satisfactory to the City Engineer.

[Comment 00049 | Page | Closed]

Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for the existing sidewalk underdrains, mailbox, light post, and private landscaping within the Prestwick Drive and Whale Watch Way Right-of-Way, satisfactory to the City Engineer.

[Comment 00050 | Page | Closed]

Prior to the issuance of any building permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

[Comment 00051 | Page | Closed]

Prior to the issuance of any building permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

[Comment 00059 | Page | Open]

Please note that unchecked comments of previous reviews are still standing and need to be addressed.

[Comment 00060 | Page | Closed]

Project is subject to SDMC 143.1210. Please refer to Planning Comments for more information. Additional comments will be recommended pending receipt of additional information.

[Comment 00061 | Page | Closed]

Referring to previous cycle issue #6: Submitted I-4A form was not complete. Project must implement Source Control BMP's, items 4.2.1 through 4.2.6 were not marked off on the form. Please revise forms for next submittal.



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Source Control BMP Checklist for Standard Projects		Form I-4A		
All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.				
Source Control Requirement	Applied ⁽¹⁾ ?			
4.2.1 Prevention of Illicit Discharges into the MS4	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
4.2.2 Storm Drain Stenciling or Signage	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
4.2.6 BMPs based on Potential Sources of Runoff Pollutants				
On-site storm drain inlets	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
Interior floor drains and elevator shaft sump pumps	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A	
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A	
Need for future indoor & structural pest control	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A	

[Comment 00062 | Page | Open]

Referring to previous cycle issue #10 and 45: Third request - please add existing SD pipe information and associated D-sheet on plans. Please also revise plans to comply with section 4.1.6.1 of the Drainage Design Manual and show and call out required dedication of additional easement width.

[Comment 00066 | Page | Open]

CHANGE OF SCOPE: Coastal Development Permit and Site Development Permit for the Construction of a single-story contemporary residence of approximately 6,678 SF with 5 bedrooms and 5.5 bathrooms, plus associated site improvements including pool, hardscape, drainage improvements, and landscape. (Information Only – No Action Required)

[Comment 00067 | Page | Open]

CHANGE OF SCOPE: Due to the change of scope, LDR-Engineering Review will review this project as a 1st Cycle Review. Should you have any questions or comments, please email Karen Vera at K Vera@san diego.gov. (Information Only – No Action Required)

[Comment 00068 | Page | Open]

CHANGE OF SCOPE: Draft conditions provided in the 2nd review cycle will be cleared. Revised conditions will be provided when all requested information is provided. (Information Only – No Action Required)

[Comment 00069 | Page | Open]

Applicant did not submit a written response to all open comments. At the next submittal, please address all comments and provide a written response.



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[Comment 00070 | Page | Open]

Referring to previous cycle issues #10, 45, 62: 4TH REQUEST - Revise plans to show and call out required 5' drainage easement dedication. Submitted plans show encroachments within existing 10' drainage easement as well as in the proposed 5' easement dedication area. Applicant will be required to modify building footprint/plans to comply with drainage easement requirements.

[Comment 00071 | Page | Open]

The San Diego Water Board adopted Order No. R9-2013-0001, NPDES No. CAS0109266, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of ministerial permit.

[Comment 00072 | Page | Open]

Based on the submitted information, project is a Priority Development Project (PDP). Project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of submittal. Applicant will be required to submit a Stormwater Quality Management Report (SWQMP) and clearly identify how this project adheres to the current City of San Diego storm water regulations. Submit exhibits and calculations that identify any areas that must be set aside for treatment control/hydromodification BMP's or dispersion areas for storm water volume reduction. Clearly show how runoff is directed to these treatment areas.

[Comment 00073 | Page | Open]

Please refer to Appendix A of the Storm Water Manual. Additional comments will follow.

[Comment 00074 | Page | Open]

Revise the Site/Grading Plan. Show and call out the proposed Treatment Control BMPs on plans.

[Comment 00075 | Page | Open]

Revise the Site Plan. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

[Comment 00076 | Page | Open]

Revise the Site Plan. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

[Comment 00077 | Page | Open]

The project is located within the ASBS watershed and is a high threat to water quality. Submit a revised DS-560 to include ASBS and revised project scope.

[Comment 00078 | Page | Open]

Please add the following to site and grading sheets: This project is located within the ASBS watershed. No dry weather runoff is permitted, project will be subject to increased inspections, satisfactory to the City Engineer.

[Comment 00079 | Page | Open]



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Revise Site Plan. Add the following note to site plan: The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a Grading or Building permit is issued. It is the responsibility of the owner/designer/applicant to ensure that the current storm water permanent BMP design standards are incorporated into the project.

[Comment 00080 | Page | Open]

Submit a complete drainage study identifying the existing and proposed drainage for site. The report shall be prepared per the City of San Diego Drainage Design Manual. If there is any increase in peak flows, please demonstrate how applicant will mitigate flows in drainage study.

[Comment 00081 | Page | Open]

Drainage Study shall include an existing and proposed hydrology exhibit showing the following information:

- a. Flow path of travel
- b. Discharge points (include elevation)
- c. Q & V at all discharge points.
- d. Area of each basin
- e. Drainage nodes

[Comment 00082 | Page | Open]

Drainage Study should include a narrative indicating if the proposed project is required to obtain approval from the Regional Water Quality Control Board under Federal Clean Water Act (CWA) section 401 or 404. A complete explanation must be provided. Please note, if the proposed project is subject to regulations as set forth in CWA 401/404, approval from the California Regional Water Quality Control Board must be obtained prior permit issuance.

[Comment 00083 | Page | Open]

Revise Site/Grading Sheets to call out all existing and proposed public storm drain systems as "Public" and "Private" to differentiate maintenance responsibilities. Call out associated D Sheets for all structures on revised plans.

[Comment 00084 | Page | Open]

Revise plans to call out Q100 and V100 at outfall locations.

[Comment 00085 | Page | Open]

Landscape plans show a proposed sidewalk underdrain along Prestwick but is not shown on drainage plans. Revise plans to be consistent in the next review cycle.

[Comment 00086 | Page | Open]

Grading data table calls out "See civil sheets" please include civil sheets in next submittal for review.

[Comment 00087 | Page | Open]

The applicant will be required to construct all public improvements to meet current State Accessibility Compliance and current City Standards or are damaged during construction (driveways, curb and gutter, sidewalk, right of way dedication, etc). Please refer to SDMC Chapter 14, Article 2, Division 6 for public improvements regulations.

[Comment 00088 | Page | Open]



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Revise plan sheets to show a cross-section for Prestwick Drive and Whale Watch Way. Dimension curb to PL, dedication area, curb to curb, PL to PL. Add and call out existing and proposed public improvements to cross sections.

[Comment 00089 | Page | Open]

Per the City of San Diego Street Design Manual and La Jolla Community Plan, minimum parkway width configuration for Prestwick Drive (2-Lane Collector) shall be 14 feet with a non-contiguous sidewalk. Revise the hardscape design so no proposed private improvements are in parkway area.

[Comment 00090 | Page | Open]

Per the City of San Diego Street Design Manual and La Jolla Community Plan, minimum parkway width configuration for Whale Watch Way (local unclassified) shall be 12-feet with a non-contiguous sidewalk. Revise the hardscape design so no proposed private improvements are in the required dedication area.

[Comment 00091 | Page | Open]

Revise plans to show and call out to construct directional curb ramps at the NW intersection of Prestwick Drive and Whale Watch Way per current City Standard.

[Comment 00092 | Page | Open]

Dimensions proposed driveway. Please refer to 142.0560 (j) Table 142-05M and SDG-164 for proposed driveway requirements. Callout City STD drawing for next submittal.

[Comment 00093 | Page | Open]

Project shall adhere to visibility area triangles at driveways (10'x10') and intersections (25'x25'), per San Diego Municipal Code Section 113.0273 and Diagram 113-02SS. Revise the visibility area triangles to comply with San Diego Municipal Code Diagram 113-02SS. Add a note that states: No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.

[Comment 00094 | Page | Open]

Please submit a title report for project site to review existing easements and agreements.

[Comment 00095 | Page | Open]

Applicant is proposing a lot line adjustment. Please contact DPM to add a Lot Line Adjustment to permit approvals and include LDR-Map Check in the next review cycle. Additional comments will be recommended pending LDR-Map Check review.

[Comment 00096 | Page | Open]

Please provide a photographic survey of both streets fronting project site for review.

[Comment 00097 | Page | Open]

Project will be conditioned for an EMRA for proposed curb outlet and sidewalk underdrains. Please call out any other existing and proposed encroachments for review.

[Comment 00098 | Page | Open]



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Development Permit Conditions will be determined on the next submittal when all requested information is provided.
(Information Only – No Action Required)

[**Comment 00099** | **Page** | **Open**]

Please provide a written response to all comments whether you agree or not and in case of disagreement, express your reasoning.

[**Comment 00100** | **Page** | **Open**]

Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions, comments or would like to set up a meeting, please email Karen Vera at. (Information Only – No Action Required)

DSD-Planning Review

Adrian Rusit
ARusit@sandiego.gov
619-236-5507

[**Comment 00031** | **Page** | **Open**]

STANDARD INFO
PART 1: PROJECT INFORMATION

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff are unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[Info Only]

PROJECT INFORMATION

The project site is located at 8504 Prestwick Dr., San Diego, CA 92037, APN: 346-680-0900, in the LJSPD-SF zone, within the La Jolla Community Plan, on 20,452 square foot lot. [Info Only]

The project site is located within the following overlays:

- Coastal Height Limit Overlay Zone-CHLOZ-30'
- Coastal Overlay Zone-Non-Appealable-2
- Parking Impact Overlay Zone-PIOZ-Campus-Impact
- Affordable Housing Parking Demand: High
- Paleontological Sensitivity Area: Moderate

The project proposes to demolish an existing 2,637 square foot single-story unit located at 8504 Prestwick Drive. The 0.46-acre site is in the LJSPD-SF Base Zone, Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan Area. (Scope change, Please see below).

3/18/26- Change of Scope The project proposes the construction of a single-story contemporary residence of approximately 6,678 SF with 5 bedrooms and 5.5 bathrooms, plus associated site improvements including pool, hardscape, drainage improvements, and landscape.**



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Existing development was constructed 1969 and no discretionary permit was identified to be associated with the premises.

[Comment 00032 | Page | Open]

REQUIRED PERMITS/ACTIONS

The development will require a Coastal Development Permit per section 126.0702 and a Site Development Permit (Process 3) per SDMC Section 1510.0201. The project does not meet the allowable exemptions from a Coastal Development Permit within the Coastal Overlay Zone per SDMC 126.0704. A Site Development Permit (referenced as a La Jolla Shores Planned District Permit) is required for development within the La Jolla Shores Planned District per §1510.0201(d). Staff would like to note that the Coastal Development Permit and Site Development permit will be consolidated and reviewed as a Process 3 Per SDMC 112.0103.

Reissuing comment 3/19/26

If the applicant decides to process the lot line adjustment within this review, the project will require a process 2 Coastal Development Permit for lot line adjustment and will be consolidated and reviewed as a Process 3 Per SDMC 112.0103

[Comment 00033 | Page | Open]

Findings for the Coastal Development Permit and shall be required according to the Land Development Code, Sections §126.0708

Findings for Coastal Development Permit Approval

- (1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;
- (2) The proposed coastal development will not adversely affect environmentally sensitive lands; and
- (3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.
- (4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Please provide draft findings upon resubmittal.

Reissuing Comment 3/18/26

Due to the scope change please revise the previous findings submitted to incorporate the proposed SDU.

[Comment 00034 | Page | Open]

Findings for Site Development Permit Approval per SDMC 126.0505(a)

- (1) The proposed development will not adversely affect the applicable land use plan;



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(2) The proposed development will not be detrimental to the public health, safety, and welfare; and
(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.
Please provide draft findings upon resubmittal if applicable.

Reissuing Comment 3/18/26

Due to the scope change please revise the previous findings submitted to incorporate the proposed SDU.

[Comment 00035 | Page | Closed]

BUILDING- CONSTRUCTION PLAN SPECIFIC COMMENTS

Per §143.1201 Any development that proposes demolition of an existing dwelling unit must replace those dwelling units per §143.1201 (Ordinance O-21254 certified) . Please provide associated project of proposed dwelling unit replacement and/or plans of proposed dwelling unit for review.

Planning is unable to sign off until additional information is provided for dwelling unit replacement.

[Comment 00036 | Page | Closed]

Please clarify the intent for the proposed future land use development.

[Comment 00037 | Page | Closed]

Please submit Building Demolition/Questionnaire DS-710 upon resubmittal. Please see link to access form:
<https://www.sandiego.gov/sites/default/files/ds710.pdf>

[Comment 00038 | Page | Closed]

Part 3: REVIEW SPECIFIC COMMENTS:

COASTAL OVERLAY ZONE:

- Please provide draft findings as outlined in SDMC 126.0708 and SDMC 126.0505

Site is not located within Special Flood Hazard Area or an area of Future Sea Level Rise.
(Information Only).

- Future development of property will be subject to a Coastal Development Permit and Site Development Permit.

[Comment 00039 | Page | Open]

LA JOLLA COMMUNITY PLAN ANALYSIS (revised due to scope change 3/18/26) :

The project site is located in the La Jolla Community Plan and Local Coastal Program. The La Jolla Community Plan and the Local Coastal Program designate the site as Very Low Density Residential use (0-5 DU/AC) on 10,000 to 40,000 square-foot parcels and is Northeast of an intermittent or partial vista along Whale Watch Way . The proposes to demolish a single-family dwelling unit and build a 6,678 sf single family dwelling unit in its place on an approximately 20,452sf lot.



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A goal identified in the La Jolla Community Plan is to conserve and enhance the natural amenities of the community such as its views from identified public vantage points (as identified in Figure 9), open space, hillsides, canyons, ocean, beaches, water quality, bluffs, wildlife, and natural vegetation and achieve a desirable relationship between the natural and developed component of the community. (LJCP 5). The Residential Element of the LJCP recommends that, "In order to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and visual harmony in the transitions between new and existing structures, preserve bulk and scale - with regard to surrounding structure or land form conditions as view from the public right-of-way and from parks and open space." (pg. 90)

The proposed project site is outside of the First Public Roadway and as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

[For Information Only]

La Jolla Community Planning Association:

After the notice of application and first assessment, letter has been distributed. The applicant must present the proposed project to the La Jolla Community Planning Association. Please contact Harry Bubbins, Chair, at (858) 459-9490 or by email at info@lajollacpa.org. Please provide the minutes and any recommendations.

[Comment 00040 | Page | Open]

La Jolla Shores Advisory Board

The LJSPDO does not contain quantifiable development standards such as building setbacks. Instead, the LJSPDO contains language in the General Design regulations which references the character of the area and design principles.

The La Jolla Shores Advisory Board must review this project to determine if this project is consistent with the requirements of the planned district and to allow for input (SDMC 1510.0201(d)). Please get in touch with Senior Planner Marlon I. Pangilinan of the City Planning and Community Investment Department at (619)235.5293 (mpangilinan@saniego.gov) to be placed on a future agenda of the La Jolla Shores Advisory Board.

[Comment 00041 | Page | Closed]

Resubmittal Procedure:

Recheck Required:

Please address all the issues noted as comments to this project and provide the findings noted under SDMC section 126.0708(a) and 126.0505(a) applies.

[Comment 00052 | Page | Closed]

For Information Only

An amendment to the existing CDP/ SDP may be required for the Adjacent property (8490 Whale Watch Way) for any additional proposed work and will be subject to the Land Development Regulations.

LDR-Environmental

Kelli Rasmus



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KRasmus@sandiego.gov

[Comment 00019 | Page | Closed]

SCOPE:

Site Development Permit and Coastal Development Permit for the demolition of an existing 2,637-square-foot one story single-family residence at 8504 Prestwick Drive. The 0.46-acre site is in the La Jolla Shores Planned District-Single Family Unit (LJSPD-SF) Base Zone, and the Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan Area. Council District 1.

[Comment 00020 | Page | Closed]

Biological Resources:

The project site contains existing development within an urbanized area. Review of aerial and street level photography appears to show that the project site does not contain any sensitive biological resources. Furthermore, the project site does not contain nor is it adjacent to MHPA designated lands. The project would be required to comply with both federal and state MBTA regulations. EAS has no further comments on this issue.

[Comment 00021 | Page | Closed]

Cultural Resources:

ARCHAEOLOGICAL- Staff conducted a CHRIS search and there are no recorded archaeological sites at this location. This area of La Jolla was primarily developed through cut and fill grading which would have impacted resources, if present. Based on the lack of resources, limited scope of work and previous disturbance, EAS has no further comments.

[Comment 00022 | Page | Closed]

Cultural Resources/Built Environment: The City of San Diego reviews projects proposing a substantial adverse change to structures 45 years or older for historic significance in compliance with the California Environmental Quality Act (CEQA). CEQA Section 21084.1 states that "A project that may cause a substantial adverse change in the significance of an historical resource is a project that may cause a significant effect on the environment." The existing single dwelling unit was built in 1969. Planning-Historic has reviewed the project and has deemed the project not a significant historical resource. EAS has no further comments.

[Comment 00023 | Page | Closed]

Tribal Cultural Resources

Assembly Bill 52 (Gatto 2014), more commonly known as AB 52, was signed into State Law July 1, 2015. Essentially, it requires that lead agencies throughout the State of California undertaking CEQA review, at the request of a California Native American tribe, begin "Government-to-Government" consultation with that tribal nations. If necessary a notice of the project will be sent to local California Tribes once the CEQA determination is made.

[Comment 00024 | Page | Closed]

Geologic Conditions:

The site has Type 53 (Level or sloping terrain, unfavorable geologic structure, Low to moderate risk). Per Information Bulletin 515, Geotechnical Study Requirements, it appears a technical study would not be required on this site. However, the project scope does not address the proposed development of the site so additional information may be necessary depending on the proposed development on the project site.



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[Comment 00025 | Page | Closed]

Paleontological Resources:

As a guideline dependent on grading history, the City's Significance Determination Thresholds states that paleontological monitoring is required if there is more than 1,000 cubic yards and 10 feet of grading in a highly sensitive formation. The proposed project is the demolition of an existing home, and no subsurface grading is proposed. Therefore, impacts to paleontological resources with project implementation would not exceed the threshold and monitoring would not be required. EAS has no further comment.

[Comment 00026 | Page | Closed]

Hydrologic Conditions and Water Quality:

EAS defers to LDR-Engineering as it relates to drainage and water quality. Please see LDR Engineering's review for comments.

[Comment 00027 | Page | Closed]

Transportation:

As a result of Senate Bill 743, an update was needed to address the required shift from a level of service (LOS) analysis to a vehicle-miles travelled (VMT) CEQA analysis. There is a project screening process, and new requirements for both a project's CEQA transportation impact analysis and Local Mobility Analysis (LMA). Projects generating less than 300 daily trips are presumed to have a less than significant VMT impact. This project is the demolition of an existing single-family residence and would not generate daily trips. All pertinent information will be included within the appropriate environmental document. No further comment is required.

[Comment 00028 | Page | Closed]

GHG: The 2022 [Climate Action Plan \(CAP\)](#) and associated [CAP Consistency Regulations](#) were adopted on October 23, 2022. Compliance with the CAP Consistency Regulations would reduce Greenhouse Gas Emissions impacts associated with the project to below a level of significance. LDR-Environmental review discipline will defer to LDR-Planning and Landscape for further review of the project for compliance with the CAP Consistency Regulations.

[Comment 00029 | Page | Closed]

Segmenting: The applicant is proposing a CDP and SDP for the demolition of an existing single family residence that would allow for future development. Because environmental review must consider the "whole of the action" [CEQA Guidelines sec. 15378(c)], processing the proposed demolition without considering the implications of developing the entire site with single -family development is viewed as segmenting or piecemealing the "whole of the action".

In order to avoid a potential "segmenting" issue it will be required to conduct the CEQA analysis on the "whole of the action". Therefore, the applicant is required to process both the demolition of the existing structure(s) on the project site and any proposed new construction under one application. Please submit any and all development plans that are anticipated for the site with your next project review submittal.

[Comment 00030 | Page | Closed]

Environmental Determination:

Please provide a response to all comments.

Additional information is required before an environmental review can be completed. The issues identified above and in any other discipline review comments must be addressed before an environmental determination can be made on this project.



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[Comment 00053 | Page | Closed]

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[Comment 00054 | Page | Closed]

Geologic Conditions:

According to the project applicant, the project site will be used as backyard space for the adjacent residence currently under construction located at 8490 Whale Watch. The applicant owns both properties and no new buildings are proposed at 8504 Prestwick Drive. EAS has no further comment.

[Comment 00055 | Page | Closed]

Hydrologic Conditions and Water Quality:

EAS defers to LDR-Engineering as it relates to drainage and water quality. Please see LDR Engineering's review for comments.

[Comment 00056 | Page | Closed]

GHG: The 2022 [Climate Action Plan \(CAP\)](#) and associated [CAP Consistency Regulations](#) were adopted on October 23, 2022. Compliance with the CAP Consistency Regulations would reduce Greenhouse Gas Emissions impacts associated with the project to below a level of significance. LDR-Environmental review discipline will defer to LDR-Planning and Landscape for further review of the project for compliance with the CAP Consistency Regulations.

[Comment 00057 | Page | Closed]

According to the project applicant, the project site will be used as backyard space for the adjacent residence currently under construction located at 8490 Whale Watch. The applicant owns both properties and no new buildings are proposed at 8504 Prestwick Drive. An amendment to the SDP and CDP may be required if future building is proposed on the site. which would trigger further environmental review. EAS has no further comment.

[Comment 00058 | Page | Closed]

ENVIRONMENTAL DETERMINATION:

It appears that this project would qualify to be exempt from CEQA. However, additional information is required before an environmental review can be completed. The issues identified above and in any other discipline review comments must be addressed before an environmental determination can be made on this project.

[Comment 00063 | Page | Closed]

Tribal Cultural Resources

Assembly Bill 52 (Gatto 2014), more commonly known as AB 52, was signed into State Law July 1, 2015. Essentially, it requires that lead agencies throughout the State of California undertaking CEQA review, at the request of a California



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Native American tribe, begin "Government-to-Government" consultation with that tribal nations. If necessary a notice of the project will be sent to local California Tribes once the CEQA determination is made.

[Comment 00064 | Page | Closed]

Hydrologic Conditions and Water Quality:

EAS defers to LDR-Engineering as it relates to drainage and water quality. Please see LDR Engineering's review for comments.

[Comment 00065 | Page | Closed]

ENVIRONMENTAL DETERMINATION:

It appears that this project would qualify to be exempt from CEQA. However, additional information is required before an environmental review can be completed. The issues identified above and in any other discipline review comments must be addressed before an environmental determination can be made on this project.