



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 30, 2026 REPORT NO. HO-26-035

HEARING DATE: July 8, 2026

SUBJECT: 3810 Gila Court Keystone Wall - Process Three Decision

PROJECT NUMBER: [PRJ-1112793](#)

OWNER/APPLICANT: Matthew P. Harvey and Amber L. Harvey, Owners/Larry Dutton, Applicant

SUMMARY

Issue: Should the Hearing Office approve a Site Development Permit (SDP) for modifications to unpermitted keystone retaining walls to an existing single dwelling unit located at [3810 Gila Court](#) in the [Clairemont Community Plan](#)?

Proposed Action:

1. Approve Site Development Permit No. PMT-3304360.

Fiscal Considerations: None. All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: On January 28, 2022, unpermitted work was observed, and the site was issued a Civil Penalty Notice and Order (CPNO). This application will resolve the issues identified within the CPNO. (Attachment 7)

Community Planning Group Recommendation: On May 19, 2026, the Clairmont Community Planning Group voted 9-0-1 to approve the project. (Attachment 9)

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). The environmental exemption determination for this project was made on March 9, 2026, and the opportunity to appeal that determination ended March 23, 2026 (Attachment 7).

BACKGROUND

The 1.55-acre site is located at 3810 Gila Court in the Bay Ho neighborhood of Clairemont Mesa, bordering Stevenson Canyon to the west, Clairemont Drive to the east, and Balboa Avenue to the south. The project is located at the end of a cul-de-sac, surrounded by single-dwelling-unit development. Stevenson Canyon is identified as Open Space and contains Environmentally Sensitive Lands (ESL) in the form of sensitive vegetation and steep hillsides.

The site is zoned RS-1-7 (Residential Single Family) and designated Low Density Residential (5-10 DU/AC) in the [Clairemont Mesa Community Plan](#) (CMCP). The CPNO identified the issues that this project will address, including applying for a Site Development Permit for construction within Environmentally Sensitive Lands.

DISCUSSION

Project Description:

The project proposes to legalize two unpermitted keystone retaining walls with associated grading and landscaping at the rear of an existing single dwelling unit; no modifications to the existing dwelling unit are proposed. The existing unpermitted retaining walls will be modified to include two additional drainage culverts at the bottom of the retaining walls and a brush management plan.

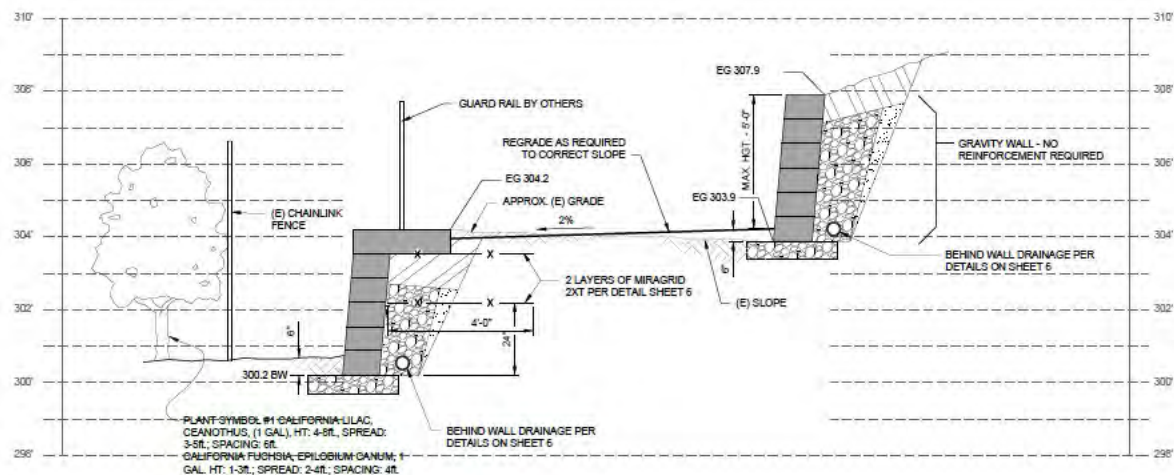


Figure 1: Unpermitted Keystone walls

The geotechnical report submitted for the project deemed that the illegally constructed keystone walls were the only means of erosion control for the steep hillsides, per San Diego Municipal Code [Section 143.0142\(c\)](#) and [143.0111\(c\)](#). This determination was confirmed by DSD staff, which makes the keystone walls exempt from the Steep Hillsides regulations, per SDMC Section 143.0142(c), allowing them to remain in the current location.

Although constructed without permits, the retaining wall design can remain mostly intact. Modifications will require additional considerations for drainage and vegetation to meet the

regulations of Open Space and adjacent sensitive vegetation. The retaining walls will require Structural Calculations and a grading permit with a Water Pollution Control Plan during the building permit application process. A Covenant of Easement will be required, which ensures preservation of the ESL outside the allowable development area on the premises for Sensitive Biological Resources and Steep Hillsides, in accordance with SDMC [section 143.0152](#).

The project proposes a Brush Management plan, with temporary irrigation until vegetation is established, consisting of California Lilac spaced 6 feet apart and California Fuchsia spaced 4 feet apart along the perimeter of the existing chain link fencing (this fence also denotes the divide in brush management zones 1 and 2). This vegetation will reduce the visual impacts of the retaining wall, assist in erosion control, and protect the existing ESL in Stevenson Canyon, consistent with the City of San Diego's MSCP Subarea Plan. Furthermore, adding drainage culverts to the keystone retaining walls will ensure that flooding or further erosion will not occur.

Permits Required

Process Three: A Site Development Permit is required for development on premises containing Environmentally Sensitive Lands (ESL) and Sensitive Vegetation per [SDMC Section 126.0502\(a\)](#).

Community Plan Analysis:

Stevenson Canyon, designated as Open Space in the Clairemont Mesa Community Plan, contains environmentally sensitive lands in the form of sensitive vegetation. The keystone walls will be modified to control rainwater flow by retaining water, preventing erosion and contributing to the preservation of local wildlife habitat, as recommended by the Multiple Species Conservation Program ([MSCP](#)).

The project is consistent with the applicable land use plan, there is no development on the existing single dwelling unit, keeping the canyon side undeveloped, and providing necessary stabilization for environmentally sensitive lands without adversely affecting the Clairemont Mesa Plan.

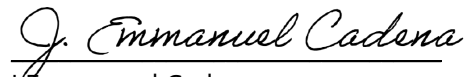
Conclusion:

City staff reviewed the proposal, including all issues identified through the review process, and determined that all project issues have been addressed. The project conforms to the Community Plan and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Site Development Permit No. PMT-3304360, with modifications.
2. Deny Site Development Permit No. PMT-3304360, if the findings required to approve the project cannot be affirmed.

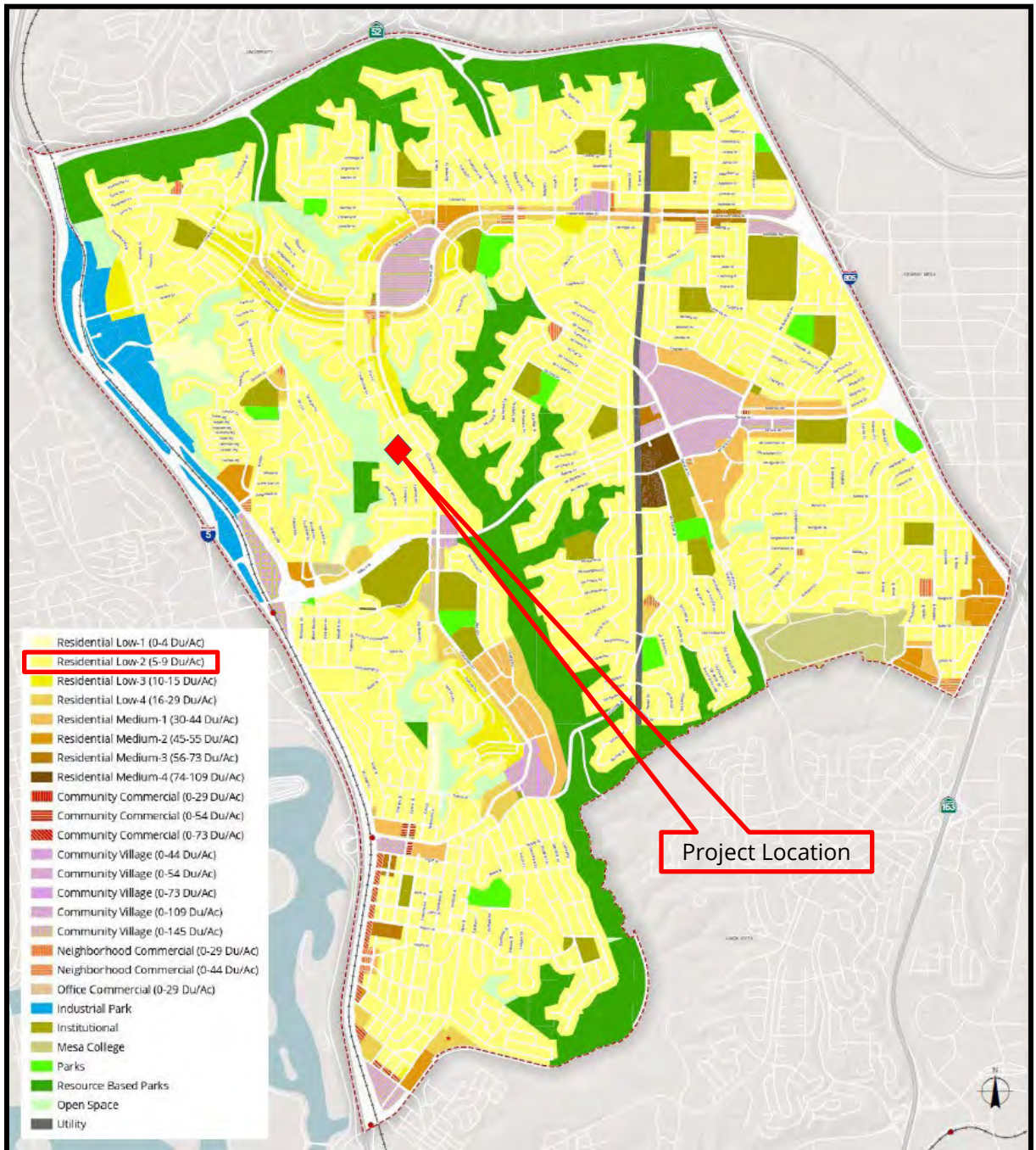
Respectfully submitted,


J. Emmanuel Cadena

Development Project Manager
Development Services Department

Attachments:

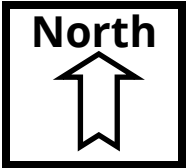
1. Map Community Plan Use
2. Aerial Project Location
3. Draft Resolution
4. Draft Permit with Conditions
5. Notice of Right to Appeal Environmental Determination
6. Civil Penalty Notice and Order
7. Ownership Disclosure Statement
8. Community Group Recommendation
9. Project Plans





Location Map

3810 Gila Court
Project No. PRJ-1112793



HEARING OFFICER RESOLUTION NUMBER _____
SITE DEVELOPMENT PERMIT NO. PMT-3304360
3810 GILA COURT KEYSTONE WALLS - PROJECT NO. PRJ-1112793

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. MATTHEW P. HARVEY and AMBER L. HARVEY as Joint Tenants, Owners/Permittees, submitted an application to the City of San Diego for a Site Development Permit (SDP) to legalize and modify illegal keystone retaining walls previously constructed on a site with an existing single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the 3810 Gila Court project (project).

B. The 1.55-acre site is located at 3810 Gila Court in the RS-1-7 (Residential -Single Dwelling) zone and the Clairemont Mesa Community Plan. The project site is legally described as LOT 183 OF CLAIREMONT VILLAGE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3004, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 16, 1953.

C. On March 9, 2026, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

D. On July 8, 2026, the Hearing Officer considered Site Development Permit No. PMT-3304360, pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Site Development

Permit No. PMT-3304360:

A. SITE DEVELOPMENT PERMIT Findings [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

The 1.55-acre site is located at 3810 Gila Court, approximately 0.52 miles northwest of the intersection of Balboa Avenue and Clairemont Drive within the Clairemont Mesa Community Plan. The project is within the City of San Diego Multiple Species Conservation Program (MSCP) Subarea Plan and is adjacent to land within the City's Multi-Habitat Planning Area (MHPA). Unauthorized activities associated with the construction of keystone walls occurred on a steep southwest-facing slope approximately 35 feet west of an existing, primary, single-family residence. Steep hillsides occur on-site and are considered Environmentally Sensitive Lands (ESL). The naturally occurring slope has an elevation differential of approximately 84 feet, ranging from approximately 322 feet above mean sea level (AMSL) at the top of the slope to approximately 238 feet (AMSL) at the bottom, over a horizontal distance of approximately 193 feet. The slope has a natural gradient of approximately 43 percent. Thus, the slope is more than 50 feet in vertical elevation and is considered steep hillsides. According to the geotechnical report submitted for the project, evidence was presented, and the scope of the illegally constructed keystone walls was deemed the only means of erosion control for the steep hillsides. Therefore, the retaining wall is exempt from the steep hillside development area regulations as documented in the San Diego Municipal Code (SDMC) [Section 143.0142\(c\)](#) and [Section 143.0111\(c\)](#).

The project site is designated Low Density Residential (5-10 DU/AC) in the [Clairemont Mesa Community Plan](#) (CMMCP). The residential density is characterized by traditional single dwelling unit development, primarily detached housing units on individual lots. The proposed project consists of grading and the construction of a retaining wall at the rear of the property in the RS-1-7 zone. The proposed retaining wall project will not impact the prescribed density and is consistent with the residential density identified in the Community Plan.

The proposed keystone retaining wall has the objective of containing unstable soils and preserving open space characterized by steep slopes or geological instability in order to control urban form, protecting biological resources and blending graded features into the remaining natural terrain. The walls are oriented into the canyon along the natural drainage using appropriate screening materials.

The project development will include restoring the City's standard public right-of-way for Gila Court. By removing non-standard encroachments within the Gila Court public right-of-way to protect public safety and regulating the existing keystone wall to meet

city standards, the development is consistent with the Community Plan's recommendations for maintaining the character of the Area. As a result, the project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare;

The permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These conditions require the removal of non-standard encroachments within the Gila Court public right-of-way, which protects public safety and welfare. The existing keystone walls must be modified to include an additional drainage system to minimize potential further erosion on the slopes. The recommended changes are intended to assist in properly controlling surface drainage and preventing erosion. All grading shall comply with the requirements of the City of San Diego Municipal Code, to the satisfaction of the City Engineer.

Construction of the project authorized through this Site Development Permit and subsequent permits will be subject to all adopted building, grading, and fire codes, enforced through plan review and building inspections completed by the City's building inspectors and resident engineers. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

A geotechnical report submitted by GEOTCECH and reviewed by DSD staff determined that the retaining wall is exempt from the steep hillside development area since it was constructed to prevent further erosion of the slope, per SDMC [Section 143.0142\(c\)](#). No deviations or variances are requested.

The setbacks required by the RS-1-7 zone are met on all sides, and the retaining walls located on the rear yard are less than the required height limitations established in [SDMC Section 142.0340](#).

A biology report, submitted by Leopold Biological Services, concluded that the construction of the retaining wall impacted 0.04 acres of coastal sage scrub and 0.002 acres of disturbed land (both Tier III). In accordance with the California Environmental Quality Act Significance Determination Thresholds, impacts to total uplands (Tier I-III) that are less than 0.1 are not considered significant and do not require mitigation. Nonetheless, the project proposes revegetation consistent with the MSCP regulations and Biology Guidelines of the City of San Diego Land Development Code (LDC). Modification to the retaining walls will further prevent erosion from drainage and provide stability to the existing development. Therefore, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

Site topography consists of a ridge in the northeast portion of the parcel with a steep southwest-facing slope in the west portion of the parcel. The naturally occurring slope has an elevation differential of approximately 84 feet. The development proposes retaining walls and grading at the rear of an existing single-family dwelling unit on environmentally sensitive lands, where erosion control measures are required to address steep hillsides.

Revegetation will occur within Brush Management Zone 2 along the perimeter of the existing chain link fence by planting coastal sage scrub and southern chaparral mix (as noted in the Biology Report and within Finding A.1.c. incorporated herein by this reference). The retaining wall lies in Chesterton-Urban land (permeable soil), where level building lots are moderately steep escarpments that easily erode. The restoration plan will be implemented to restore impacts to upland vegetation communities to better than previous conditions. The impacted area will be restored with a native hydroseed mix and plant palette. The hydroseed and container plant installation will enhance habitat diversity and improve erosion control.

A temporary irrigation system will be installed to establish newly planted areas with native and naturalized vegetation to provide habitat for local species. After the installed vegetation takes root, the irrigation system will be removed from the site to prevent further erosion and water runoff. By adding local vegetation to the disturbed site and providing temporary irrigation to support its growth. The site will provide habitat for local animal species, prevent erosion, reduce water runoff and secure the existing residential structure.

Once these improvements are implemented, the site will be physically suitable for the design and siting of the proposed development, and the development will result in minimal disturbances to the environmentally sensitive lands.

- b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The project will minimize the erosion of the residence's rear landscape by bringing up to city standards the two existing keystone walls that follow the terrain with additional Landscape requirements. Gaps between the keystones have been provided for water flow since no hydrostatic pressure exists. The project will add drainage culverts at the bottom of the wall to prevent flooding. Brush Management Zone 1 shall extend from the residence's rear to the existing rear fence, and Zone 2 will extend from the rear fence to the property line. Therefore, the proposed development will minimize the

alteration of natural land forms and will not result in undue risk from geological and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The 1.55-acre site is next to Stevenson Canyon, with a biology report submitted that exempts the steep hillside ESL regulation requirements for this project. The retaining wall was constructed as the only feasible erosion-control measure to protect an existing primary structure. Thus, the wall is exempt from steep hillside development area regulations as documented in SDMC Section 143.0142(a) and Section 143.0111(c). Revegetation will use natural species that are not detrimental to adjacent (MHPA) and other sensitive species. A biology report, submitted by Leopold Biological Services, concluded that the construction of the retaining wall impacted 0.04 acres of coastal sage scrub and 0.002 acres of disturbed land (Tier II-IV). In accordance with the California Environmental Quality Act Significance Determination Thresholds, impacts to total uplands (Tier I-III) that are less than 0.1 are not considered significant and do not require mitigation. Nonetheless, the project proposes revegetation consistent with the MSCP regulations and Biological Guidelines of the City of San Diego Land Development Code.

Modification to the retaining walls will further prevent erosion from drainage and provide stability to the existing development. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP);

The project is within the City of San Diego MSCP, outside the Coastal Overlay Zone and adjacent to the Multi-Habitat Planning Area (MHPA). The major goal of the MSCP and MHPA is to preserve a network of habitat and open space, protecting biodiversity and enhancing the region's quality of life. The proposed revegetation includes native species of plants, including a (coastal sage scrub mix), to be planted and irrigated (temporarily) to allow the species to take root. This will preserve as much of the core biological resource areas and linkages as possible, maximizing the inclusion of public lands and lands already conserved as open space. There are no vernal pool habitats located on the project site as shown on the Vernal Pool Habitat Conservation Plan (VPHCP). Therefore, the proposed development will be consistent with the MSCP and VPHCP.

e. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

ATTACHEMENT 3

The area is 0.1 acres, which is under the threshold for mitigation. Therefore, Mitigation is not required. However the project alleviates any potential negative impacts while meeting the regulations of the SDMC and the recommendations of the MHCPA as shown in finding A.1.c., incorporated herein by this reference.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Site Development Permit No. PMT-3304360 is granted by the Hearing Officer to the referenced Owners/Permittees, in the form, exhibits, terms, and conditions as set forth in Site Development Permit No. PMT-3304360, a copy of which is attached to and made a part of this Resolution by this reference.

J. Emmanuel Cadena
Development Project Manager
Development Services

Adopted on: July 8, 2026

IO#: 24009893

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24009893

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3304360
3810 GILA COURT KEYSTONE WALLS - PROJECT NO. PRJ-1112793
HEARING OFFICER

This Site Development Permit No. PMT-3304360 is granted by the Hearing Officer of the City of San Diego to MATTHEW P. HARVEY and AMBER L. HARVEY, as Joint Tenants, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] section 143.0110 and 126.0502(a). The 1.55-acre site is located at 3810 Gila Court, in the RS-1-7 zone within the Clairemont Mesa Community Plan.

The project site is legally described as: LOT 183 OF CLAIREMONT VILLAGE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3004, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 16, 1953.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/ Permittees to permit an unpermitted retaining wall at an existing single dwelling unit as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 8, 2026, on file in the Development Services Department.

The project shall include:

- a. To permit an unpermitted retaining wall at an existing single dwelling unit;
- b. Landscaping (planting, irrigation and landscape-related improvements);
- c. Public and private accessory improvements determined by the Development Services Department (DSD) to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 23, 2029.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owners/Permittees sign and return the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owners/Permittees and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

ATTACHEMENT 4

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owners/Permittees.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owners/Permittees shall remove existing rock mulch within the Gila Court public right-of-way and replace with City Standard lawn, satisfactory to the City Engineer.

12. Prior to the issuance of any building permits, the Owners/Permittees shall submit structural calculations for the retaining wall, satisfactory to the City Engineer.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to the approval of the City Engineer.

14. Prior to the issuance of any building permits, the Owners/Permittees shall obtain a bonded grading permit for the grading proposed for this project. All grading shall comply with the requirements of the City of San Diego Municipal Code, to the satisfaction of the City Engineer.

ATTACHEMENT 4

15. Development of this project shall comply with all permanent stormwater requirements set forth in Municipal Stormwater Permit No. 2013-0001, or any subsequent order, as well as the current version of the City of San Diego's Stormwater Standards Manual.

16. Prior to the issuance of any construction permit, the Owners/Permittees shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2, Construction BMP Standards, Chapter 4 of the City of San Diego's Stormwater Standards Manual.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any grading permit, the Owners/Permittees shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

18. The Owners/Permittees shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

19. The Brush Management Program shall be based on a standard Zone One of 35 feet in width and a Zone Two of 65 feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412. Zone One shall range from 49 feet to 82 feet in width with a corresponding Zone Two of 18 feet to 44 feet in width, exercising Zone Two reduction options under §142.0412(f).

20. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

21. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

22. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted. Accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area, subject to the Fire Marshal's approval.

23. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

24. Prior to the issuance of any construction permits, the Owners/Permittees shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources, and Steep Hillsides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owners/Permittees.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 8, 2026 and HO-26-035.

ATTACHEMENT 4

Site Development Permit No. PMT-3304360
Date of Approval: July 8, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

J Emmanuel Cadena
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owners/Permittees, by execution hereof, agree to each and every condition of this permit and promise to perform each and every obligation of Owners/Permittees hereunder.

**MATTHEW P. HARVEY and AMBER L. HARVEY, as
Joint Tenants**
Owners/Permittees

By _____
Matthew P. Harvey

By _____
Amber L. Harvey

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: March 9, 2026

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009893

PROJECT NAME / NUMBER: 3810 Gila Court Retaining Walls / PRJ-1112793

COMMUNITY PLAN AREA: Claremont Community Plan

COUNCIL DISTRICT: 2

LOCATION: 3810 Gila Ct, San Diego, CA 92117

PROJECT DESCRIPTION: Site Development Permit (SDP) to legalize and modify existing retaining walls previously constructed on a site with an existing single dwelling unit located adjacent to environmentally sensitive lands to an existing single dwelling unit located at 3810 Gila Court. The 1.55-acre site is in the RS-1-7 Base Zone within the Claremont Mesa Community Plan Area, Council District 2. **LEGAL DESCRIPTION:** Subdivision Claremont Village, Map 3004, Lot 183 (APN: 418-070-0900)

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and Section 15303 (New Construction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures). The exceptions pursuant to Section 15300.2 do not apply. The project consists of a legalizing and modifying existing retaining walls associated with an existing single dwelling unit. All work is limited to existing disturbed areas. Section 15301 applies to the permitting and minor alteration of existing facilities, and Section 15303 applies to small accessory structures such as retaining walls. Therefore, the use of these categorical exemptions is appropriate. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

DEVELOPMENT PROJECT MANAGER: Emmanuel Cadena
MAILING ADDRESS: 7650 Mission Valley Road, MS DSD-1A, San Diego, CA 92108
PHONE NUMBER / EMAIL: (619) 446-5077 / jcadena@sandiego.gov

On March 9, 2026 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (March, 23, 2026). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



MAILED

FEB 17 2022

CODE ENFORCEMENT
DIVISION

February 17, 2022

CIVIL PENALTY NOTICE AND ORDER

Location: 3810 Gila Court San Diego, CA 92117

APN No.: 418-070-0900

**Property Owner/
Responsible Person:
Address:** Matthew P. Harvey and Amber L. Harvey
3810 Gila Court
San Diego, CA 92117

Zoning Designation: RS-1-7, Sensitive Vegetation Overlay Zone, Slopes 25% or greater (1999) Overlay Zone

You are hereby notified that the property identified above is in violation of the San Diego Municipal Code (SDMC). On **January 28, 2022**, the following violations were observed at the property and must be corrected:

- Unpermitted retaining walls over 3 feet in height in Environmentally Sensitive Lands.
- Unpermitted grading in Environmentally Sensitive Lands.
- Boat and trailer improperly parked/stored in front yard.

This is a violation of the following code section(s):

- | <u>Code Section</u> | <u>Violation Description</u> |
|----------------------------|---|
| • SDMC §142.0340 | - Retaining Wall Regulations in All Zones. |
| • SDMC §129.0202 | - When a Building Permit Is Required. |
| • SDMC §129.0602 | - When a Grading Permit is Required. |
| • SDMC §142.0103 | - When a Permit Is Required for Grading. |
| • SDMC §142.0144 | - Grading Within Environmentally Sensitive Lands. |
| • SDMC §143.0110 | - When Environmentally Sensitive Lands Regulations Apply. |
| • SDMC §142.0147 | - Revegetation Requirements. |
| • SDMC §142.0510 | - General Parking Regulations. |
| • SDMC §§121.0202-121.0203 | provides the authority regarding enforcement of the Land Development Code. |
| • SDMC §121.0302 | requires compliance with the Land Development Code, specifies these violations are not permitted, and provides authority for the abatement of public nuisances. |

Page 2
Civil Penalty Notice and Order
3810 Gila Court, San Diego CA 92117
February 17, 2022

If you correct the above violations as identified below, you will not be subject to any administrative civil penalties.

In order to avoid administrative civil penalties, you must correct the violations by **August 17, 2022**, as follows:

- Obtain required permit(s) and successfully complete all required inspections for walls over 3'-0".
- Obtain required Grading Permit(s) for grading that has been conducted within Environmentally Sensitive Lands, including revegetation, and successfully complete all required inspections.
- Remove or reposition boat and trailer to conform with applicable parking requirements.

All applications for permits must be submitted online. Please go to <https://www.sandiego.gov/development-services> and click on apply for a permit online. Be advised that CED will be reviewing the submitted plans for enforcement compliance.

Reinspection fees are assessed for each inspection after the issuance of a violation notice in accordance with the SDMC §13.0103. An invoice will be sent following each inspection until compliance is achieved. Current reinspection fees range between \$264 and \$295.

Please refer to the San Diego Municipal Code sections cited for additional information via <https://www.sandiego.gov/city-clerk/>.

Additional forms and documents to assist in your compliance efforts are available at: <https://www.sandiego.gov/ced/forms>.

Failure to Comply with Notice and Order

If you fail to comply with this Notice and Order in the time and manner set forth above, you are subject to civil administrative penalties pursuant to SDMC §§12.0801-12.0810. The penalty rate for the above listed violation(s) has been established in accordance with SDMC §§12.0801-12.0810 at **\$1000.00** per violation per day and shall be an ongoing assessment of penalties at the daily rate until the violations are corrected. Administrative civil penalty amounts are established by the Development Services Director.

The following factors were used in determining the amount:

- the duration of the violation
- the nature and seriousness of the violation
- whether the offense impacted environmentally sensitive lands
- the good faith effort by the Responsible Person to comply
- the impact of the violation upon the community
- any other factors that justice may require

Page 3
Civil Penalty Notice and Order
3810 Gila Court, San Diego CA 92117
February 17, 2022

Pursuant to SDMC §12.0805(a), in determining the date on which civil penalties shall begin to accrue, the Development Services Director considers the date when the Code Enforcement Division first discovered the violations as evidenced by the issuance of a Notice of Violation or any other written correspondence. The date on which the civil penalties began to accrue is **January 28, 2022** and shall end on the date that the violation(s) has been corrected to the satisfaction of the Development Services Director or the Enforcement Hearing Officer.

Civil Penalties Hearing

If you fail to comply with the Notice and Order, written notice of the time and place of an administrative enforcement hearing will be served on you at least 10 calendar days prior to the date of the hearing in accordance with SDMC §12.0403. At the hearing, you may present evidence concerning the existence of the violation(s) and whether the amount of administrative civil penalties assessed was reasonable in accordance with SDMC §12.0808. Failure to attend an administrative enforcement hearing will constitute a waiver of your rights to an administrative hearing and administrative adjudication of the violation(s) set forth above.

Administrative Costs

The Development Services Director or Enforcement Hearing Officer is authorized to assess administrative costs. Administrative costs may include, but are not limited to: staff time to investigate and document violations; laboratory, photographic, and other expenses incurred to document or establish the existence of a violation; and scheduling and processing of the administrative hearing and all actions.

Failure to Comply with Administrative Enforcement Order

If you fail, neglect, or refuse to obey an order to correct the violations, administrative civil penalties will continue to accrue on a daily basis until the violation is corrected. The unpaid amount of administrative civil penalties will be referred to the City Treasurer for collection, recorded as a code enforcement lien against the property in accordance with SDMC §§13.0201-13.0204, and may be referred to the City Attorney to file a court action to recover the unpaid amount. Failure to correct the violations may also result in referral to the City Attorney for further enforcement action.

If you have any questions concerning this Notice and Order, or to schedule a compliance inspection, please contact **John Szpakowski, Zoning Investigator, at (619) 533-3416**.

CNC/JMS/ ao

CED# 0517558

This information will be made available in alternative formats upon request.

3810_Gila_Court_ced105_JMS

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM DS-318 October 2017
---	---	--	---

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Grading Plan **Project No. For City Use Only:** _____

Project Address: 3810 Gila Court
San Diego, CA 92117

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General – What State? _____ Corporate Identification No. _____
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Matthew & Amber Harvey ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 3810 Gila Court
 City: San Diego State: CA Zip: 92117
 Phone No.: (812) 454-3624 Fax No.: _____ Email: Matt.p.Harvey@gmail.com
 Signature: Matthew Harvey Digitally signed by Matthew Harvey
Date: 2024.03.01 11:48:50 -08'00' Date: 3/15/2023
 Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Matthew & Amber Harvey ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 3810 Gila Court
 City: San Diego State: CA Zip: 92117
 Phone No.: (812) 454-3624 Fax No.: _____ Email: Matt.p.Harvey@gmail.com
 Signature: Matthew Harvey Digitally signed by Matthew Harvey
Date: 2024.03.01 11:48:50 -08'00' Date: 3/15/2023
 Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form
Project Name: 3810 Gila Ct.		Project Number: PRJ 1113278	
Community: Clairemont Mesa			
For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO. Select "Search for Project Status" and input the Project Number to access project information.			
☐ Vote to Approve ☒ Vote to Approve with Conditions Listed Below ☐ Vote to Approve with Non-Binding Recommendations Listed Below ☐ Vote to Deny			Date of Vote: May 19, 2026
# of Members Yes 9	# of Members No	# of Members Abstain 1	
Conditions or Recommendations: While the CCPG believes that the project isn't entirely consistent with the CCP, it approves the project because removal of existing improvements could damage Stevenson Canyon as well as the applicant. The CCPG neither condones or supports any project proceeding without required approvals by the City of San Diego.			
☐ No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Matthew Wang			
TITLE: Chair		DATE: May 26, 2026	

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

DECLARATION OF RESPONSIBLE CHARGE

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DEVELOPMENT SUMMARY

SITE DEVELOPMENT PERMIT FOR PROPOSED NEW/EXISTING RETAINING WALL TO AN EXISTING SINGLE DWELLING UNIT LOCATED AT 3810 GILA COURT. NO DEVIATIONS ARE ASSOCIATED WITH PRJ-1112793 PROJECT AND NO IMPROVEMENTS ARE ASSOCIATED WITH THIS PROJECT WITHIN THE SCOPE OF WORK.

PROJECT TEAM
HELFRICH ASSOCIATES, STEVEN HELFRICH, KEN BREYER, (909) 389-7316 | KAPP
SURVEYING AND ENGINEERING, ALLEN TURNER, (619) 449-2600 | TITLE PROS IS, SEAN
WILSON, (760) 295-3951 | LEOPOLD BIOLOGICAL SERVICES, CHRISTINE HARVEY, (619)
249-2531

LOT SIZE
1.55 ACRE

AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (ALUCOZ)
CLAIREMONT MESA HEIGHT LIMIT OVERLAY ZONE (CMHLOZ)

YEAR CONSTRUCTED
1953

GEOLOGIC HAZARD CATEGORY
SLOPES 25% OR GREATER (1999)

NO CHANGES TO EXISTING BUILDINGS OR ADDITIONS

NO TRANSIT STOPS. FIRE HYDRANTS SEE SHEET C007

OWNER/APPLICANT

REFERENCE DRAWINGS

SITE ADDRESS

TOPOGRAPHY SOURCE

ALLEN R. A. TURNER III, P.L.S.

ALLEN R. A. TURNER III, P.L.S.
KAPPA SURVEYING & ENGINEERING, INC.
84025 NORTH MAGNOLIA AVE. SUITE C
SANTEE, CA 92071
(619) 449-2600
TOPO SOURCE METHOD: FIELD SURVEY USING TOTAL
STATION
TOPO: LIMITED TOPOGRAPHIC SURVEY OF
3810 GILA COURT, SAN DIEGO, CA 92117
TOPO SOURCE DATE: APRIL 26, 2022

BENCHMARK

CLAREMONT CT. & GILA AVENUE
WESTERLY BRASS PLUG: ELEVATION 326.319 NGVD29

ASSESSORS PARCEL NUMBER

EXISTING LEGAL DESCRIPTION

SUBDIVISION CLAREMONT VILLIAGE, MAP 3004, LOT 183

GRADING QUANTITIES

GRADED AREA	0.03 [ACRES]	MAX. CUT DEPTH	2 [FT]
CUT QUANTITIES	22 [CYD]	MAX CUT SLOPE RATIO (2:1MAX)	LEVEL
FILL QUANTITIES	5 [CYD]	MAX. FILL DEPTH	0 [FT]
IMPORT/EXPORT	17 [CYD]	MAX FILL SLOPE RATIO (2:1MAX)	LEVEL

THIS PROJECT PROPOSES TO EXPORT _____ CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

SHEET INDEX

SHEET DESCRIPTION	SHEET NUMBER
PRE-PROJECT TOPO	G001
BMP PLAN	G002
SITE PLAN	G002.5
SITE PLAN - COVENANT OF EASEMENT	G003
PRE-PROJECT TOPO	G001
PROPOSED TOPO	G002
WALL SECTIONS	G003
PROPOSED WALL ELEVATIONS	G004
RETAINING WALL DETAILS	G005
STORMWATER REQUIREMENTS/APPLICABILITY CHECKLIST	G006
FIRE HYDRANT LOCATIONS	G007
BRUSH MANAGEMENT PLAN	C008
STEEP HILLSIDES	C009
DRAINAGE PLAN	C010

WORK TO BE DONE

THE PUBLIC IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

<u>DOCUMENT NO.</u>	<u>DESCRIPTION</u>
PWPI010119-01 WORKS	STANDARD SPECIFICATIONS FOR PUBLIC CONSTRUCTION (GREENBOOK), 2018 EDITION
PWPI010119-02 (WHITEBOOK),	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
PWPI010119-04	2018 EDITION
PWPI060121-10 CONTROL	CITYWIDE COMPUTER AIDED DESIGN AND DRAWING (CADD) STANDARDS, 2018 EDITION
PWPI030119-05 TRANSPORTATION	CALIFORNIA MANUAL OF UNIFORM TRAFFIC DEVICES REVISION 6(CA MUTCD REV6), 2014 EDITION
	CALIFORNIA DEPARTMENT OF U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION
<u>DOCUMENT NO.</u>	<u>DESCRIPTION</u>
PWPI010119-03 FOR EDITION	CITY OF SAN DIEGO STANDARD DRAWINGS PUBLIC WORKS CONSTRUCTION, 2018
PWPI030119-06 TRANSPORTATION EDITION	CALIFORNIA DEPARTMENT OF U.S. CUSTOMARY STANDARD PLANS, 2018

LEGEND

PROPOSED IMPROVEMENTS

<u>IMPROVEMENT</u>	<u>STANDARD DWGS.</u>	<u>SYMBOL</u>
--------------------	-----------------------	---------------

EXISTING IMPROVEMENTS

<u>ITEM</u>	<u>SYMBOL</u>
-------------	---------------

WARNING

0

1/2

1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

3810 GILA CT.
SAN DIEGO, CA 92177
LOT 183, TRACT 3004

DEVELOPMENT SERVICES DEPARTMENT

SHEET 10F 13 SHEETS

APPROVED:

FOR CITY ENGINEER

DATE

DESCRIPTION

BY

APPROVED

DATE

ORIGINAL

XXX

REVISION

MM

REMOVE OF FENCE

3-18-24

REVISION

MM

ADD EASEMENTS

6-24-24

PC REVS

MM

ADD EASEMENTS

4-24-25

PC REVS

MM

8-2025 PC REVISIONS

9-9-25

PC REVS

MM

3-17-26 PC REVISIONS

3-23-26

AS BUILTS

N 1,878,648.72 (USFT)
E 6,268,443.692 (USFT)
NAD83 COORDINATES

XXX-XXXX
LAMBERT COORDINATES

CONTRACTOR
INSPECTOR

DATE STARTED
DATE COMPLETED

DRAWING NO.

XXXXXX.001.D

0001

Source Control BMP Checklist
for Standard Projects

Form I-4A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Source Control Requirement	Applied ⁽¹⁾ ?		
4.2.1 Prevention of Illicit Discharges into the MS4	☐ Yes	☐ No	☒ N/A
4.2.2 Storm Drain Stenciling or Signage	☐ Yes	☐ No	☒ N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☐ Yes	☐ No	☒ N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☒ Yes	☐ No	☐ N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☐ Yes	☐ No	☒ N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants			
On-site storm drain inlets	☐ Yes	☐ No	☐ N/A
Interior floor drains and elevator shaft sump pumps	☐ Yes	☐ No	☒ N/A
Interior parking garages	☐ Yes	☐ No	☒ N/A
Need for future indoor & structural pest control	☐ Yes	☐ No	☒ N/A
Landscape/Outdoor Pesticide Use	☐ Yes	☐ No	☒ N/A
Pools, spas, ponds, decorative fountains, and other water features	☐ Yes	☐ No	☒ N/A
Food service	☐ Yes	☐ No	☒ N/A
Refuse areas	☐ Yes	☐ No	☒ N/A
Industrial processes	☐ Yes	☐ No	☒ N/A
Outdoor storage of equipment or materials	☐ Yes	☐ No	☒ N/A
Vehicle/Equipment Repair and Maintenance	☐ Yes	☐ No	☒ N/A
Fuel Dispensing Areas	☐ Yes	☐ No	☒ N/A
Loading Docks	☐ Yes	☐ No	☒ N/A
Fire Sprinkler Test Water	☐ Yes	☐ No	☒ N/A
Miscellaneous Drain or Wash Water	☐ Yes	☐ No	☒ N/A
Plazas, sidewalks, and parking lots	☐ Yes	☐ No	☒ N/A
SC-6A: Large Trash Generating Facilities	☐ Yes	☐ No	☒ N/A
SC-6B: Animal Facilities	☐ Yes	☐ No	☒ N/A
SC-6C: Plant Nurseries and Garden Centers	☐ Yes	☐ No	☒ N/A
SC-6D: Automotive Facilities	☐ Yes	☐ No	☒ N/A

Discussion / justification for all "No" answers shown above:



Site Design BMP Checklist
for Standard Projects

Form I-5A

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Site Design Requirement	Applied ⁽¹⁾ ?		
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	☒ Yes	☐ No	☐ N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	☒ Yes	☐ No	☐ N/A
4.3.3 Minimize Impervious Area	☒ Yes	☐ No	☐ N/A
4.3.4 Minimize Soil Compaction	☒ Yes	☐ No	☐ N/A
4.3.5 Impervious Area Dispersion	☐ Yes	☐ No	☒ N/A
4.3.6 Runoff Collection	☐ Yes	☐ No	☒ N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	☒ Yes	☐ No	☐ N/A
4.3.8 Harvest and Use Precipitation	☐ Yes	☐ No	☒ N/A

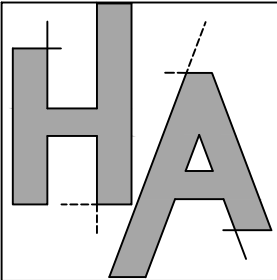
Discussion / justification for all "No" answers shown above:

⁽¹⁾ Answer for each source control and site design category shall be pursuant to the following:

- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

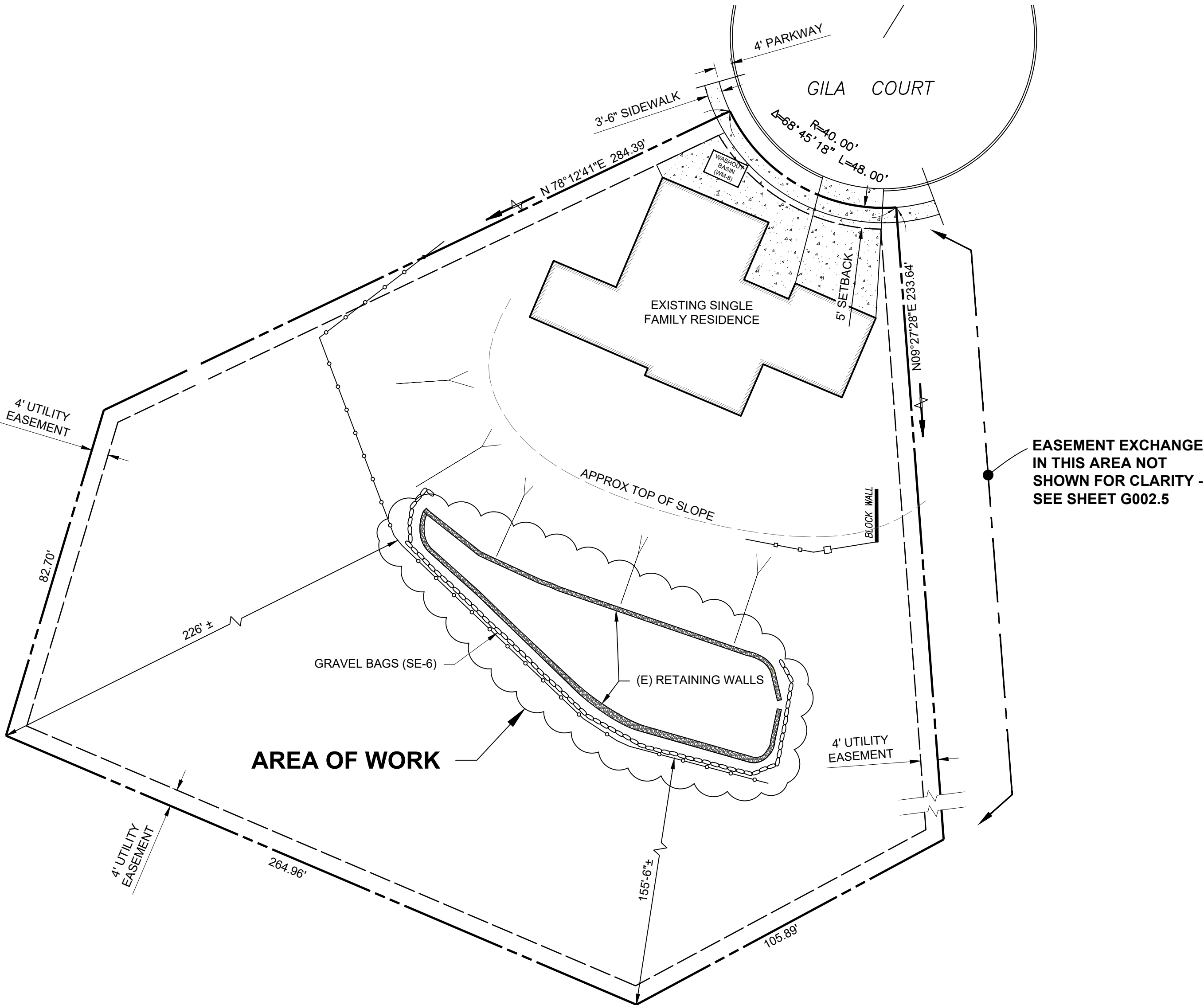


5-22-24



HELFRICH ASSOCIATES
ENGINEERING • CONSTRUCTION CONSULTING

30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com



BMP SITE PLAN

SCALE 1" = 20'

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING

CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPs AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

BMP PLAN
3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of SAN DIEGO FOR CITY APPROVAL	DEVELOPMENT SERVICES DEPARTMENT SHEET 20F 13 SHEETS	PMT NO. _____
APPROVED: FOR CITY ENGINEER _____	DATE _____	PRJ NO _____
DESCRIPTION ORIGINAL	BY XXX	APPROVED [Signature]
REVISION PC REVS	MM 8-2025 PC REVISIONS	DATE 8-24-24
PC REVS	MM 3-17-26 PC REVISIONS	DATE 3-23-26
AS BUILTS		
CONTRACTOR INSPECTOR	DATE STARTED DATE COMPLETED	XXXXXX.002D

DRAWING NO. **G002**

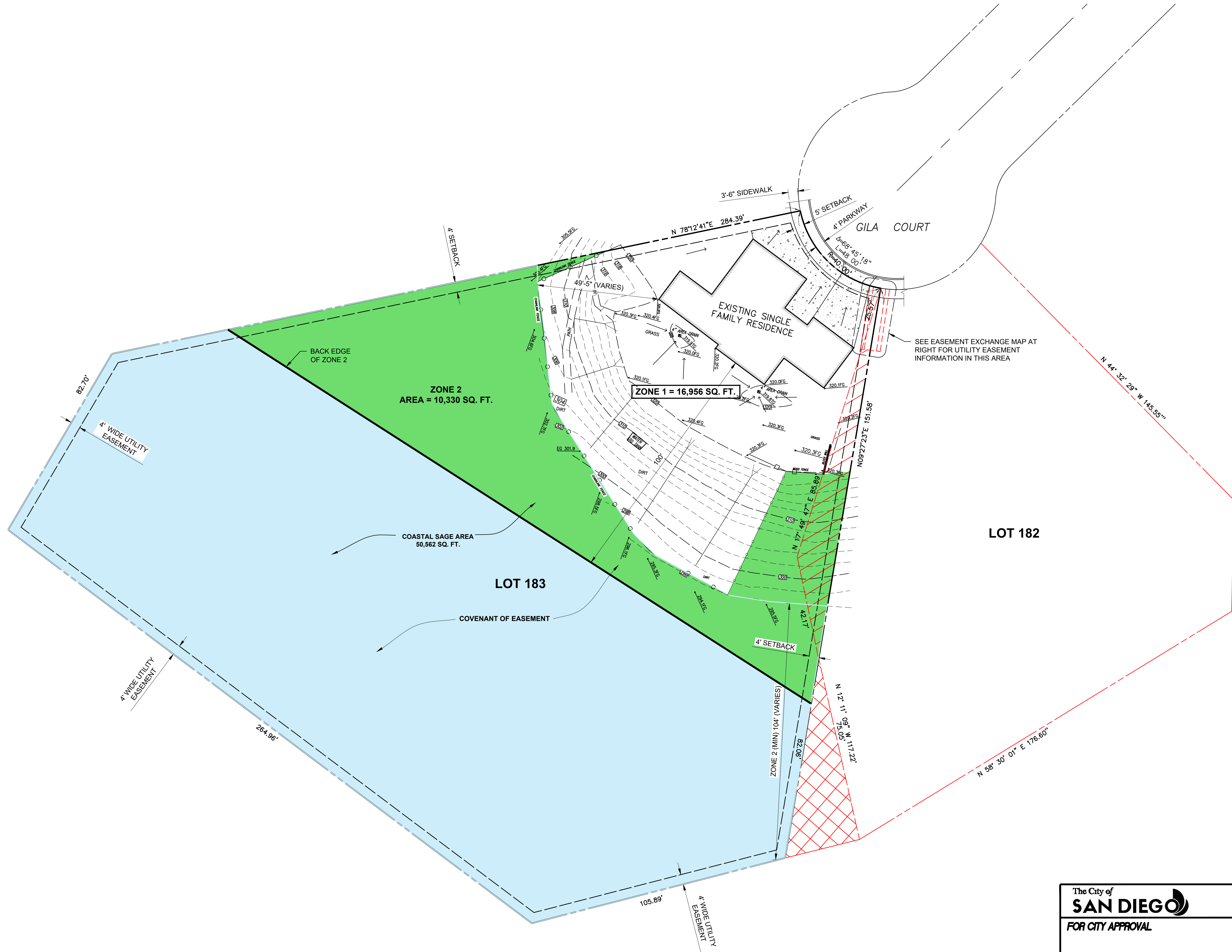


EXHIBIT 'D'

CURVE TABLE			
Curve #	Length	Radius	Delta
C1	48.00'	42'	88°45'18"
C2	48.00'	42'	88°45'18"

NOTE:
THIS PLAT WAS PREPARED FROM RECORD DATA AND DOES NOT REPRESENT A SURVEY OF THE PROPERTY SHOWN HEREON.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS PLAT IS THE WESTERLY LINE OF LOT 182 OF MAP 3004 I.E. N 09° 27' 23" E

LEGEND

- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- PROPOSED EASEMENT 1
AREA=1,135.87 SQUARE FEET
- PROPOSED EASEMENT 2
AREA=1,135.48 SQUARE FEET

183 EASEMENT 1 182
MAP NO. 3004 EASEMENT 2

PROFESSIONAL LAND SURVEYOR
STEVEN A. BUSS
No. 5852
STATE OF CALIFORNIA

PREPARED UNDER DIRECT SUPERVISION OF:
STEVEN A. BUSS 1-12-16
P.L.S. NO. 5852

**EASEMENT EXCHANGE
LOTS 182 AND 183 MAP 3004**

- NOTES:**
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- NOTE:**
THE AREA OF THE PROPOSED COVENANT AREA WOULD BE MAINTAINED IN A ZONE TWO CONDITION

SITE PLAN
SCALE: 1" = 20'

NOTES
NO TRANSIT STOPS ADJACENT TO PROPERTY

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

SITE PLAN

3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of
SAN DIEGO

FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT

SHEET 3 OF 13 SHEETS

APPROVED:

FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
REVISION	MM	ADD EASEMENTS	6-24-24
PC REVS	MM	8-2025 PC REVISIONS	9-9-25
PC REVS	MM	3-17-26 PC REVISIONS	3-17-26
AS BUILTS			

CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

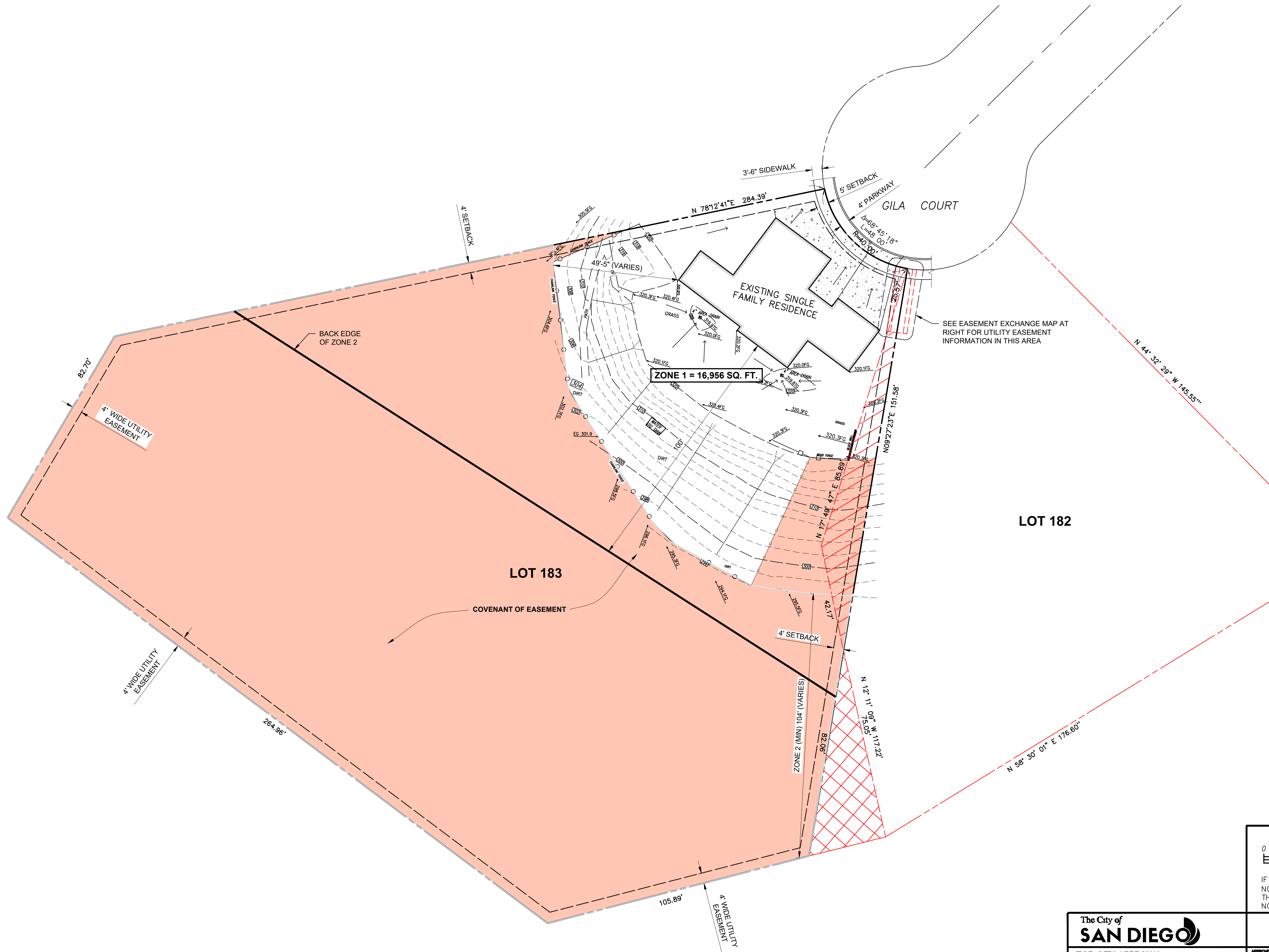
PMT NO. _____

PRJ NO. _____

N 1,878,648.72 (USFT)
E 6,268,443.692 (USFT)
NAD83 COORDINATES

XXX-XXXX
LAMBERT COORDINATES

DRAWING NO. G002.5
XXX.002.D



COVENANT OF EASEMENT EXHIBIT
SCALE: 1" = 20'

WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

SITE PLAN - COVENANT OF EASEMENT

3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of
SAN DIEGO
FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT
SHEET 3 OF 13 SHEETS

PMT NO. _____

APPROVED: _____
FOR CITY ENGINEER _____ DATE _____

PRJ NO. _____

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
REVISION	MM	ADD EASEMENTS	6-24-24
PC REVS	MM	8-2025 PC REVISIONS	9-9-25
PC REVS	MM	3-17-26 PC REVISIONS	3-23-26

N 1,878,648.72 (USFT)
E 6,268,443.692 (USFT)
NAD83 COORDINATES

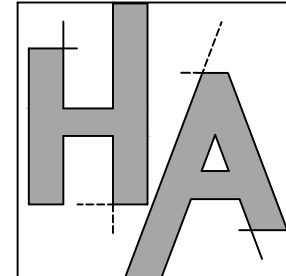
AS BUILTS
CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

XXX-XXXX
LAMBERT COORDINATES

DRAWING NO. **G003**

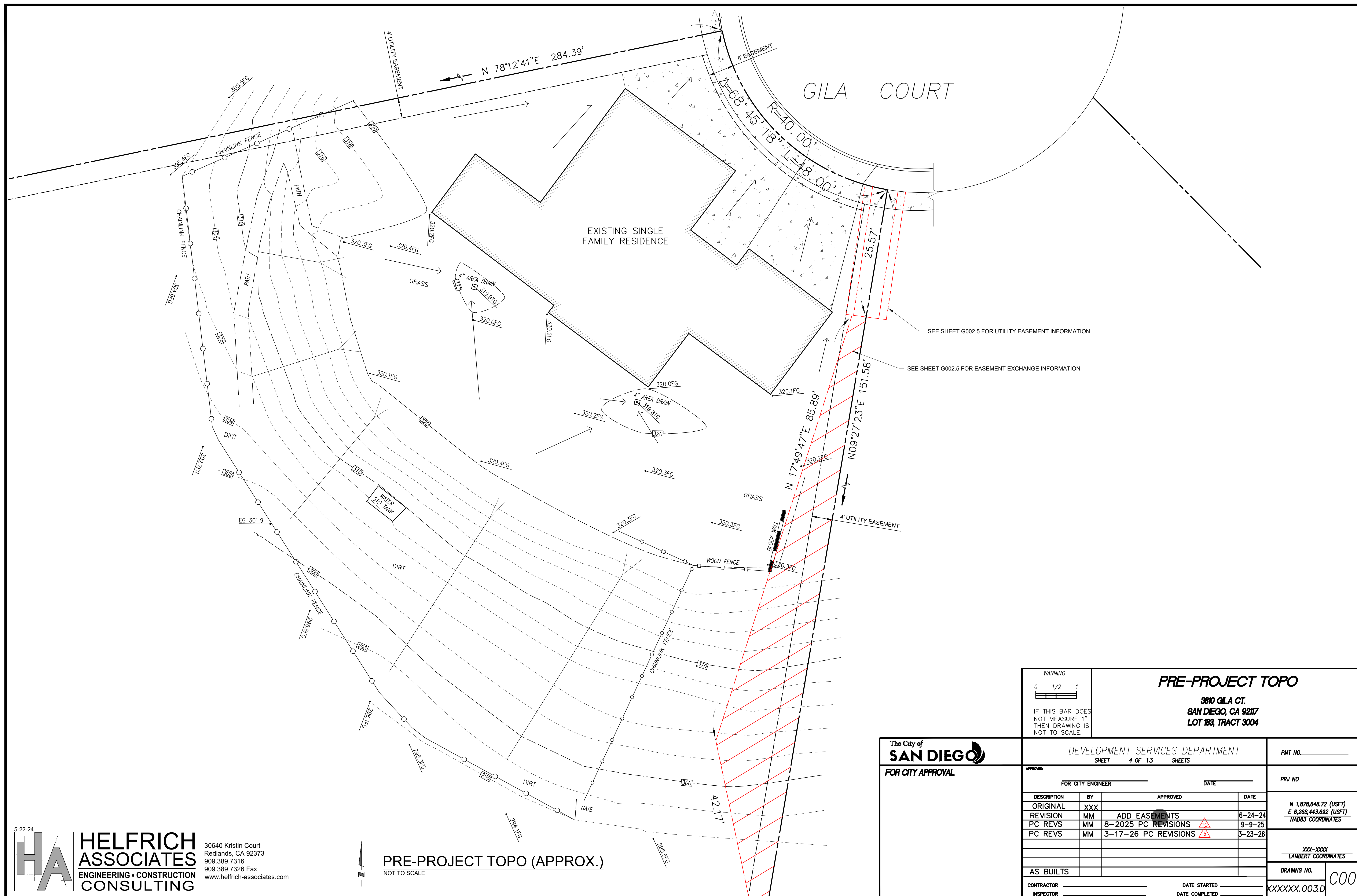
XXX.002.D

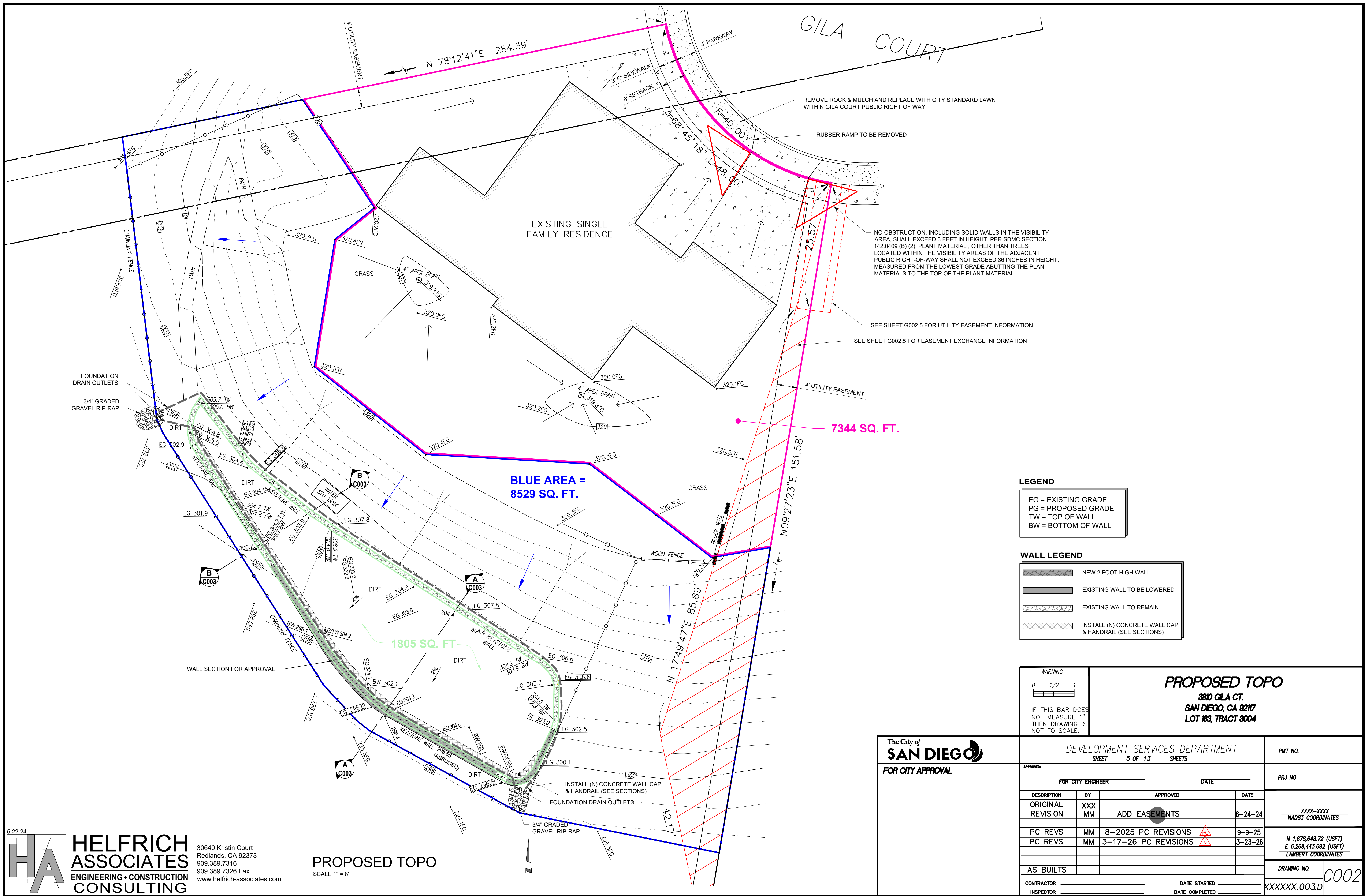
5-22-24



HELFRICH ASSOCIATES
ENGINEERING • CONSTRUCTION CONSULTING

30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com





LEGEND

EG = EXISTING GRADE
PG = PROPOSED GRADE
TW = TOP OF WALL
BW = BOTTOM OF WALL

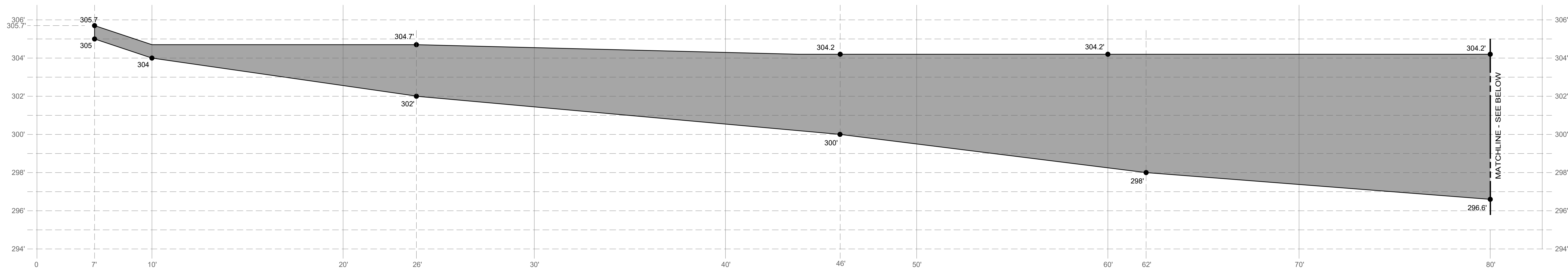
WALL LEGEND

NEW 2 FOOT HIGH WALL
EXISTING WALL TO BE LOWERED
EXISTING WALL TO REMAIN
INSTALL (N) CONCRETE WALL CAP & HANDRAIL (SEE SECTIONS)

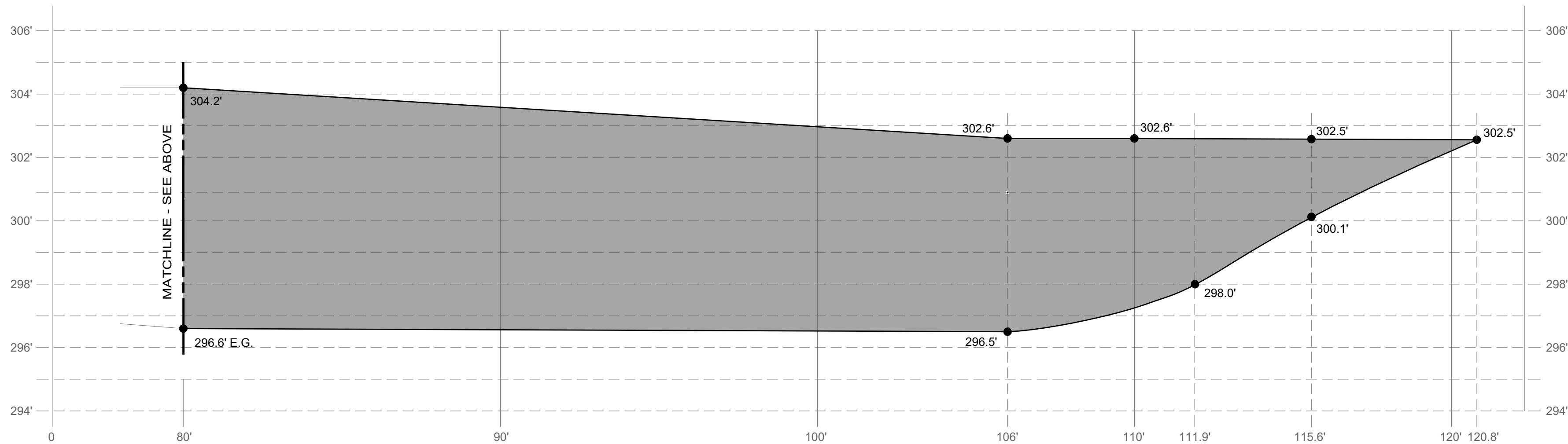
WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

PROPOSED TOPO
3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

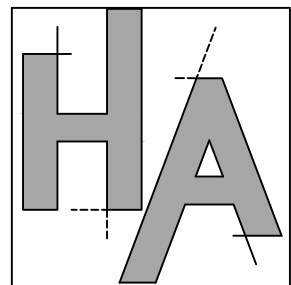
The City of SAN DIEGO FOR CITY APPROVAL	DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 13 SHEETS		PMT NO. _____
	APPROVED: _____ DATE _____ FOR CITY ENGINEER		PRJ NO. _____
	DESCRIPTION	BY	APPROVED
	ORIGINAL	XXX	
	REVISION	MM	ADD EASEMENTS
PC REVS	MM	8-2025 PC REVISIONS	9-9-25
	MM	3-17-26 PC REVISIONS	3-23-26
AS BUILTS			
CONTRACTOR _____ DATE STARTED _____			
INSPECTOR _____ DATE COMPLETED _____			
			XXXXXX.003D



LOWER WALL ELEVATION C
SCALE: 3/8" = 1'-0"



CONTINUATION OF LOWER WALL ELEVATION C
SCALE: 3/8" = 1'-0"



**HELFRICH
ASSOCIATES**
ENGINEERING • CONSTRUCTION
CONSULTING

30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

PROPOSED WALL ELEVATIONS
3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of
SAN DIEGO
FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT
SHEET 7 OF 13 SHEETS

PMT NO. _____

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
REVISION	MM	ADD EASEMENTS	6-24-24
PC REVS	MM	8-2025 PC REVISIONS	9-9-25
PC REVS	MM	3-17-26 PC REVISIONS	3-23-26

N 1,878,648.72 (USFT)
E 6,268,443.692 (USFT)
NAD83 COORDINATES

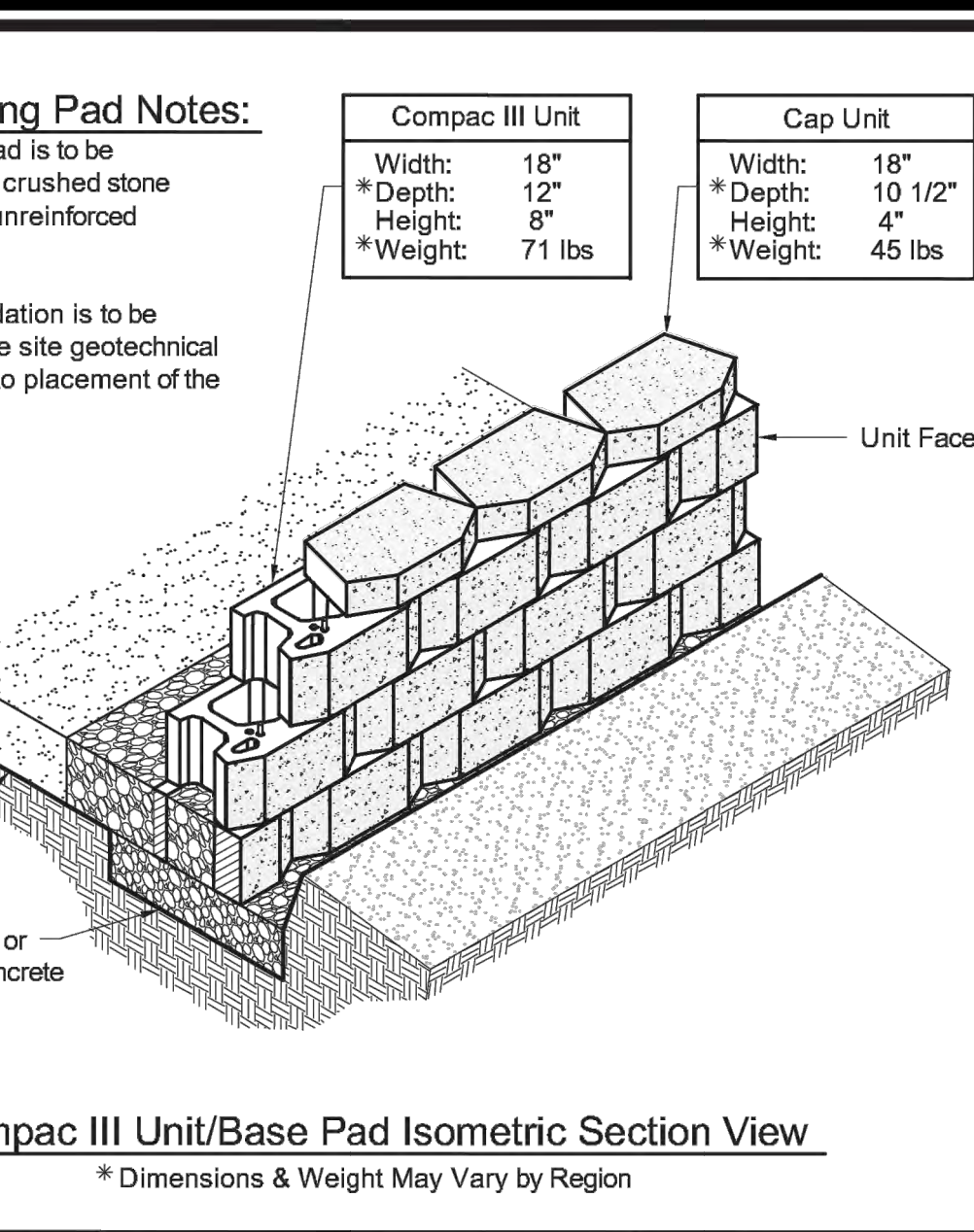
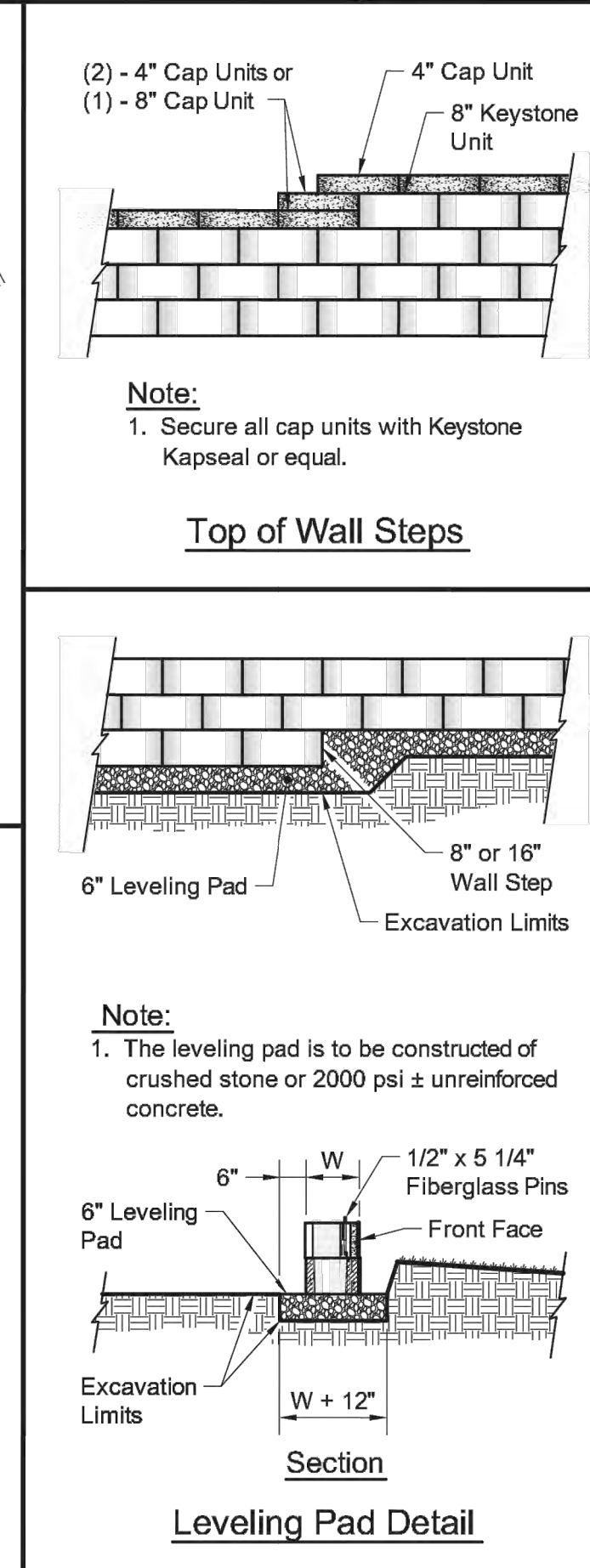
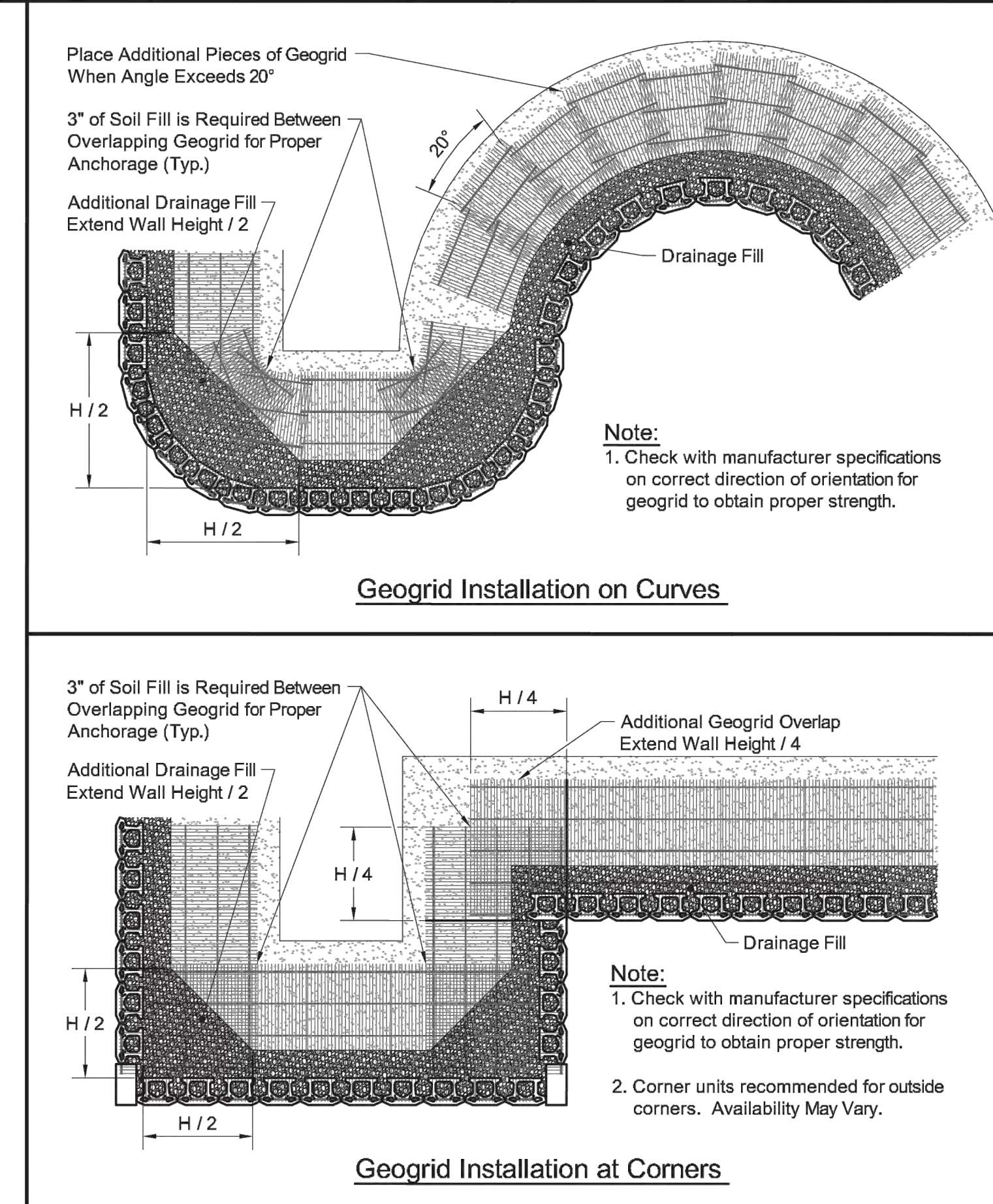
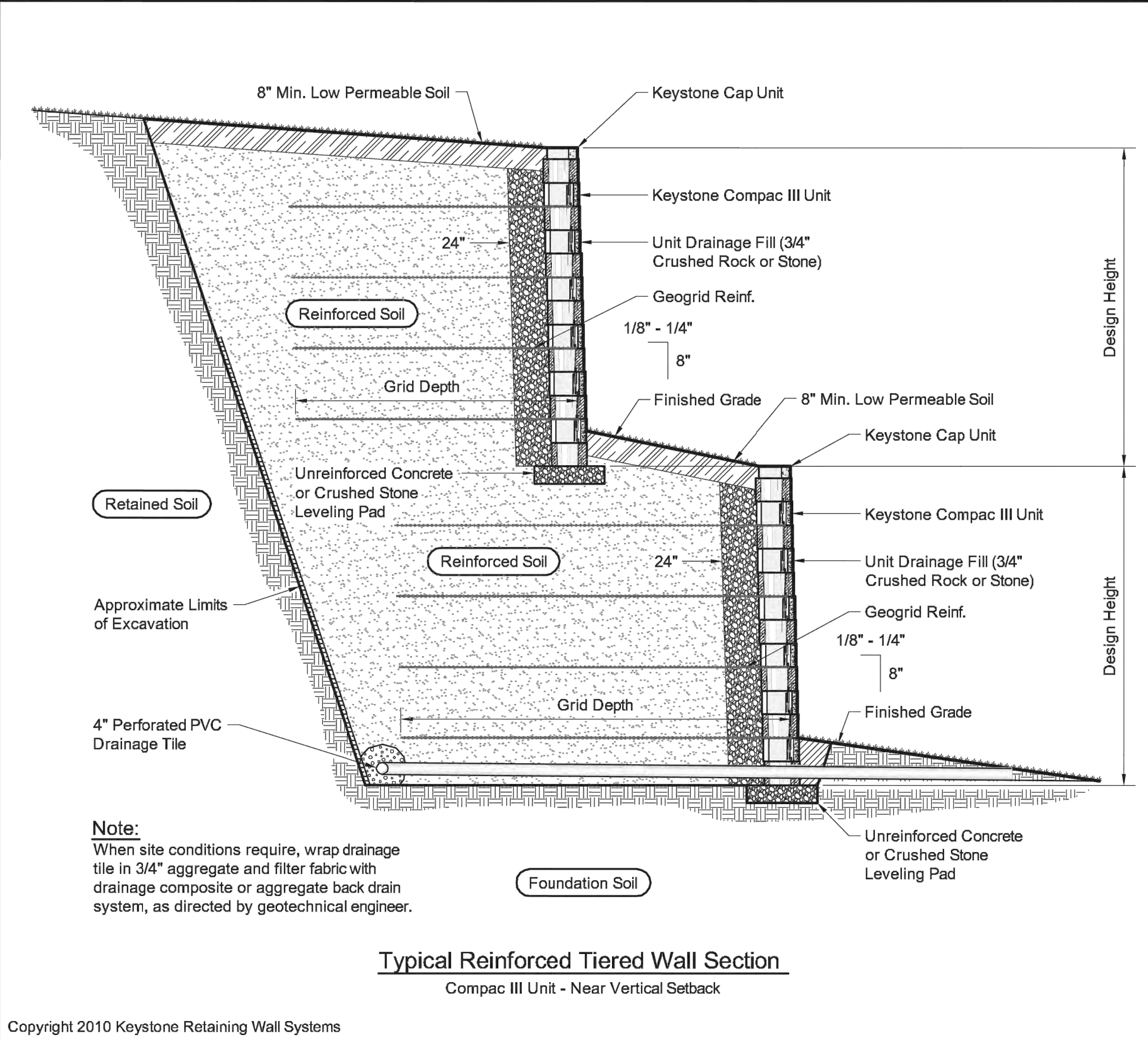
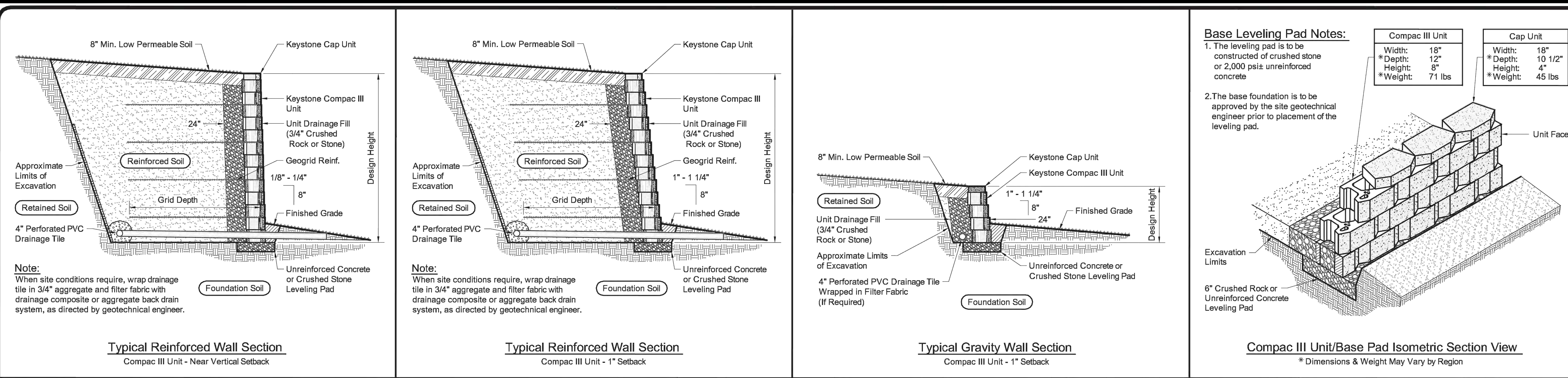
XXX-XXXX
LAMBERT COORDINATES

AS BUILTS			
CONTRACTOR	_____	DATE STARTED	_____
INSPECTOR	_____	DATE COMPLETED	_____

DRAWING NO.

C004

XXXXXXXX.003.D



30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com

RETAINING WALL DETAILS

NO SCALE

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

RETAINING WALL DETAILS

3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of
SAN DIEGO

FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT

SHEET 8 OF 13 SHEETS

APPROVED:

FOR CITY ENGINEER

DATE

DESCRIPTION

BY

APPROVED

DATE

ORIGINAL

XXX

REVISION

MM

ADD EASEMENTS

6-24-24

PC REVS

MM

8-2025 PC REVISIONS

9-9-25

PC REVS

MM

3-17-26 PC REVISIONS

3-23-26

AS BUILTS

CONTRACTOR

DATE STARTED

INSPECTOR

DATE COMPLETED

PMT NO.

PRJ NO.

N 1,878,648.72 (USFT)
E 6,268,443.692 (USFT)
NAD83 COORDINATES

XXX-XXXX
LAMBERT COORDINATES

DRAWING NO.

C005

XXXXXXXX.003D

FORM
DS-560
September 2021

Stormwater Requirements Applicability Checklist

Project Address: 3810 Gila Court, San Diego, CA 92117

Project Number: PRJ-078852

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the [Stormwater Standards Manual](#). Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the [California State Water Resources Control Board](#).

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A – Determine Construction Phase Stormwater Requirements

- Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
☐ Yes, SWPPP is required; skip questions 2-4. ☒ No; proceed to the next question.
 - Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
☒ Yes, WPCP is required; skip questions 3-4. ☐ No; proceed to the next question.
 - Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
☒ Yes, WPCP is required; skip question 4. ☐ No; proceed to the next question.
 - Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.☐ Yes, no document is required.
- Check one of the boxes below and continue to Part B
- ☐ If you checked "Yes" for question 1, an SWPPP is REQUIRED – continue to Part B
- ☒ If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B
- ☐ If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

¹ More information on the City's construction BMP requirements as well as CGP requirements can be found at <http://www.sandiego.gov/stormwater/regulations/index.shtml>

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

P1

PART B – Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2

- ☐ 1. ASBS
- A. Projects located in the ASBS watershed.
- ☐ 2. High Priority
- A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
- B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.
- ☐ 3. Medium Priority
- A. Projects that are not located in an ASBS watershed or designated as a High priority site.
- B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
- C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.
- ☒ 4. Low Priority
- A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

PART C – Determine If Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Stormwater Standards Manual](#) are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
 - If "no" is checked for all the numbers in Part C: Continue to Part D.
- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
☐ Yes ☒ No
 - Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
☐ Yes ☒ No
 - Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).
☐ Yes ☒ No

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

P2

PART D – PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
- If "no" is checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the [City's Stormwater Standards Manual](#)?
☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question

PART E – Determine If Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
- If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification [\[SIC 5812\]](#)), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. ☐ Yes ☒ No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

P3

- New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingling with flows from adjacent lands). ☐ Yes ☒ No
- New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ☐ Yes ☒ No
- New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes [3013](#), [5014](#), [5541](#), [7532-7534](#) or [7536-7539](#). ☐ Yes ☒ No
- Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. ☐ Yes ☒ No

PART F – Select the appropriate category based on the outcomes of Part C through Part E

- The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS**. ☐ Yes ☒ No
- The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the [Stormwater Standards Manual](#) for guidance. ☒ Yes ☐ No
- The Project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance. ☐ Yes ☒ No
- The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance on determining if the project requires hydromodification plan management. ☐ Yes ☒ No

Matt Harvey

Name of Owner or Agent

Homeowner

Title

Signature

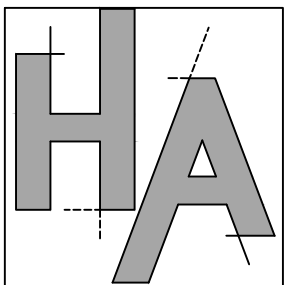
Date

CLEAR FORM

Visit our web site: sandiego.gov/dsd.

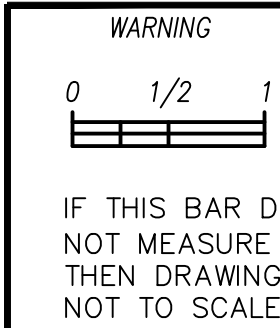
Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

P4



**HELFRICH
ASSOCIATES**
ENGINEERING • CONSTRUCTION
CONSULTING

30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com

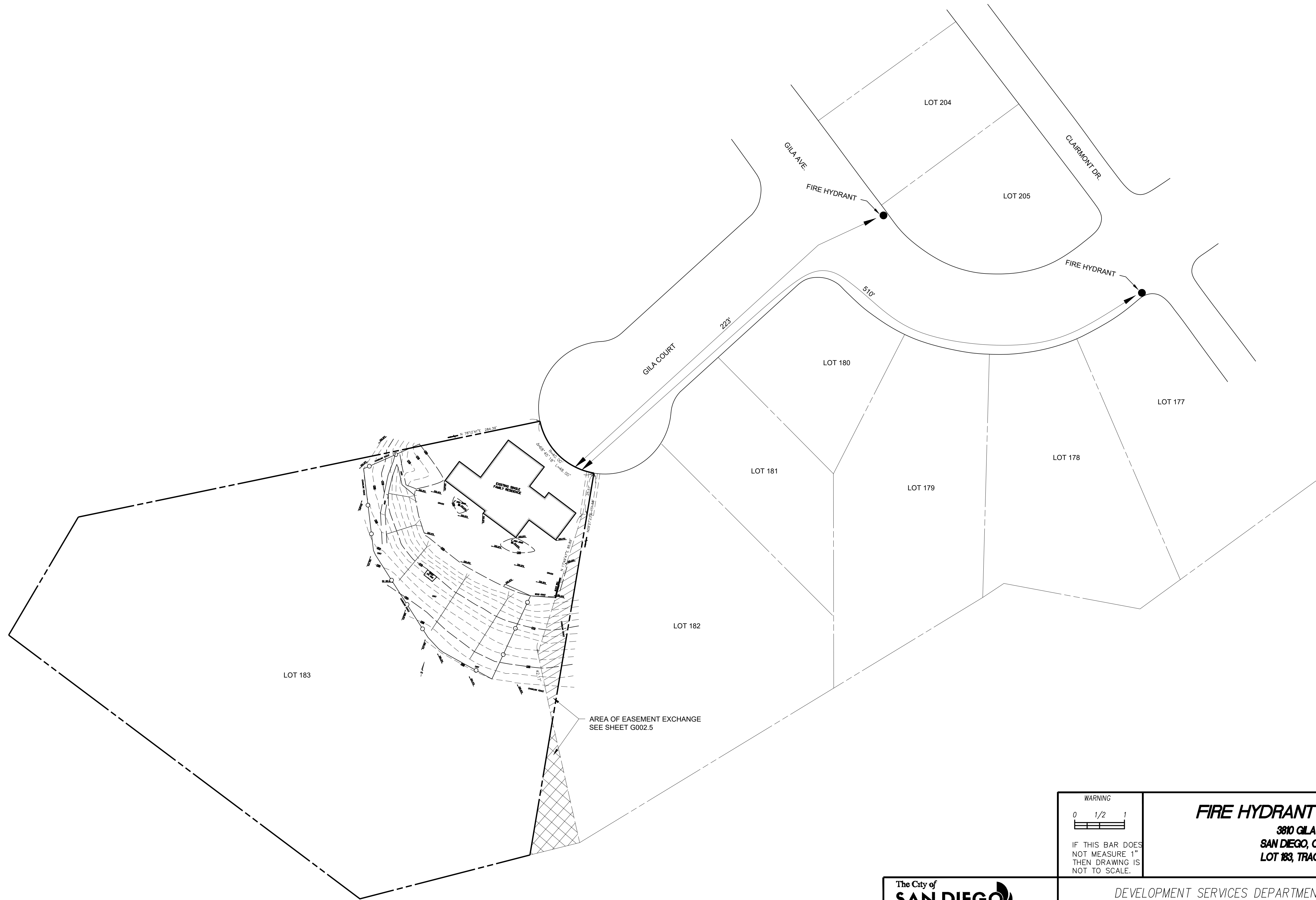


STORMWATER REQUIREMENTS APPLICABILITY CHECKLIST

3810 GILA CT.
SAN DIEGO, CA 92117
LOT 183, TRACT 3004

The City of SAN DIEGO	DEVELOPMENT SERVICES DEPARTMENT SHEET 9 OF 13 SHEETS		PMT NO. _____		
	APPROVED: FOR CITY ENGINEER _____ DATE _____		PRJ NO _____		
FOR CITY APPROVAL	DESCRIPTION	BY	APPROVED	DATE	N 1,878,648.72 (USFT) E 6,268,443.692 (USFT) NAD83 COORDINATES
	ORIGINAL	XXX			
	REVISION	MM	ADD EASEMENTS	6-24-24	
	PC REVS	MM	8-2025 PC REVISIONS	9-9-25	
	PC REVS	MM	3-17-26 PC REVISIONS	3-23-26	
	AS BUILTS				
	CONTRACTOR	DATE STARTED			DRAWING NO. C006
INSPECTOR	DATE COMPLETED				

XXXXXX.003D

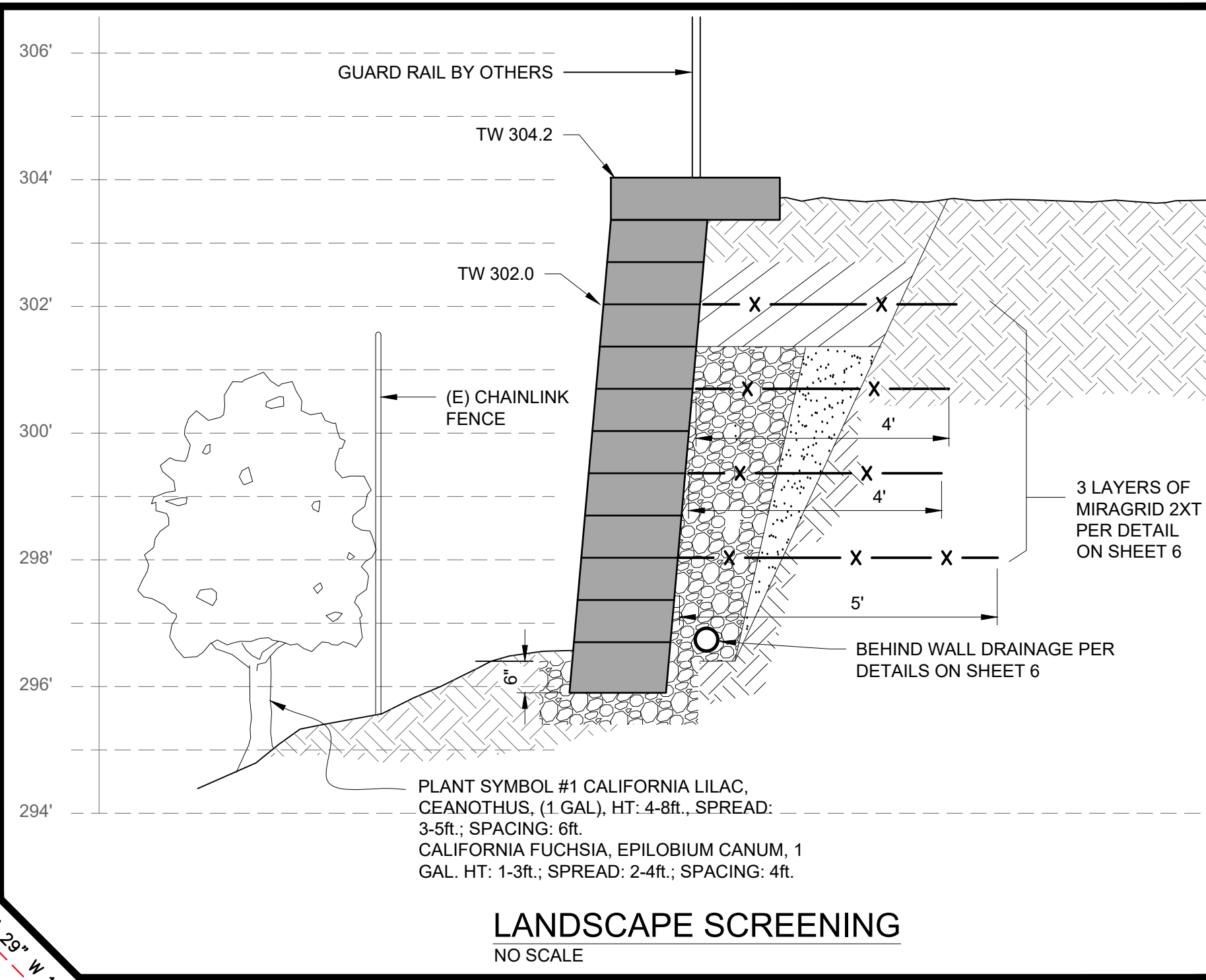
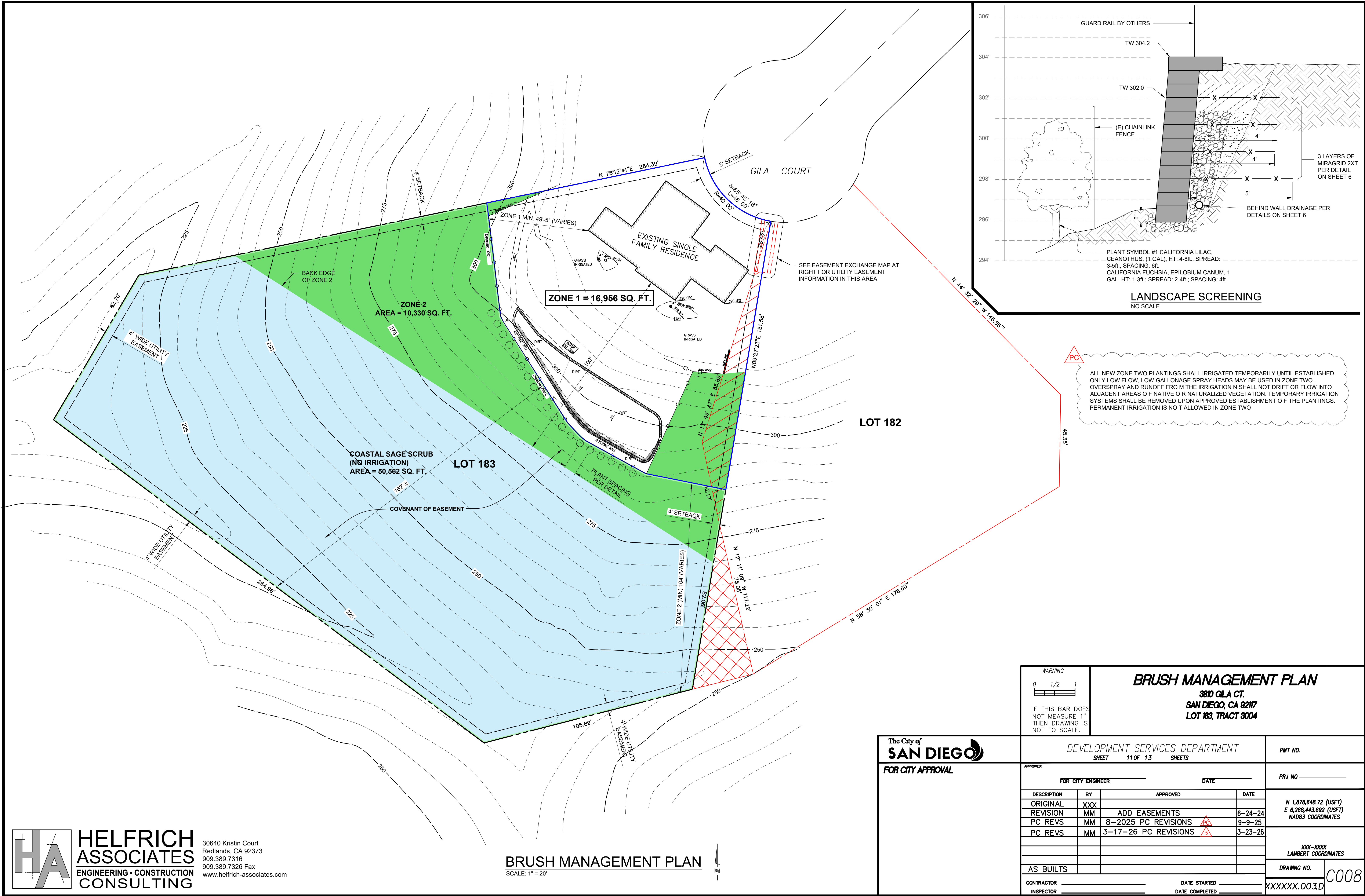


FIRE HYDRANT LOCATIONS
SCALE: 1" = 30'

NOTES
NO TRANSIT STOPS ADJACENT TO PROPERTY



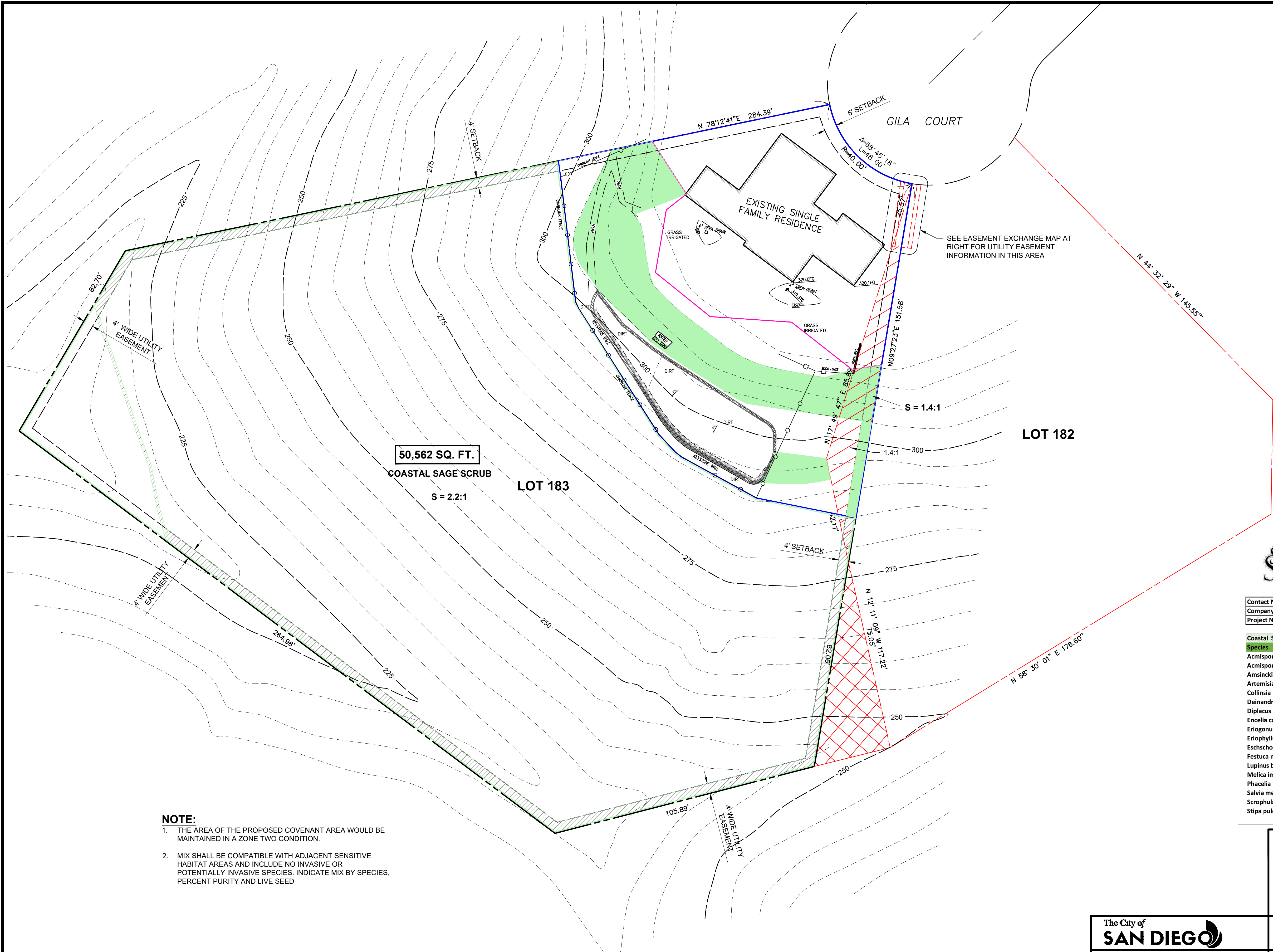
WARNING 0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.		FIRE HYDRANT LOCATIONS 3810 GILA CT. SAN DIEGO, CA 92117 LOT 183, TRACT 3004																																									
The City of SAN DIEGO FOR CITY APPROVAL		DEVELOPMENT SERVICES DEPARTMENT SHEET 10 OF 13 SHEETS																																									
APPROVED: FOR CITY ENGINEER _____ DATE _____		PMT NO. _____ PRJ NO. _____																																									
<table><thead><tr><th>DESCRIPTION</th><th>BY</th><th>APPROVED</th><th>DATE</th></tr></thead><tbody><tr><td>ORIGINAL</td><td>XXX</td><td></td><td></td></tr><tr><td>REVISION</td><td>MM</td><td>ADD EASEMENTS</td><td>6-24-24</td></tr><tr><td>PC REVS</td><td>MM</td><td>8-2025 PC REVISIONS</td><td>9-9-25</td></tr><tr><td>PC REVS</td><td>MM</td><td>3-17-26 PC REVISIONS</td><td>3-23-26</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>AS BUILTS</td><td></td><td></td><td></td></tr></tbody></table>		DESCRIPTION	BY	APPROVED	DATE	ORIGINAL	XXX			REVISION	MM	ADD EASEMENTS	6-24-24	PC REVS	MM	8-2025 PC REVISIONS	9-9-25	PC REVS	MM	3-17-26 PC REVISIONS	3-23-26																	AS BUILTS				N 1,878,648.72 (USFT) E 6,268,443.692 (USFT) NAD83 COORDINATES XXX-XXXX LAMBERT COORDINATES	
DESCRIPTION	BY	APPROVED	DATE																																								
ORIGINAL	XXX																																										
REVISION	MM	ADD EASEMENTS	6-24-24																																								
PC REVS	MM	8-2025 PC REVISIONS	9-9-25																																								
PC REVS	MM	3-17-26 PC REVISIONS	3-23-26																																								
AS BUILTS																																											
CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____		DRAWING NO. C007 XXXXXX.003.D																																									



PC

ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED. ONLY LOW FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO

WARNING 0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.		BRUSH MANAGEMENT PLAN 3810 GILA CT. SAN DIEGO, CA 92117 LOT 183, TRACT 3004	
The City of SAN DIEGO FOR CITY APPROVAL		DEVELOPMENT SERVICES DEPARTMENT SHEET 11 OF 13 SHEETS	PMT NO. _____
APPROVED: FOR CITY ENGINEER _____ DATE _____		DATE _____	PRJ NO. _____
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
REVISION	MM	ADD EASEMENTS	6-24-24
PC REVS	MM	8-2025 PC REVISIONS	9-9-25
PC REVS	MM	3-17-26 PC REVISIONS	3-23-26
AS BUILTS			
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	
		XXXXXX.003D	0008



NOTE:
1. THE AREA OF THE PROPOSED COVENANT AREA WOULD BE MAINTAINED IN A ZONE TWO CONDITION.
2. MIX SHALL BE COMPATIBLE WITH ADJACENT SENSITIVE HABITAT AREAS AND INCLUDE NO INVASIVE OR POTENTIALLY INVASIVE SPECIES. INDICATE MIX BY SPECIES, PERCENT PURITY AND LIVE SEED

4.4 HYDROSEEDING PROCEDURES
4.4-1 SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES.
4.4-2 FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.
4.4-3 A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS.
4.4-4 EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN, THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.

NOTE:
BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

INTERIM BINDER NOTE:
GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDRO SEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDRO SEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

THE AREA OF THE PROPOSED COVENANT EASEMENT AREA SHALL BE MAINTAINED IN A ZONE 2 CONDITION.
PER CITY'S GRADING TEMPLATE SHEET: PROVIDE A PROVISIONAL, NON-IRRIGATED HYDRO SEED MIX FOR THE PURPOSES OF GRADING NOTE 3. MIX SHALL BE COMPATIBLE WITH ADJACENT SENSITIVE HABITAT AREAS AND INCLUDE NO INVASIVE OR POTENTIALLY INVASIVE SPECIES. INDICATE MIX BY SPECIES, PERCENT PURITY AND LIVE SEED (PLS).

		Date 3/13/2026	
PO Box 1275 Carpinteria, CA 93014-1275 - USA Tel. 805-684-0436 * Fax 805-684-279A8			
Contact Name	Kibreyer@sbcglobal.net	Site Location	San Diego Co
Company	Helfrich Associates	Size of Project	TBD
Project Name	2022-62 Harvey-Gila	Irrigation	TBD
Coastal San Diego Sage Scrub			
Species	Common Name	Bulk#/acre	Min % Purity / Min % Germination
Acmispon americanus	American Bird Foot Trefoil	1.00	80 / 50
Acmispon glaber	Desertweed	2.00	85 / 80
Amsinckia intermedia	Common Fiddleneck	1.00	40 / 45
Artemisia californica	California Sagebush	2.00	20 / 20
Collinsia heterophylla	Chineses Houses	1.00	90 / 80
Deinandra fasciculata	Clustered Tarweed	2.00	30 / 20
Diplacus puniceus	Red Monkeyflower	3.00	02 / 25
Encelia californica	Bush Sunflower	3.00	20 / 35
Eriogonum fasciculatum fasciculatum	California Buckwheat	6.00	70 / 08
Eriophyllum confertiflorum	Golden Yarrow	1.00	30 / 60
Eschscholzia californica	California Poppy	2.00	90 / 80
Festuca microstachys	Pacific Fescue	6.00	90 / 85
Lupinus bicolor	Mini Lupine	2.00	90 / 85
Melica imperfecta	Small Flowered Melica	2.00	90 / 60
Phacelia parryi	Parry Phacelia	1.00	70 / 70
Salvia mellifera	Blacks Sage	2.00	80 / 50
Scrophularia californica	California Bee Plant	1.00	30 / 20
Stipa pulchra	Purple Needlegrass	6.00	90 / 70

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

STEEP HILLSIDES

3810 GILA CT.

SAN DIEGO, CA 92117

LOT 183, TRACT 3004

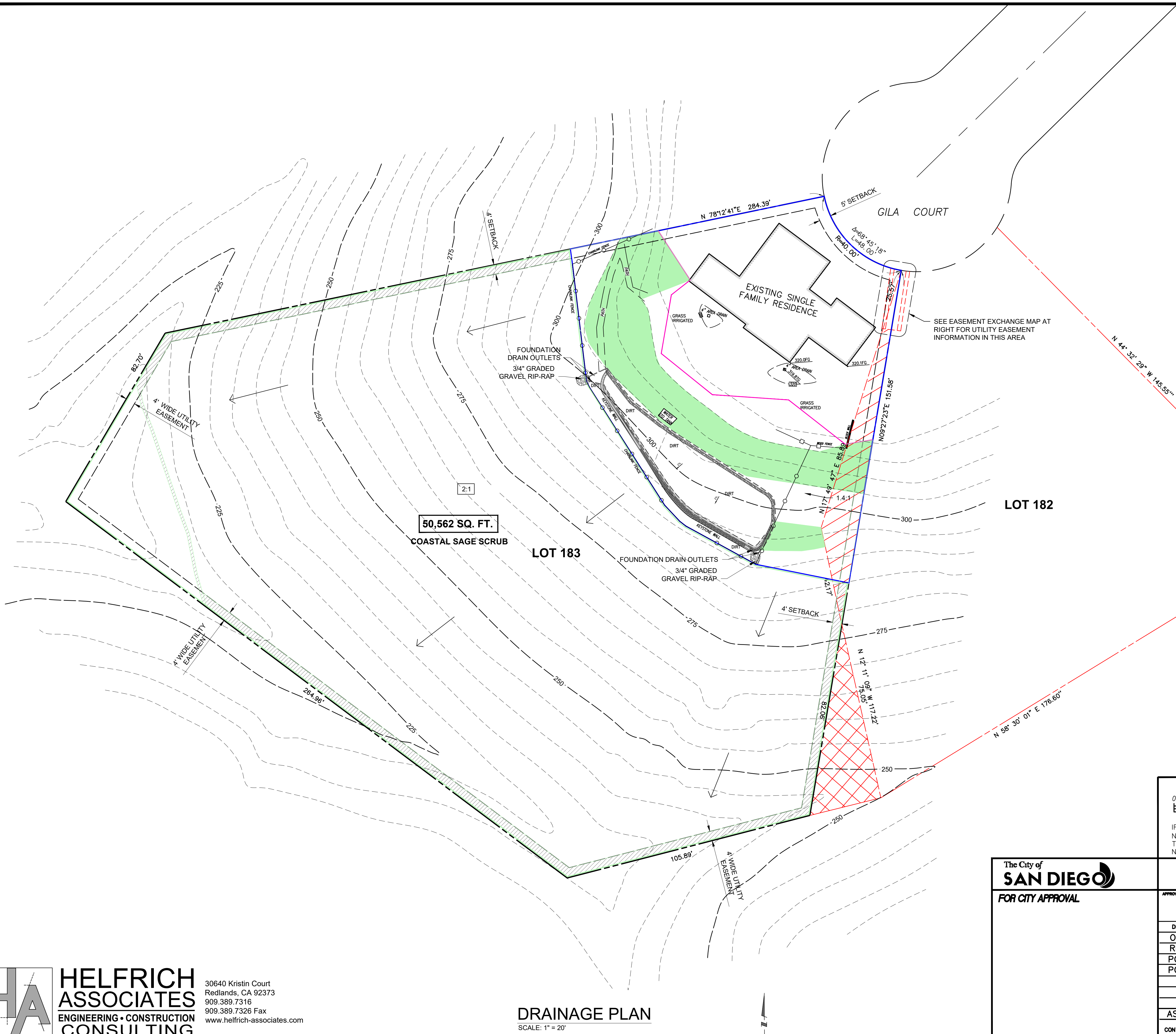
STEEP HILLSIDES
SCALE: 1" = 20'

HELFRICH ASSOCIATES

ENGINEERING • CONSTRUCTION CONSULTING

30640 Kristin Court
Redlands, CA 92373
909.389.7316
909.389.7326 Fax
www.helfrich-associates.com

The City of SAN DIEGO		DEVELOPMENT SERVICES DEPARTMENT		PMT NO. _____			
FOR CITY APPROVAL		SHEET 12 OF 13 SHEETS		PRJ NO _____			
APPROVED:		FOR CITY ENGINEER _____ DATE _____		N 1,878,648.72 (USFT) E 6,268,443.692 (USFT) NAD83 COORDINATES XXX-XXXX LAMBERT COORDINATES DRAWING NO. C009			
DESCRIPTION		BY					
ORIGINAL		XXX					
REVISION		MM ADD EASEMENTS		6-24-24			
PC REVS		MM 8-2025 PC REVISIONS		9-9-25			
PC REVS		MM 3-17-26 PC REVISIONS		3-17-26			
AS BUILTS							
CONTRACTOR		DATE STARTED		XXXXXX.003D			
INSPECTOR		DATE COMPLETED					



PC

ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

INTERIM BINDER NOTE:
GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDRO SEED MIX SHALL RECEIVE AN INTERIM BINDER/ TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDRO SEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

WARNING 0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.		DRAINAGE PLAN 3810 GILA CT. SAN DIEGO, CA 92117 LOT 183, TRACT 3004																					
The City of SAN DIEGO FOR CITY APPROVAL		DRAINAGE PLAN SHEET 13 OF 13 SHEETS																					
APPROVED: FOR CITY ENGINEER _____ DATE _____		PMT NO. _____																					
<table><tr><td>DESCRIPTION</td><td>BY</td><td>APPROVED</td><td>DATE</td></tr><tr><td>ORIGINAL</td><td>XXX</td><td></td><td></td></tr><tr><td>REVISION</td><td>MM</td><td>ADD EASEMENTS</td><td>6-24-24</td></tr><tr><td>PC REVS</td><td>MM</td><td>8-2025 PC REVISIONS</td><td>9-9-25</td></tr><tr><td>PC REVS</td><td>MM</td><td>3-17-26 PC REVISIONS</td><td>3-23-26</td></tr></table>		DESCRIPTION	BY	APPROVED	DATE	ORIGINAL	XXX			REVISION	MM	ADD EASEMENTS	6-24-24	PC REVS	MM	8-2025 PC REVISIONS	9-9-25	PC REVS	MM	3-17-26 PC REVISIONS	3-23-26	PRJ NO. _____	
DESCRIPTION	BY	APPROVED	DATE																				
ORIGINAL	XXX																						
REVISION	MM	ADD EASEMENTS	6-24-24																				
PC REVS	MM	8-2025 PC REVISIONS	9-9-25																				
PC REVS	MM	3-17-26 PC REVISIONS	3-23-26																				
		N 1,878,648.72 (USFT) E 6,268,443.692 (USFT) NAD83 COORDINATES																					
AS BUILTS		XXX-XXXX LAMBERT COORDINATES																					
CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____		DRAWING NO. C010 XXXXXX.003.D																					