



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 2349 Rue Adriane
San Diego, CA 92037

Project Type Discretionary Project

Primary Contact Pamela Magnus
pamela@architectsmagnus.com
6192937240

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Other

Community Planning Group

John Norris
JNorris@sandiego.gov
619-687-5988

[Comment 00069 | Page | Closed]

Applicant advises, they will be scheduling the LJCPA review in early 2026.

DSD-Engineering Review

Anwer Ibriheem
Aibriheem@sandiego.gov
619-533-7445

[Comment 00001 | Page | Open]

The Engineering Review Section has reviewed the subject development and has the following comments that need to be addressed. Upon the resubmittal, we will complete our review.

[Comment 00002 | Page | Open]

The San Diego Water Board adopted Order No. R9-2013-0001, NPDES No. CAS0109266, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the new Storm Water Development Regulations (information comment).

[Comment 00003 | Page | Open]

Please note all public improvements (including curb, gutter, sidewalk, curb ramps, etc.) and dedications must be up to current city standard prior to the issuance of any building permit as required per SDMC 142.0610 (a) (information



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

comment).

[Comment 00004 | Page | Open]

Please note all private improvements within ROW require Encroachments Maintenance and Removal Agreement (EMRA) which is subject to City Engineer approval (information comment).

[Comment 00005 | Page | Open]

(Information comment) CIP Projects: Please check the City's CIP project map viewer using the following link:

<https://www.sandiego.gov/cip/projectinfo>

[Comment 00006 | Page | Open]

If the project has a recorded Encroachments Maintenance and Removal Agreement (EMRA), please submit a copy for review. Please note Encroachments Maintenance and Removal Agreement (EMRA) is subject to City Engineer approval.

[Comment 00007 | Page | Open]

Please note that prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

[Comment 00008 | Page | Open]

Please provide an impervious areas table to include the following:

- a- Total Disturbance Area
- b- Existing amount of impervious area
- c- Proposed/replaced amount of impervious area
- d- Existing amount of pervious area
- e- Proposed amount of pervious area
- f- Total impervious area
- g- Impervious % increase

Sheet (A100) shows the impervious area table, but it is not complete. Please update the impervious area table to include all the required information.

[Comment 00009 | Page | Open]

DS-560: Please include the PRJ# on the submitted DS-560, as the submitted DS-560 does not include the PRJ# in the required field for project number.

[Comment 00010 | Page | Open]

According to City of San Diego records, the project site is located within the Environmentally Sensitive Area (ESA). Therefore, please revise the submitted DS-560, as the answer to Part E, #7 is 'Yes'.

[Comment 00011 | Page | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

DS-560: Please revise the submitted DS-560, as the answer to Part F, #4 is Yes.

[Comment 00012 | Page | Open]

Based on the scope of work. The project appears to be a priority project which requires BMP's. The applicant shall submit a Storm Water Quality Management Plan (SWQMP) consistent with the City of San Diego's Storm Water Standards.

[Comment 00013 | Page | Open]

Required elements of a SWQMP are provided in Appendix A of this manual. Details supporting all decisions made in accordance with Chapter 4 requirements shall be documented in the SWQMP. The specific process is outlined in the required Submittal Template in Appendix A of the revised Storm Water Standards.

[Comment 00014 | Page | Open]

Please add drainage patterns arrows to the submitted site and grading plans. Please add the drainage patterns arrows to the legends list.

[Comment 00015 | Page | Open]

Please submit a preliminary drainage study to determine the existing and proposed drainage flows and velocities and provide design recommendations on the anticipated storm drain facilities including mitigation measures for any increases in flows and velocities at all discharge points, in accordance with the current City of San Diego Drainage Design Manual.

[Comment 00016 | Page | Open]

Per the City of San Diego Records, the project is within the ASBS Watershed (information comment).

[Comment 00017 | Page | Open]

ASBS Watershed: Please add a note to the site and grading plans that states, "the project is located in the ASBS watershed".

[Comment 00018 | Page | Open]

ASBS Watershed: Please add a note to the site and grading plans that states, "Since the project is located in ASBS watershed no dry weather flows is allowed including over irrigation".

[Comment 00019 | Page | Open]

Site Plan: Please include permit types (SDP and CDP) and permit numbers on the cover sheet (G100) of the submitted plans.

Permit Type: CDP

Permit Number: PMT-3383782

Permit Type: SDP

Permit number: PMT-3383783

[Comment 00020 | Page | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Sheet C1: Please include the width of the driveway on the civil sheet. Please note that the width of the driveway must match on the civil and architectural plans.

[Comment 00021 | Page | Open]

Driveway: Please note that the driveways should be separated by 3 feet from the side property line to accommodate the standard driveway apron.

[Comment 00022 | Page | Open]

Driveway: Please refer to SDMC Section 142.0560(j) and Table 142-05M for driveway width requirements (information comment).

[Comment 00023 | Page | Open]

Visibility triangle: Please revise the submitted plans to show the visibility triangle. Please add dimensions for the visibility triangles. Please show the visibility areas on private property which shall extend 10 feet inward along the driveway and along the property line. Add a note that states: No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Please refer to San Diego Municipal Code Diagram 113-02SS for more information about measuring visibility area. Please note that the visibility triangles should be measured from the proposed property line after the dedication.

[Comment 00024 | Page | Open]

Dedication: Based on the community plan and street classification, Rue Adriane is an unclassified local street; therefore, a minimum 12-foot parkway with a non-contiguous sidewalk is required per the current City Standard.

[Comment 00025 | Page | Open]

Please note that, based on the provided information, the project may require a grading permit. Please refer to San Diego Municipal Code (SDMC) section 129.0602 grading permit regulation (information comment).

[Comment 00026 | Page | Open]

Please provide Grading Data Table to add the following information:

Max cut depth under building footprint ____ ft

Max cut depth outside building footprint ____ ft

Max fill depth under building footprint ____ ft

Max fill depth outside building footprint ____ ft

[Comment 00027 | Page | Open]

On the building sections, please call out the height of fill and cut.

[Comment 00028 | Page | Open]

Retaining wall: Please provide a profile section for the proposed retaining wall.

[Comment 00029 | Page | Open]

Please provide a detailed written response to all comments regardless you agree or not and in case of disagreement express your reasoning.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[[Comment 00030](#) | [Page](#) | [Open](#)]

This completes the Engineering Review of this submittal. Additional conditions may be recommended pending further review of or any redesign of the project.

[[Comment 00031](#) | [Page](#) | [Open](#)]

Please note that further comments may arise once the requested documents/information are provided (information comment).

DSD-Geology

Kreg Mills
KMills@sanidiego.gov
(619) 446-5295

[[Comment 00049](#) | [Page](#) | [Open](#)]

Please note, storm water requirements for the proposed conceptual development will be evaluated by DSD-Engineering review. Priority Development Projects may require an investigation of storm water infiltration feasibility in accordance with the City's current Storm Water Standards. Check with your DSD-Engineering reviewer for requirements. If necessary, DSD-Engineering may request a DSD-Geology review of the storm water infiltration evaluation.

The applicant should please note that the available information provided by the project's geotechnical consultant is not sufficient to allow a reliable assessment of the level of risk and extent of hazards to which this property and the proposed improvements constructed thereon may be subject because of potential geologic hazards. Therefore, a "Notice of Geologic and Geotechnical Conditions" will need to be recorded against the property prior to approval of the entitlement application. The applicant should contact the Geology Section for a draft of the Notice. The Geology Section will need the full name of the owner(s), APN, street address, and full legal description of the subject site to complete the draft document.

Geotechnical Document Submittal Instructions for the Applicant:

Please note, the addendum/update letter requested in this DSD-Geology review must be uploaded with the "*Geotechnical Investigation Report Addendum*" PDF file option only. Please note, geotechnical documents must be uploaded correctly to be accepted as record documents.

[[Comment 00050](#) | [Page](#) | [Open](#)]

The project's geotechnical consultant must submit a geotechnical addendum or update letter for the purpose of an environmental review that references the proposed development plans and specifically addresses the following:

[[Comment 00051](#) | [Page](#) | [Open](#)]

Indicate if the proposed building clearance to the ascending slope (height >65ft) meets the current CBC 1808.71 and Figure 1808.71 or, if applicable, provide an alternate recommended clearance per CBC 1818.7.5 to provide protection from slope drainage, erosion, and shallow failures.

[[Comment 00052](#) | [Page](#) | [Open](#)]

The project's geotechnical consultant must provide a professional opinion that the site will have a factor-of-safety of 1.5 or greater for both gross and surficial stability following project completion. Please note, the slope stability



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

calculations must be included.

[Comment 00053 | Page | Open]

The submitted report indicates the sediments across the exploration transects are pre-Holocene. Clarify how the age of the sediments (QIs) was determined to be pre-Holocene and how the data rules out Holocene-active faulting beneath the site.

[Comment 00054 | Page | Open]

Considering the fault investigation only encountered Quaternary age landslide deposits (QIs), clarify how the data demonstrates the absence of potentially active faults.

[Comment 00055 | Page | Open]

The conclusions section of the submitted report implies "we do not expect that the planned development, if properly designed and constructed, will destabilize or result in the settlement of adjacent structures or property." However, the report also implies "development on ancient landslides involves some inherent risks which are often impractical to eliminate completely. Examples include the risk of initiating a slope failure during construction of the planned below grade excavation. Such construction failures could extend into the neighboring developed areas and result in structural distress." Please clarify whether the proposed development will destabilize or result in settlement of adjacent property or the right of way or initiate a slope failure of existing slopes.

[Comment 00056 | Page | Open]

The submitted report recommends that once development plans have been prepared, an updated report should be prepared. Indicate if any updates should be provided at this time.

DSD-Planning Review

Alexis Hartley
alhartley@sandiego.gov

[Comment 00070 | Page | Open]

These comments are drafts and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[Comment 00071 | Page | Open]

Coastal Development Permit and Site Development Permit Site Development Permit (Process 3) to demolish the existing Single Dwelling Unit and attached garage and propose a new Single Dwelling Unit and subterranean garage on a 17,797 square foot lot. The 0.40 -acre site is in the LJSPD-SF, within the La Jolla Community Plan area.

A Site Development Permit (Process 3) is required as the site is located within the La Jolla Shores PDO and proposed actions are considered development per SDMC 1510.0201(a).

A Coastal Development Permit (Process 2) is required per SDMC 126.0704(a)(5)

Staff would like to note that the Coastal Development Permit and Site Development permit will be consolidated and



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

reviewed as a Process 3 Per SDMC 112.0103

Existing Overlays Include Coastal Overlay Zone (N-APP-2), Coastal Height Limit Overlay Zone, Multiple Species Conservation Plan (MSCP), Sensitive Vegetation, Potential Steep Hillside, Very High fire hazard Severity Zone, within the La Jolla Community Plan and La Jolla Shores PDO (LJSPD-SF).

[Comment 00072 | Page | Open]

Findings for the Coastal Development Permit shall be required according to the Land Development Code, Sections §126.0708(a)

§126.0708(a) Findings for Coastal Development Permit Approval

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

(2) The proposed coastal development will not adversely affect environmentally sensitive lands; and

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Findings for all Site Development Permits shall be required according to the Land Development Code Section 126.0505(a)

(1) The proposed development will not adversely affect the applicable land use plan; Please provide a response to findings.

(2)The proposed development will not be detrimental to the public health, safety, and welfare; and

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Please provide a response to CDP and SDP findings.

[Comment 00073 | Page | Open]

The La Jolla Shores Planned District Ordinance SDMC 1510.0304 designates the site and surrounding area as a Single Family Zone. The La Jolla community plan outlines this area as Low Density Residential (0-5 dwelling units/acre). The scope of work consists of demolishing the existing SDU and attached garage and proposes a new SDU and subterranean garage. The project is consistent with the prescribed land use and density.

This is not an identified view corridor per Figure 9 of the La Jolla community plan.

[Comment 00074 | Page | Open]

After the notice of application and first assessment letter has been distributed. The applicant would need to present the proposed project to the La Jolla Community Planning Association. Please contact Harry Bubbins, Chair at (858) 459-9490 or by email at info@lajollacpa.org. Please provide the minutes and any recommendations.

[Comment 00075 | Page | Open]

If you haven't already done so, please contact Melissa Garcia MAGarcia@sandiego.gov to schedule your project for a presentation to the La Jolla Shores Advisory Board at their next available meeting. This is required per SDMC 1510.0201(d) If you have already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting which includes the vote count as part of your next submittal.

[Comment 00076 | Page | Open]

Please update the scope of work to reflect the proposed wall length.

[Comment 00077 | Page | Open]

Per biology report, please call out the boundary of sensitive biology on site plan and brush management plan.

[Comment 00078 | Page | Open]

Please ensure proposed roof and exterior finishes are consistent with SDMC 1510.0301(c). Roof and some proposed building materials appear to be inconsistent with SDMC 1510.0301(c)(1) and (2).

[Comment 00079 | Page | Open]

Please delineate the distance from the proposed spa and terrace to side property line.

[Comment 00080 | Page | Open]

Include proposed side yard setbacks of the unit within all La Jolla Shores surveys.

[Comment 00081 | Page | Open]

Planning will coordinate with landscape reviewer to approve brush management zones.

[Comment 00082 | Page | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

DRAFT CONDITION: Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement, in accordance with the requirements of the San Diego Municipal Code, Section 143.0142, against title to the affected premises and executed in favor of the City. The Covenant of Easement shall contain a description of the premises affected by the permit with a description of the development area and the Environmentally Sensitive Lands that shall be preserved.

LDR-Environmental

Stephanie Kellogg
SKellogg@sandiego.gov
619-533-3190

[[Comment 00057](#) | [Page](#) | [Open](#)]

Aesthetics: EAS defers to Planning Review on General Plan, community plan, and Land Development Code issues. EAS will coordinate with Planning Review staff. No further information is needed at this time.

[[Comment 00058](#) | [Page](#) | [Open](#)]

Biological Resources: EAS staff is reviewing the submitted Biological Letter Survey Report, and will forward comments to the consultant and project applicant. Please include the revised report in your next submittal. Any technical report requiring revisions must be submitted in a WORD strikeout/underline (SOUL) format and a PDF clean version. The City's expectation is that the applicant/consultant respond to comments and text edits; revisions are carried through the technical report as necessary; a thorough quality control/assurance is provided (i.e. complete read through of document beyond specific edits/comments). Failure to resubmit in a SOUL format or complete revisions may delay the review of the technical study.

[[Comment 00059](#) | [Page](#) | [Closed](#)]

INFORMATION ONLY - Cultural Resources/Archaeology (Archaeological Resources): The City's Historic Resource Guidelines (2022) require archaeological surveys when development is proposed on previously undeveloped parcels, when a known resource is identified on site or within a one-mile radius, when a previous survey is more than five years old if the potential for resources exists, or based on a site visit by a qualified consultant or knowledgeable City staff. City staff performed a California Historical Resources Information System (CHRIS search) and no known archaeological sites are mapped within the project site, and the site has also been heavily disturbed. The proposed project would be unlikely to impact archaeological resources. EAS has no further comment at this time.

[[Comment 00060](#) | [Page](#) | [Closed](#)]

INFORMATION ONLY - Cultural Resources/Archaeology (Built Environment): SDMC Section 143.0212 directs City staff to determine whether a potentially significant historical resource exists on site before the issuance of a construction permit for any parcel in the City that contains a structure 45 years old or older. EAS defers to LDR-Plan Historic on historical resource determination.

The project site underwent historic review on December 2, 2025. Based on this review Plan Historic staff has determined that the property does not meet local designation criteria as an individually significant resource under any adopted HRB Criteria. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Therefore, no historical research report is required at this time and the project as proposed has no potential to impact any unique or non-unique historical resources.

Please refer to previous Plan Historic comments for further reference. No additional information is required at this time.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[[Comment 00061](#) | [Page](#) | [Open](#)]

Geology: EAS defers to LDR Geology on this issue. Geology have requested further information, please refer to previous comments for further reference. No further comment is required at this time.

[[Comment 00062](#) | [Page](#) | [Closed](#)]

INFORMATION ONLY – Hazards: A records search identified that no hazardous materials sites pursuant to Government Code section 65962.5 exist onsite or within 1,000 feet of the proposed development. No additional information is required at this time.

The project site is located within the San Diego International Airport (SAN) Airport Land Use Compatibility Plan (ALUCP), within the Overflight Area Boundary. Within this overlay any person who offers residential property for sale or lease to disclose the proximity of the airport to the property purchaser or lessee. The project is not within the airport noise contours or safety contours.

[[Comment 00063](#) | [Page](#) | [Open](#)]

Hydrology/Water Quality: EAS defers to LDR-Engineering with regards to hydrology and water quality; please see the discipline's comments for further direction. EAS will coordinate with Engineering staff to determine if the project would result in potential hydrology and/or water quality impacts. EAS has no further comment at this time.

[[Comment 00064](#) | [Page](#) | [Open](#)]

Paleontological Resources: According to the "Geologic Map of the San Diego 30' x 60' Quadrangle, California" (Kennedy and Tan, 2008), the project site is underlain with landslide deposits from the Holocene and Pleistocene. The provided geotechnical report suggests that the Landslide Deposits could contain Ardath Shale Formation. This is assigned a high potential for fossil resources. Paleontological resources monitoring is required under San Diego Municipal Code section 142.0151 if project grading involves 1,000 cubic yards or greater, and 10 feet or greater in depth, in a high resource potential geologic deposit/formation/rock unit. Please clarify the maximum cut depth and maximum fill depth on the project plans. Engineering review has also requested more information regarding the maximum cut and fill depth. Please see Engineering comments for further information.

[[Comment 00065](#) | [Page](#) | [Open](#)]

Land Use/Planning: EAS defers to Planning Review on General Plan, community plan, and Land Development Code issues. Per the City's Significance Determination Thresholds, an inconsistency with a land use plan is not in and of itself a significant impact; the inconsistency would have to result in a secondary physical impact. At the time of this review, Planning Review staff comments are outstanding. EAS will coordinate with Planning staff. No further information is required at this time.

[[Comment 00066](#) | [Page](#) | [Closed](#)]

INFORMATION ONLY – Noise: The project is designated as residential in the La Jolla Community Plan; as well as the City's General Plan. According to the General Plan Noise Element, Table NE-3, Single Dwelling Unit Residential, interior noise should not exceed 45 dB, while exterior noise would be compatible at noise levels below 60 dB, and conditionally compatible at noise levels below 65 dB. Anything in excess of 65 dB for exterior noise is unacceptable. The proposed development would be compatible and is not anticipated exacerbate or increase noise levels beyond what is allowed. Noise generated by residential uses would also need to comply with the sound level limits set for by the City of San Diego Municipal Code Noise and Abatement Control Ordinance Section 59.5.0401.

The applicant will be required to comply with Section 59.5.0404 of the San Diego Municipal Code to prevent short-term construction noise impacts. No additional information required.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[[Comment 00067](#) | [Page](#) | [Open](#)]

Wildfire: The project is located in a Very High Fire Severity Zone. The project would be conditioned to comply with the City's Brush Management Plan. EAS will coordinate with Landscape Review staff.

[[Comment 00068](#) | [Page](#) | [Open](#)]

Environmental Determination: A CEQA determination cannot be made until all issues have been addressed. Until the requested information has been provided, staff is not able to complete the environmental review for the project, and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts.

Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the need of new and/or technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted information.

Site Development Plans PRJ-1145966.pdf

DSD-Geology

Kreg Mills
KMills@sandiego.gov
(619) 446-5295

[[Comment 00046](#) | [Sheet G100](#) | [Open](#)]

The project is also located in GHC 21 which is characterized by confirmed, known, or highly suspected landslides and potential slope instability.

[[Comment 00047](#) | [Sheet G100](#) | [Open](#)]

Add a text box on the title page of the development plans that includes the following information:

Notice of Geologic and Geotechnical Condition
Document No. _____ Date Recorded _____

Please note, once the Notice of Geotechnical and Geotechnical Conditions is recorded, the text box on the plans must be updated with the appropriate information.

[[Comment 00048](#) | [Sheet C.1](#) | [Open](#)]

Currently the plans propose a non-conforming slope (1.5H:1V) in the front yard area. Per San Diego Municipal Code §142.0133 (c), cut and fill slopes greater than 8 feet in height shall not exceed a gradient of 50 percent (2H:1V). Revise the plans to meet the City's slope gradient requirements.

DSD-Historic



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Audrey Rains
arains@sandiego.gov
619-533-4528

[Comment 00045 | Sheet G100 | Closed]

- The property located at **2349 Rue Adriane**, APN**352-324-0400**, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required)
- During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: <http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf> (Informational Only; No Response or Action Required)
- More information regarding this review process can be found in Information Bulletin 580: <http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf> (Informational Only; No Response or Action Required)
- If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required)
- If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...)
- (...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required)
- Staff has reviewed the photos; Assessor's Building Record; water and sewer records; written description of the property and alterations; chain of title; and listing of occupants; as well as any available historic photographs; and Sanborn maps. In addition, staff has considered any input received through applicable public noticing and outreach and have made the following determination:
- The property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required)
- Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle issues report. (Info Only, No Response Required)

DSD-Landscape Review

Rey Rebolledo
RRebolledo@sandiego.gov
619-446-5140



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[**Comment 00033** | **Sheet L-1** | **Open**]

The following comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updated outside the full cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[**Comment 00034** | **Sheet L-1** | **Open**]

Site Info and Scope

Coastal Development Permit and Site Development Permit to demolish a one-story dwelling of 2,046 square feet with an attached garage of 593 square feet, and construct a two-story single dwelling unit of 3749 square feet over basement with a 3-car garage of 901 square feet, and associated site improvements include retaining walls, located at 2349 Rue Adriane. The 0.41-acre site is in the LJSPD-SF Base Zone, Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan Area. Council District 1. (Information Only)

[**Comment 00035** | **Sheet L-1** | **Open**]

Show the limits of the Sensitive Vegetation boundary and ensure that the proposed crushed rock is not within that area.

[**Comment 00036** | **Sheet L-1** | **Open**]

Complete the Alternate Compliance Note verbiage.

[**Comment 00037** | **Sheet L-1** | **Open**]

Rock Mulch within the ROW is not permitted. Please select use an organic type of material for mulch selection.

[**Comment 00038** | **Sheet L-3** | **Open**]

Please fill out Table 142-04H on the Brush Management Notes under "Provided Width".

[**Comment 00039** | **Sheet L-3** | **Open**]

For note number 4, under the "Brush Management Maintenance Notes", please fill out the responsibility section with "Owner".

[**Comment 00040** | **Sheet L-3** | **Open**]

Provide the following note on the Brush Management Plan: "The Owner/Permittee shall schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

Provide the following note per FPB Policy B-08-1: "Brush management activities are prohibited within coastal sage scrub, maritime succulent shrub, and chaparral habitats during the breeding season of federally protected species, from March 1 to August 15, except where documented to the satisfaction of the City of San Diego that the thinning would be consistent with the conditions of species coverage described in the City of San Diego's MSCP Subarea Plan."

Provide the following note: "All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of owner. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."

Adjacent Properties – Include the following note: 'Offsite brush management shall be the responsibility of adjacent property owners. For fuel-load maintenance issues, contact the Fire-Rescue Department's Fire Hazard Advisor –



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Brush/Weed Complaint line at: (619) 533-4444."

Fire-Plan Review

Nathaniel Boyle
natebu@sanidiego.gov
619-533-4481

[[Comment 00032](#) | [Sheet A100](#) | [Open](#)]

Hose Pull:

The hose pull measurement shall begin 10 feet from the curb to account for parked cars and other potential obstructions. However, if the curb is designated as a fire lane, the measurement shall start from the edge of the curb on the project side of the road.

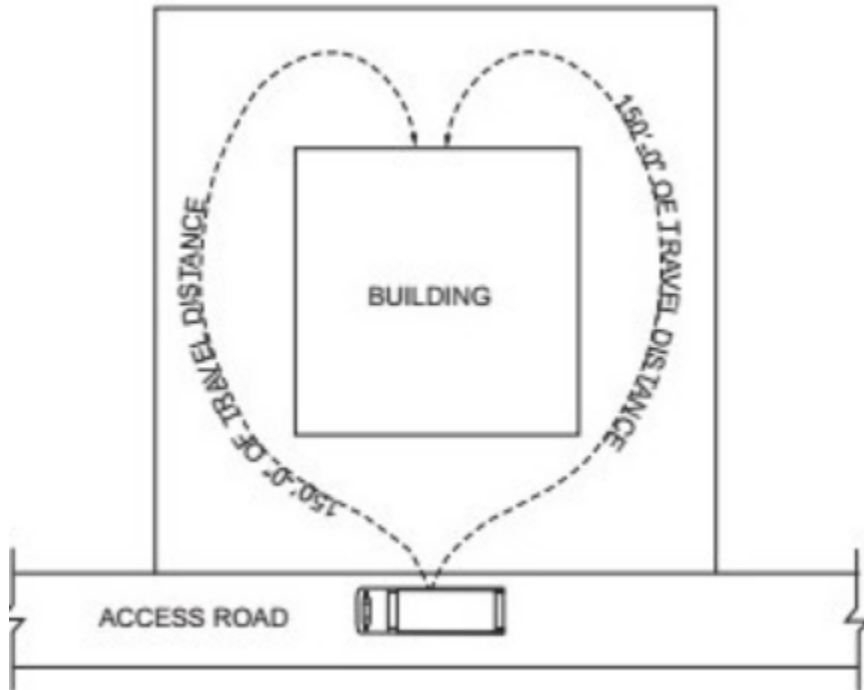
CODE - CFC 503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

COMMENT - All portions of the exterior perimeter of new buildings shall be within 150' (non-sprinklered) or 200' (sprinklered) of a fire access road. Show hose pull on plans.

Refer to San Diego FPB Policy A-14-1, Fire Access Roadways, CFC Section 503. And Appendix D of the 2019 CFC.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101



[Comment 00041 | Sheet A100 | Open]

Fire reserves the right to provide additional comments based on revisions and subsequent submittals. Contact the Fire Plan Reviewer by email with any questions or clarification.

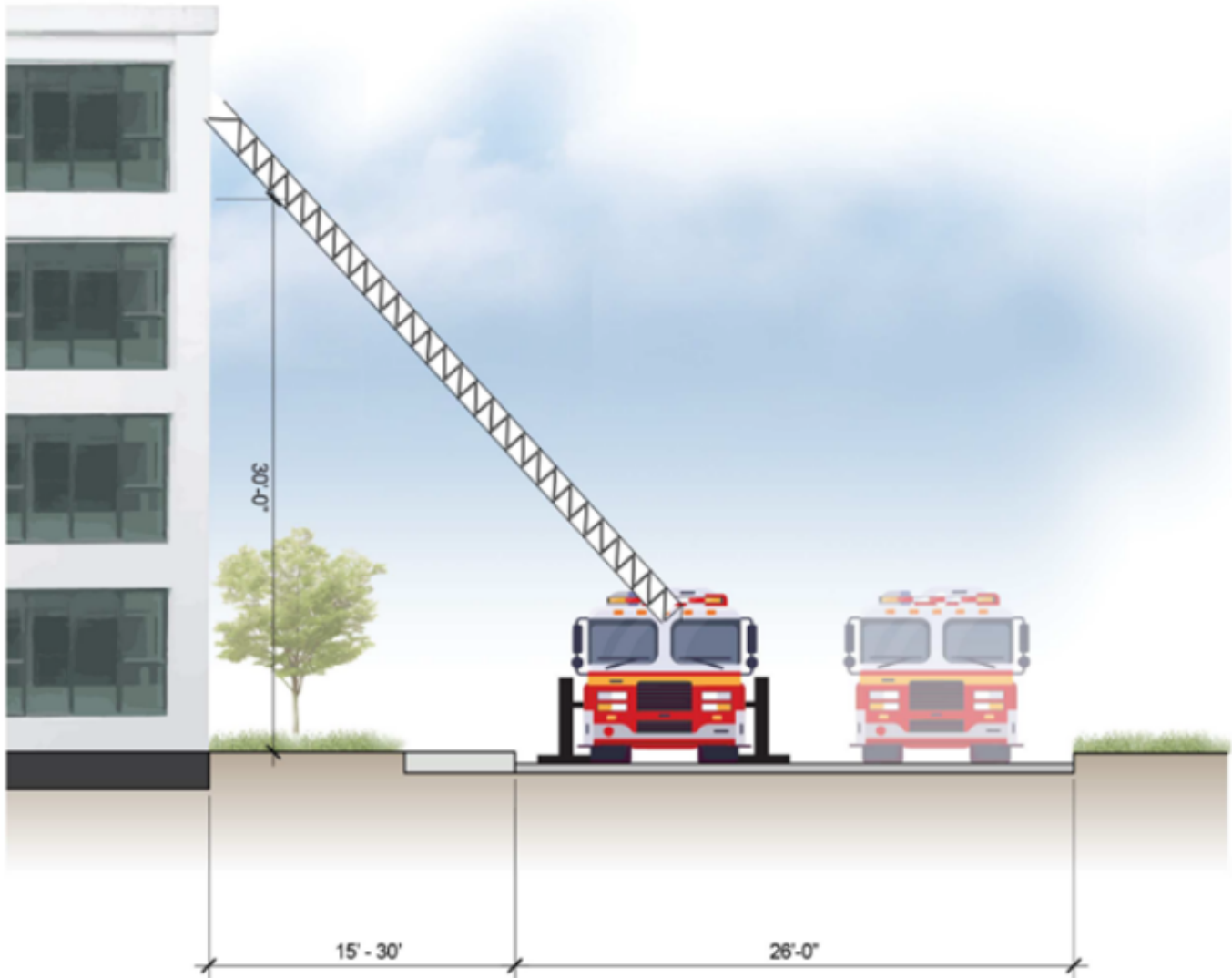
[Comment 00042 | Sheet A100 | Open]

Aerial fire access:

Aerial fire access road(s) adjacent to buildings that are greater than 30 feet in height from the grade plane shall have a minimum width of 26 feet. The proximal edge of Aerial fire access shall be a minimum of 15-30 feet from the building facade(s) and/or plumb line of eave(s). Aerial access shall be provided along one entire long side(s) of the building(s). Show ALL proposed locations where aerial access is being provided. (See FPB Policy A-14-1)



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101



[Comment 00043 | Sheet A100 | Open]

Brush Management Plan:

Brush Management Plan per Landscape and Fire requirements, as the project is in VHFSZ. Show mitigation applied to the structure as a note on the Brush Management Plan. Refer to Landscape comments for information on the Brush Management Plan. Fire will review for Alternative Compliance mitigation due to reduced defensible space before Landscape sign-off. See FPB Policy B-18-01 https://www.sandiego.gov/sites/default/files/f-18-1.policy_0.pdf.

*Additions and remodels that are exempt from the requirements of Chapter 7A of the CBC and R327 CRC that do not provide the full 100 ft. of defensible space must comply with Chapter 7A CBC/R337 CRC which includes the following as



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

applies: (This pertains to the addition/remodel, not the existing building.)

Add note to Brush Management Plan and revise plan sheets accordingly based on CBC 7A/CRC 337 requirements below:

1. Class A roof with fire stops at all openings.
1. Skylights tempered.
1. Spark Arrestor
1. Roof Attic vents prohibited in locations where embers are most likely to accumulate including eaves and overhang areas.
1. Protected eaves.
1. Windows dual glazed/single temper. Vinyl windows must have welded corners, metal reinforcement & meet window industry standards.
1. Gutters must be designed to prevent accumulation of debris.
1. Non-combustible exterior doors or solid wood at least 1 3/8 thick.
1. Attachments and projections such as patios, fences and patio covers must be ignition resistant.
1. Foundation vents are prohibited to be in locations where embers are most likely to accumulate.
1. Underfloor area must be enclosed as required for exterior walls.
1. Exterior walls shall be made with non-combustible wall surfaces such as stucco, fiber- cement siding, & masonry. Combustible wall covering, such as wood siding must have under-layment of 1/2 inch fire rated sheathing butted or taped and mudded.
1. Vent openings shall be fully covered with metal wire mesh. The dimension of the openings shall be a minimum of 1/16* inch and shall not exceed 1/8" inch. The material used shall be corrosion resistant.
1. Garage door fire resistant requirements

*New buildings required to comply with chapter 7A/R3327 requirements that do not meet the 100 ft of defensible space must provide additional mitigation. The mitigation depends on the site conditions, denseness of the brush and amount of Zone 1 and Zone 2 provided. Some options that may be considered are:

1. 6' firewall on the brush side of this structure/structures.
1. Dual glazed/dual tempered windows.
1. Fire breaks.
1. Attic or additional sprinklers.
1. Increase the fire resistance rating of walls/walls.
1. Technical report (as described in section VA).
1. Brush management easement from abutting private property.

Provide Alternative Compliance measures specific to the project directly on the Brush Management Plan and revise applicable plan sheets.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Add a note on the Brush Management plan stating that this project shall adhere to the CBC Chapter 7A and CRC R3327 requirements.

Brush Management Zone 1 typically extends 35 feet out from the habitable structure towards flammable vegetation, and **occurs on the level portion of a property.**

[Comment 00044 | Sheet A100 | Open]

Minimum Defensible Space:

*Per FPB Policy B-18-01 and Fire Code Official discretion, a minimum of 10' Zone 1 defensible space is required on all projects located in VHFSZ. Fire will confirm Zone dimensions on Brush Management Plan in next submittal.

*(Information Only) Reduced brush zones are not allowed per request of the customer. Projects must comply with landscape reviews' determination of how much Zone 1 in Zone 2 can be provided per landscape.

*Mitigation for projects reduced to 10 feet Zone 1 require a 6' block wall on the entire brush side or provide a technical report

(Information Only) Please review FPB Policy B-18-01 https://www.sandiego.gov/sites/default/files/f-18-1.policy_0.pdf for specific mitigation and minimum defensible space information.

Firefighter access to areas adjacent to brush shall be provided either by a clear 4-foot-wide path or via a firefighter-accessible gate. Indicate on the Brush Management Plan how access is provided.

Date April 6, 2026
Project Chewing Residence
2349 Rue Adriane
PRJ-1145966

PROJECT ISSUES REPORT RESPONSES
(presented in one response list in order received)

Community Planning Group
John Norris
JNorris@sandiego.gov
619-687-5988

COMMENT #	RESPONSE	REFERENCE
69	We have reached out to the LJCPA to schedule a presentation to the LJSPRC.	

DSD-Engineering
Anwer Ibrheem
Albriheem@sandiego.gov
619-533-7445

COMMENT #	RESPONSE	REFERENCE
1	No response required	
2	Information comment	
3	Information comment	
4	Information comment	
5	Information comment	
6	No existing EMRAs present on this project	
7	No response required	
8	Impervious values present on civil sheet	C1
9	PRJ# added to DS-560	
10	Located in ESA buffer zone but drains outside and away from ESA. Project does not qualify.	

11	See response 10	
12	See response 10	
13	See response 10	
14	Drainage pattern arrows added	C1, A100
15	Drainage study provided	
16	Information comment	
17	Note added	C1, A100
18	Note added	C1, A100
19	Permit type information added	G100
20	Width provided	C1
21	Separation provided	C1
22	Information comment	C1
23	Visibility triangles provided	C1
24	Dedication noted	C1
25	Information comment	
26	Grading values provided on civil sheet	C1
27	Added to sections	A300
28	Profile section added	A301
29	No response required	
30	No response required	
31	Information comment	

DSD-Geology
Kreg Mills
KMills@sandiego.gov
(619) 446-5295

COMMENT #	RESPONSE	REFERENCE
46	Info only	
47	Info added	G100
48	The non-conforming slope in front yard area is the existing condition to remain. Proposed altered sloped areas conform.	C1
49	The draft notice has been requested via 3/17/26 email.	
50	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
51	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
52	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
53	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
54	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
55	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	
56	See response on Geocon's letter RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS dated March 17, 2026.	

DSD-Planning

Alexis Hartley

alhartley@sandiego.gov

COMMENT #	RESPONSE	REFERENCE
70	No response required	
71	No response required	
72	<p>126.0708(a) Findings for Coastal Development Permit Approval</p> <p>(1) The project site at 2349 Rue Adriane is not identified in the La Jolla Community Plan as a public access way and does not encroach upon any existing or proposed physical accessways to the coast as identified in Figure 6 of the La Jolla Community Plan. Since the Project and associated improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways to the Pacific Ocean.</p> <p>The property does not encroach upon any views from view corridors, intermittent or partial vistas, or scenic overlooks per Figure 9 of the La Jolla Community Plan. The nearest identified public vantage points are scenic overlooks at portions of Via Capri and Rue Adriane at Hillside Drive, but the project site is not visible from the scenic overlook areas due to the terrain.</p> <p>Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.</p> <p>(2) The project site at 2349 Rue Adriane is located on a fully developed street. The property has been previously graded and developed for a single-family home as part of a previous subdivision. Though the property is in ESL overlay zones MSCP (Chaparalle), Sensitive Vegetation (PSV/SV) and Steep Hillisides (Potential), the proposed development area is limited</p>	

	<p>to the previously graded areas of the site. Per the Biology Report by Athena Consulting dated March 6, 2026, "The Project, including Brush Management Zone 1, has been intentionally limited to the existing developed area. It would not result in significant impacts to sensitive biological resources or ESL and no mitigation is required." Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.</p> <p>In addition, the proposed project is in conformance with Clean Water Act (CWA) Compliance per the Drainage Study by Coffey Engineering on March 30, 2026, that states "The proposed project is exempt from permitting under Federal Clean Water Act section 401 or 404 because it does not directly discharge into navigable waters of the United States."</p> <p>(3)</p> <p>The project site at 2349 Rue Adriane is 0.40 acres. The Community Plan outlines this area as Very Low Density Residential (0-5 DU/AC). The density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The scope of work consists of demolishing the existing single-family residence and attached garage and proposes a new single-family residence and subterranean garage. The project is consistent with the prescribed land use and density.</p> <p>The Community Plan recommendations for Community Character include site elements to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and visual harmony. The project addresses bulk and scale by aligning the top of the proposed house to be consistent with the top of the existing house and the top of adjacent homes on both sides of the property. The main living floor is at a grade consistent ay, which was previously built at a hazardous slope and covered a substantial portion of the front property. The terraces step back at each level, further creating visual relief as they follow the hillside so that each floor is a single story above the adjacent grade.</p>	
--	--	--

	<p>The project addresses minimum side yard setbacks by conforming to the La Jolla Shores Planned District Ordinance (LJSPDO) pursuant to SDMC section 1510.0304(b)(4) with the proposed setback values in general conformity with those in the vicinity as shown in the 300-foot vicinity survey. The project also respects a minimum side setback of 10' as defined in the original subdivision. The front and rear setbacks are previously established and maintained.</p> <p>The project adheres to the residential density regulations of the Community Plan and does not interfere with any of the elements of the Local Coastal Program. The project implements Residential Land Use goals and recommendations for Community Character. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.</p> <p>(4) The project site at 2349 Rue Adriane is not located between the nearest public road and the sea or shoreline of any body of water within the Coastal Overlay Zone. The project site is not located in an area identified for public recreation, nor will the proposed project impact existing public recreation areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.</p> <p>Findings for all Site Development Permits shall be required according to the Land Development Code Section 126.0505(a)</p> <p>(1) The project site at 2349 Rue Adriane in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan. The scope of work consists of demolishing the existing single-family residence and attached garage and proposes a new single-family residence and subterranean garage, which is consistent with the prescribed land use designation.</p>	
--	--	--

	<p>The Project complies with the Community Plan's "Community Character" recommendations within the Residential Land Use Element, which are implemented by the La Jolla Shores Planned District's Single Family Zone regulations. These recommendations aim to "maintain and enhance the existing neighborhood character ambience [and] promote good design and visual harmony in the transitions between new and existing structures." The architectural form proposes terraces for "inside-outside" Southern California living. The terraces step back along the hillside to minimize bulk and scale and minimize multi-story volumes above grade. Primary materials are stucco walls with composite wood trellises and accent walls. The color palette is white, warm grey, and wood tones. Black planters and trim provide an accent color. The proposed development will observe setbacks in general conformity with those in the vicinity. Therefore, the proposed development will not adversely affect the applicable land use plan.</p> <p>(2)</p> <p>The proposed project at 2349 Rue Adriane includes the demolition of the existing single-family residence and attached garage and proposes a new single-family residence and subterranean garage. The project scope is limited to the existing developed area. A Geotechnical Investigation Report was prepared by Geocon on January 7, 2026, and gives recommendations for the project's foundation design to provide the level of life-safety suitable for the life of the project. In addition, a corresponding letter on March 17, 2026, in response to City of San Diego review comments, states that "We do not expect that the proposed development will destabilize or result in settlement of adjacent properties or the right of way if construction is performed in accordance with our plans and properly designed and constructed. The existing slope in the rear of the property is not within the limits of the proposed improvements and should not be impacted by construction."</p> <p>The project is conditioned that all public improvements (including curb, gutter, sidewalk, curb ramps, etc.) and dedications must be up to current city standard prior to the issuance of any building permit. The project will be required to obtain a building permit with BMPs proposed to ensure site</p>	
--	---	--

	<p>drainage and run-off are directed to the right-of-way, further facilitating the public health, safety, and welfare. The plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable development regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.</p> <p>(3) The project site at 2349 Rue Adriane is within an established single-family residential neighborhood in the La Jolla Shores Planned District's Single Family Zone. The proposed project includes the demolition of the existing single-family residence and attached garage and proposes a new single-family residence and subterranean garage. The project scope is limited to the existing developed area. There are no public view corridors, vantage points, or physical access routes from the project site. In addition, the project complies with all the development standards required by the La Jolla Shores Plan District Single Family Zone, including height, density, building setbacks, lot coverage, and parking. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.</p>	
73	No response required	
74	We have reached out to the LJCPA to schedule a presentation to the LJSRPC.	
75	We have reached out to Melissa Garcia to schedule a presentation to the LJSAB.	
76	We revised the Scope of Work to match the assessment letter wording, which includes retaining walls without wall lengths. The wall lengths are on the site plan, but let me know if you need it added to G100.	G100
77	Boundary added	A100, L-1
78	Materials have been revised for consistency.	A202
79	Distance added	A100
80	Proposed setbacks added	G200

81	No response required	
82	No response required	

DSD-Environmental
Stephanie Kellogg
SKellogg@sandiego.gov
619-533-3190

COMMENT #	RESPONSE	REFERENCE
57	No response Required	
58	Comments on the biology letter were reviewed and addressed. The revised document is included in both a Word SOUL version and complete PDF, as requested.	
59	Information only	
60	Information only	
61	No response required	
62	Information only	
63	No response required	
64	Added to sections	A300
65	No response required	
66	Information only	
67	No response required	
68	No response required	

DSD-Historic
Audrey Rains
arains@sandiego.gov
619-533-4528

COMMENT #	RESPONSE	REFERENCE
45	Info Only, No response Required	

DSD-Landscape

Rey Rebolledo
RRebolledo@sandiego.gov
619-446-5140

COMMENT #	RESPONSE	REFERENCE
33	No response required	-
34	No response required (Information Only)	-
35	Sensitive Vegetation Boundary shown	L-1
36	Alternate Compliance Note added	L-1
37	Rock mulch was removed and landscaping added	L-1
38	Brush Mgt. Zone Table completed	L-3
39	Note: 4 filled out with "Owner"	L-3
40	4 notes added	L-3

DSD-Fire
Nathaniel Boyle
natebu@sandiego.gov
619-533-4481

COMMENT #	RESPONSE	REFERENCE
32	Hose pull shown on site plan	A100
41	No response required	
42	Aerial access shown on site plan	A100
43	Brush management shown	A100, L1-L3
44	Block wall at 10' and 4' paths shown on site plan	A100

Date May 15, 2026
Project Chewning Residence
2349 Rue Adriane
PRJ-1145966

La Jolla Shores Advisory Board additional requested information

REQUEST	RESPONSE
DSD Cycle Issue comments and Project Issues Report	<p>Provided, along with our submitted responses.</p> <p>Note that in our responses, we stated that "We have reached out to the LJCPA to schedule a presentation to the LJSPRC." Since then, we have received approval from both the LJSPRC and LJCPA.</p>
Complete Plan Set	<p>Provided, including building/site plans including Grading Plan (sheet C.1) and Landscape Plan w/ LJSPDO Landscape Requirements calculations (sheet L-2)</p>
More detail regarding "Sensitive Vegetation" at rear of lot	<p>The boundary of "sensitive vegetation" is shown on the site plan (A100) to correspond with the Biology Report prepared by Athena Consulting. There is no work proposed within that area.</p> <p>Per the Biology Report Summary: <i>"The proposed project (Project) would replace an existing residence with a new residence under a Coastal Development Permit, Site Development Permit, and La Jolla Shores Planned District Permit. The 0.4-acre property (Site) supports the existing residence, hardscape, and landscaping, and has a cliff-like steep hillside supporting native vegetation on the southern edge. Based on review of available records and a biological survey, the Site contains only one sensitive biological resource: 0.1 acre of Diegan coastal sage scrub habitat. The Diegan coastal sage scrub is an Environmentally Sensitive Area and Environmentally Sensitive Land. The rear yard cliff, even where it has non-native vegetation, is Environmentally Sensitive land due to its steepness. No sensitive species were found, and no sensitive species have high potential to occur on the Site. The Site is not adjacent to the hardline preserve. The Project, including Brush Management Zone 1, has been intentionally</i></p>

	<i>limited to the existing developed area. It would not result in significant impacts to sensitive biological resources or ESL and no mitigation is required."</i>
More detail regarding "Easement" area	The 2' wide existing utility easement at the property line is shown per the site survey. No work is proposed within the easement area.
More detail regarding "Dedication" area	The "Dedication" area is shown on the site plan per Cycle Issues comment 24: <i>"Dedication: Based on the community plan and street classification, Rue Adriane is an unclassified local street; therefore, a minimum 12-foot parkway with a non-contiguous sidewalk is required per the current City Standard."</i>
More detail regarding "Proposed Retaining Wall"	There are proposed retaining walls along the side yard site stairs for Fire Dept. access. There is a proposed retaining wall to support grade at the main outdoor terrace of the house. There are also proposed 6' tall retaining walls at the rear yard, which are provided for brush management and as a mitigation measure for defensible space per Cycle Issues comments 43 and 44.

Chewing R E S I D E N C E

Parcel Information

OWNER
Rush and Kelly Chewing
2349 Rue Adriane
La Jolla, CA 92037

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA 92037

Legal Description
LOT 9, AS SHOWN ON THAT CERTAIN MAP ENTITLED CHATEAU VILLE, WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO 3926, FILED ON JULY 10, 1958.

MONUMENT PRESERVATION CERTIFICATION
The contractor shall be responsible for any monumentation and/or benchmarks which will be disturbed or destroyed by construction. Such points shall be referenced and replaced with appropriate monumentation by a licensed land surveyor or a registered civil engineer authorized to practice land surveying. A corner record or record of survey, as appropriate, shall be filed by the licensed land surveyor or civil engineer as required by the Professional Land Surveyors Act (Business And Professions Code Section 8771). If determined during review additional survey monumentation preservation may be required per Information Bulletin Number 591.

APN
352-324-04-00

LOT AREA
17,797 SF

YEAR DEVELOPED (BUILT)
1960

Development Summary

Development Regulations

BASE ZONE	LJSPD-SF (La Jolla Shores Planned District- Single Family)
COMMUNITY PLAN	LA JOLLA
OVERLAY ZONES	
Coastal Overlays	Coastal Height Limit Coastal - N-APP-1/N-APP-2
Environmentally Sensitive Lands	Potential Sensitive Vegetation Sensitive Vegetation Steep Hillside Potential
Historic & Cultural Resources	Paleontological Sensitivity Area
Fire	Brush Management (100' Setback) Very High Fire Hazard Severity Zone (VHF52)
Geology and Soils	Earthquake Fault Buffers-Geologic Hazard Category 12 (potentially active, inactive or unknown- relative risk low to moderate risk) Slopes 25% or Greater (1999)
Hydrology	Watershed- MISSION BAY Watershed Subarea- 906.3 - Scripps Environmentally Sensitive Area (ESA)- Yes Areas of Special Biological Significance (ASBS)- Yes

Uses Category

EXISTING	SINGLE FAMILY RESIDENTIAL
PROPOSED	SINGLE FAMILY RESIDENTIAL

Occupancy Groups/Classifications

EXISTING	R-3/U
PROPOSED	R-3/U

Type of Construction

EXISTING	Vb
PROPOSED	Vb

Number of Stories

EXISTING	1
PROPOSED	3 (2 over Basement)

Fire Sprinklers

EXISTING	NONE
PROPOSED	YES, NFPA 13

Building Area Summary

DESCRIPTION	EXISTING	PROPOSED
MAIN LEVEL	2046 SF	2420 SF
MID LEVEL	-	953 SF
GARAGE LEVEL (HABITABLE)	-	376 SF
GARAGE LEVEL (NON-HABITABLE)	593 SF	901 SF
TOTAL BUILDING AREA	2639 SF	4650 SF
Pergola (>50% Open)	-	1845 SF

Basement Area Calculation

DESCRIPTION	EXCLUDED*	INCLUDED
MAIN LEVEL	0 SF	2420 SF
MID LEVEL	<622 SF>	331 SF
GARAGE LEVEL (HABITABLE)	<376 SF>	0 SF
GARAGE LEVEL (NON-HABITABLE)	<901 SF>	0 SF
TOTAL AREA	1899 SF	2751 SF

*Basement area excluded in the Gross Floor Area Calculation (GFA) for determining Floor Area Ratio.

Floor Area Ratio

LJSPD-SF (La Jolla Shores Planned District- Single Family)	0.47
LOT AREA	17,797 SF
ALLOWABLE GFA	8,365 SF
EXISTING FAR (GFA)	0.15 (2639 SF)
PROPOSED FAR (GFA)	0.16 (2751 SF)

Coverage

DESCRIPTION	ALLOWABLE	EXISTING	PROPOSED
LOT COVERAGE	60%	18%	24%

Landscape Area

LOT AREA	17,797 SF
IMPERVIOUS AREA*	6,353 SF
LANDSCAPE AREA	11,444 SF

*Excludes area under roof overhangs

Setbacks

DESCRIPTION	MINIMUM	EXISTING	PROPOSED
FRONT YARD (ESTABLISHED)	20'	61'-1"	20'
SIDE YARD		13'/15"	10'
REAR YARD (ESTABLISHED)	10'	55'-11"	57"

Structure Height

DESCRIPTION	ALLOWABLE	EXISTING	PROPOSED
MAXIMUM ALLOWABLE	24'/30'	14'-3"	18'-6"
OVERALL ALLOWABLE	40'	-	38'-4"

Parking

EXISTING	2 COVERED
PROPOSED	3 COVERED

Project Scope

Proposed development/action(s): (Process 3) Coastal Development Permit and Site Development Permit to demolish a one-story dwelling of 2,046 square feet with an attached garage of 593 square feet, and construct a two-story single dwelling unit of 3749 square feet over basement with a 3-car garage of 901 square feet, and associated site improvements include retaining walls, located at 2349 Rue Adriane.

- Location: 2349 Rue Adriane, La Jolla, CA 92037
- Community Plan: La Jolla Community Plan Area
- Requested Approvals/Process: (Process 3) Coastal Development Permit and Site Development Permit, per SDMC Section(s) 126.0702 and 126.0501

- NO DEVELOPMENT REGULATION DEVIATIONS REQUESTED
- NO ADJACENT TRANSIT STOPS

Sheet Index

GENERAL

G100	DEVELOPMENT DATA
G200	SIDEYARD SETBACK DIAGRAM
G201	OVERLAY ZONE DIAGRAMS

SURVEY

V100	TOPOGRAPHIC SURVEY
V101	SLOPE ANALYSIS

CIVIL

C.1	PRELIMINARY GRADING/DRAINAGE
-----	------------------------------

ARCHITECTURAL

D100	SITE PLAN - DEMOLITION
D101	FLOOR/ROOF PLAN & EXTERIOR ELEVATIONS - DEMOLITION

A100

A100	SITE PLAN
A101	GARAGE LEVEL FLOOR PLAN
A102	MID LEVEL FLOOR PLAN
A103	MAIN LEVEL FLOOR PLAN
A104	ROOF PLAN
A200	EXTERIOR ELEVATIONS - NORTH & EAST
A201	EXTERIOR ELEVATIONS - SOUTH & WEST
A202	MATERIAL PALETTE
A300	SITE SECTIONS - 1 & 6
A301	SITE SECTION - 7

LANDSCAPE

L-1	LANDSCAPE PLAN
L-2	LANDSCAPE AREA EXHIBIT
L-3	BRUSH MANAGEMENT NOTES

Code & Regulations

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES:
San Diego Land Development Code, latest edition at the time of CDP submittal.

Permit Types

PERMIT TYPE	PERMIT NUMBER
Coastal Development Permit (CDP)	PMT-338 378 2
Site Development Permit (SDP)	PMT-338 378 3

NOTICE OF GEOLOGIC AND GEOTECHNICAL CONDITION

Document No.	
Date Recorded	

Project Team

ARCHITECT
Hector Magnus, C23272
Architects Magnus
3370 Jackdaw Street
San Diego CA 92103
(619) 293-7240
hector@architectsmagnus.com

SURVEYOR
Metropolitan Mapping, Inc.
3712 30th Street
San Diego CA 92104
(619) 431-5250

BIOLOGIST

Athena Consulting
Po Box 19714
San Diego, CA 92159
(619) 787-6646

GEOTECH ENGINEER

GEOCON Inc
6960 Flanders Drive
San Diego, California 92121-2974
(858) 558-6900

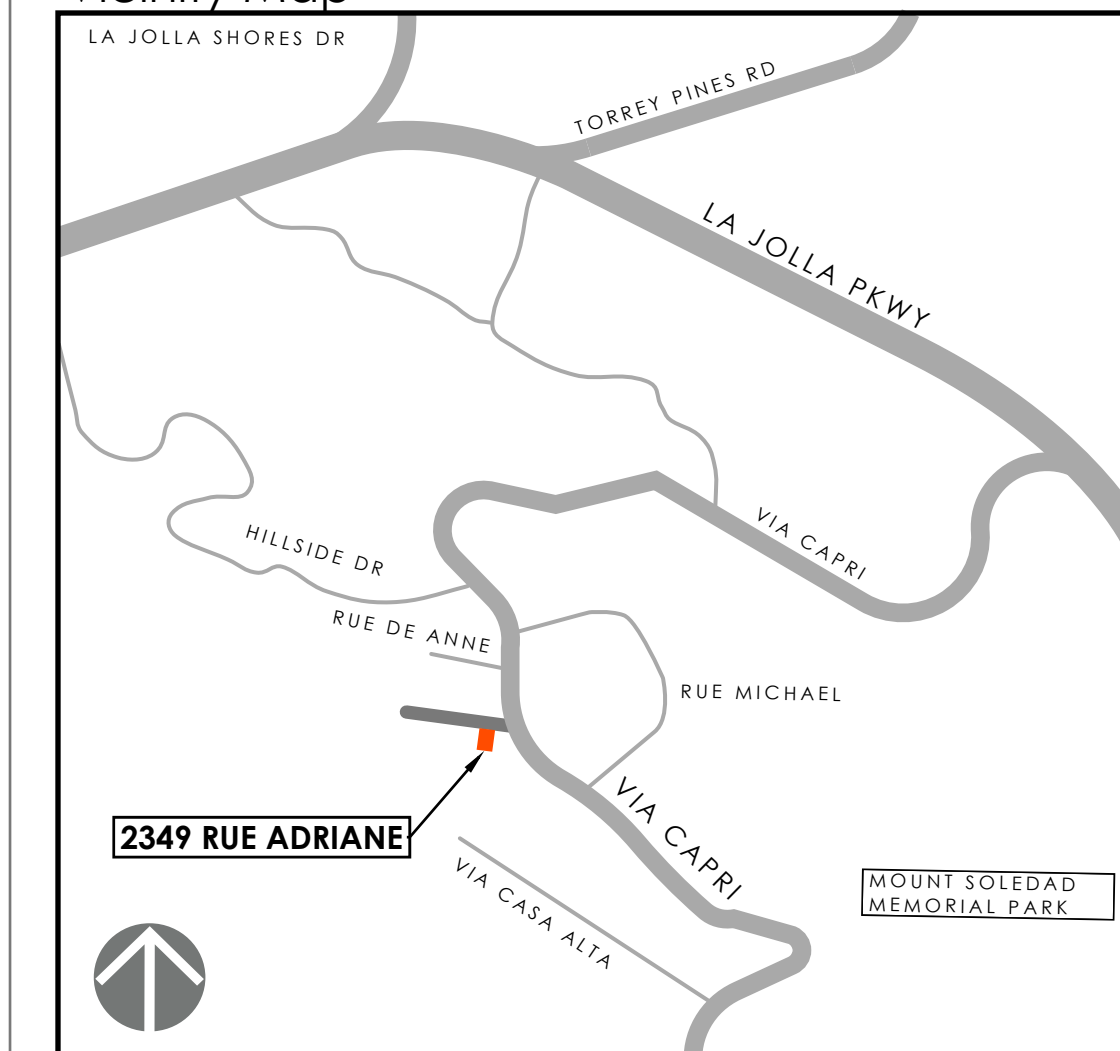
CIVIL ENGINEER

Coffey Engineering, Inc.
7666 Businesspark Avenue, Suite 110
San Diego CA 92131-1646
(858) 831-0111

LANDSCAPE ARCHITECT

Jeffrey Rule
Jeffrey Rule, Inc
8080 La Mesa Blvd # 206
La Mesa, CA 91942
(619) 466-0362

Vicinity Map



architectsmagnus
LIVABLE MODERN ARCHITECTURE

3370 Jackdaw Street
San Diego, CA 92103 619.293.7240

OWNER
Rush & Kelly Chewing

PROJECT NAME

Chewing
R E S I D E N C E

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

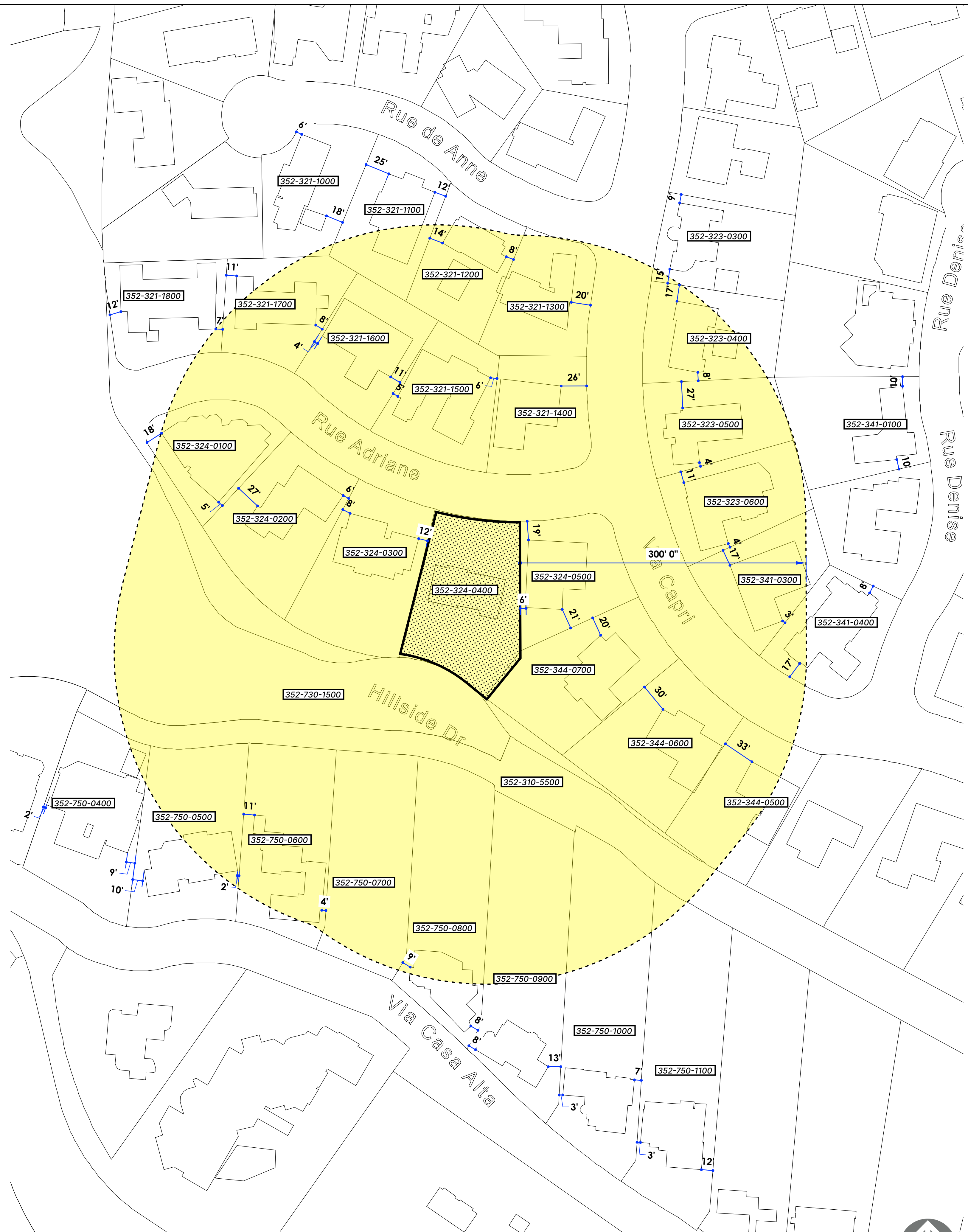
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE
GENERAL DEVELOPMENT DATA

SHEET

G100



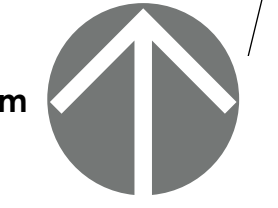
Setback Diagram Key

APN	NUMBER	STREET	FRONT YARD	SIDE YARD	SIDE YARD	REAR YARD	NOTES
1	352-310-5500	VIA CAPRI		none	none		OPEN SPACE
2	352-321-1000	2329 RUE DE ANNE		6'	41'		
3	352-321-1100	2343 RUE DE ANNE		25'	12'		
4	352-321-1200	2357 RUE DE ANNE		14'	4'		
5	352-321-1300	2361 RUE DE ANNE		20' street side	4'		
6	352-321-1400	2364 RUE ADRIANE	20' Established	26' street side	4'	10' Established	
7	352-321-1500	2340 RUE ADRIANE	20' Established	5'	6'	10' Established	
8	352-321-1600	2326 RUE ADRIANE	20' Established	4'	11'	10' Established	
9	352-321-1700	2314 RUE ADRIANE	20' Established	11'	8'	10' Established	
10	352-321-1800	2302 RUE ADRIANE	20' Established	12'	7'	10' Established	
11	352-323-0300	7333 VIA CAPRI		9'	15'		
12	352-323-0400	7317 VIA CAPRI		17'	8'		
13	352-323-0500	7301 VIA CAPRI		27'	4'		
14	352-323-0600	7275 VIA CAPRI		11'	4'		
15	352-324-0100	2303 RUE ADRIANE	20' Established	18'	5'	10' Established	
16	352-324-0200	2323 RUE ADRIANE	20' Established	27'	6'	10' Established	
17	352-324-0300	2333 RUE ADRIANE	20' Established	8'	12'	10' Established	
18	352-324-0400	2349 RUE ADRIANE	20' Established	10'	10'	10' Established	Subject Property
19	352-324-0500	7274 VIA CAPRI		19' street side			
20	352-341-0100	2440 RUE DENISE		10'	10'		
21	352-341-0300	7255 VIA CAPRI		17'	3'		
22	352-341-0400	2402 RUE DENISE		17'	8'		
23	352-344-0500	7238 VIA CAPRI		33'	3'		
24	352-344-0600	7250 VIA CAPRI		30'	3'		
25	352-344-0700	7262 VIA CAPRI		20'	3'		
26	352-730-1500	E CAMINITO BASSANO		none	none		OPEN SPACE
27	352-750-0400	1918 VIA CASA ALTA		2'	9'		RS-1-1 zone
28	352-750-0500	1934 VIA CASA ALTA		10'	2'		RS-1-1 zone
29	352-750-0600	1954 VIA CASA ALTA		11'	4'		RS-1-1 zone
30	352-750-0700	1974 VIA CASA ALTA		vacant	vacant		RS-1-1 zone
31	352-750-0800	1994 VIA CASA ALTA		9'	8'		RS-1-1 zone
32	352-750-0900	2012 VIA CASA ALTA		8'	13'		RS-1-1 zone
33	352-750-1000	2022 VIA CASA ALTA		3'	7'		RS-1-1 zone
34	352-750-1100	2032 VIA CASA ALTA		3'	12'		RS-1-1 zone

NOTE:
 Front yard setback 20' established @ RUE ADRIANE.
 Rear yard setback 10' established @ RUE ADRIANE.

Vicinity Building Setback Diagram
 SCALE 1" = 60'

SOURCE: sandiego.maps.arcgis.com



OWNER
 Rush & Kelly Chewning

PROJECT NAME

Chewning
 RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
 2349 Rue Adriane
 La Jolla, CA

SEAL



DRAWN BY
 HM

ISSUE
 2025.10.20 Initial Submittal
 2026.04.06 Resubmittal 1

PROJECT NO
 2025.06.03

PROJECT PHASE
 Discretionary Permit Review

SHEET TITLE

SHEET

G200

SHEET SIZE 24"x36" - PRINT DATE: April 6, 2026

Overlay Zones

Coastal Zones	Coastal Height Limit Overlay Zone (CHLOZ) Coastal Overlay Zone (COZ)- N-APP-1/N-APP-2
Environmental	ESL Sensitive Vegetation- PSV/SV ESL Steep Hillside- Potential
Historic & Cultural Resources	Paleontological Sensitivity Area
Fire	Brush Management (100' Setback) Very High Fire Hazard Severity Zone (VHFSZ)
Geology and Soils	Earthquake Fault Buffers- Geologic Hazard Category 12 (potentially active inactive or unknown- relative risk low to moderate risk) Geologic Hazard Category 21 (landslides confirmed known or highly susceptible- relative risk high) Slopes 25% or Greater (1999)
Hydrology	Watershed- MISSION BAY Watershed Subarea- 904.3 - Scripps Environmentally Sensitive Area (ESA)- Yes ESA plus 200 ft buffer. Areas of Special Biological Significance (ASBS)- Yes
Biology	Multiple Species Conservation Program (MSCP)

Notes

1. This property is not in, or adjacent to, MHPA areas.
2. Mapping source: Zoning and Parcel Information Portal (ZAPP) <https://sandiego.maps.arcgis.com>

OWNER
Rush & Kelly Chewning

PROJECT NAME

CHEWNING
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

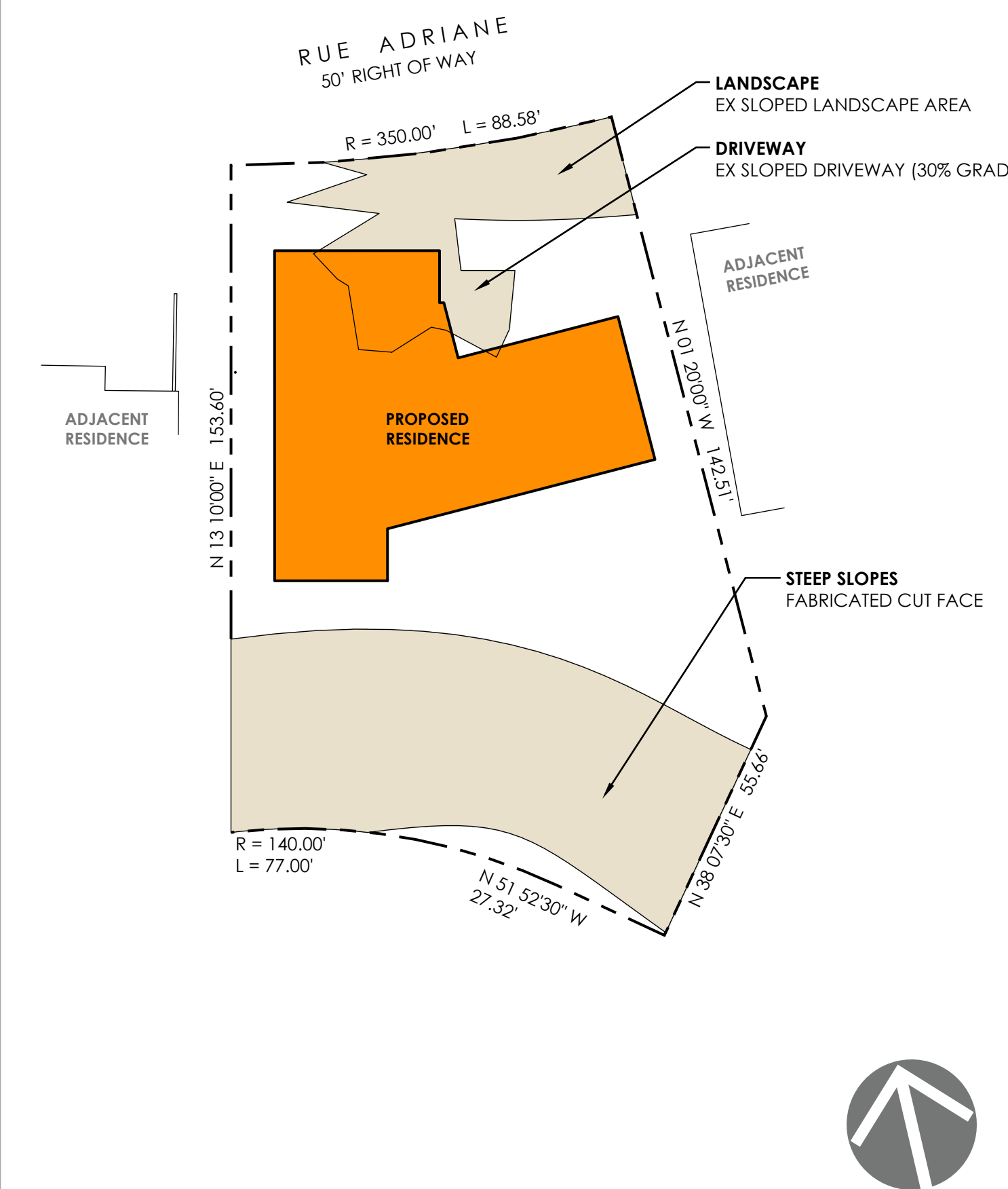
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

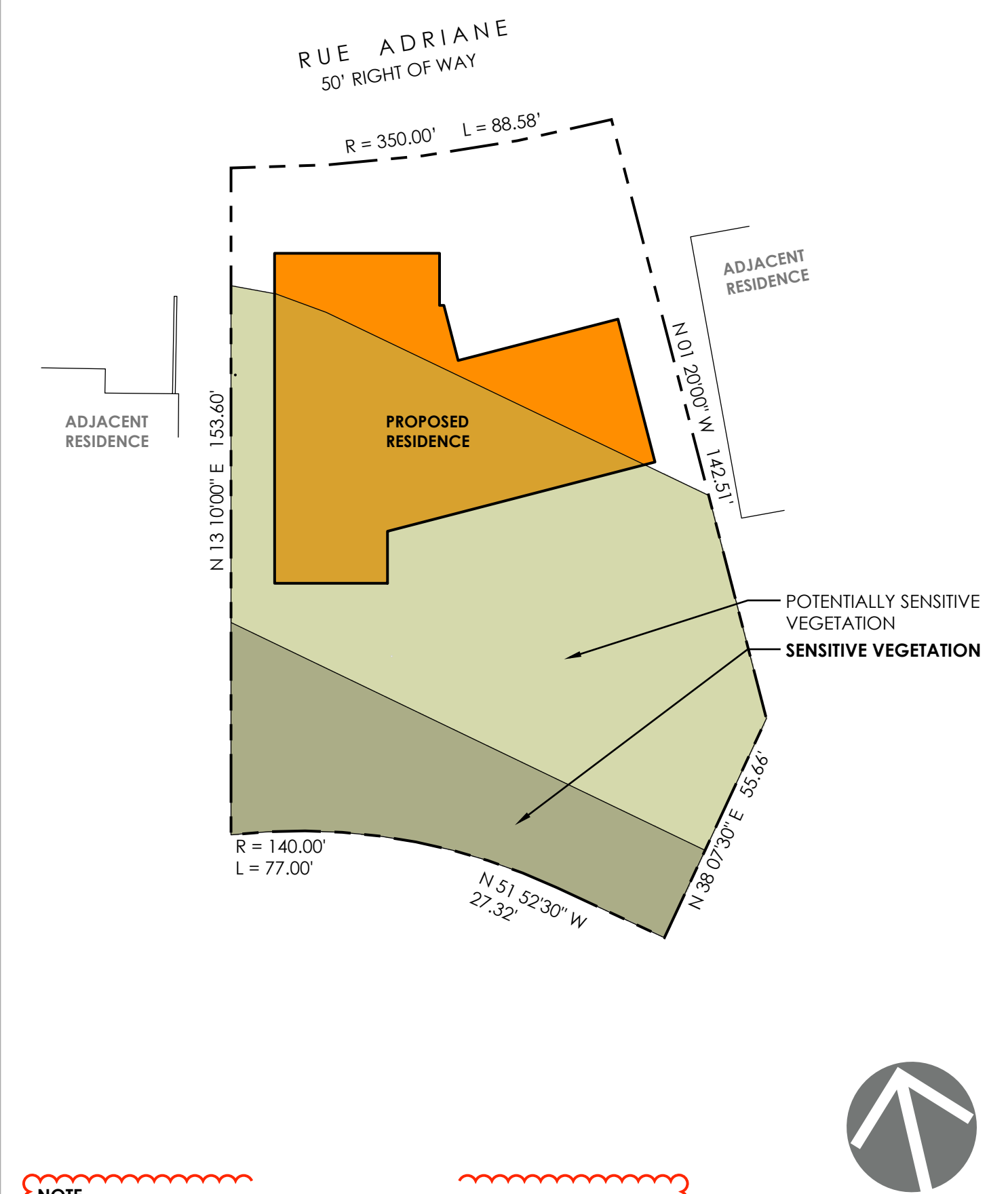
G201



NOTE
REFER TO 'SLOPE ANALYSIS' PLAN, SHEET V101, FOR FURTHER INFORMATION

Overlay Zone - Steep Hillside (>25%)

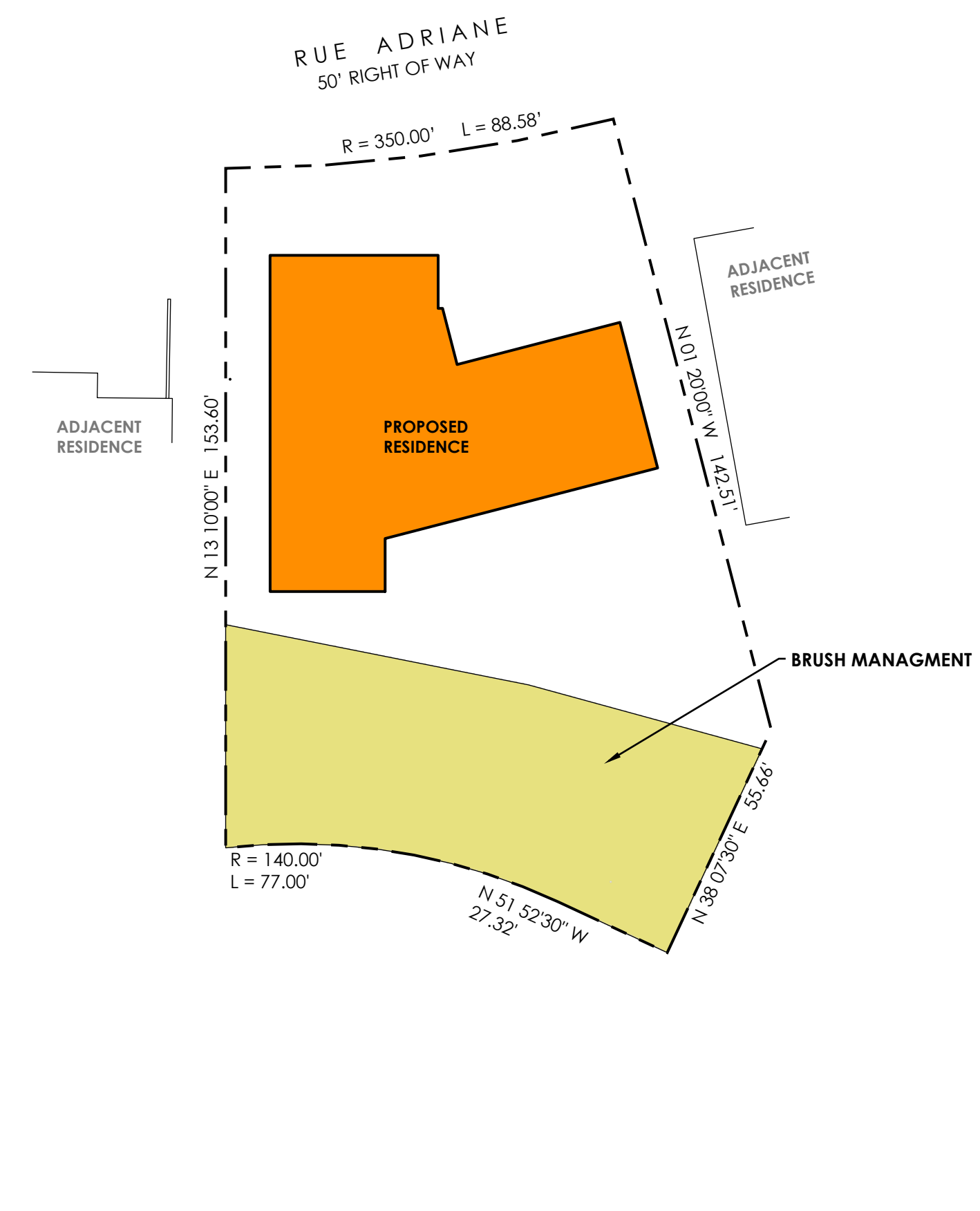
SCALE 1" = 30'



NOTE
REFER TO SITE PLAN, SHEET A100, FOR DETAILED BOUNDARY INFORMATION

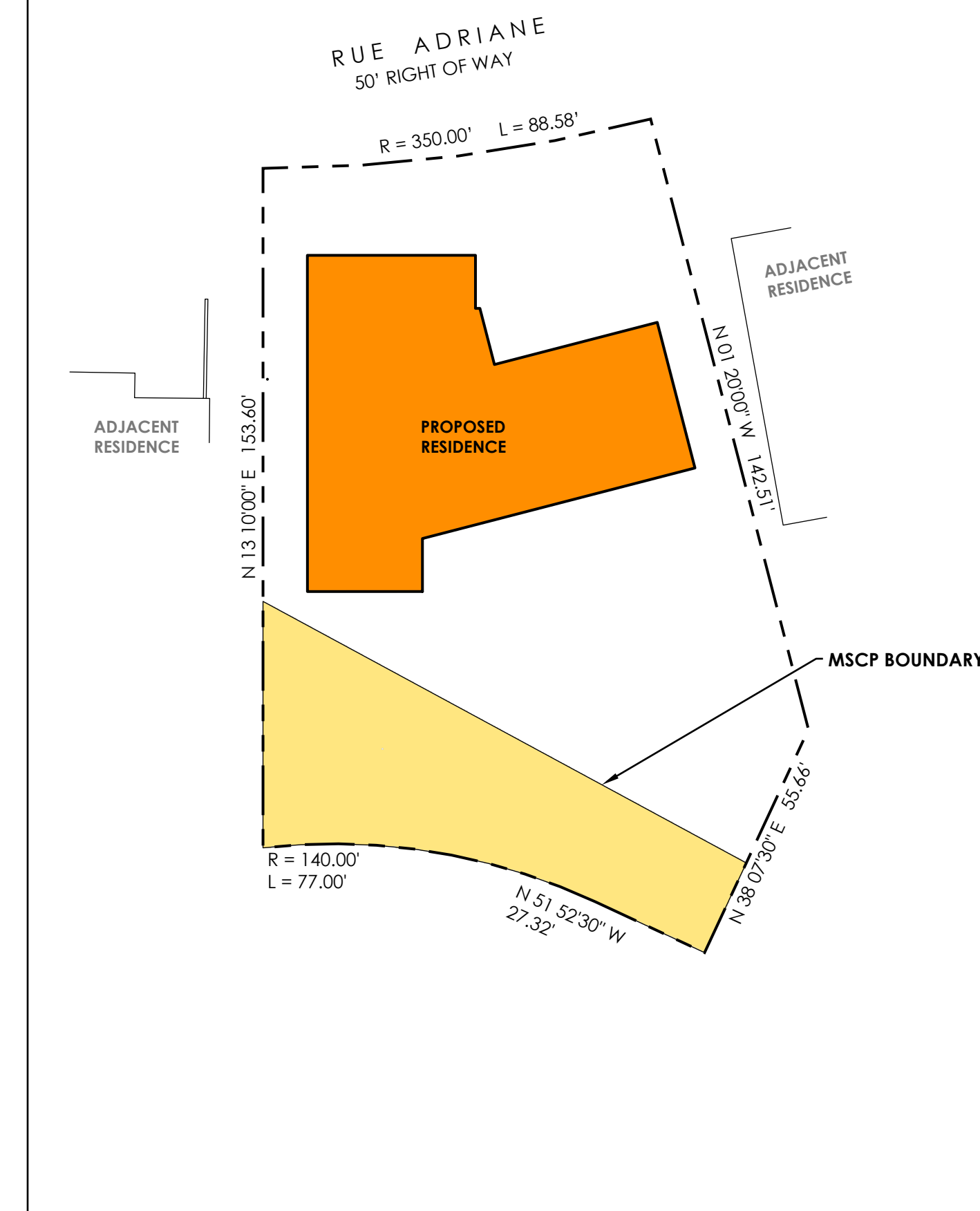
Overlay Zone - Sensitive Vegetation

SCALE 1" = 30'



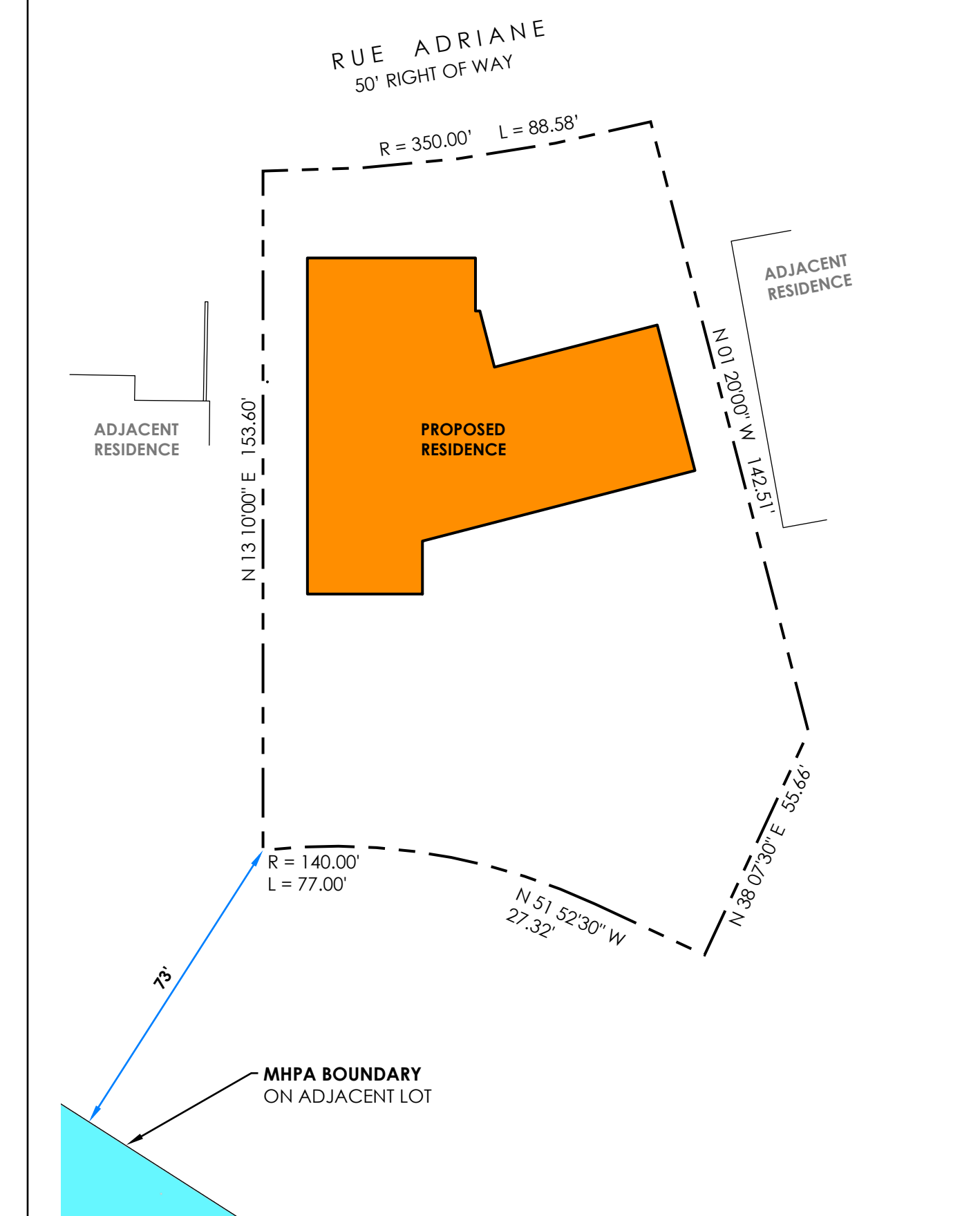
Overlay Zone - Brush Management

SCALE 1" = 30'



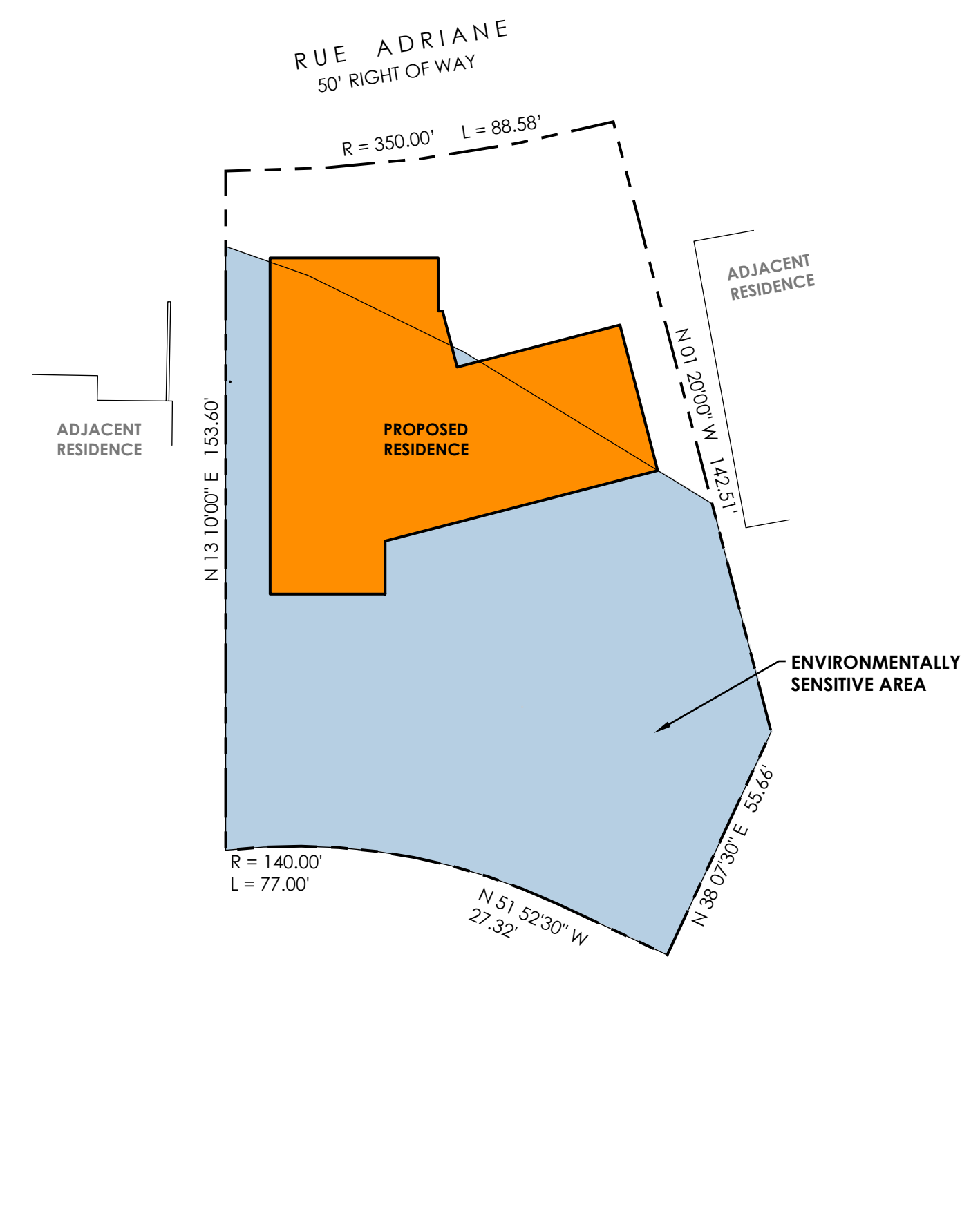
Overlay Zone - MSCP

SCALE 1" = 30'



Overlay Zone - MHPA

SCALE 1" = 30'



Overlay Zone - Hydrology ESA

SCALE 1" = 30'



PROPERTY LEGAL DESCRIPTION
 LOT 9, AS SHOWN ON THAT CERTAIN MAP ENTITLED CHATEAU VILLE, WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO 3926, FILED ON JULY 10, 1958.

ASSESSORS PARCEL NUMBER
 352-324-04

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
 LOCATION: SOUTHWEST CORNER OF RUE ADRIANE AND VIA CAPRI
 DATUM: NVD 29
 ELEVATION: 537.96 FEET

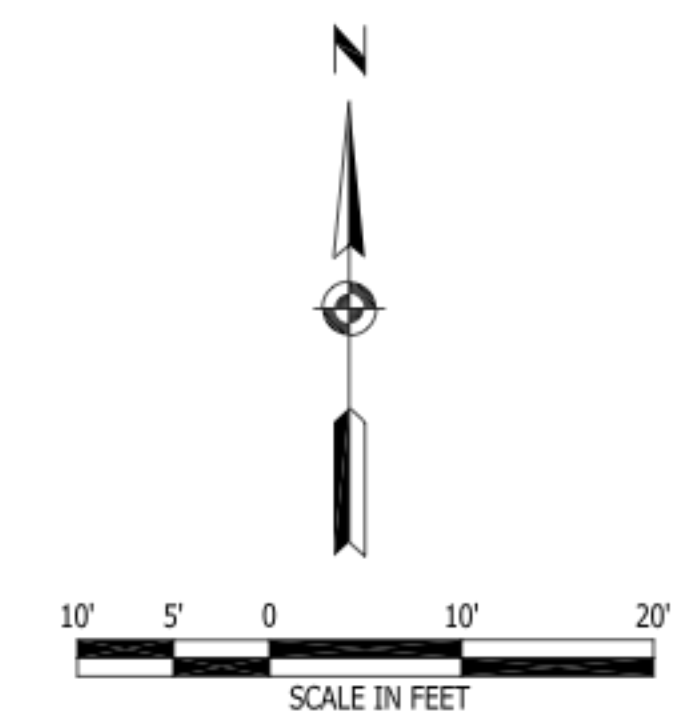
NOTE
 THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	TREE (TRUNK TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	
BLUFF AREA ONLY	
	SPOT ELEVATION
	GROUND CONTOUR (25' INTERVAL)
	GROUND CONTOUR (5' INTERVAL)
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	

ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER



METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 431-5250
 metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
 2349 RUE ADRIANE
 LA JOLLA, CA 92037

UPDATED: 06/06/25
 CONVERT TO 10 SCALE

UPDATED: 01/31/25
 ADD ADJACENT BLDG'S

SURVEY DATE
 JANUARY 7, 2025

MAP/DRAWING DATE
 JANUARY 15, 2025

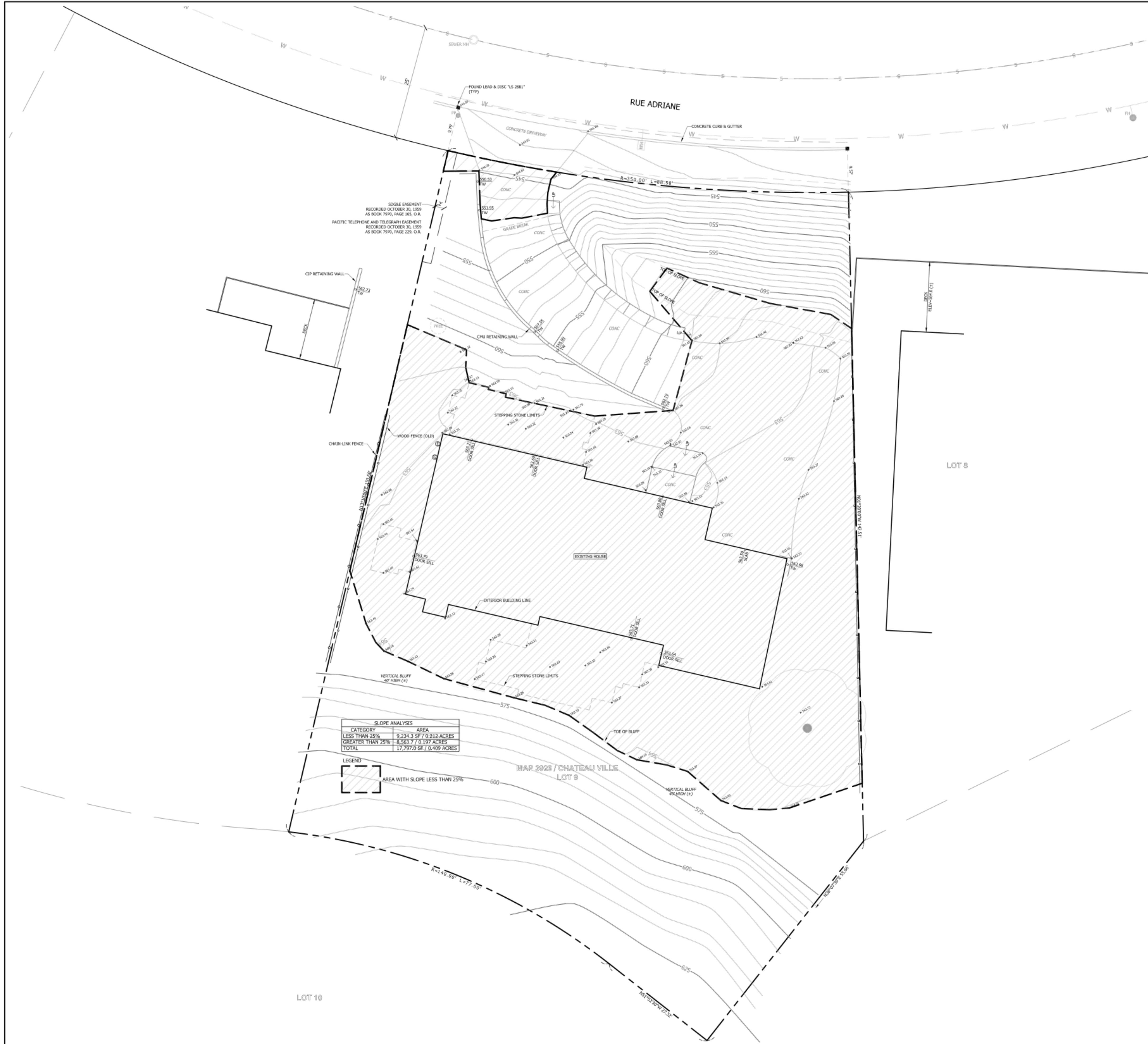
SCALE: 1"=10'

DRAWN BY: VF

JOB No:

SHEET TITLE:

V100



PROPERTY LEGAL DESCRIPTION
 LOT 9, AS SHOWN ON THAT CERTAIN MAP ENTITLED CHATEAU VILLE, WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO 3926, FILED ON JULY 10, 1958.

ASSESSORS PARCEL NUMBER
 352-324-04

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
 LOCATION: SOUTHWEST CORNER OF RUE ADRIANE AND VIA CAPRI
 DATUM: NAD83 29
 ELEVATION: 537.96 FEET

NOTE
 THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

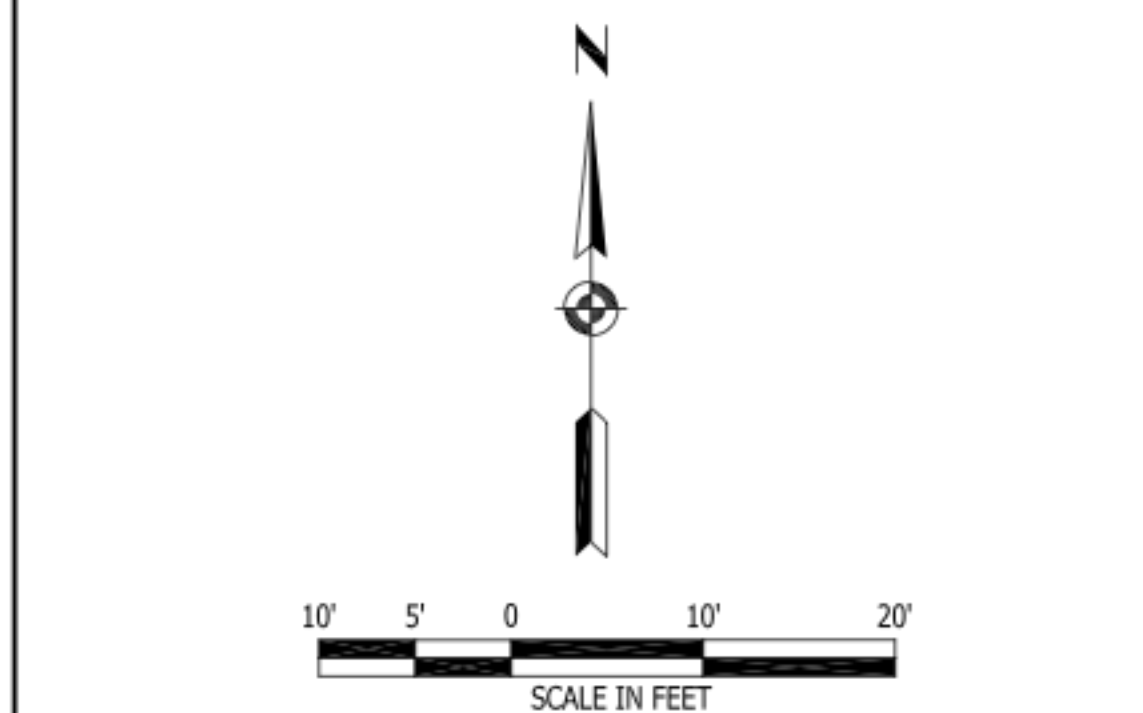
THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND

	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	TREE (TRUNK TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)
	GROUND CONTOUR (25' INTERVAL)
	GROUND CONTOUR (5' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)

ABBREVIATIONS

AP ANGLE POINT	GRND GROUND
ASPH ASPHALT	MH MANHOLE
BLDG BUILDING	PP UTILITY POLE
CIP CAST IN PLACE	(R) RADIAL BEARING
CMU CONCRETE MASONRY UNIT	SF SQUARE FEET
CONC CONCRETE	SS SANITARY SEWER
DI DRAIN INLET	TC TOP OF CURB
EL ELEVATION	TG TOP OF GRATE (DRAIN)
FF FINISHED FLOOR	TW TOP OF WALL
FL FLOWLINE	Typ TYPICAL
FNC FENCE	U/G UNDERGROUND
GB GRADE BREAK	WM WATER METER



METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 431-5250
 metromap.sd@gmail.com

REVISIONS:

SLOPE ANALYSIS
 2349 RUE ADRIANE
 LA JOLLA, CA 92037

SURVEY DATE
 JANUARY 7, 2025

MAP/DRAWING DATE
 JUNE 6, 2025

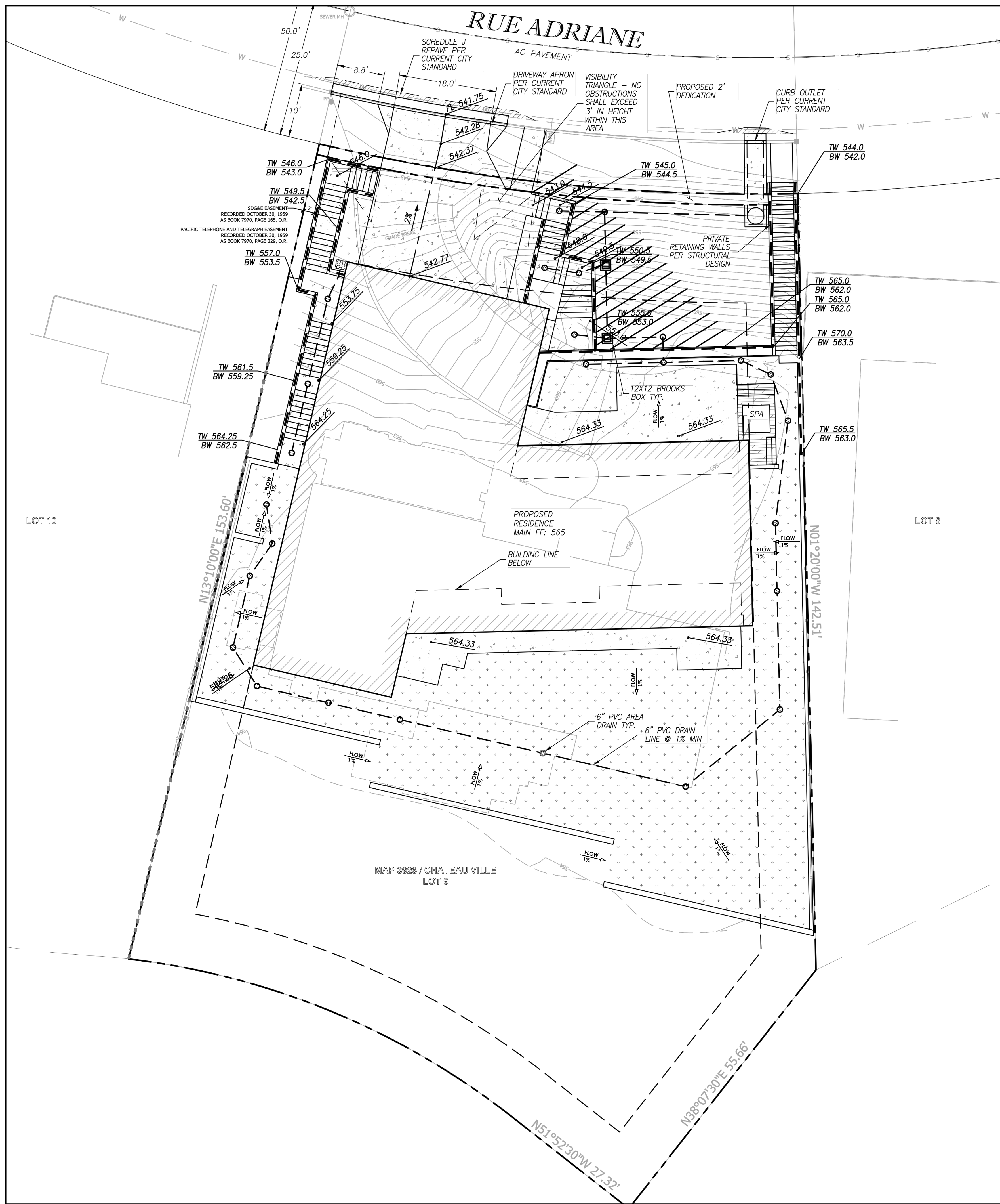
SCALE: 1"=10'

DRAWN BY: VF

JOB No:

SHEET TITLE:

V101



LEGEND

DESCRIPTION	STD DWG	SYMBOL
STREET CENTERLINE		
PROPERTY LINE		
EXISTING CONTOUR	90	
EXISTING SPOT ELEVATION	100.00	
PROPOSED CONTOUR	90	
PROPOSED SPOT ELEVATION	100.00	
PVC DRAIN LINE		
6" LANDSCAPE DRAIN		
BUILDING FOOTPRINT		
EXISTING GAS LINE	G	
EXISTING SEWER-MAIN	S	
EXISTING TELEPHONE LINE	T	
EXISTING WATER MAIN	W	

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FLD BK	FIELD BOOK
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	ICV	IRRIGATION CONTROL VALVE
BRK	BRICK	L.P.	LOW PRESSURE
BW	GRADE AT BOTTOM OF WALL	PLTR	PLANTER
C	CENTER LINE	PVMT	PAVEMENT
C. CONC	CONCRETE	SCO	SEWER CLEANOUT
C.O.	CLEANOUT	SMH	SEWER MANHOLE
EL	ELECTRIC	TEL	TELEPHONE
ELEV	ELEVATION	TW	GRADE AT TOP OF WALL
E; FL	FLOW LINE	TYP	TYPICAL
		WM	WATER METER

PROJECT INFORMATION

EXISTING CONDITIONS:

- TOTAL LOT SIZE = 17,797 S.F. (0.409 ACRES)
- EXISTING AMOUNT OF PERVIOUS AREA = 12,065.73 S.F.
- EXISTING AMOUNT OF IMPERVIOUS AREA = 5,731.27 S.F.

PROPOSED CONDITIONS:

- PROPOSED AMOUNT OF PERVIOUS AREA = 11,443.7 S.F.
- PROPOSED AMOUNT OF IMPERVIOUS AREA = 6,353.3 S.F.
- TOTAL DISTURBANCE AREA = 12,230 S.F.
- IMPERVIOUS AREA % INCREASE = (+)10.85%
- CREATED AND/OR REPLACED IMPERVIOUS AREA = 6,353.3 S.F.

NOTE: IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 6" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 18" UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.
- ALL PRIVATE STORM WATER RUNOFF WILL BE ROUTED TO LANDSCAPE OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAINAGE SYSTEM.

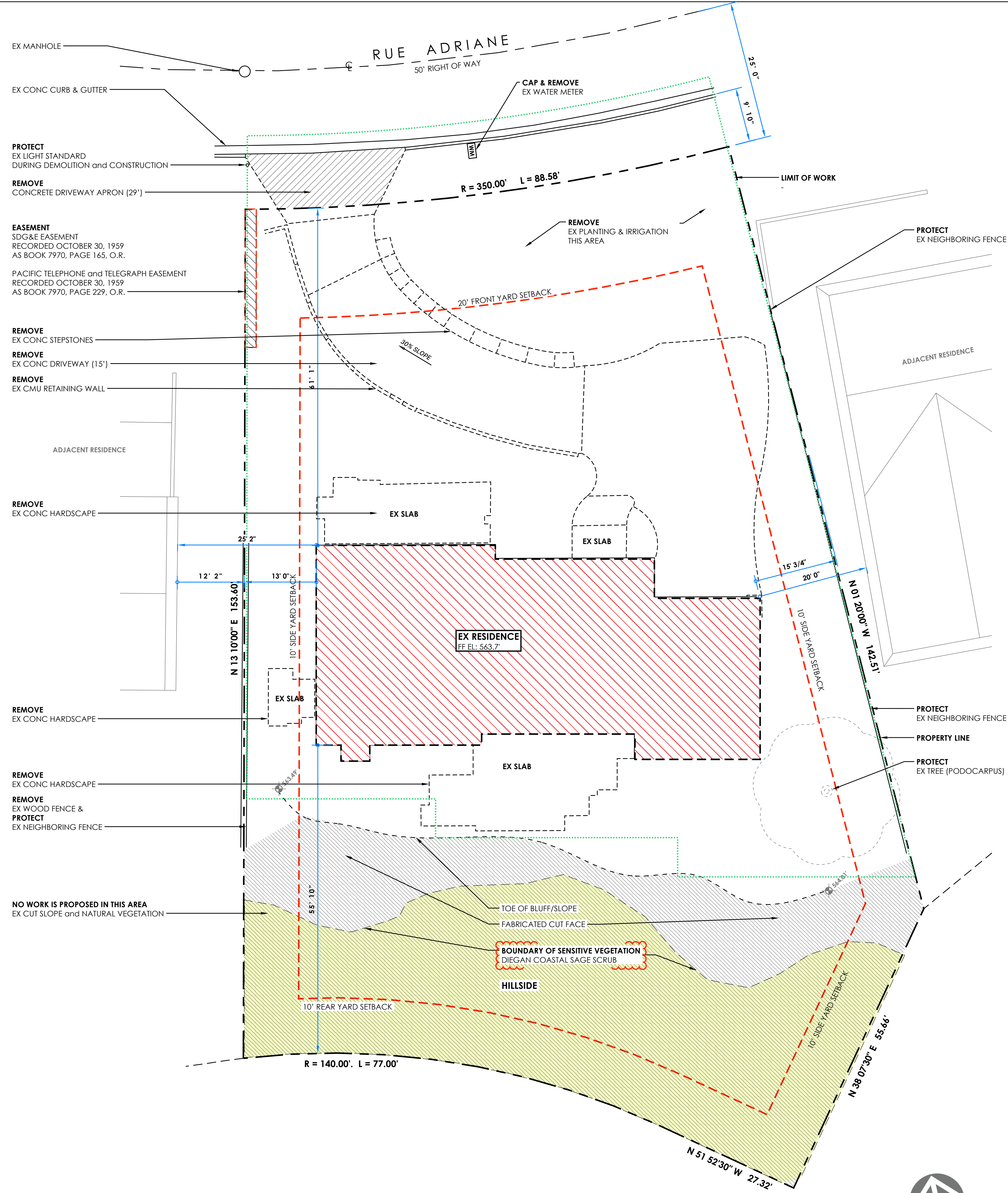
STORM WATER NOTES

- PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.010, 129.0104(A)(4), AND 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.
- ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- THE SITE IS LOCATED IN AN ASBS WATERSHED AREA. SINCE THE PROJECT IS LOCATED IN AN ASBS WATERSHED AREA NO DRY WEATHER FLOWS ALLOWED INCLUDING OVER IRRIGATION.

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:	12,230 sqft	% OF TOTAL SITE:	5.2%
AMOUNT OF CUT:	300 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	13 FEET
AMOUNT OF FILL:	250 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	4.5 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	8 FEET	SLOPE RATIO:	2
AMOUNT OF IMPORT/EXPORT SOIL:	50 CUBIC YARDS	MAXIMUM HEIGHT:	11 FEET
RETAINING/ CRIB WALLS:	LENGTH 263 FEET		

CITY OF SAN DIEGO, CALIFORNIA	
COASTAL DEVELOPMENT PERMIT	
CHEWNING RESIDENCE	ORIGINAL 10/09/25
	REVISIONS
2349 RUE ADRIANE LA JOLLA, CA 92037	
GRADING & DRAINAGE PLAN	C.1
DRAWN BY: GP	SHEET 1 OF 1
CHECKED BY: MK	



Site Plan - Demolition
SCALE 1" = 10'

Site Plan - Demolition Notes

- Legend**
- DEMOLISH EXISTING WOOD-FRAMED BUILDING
 - EASEMENT REFER TO PLAN FOR SPECIFIC INFORMATION
 - NO WORK PROPOSED IN THIS AREA
 - LIMITS OF WORK
 - EXISTING GRADE ELEVATION POINT
 - PROPERTY LINE
 - BUILDING SETBACK
 - DEMOLISH EXISTING CONCRETE HARDSCAPE
 - TOE OF SLOPE
 - EXISTING TREE

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

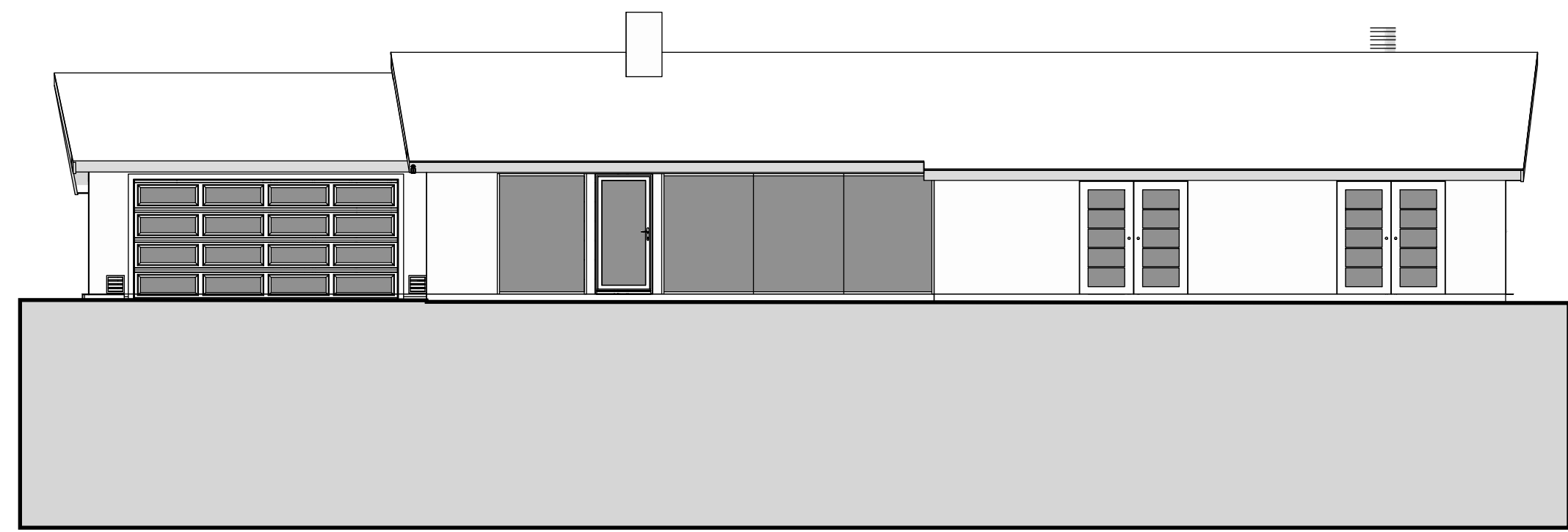
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

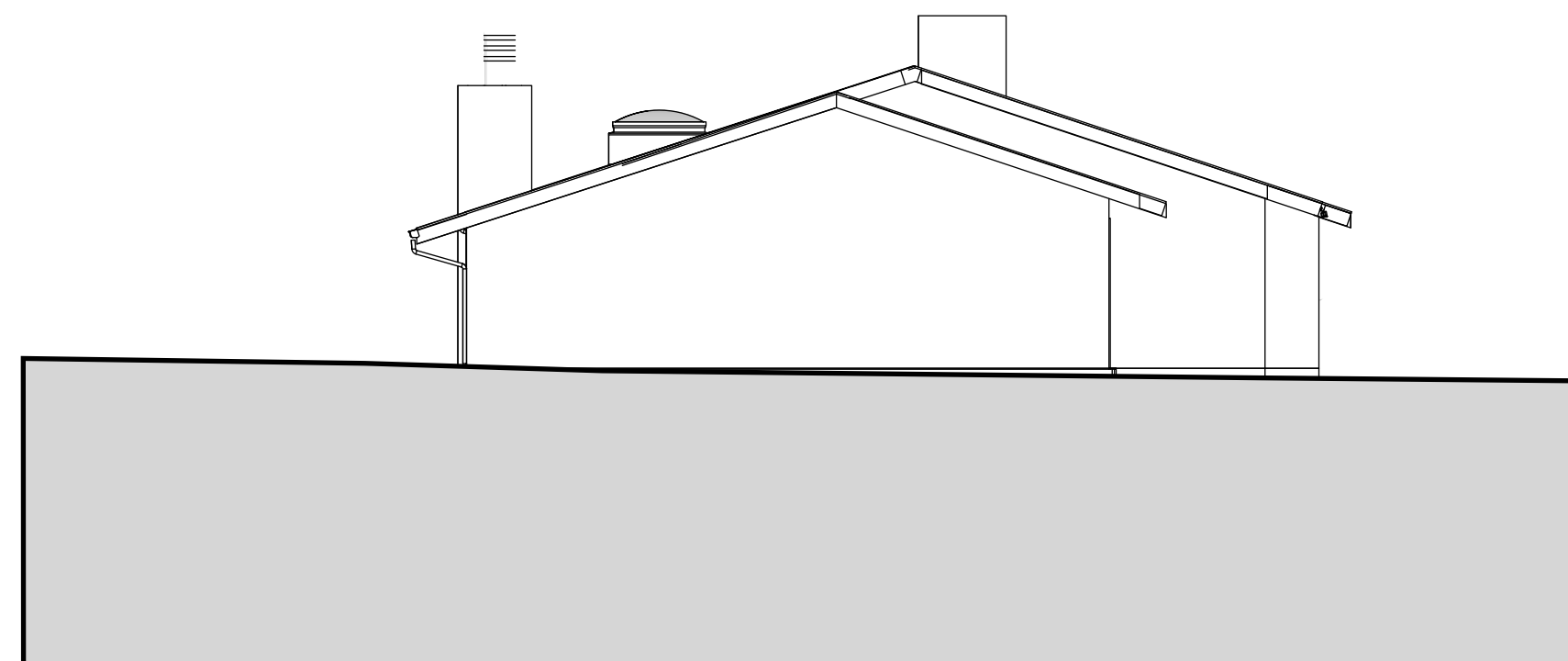
SHEET TITLE
SITE PLAN

SHEET

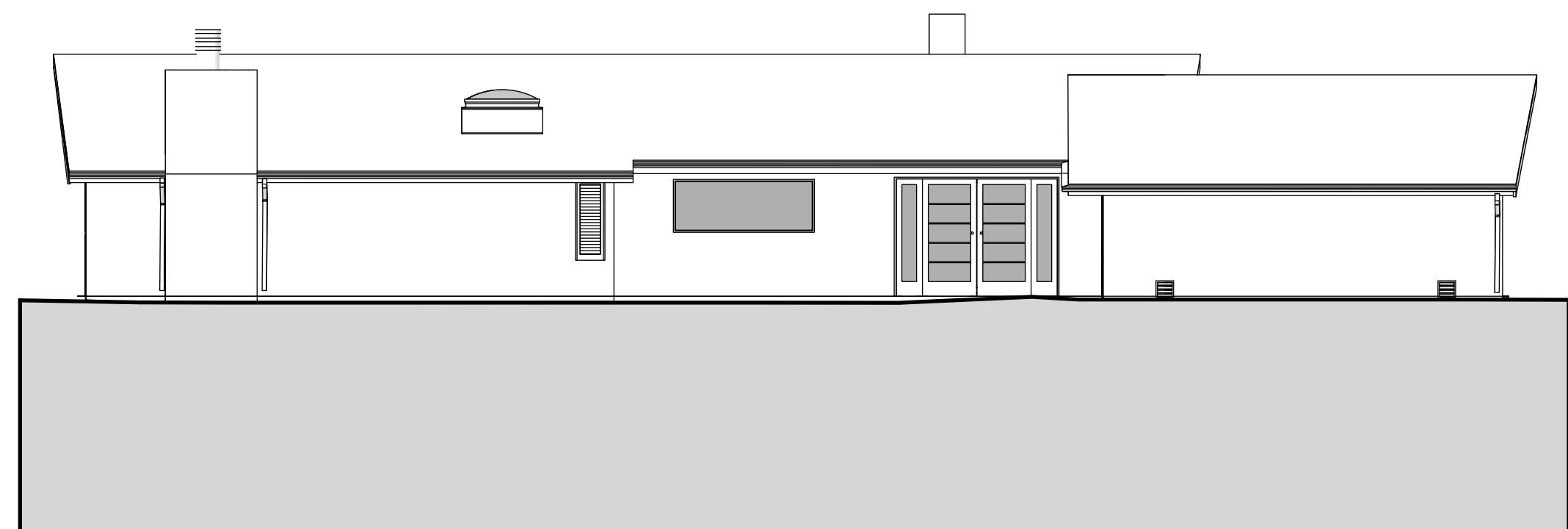
D100



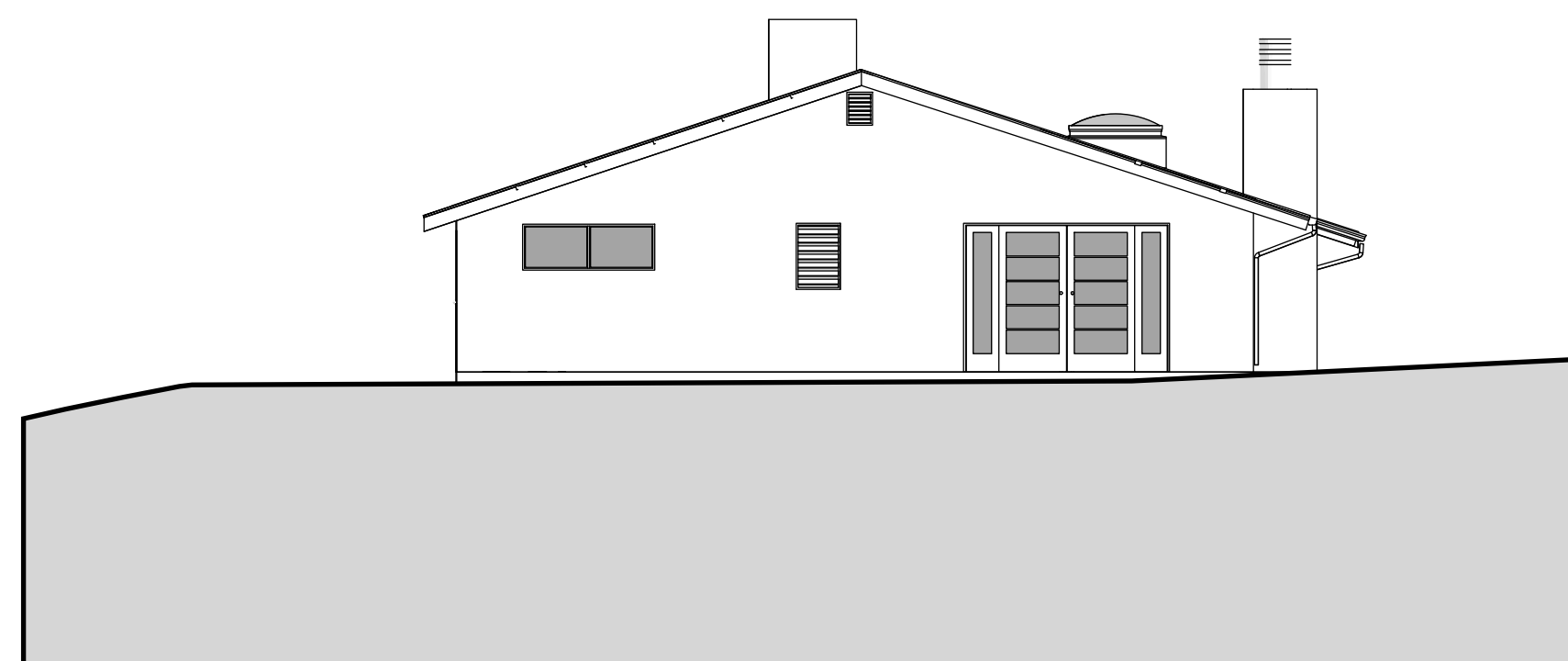
NORTH ELEVATION



EAST ELEVATION

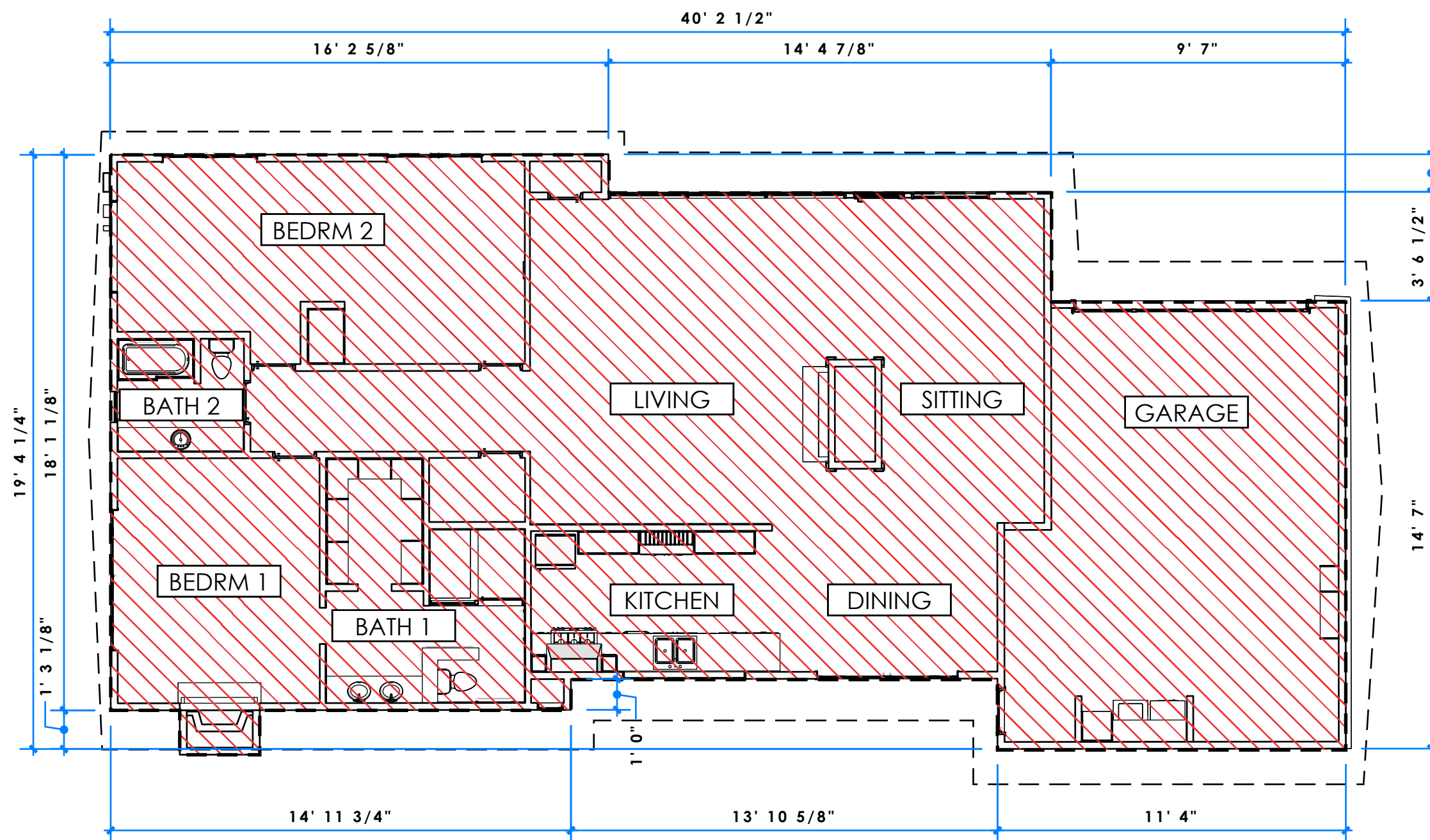


SOUTH ELEVATION

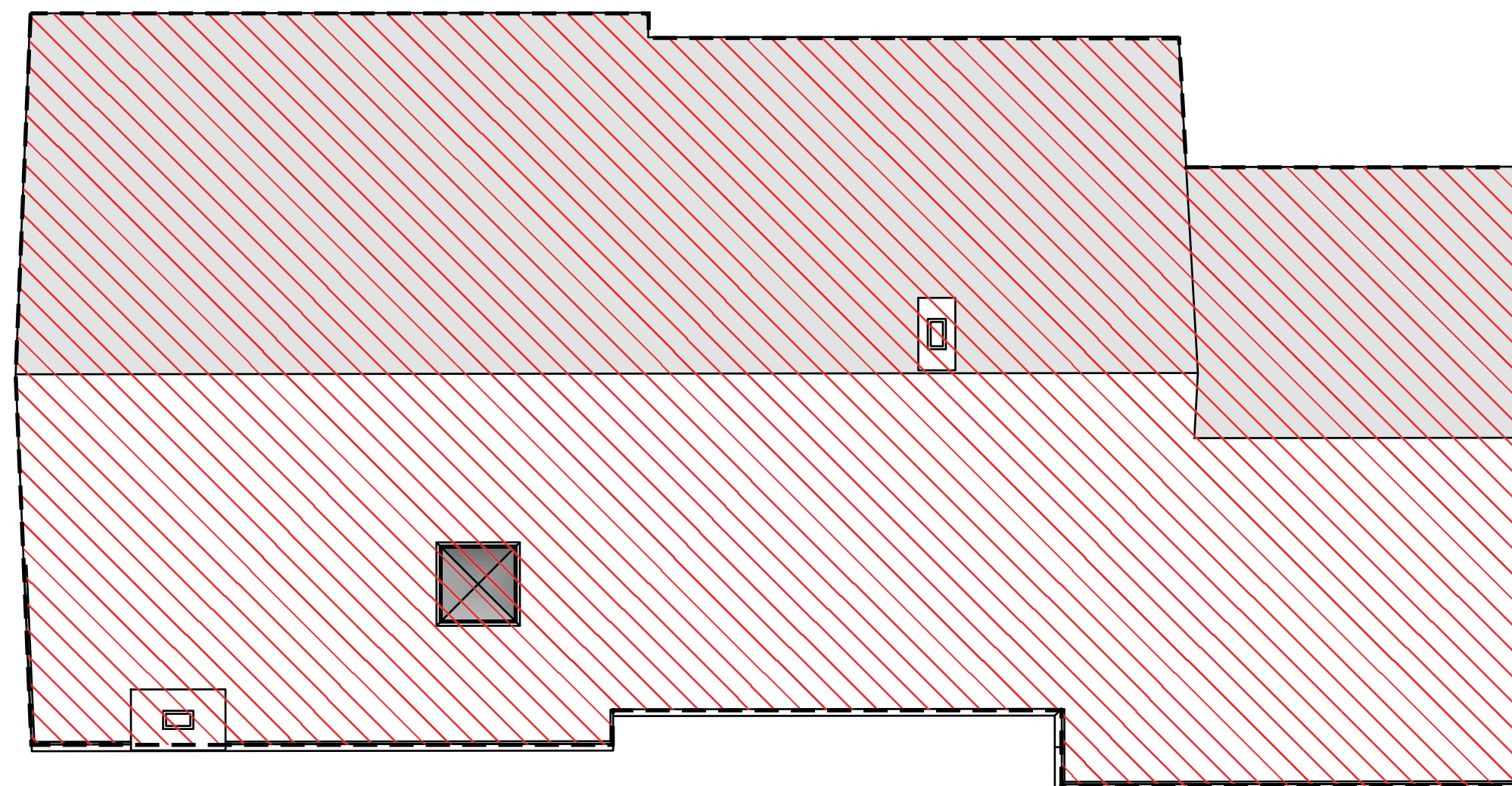


WEST ELEVATION

Exterior Elevations - Demolition
SCALE 1/8"=1'-0"



Floor Plan - Demolition
SCALE 1/8" = 1'-0"



Roof Plan - Demolition
SCALE 1/8" = 1'-0"



Floor Plan - Demolition Notes

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

PROJECT NO
2025.06.03

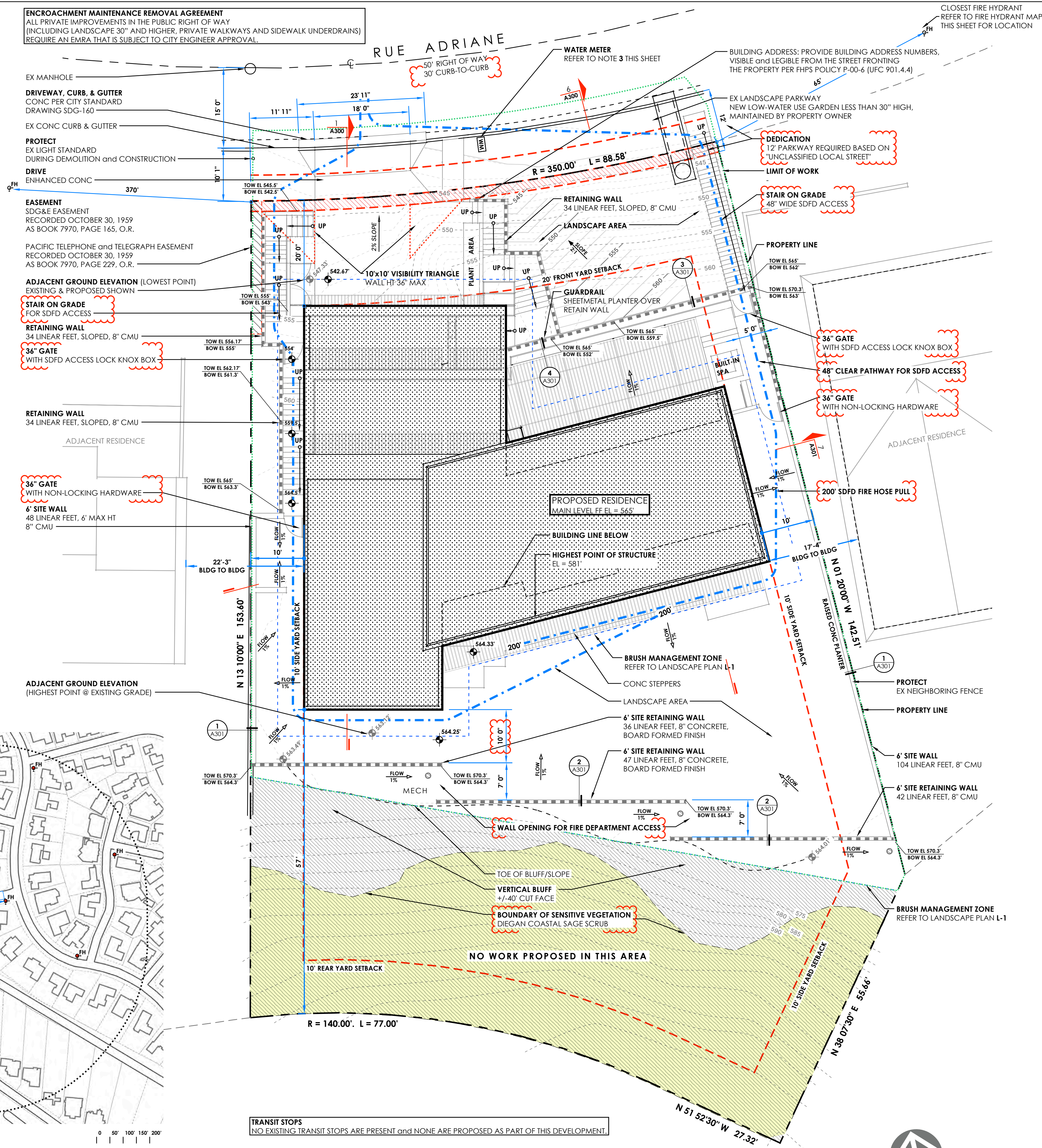
PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

D101

ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT
 ALL PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY
 (INCLUDING LANDSCAPE 30" AND HIGHER, PRIVATE WALKWAYS AND SIDEWALK UNDERDRAINS)
 REQUIRE AN EMRA THAT IS SUBJECT TO CITY ENGINEER APPROVAL.



600' Radius Fire Hydrant Diagram
 SCALE 1" = 200'

Site Plan - Proposed
 SCALE 1" = 10'

TRANSIT STOPS
 NO EXISTING TRANSIT STOPS ARE PRESENT and NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

Site Plan Notes

- No encroachment or soil disturbance is proposed on adjacent properties.
- All water service lines (except domestic lines for single family homes which utilize a passive purge style of fire sprinkler system) must pass through a permitted, private, above ground, backflow prevention device (BFPD). Unless specifically authorized by the City's Cross-Connection Control Section, BFPDs shall be located above ground on private property, in line with the service, and immediately adjacent to the public right-of-way.
- If it is determined that an existing water service is inadequately sized to serve the proposed project, the applicant must obtain a Permit to Work in the Public ROW to abandon (kill) the existing water service line at the main and install a new water service in a location acceptable to the Public Utilities Director. To ensure acceptability, the location should be at least 30" from any prior water service line connection, 5 feet from any driveway or tree, and 10 feet from any active sewer lateral.
- No private improvements (including landscaping, enhanced paving, private utilities, or structures of any kind) that could inhibit the City's operation, access, maintenance, repair, or replacement of its public water and sewer utilities may be installed, constructed, or stored within the limits of either the public ROW or a public water, sewer, or general utility easement without a City approved and County Recorded Encroachment and Maintenance Removal Agreement (EMRA).
- Water and sewer capacity charges will be due at the time of Building Construction Permit issuance. Capacity charges, as well as service and meter size, are determined by the Water Meter Data Card which is completed during the building plan review process. Any questions regarding water and sewer capacity fees should be addressed to Information and Application Services (619-446-5000).
- Prior to any Building Construction Permit being issued, all domestic, irrigation, and fire water lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD) or include the following note on the site plan:
 THIS SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PROJECT WILL HAVE A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE WHICH UTILIZES A PASSIVE PURGE STYLE OF DESIGN. IT IS THEREFORE EXEMPT FROM THE REQUIREMENT FOR A BACKFLOW PREVENTION DEVICE.
- Prior to any Building Construction Permit being issued, any existing sewer lateral to be reused within the public ROW must be inspected by a California licensed plumbing contractor to verify (via a signed statement on company letterhead) all the following: The lateral has an appropriate cleanout, it is in good condition, it is free of roots and debris, and it is properly connected to a public sewer main. If the lateral is not suitable for reuse, it must be cleared and/or repaired and re-inspected or abandoned/removed and replaced in a manner satisfactory to the City.
- Prior to any Building Construction Permit being issued, any private improvements within the public ROW (including but not limited to: landscaping, enhanced paving, private non-irrigation utilities, or structures of any kind) that could inhibit the City's right to access, maintain, repair, or replace its public water and sewer utilities must be removed unless the Owner/Permittee has a City-approved County Recorded Encroachment and Maintenance Removal Agreement (EMRA) which authorizes that specific private improvement to be placed in that specific location.
- Prior to any Building Construction Permit being issued, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- The subject property does not have any City-approved County Recorded Encroachment and Maintenance Removal Agreement (EMRA).
- All public improvements (including curb, gutter, sidewalk, curb ramps, etc.) and dedications shall be designed to the current city standard prior to the issuance of any building permit, as required per SDMC 142.0610 (a).
- ASBS Watershed:** The project is located in the Area of Special Biological Significance (ASBS) watershed. Since the project is located in the ASBS watershed, no dry-weather flows are allowed, including over-irrigation.

Front Yard Hardscape Area Table

FRONT YARD AREA	1821 SF
HARDSCAPE AREA	907 SF
HARDSCAPE AREA PERCENTAGE	50%
60% MAX ALLOWABLE OF REQUIRED FRONT YARD AREA PER 113.0447(A)	

Legend

- NEW WOOD-FRAMED PRIMARY BUILDING
- NO WORK PROPOSED IN THIS AREA
- SENSITIVE VEGETATION BOUNDARY
- EASEMENT - REFER TO PLAN FOR SPECIFIC INFORMATION
- DEDICATION - REFER TO PLAN FOR SPECIFIC INFORMATION
- LIMITS OF WORK
- EXISTING GRADE ELEVATION POINT
- PROPOSED GRADE ELEVATION POINT
- PROPOSED WALL ELEVATIONS TOP & BOTTOM OF WALL
- PROPERTY LINE
- BUILDING SETBACK
- PROPOSED RETAINING WALL
- TOE OF SLOPE
- PROPOSED DRAINAGE FLOW. REFER TO SHEET C.1
- PROPOSED GRADE SLOPE (V:H). REFER TO SHEET C.1

OWNER
 Rush & Kelly Chewning

PROJECT NAME

PROJECT ADDRESS
 2349 Rue Adriane
 La Jolla, CA

SEAL



DRAWN BY
 HM

ISSUE
 2025.10.20
 2026.04.06

Initial Submittal
 Resubmittal 1

PROJECT NO
 2025.06.03

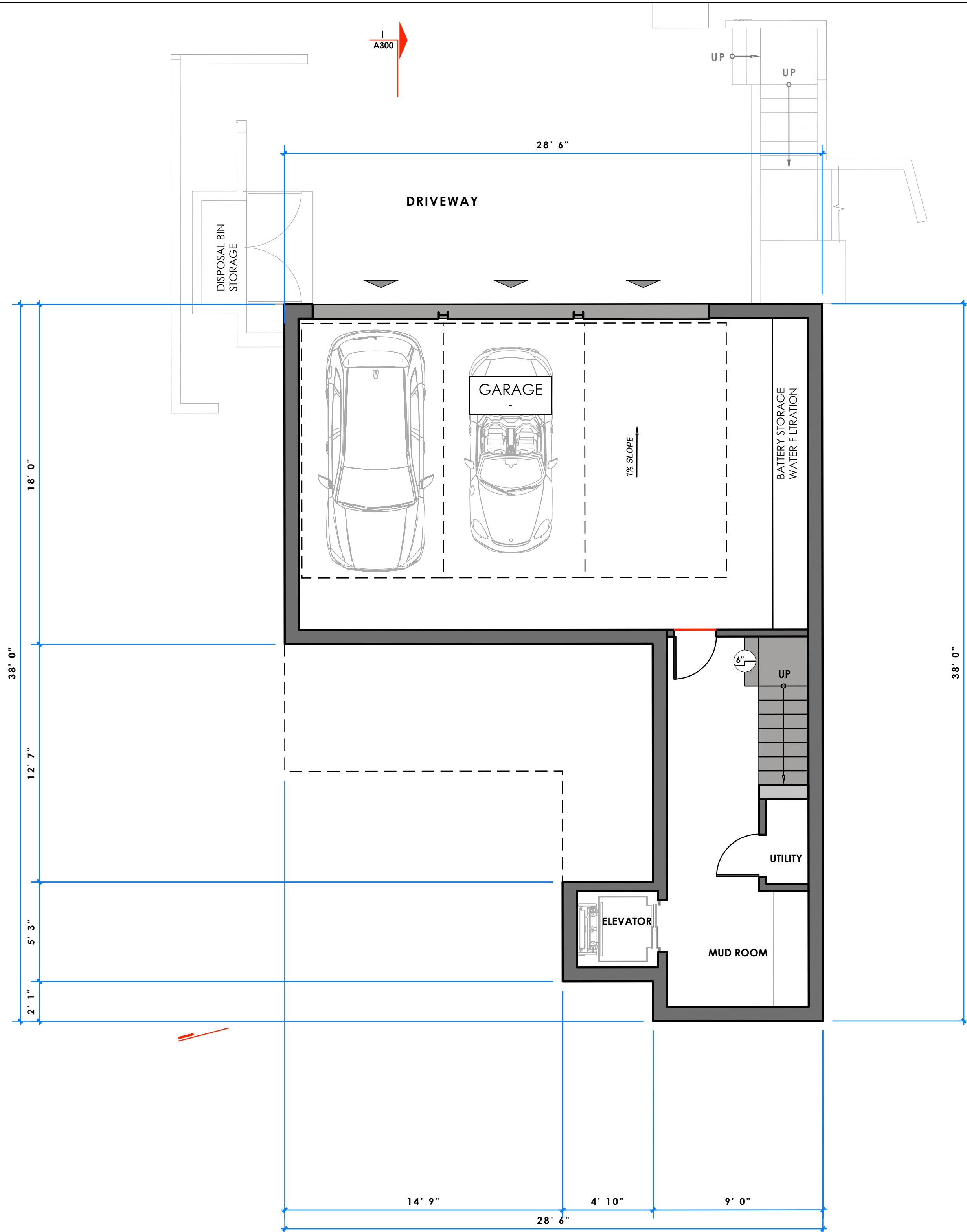
PROJECT PHASE
 Discretionary Permit Review

SHEET TITLE
 SD

SHEET

A100

SHEET SIZE 24"x36" - PRINT DATE: APR 6, 2025



Garage Level - Proposed Floor Plan
SCALE 3/16" = 1'-0"

Garage Level Floor Plan

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

A101

SHEET SIZE 24" x 36" - PRINT DATE: APRIL 6, 2026

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

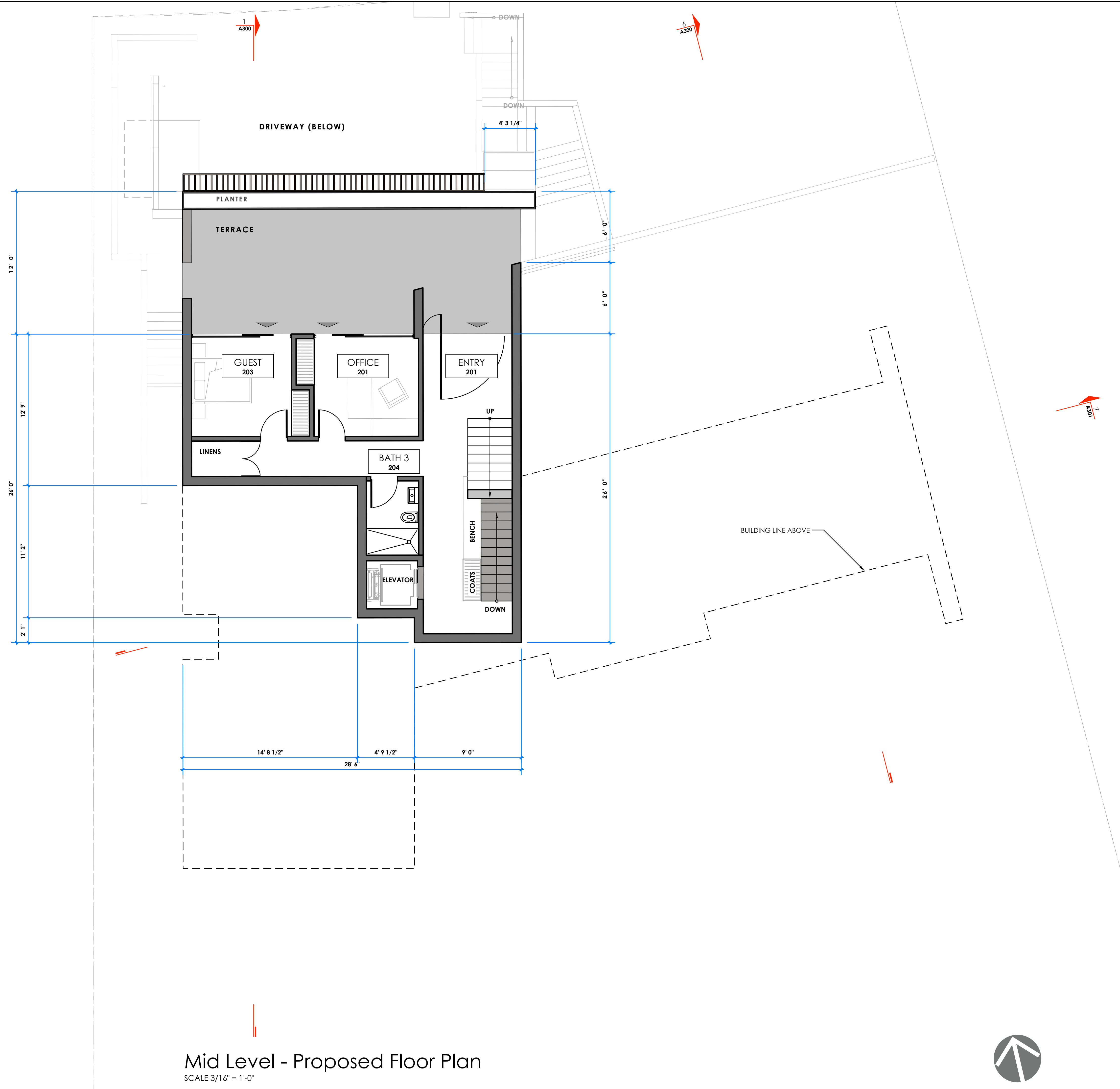
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

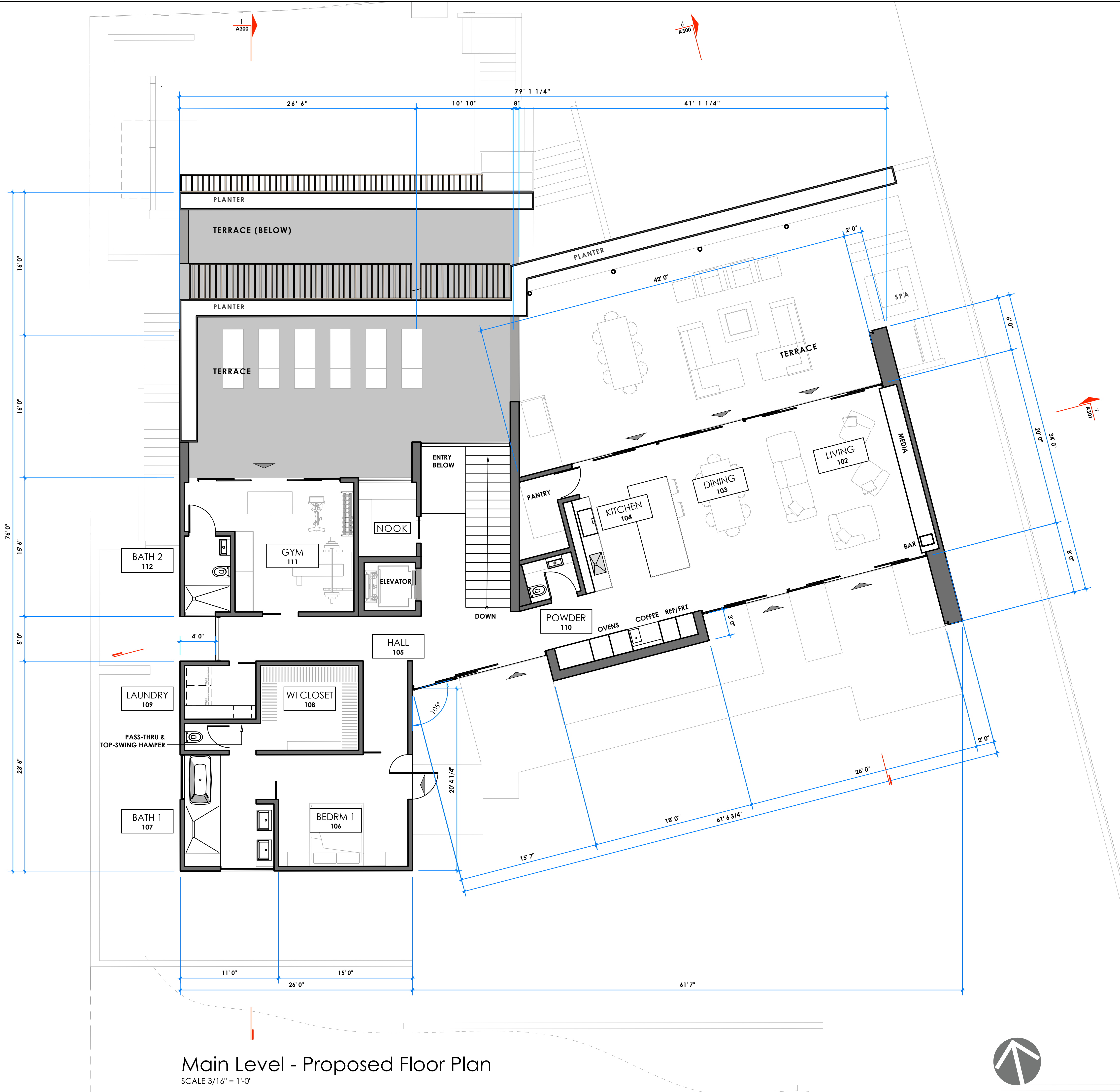
SHEET

A102



Mid Level - Proposed Floor Plan
SCALE 3/16" = 1'-0"





Main Level - Proposed Floor Plan
SCALE 3/16" = 1'-0"

Main Level Floor Plan

architectsmagnus
LIVABLE MODERN ARCHITECTURE
3370 Jackdaw Street
San Diego, CA 92103 619.293.7240

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

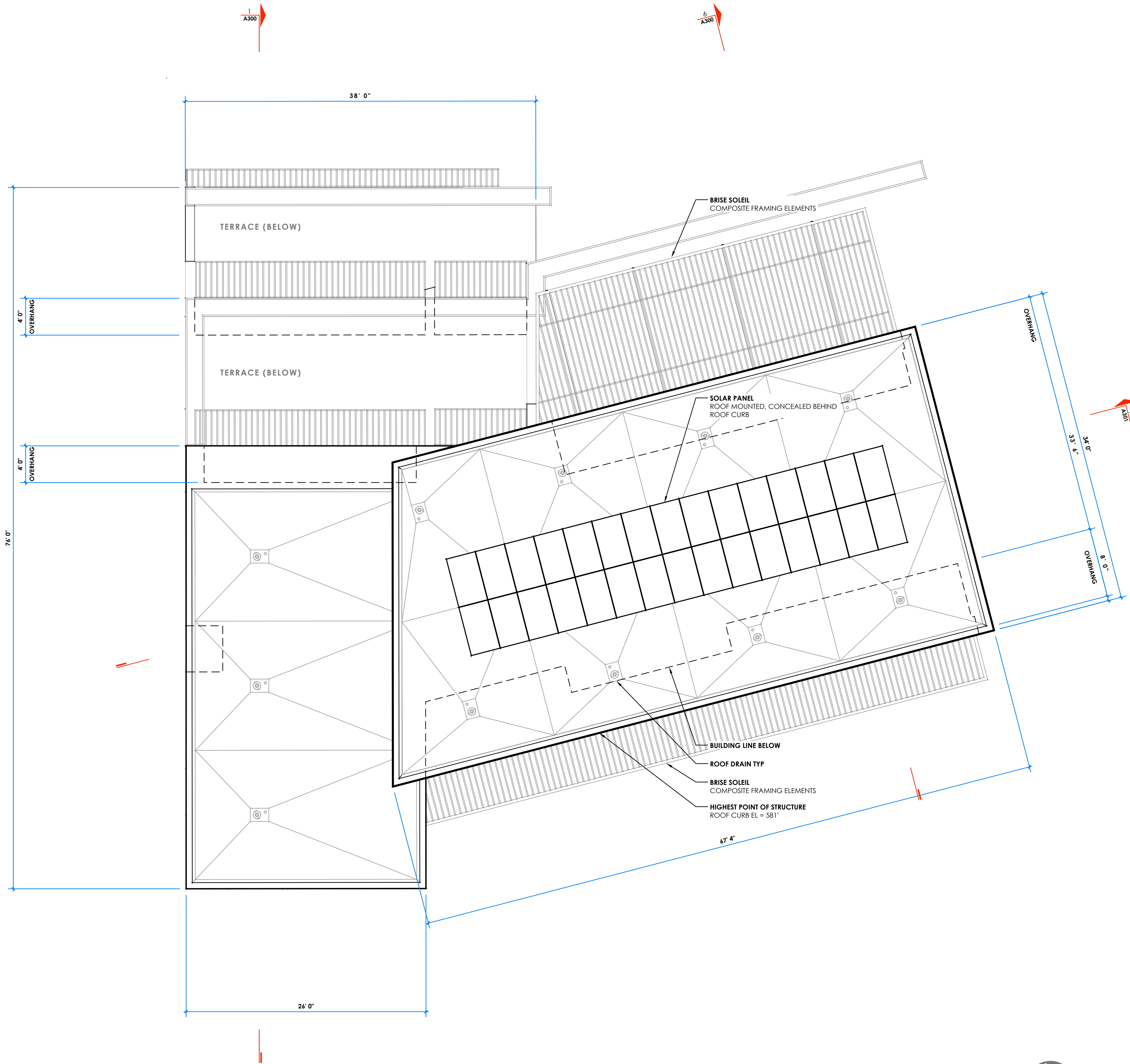
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

A103



Roof Plan - Proposed
SCALE 3/16" = 1'-0"

Roof Plan

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20
2026.04.06

Initial Submittal
Resubmittal 1

PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

A104

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

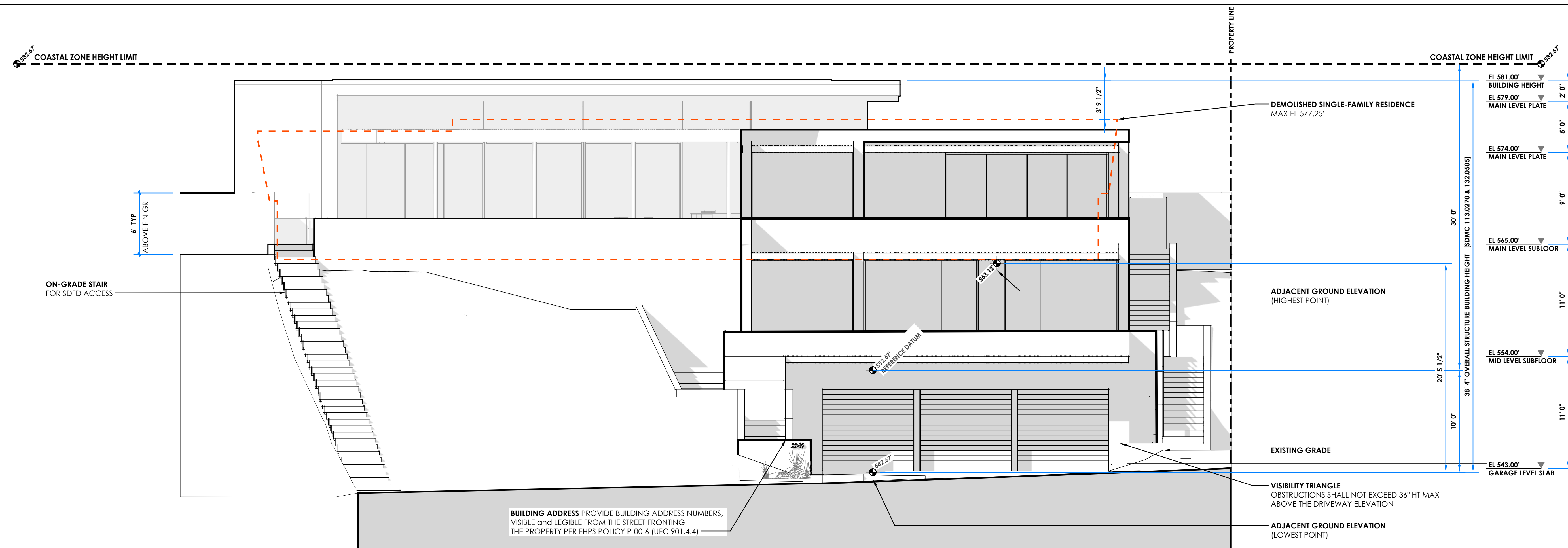
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

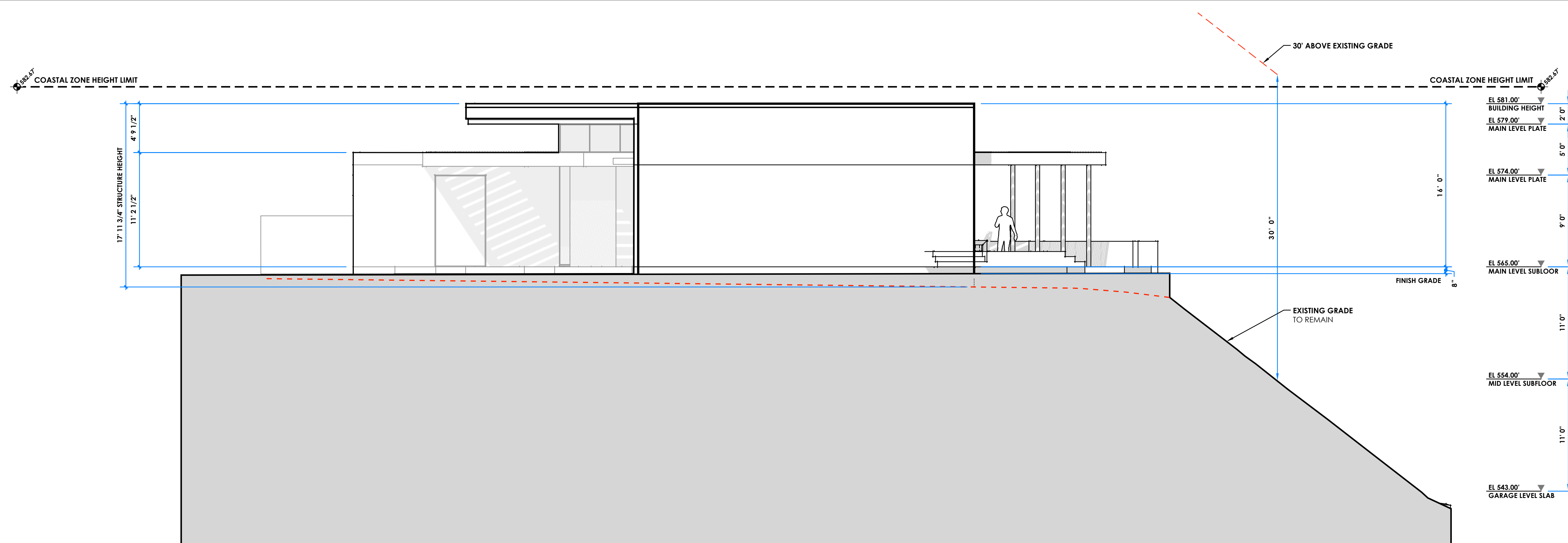
SHEET TITLE

SHEET

A200



North Elevation (Street View) - Proposed
SCALE 3/16" = 1'-0"



East Elevation - Proposed
SCALE 3/16" = 1'-0"

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning
RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

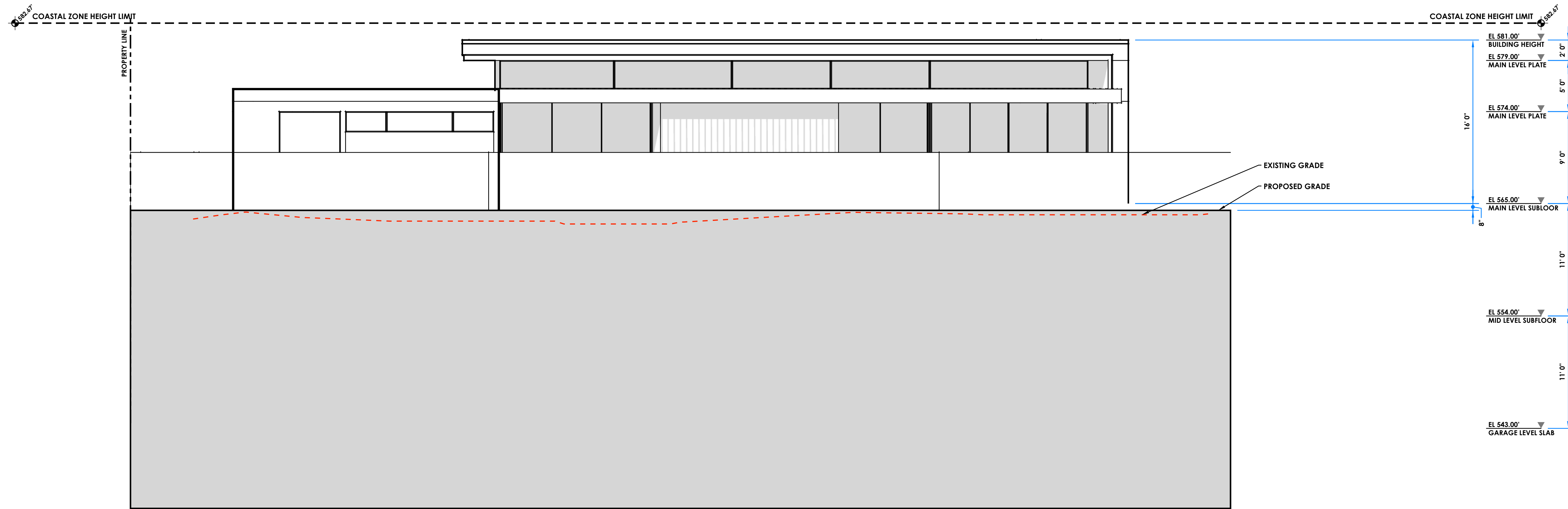
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

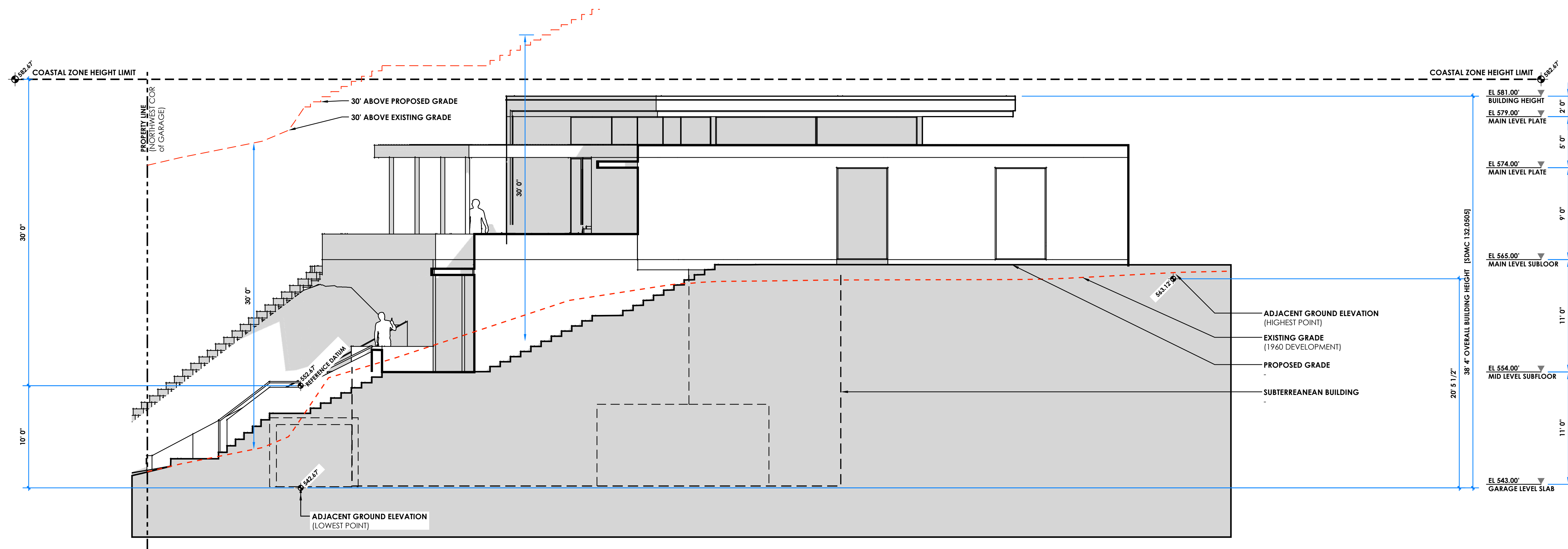
SHEET

A201



South Elevation - Proposed

SCALE 3/16" = 1'-0"



West Elevation - Proposed

SCALE 3/16" = 1'-0"



OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

SHEET

A202



Exterior Material Key

- (A) ROOFING**
THERMOPLASTIC MEMBRANE COOL ROOF WITH GRAVEL
COLOR: TAN/EARTHTONE
- (B) TRIM & PLANTERS**
BRAKE-FORMED METAL
COLOR: ANTHRA-ZINC
- (C) TRELLIS & SIDING**
WOOD COMPOSITE
TEXTURE: WOOD GRAIN
COLOR: TEAK
- (D) WALL**
STUCCO
TEXTURE: FINE SAND
COLOR: WHITE
- (E) WALL**
STUCCO
TEXTURE: FINE SAND
COLOR: WARM GREY
- (F) FEATURE SITE WALL**
FIBER CEMENT PANELS
TEXTURE: LINE PATTERN
COLOR: CARBON
- (G) PATIO PAVER**
PORCELAIN PAVER
FINISH: MATTE
COLOR: WARM GREY
- (H) DOORS & WINDOWS**
ALUMINUM
COLOR: DARK ANODIZED
- (J) HARDSCAPE**
IN-SITU ENHANCED FINISH CONCRETE
COLOR: NATURAL

SHEET SIZE 24"x36" - PRINT DATE: APRIL 6, 2026

OWNER
Rush & Kelly Chewing

PROJECT NAME

Chewing RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20 Initial Submittal
2026.04.06 Resubmittal 1

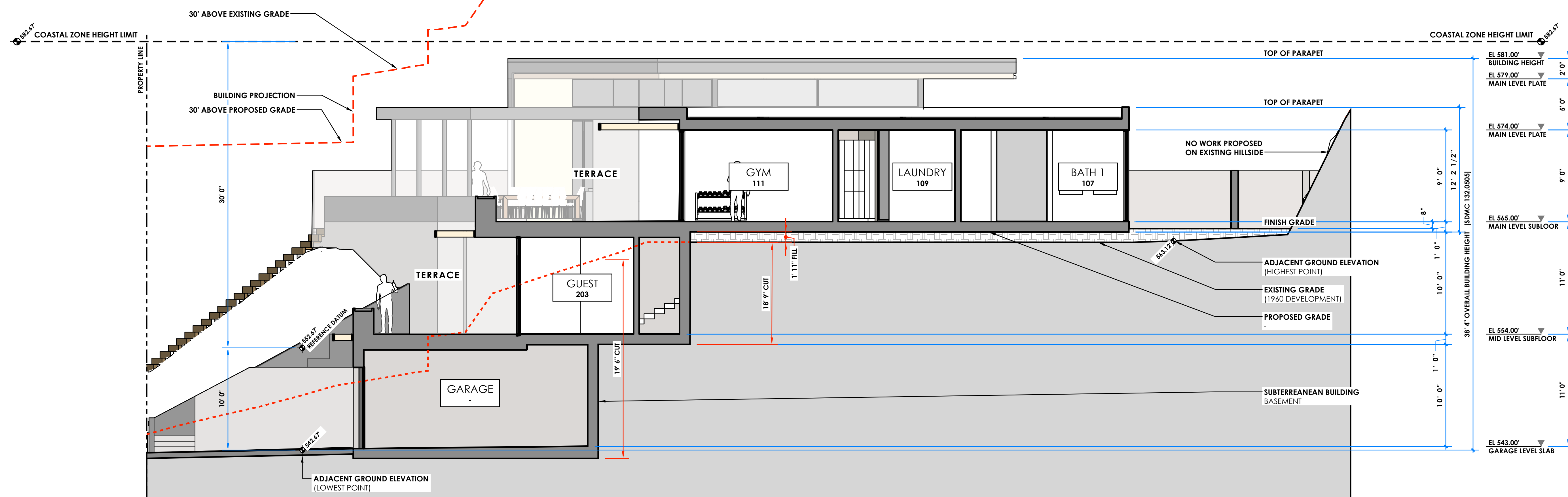
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

SHEET TITLE

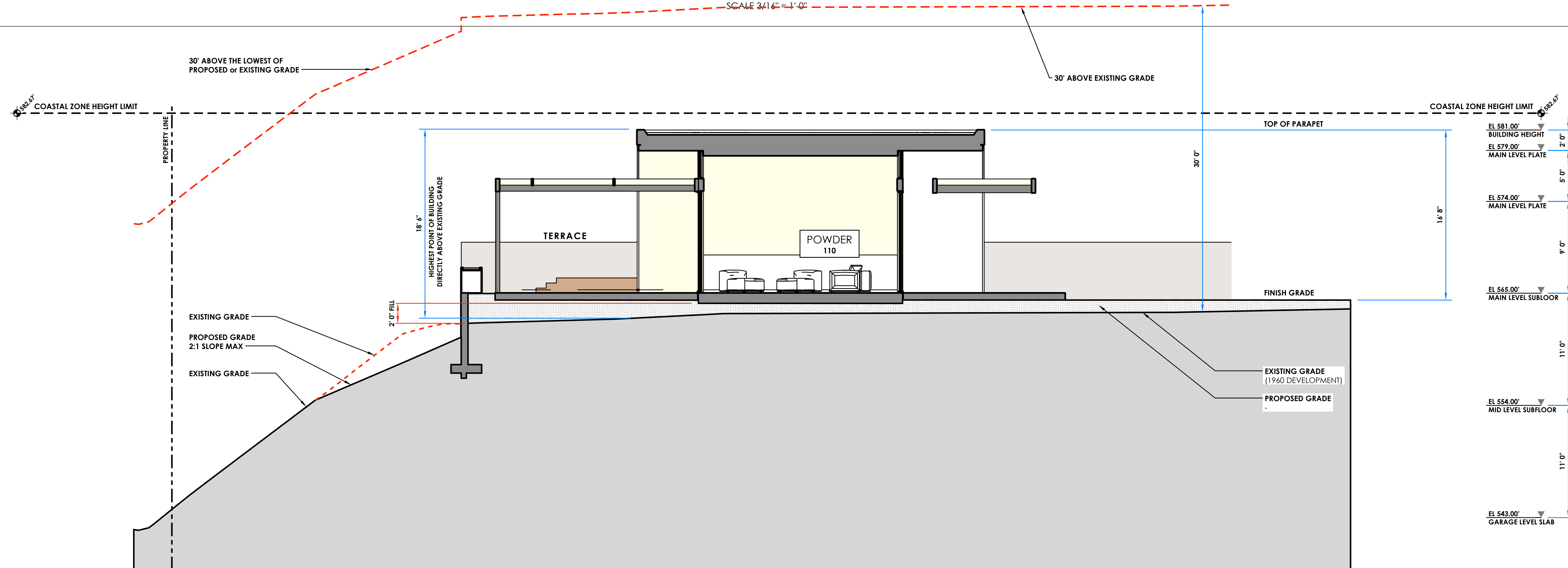
SHEET

A300



Site Section 1

SCALE 3/16" = 1'-0"



Site Section 6

SCALE 3/16" = 1'-0"

OWNER
Rush & Kelly Chewning

PROJECT NAME

Chewning RESIDENCE

DISCRETIONARY REVIEW PROCESS 3

PROJECT ADDRESS
2349 Rue Adriane
La Jolla, CA

SEAL



DRAWN BY
HM

ISSUE
2025.10.20
2026.04.06

Initial Submittal
Resubmittal 1

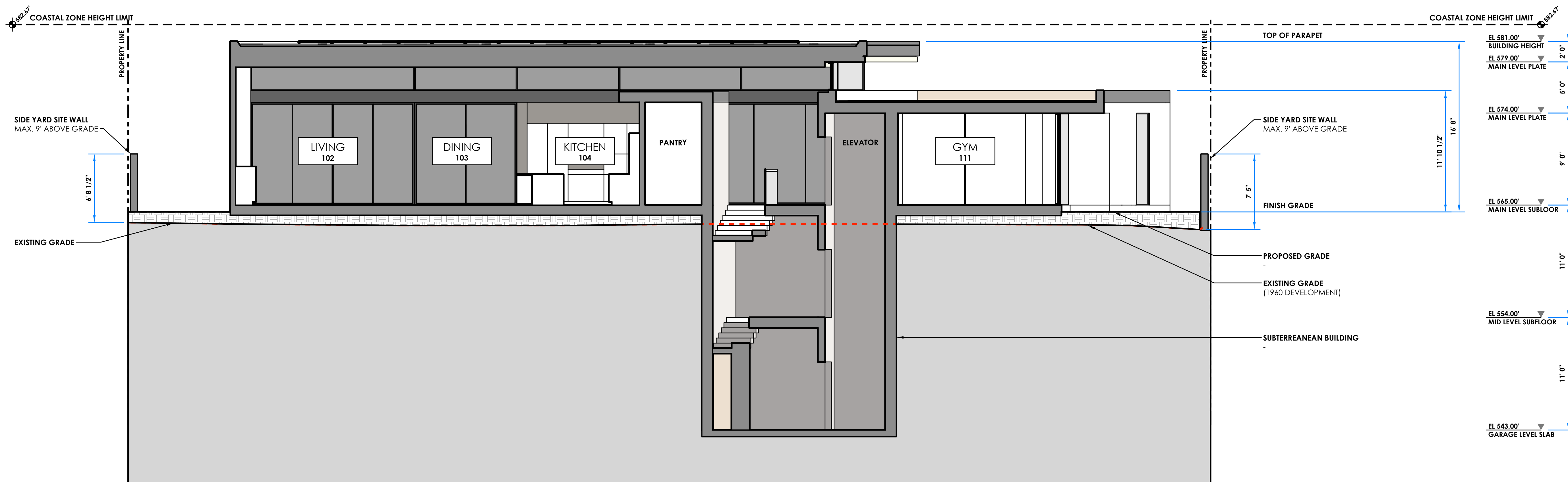
PROJECT NO
2025.06.03

PROJECT PHASE
Discretionary Permit Review

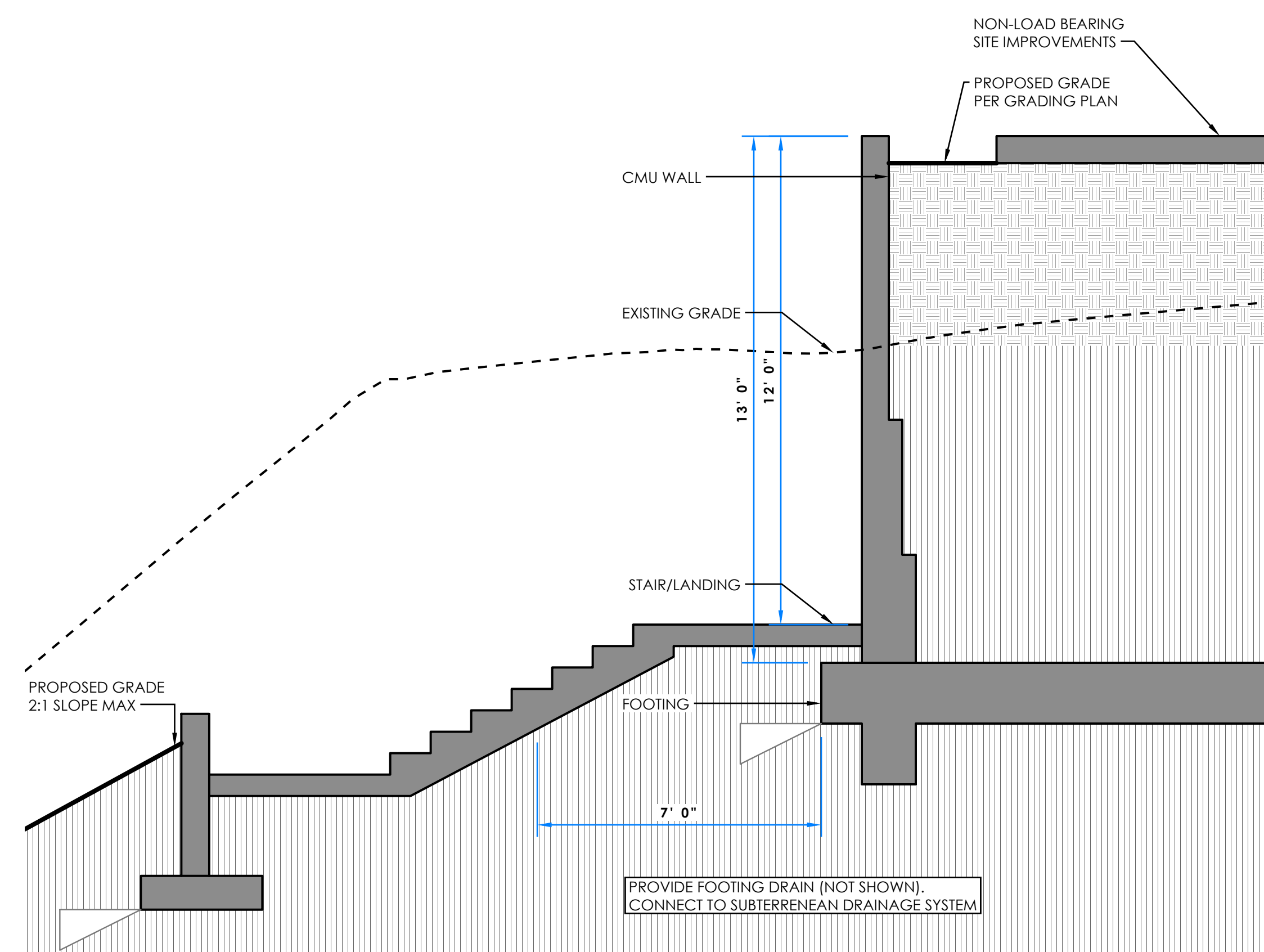
SHEET TITLE

SHEET

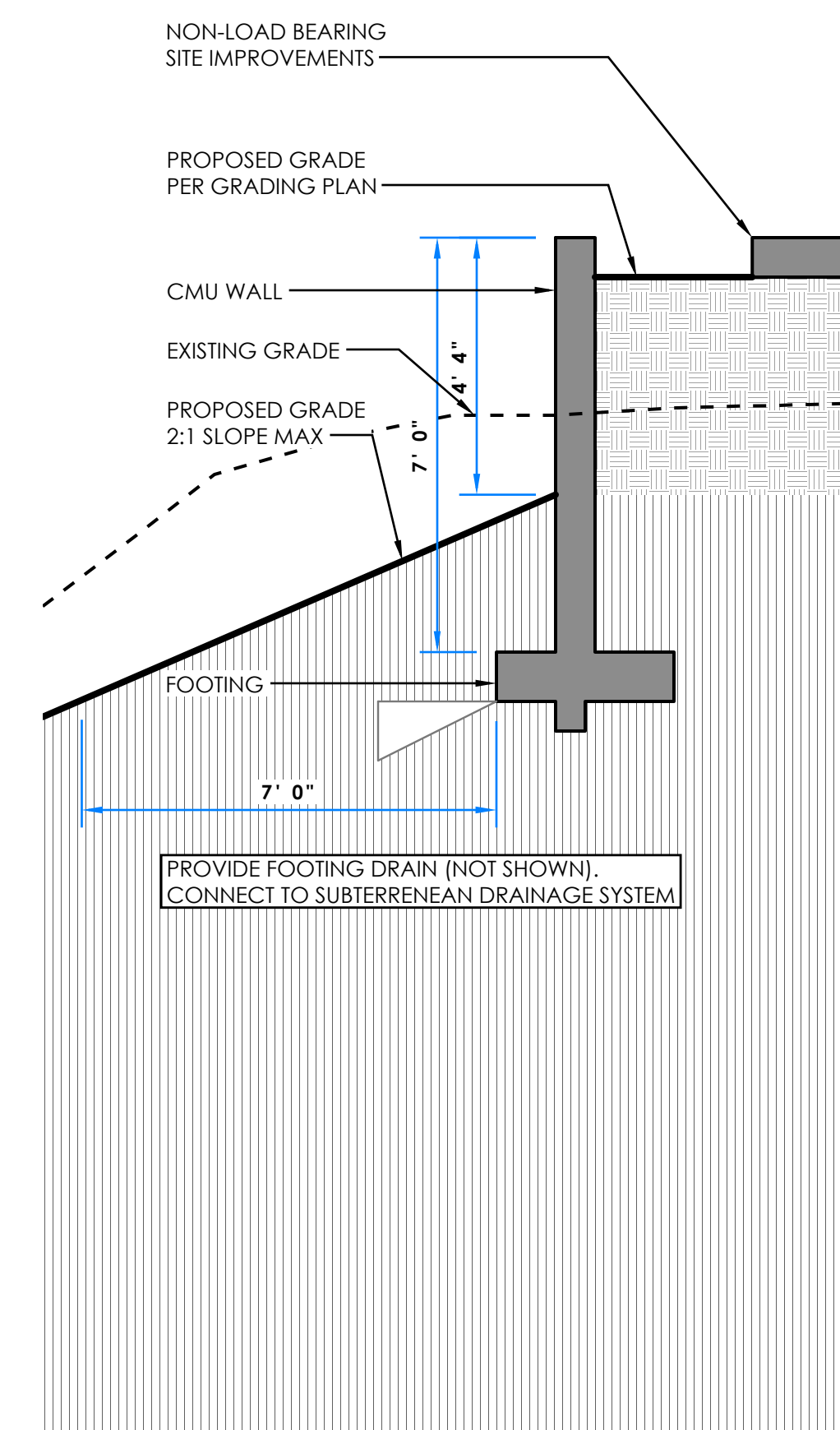
A301



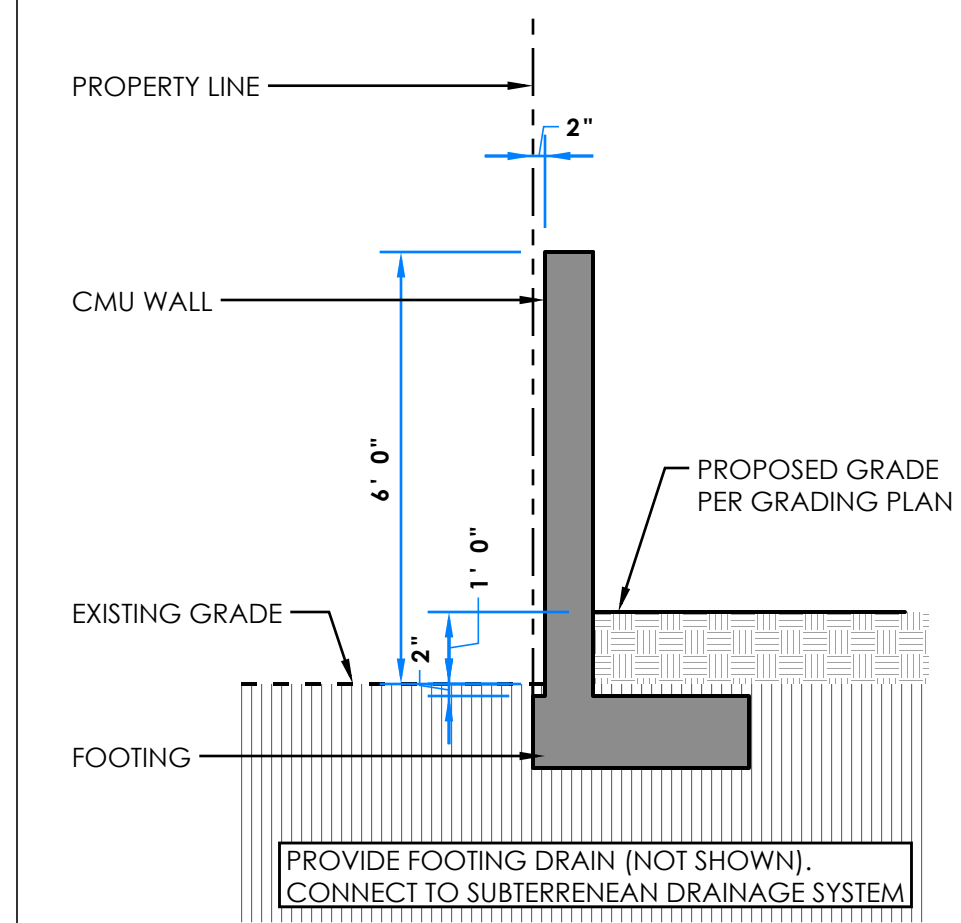
Site Section 7
SCALE 3/16" = 1'-0"



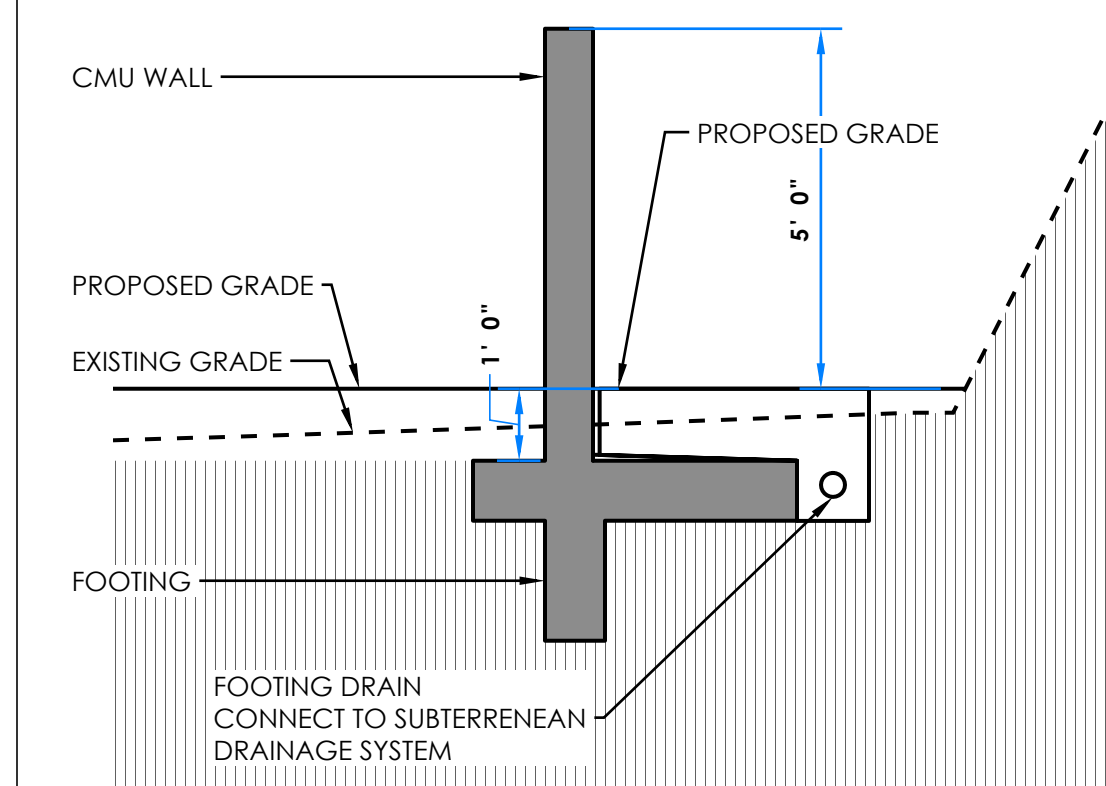
4 Wall Profile - Retaining @ Proposed Stair
3/8" = 1'-0"



3 Wall Profile - Retaining @ Existing Slope
3/8" = 1'-0"



1 Wall Profile - Typical @ Property Line
3/8" = 1'-0"



2 Wall Profile - Typical @ Hillside Bluff
3/8" = 1'-0"

SHEET SIZE 24"x36" - PRINT DATE: April 6, 2026

CITY OF SAN DIEGO LANDSCAPE NOTES

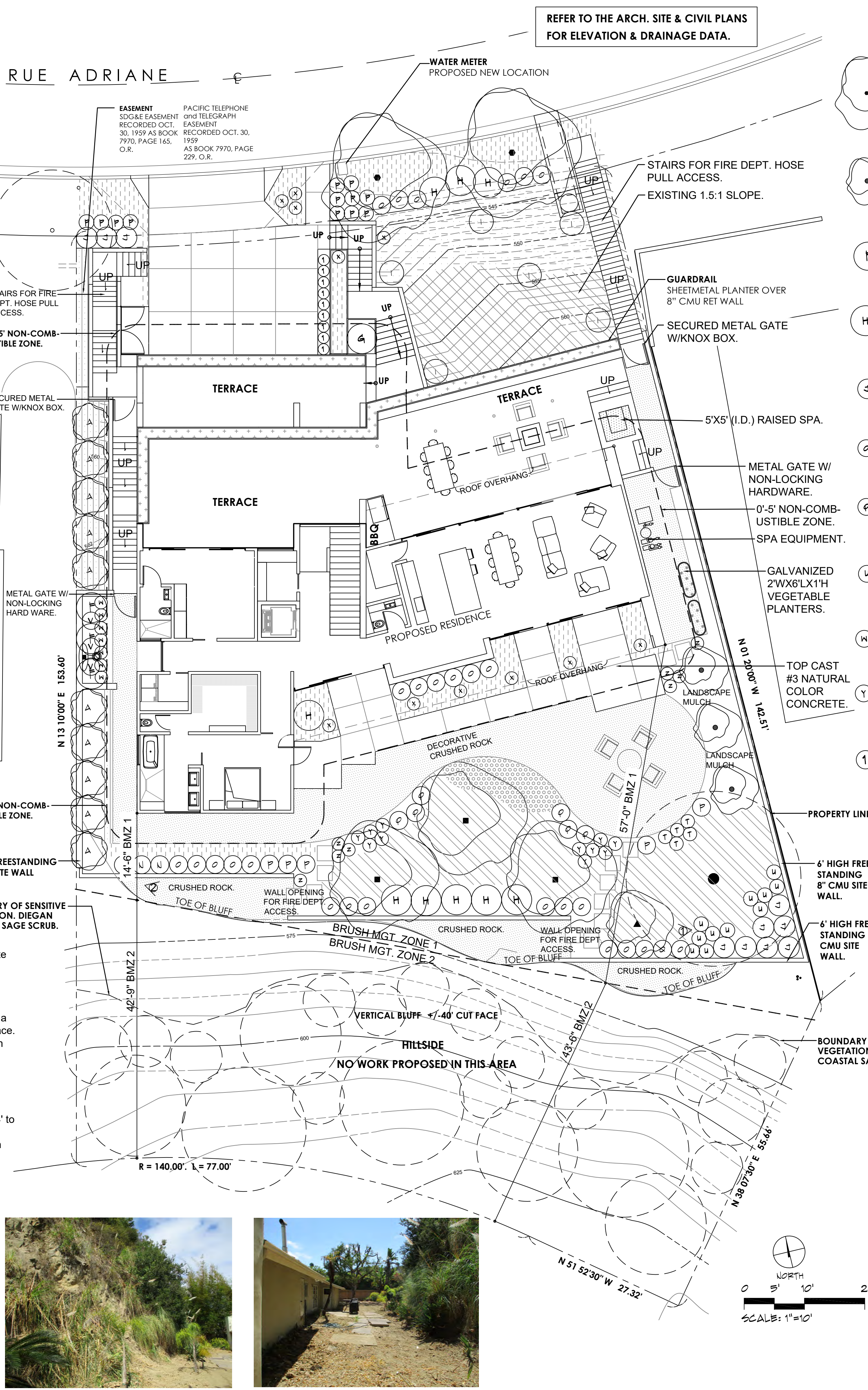
- ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS; THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE; AND ALL OTHER CITY AND REGIONAL STANDARDS.
LA JOLLA SHORES PDO NOTES
- IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL " [LDC 1510.0304(H)(1)].
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE" [LDC 1510.0304(H)(2)].
- ALL LANDSCAPED MATERIAL SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL [LDC 1510.0304(H) (3)].
- ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1510.0304(H)] PRIOR TO FINAL INSPECTION.
- ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A," LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1510.0304(H)].
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACE ADJACENT TO EXISTING TREES THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- ALL REQUIRED LANDSCAPED AREAS SHALL BE PERMANENTLY IRRIGATED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
- AN AUTOMATIC, WATER-EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.
- MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3", EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.043(B)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16' ABOVE THE GRADE OF THE TRAVEL WAY PER SAN DIEGO MUNICIPAL CODE 142.0403(B)(100).
- EXISTING TREES TO REMAIN ON SITE WITHIN 10-FT IF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICULAR USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- MINIMUM TREE SEPARATION DISTANCE:

a. TRAFFIC SIGNALS (STOP SIGN)	20 FEET
b. UNDERGROUND UTILITY LINES	5 FEET
c. ABOVE GROUND UTILITY STRUCTURES	10 FEET
d. DRIVEWAY (ENTRIES)	10 FEET
e. STREET INTERSECTIONS	25 FEET
f. SEWER LINES	10 FEET

Alternate Compliance Note:
the purpose of these notes is to identify alternate compliance measures to mitigate the effects of the proposed brush management fuel modification zones.

- Site Conditions & Constraints.
 - The building site is currently developed with an existing single-family residence (to be demolished) on a manufactured , graded pad.
 - The southern 30% of the property consists of a 12'+/- vertical cut face with a very steep to steep 50' natural slope commencing from the top of the cut face.
 - The natural slope contains sensitive vegetation , as assessed by city of san diego and consulting biologist (refer to the biological resources letter by Athena Consulting).
 - Access to the slope is not possible from the existing future graded pad.
 - The southerly sloped portion is the highest probability and threat to the structure for a fire event.
 - The existing building maintains a reduced brush management zone 1 of 14' to 26'.
- Due to site constraints, the proposed building maintains the following brush management zones:
 - a brush management zone 0 from the face of the building extending 5'
 - a reduced brush management zone 1 of 14'-6" to an enhanced brush management zone of 57'-0".
 - a reduced brush management zone 2 of 42'-9" to 43'-6".
- Planned Alternate Compliance Measures.
 - A landscape design and brush management maintenance agreement.
 - building shall be equipped with fire sprinkler system.
 - Roof assemblies shall meet class "A" fire classification.
 - Roof and floor assemblies shall be designed to not require ventilation.
 - Exterior wall covering and enclosed roof eaves shall be of ignition-resistant materials.
 - Exterior wall assemblies and enclosed roof eaves shall meet 1-hour fire resistant ratings.
 - Exterior windows, skylights, and doors shall be constructed of non-combustible material and have dual glazed/tempered glass.
 - Walking surface material of decks, porches, balconies, and stairs shall be of non-combustible materials.
 - Brise soleil shall be constructed of ignition-resistant materials.

note: the mitigation shall be coordinated and approved by the fire chief as condition of approval.



REFER TO THE ARCH. SITE & CIVIL PLANS FOR ELEVATION & DRAINAGE DATA.

SUGGESTED PLANT MATERIAL LEGEND	BOTANICAL NAME	COMMON NAME	FORM/FUNCT.	HEIGHT/SPREAD	SIZE	QTY.	H2O USE
TRISTANIA COLPERTA	DRISDALE BOX TREE	UPRIGHT EVERGREEN TREE	50'/15'	15 GALLON	3	M	
OLEA E. 'NISONII'	FRUITLESS OLIVE TREE	SINGLE TRUNK STREET TREE	25'/25'	36" BOX	2	M	
CERCIS CANADENSIS 'FOREST PAUSY'	EASTERN REDBUD	UNDER-STORY ACCENT TREE	15'/15'	15 GALLON	1	M	
DWARF CITRUS TREES	LEMON, LIMB, & ORANGES	FRUIT TREES - DWARFS	8'/3'	15 GAL	3	M	
ELAECARPUS DECIPENS or PRUNUS CAROLINA 'COMPACTA'	JAPANESE BLUEBERRY CAROLINA CHERRY	EVERGREEN PERIMETER SCREEN	15'/15'	15 GAL	10	L	
CAMELLIA JAPONICA	JAPANESE CAMELLIA	FLOWERING FOUNDATION ACCENT SHRUB	7'/5'	13 GAL	3	M	
CAMELLIA SASANKUA	SUN CAMELLIA	FLOWERING FOUNDATION ACCENT SHRUB	5'/5'	3 GAL	1	M	
STRELTIZIA REGINAE	BIRD OF PARADISE	FLOWERING ACCENT	4'/3'	3 GAL	9	M	
AGAVE GYPSOPHILA	GYPSUM CENTURY PLANT	ACCENT	3'/3'	3 GAL	6	L	
RHAPHIOLEPIS UMB. 'GREEN GEM'	YEDDO HAWTHORNE	FOUNDATION SHRUB	5'/5'	3 GAL	10	L	
NAUDINA 'GULF STREAM'	HEAVENLY BAMBOO	FOUNDATION SHRUB	3'/2.5'	3 GAL	3	M	
PITOSPORUM CRASSIPOLIUM 'NANA'	DWARF KARO	ACCENT	3'/3'	3 GAL	28	M	
DIANELLA TASMANICA VAR.	VARIGATED FLAX LILY	FOUNDATION TEXTURE	2'/2'	1 GAL	17	M	
SALVIA LEUCOPHYLLA 'DBE'S BLISS'	DBE'S BLISS SAGE	FLOWERING ACCENT	2'/2'	1 GAL	6	L	
AEONIUM URBIUM VAR.	SIDE SALAD AEONIUM	SUCCULENT ACCENT	1.5'/2'	1 GAL	3	L	
PHILODENDRON 'XANADU'	DWARF PHILODENDRON	SHADE FOUNDATION	2'/2'	1 GAL	11	M	
CYRTOMIUM FALCATUM	JAPANESE HOLLY FERN	SHADE TEXTURE	2'/2'	1 GAL	3	M	
RUMOHRA ANDIANTIFORMIS	LEATHER LEAF FERN	FOUNDATION	1.5'/1.5'	1 GAL	7	M	
MANGAVE 'MISSION TO MARS'	MANGAVE	COLORFUL SUCCULENT ACCENT	1.5'/2'	1 GAL	11	L	
CALYLOPHUS HARTWEGII	SUNDRIPS	FLOWERING ACCENT	1.5'/1.5'	1 GAL	11	L	
AEONIUM KINI	KINI AEONIUM	COLOR FOLIAGE SUCCULENT	3'/2'	3 GAL	8	L	
SAUSEVIERIA T. 'LAURENTII'	VARIGATED SNAKE PLANT	UPRIGHT TIGHT FOUNDATION	2'/3'	1 GAL	9	L	
STEPHANOTIS FLORIBUNDA	MADAGASCAR JASMINE	FLOWERING VINE	6'/12'	15 GAL	1	M	
COTONNEASTER DAMMERI 'CORAL BEAUTY'	DEARBERRY	SLOPE GROUNDCOVER	1'/6'	1 GAL. @ 42" O.C.	L		
ROSMARINUS 'HUNTINGTON CARPET'	TRAILING ROSEMARY	CASCADING BUILDING PLANTINGS	1'/4'	1 GAL. @ 36" O.C.	L		
PORTULACARIA APRA 'MINIMA' or PORTULACARIA APRA 'VARIEGATA'	GREEN ELEPHANT'S FOOT VARIEGATED ELEPHANT'S FOOT	SUCCULENT GROUNDCOVER	1.5'/2'	1 GAL. @ 24" O.C.	L		
CRASSULA MULTICAVA	GROUNDCOVER JADE	SHADE TOLERANT GROUNDCOVER	1'/2'	1 GAL. @ 24" O.C.	L		
TEUCRIUM FRUITICANS	GERMAIDER	FLOWERING GROUNDCOVER	1'/2'	1 GAL. @ 24" O.C.	L		
HIBBERTIA SCANDEN & CISSUS RHOMBIFOLIA		BUILDING PLANTER GROUNDCOVER	1'/6'	1 GAL. @ 36" O.C.	M		
OPHIPOGON JAPONICUS	MONDO GRASS	SIDE YARD SLOPE GROUNDCOVER	1'/6'	1 GAL. @ 36" O.C.	M		

DESIGN STATEMENT:
THE LANDSCAPE DESIGN FOR THIS SINGLE FAMILY RESIDENCE IN A HILLSIDE COASTAL SETTING IS INTENDED TO MEET THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE, BRUSH MANAGEMENT, AND THE LANDSCAPE REGULATIONS. THE PLANTING DESIGN RESPONDS TO THE COASTAL ENVIRONMENT/MICROCLIMATE AND THE CONTEMPORARY STYLE ARCHITECTURAL THEME. THE PLANT MATERIAL IS A COMBINATION OF DROUGHT TOLERANT SLOPE PLANTING WITH ACCENTS SET WITH IN, LAYERED FOUNDATION PLANTING AROUND THE RESIDENCE, AND COLOR AND TEXTURAL ACCENT MASSES IN KEY VIEWING LOCATIONS. THE IRRIGATION SYSTEM IN ZONE 1 WILL BE PERMANENT AUTOMATICALLY CONTROLLED COMBINATION OF SUBTERRANEAN DRIP AND LOW PRECIPITATION SPRAY HEADS FOR THE FRONT SLOPE AREA.

NET CANOPY TREE GAIN:
0 CANOPY TREES TO BE REMOVED
5 CANOPY TREES TO BE ADDED
NET INCREASE OF 5 CANOPY TREES.

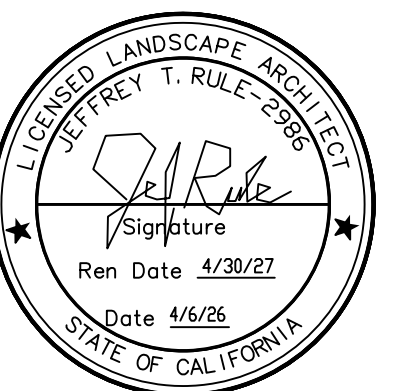
ABBREVIATION LEGEND:

BS	BOTTOM OF STEP	PA	PLANTER AREA
BSD	BOTTOM OF SIDING	RE	RIM ELEVATION (DRAIN)
CMU	CONC. MASONRY UNIT	TC	TOP OF COPING
DK	DECK	TH	TOP OF THRESHOLD
EO	EQUAL	TOC	TOP OF CURB
EX	EXISTING	TG	TOP OF GLASS
FF	FINISH FLOOR	TW	TOP OF WALL
FS	FINISH SURFACE	TS	TOP OF STEP
FG	FINISH GRADE	WPS	WEEP SCREED
ID	INSIDE DIMENSION	WL	WATER LINE



SHEET INDEX:
L-1 LANDSCAPE PLAN
L-2 30% LANDSCAPE PLAN EXHIBIT
L-3 BRUSH MANAGEMENT NOTES

SUBMITTAL/REV:
9-24-25 CLIENT MTG.
10-20-25 CITY SUBMIT.
2-20-26 ARCH. REVIEW
4-6-26 CITY RE-SUBMIT.



JEFFREY RULE, INC.
LANDSCAPE ARCHITECT
8080 LA MESA BLVD., SUITE 206
LA MESA, CA 91942
TEL: 619/466-0362
EMAIL: jeff@jeffreyrule.com

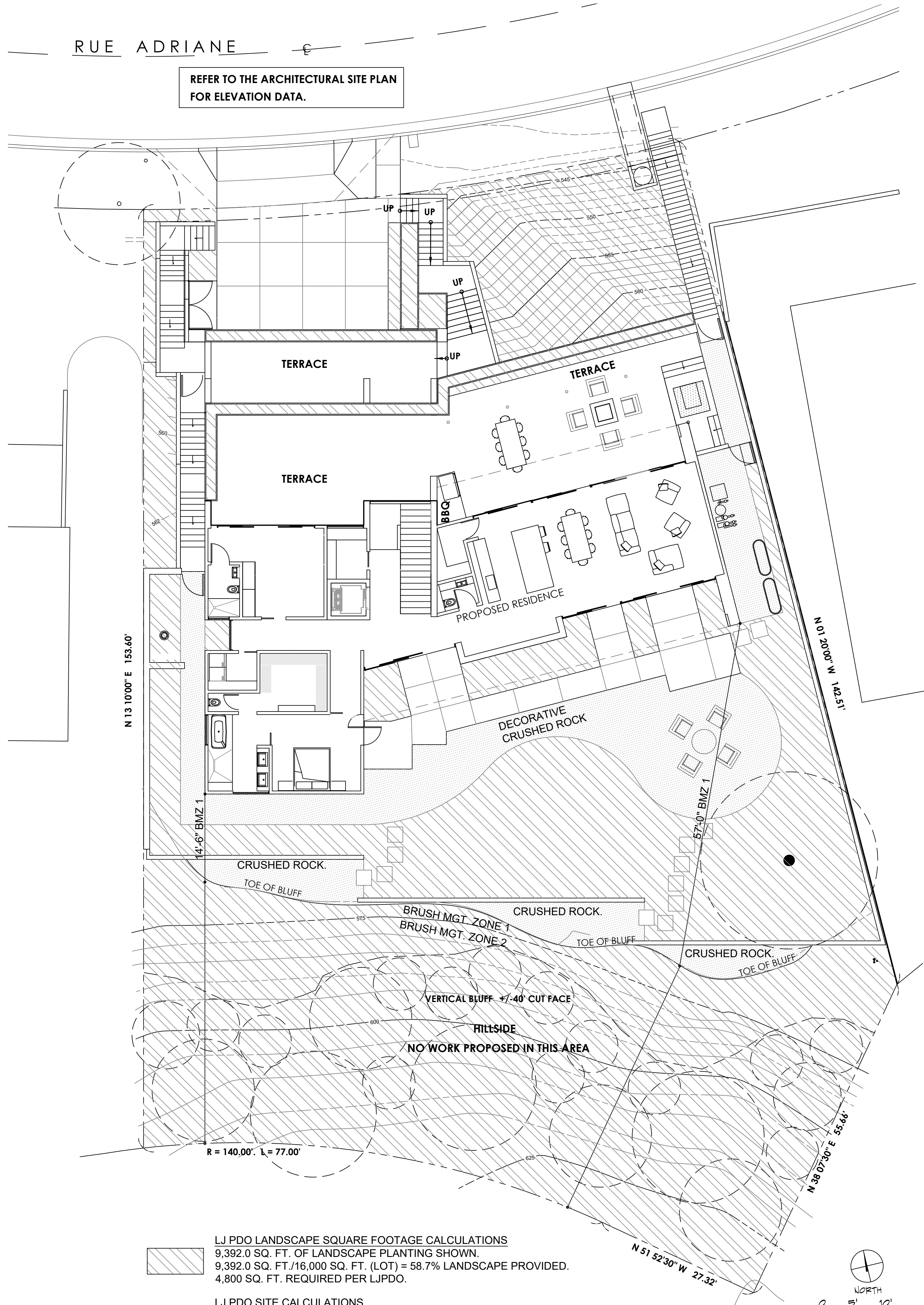
CHEWNING RESIDENCE
2349 RUE ADRIANE
LA JOLLA, CA 92037

LANDSCAPE PLAN AND BRUSH MANAGEMENT PLAN

DATE: 4-6-26
DRAWN: J.RULE

L-1





REFER TO THE ARCHITECTURAL SITE PLAN FOR ELEVATION DATA.

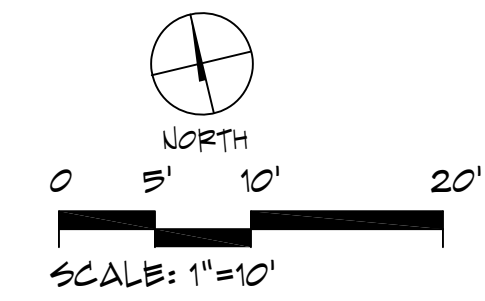
N 13 10'00" E 153.60'

N 01 20'00" W 142.51'

R = 140.00', L = 77.00'

LJ PDO LANDSCAPE SQUARE FOOTAGE CALCULATIONS
 9,392.0 SQ. FT. OF LANDSCAPE PLANTING SHOWN.
 9,392.0 SQ. FT./16,000 SQ. FT. (LOT) = 58.7% LANDSCAPE PROVIDED.
 4,800 SQ. FT. REQUIRED PER LJPDO.

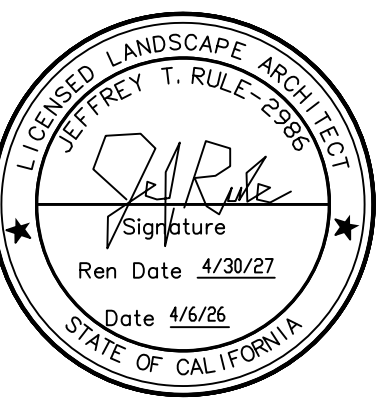
LJ PDO SITE CALCULATIONS
 TOTAL SITE: 16,000.0 SQ. FT.
 STRUCTURE: 3,635.0 SQ. FT.
 UNPLANTED REC. AREAS: 2,973.0 SQ. FT.
 PLANTING AREAS: 9,392.0 SQ. FT.



ABBREVIATION LEGEND:

BS	BOTTOM OF STEP	PA	PLANTER AREA
BSD	BOTTOM OF SIDING	RE	RIM ELEVATION (DRAIN)
DK	DECK	TC	TOP OF COPING
EO	EQUAL	TH	TOP OF THRESHOLD
EX	EXISTING	TOC	TOP OF CURB
FF	FINISH FLOOR	TG	TOP OF GLASS
FS	FINISH SURFACE	TW	TOP OF WALL
FG	FINISH GRADE	TS	TOP OF STEP
ID	INSIDE DIMENSION	WPS	WEEP SCREED
IE	INVERT ELEVATION (DRAIN)		WATER LINE

SUBMITTAL/REV:
 7-25-25 MTG. & UPDATE
 9-24-25 CLIENT MTG.
 10-20-25 CITY SUBM.
 2-24-26 ARCH. REVIEW
 4-6-26 CITY RE-SUBM.



JEFFREY RULE, INC.
 LANDSCAPE ARCHITECT
 8080 LA MESA BLVD., STE 206
 LA MESA, CA 91942
 TEL: 619/466-0362
 EMAIL: jeff@jeffreyrule.com

CHEWNING RESIDENCE
 2349 RUE ADRIANE
 LA JOLLA, CA 92037

**CALCULATIONS FOR 30%
 LANDSCAPING EXHIBIT PLAN**

DATE: 4-6-26
 DRAWN: J.RULE

San Diego Municipal Code
 §142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	14'-6" TO 57'-0"
Zone Two	65-feet	42'-9" TO 43'-6"



- (f) The Zone Two width may be decreased by 1½ feet for each 1 foot of increase in Zone One width.
- (g) **Zone One Requirements**
- (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
 - (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
 - (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.
 - (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) **Zone Two Requirements**
- (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
 - (2) No structures shall be constructed in Zone Two.
 - (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

BRUSH MANAGEMENT NOTES:

1. THE OWNER/PERMITTEE SHALL SCHEDULE A PRE-CONSTRUCTION MEETING ON SITE WITH THE CONTRACTOR AND DEVELOPMENT SERVICES DEPARTMENT TO DISCUSS AND OUTLINE THE IMPLEMENTATION OF THE BRUSH MANAGEMENT PROGRAM.
2. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF THE FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO SATISFACTION OF THE CITY OF SAN DIEGO THAT THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUB AREA PLAN.
3. ALL LANDSCAPING / BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE OWNER. THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL MAINTAINED IN A HEALTHY GROWING CONDITION.
4. OFFSITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR BRUSH/WEEED COMPLAINT LINE AT: (619) 533-4444.

San Diego Landscape Standards
 Section III - Brush Management

3-1 BRUSH MANAGEMENT - DESCRIPTION

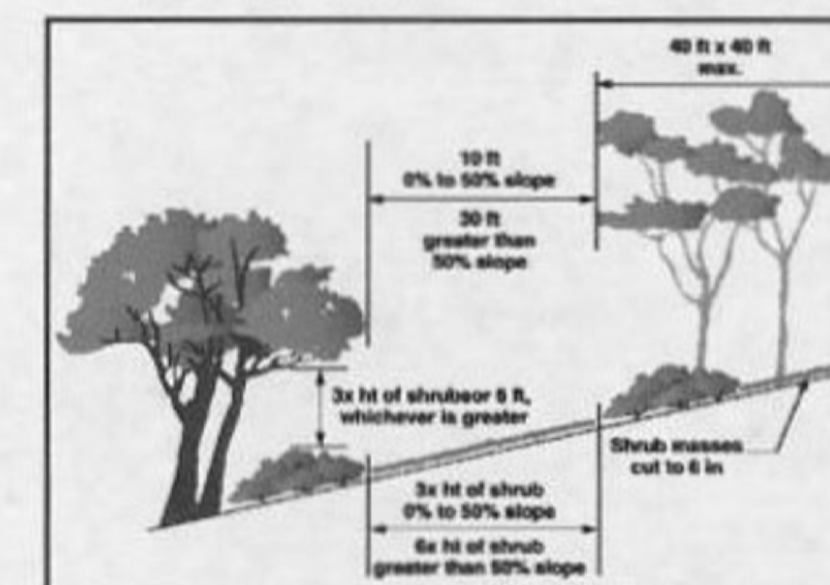
Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

3.2-1 Basic requirements - All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

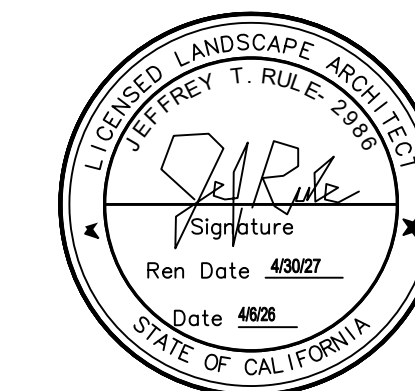
Figure 3-1
 Pruning Trees to Provide Clearance for Brush Management



- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
 - 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures**
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
 - 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
 - 3.2-2.03 Maintain all plantings in a succulent condition.
 - 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements - All Structures**
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

1. General Maintenance - Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
2. Brush Management Zone 1 - This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
3. Brush Management Zone 2 - Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Discarded and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
4. Long-term Maintenance Responsibility - All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of the OWNER [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.



JEFFREY RULE, INC.
 LANDSCAPE ARCHITECT
 8080 LA MESA BLVD., SUITE 206
 LA MESA, CA 91942
 TEL: 619/466-0362
 EMAIL: jeff@jeffreyrule.com

CHEWNING RESIDENCE
 2349 RUE ADRIANE
 LA JOLLA, CA 92037

BRUSH MANAGEMENT NOTES