



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 17, 2026 REPORT NO. HO-26-038

HEARING DATE: June 24, 2026

SUBJECT: WHALE VIEW POINT STAIRS Process Three Decision

PROJECT NUMBER: [PRJ-1146375](#)

REFERENCE: [La Jolla Park Coastal Historic District, National Register of Historic Places](#)

OWNER/APPLICANT: City of San Diego Parks & Recreation Department

SUMMARY

Issue: Should the Hearing Officer approve the repair and restoration of the Whale View Point Stairs located on the coastal bluff west of [417 Coast Boulevard](#) within the [La Jolla Community Plan](#)?

Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933.

Fiscal Considerations: The CIP budget appropriations for the proposed action have been authorized by Council Ordinance [O-20837](#) under the Regional Park Improvements Fund (Fund No. 200391) within the Coastal Erosion and Access Annual Allocation.

Code Enforcement Impact: There are no pending code enforcement actions for this site.

Housing Impact Statement: The proposed project involves coastal bluff stairs restoration and repair only and does not impact housing.

Community Planning Group Recommendation: On March 3, 2026, the La Jolla Community Planning Group voted 13-0-1 to recommend approval of the project with no conditions.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guideline Section 15301 (Existing Facilities) and Section 15331 (Historic Resource Restoration/Rehabilitation). The environmental exemption

determination for this project was made on April 1, 2026, and the opportunity to appeal that determination ended April 15, 2026. No appeals were filed.

BACKGROUND

The Whale View Point Stairs project is located on the coastal bluff west of Coast Boulevard in the La Jolla Community Planning Area, within Council District 1. The project site is designated for open space and coastal access uses under the La Jolla Community Plan and is zoned within the La Jolla Planned District (LJPD-5) Zone. The site is located within the Coastal Overlay Zone (Appealable Area) and is subject to Environmentally Sensitive Lands regulations due to the presence of coastal bluff features. The eastern portion of the stairway connects to the public right-of-way along Coast Boulevard, a scenic coastal roadway, while the western portion descends the bluff to the shoreline, providing access to tide pools and beach areas. Surrounding land uses include public parkland, coastal open space, and low-density residential development typical of the La Jolla shoreline.

The Whale View Point Stairs are an existing public access facility originally constructed in the 1920s and have historically served as a pedestrian connection between Coast Boulevard and the shoreline below. The stairway is recognized as a contributing feature within the La Jolla Park Coastal Historic District, reflecting its long-standing role in providing public coastal access and its integration into the historic coastal landscape. Over time, exposure to coastal conditions, including salt air, moisture, and heavy public use, has resulted in deterioration of the stairway's concrete surfaces, masonry walls, and associated features.

The proposed project is limited to the repair and restoration of the existing stairway and does not involve expansion of use or modification of the established alignment. The scope of work includes cleaning and repairing the existing concrete stairs, installing protective paver surfaces over stair treads and risers, repairing and capping cobblestone walls, repainting the existing handrail and posts, and conducting minor grading at the top of the stairway to match existing site conditions. The work has been developed in coordination with City staff, including Historic Preservation personnel, to ensure that the restoration approach is consistent with accepted preservation standards and maintains the historic integrity of the structure.

The project site has historically functioned as a public coastal access point and has not been subject to recent discretionary permit approvals for expansion or redevelopment. The current request for a Coastal Development Permit and Site Development Permit is associated with the need to address ongoing maintenance and rehabilitation of the aging structure, particularly given its location within the Coastal Overlay Zone and on environmentally sensitive coastal bluff terrain. The project qualifies as repair and maintenance of an existing facility and has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to applicable sections for existing facilities and historic resource restoration.

No prior Planning Commission or City Council discretionary actions specific to this stairway have been identified that would alter the current review process or affect the proposed project. However, the designation of the La Jolla Park Coastal Historic District on the National Register of Historic Places establishes an important regulatory and policy context for the site. As a contributing resource within this district, the stairway is subject to review considerations related to historic preservation, which have informed the design and scope of the proposed restoration.

The physical conditions of the site, including its location on a coastal bluff and exposure to environmental elements, necessitate maintenance to ensure continued safe public use. The current project represents a continuation of the City's ongoing efforts to preserve and maintain public coastal access infrastructure while protecting environmental and historic resources. The restoration of the Whale View Point Stairs will improve safety and functionality while maintaining the character and purpose of this long-standing coastal access feature.

DISCUSSION

Project Description:

The Whale View Point Stairs Project (Project) proposes the repair and restoration of an existing public coastal access stairway located on an approximately 0.0034-acre site on the coastal bluff west of Coast Boulevard in the La Jolla community. The stairway, originally constructed in the 1920s, provides a direct pedestrian connection from the public right-of-way to the shoreline, including access to tide pools and beach areas. The Project is limited to maintenance and rehabilitation activities and does not include expansion of the existing footprint, increase in capacity, or modification to the alignment or overall configuration of the stairway.

The existing stairway consists of concrete stair treads and risers, cobblestone masonry side walls, and a single handrail system with associated posts. The stairway descends the coastal bluff in a linear configuration and is partially located within the public right-of-way along Coast Boulevard, with the remaining portion extending down the bluff face to the beach below. The structure varies in elevation consistent with the natural bluff slope but does not include vertical building elements such as enclosed structures or overhead features.

The proposed Project includes a series of restoration measures intended to improve structural integrity, enhance public safety, and preserve the historic character of the stairway. These improvements include cleaning of the existing concrete surfaces to remove accumulated sand, debris, and salt residue; application of a slurry bond coat to stabilize and smooth existing surfaces; and installation of precast concrete pavers over the existing stair treads, risers, and landings. The selected paver materials are designed to visually match the existing concrete and maintain compatibility with the historic character of the feature while providing increased durability and slip resistance. Additional improvements include repair of the cobblestone side walls through replacement of damaged or missing cobble facing and installation of new precast concrete caps to protect wall tops from further deterioration. The existing handrail and associated posts will be repainted to maintain visibility and corrosion resistance, consistent with existing color and finish. Minor regrading will occur at the top of the stairway to ensure a smooth and safe transition between the stairway and the adjacent ground surface. No significant excavation or alteration of natural landforms is proposed.

All construction activities will be conducted using hand tools and light equipment, including shovels, wheelbarrows, and small power tools. The use of heavy machinery is not anticipated due to the constrained nature of the site and the need to minimize disturbance to the coastal bluff environment. Construction staging will occur within the adjacent public right-of-way along Coast Boulevard, and construction access will be limited to existing access points.

The Project does not include habitable structures, residential units, commercial uses, or enclosed space. Accordingly, there are no building heights, floor area ratios, or occupancy classifications associated with the development. The stairway will continue to function as a public pedestrian access facility and will remain open to the public on a continuous basis, consistent with existing conditions. No changes to hours of operation or use intensity are proposed. The stairs will be temporarily limited at times during the 3-4 week restoration schedule.

Pedestrian circulation will remain unchanged, as the Project maintains the existing access route and improves the condition of the walking surface. The stairway will continue to serve as a key vertical access connection between Coast Boulevard and the shoreline. Vehicular circulation patterns in the surrounding area will not be altered. Temporary impacts to parking and pedestrian access may occur during construction due to staging activities; however, these impacts will be short-term and managed through appropriate traffic control and public safety measures.

The Project is designed to be consistent with the surrounding coastal environment and adjacent land uses, which include public parkland, coastal open space, and low-density residential development along Coast Boulevard. The stairway is located within a highly visited coastal area that includes nearby public access points, scenic overlooks, and recreational resources. The restoration of the stairway will complement these uses by maintaining and improving access to the shoreline while preserving the visual and historic character of the site. The Project also supports the continued functionality of the broader coastal access network within La Jolla, which includes a system of public accessways connecting upland areas to beaches and coastal resources. By rehabilitating an existing and historically significant access feature, the Project contributes to the long-term sustainability of this network without introducing new development intensity or environmental impacts.

The Project design has been developed to ensure compatibility with the La Jolla Park Coastal Historic District, within which the stairway is recognized as a contributing resource. Materials, finishes, and construction methods have been selected to maintain the historic appearance of the structure while providing modern performance characteristics necessary for long-term durability in a coastal environment. Grading associated with the Project is minimal and limited to minor adjustments necessary to match existing conditions. No significant changes to drainage patterns, bluff stability, or natural landforms are proposed. The Project does not include utilities expansion, lighting installation, or new infrastructure beyond the repair of existing features. Overall, the Whale View Point Stairs Project is a focused restoration effort that preserves an existing public coastal access facility, improves safety and durability, and maintains consistency with surrounding land uses, environmental constraints, and historic preservation objectives.

Permits Required:

Where more than one type of decision process is required for a project, then the decisions are consolidated and taken to the highest decision level.

- Process CIP/Public Project – Process three Coastal Development Permit per SDMC Section [126.0702\(a\)](#) and [126.0707\(b\)](#) for development within the Coastal Overlay Zone; and

- A Process CIP/Public Project – Process two Site Development Permit per SDMC Section [126.0502\(f\)\(1\)](#) on a site that contains Environmentally Sensitive Lands (Coastal Bluffs).

The Whale View Point Stairs repair and restoration is consistent with the uses allowed within sensitive coastal bluff areas per SDMC sections [143.0130\(a\)\(9\) and \(10\)](#), which include:

- Public stairways, ramps, and other physical beach access facilities, as identified within an applicable land use plan; and
- Essential public walkways leading to permitted beach access facilities.

Community Plan Analysis:

The [La Jolla Community Plan and Local Coastal Program Land Use Plan](#) (Community Plan) designates the project site as “Parks and Open Space,” as illustrated in the Community Land Use Map (Figure 1). The Whale View Point Stairs are an existing public coastal access facility located within this designation, providing vertical access from Coast Boulevard to the shoreline, including tide pools and beach areas. The proposed Project consists solely of the repair and restoration of this existing accessway and does not alter the use, intensity, or footprint of development. As such, the Project is consistent with and supports the underlying Parks and Open Space land use designation.

The Community Plan establishes coastal access as a foundational component of land use planning in La Jolla, emphasizing the importance of maintaining and enhancing public access to shoreline resources. The Whale View Point Stairs are identified within Appendix G, Subarea E: Coast Boulevard, as part of the network of vertical access points connecting the bluff top to the shoreline. Specifically, the plan identifies Nicholson’s Point (Whale View Point) as a shoreline access location that provides both recreational opportunities and connectivity within the broader coastal access system. The proposed restoration directly supports these policies by maintaining and improving an existing access point within this designated coastal access network. The Project enhances the safety, durability, and usability of the stairway, ensuring continued public access to the shoreline. This is consistent with Community Plan policies that call for the identification, preservation, and improvement of public accessways, including vertical access points from public rights-of-way to the beach.

The Natural Resources and Open Space System Element of the Community Plan emphasize the protection of environmentally sensitive coastal features, including coastal bluffs, beaches, and marine resources, while balancing the need for public access. The plan identifies coastal bluffs as one of La Jolla’s most significant natural resources and establishes policies to ensure that development minimizes impacts on these sensitive landforms. The proposed Project is limited to the repair and rehabilitation of an existing structure within a previously disturbed footprint and does not involve expansion, grading beyond minor adjustments, or encroachment into undisturbed bluff areas. Therefore, the Project is consistent with policies requiring that development protect the natural and topographical character of coastal bluff environments.

The Community Plan also places significant emphasis on the preservation of public views and visual access to the coastline. The Visual Access maps within Appendix G identify Coast Boulevard and

adjacent bluff areas as key public vantage points that provide panoramic and framed views of the ocean. The Project does not introduce any vertical elements, structural expansions, or visual obstructions. All improvements are limited to the existing stairway footprint and are designed to be visually compatible with the surrounding environment. As a result, the Project preserves public views and is consistent with Community Plan policies that protect scenic coastal vistas and viewsheds.

The primary goals within the Community Plan further reinforce the importance of enhancing public access to coastal resources. One of the primary community goals is to “enhance existing public access to the ocean, beach and park areas...to be of greatest benefit to neighborhood residents and visitors.” The proposed Project fulfills this goal by restoring an aging accessway that has experienced deterioration due to environmental exposure and public use. By improving the condition and safety of the stairway, the Project ensures continued and improved access to coastal resources for both residents and visitors.

More specifically, the Project is consistent with the following Community Plan goals and recommendations:

Plan recommendations within the Natural Resources and Open Space System Element encourage ongoing maintenance and improvement of coastal access facilities to support recreational use of shoreline areas. The restoration of the Whale View Point Stairs directly implements this recommendation by rehabilitating a heavily utilized access point, thereby promoting continued public use of coastal resources and supporting the recreational function of the coastline. The Community Plan also emphasizes the importance of clearly identifying and maintaining public access points along the coastline. The Project supports this objective by preserving an existing, designated accessway and ensuring that it remains safe, functional, and accessible. This aligns with broader policies that promote awareness, usability, and continuity of the coastal access network.

Additionally, the Heritage Resources Element of the Community Plan highlights the importance of preserving historic structures that contribute to the identity and character of La Jolla. The Whale View Point Stairs are recognized as a contributing resource within the La Jolla Park Coastal Historic District. The proposed restoration has been designed to maintain the historic character of the stairway through the use of compatible materials and rehabilitation techniques. This approach is consistent with Community Plan policies that call for the preservation and continued use of historic resources in a manner that reflects their original character and significance.

Finally, the Community Plan identifies La Jolla as a “special community” of regional and statewide significance, with a strong emphasis on protecting its coastal setting, natural resources, and visitor-serving amenities. The Project supports this designation by maintaining an important public access feature that contributes to the community’s recreational and scenic value, while ensuring that the coastal environment and historic context are preserved. In summary, the Whale View Point Stairs Project maintains the existing Parks and Open Space land use designation, preserves and enhances a designated coastal accessway, protects environmentally sensitive coastal bluff resources, maintains public views to the ocean, and supports the preservation of a historic resource. For these reasons, the Project is consistent with the goals, policies, and recommendations of the La Jolla Community Plan and Local Coastal Program Land Use Plan.

Conclusion:

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed in conformance with the Land Development Code of the SDMC. The implementation of the project supports the policies and goals of the Community Plan, as substantiated by the draft findings. Staff therefore recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933, with modifications.
2. Deny Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

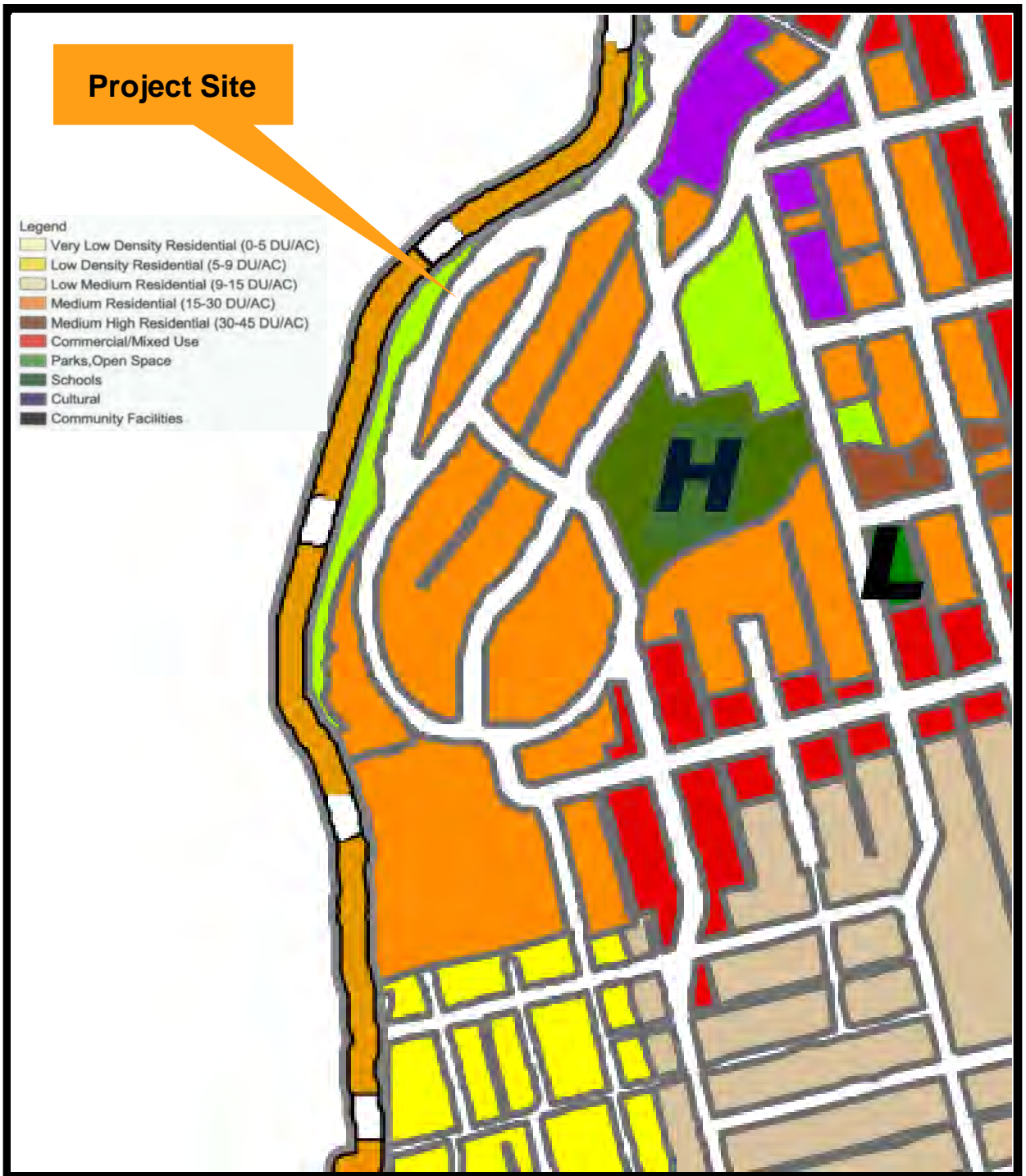


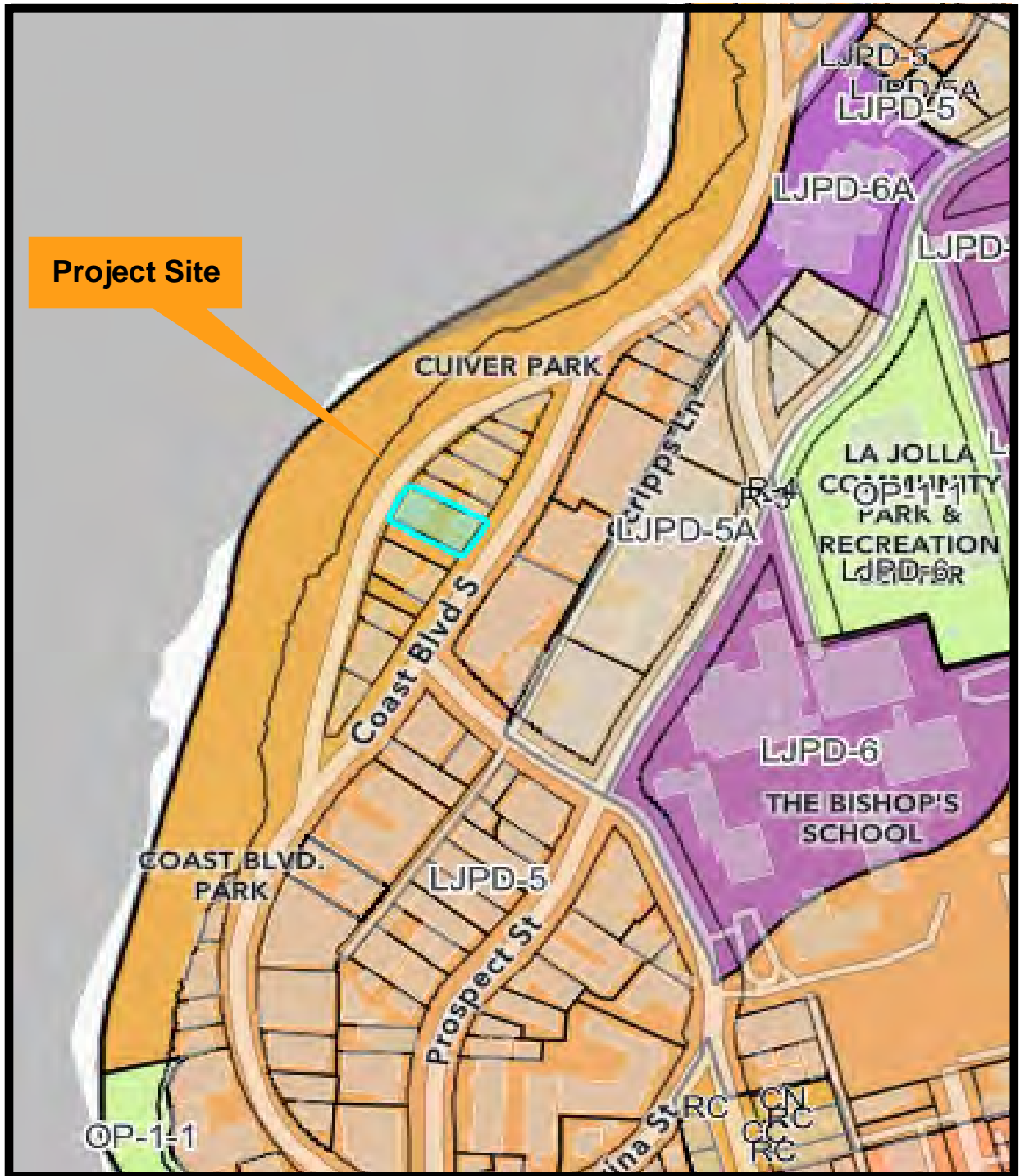
Spencer Deane
Development Project Manager
Development Services Department

Attachments:

1. Project Location
2. Community Plan Land Use Map
3. Zoning Map
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Notice of Right to Appeal
7. Ownership Disclosure Statement
8. Project Plans







Project Site



Zoning Map

417 Coast Boulevard
Project No. PRJ-1146375

North



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
DSD-1A

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 21005784

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3413973
SITE DEVELOPMENT PERMIT NO. PMT-3385933
WHALE VIEW POINT STAIRS PROJECT NO. PRJ-1146375
HEARING OFFICER

This Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933 is granted by the Hearing Officer of the City of San Diego to City of San Diego, a municipal corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505(a) and 126.0505(b). The 0.0034 -acre site is located on the coastal bluff West of 417 Coast Boulevard in the Coastal Overlay (Appealable) Zone and LJPD-5 Base Zone of the La Jolla Community Planning Area. The project site is legally described as: APN: 350-290-0800, BLOCKS J & K, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to repair and restore the existing Whale View Point Stairs, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated **June 24, 2026**, on file in the Development Services Department.
The project shall include:

- a. Repair and maintenance include capping of historic treads and risers with precast concrete pavers, capping of cobblestone side walls with precast concrete pavers, and painting of the existing handrail and wooden posts;
- b. Off-street parking will be slightly impacted during the 3-4 week restoration schedule. Three parking spaces are needed during business hours: 7:00AM-3:30PM Monday through Friday.;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within 6 years (72) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 72-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **June 24, 2032**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall incorporate all necessary construction Best Management Practices (BMPs) into the construction plans or specifications to ensure compliance with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code (SDMC), to the satisfaction of the City Engineer.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2, Construction BMP Standards, Chapter 4 of the City of San Diego's Stormwater Standards Manual.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on **June 24, 2026** and Approved Resolution Number **HO-XXXX**.

ATTACHMENT 4

COASTAL DEVELOPMENT PERMIT NO. PMT-3413973

SITE DEVELOPMENT PERMIT NO. PMT-3385933

Date of Approval: June 24, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Spencer Deane
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**CITY OF SAN DIEGO, A MUNICIPAL
CORPORATION**
Owner/Permittee

By _____
Patrick Hadley
Deputy Director
Parks & Recreation Department

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER

RESOLUTION NUMBER **HO-XXXX**

DATE OF FINAL PASSAGE **June 24, 2026**

COASTAL DEVELOPMENT PERMIT NO. PMT-3413973 AND
SITE DEVELOPMENT PERMIT NO. PMT-3385933
WHALE VIEW POINT STAIRS PROJECT NO. PRJ-1146375

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. The City of San Diego, a municipal organization, Owner/Permittee, submitted an application to the City of San Diego for a Coastal Development Permit and Site Development Permit to repair and restore the Whale View Point Stairs to include capping of historic treads and risers with precast concrete pavers, capping of cobblestone side walls with precast concrete pavers, and painting of the existing handrail and wooden posts (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the Whale View Point Stairs project (Project).

B. The 0.0034-acre site is located on the coastal bluff West of 417 Coast Boulevard within the La Jolla Community Plan in the LJPD-5 Base Zone Designation (OZM), and the Coastal Overlay (Appealable) Zone. The project site is legally described as: APN: 350-290-0800, BLOCKS J & K, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA.

C. On April 1, 2026, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15331 (Historic Resource Restoration/Rehabilitation); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

D. On June 24, 2026, the Hearing Officer considered Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933:

A. COASTAL DEVELOPMENT PERMIT – San Diego Municipal Code (SDMC) Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed coastal development consists of the repair and restoration of an existing vertical public accessway located west of 417 Coast Boulevard. The stairway is sited partially within the public right-of-way and partially on the coastal bluff at Nicholson Point Beach (a.k.a. Whale View Point) within the La Jolla Community Plan area. The stairway provides an established and historically significant pedestrian connection from the public right-of-way to the shoreline, tide pools, and beach areas below. The project includes cleaning and repairing the existing concrete stairs, installing precast concrete pavers over the existing stair treads and risers, repairing and capping the cobblestone side walls, repainting the existing handrail and posts, and performing minor regrading at the top of the stairway to ensure a smooth transition to existing grades.

The project does not propose any expansion, relocation, or realignment of the existing stairway. The footprint, width, and configuration of the accessway will remain unchanged. As such, the project will not encroach upon or diminish any existing public accessway. Instead, the work is limited to restoring and maintaining an existing coastal access facility that has experienced deterioration over time due to environmental exposure and heavy public use. The stairs will be temporarily limited at times during the 3-4 week restoration schedule. The restoration will significantly enhance the usability and safety of the accessway by stabilizing walking surfaces, repairing damaged structural elements, and improving overall conditions for pedestrian travel. These improvements will facilitate continued public access to coastal resources, including tide pools and beach areas, which are key recreational and environmental assets within the La Jolla community.

The project does not introduce any vertical features, new structures, or visual obstructions that would interfere with public views. All work occurs within the existing footprint of the stairway and utilizes materials and finishes designed to be compatible with the surrounding environment. As a result, public views to and along the ocean, as well as scenic coastal vistas from Coast Boulevard and surrounding areas, will be preserved and remain unobstructed. For these reasons, the proposed coastal development will not encroach upon any existing public accessway and will enhance public access while protecting visual access to the coastline, consistent with the Visual Access maps within Appendix G of the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located partially within the public right-of-way and partially on a coastal bluff containing sensitive coastal bluffs and requiring compliance with the Environmentally Sensitive Lands (ESL) Regulations under San Diego Municipal Code (SDMC) section 143.0110. Uses allowed within sensitive coastal bluff areas per SDMC section 143.0130(a)(9) include public stairways, ramps, and other physical beach access facilities, as identified within an applicable land use plan. The proposed development is limited to the repair and restoration of an existing stairway that has been in place for approximately 100 years and is located within a previously disturbed and developed footprint. The project does not propose any expansion of the existing structure or disturbance of undisturbed natural areas.

All work will be confined to the existing stairway, adjacent masonry walls, and immediately surrounding disturbed areas. Construction activities will be conducted using hand tools and small-scale equipment, thereby minimizing the potential for ground disturbance, soil compaction, or impacts to adjacent sensitive resources. The limited scope of work ensures that no grading or excavation will occur beyond minor adjustments necessary to match existing conditions at the top of the stairway.

Stormwater Best Management Practices (BMPs) will be implemented during construction to prevent erosion, sedimentation, and impacts on nearby coastal bluff areas. These measures will include erosion control techniques, dust suppression, proper handling and disposal of materials, and protection of surrounding vegetation. The use of these practices will ensure that construction activities do not result in adverse impacts to the coastal bluff or adjacent environmentally sensitive areas. Because the project involves only the restoration of an existing structure within a previously disturbed area and incorporates appropriate construction controls, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project is located within the La Jolla Community Plan area, which includes policies and recommendations to preserve and enhance public access to coastal resources,

maintain scenic coastal areas, and protect environmentally sensitive lands. The Whale View Point Stairs serve as an important public access point connecting the upland area along Coast Boulevard to the shoreline and tide pools below.

The proposed development supports the policies of the Heritage Resources Element of the Community Plan and the goals of enhancing public access to coastal resources by maintaining and restoring an existing coastal access facility. By improving the structural integrity and safety of the stairway, the project ensures continued public use and enjoyment of coastal resources while preserving the historic character of the feature. The work is limited to repair and rehabilitation and does not involve any change in land use, intensity, or development footprint. The project is consistent with policies that encourage the maintenance and improvement of public accessways and recreational facilities in coastal areas. It also aligns with policies aimed at preserving scenic views and minimizing visual impacts, as the project does not introduce new structures or alter the visual character of the site.

Additionally, the project complies with applicable Environmentally Sensitive Lands regulations by limiting all work to an existing disturbed area and avoiding impacts to adjacent natural landforms and vegetation. The restoration approach is consistent with permitted uses within coastal bluff areas, particularly those related to maintaining public access facilities. Because the project maintains an existing use, enhances public access, preserves scenic views, and complies with all applicable regulations, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located between Coast Boulevard and the Pacific Ocean and provides a direct pedestrian connection to the shoreline. The Whale View Point Stairs are a long-standing public accessway that allows residents and visitors to reach coastal resources, including beaches and tide pools. The proposed development will temporarily affect access during construction activities; however, these impacts will be short-term and carefully managed. Construction will be conducted in a manner that minimizes disruption, and alternative access routes in the surrounding area will remain available to the public. The temporary nature of construction impacts ensures that long-term public access will not be adversely affected.

Upon completion, the project will enhance public access by improving the safety, durability, and functionality of the stairway. The restored stairway will provide a more stable and reliable path of travel, reducing hazards associated with deterioration and improving overall user experience. These improvements directly support the Coastal Act's policies for maximizing public access to the shoreline and ensuring safe and

equitable access for all users. The project does not include any features that would restrict or limit public use, nor does it privatize or reduce access capacity. Instead, it maintains and enhances an existing public facility that is essential for coastal access. Therefore, the proposed coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT - SDMC Section 126.0505

1. Findings for all Site Development Permits

a) The proposed development will not adversely affect the applicable land use plan.

The project is located within the La Jolla Community Plan area, which designates the site for coastal access and open space uses. The Whale View Point Stairs are an existing public access facility that provides connectivity between the upland public right-of-way and the shoreline. The proposed development does not involve any change to the existing land use designation, intensity, or function of the site. Instead, the project consists solely of repairing and restoring an existing structure to ensure its continued use and safety. The improvements will enhance the accessibility and usability of the stairway while maintaining its existing role as a coastal access feature.

The project supports land use plan policies, as outlined in Finding A.1 and A.3, and incorporated here by reference, that encourage the preservation and maintenance of public access to coastal resources, as well as the improvement of recreational infrastructure. By restoring the stairway, the project contributes to the long-term viability of a key public access point and supports continued public enjoyment of the coastline. Because the project maintains the existing land use and enhances an established public access facility, the proposed development will not adversely affect the applicable land use plan.

b) The proposed development will not be detrimental to the public health, safety, and welfare.

The existing Whale View Point Stairs have experienced deterioration over time, including worn surfaces, uneven treads, and degraded structural elements. These conditions present potential safety hazards to the public, particularly given the high volume of visitors who use the stairway to access the shoreline.

The proposed restoration will improve public safety by stabilizing and repairing the stair surfaces, reinforcing structural elements, and maintaining the handrail system. The installation of precast concrete pavers over existing treads and risers will provide a more uniform and durable walking surface, reducing the risk of slips, trips, and falls. Construction activities will be managed to ensure public safety during the work period. Temporary barriers, signage, and controlled access measures will be implemented to prevent unauthorized entry into construction areas. Work will be conducted in accordance with all applicable safety standards and regulations.

Following completion of the project, the improved condition of the stairway will enhance public safety and accessibility, providing a more reliable and secure means of reaching the beach and tide pools. For these reasons, the proposed development will not be detrimental to the public health, safety, and welfare and will instead provide a net benefit by improving safety conditions.

c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is located within the Coastal Overlay Zone and on a site that includes environmentally sensitive coastal bluff features. The proposed work is limited to the restoration and rehabilitation of an existing public access stairway and does not involve expansion of use or encroachment into previously undisturbed areas. The development is consistent with regulations governing coastal development and environmentally sensitive lands, as it maintains an existing facility and confines all work within the established footprint. The project does not require deviations from development regulations, as it complies with applicable standards related to access, environmental protection, and coastal resource preservation.

The Whale View Point Stairs are also recognized as a contributing resource within a historic district. The restoration approach has been designed to preserve the historic character of the stairway while improving its functionality. Materials and construction methods have been selected to be compatible with the existing structure and to ensure that the work is consistent with established preservation standards.

The project does not result in impacts on historical resources, as it focuses on rehabilitation rather than alteration or removal. All work is reversible and maintains the defining characteristics of the historic feature. Because the project complies with all applicable regulations, preserves the historic resource, and does not require deviations, the proposed development will comply with the regulations of the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands (ESL):

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site is located on a coastal bluff containing environmentally sensitive lands, including coastal bluff features and associated vegetation. The Whale View Point Stairs are an existing, long-established public access facility that is located within a previously disturbed and developed area of the bluff. The proposed development consists solely of the repair and restoration of this existing stairway and does not expand the footprint, width, or alignment of the structure.

All work will be confined to the existing stairway and immediately adjacent disturbed areas. The use of hand tools and small-scale construction methods will minimize ground disturbance and avoid impacts to surrounding undisturbed bluff areas. No new encroachment into environmentally sensitive lands is proposed. Therefore, the site is physically suitable for the proposed development, and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project is located on a coastal bluff environment that is subject to natural geologic and erosional processes. The proposed development does not include grading beyond minor surface adjustments necessary to restore the stairway and match existing conditions. The project will not alter the bluff profile, introduce additional loading, or result in excavation that could destabilize the landform. The restoration of the stairway will improve surface conditions and reduce localized erosion associated with deteriorated materials and unmanaged pedestrian use. By maintaining a defined access path, the project will help prevent the formation of informal trails that could otherwise contribute to bluff degradation.

The project is not located within a Special Flood Hazard Area and will not introduce structures that could obstruct flood flows. Additionally, the stairway is constructed of non-combustible materials and is not located within a designated Very High Fire Hazard Severity Zone. Therefore, the proposed development will minimize alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project has been designed to ensure that all work remains within the existing developed footprint of the stairway and does not extend into adjacent environmentally sensitive areas. Construction activities will be carefully managed to prevent impacts to nearby bluff features and vegetation.

Best Management Practices (BMPs) will be implemented during construction, including erosion and sediment control, dust suppression, and material containment, to prevent runoff or debris from affecting adjacent sensitive lands. The limited scope of work and controlled construction approach will ensure that the project does not result in adverse impacts to surrounding environmentally sensitive lands. Therefore, the proposed development will be sited and designed to prevent adverse impacts on adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site is not located within or adjacent to the City's Multi-Habitat Planning Area (MHPA) and does not contain sensitive biological resources such as vernal pools. The proposed development is limited to the restoration of an existing structure within a previously disturbed area and does not involve habitat removal or modification. Because the project does not impact biological resources or habitat areas covered under the MSCP or VPHCP, it is consistent with the requirements and objectives of these conservation programs.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located on a coastal bluff above the shoreline and involves the repair and restoration of an existing stairway within a previously developed footprint. The project does not include grading, excavation, or construction activities that would alter natural drainage patterns or contribute sediment to the coastal system.

Implementation of BMPs during construction, including erosion control and sediment containment measures, will prevent any potential runoff from reaching the shoreline. The project will not interfere with natural sediment transport processes or impact shoreline sand supply. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed project consists of the repair and restoration of an existing public access facility and does not result in significant impacts to environmentally sensitive lands, biological resources, geologic stability, or shoreline processes. The limited scope of work, confinement to previously disturbed areas, and implementation of BMPs ensure that potential impacts are avoided or minimized.

Because the project does not create significant adverse impacts, no additional mitigation measures beyond standard construction BMPs and compliance with applicable regulations are required. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and sufficient to alleviate, any potential impacts associated with the proposed development.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933 are granted by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Coastal Development Permit No. PMT-3413973 and Site Development Permit No. PMT-3385933, a copy of which is attached to and made a part of this Resolution by this reference.

Spencer Deane
Development Project Manager
Development Services

Adopted on: June 24, 2026

IO#: 21005784



THE CITY OF SAN DIEGO

DATE OF NOTICE: April 1, 2026

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

IO No.: 21005784

PROJECT NAME / NUMBER: Whale View Point Stairs / PRJ-1146375

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 417 Coast S Blvd, La Jolla, CA 92037

PROJECT DESCRIPTION: Site Development Permit to repair and restore the Whale View Point Stairs located partially within the City Public Right-of-Way and on the coastal bluff West of 417 Coast Boulevard. The project includes cleaning and repairing the existing historic concrete stairs and adjoining masonry walls. This includes capping of the historic treads, risers, and cobblestone side walls with precast concrete pavers and mortar, and painting of the existing handrail and wooden posts. The 0.0034-acre project site is located in the Coastal Overlay Zone (Appealable), La Jolla Planned District-5 Base Zone. The project is exempt from the requirement to obtain a Coastal Development Permit as it is considered repair and maintenance activities per SDMC 126.0704(b).
LEGAL DESCRIPTION: APN: 350-290-0800

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services Department

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and Section 15331 (Historical Resource Restoration/Rehabilitation)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego has determined that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and Section 15331 (Historical Resource Restoration/Rehabilitation), and that none of the exceptions listed in CEQA Guidelines Section 15300.2 apply. Section 15301 allows for the repair and maintenance of existing public or private structures, including highways, streets, sidewalks, gutters, and bicycle and pedestrian facilities. The key consideration for this exemption is whether the project would involve negligible or

no expansion of use. Because the project consists of the restoration of existing stairs with no expansion of use, this exemption is appropriate. Additionally, the project is exempt under Section 15331, which applies to the repair and restoration of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The project site is located within the La Jolla Park Coastal Historic District (National Register) and is a contributing resource to that district. The project proposes to preserve the existing stairs by installing precast concrete pavers over them. The pavers would be affixed using an adhesive designed to avoid extensive damage upon removal. The work is fully reversible, allowing the stairs to be appropriately restored in the future. As such, the project meets the criteria of Section 15331. Based on the above analysis, the categorical exemptions are appropriate. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

DEVELOPMENT PROJECT MANAGER:	Spencer Deane
MAILING ADDRESS:	7650 Mission Valley Road, MS DSD-1A, San Diego, CA 92108
PHONE NUMBER / EMAIL:	(619) 533-7564 / SDeane@sandiego.gov

On April 1, 2026, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (April 1st, 2026). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.

POSTED ON THE CITY'S CEQA WEBSITE

POSTED: 4/1/26

REMOVED: 4/15/26

POSTED BY: Myra Lee



FORM

DS-318

July 2024

Ownership Disclosure Statement

Permit/Approval Type: Check the appropriate box for permit/approval and type(s) requested (See [Project Submittal Manual](#)):

Development Permit: Site Development / Coastal Development

Subdivision Approval: _____

Policy Approval: _____

Project Title: Whale View Point Stairs Maintenance **Project No. For City Use Only:** PRJ-1146375

Project Location/Address/Accessor's Parcel Number:

West of 417 Coast Blvd., La Jolla, CA 92037 / APN: 350-290-0800

Specify Form of Ownership/Legal Status (please check):

Individual Partnership Corporation Limited Liability -or- General – What State? CA

Corporate Identification No.: _____ Trust - Date of Trust: _____

City of San Diego/Asset Management Department: Parks and Recreation Department

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. On the second page of this form, please list the owner(s), the applicant(s), and other financially interested persons of the above-referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application, or:

Important Instructions

1. If the applicant includes a corporation or partnership, include the names, titles, and addresses of all individuals owning more than 10% of the shares.
2. If it's a publicly owned corporation, include the names, titles, and addresses of the corporate officers.
3. If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer, director, trustee or beneficiary of the nonprofit organization.
4. The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least 30 days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.
5. A signature is required of at least one of the property owners.
6. Attach additional pages if needed.

Visit our web site: sandiego.gov/DSD.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (07-24)

Property Owner/Authorized Agent
(Per [SDMC 57.12 \(b\)\(6\)](#))

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency
- City of San Diego/Asset Management Department*

Name of Individual: **Patrick Hadley, Deputy Director**

On behalf of: **City of San Diego Parks and Recreation Department**

Street Address: **2125 Park Blvd., MS 39**

City: **San Diego**

State: **CA**

Zip: **92101**

Phone Number: **(619) 572-0361**

Email: **PHadley@sandiego.gov**

Signature: 

Date: **10/22/25**

Additional pages attached: Yes No

**(Signature within this section not required for City of San Diego/Asset Management Department)*

Applicant Check if Same as Property Owner/Authorized Agent
(Per [SDMC 57.12 \(b\)\(6\)](#))

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

Name of Individual: **Bob Evans**

On behalf of: **La Jolla Coastal Conservancy**

Street Address: **PO Box 141**

City: **La Jolla**

State: **CA**

Zip: **92038**

Phone Number: **(858) 212-1038**

Email: **lajollacoastalconservancy@gmail.com**

Signature: **Bob Evans**
Digitally signed by Bob Evans
Date: 2025.08.28 18:28:36 -07'00'

Date: **08/28/2025**

Additional pages attached: Yes No

Other Financially Interested Persons Check if N/A

- Owner Authorized Agent Member Trustee Tenant/Lessee Successor Agency

Name of Individual:

On behalf of:

Street Address:

City:

State: **CA**

Zip: **92101**

Phone Number:

Email:

Signature:

Date: **08/28/2025**

Additional pages attached: Yes No

visit our web site: sandiego.gov/DSD.

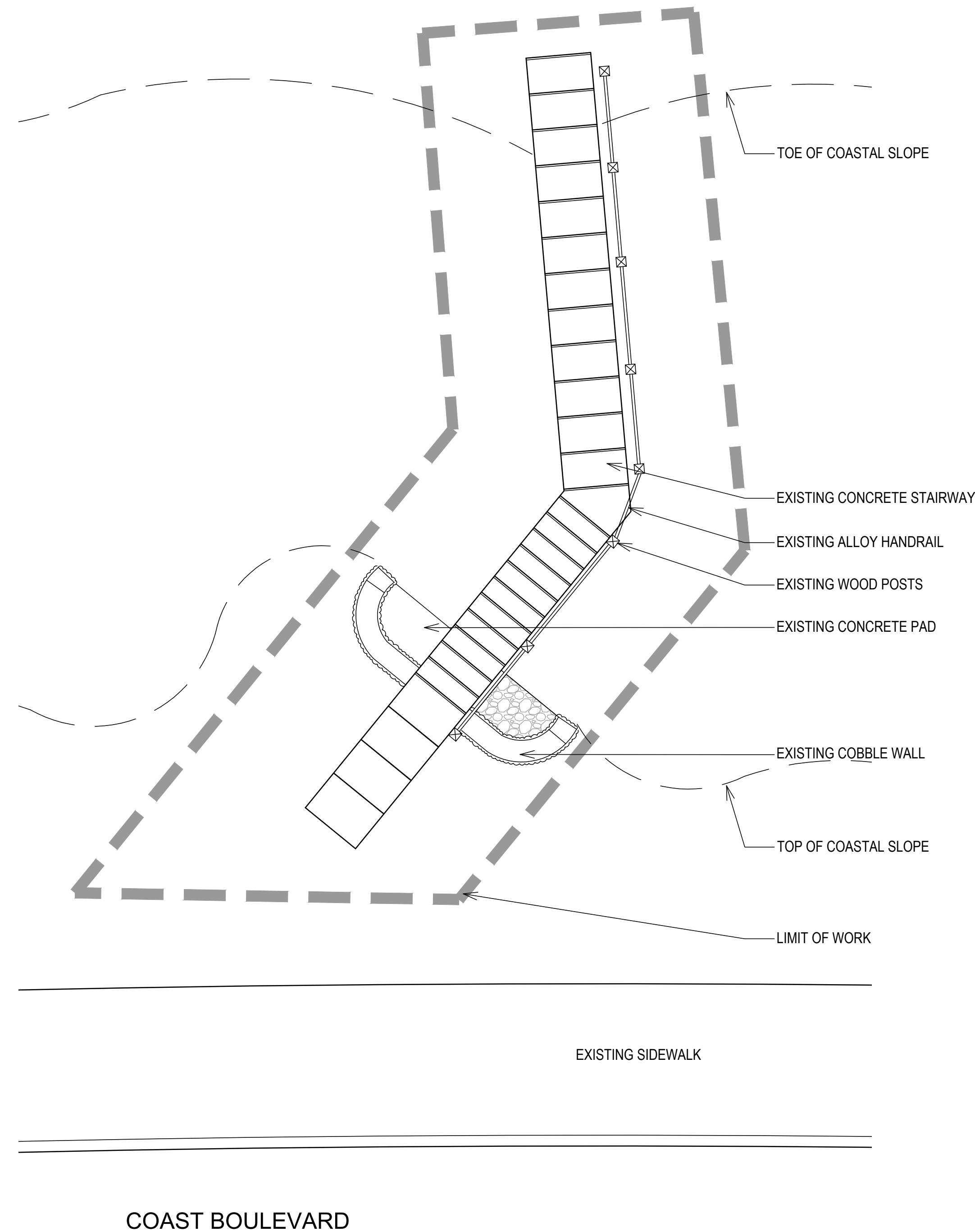
Upon request, this information is available in alternative formats for persons with disabilities.

SHEET INDEX

SHEET	DESCRIPTION
L01	TITLE SHEET
L02	REPAIR PLAN
L01	PHOTO SURVEY
L01	WATER POLLUTION CONTROL PLAN

DISCRETIONARY PERMIT FOR:

WHALE VIEW POINT STAIRS SDP



SCOPE OF WORK:

SITE DEVELOPMENT PERMIT FOR CLEANING AND REPAIRING EXISTING HISTORIC CONCRETE STAIRS AND ADJOINING MASONRY WALLS, INCLUDING:

- AIR BLAST TO REMOVE LOOSE SAND FROM EXISTING CONCRETE
- MOP WASH WITH FRESH WATER TO REMOVE EXCESS SALT
- APPLY SLURRY BOND COAT TO SMOOTH EXISTING CONCRETE SURFACE
- INSTALL PRECAST/PRECAST/PREFINISHED CONCRETE PAVERS WITH NEEDLED RILL TEXTURE ON CUT ENDS BY MORTARING OVER BOND COAT ON CONCRETE STAIR RISERS, TREADS AND LANDING
- REPLACE MISSING COBBLE WALL FACING WITH MORTAR
- MORTAR PRECAST CONCRETE WALL CAPS TO TOP OF EXISTING COBBLE WALLS

SITE ADDRESS

400 COAST BOULEVARD, SAN DIEGO, CA 92037

APN

N/A

YEAR BUILT

N/A

COASTAL OVERLAY ZONE

N/A

SETBACK

N/A

PARKING CALCULATIONS

N/A

FLOOR AREA RATIO (FAR)

N/A

FLOOR AREA SUMMARY

N/A

USES CATEGORY

N/A

TYPE OF CONSTRUCTION

N/A

OCCUPANCY GROUPS/CLASSIFICATION (S)

N/A

NUMBER OF STORIES

N/A

LANDSCAPE AREA

N/A

OWNER

COMPANY

NAME:
OWNER COMPLETE ADDRESS: CITY OF SAN DIEGO PARKS AND RECREATION
2125 PARK BOULEVARD, SAN DIEGO, CA 92101
OWNER PHONE NUMBER: 619/533-3187
OWNER EMAIL: ASKPARKS@SANDIEGO.GOV

PROJECT TEAM

LANDSCAPE ARCHITECT

NAME: NERI LANDSCAPE ARCHITECTURE
ADDRESS: 928 HORNBLEND STREET, SUITE 3, SAN DIEGO, CA 92109
PHONE NUMBER: 619/354-6701
EMAIL: JIM@NERILA.COM

CODES & REGULATIONS

2025 CALIFORNIA BUILDING CODE (TITLE 24, PART 8)

SITE WORK

DISTURBANCE QUANTITIES TABLE
TOTAL DISTURBANCE AREA: 0 SQ. FT.
EXISTING AMOUNT OF IMPERVIOUS AREA: 149 SQ. FT.
PROPOSED AMOUNT OF REPLACED IMPERVIOUS AREA: 0 SQ. FT.
PROPOSED AMOUNT OF NEW IMPERVIOUS AREA: 0 SQ. FT.
TOTAL IMPERVIOUS AREA: 149 SQ. FT.

EARTHWORK QUANTITIES TABLE

CUT QUANTITIES: 0 CYD

FILL QUANTITIES: 0 CYD

IMPORT / EXPORT: 0 CYD

REVISIONS TABLE

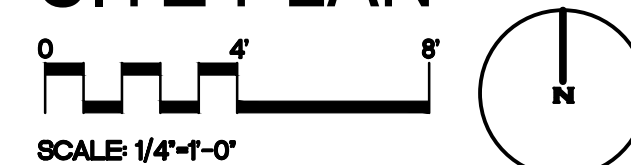
NO.	DATE	REVISION / ISSUE
1	9/4/2025	ORIGINAL DRAWING PREPARATION DATE
2	10/20/2025	1ST SUBMITTAL

DISCRETIONARY PERMIT:
WHALE VIEW POINT STAIRS - SDP
ADDRESS: 400 COAST BOULEVARD
SAN DIEGO, CALIFORNIA 92037

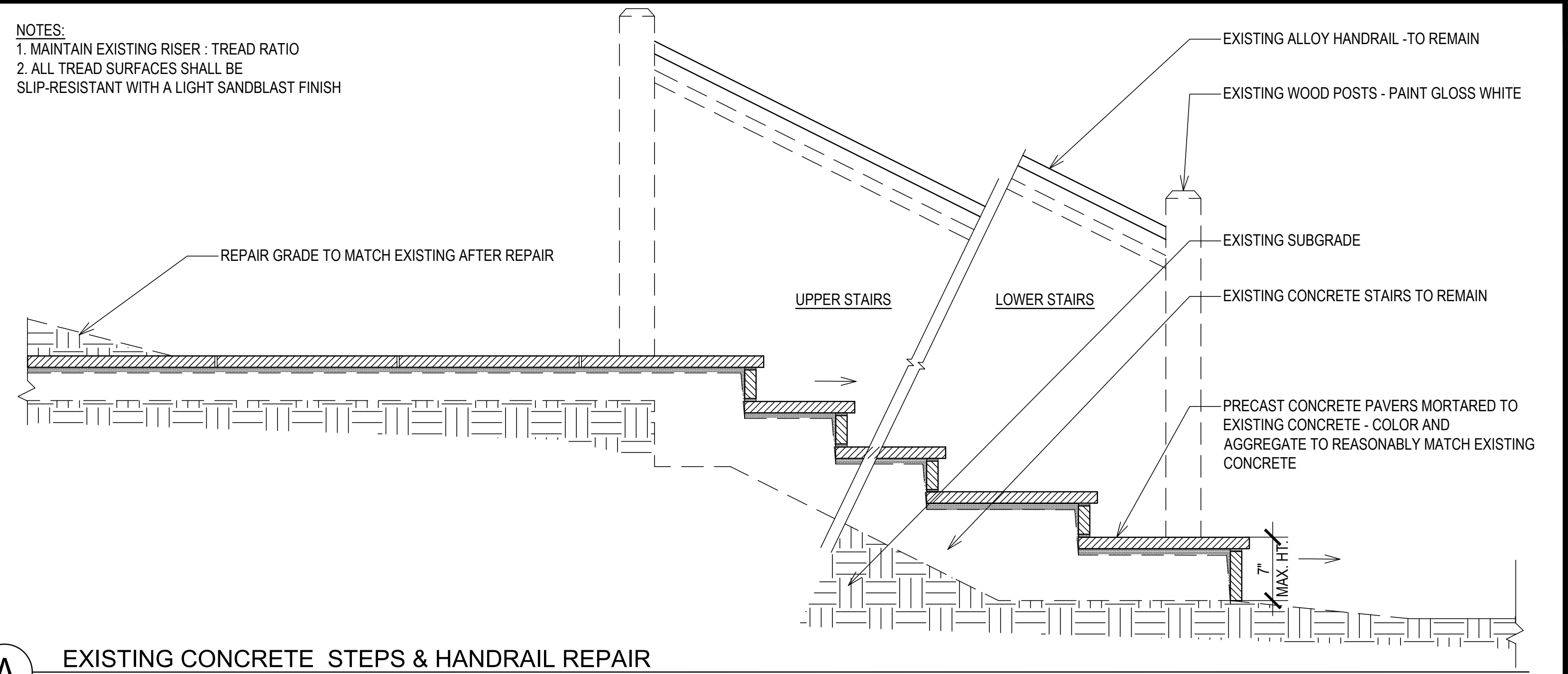
The City of SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 1 SHEETS

PROJECT NO. _____
SHEET TITLE:
COVER

SITE PLAN

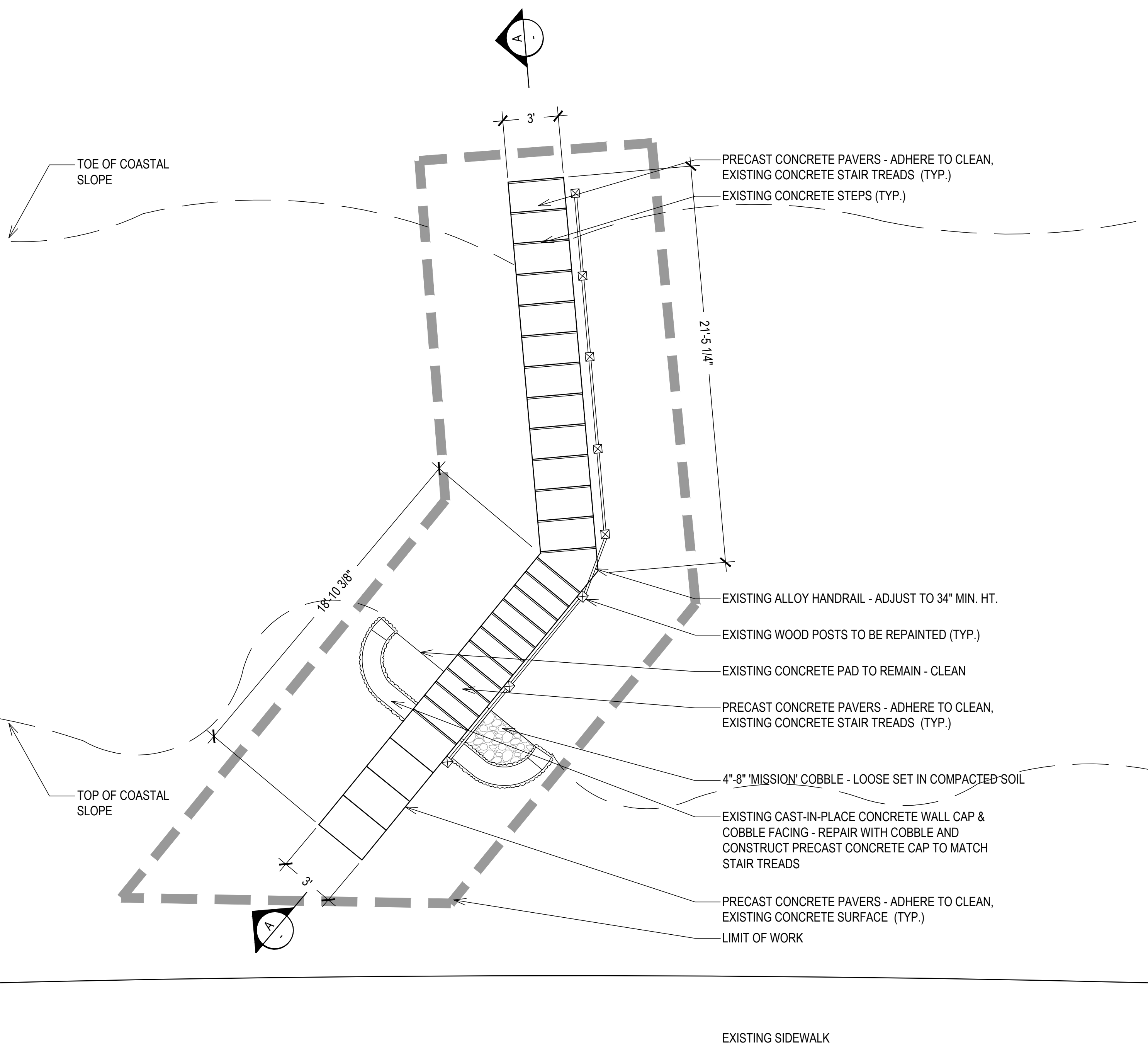


NOTES:
 1. MAINTAIN EXISTING RISER : TREAD RATIO
 2. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT WITH A LIGHT SANDBLAST FINISH



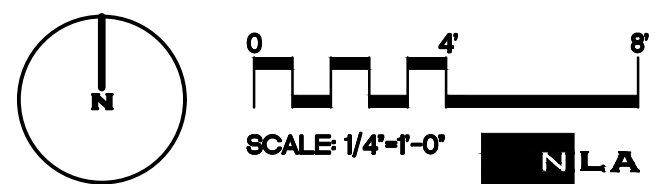
A EXISTING CONCRETE STEPS & HANDRAIL REPAIR SECTION

SCALE: 1" = 1'-0"



COAST BOULEVARD

REPAIR PLAN



B EXISTING CONCRETE STEPS & HANDRAIL PHOTO

MATERIALS:

- MORTAR: POLYMER FORTIFIED, THIN SET MORTAR FOR EXTERIOR INSTALLATION OF CONCRETE PAVERS DESIGNED TO MIX JUST WITH WATER, HAVING A LONG OPEN TIME AND SUITABLE FOR SUBMERGED APPLICATIONS. $\frac{3}{4}$ " SETTING BED. EQUAL TO: LATICRETE 'MVIS HI-BOND MORTAR'
- PAVERS: PRECAST 5000 PSI / 2.5" THICK CONCRETE PAVERS WITH INTERNAL AGGREGATE SELECTED TO RESEMBLE EXISTING CONCRETE. EQUAL TO: STEPSTONE 'LARGE SCALE CAL-ARC PAVES AND STAIR TREADS. COLOR: 'ALMOND'



REVISIONS TABLE		
NO.	DATE	REVISION / ISSUE
1	9/4/2025	ORIGINAL DRAWING PREPARATION DATE
2	10/20/2025	1ST SUBMITTAL

DISCRETIONARY PERMIT:
WHALE VIEW POINT STAIRS - SDP
 ADDRESS: 400 COAST BOULEVARD
 SAN DIEGO, CALIFORNIA 92037



①



②

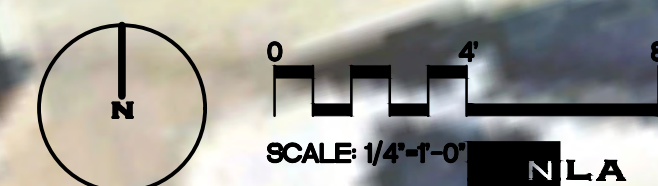


③

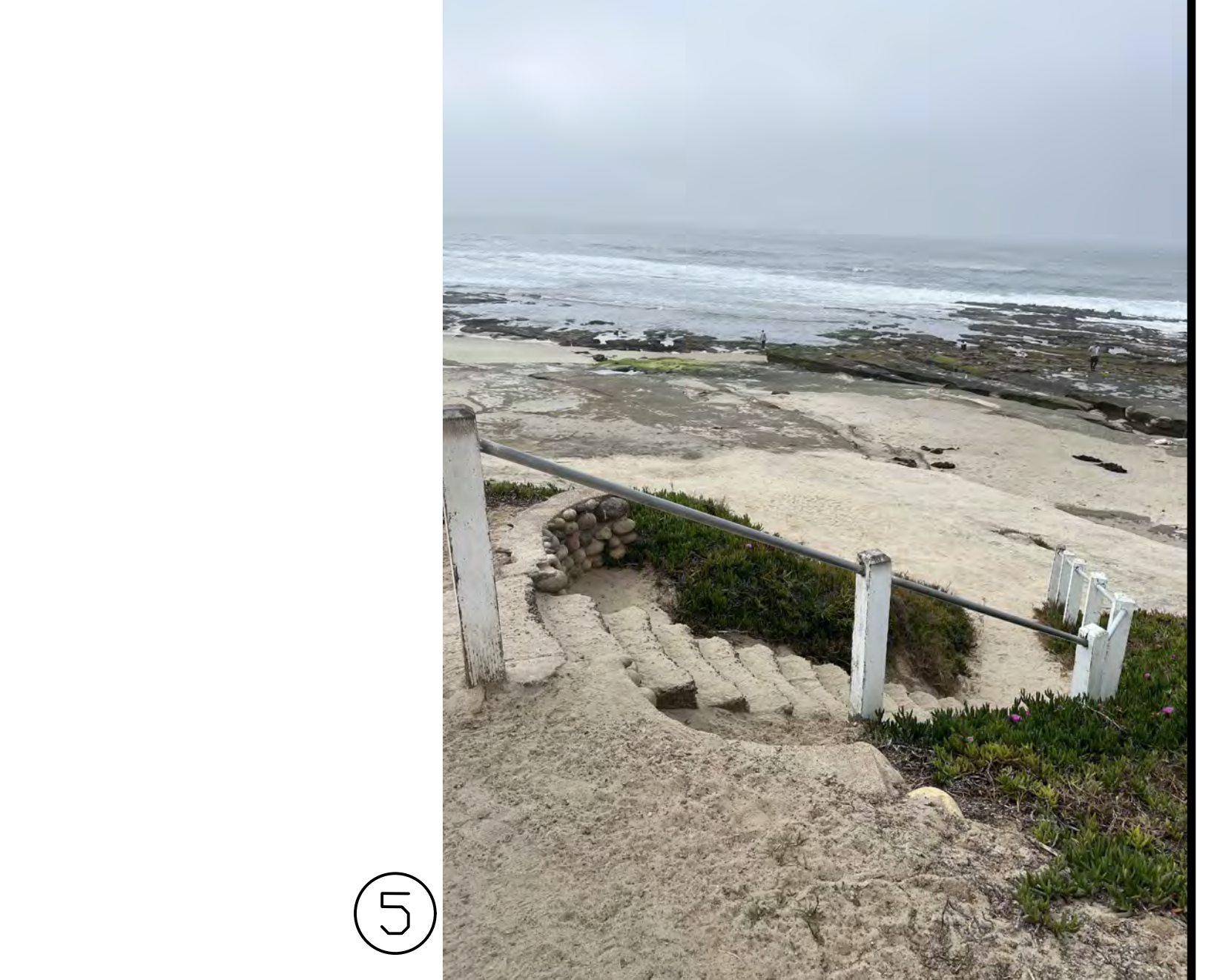


COAST BOULEVARD

PHOTO SURVEY



④



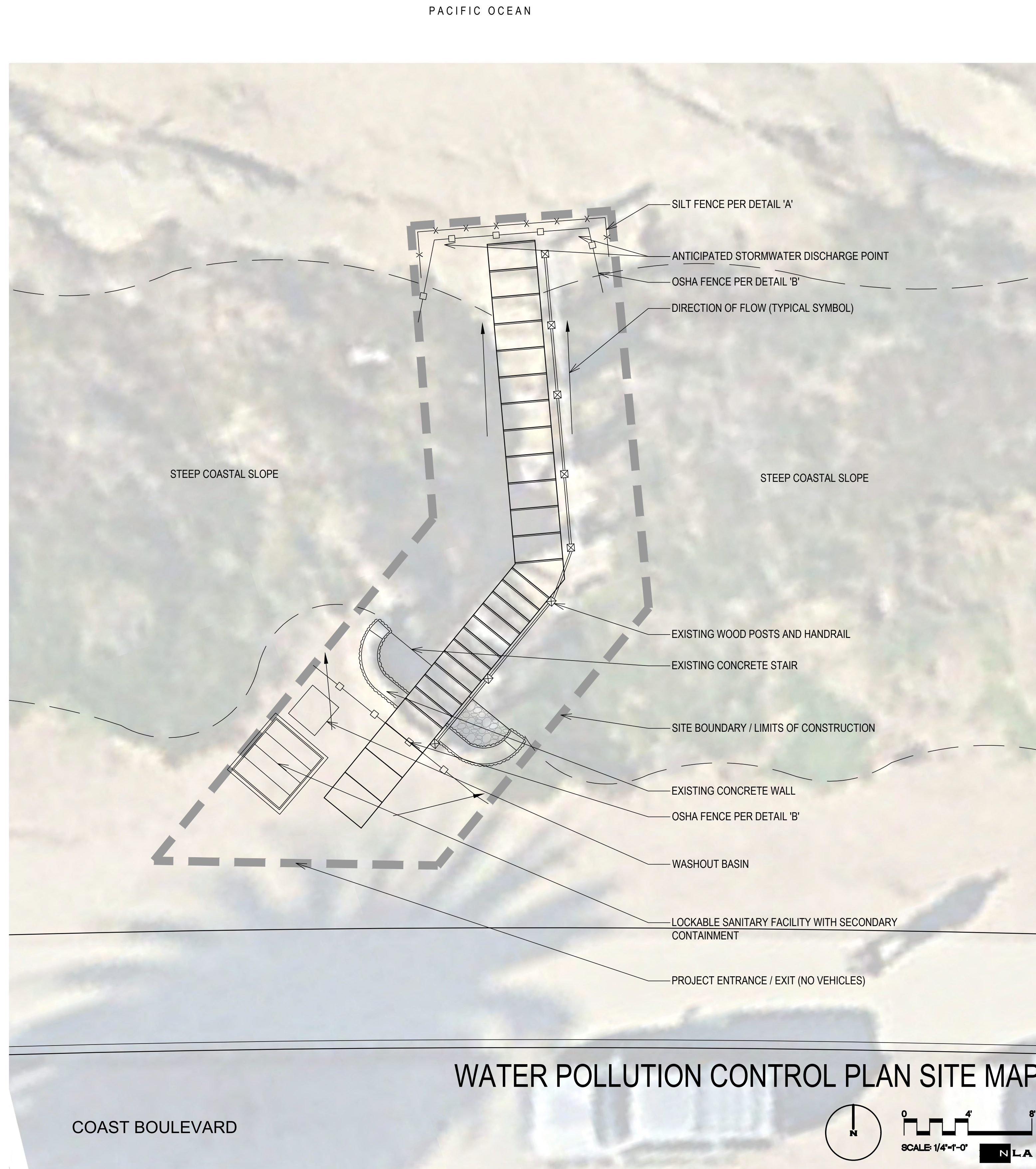
⑤



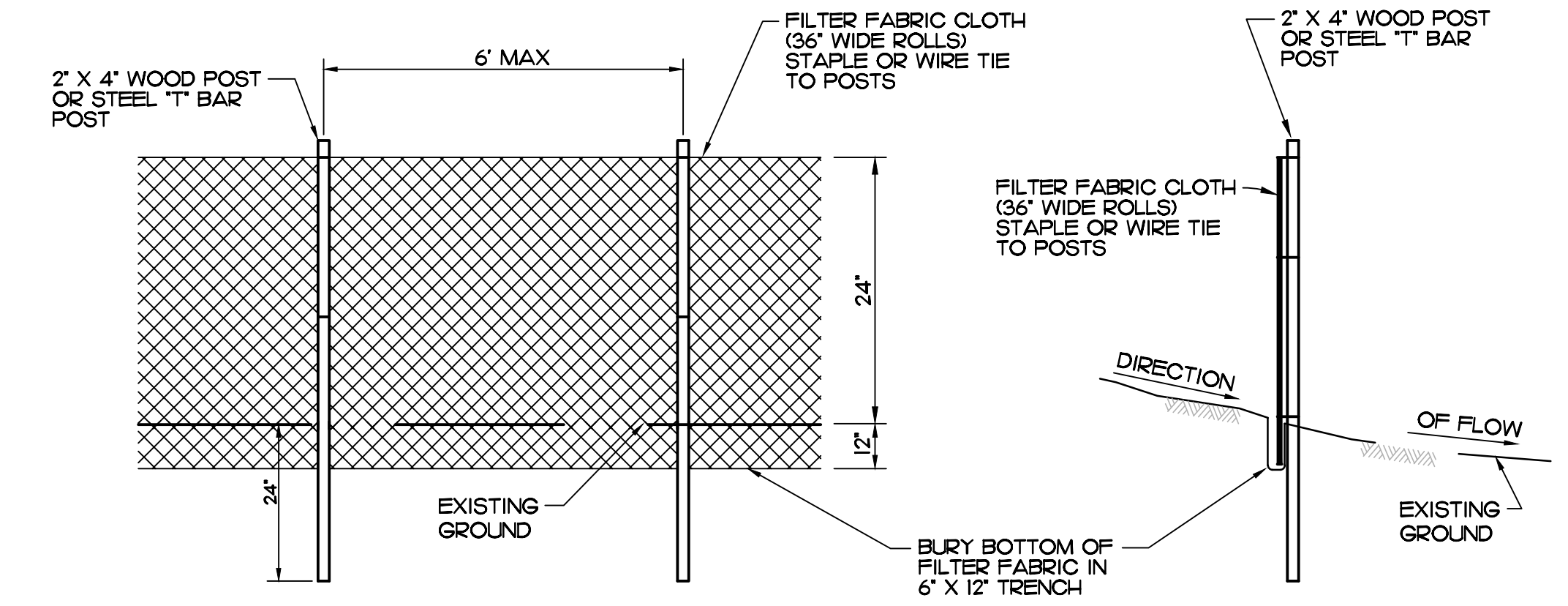
⑥

REVISIONS TABLE		
NO.	DATE	REVISION / ISSUE
1	8/4/2025	ORIGINAL DRAWING PREPARATION DATE
2	10/20/2025	1ST SUBMITTAL

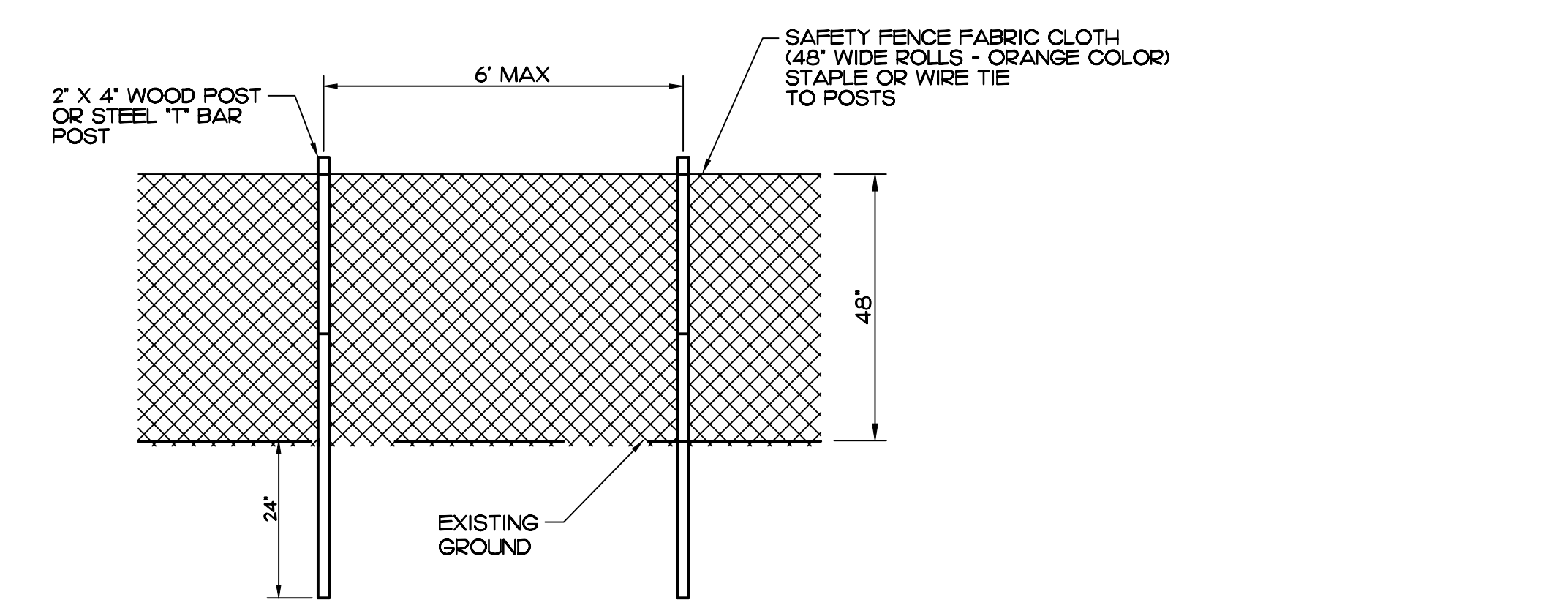
DISCRETIONARY PERMIT:
WHALE VIEW POINT STAIRS - SDP
 ADDRESS: 400 COAST BOULEVARD
 SAN DIEGO, CALIFORNIA 92037



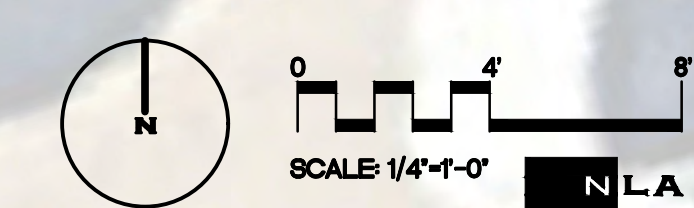
- NOTE:
- NO AREAS OF SOIL DISTURBANCE OR POTENTIAL POLLUTANT SOURCES
 - NO MATERIAL, STOCKPILE, OR WASTE STORAGE WILL OCCUR ON SITE
 - NO EQUIPMENT FUELING, WASH OR MAINTENANCE WILL OCCUR ON SITE
 - NO KNOWN UNDERLYING SOIL CONTAMINANTS
 - NO BUILDING AND ACTIVITY AREAS



A SILT FENCE DETAIL NO SCALE



B OSHA FENCE DETAIL NO SCALE



REVISIONS TABLE		
NO.	DATE	REVISION / ISSUE
1	9/4/2025	ORIGINAL DRAWING PREPARATION DATE
2	10/20/2025	1ST SUBMITTAL

DISCRETIONARY PERMIT:
WHALE VIEW POINT STAIRS - SDP
 ADDRESS: 400 COAST BOULEVARD
 SAN DIEGO, CALIFORNIA 92037

The City of **SAN DIEGO** DEVELOPMENT SERVICES DEPARTMENT
 SHEET 4 OF 1 SHEETS

PROJECT NO. _____
 SHEET TITLE: **WPCP SITE MAP**