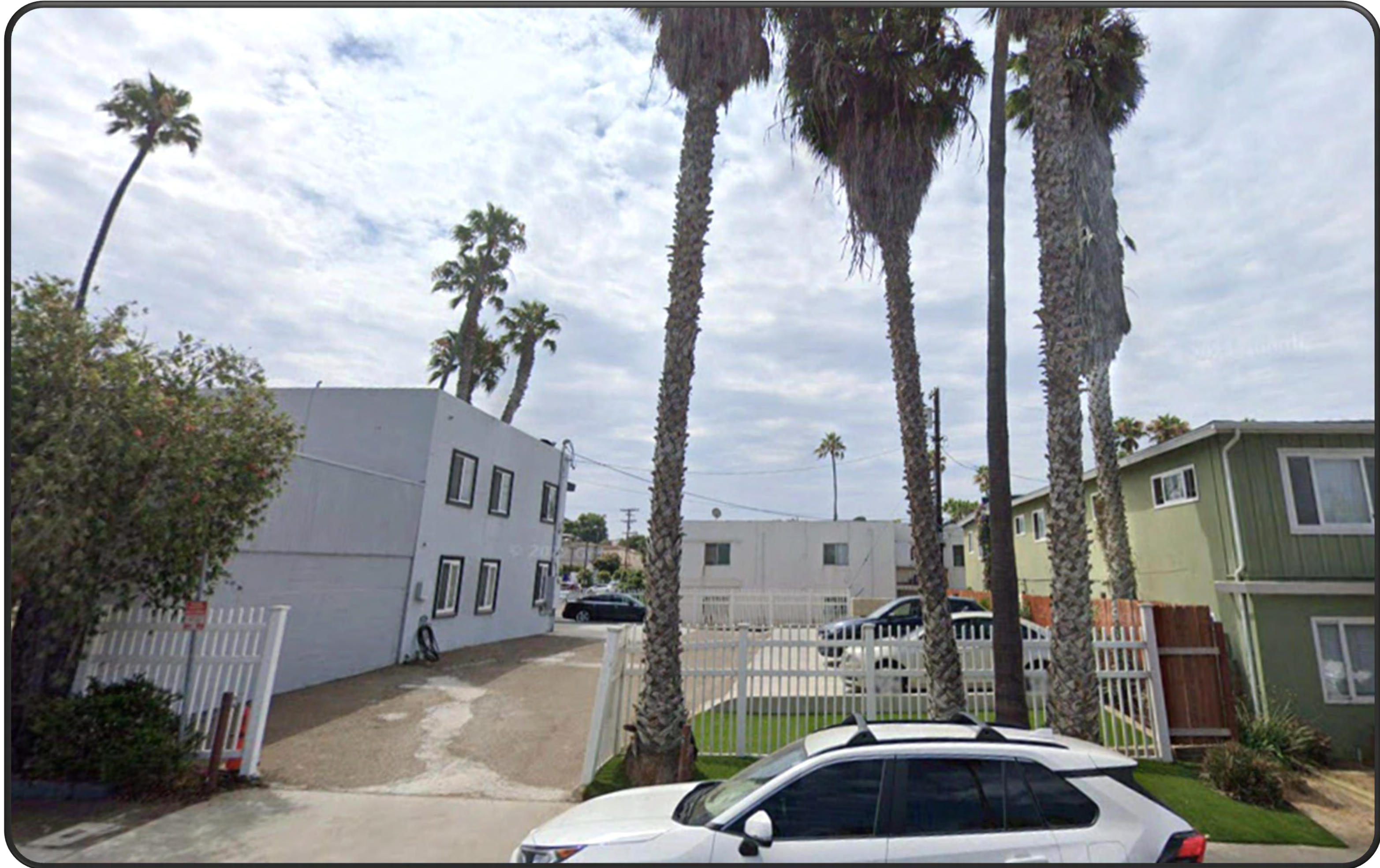
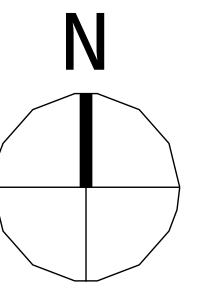
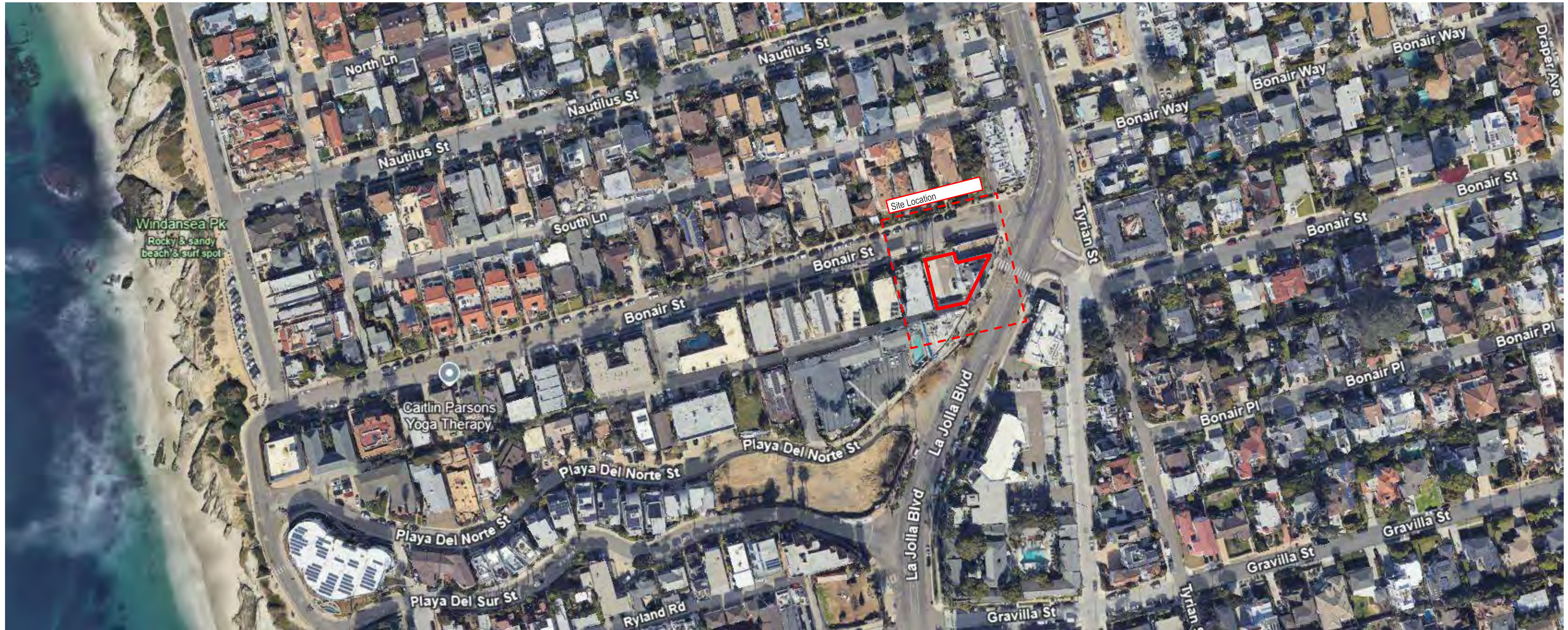


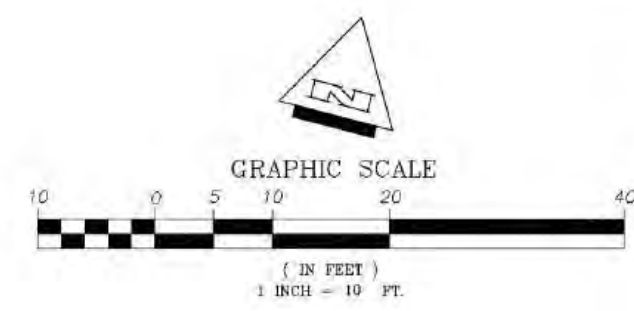
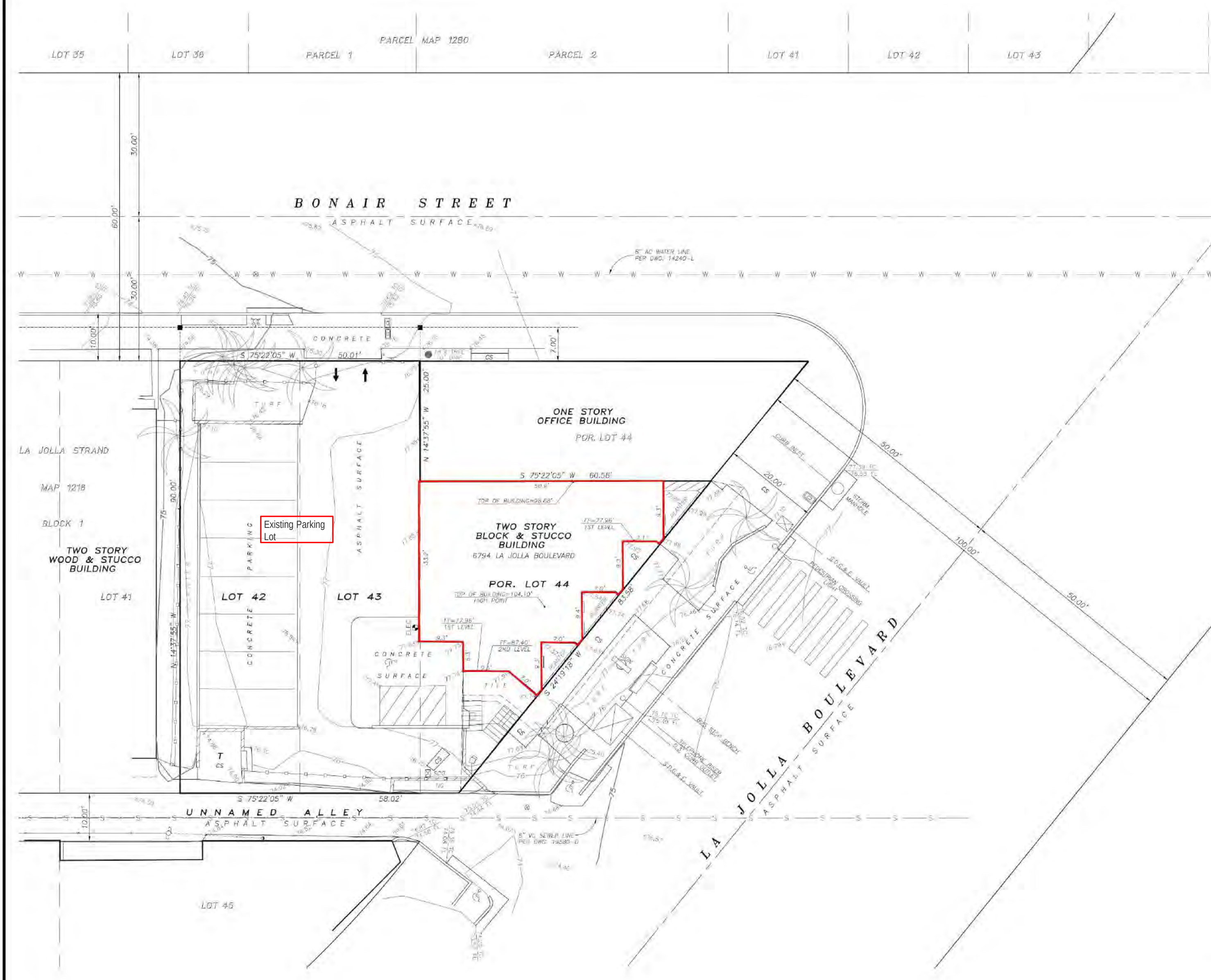


6794 La Jolla Blvd

Wednesday, June 24th, 2026







- LEGEND:**
- INDICATES LEAD AND DISC STAMPED "L.S. 2717"
 - ⊠ INDICATES WATER METER
 - ⊠ INDICATES FIRE HYDRANT
 - ⊠ INDICATES ELECTRIC METER
 - ⊠ INDICATES VAULT AS NOTED
 - ⊠ INDICATES UTILITY POLE
 - ⊠ INDICATES GUY SUPPORT
 - ⊠ INDICATES SIGN
 - ⊠ INDICATES HANDICAP RAMP OR PARKING SPACE
 - ➔ INDICATES TRAFFIC FLOW
 - T INDICATES TRASH ENCLOSURE
 - ND INDICATES NATURAL GROUND
 - FF INDICATES FINISH FLOOR
 - TO INDICATES TOP OF CURB
 - FL INDICATES FLOW LINE
 - SOO INDICATES SEWER CLEAN OUT
 - CS INDICATES CONCRETE SURFACE
 - ===== INDICATES WALL
 - ===== INDICATES PROPERTY LINE
 - INDICATES WOOD FENCE
 - INDICATES OVERHEAD WIRES
 - W ----- INDICATES WATER LINE
 - S ----- INDICATES SEWER LINE

LEGAL DESCRIPTION:

LOTS 42 AND 43 AND ALL OF LOT 44 EXCEPT THE NORTHERLY 25 FEET THEREOF, THE SOUTHERLY LINE OF SAID NORTHERLY 25 FEET BEING PARALLEL WITH AND 25 FEET DISTANT AT RIGHT ANGLES FROM THE NORTHERLY LINE OF SAID LOT 44, ALL BEING IN BLOCK 1 OF LA JOLLA STRAND, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1216, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 18, 1909 OF OFFICIAL RECORDS.

BASIS OF ELEVATION:

CITY OF SAN DIEGO BENCHMARK:
SOUTHWEST BRASS PLUG
LOCATED AT THE INTERSECTION OF BONAIR STREET
AND LA JOLLA BOULEVARD
ELEVATION = 78.238 M.S.L.



Robert J. Bateman
ROBERT J. BATEMAN P.L.S. 7046

TOPOGRAPHY SURVEY		
For the exclusive use of: PARIZAD SERAJ, ELITE ASSETS LLC 6794 LA JOLLA BOULEVARD LA JOLLA, CALIFORNIA 92037		
San Diego Land Surveying & Engineering, Inc. 7028 Convoy Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 07-27-2022	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: La Jolla Blvd 6794 Topo	A.P.N. 350-391-05	





Proposed Building
in Existing Parking
Lot

Existing Building
on La Jolla Blvd.

LA JOLLA BLVD

6794 La Jolla Blvd.
La Jolla, CA 92037



**Marengo
Morton
Architects**

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



Date Signed: _____

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LA JOLLA BLVD

6794 La Jolla Blvd.
La Jolla, CA 92037

REVISIONS	
01/12/2025	PROJECT START



PHASE	Coastal Phase
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PROJECT NO.	2022-27
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REVIEWED BY CAM

DRAWN BY CP

DATE	01/12/2025
------	------------

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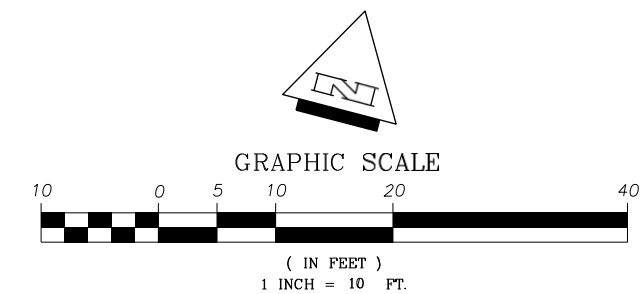
SHEET TITLE

TS01

[illegible]



PROJECT DATA					
PROJECT INFORMATION					
PROJECT ADDRESS:		6794 La Jolla Blvd. La Jolla, CA 92037			
ASSESSORS PARCEL NUMBER:		LEGAL DESCRIPTION:			
351-391-08-00 351-391-06-00 351-391-05-00		LOTS 42 AND 43 AND ALL OF LOT 44 EXCEPT THE NORTHERLY 25 FEET THEREOF, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1216			
YEAR BUILT					
BUILDING CODE:		CALIFORNIA RESIDENTIAL CODE (CRC), 2022 EDITION & ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2022 IBC. NATIONAL ELECTRICAL CODE (NEC), 2022 EDITION NATIONAL MECHANICAL CODE (CMC), 2022 EDITION CALIFORNIA PLUMBING CODE (CPC), 2022 EDITION SAN DIEGO COUNTY MUNICIPAL CODE (SDC), PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CBC, 2022 CMC AND 2022 SPC AND THE 2022 CEC.			
OCCUPANCY TYPE:		R-2, S-2, M			
ALLOWED NUMBER OF DWELLINGS:		5			
PROPOSED NUMBER OF DWELLINGS:		2 (1 Proposed, 1 Existing)			
CONSTRUCTION TYPE:		V-A			
NUMBER OF STORIES:		3 (2 Story Dwelling Unit over Parking)			
LOT AREA:		6,729 SF			
ZONING INFORMATION					
ZONE:		LJPD-4			
OVERLAY ZONES:					
Coastal Height Limit Overlay Zone, Coastal Overlay Zone (NON-APP-2), Parking Impact Overlay Zone, Transit Overlay Zone, Transit Priority Area.					
GEO HAZARD ZONE: Geologic Hazard Category: Yes. 53. Elevation Contour 5 feet. Min: 75 / Max. 75					
SETBACKS		ALLOWED	PROPOSED	DIFFERENCE	NOTES
FRONT (STREET FRONTAGE):		16' *	17'-6"	1'-6"	§159.0307 (b)(5) *Street Frontage Setback: All Zones -- A minimum 16-foot setback, measured from the curb to the building, shall be required. This is a separate requirement that must be met in addition to any front yard setback required by Section 159.0307(b)(1). (See Appendix B).
REAR SETBACK:		0	29'-6"	5'-0"	
SIDE SETBACK : (East)		0**	0'-6"	0'-6"	
SIDE SETBACK : (West)		4'-0"***	4'-0"	4'-0"	
BUILDING HEIGHT LIMITATIONS:		30'	29'-6"	0'-6"	§159.0307 (b)(3)(A) **Interior Side Yards: Zones 1, 2, 3 and 4 -- None required, except that a four-foot side yard shall be provided if any portion of the side lot line abuts residentially zoned property. Such side yard shall be increased seven feet for any building height above 20 feet.
MAX F.A.R :		1.00	1.22	0.22	
PARKING SPACES:		REQUIRED	EXISTING	PROPOSED	
OFFICE:		3	5	1	
RETAIL:		1	1		§142.0525 (a) ***Per Table 142-05C, Footnote 9, Multiple Dwelling Units in Transit Priority Areas do not require any automobile spaces and this supersedes any other applicable parking ratio.
RESIDENTIAL:		2	2	2	
TOTAL: 11		6***	8	3	
BUILDING AREAS:		EXISTING	PROPOSED	TOTAL	
FIRST FLOOR		1,520.5 SF	2,052.98****	3,573.48	The previously permitted office/retail/residential structure required: 3.04 spaces for 760 sq ft of "business and professional offices" + 1.27 spaces for retail + 2 spaces for "one family dwelling" = 6.31 spaces = 6 spaces
SECOND FLOOR:		1,520.5 SF	1,744.47	3,264.97	
THIRD FLOOR:		-	1,405.78	1,405.78	
BUILDING AREA:		3,041.0 SF	3,150.25	6,191.25	
TOTAL AREA:		3,041.0 SF	5,203.23	8,244.23	The permitted layout provided 10 parking spaces, 8 of which are preserved. 3 more spaces are proposed per the Project Scope. ****Covered parking area required to be included in the square footage calculation per SDMC §113.0234 (a)(6)
DECK AREAS:		EXISTING	PROPOSED		
SECOND FLOOR:			365.29 SF		
THIRD FLOOR:			390.68 SF		
TOTAL:			656.07 SF		
LANDSCAPE REQUIRED:		25% = 1,682			
LANDSCAPE PROVIDED:		27% = 1,797			
LOT AREA:		6,729 SF			
PROPOSED F.A.R:		1.22 = 8,244.23			
ALLOWABLE F.A.R		1.0 = 6,729 SF			



Robert J. Bateman
ROBERT J. BATEMAN P.L.S. 704

GENERAL SITE NOTES

- A. The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- B. This is an interior tenant improvement plan only, only new or relocation of non-bearing walls are involved. Minor alterations to existing electrical, water, phone and other existing utilizes to the tenant space are proposed.
- C. Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- D. All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
- E. The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the architect's office.
- F. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- G. Coordinate with other tenants the temporary shut-off of any site utilities, including but not limited to electrical service, gas service, water service, sewer service, telephone service, cable or other data links with are connected to the building.
- H. Locate refuse bin at approved on-site location, contractor shall dispose of all site refuse at city-approved locations.
- I. Provide building address numbers, visible and legible from street or road fronting the property.
- J. Verify the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
- K. No trees or shrubs whose height will be 3' at maturity shall be installed within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.
- L. All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.
- M. Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.
- N. Site gates are to be less than 3 feet high

SITE PLAN KEYNOTES

- 1 No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.
- 2 Curb and gutter to be replaced as per City Standards.
- 3 20'-0" wide Driveway to be constructed per current City Standard for a non-contiguous sidewalk (Drawing SDG-161)
- 4 Alley apron to be reconstructed per current City Standard. (Drawing SDG-120)
- 5 Alley pavement to be reconstructed with City Standard concrete alley (full width).
- 6 Landscape area to be aligned with neighboring parkway (Note: all existing artificial turf is to be replaced with natural grass).
- 7 (E) 12" Ø Washingtonia robusta
- 8 (P) 48" Box Jacranda Mimosaifolia
- 9 Existing parking lot. All existing parking will be maintained per the original permit, this has been certified per the survey.
- 10 New ADA bus stop boarding area per ADA Standards Figure 810.2.2
- 11 SDG&E Vault In-ground
- 12 Replace Sidewalk Panels per Current City Standards

TOTAL DISTURBANCE AREA

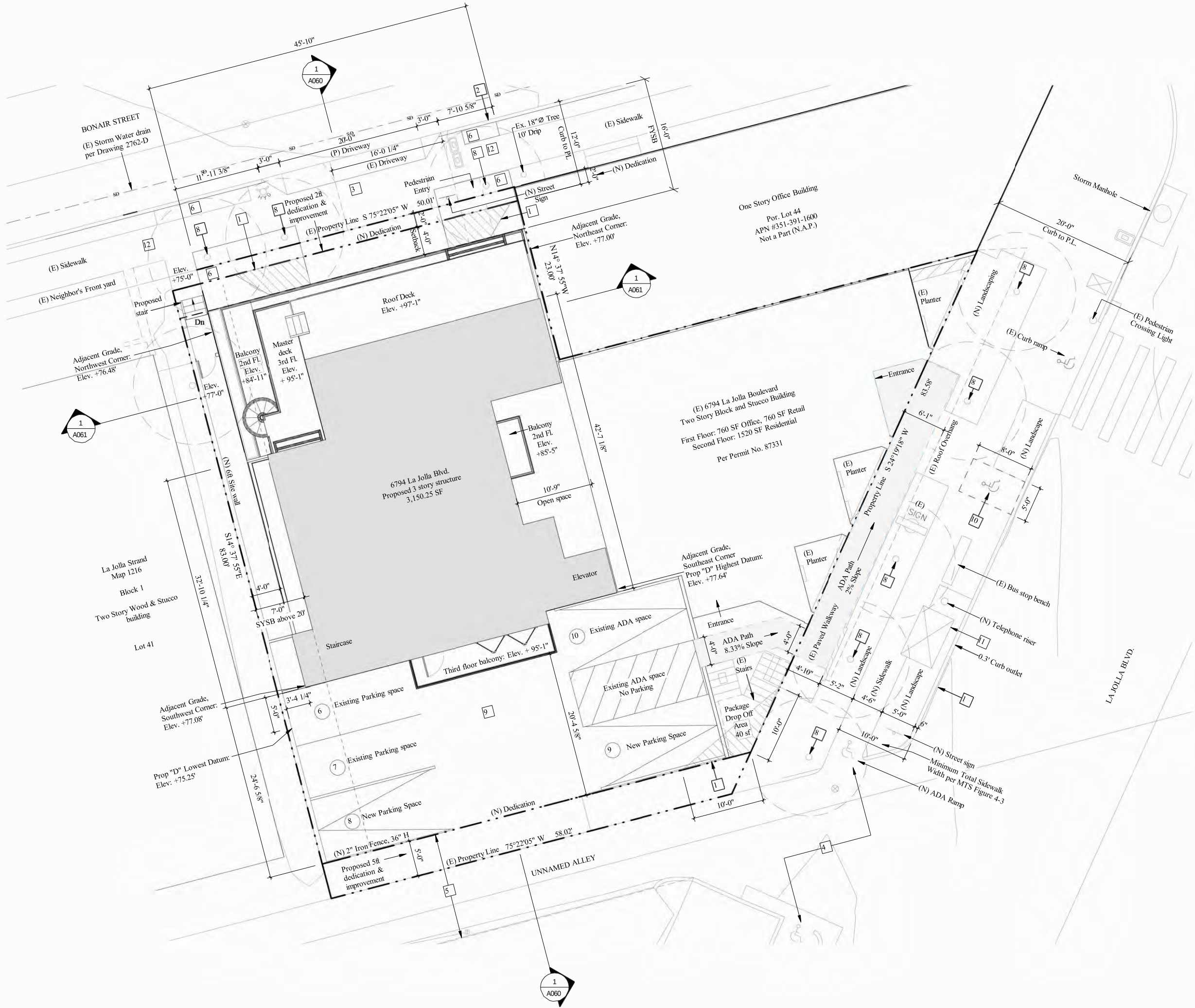
New building footprint	2,007.14 SF
New hardscape/concrete areas	2,212.02 SF
New landscape areas	344.86 SF
Removal of existing building footprint	0 SF
Removal of existing concrete	4,219.42 SF
Removal of existing landscape areas	344.86 SF
Total disturbance area	4,564.28 SF

NEW/REPLACED IMPERVIOUS AREA

a) Existing impervious area (Ex. bldg. footprint & Ex. hardscape areas)	4,219.42 SF
b) New impervious area (Bldg. footprint, parking lot, walkways, hardscape areas, etc.)	2,007.14 SF
c) Replaced impervious area (Ex. bldg. footprint, hardscape areas, walkways, etc. to be replaced)	2,212.02 SF
Total new and replaced impervious area:	4,219.42 SF

EARTHWORK QUANTITIES

Cut quantities:	123.02 CYD
Fill quantities:	1.66 CYD
Import/Export:	Ex. 121.36 CYD
Max cut depth:	2.5 FT
Max fill depth:	.75 FT

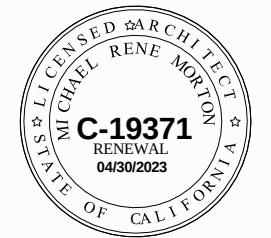


1 Proposed Site Plan



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



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LA JOLLA BLVD

6794 La Jolla Blvd.
La Jolla, CA 92037

REVISIONS

06/23/2022 PROJECT START



PHASE

Coastal Phase

PROJECT NO.

2022-27

REVIEWED BY

CAM

DRAWN BY

CP

DATE

01/12/2025

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SHEET TITLE

A010

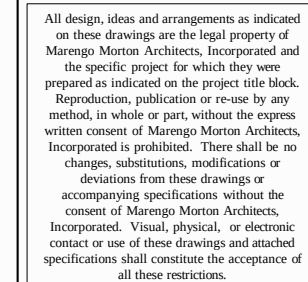
1. Architect shall be notified immediately when any discrepancy with architectural or structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
3. Before start of demolition contractor shall verify with the owner any item to be saved (s), covered, or stored, verify storage locations with owner before demolition commences.
4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
5. All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
6. Contractor to verify dumpster location with architect before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. Contractor shall notify architect if any of the exposed wood show evidence of active water leaks, termites or dry rot.
10. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
11. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
12. Remove all existing landscape and tree roots within 3 feet of the outline of new structure. The removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
13. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
14. Existing floors shall be covered during construction, openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
15. Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shielding and bracing.
16. Existing FAU & water heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
17. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
18. Please be advised this is a remodel project, concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
19. Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing, deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
20. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
21. Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify the architect to make modifications and/or other corrective measures.
22. If soils or report or survey not been completed or not documented, the architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.

Coastal Projects Additional Notes

- A. This is a coastal project. No exterior walls shall be demolished other than those specified or noted on drawings without prior written instruction from architect.
- B. It is the general contractor's sole responsibility that all existing wall to remain shall be protected and maintained at all times during the project construction.

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure without modifications.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates intact. Removal of the stud walls, **even on a temporary basis** must meet **existing criteria** (for coastal exemption) and **is not to be done**.
- E. Walls, which are designated to remain, cannot be replaced, brightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill. New member is to be notched to sister and incorporate. Not existing lumber.
- G. Penetration through top plate is permitted only the width of the actual cut will be included in the calculation (e.g. a 2x4 cut through a 2x4 or a 4x4 going through the top plate will deduct that amount). Need to be approved by architect to be sure after all cuts are made that we still comply.
- H. Cripple walls are permitted (placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported **in their pre-existing position** during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the architect.
- L. There shall be no significant alteration of land forms including removal or placement of vegetation, on a beach, wetland or sand dune, or within 100 feet of the edge of a coastal bluff without first obtaining approval from the governing authority having jurisdiction over the project.
- M. The sill is required to be 3x material where a 2x4 wall exists, a site meeting should take place with architect and engineer to block 3x on top of existing sill in between existing studs strapped and/or clipped in place.

	Existing exterior perimeter walls to remain
	Existing interior walls to remain
	Existing walls to be removed
	Existing wall to remain, opening to be infilled
	Indicates dimension of existing walls that remain in place
	Indicates dimension of existing walls to be removed
	Removed window
	Removed door
	Hardscape to be removed



LA JOLLA BLVD.
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La Jolla, CA 92037

REVISIONS	
06/23/2022	PROJECT START
PHASE	Coastal Phase
PROJECT NO.	2022-27
REVIEWED BY	CAM
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SHEET TITLE	
A020	

	Area	Percentage
<u>Total Street Yard</u>	300.00 SF	10.0%
<u>Street Yard Landscape</u>	155.80 SF	51.93%*
<u>Vehicular Use Area</u>	120.00 SF	40.00%
<u>Enhanced Hardscape</u>	24.20 SF	8.07%**

*Per SDMC Table 142-0-IC, residential development requires 50% Landscaping in the Street Yard

**Per SDMC 142.0405(b)(1), up to 10 percent of the street yard planting area may be the vehicular use area may be enhanced hardscape

1. § 159.0307(d)(5) Street Frontage Setback.
A minimum 16-foot setback, measured from the curb to the building, shall be required.

2. Per § 159.0307(e)(2).
"Within the street facade envelope, no story or floor level or portion thereof, shall overhang any floor level below, provided however, that balconies on upper floors shall be permitted.

3. § 159.0307(d)(3)(A) Interior Side Yards
(A) Zones 1, 2, 3 and 4 – None required, except that a four-foot side-yard shall be provided if any portion of the side lot line abuts residentially zoned property. Such side yard shall be increased seven feet for any building height above 20 feet

A. All dimensions shall be field verified, any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.

B. Refer to site plan for site and utility info.

C. For door and windows see schedules on A-8.1

D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.

R-19 batt insulation at all new 2x6 exterior walls and raised floor areas

R-13 batt insulation at all new accessible interior walls for sound control.

R-30 batt insulation at ceiling of roof areas

R-4-5 insulation wrap on all new hot water piping.

R-4.5 insulation wrap on all new supply ducts.

E. Smoke detectors shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible to all sleeping areas of the unit. section 3109.1.2. unit shall be permanently wired and equipped with battery backup. C.B.C. sec. 3109.1.3.

F. Attic/under floor insulation must comply with sections 903, 908, and 909 of the California mechanical code (cmc)

G. Provide 5 air changes per hour for bathroom and laundry room ventilation.

H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with gypsum board or similar material that provide the same level of fire protection. Penetration of membrane penetrations is not required.

I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.

J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no access into the garage.

K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above floor. cec 1307.2

L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg. official

M. All plumbing fixtures and fittings will be water conserving

N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.

O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cec section 3103.1

P. Buildings undergoing construction, alteration or demolition shall conform to cec chapter 33, welding, cutting and other hot work shall be in conformance with cec chapter 35.

Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the premises, where access is by foot or private road and the address shall not be viewed from the public way. An approved sign or means shall be used to identify the structure, premises identification shall conform to cec section 501.2.

R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cec table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 24, division 1. decorative materials shall be properly treated by a product or treatment approved by the state fire marshal with appropriate documentation provided to the city of san diego.

S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

T. Exhaust ducts shall be equipped with back-draft dampers per sec. 304.1.1 CMC

U. Exhaust fans shall be components of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec.4.506.11)

V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal panels and deteriorate the stucco.

W. All horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.

X. For recessed window: the lowest recess needs to be flashed treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1:8" to the outside to assure no water stands on the horizontal surface.

Y. All square and 90 degree angles will be stainless steel corner bead and will kert to the window jamb for a clean return and finish on mill core.

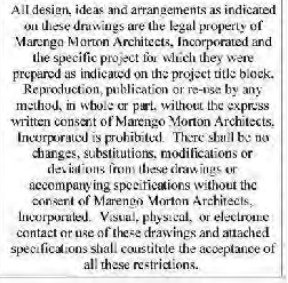
Z. All screeds will be held of the surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.

AA. Site gates are to be 36" or less in height

AB. No gates/garage doors are proposed from Bonair St. or the Alley

	New 2x4 Interior Wall - Cyp. each side
	New 2x6 Exterior Wall - Gyp., Stud, Sheathing, Stucco Exterior.
	New 6" Exterior Site Wall
	Existing exterior low walls

1	No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility area or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.
2	Curb and gutter to be replaced as per City Standards.
3	20'-0" wide Driveway and sidewalk to be constructed per current City Standard for a non-contiguous sidewalk, 12'-0" Minimum Parkway
4	Alley apron to be reconstructed per current City Standard. (Drawing SDG-120)
5	Alley pavement to be reconstructed with City Standard concrete alley (full width).
6	Landscape area to be aligned with neighboring parkway (Note: all existing artificial turf is to be replaced with natural grass).
7	(E) 12" Ø Washingtonia Robusta
8	(P) 48" Box Jacaranda Mimosifolia
9	Existing parking lot. All existing parking will be maintained per the original permit, this has been certified per the survey.
10	New ADA bus stop boarding area per ADA Standards Figure 810.2.2
11	SDG&U Vault In-ground
12	Replace Sidewalk panels per Current City Standard
13	Refuse area for back alley pickup per SDMC 159.0407, 6' height clearance
14	Parking Entry Sign
15	Parking Exit Sign
16	Concrete Pavers, 2 1/4" H
17	Textured Stone pavers for pedestrian walkway per SDMC 159.0403 (b)(3), see Sheet L01



REVISIONS	
06/23/2022	PROJECT START

Coastal Phase

PROJECT NO. 2022-27

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DRAWN BY CP

DATE 04/28/26

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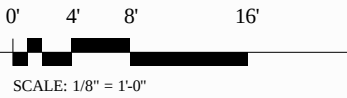
First Floor

A021





1 Proposed 2nd Floor
1,744.47 SF



FLOOR PLAN NOTES

- A. All dimensions shall be field verified. any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the california mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm .
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above flr. c.c.c.307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved signed or means shall be used to identify the structure. premises identification shall conform to cfc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the california code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaries shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- T. Exhaust ducts shall be equipped with back-draft dampers per Sec. 504.1.1 CMC
- U. Unless functioning as a components of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control, which shall be capable of adjustments between relative humidity range of 50% to 80% (Sec 4.506.1)."
- V. All stucco applications that return from a projection: need to have a return for the stucco that is more than 4" inset. The inset shall need a diverter or weep screed to allow water to fall without collecting in the horizontal plane and deteriorate the stucco.
- W. Any horizontal surfaces of stucco on a parapet and/or recess window sills needs fully lapped water proofing with a lap min of 8"-12" with seams on the slope side with the outer lap in the direction of the flow of water.
- X. For recessed window: the whole recess needs to be flash treated with a moist stop and the base needs a sill pan. The sill pan should extend all the way to the exterior wall with a minimum bottom slope of 1/8" to the outside to assure no water stands on the horizontal surface.
- Y. All square and 90 degree angles will be stainless steel corner bead and will kerf to the window jamb for a clean return and finish on mill core.
- Z. All screeds will be held of tile surfaces and dirt surfaces with metal backing. Height to be confirmed by architect to assure the reveal displayed is a clean stainless steel or copper finish depending on the project and that it is properly lapped and water proofed behind that. The metal is to conceal a termination bar and water proofing and to act as the protected finish coat.
- AA. Site gates are to be 36" or less in height

FLOOR PLAN LEGEND

- New 2x4 Interior Wall - Gyp. each side
- New 2x6 Exterior Wall - Gyp., Stud, Sheathing, Stucco Exterior.
- New 6" Exterior Site Wall
- Existing exterior low walls

FLOOR PLAN KEYNOTES

- 1 No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2). Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.
- 2 Curb and gutter to be replaced as per City Standards.
- 3 20'-0" wide Driveway and sidewalk to be constructed per current City Standard for a non-contiguous sidewalk, 12'-0" Minimum Parkway
- 4 Alley apron to be reconstructed per current City Standard. (Drawing SDG-120)
- 5 Alley pavement to be reconstructed with City Standard concrete alley (full width).
- 6 Landscape area to be aligned with neighboring parkway (Note: all existing artificial turf is to be replaced with natural grass).
- 7 (E) 12" Ø Washingtonia Robusta
- 8 (P) 48" Box Jacaranda Mimosifolia
- 9 Existing parking lot. All existing parking will be maintained per the original permit, this has been certified per the survey.
- 10 New ADA bus stop boarding area per ADA Standards Figure 810.2.2
- 11 SDG&E Vault In-ground
- 12 Replace Sidewalk panels per Current City Standard
- 13 Refuse area for back alley pickup per SDMC 159.0407, 6' height clearance
- 14 Parking Entry Sign
- 15 Parking Exit Sign
- 16 Concrete Pavers, 2 1/4" H
- 17 Textured Stone pavers for pedestrian walkway per SDMC 159.0403(h)(3)



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



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LA JOLLA BLVD

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La Jolla, CA 92037

REVISIONS
06/23/2022 PROJECT START



PHASE
Coastal Phase

PROJECT NO.
2022-27

REVIEWED BY
CAM

DRAWN BY
CP

DATE
01/12/2025

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A022

FLOOR PLAN NOTES

- A. All dimensions shall be field verified, any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit, section 310.9.1.2. unit shall be permanently wired and equipped with battery backup, c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection, protection of membrane penetrations is not required.
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- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above the r. c.c. 3107.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
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FLOOR PLAN LEGEND

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- New 6" Exterior Site Wall
- Existing exterior low walls

FLOOR PLAN KEYNOTES

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- 16 Concrete Pavers, 2 1/4" H
- 17 Textured Stone pavers for pedestrian walkway per SDMC 159.0403(h)(3)



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



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REVISIONS
06/23/2022 PROJECT START



PHASE
Coastal Phase

PROJECT NO.
2022-27

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CAM

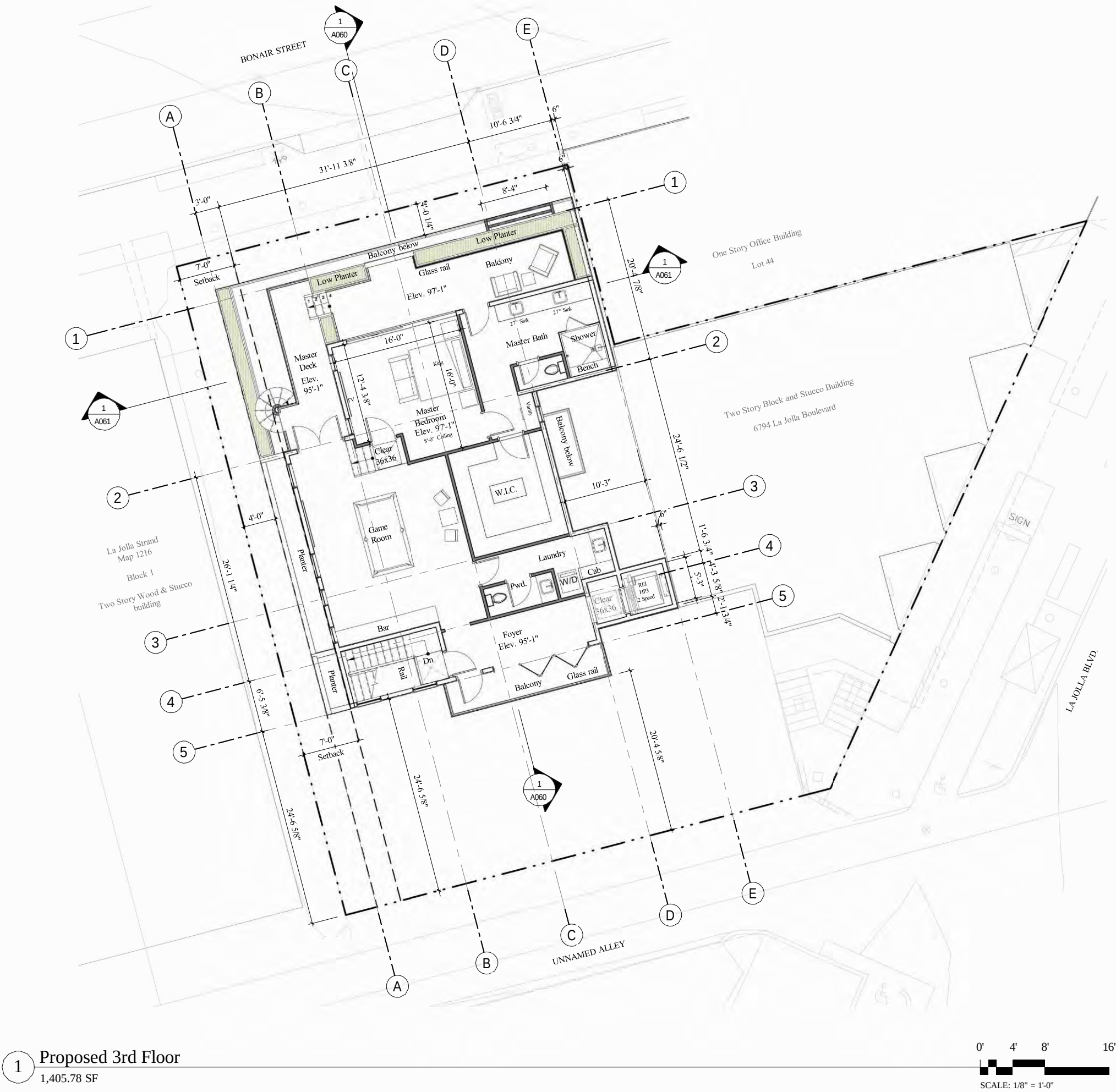
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DATE
01/12/2025

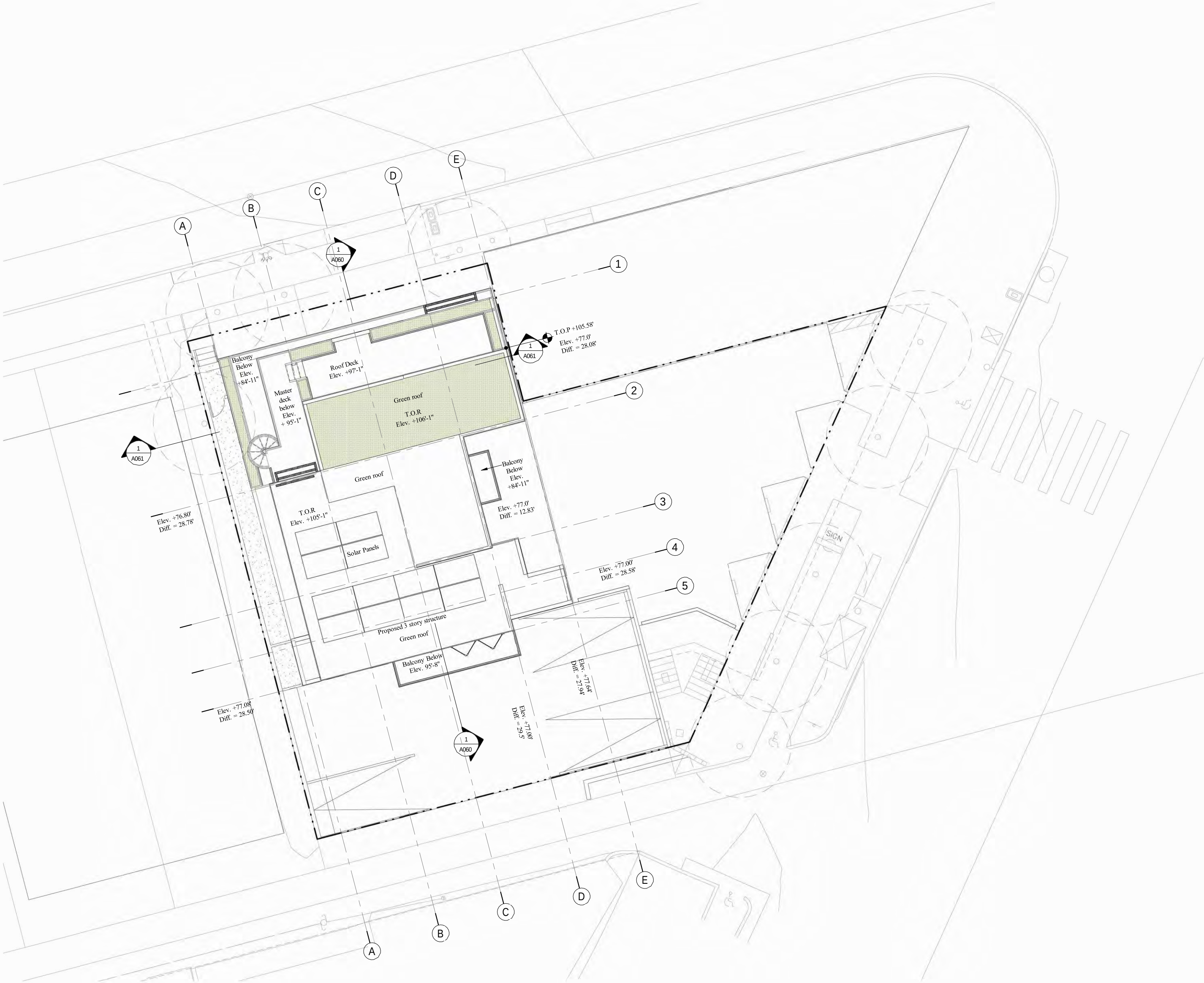
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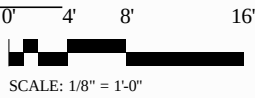
A023



1 Proposed 3rd Floor
1,405.78 SF



1 Proposed Roof Plan



STORM DRAINAGE NOTES

1. The primary storm drainage system shall connect to the building storm water that connects to an underground public storm sewer
2. The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel

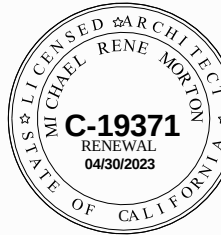
HEIGHT NOTES

1. The highest point of the roof, equipment, or any vent, pipe, antenna or other projection, shall not exceed 30' above grade.
2. No portion of the proposed structure will exceed the existing building height. proposed height to be field verified to ensure compliance



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



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REVISIONS
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PHASE
Coastal Phase

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Proposed Roof Plan

SHEET TITLE

A040

ELEVATION NOTES

- A. Materials and colors shall be in compliance per SDMC Section 159.0308(a)(1)-(4).
- B. Surface colors shall be according to the PDO 159.0309(e) and Appendix C.



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
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PHASE Coastal Phase

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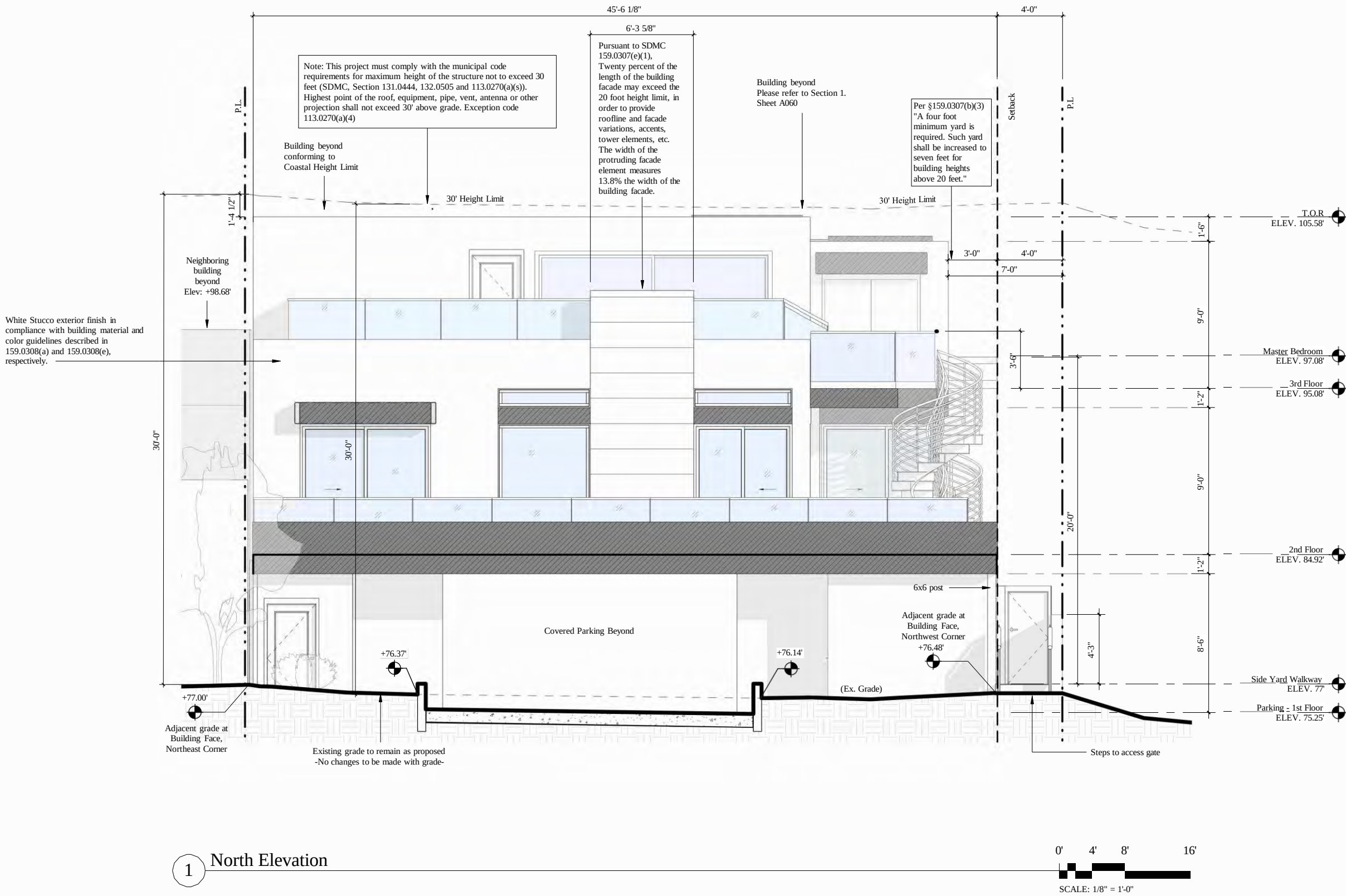
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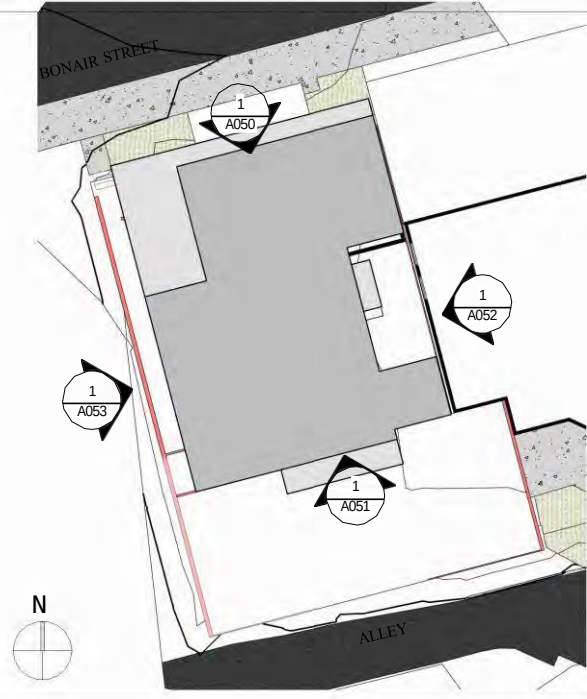
SHEET TITLE

A050



1 North Elevation

KEY MAP



ELEVATION NOTES

- A. Materials and colors shall be in compliance per SDMC Section 159.0308(a)(1)-(4).
B. Surface colors shall be according to the PDO 159.0309(e) and Appendix C.



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Second Floor
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PHASE	Coastal Phase
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PROJECT NO.	2022-27
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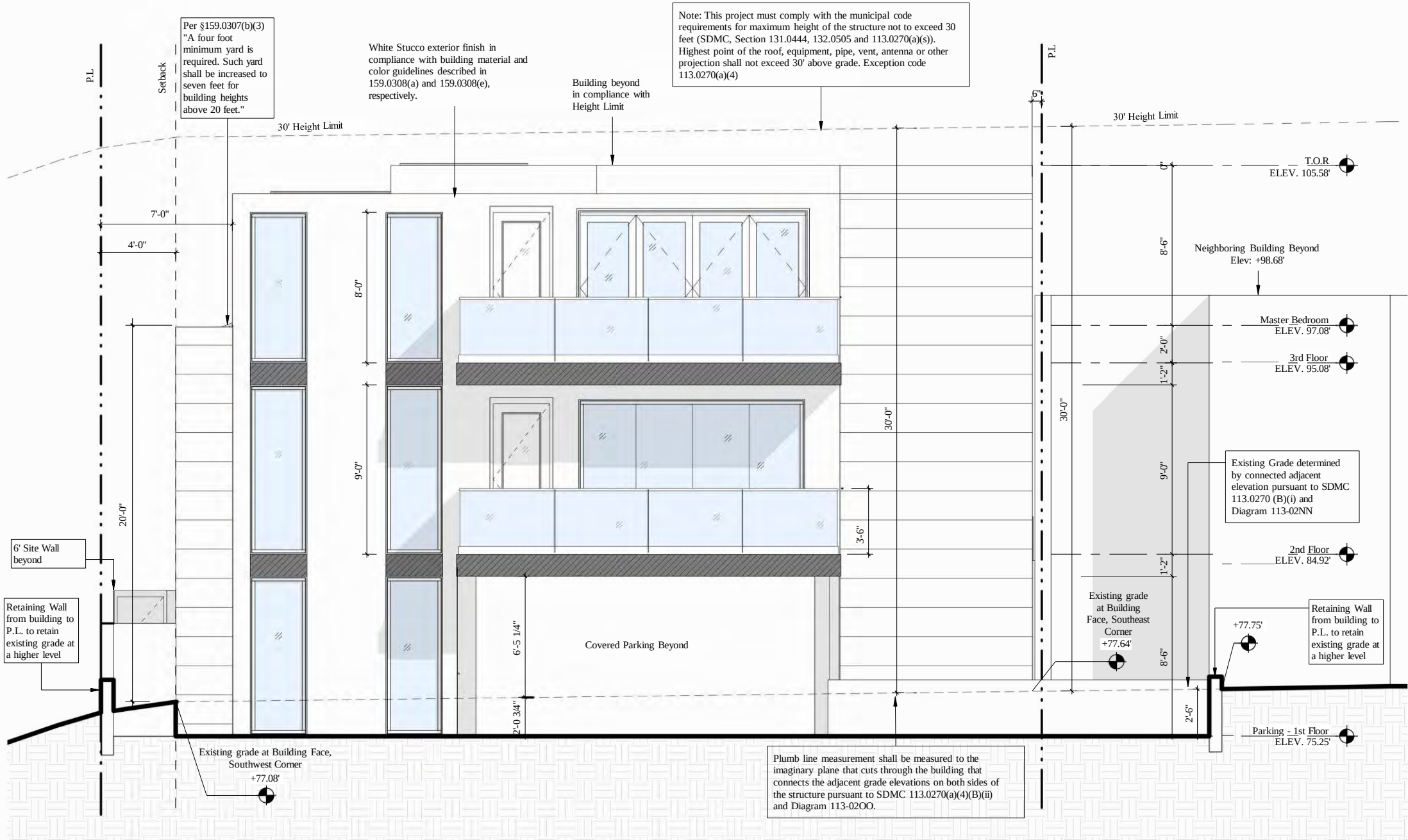
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DATE	01/12/2025
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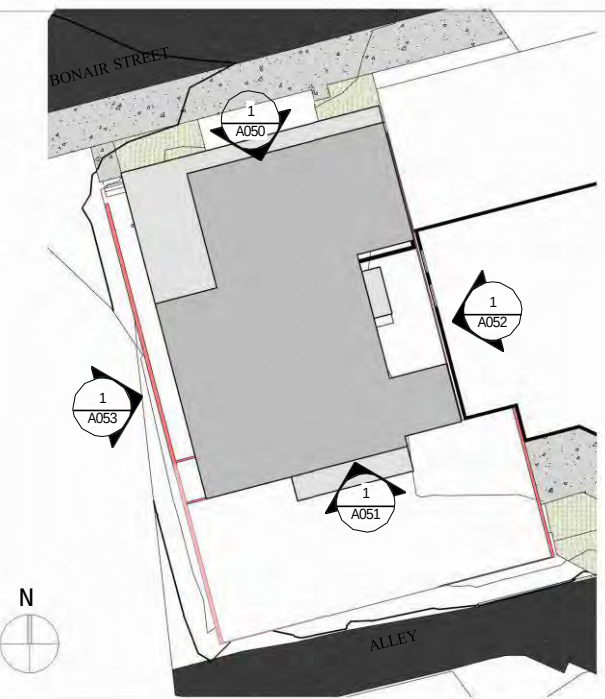
SHEET TITLE
South Elevation

A051

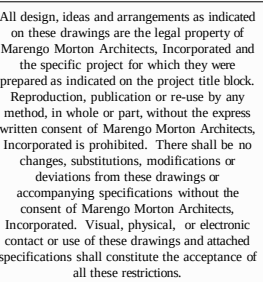
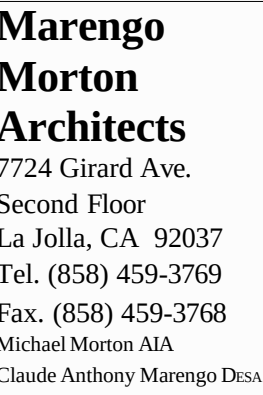


1 South Elevation

KEY MAP



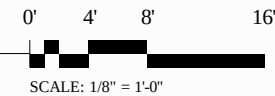
- A. Materials and colors shall be in compliance per SDMC Section 159.0308(a)(1)-(4).
- B. Surface colors shall be according to the PDO 159.0309(e) and Appendix C.



6794 La Jolla Blvd.
La Jolla, CA 92037

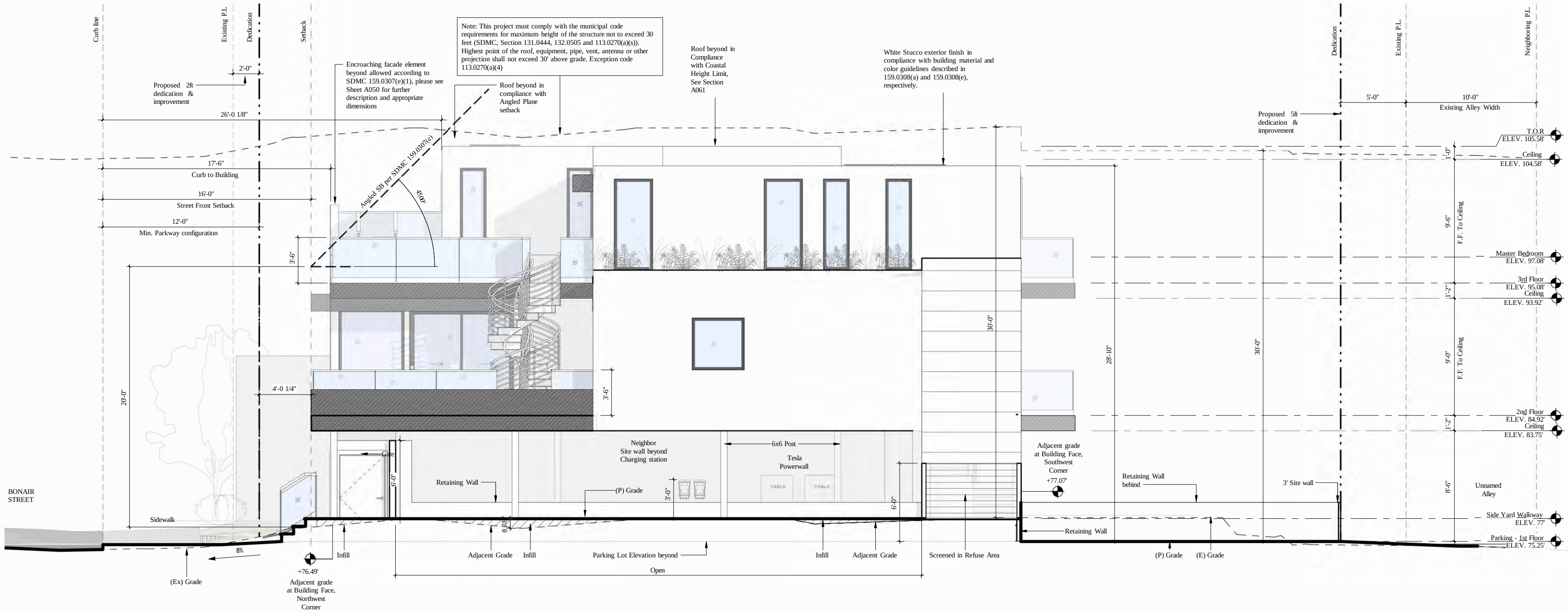
DATE 01/12/2025

A052

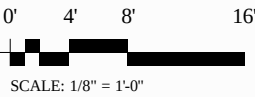


ELEVATION NOTES

- A. Materials and colors shall be in compliance per SDMC Section 159.0308(a)(1)-(4).
B. Surface colors shall be according to the PDO 159.0309(e) and Appendix C.

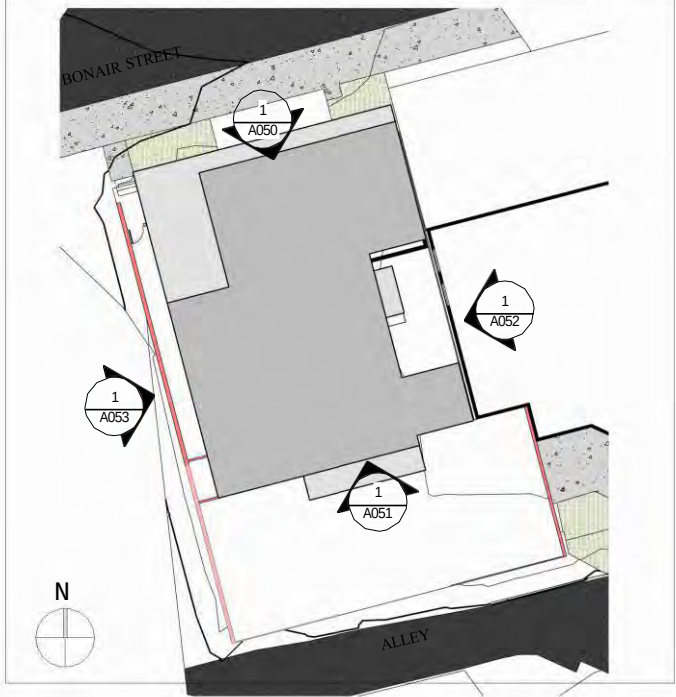


1 West Elevation



SCALE: 1/8" = 1'-0"

KEY MAP



M₂

Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

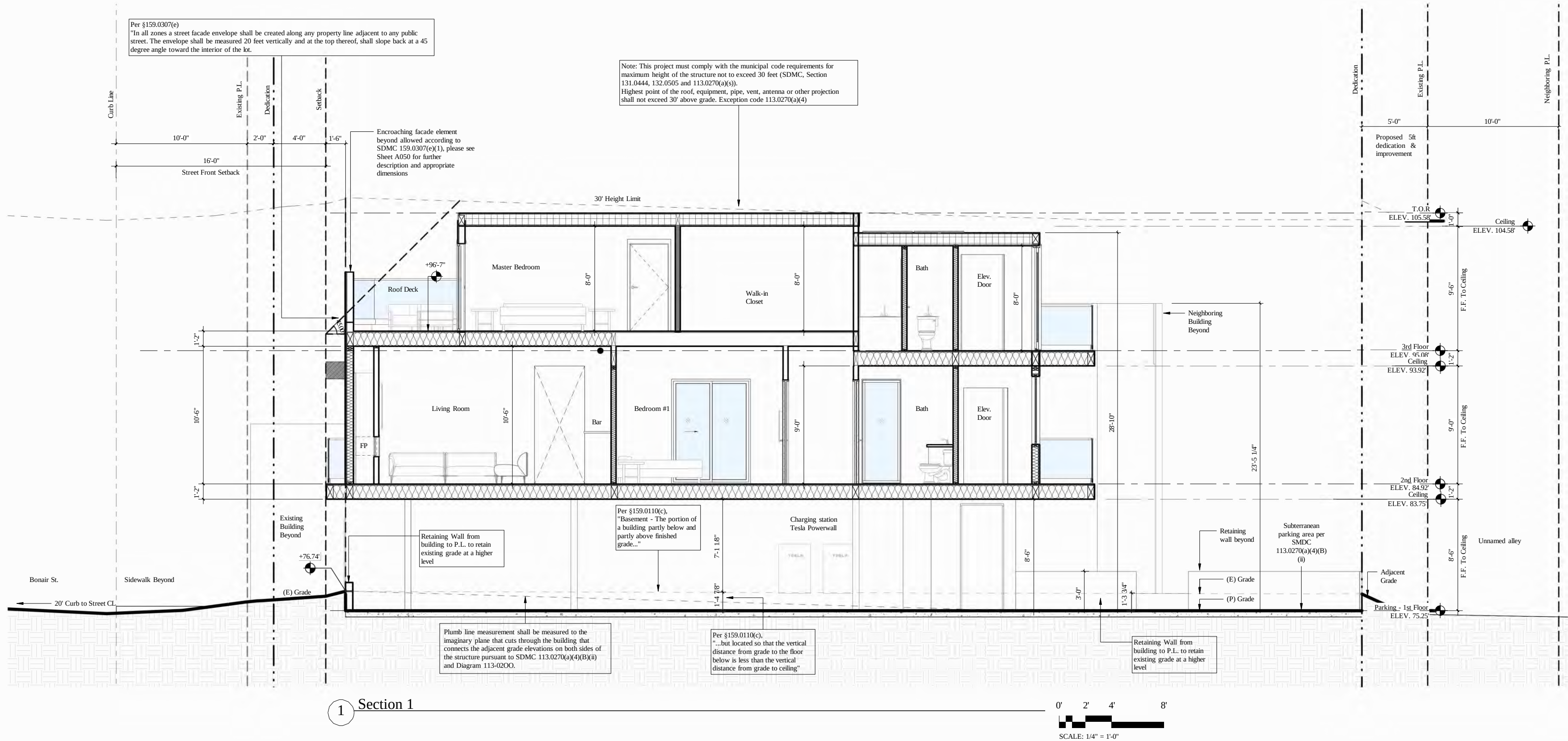
LICENSED ARCHITECT
MICHAEL RENE MORTON
C-19371
RENEWAL
04/30/2023
STATE OF CALIFORNIA

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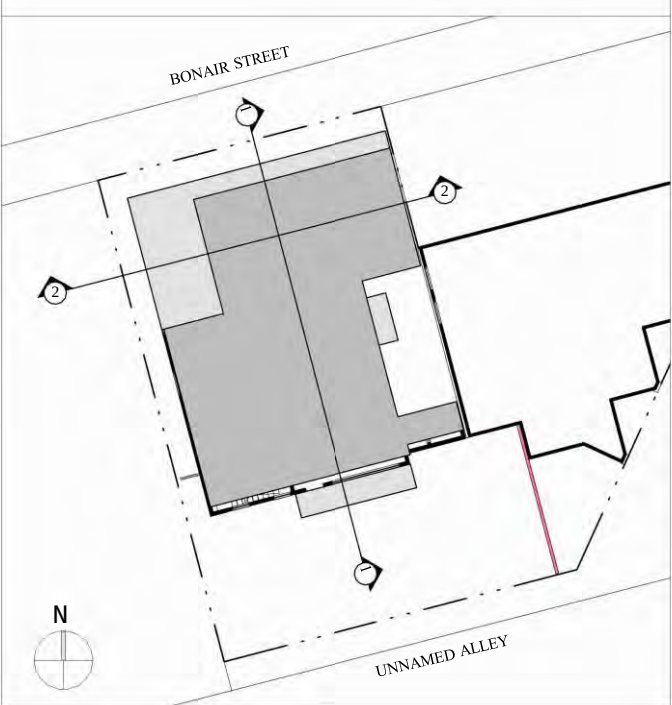
LA JOLLA BLVD

6794 La Jolla Blvd.
La Jolla, CA 92037

REVISIONS	PROJECT START
06/23/2022	
PHASE	Coastal Phase
PROJECT NO.	2022-27
REVIEWED BY	CAM
DRAWN BY	CP
DATE	01/12/2025
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A053	



KEY MAP



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



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LA JOLLA BLVD

6794 La Jolla Blvd.
La Jolla, CA 92037

REVISIONS
06/23/2022 PROJECT START



PHASE
Coastal Phase

PROJECT NO.
2022-27

REVIEWED BY
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DRAWN BY
CP

DATE
01/12/2025

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A060



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7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
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Claude Anthony Marengo DESA



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LA JOLLA BLVD
6794 La Jolla Blvd.
La Jolla, CA 92037

REVISIONS
06/23/2022 PROJECT START



PHASE
Coastal Phase

PROJECT NO.
2022-27

REVIEWED BY
CAM

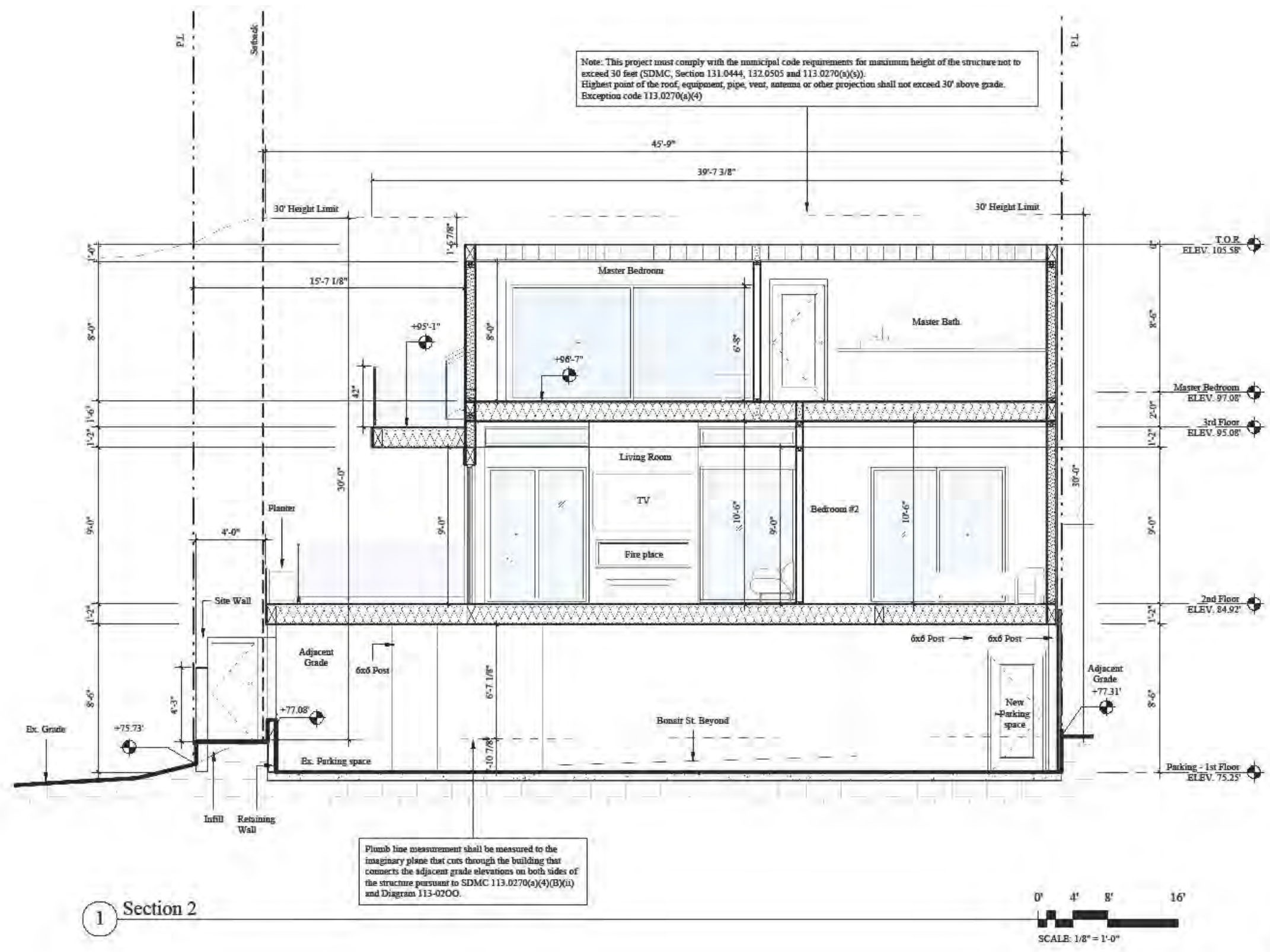
DRAWN BY
CP

DATE
01/12/2025

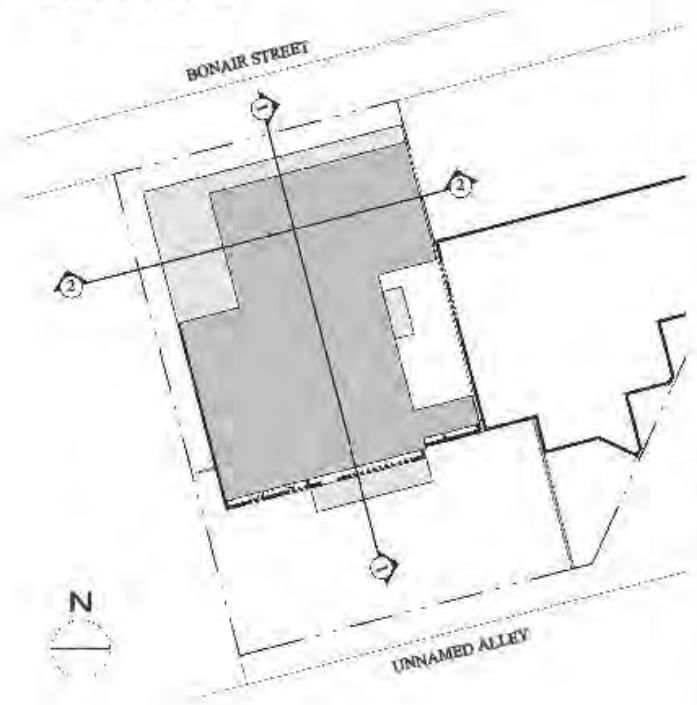
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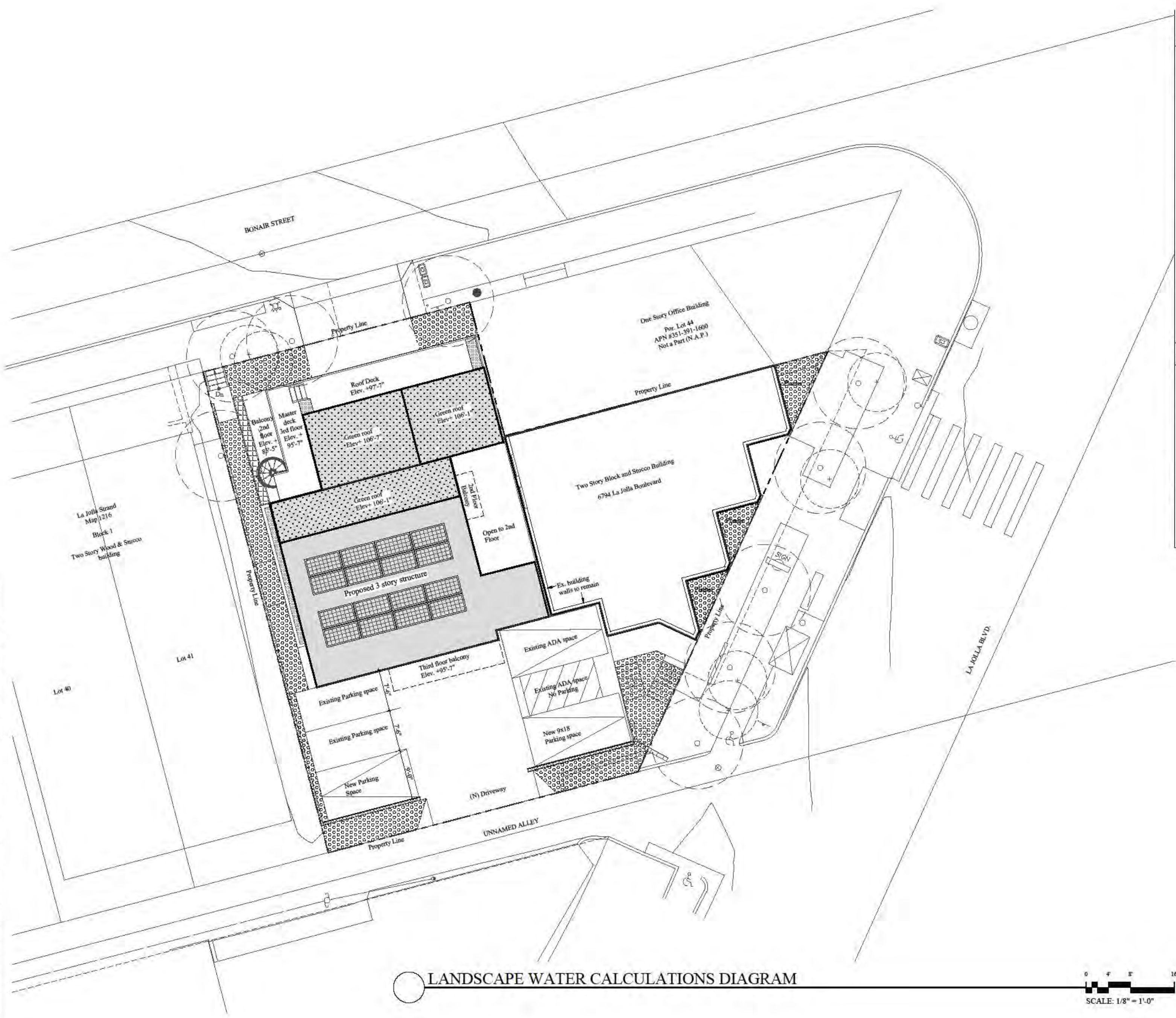
SHEET TITLE
Section 2

A061



KEY MAP





Water Conservation Calculations

Model Water Efficient Landscape Regulations (MWELO)

Development with a landscape area of 500 square feet or greater and rehabilitated landscape projects of 2,500 square feet or greater shall be subject to the following pursuant title 23, section 490.1 of the California Code of Regulations:

(1) Water Budget

(A) Maximum Applied Water Allowance (MAWA) water budget shall be calculated using the following formula:

MAWA Water Budget = (ETo)(0.62)((ETAF)(LA)+(1-ETAF)(SLA))

For Residential Landscape (ETo)(0.62)((0.45)(LA)+(0.45)(SLA))

For Non Residential Landscape = (ETo)(0.62)((0.45)(LA)+(0.45)(SLA))

(B) Estimated Total Water use (ETWU), as calculated in Section 2.6 of the Landscape Standards of the Land Development Manual, shall not exceed the MAWA budget. The ETWU is calculated using the following formula:

ETWU = ((ETo)(0.62))((PF/IE x HA) + SLA) = gallons/year

(C) The Irrigation System is required to be operated within the approved MAWA Budget

La Jolla ETo = 40 inches/year
LA = 1,666
SLA = 0

MAWA = (40)(0.62)((0.55)(1,797)+(0.45)(0)) = 24,511 gallons/year

Hydronics I - Low Water Use
ETWU = ((40)(0.62))((0.2)(0.81) x (1,797) + 0) = 16,454 gallons/year

Total Water Use = 11,004 gallons per year

MAWA - Total Water Use = 24,511 - 11,004 = 13,507

Legend & Notes

The applicant agrees to comply with the requirements of the prescriptive compliance option to the Model Water Efficient Landscape Ordinance (MWELO) in accordance with state law and Land Development Code Section 142.0413(h) and will provide the record owner at the time of final inspection with a certificate of completion, certificate of installation, irrigation schedule, and schedule of landscape and irrigation maintenance

- Hydronics I - Low Water Use - Automated Drip Irrigation:
- AT MAIN LEVEL - 807 SQFT
 - AT 2ND FLOOR - 30 SQFT
 - AT 3RD FLOOR & ROOF - 762 SQFT

M2

Marengo Morton Architects

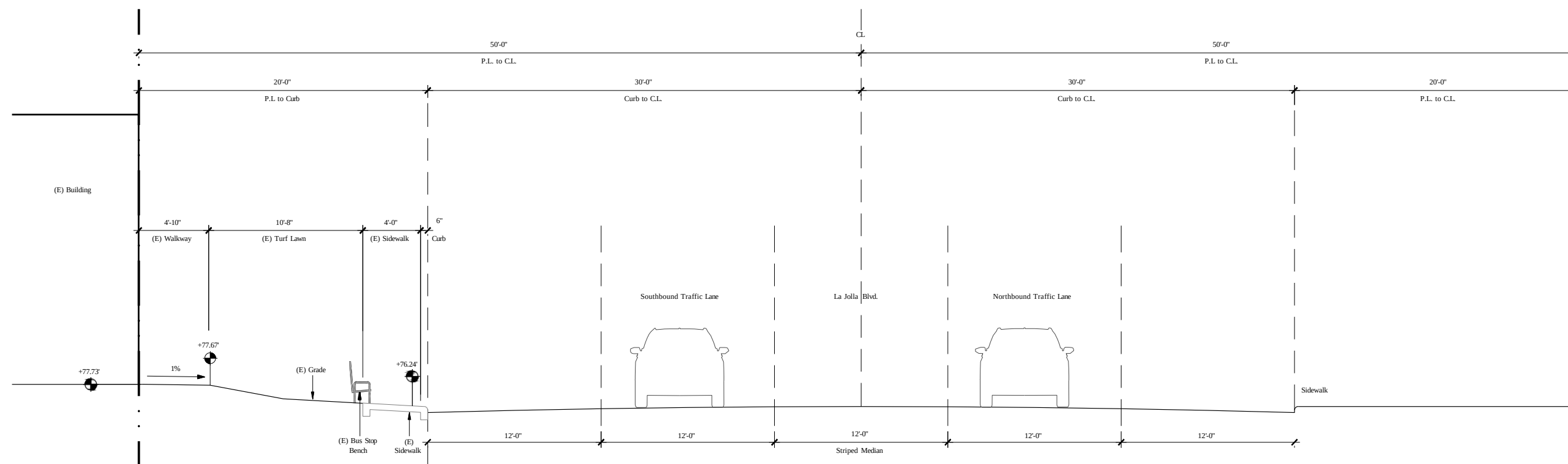
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

C-19371 RENEWAL 04/30/2025

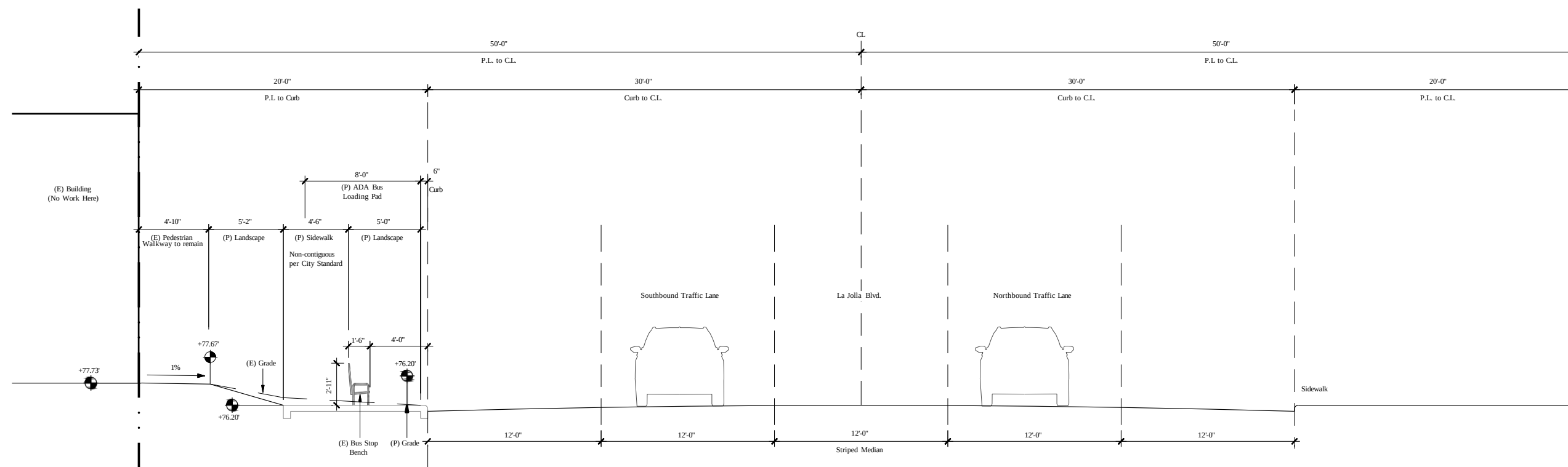
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La Jolla Blvd
6794 La Jolla Blvd
La Jolla, CA 92037

REVISIONS	PROJECT START
06/23/2022	11/08/2023
11/08/2023	1st City Submittal
△	△
△	△
△	△
PHASE	COASTAL PHASE
PROJECT NO.	2022-27
REVIEWED BY	CAM
DRAWN BY	CP
DATE	10/17/25
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SHEET TITLE	Landscape Water Calculations
L02	



(E) LA JOLLA BLVD SECTION SCALE = 1"=5'-0"



(P) LA JOLLA BLVD SECTION SCALE = 1"=5'-0"

LEGEND

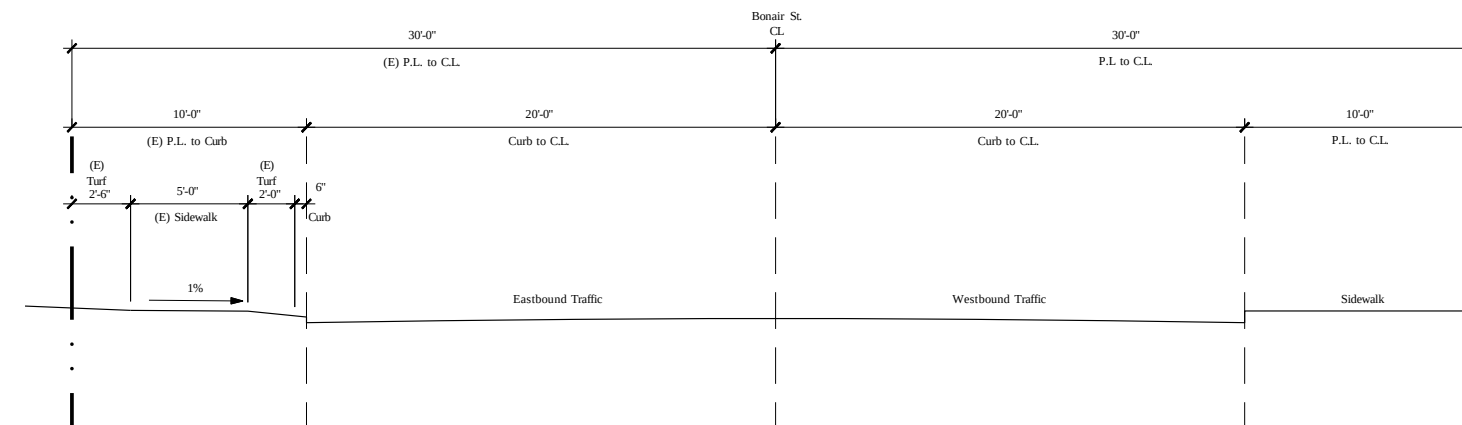
SYMBOL	DESCRIPTION				

SHEET: LA JOLLA BLVD STREET SECTION
PROJECT NAME: LA JOLLA BLVD RESIDENCE
ADDRESS: 6794 LA JOLLA BLVD

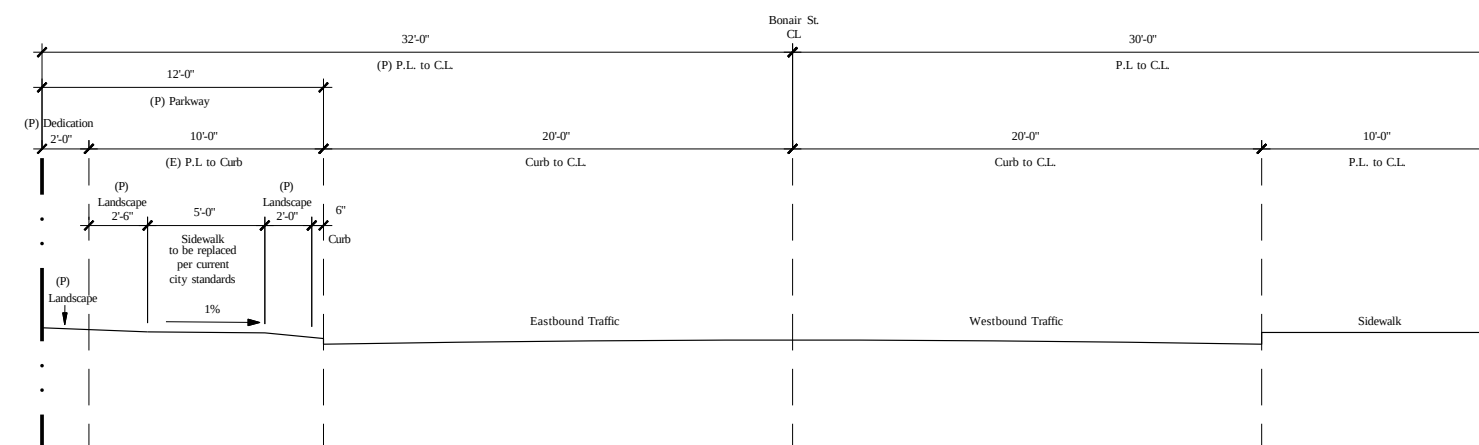
SHEET 15 OF 19
PRJ-1107307

CITY APPROVAL STAMP

CS-01



(E) BONAIR ST SECTION **SCALE = 1"=5'-0"**

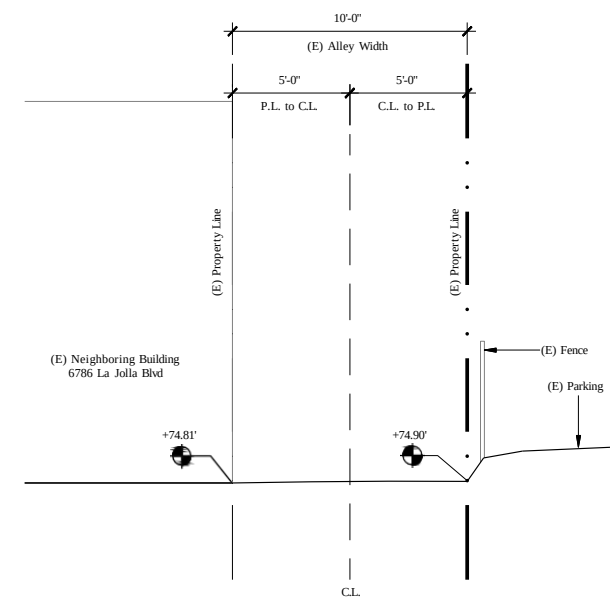


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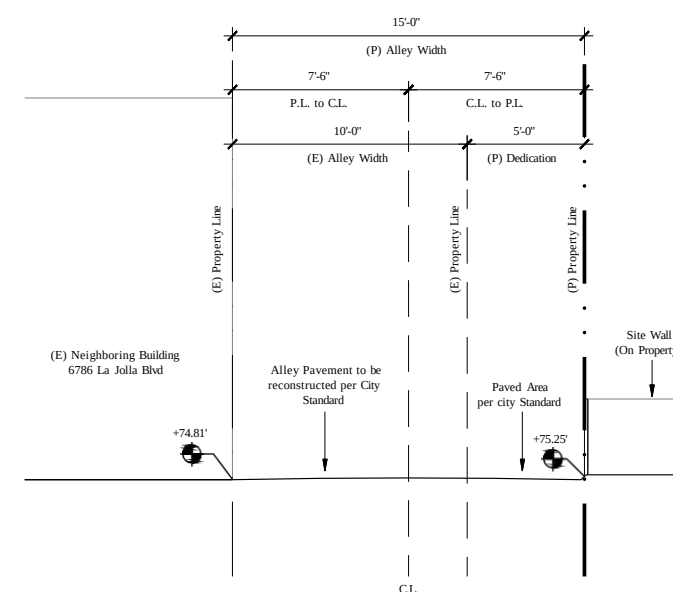
LEGEND

SYMBOL	DESCRIPTION				

SHEET: BONAIR STREET SECTION PROJECT NAME: LA JOLLA BLVD RESIDENCE ADDRESS: 6794 LA JOLLA BLVD		CS-02
SHEET 16 OF 19 PRJ-1107307	CITY APPROVAL STAMP	



(E) ALLEY SECTION **SCALE = 1"=5'-0"**



(P) ALLEY SECTION SCALE = 1"=5'-0"

LEGEND

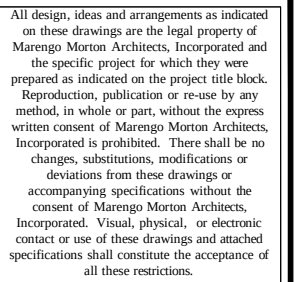
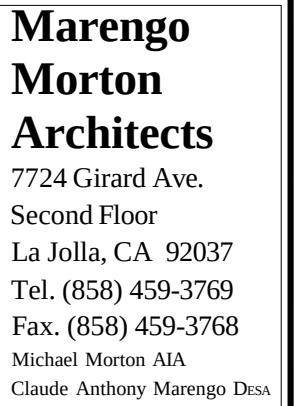
SYMBOL	DESCRIPTION

SHEET: UNNAMED ALLEY STREET SECTION
PROJECT NAME: LA JOLLA BLVD RESIDENCE
ADDRESS: 6794 LA JOLLA BLVD

SHEET 17 OF 19
PRJ-1107307

CITY APPROVAL STAMP

CS-03



6794 La Jolla Blvd
La Jolla, CA 92037

REVISIONS	
06/23/2022	PROJECT START
11/08/2023	1st City Submittal

PROJECT NO. 2022-27

REVIEWED BY	CAM
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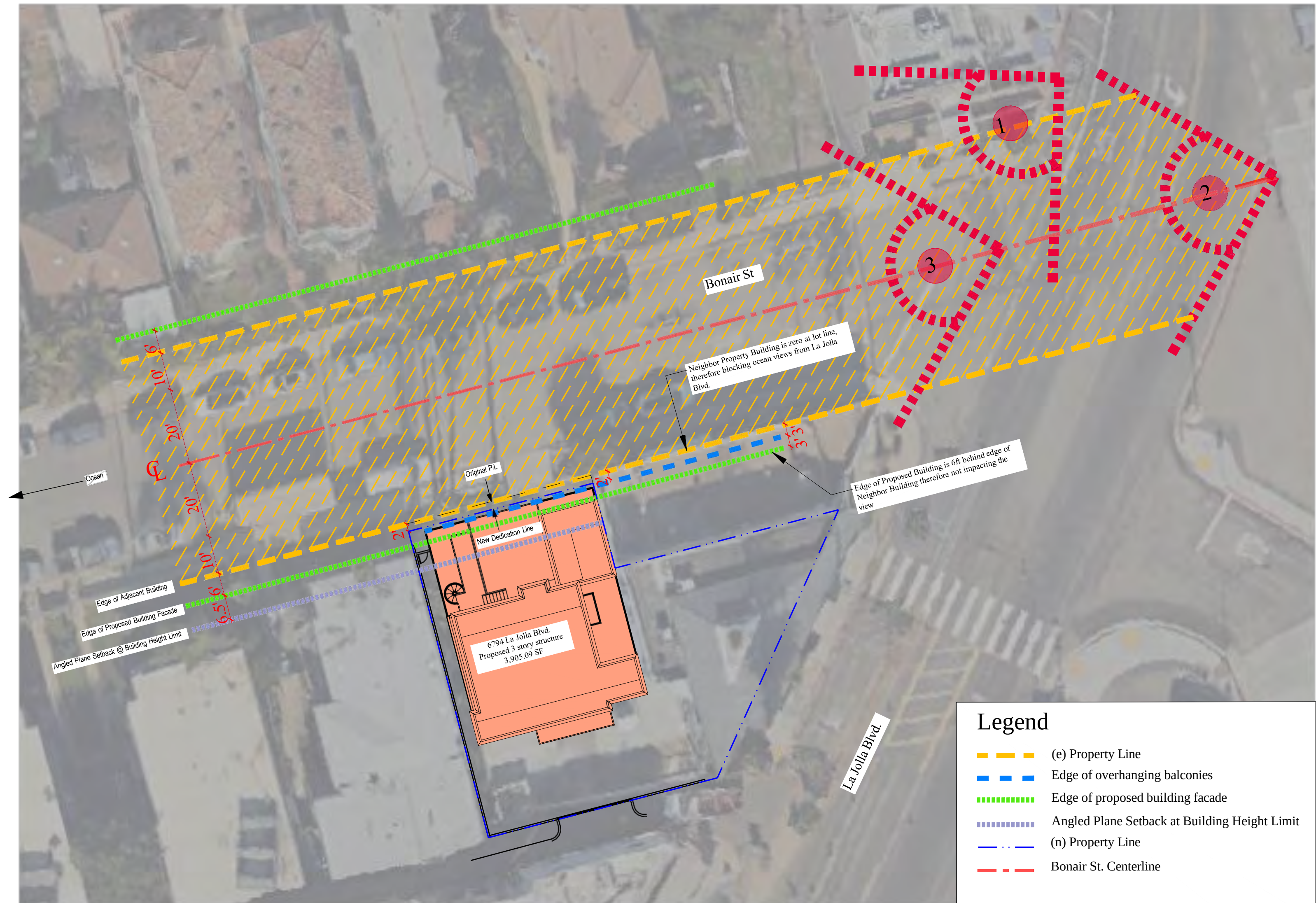
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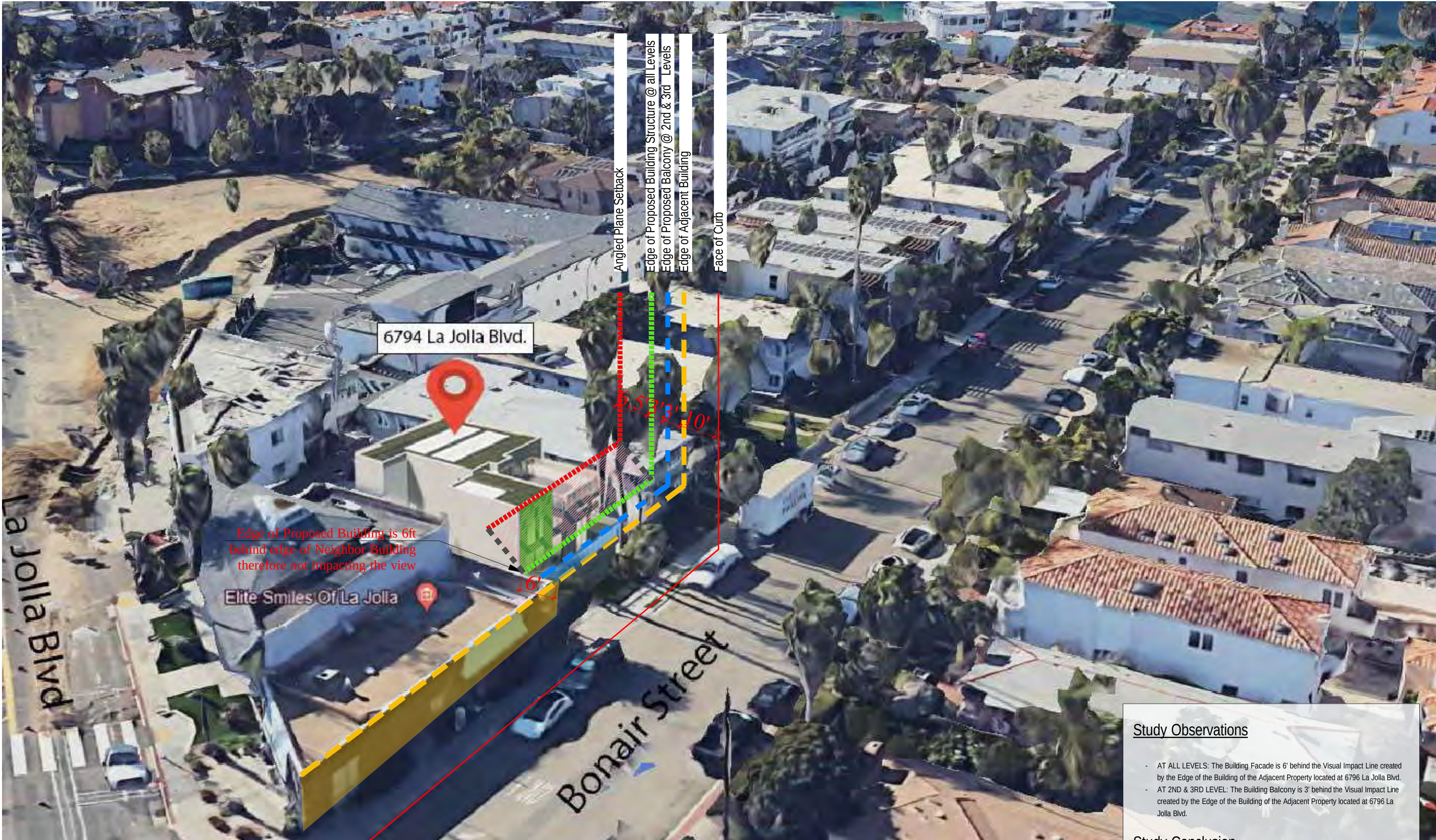
SHEET TITLE
VISUAL CORRIDOR ANALYSIS
SITE PLAN VIEW

RM01



 SITE PLAN VIEW
N.T.S.





1 BIRD EYE VIEW
N.T.S.



Study Observations

- AT ALL LEVELS: The Building Facade is 6' behind the Visual Impact Line created by the Edge of the Building of the Adjacent Property located at 6796 La Jolla Blvd.
- AT 2ND & 3RD LEVEL: The Building Balcony is 3' behind the Visual Impact Line created by the Edge of the Building of the Adjacent Property located at 6796 La Jolla Blvd.

Study Conclusion

- The proposed Building does not propose additional visual impact from a Pedestrian stand point to the view corridor located on Bonair St because it is located behind the edge of the building of the Adjacent Building located at 6796 La Jolla Blvd.



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



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La Jolla Blvd
6794 La Jolla Blvd
La Jolla, CA 92037

REVISIONS	PROJECT START
06/23/2022	11/08/2023
11/08/2023	1st City Submittal



PHASE
COASTAL PHASE

PROJECT NO. 2022-27

REVIEWED BY CAM

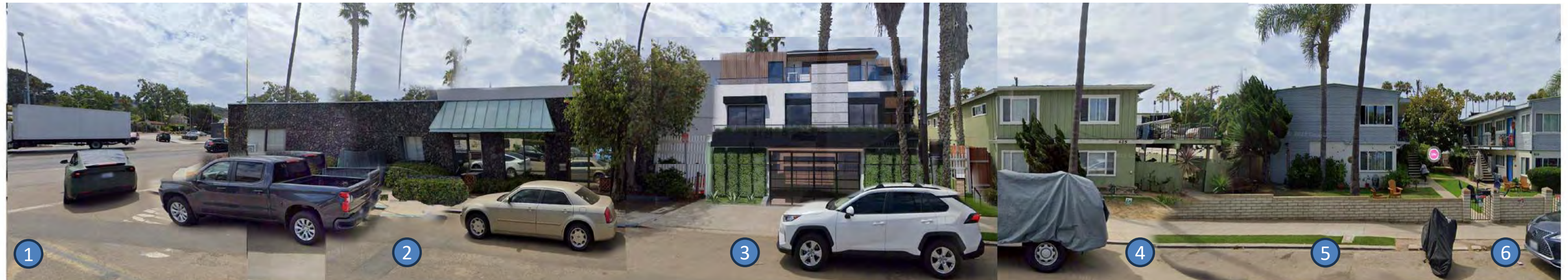
DRAWN BY SC

DATE 09/16/24

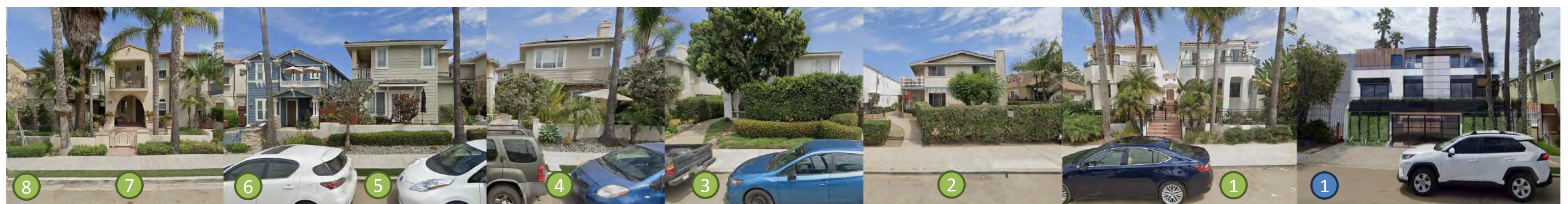
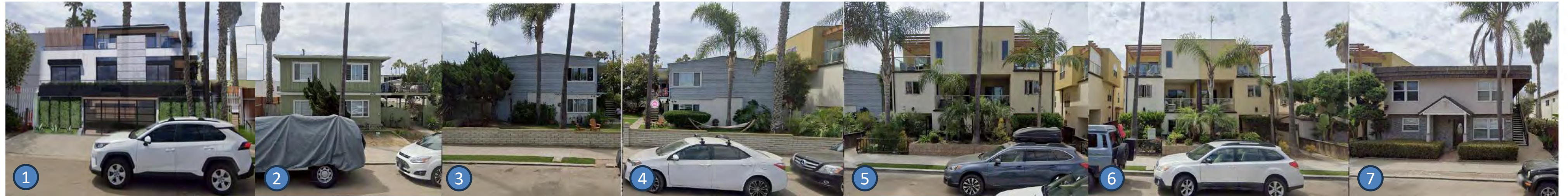
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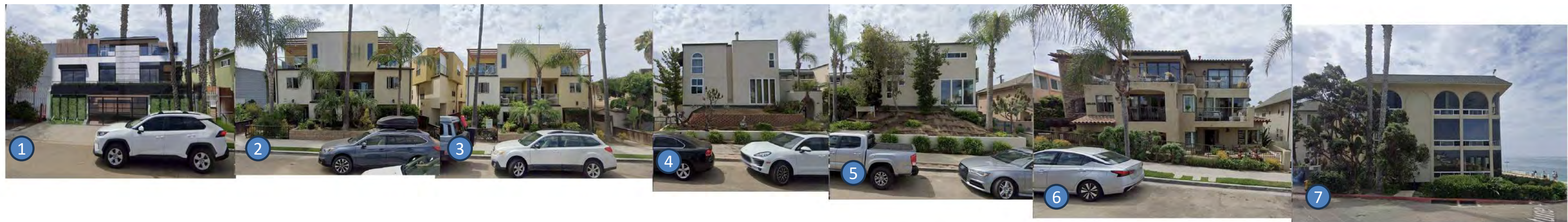
SHEET TITLE
VISUAL CORRIDOR ANALYSIS
PHOTO STUDY

RM02

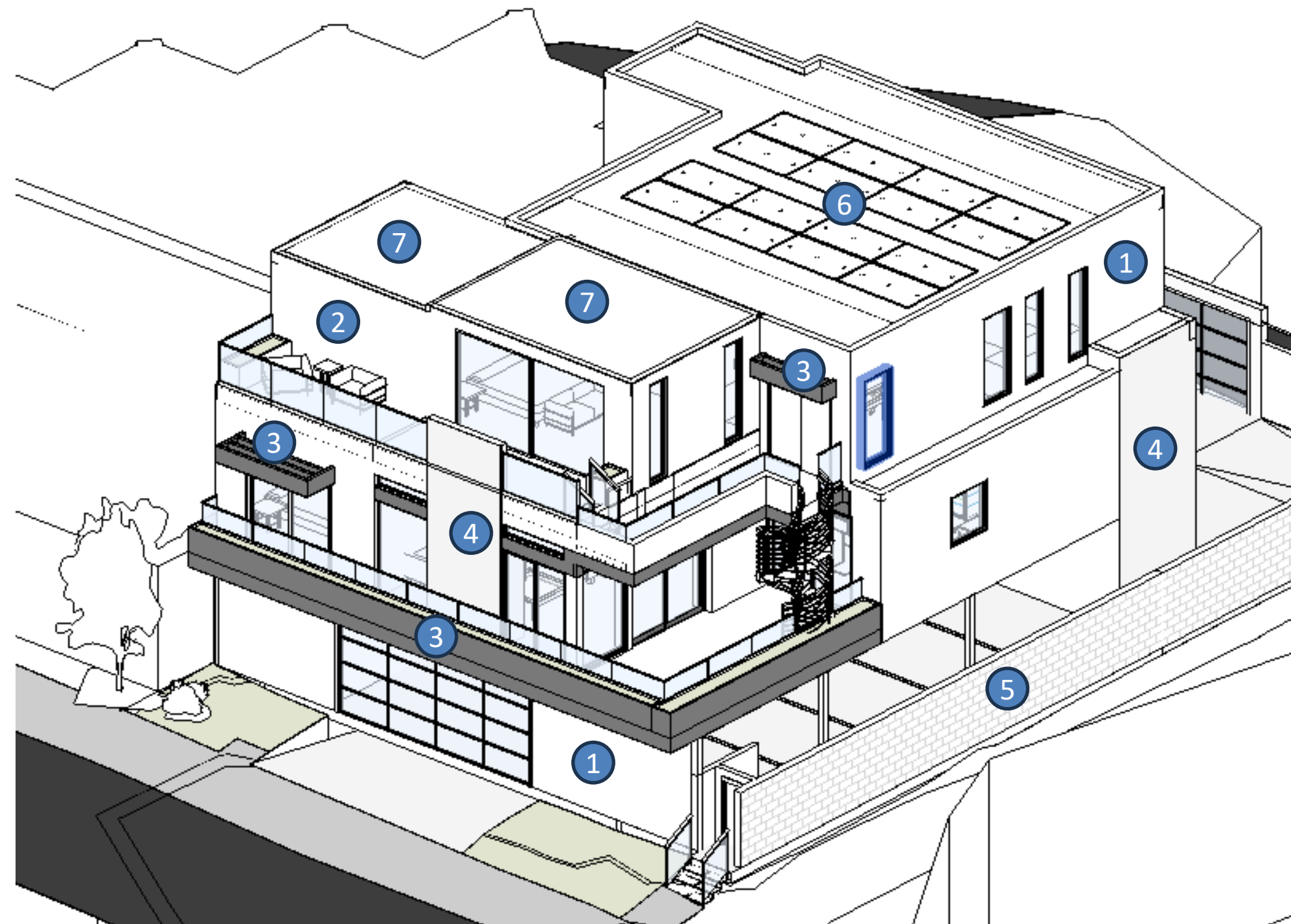


- ① La Jolla Blvd
- ② 1 Story Commercial
- ③ **Proposed Building**
- ④ 2 Story Residential
- ⑤ 2 Story Residential
- ⑥ 2 Story Residential





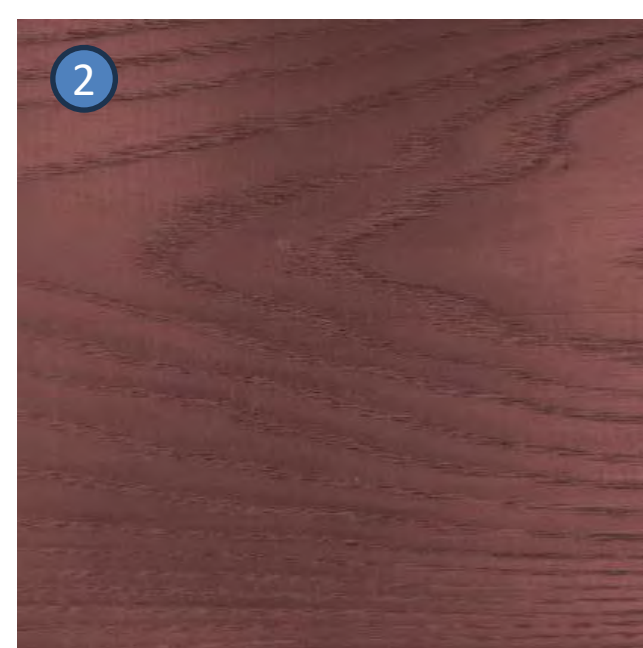




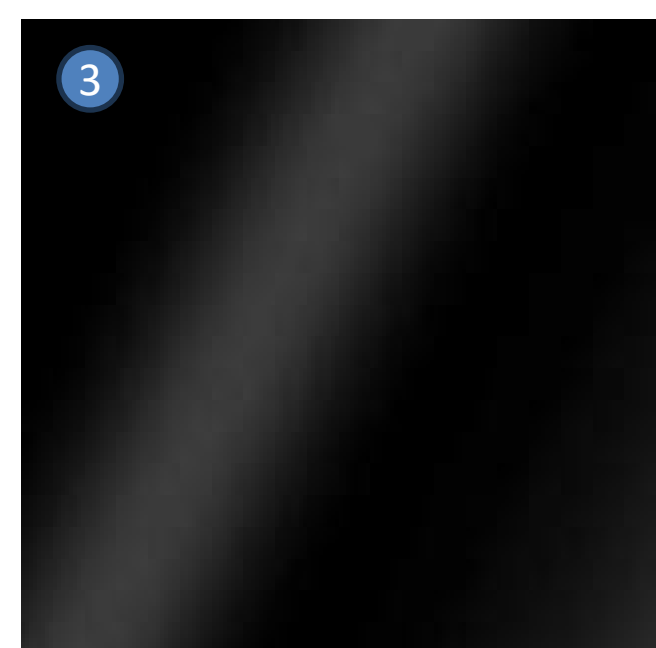
- ⑥ Solar Panels
- ⑦ Green Roof Planting



Expo Stucco
Dove Grey #258



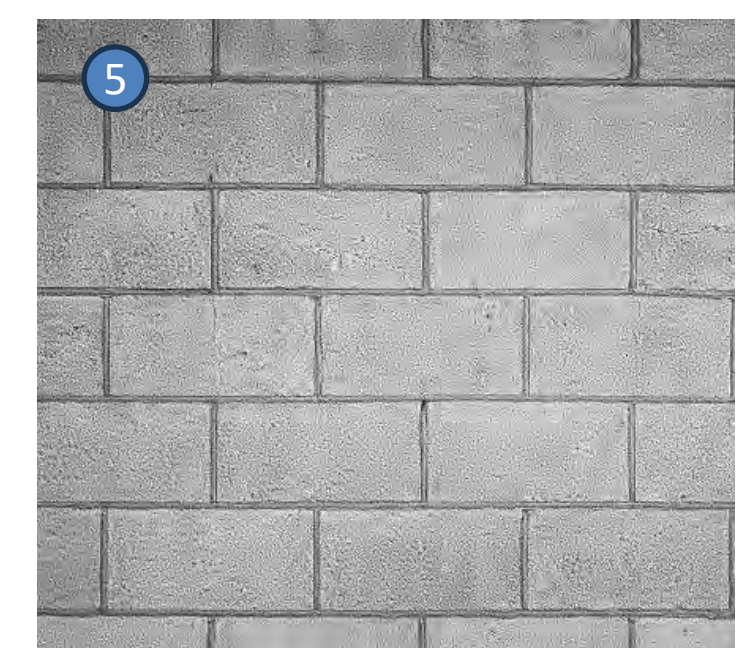
Nusku Thermacor
White Ash Dark Color



Black Anodized Aluminum
Brake Metal



Natural Stone Veneer



CMU Site Wall



**Marengo
Morton
Architects**
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
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La Jolla Blvd
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REVISIONS		PROJECT START
06/23/2022	11/08/2023	1st City Submittal



PHASE
COASTAL PHASE

PROJECT NO. 2022-27

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DATE 09/16/24

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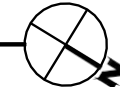
SHEET TITLE
VISUAL CORRIDOR ANALYSIS
PHOTO STUDY

RM03



6794 La Jolla Blvd, Face
of Proposed Building will
be 6' behind Face of
Adjacent Existing
Building

2 VIEW CORRIDOR FROM ACCROSS THE STREET
N.T.S.





7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

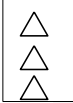


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La Jolla, CA 92037

REVISIONS	
06/23/2022	PROJECT START
11/08/2023	1st City Submittal



PHASE
COASTAL PHASE

PROJECT NO. 2022-27

REVIEWED BY	CAM
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DATE	09/16/24
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SHEET TITLE
VISUAL CORRIDOR ANALYSIS
PHOTO STUDY

RM04



Adjacent Building is at 0
from Property Line

3 VIEW CORRIDOR FROM START OF BONAIR STREET
N.T.S.

