

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-0692097 - Senn Way Residence
- Address and APN(s):
7792 Senn Way / APN: 3531502100
- Project contact name, phone, e-mail:
William Hayer, 858-792-2800, bhayer@hayerarchitecture.com
CC: shuntsman@hayerarchitecture.com
- Project description:
Construction of new 3-story, single family dwelling on a vacant downhill lot. Dwelling includes attached 5 car garage, 6 bedrooms, 10 bathrooms, separate pool/spa and gym, separate basketball court deck, with consideration of MHPA zone located along southeast property line and sensitive vegetation within the property.
- Please indicate the action you are seeking from the Advisory Board:
 Recommendation that the Project is minor in scope (Process 1)
 Recommendation of approval of a Site Development Permit (SDP)
 Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 Other: _____
- In addition, provide the following:
 - lot size: 5.4 acres / 235,182 SF
 - existing structure square footage and FAR (if applicable): N/A
 - proposed square footage and FAR: 18,205 sf GFA / 7.8% FAR
 - existing and proposed setbacks on all sides: 15'-0" all sides
 - height if greater than 1-story (above ground): 30'-0" max. plumb / 40'-0" max. overall

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board’s review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City’s website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure’s height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners’ Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

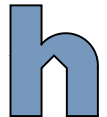
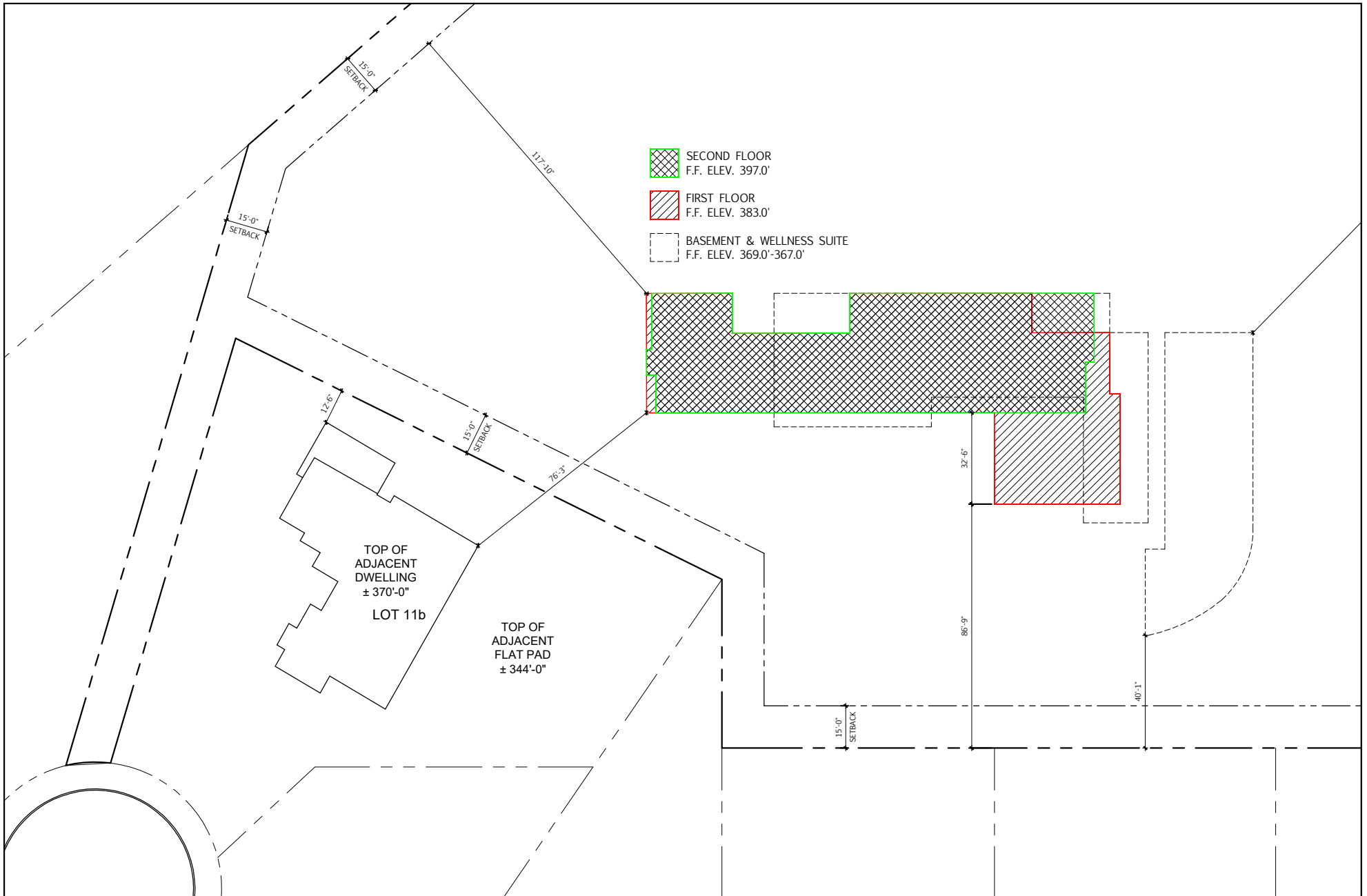
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board’s review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the “owner/applicant” and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173



hayer architecture

445 Marine View Ave., Suite 280
 Del Mar, CA 92014
 1858 792 2800
 www.hayerarchitecture.com

Senn Way Residence

7792 SENN WAY
 LA JOLLA, CALIFORNIA 92037

LJSPDAB SITE PLAN - ENLARGED

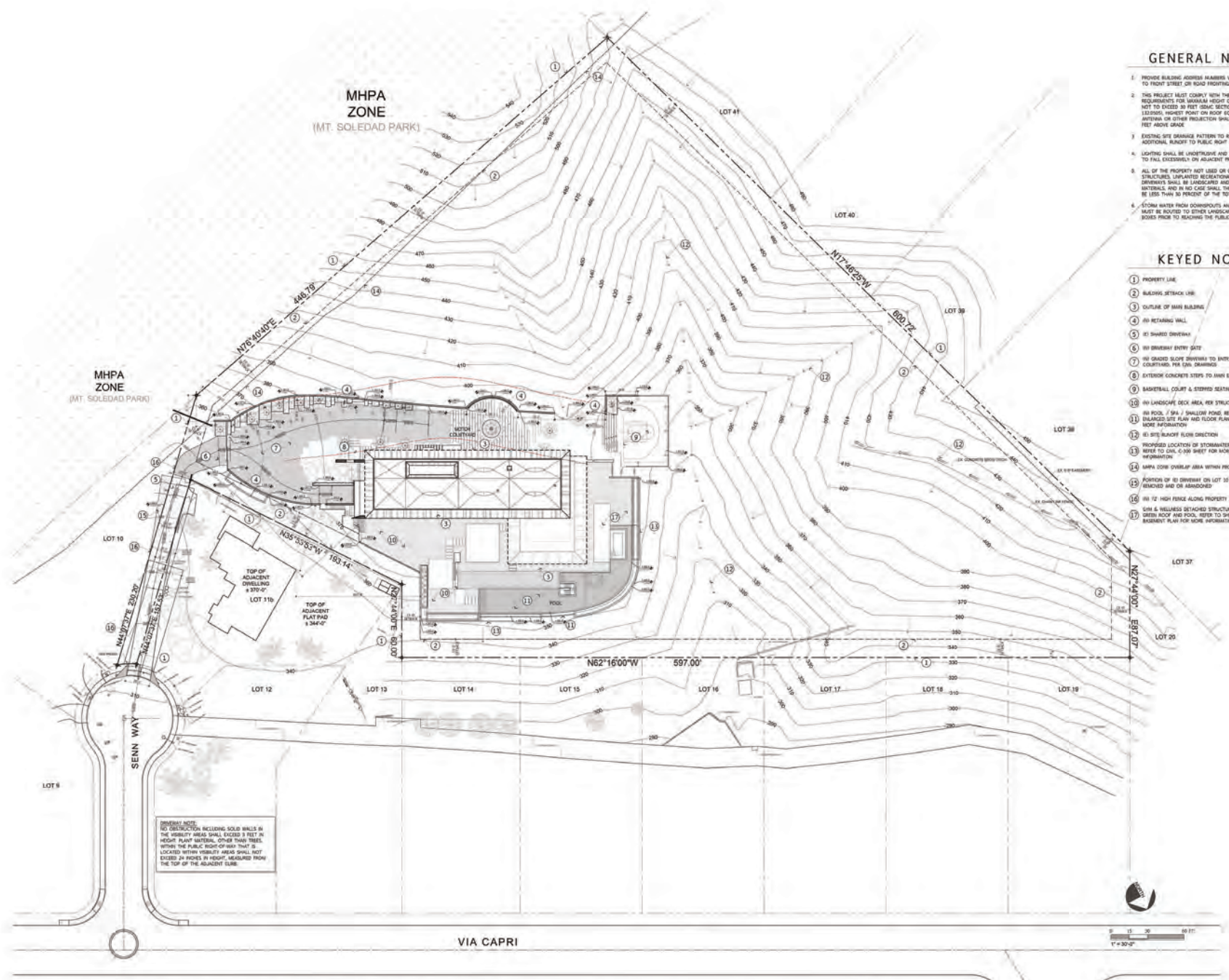


GENERAL NOTES

- 1 PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE TO FRONT STREET OR ROAD FRONTING THE PROPERTY.
- 2 THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SOME SECTIONS 12.5.4.4.A AND 12.5.4.4.B), HIGHEST POINT ON ROOF EQUIPMENT FIVE FEET ABOVE OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- 3 EXISTING SITE DRAINAGE PATTERN TO REMAIN, NO ADDITIONAL RUNOFF TO PUBLIC RIGHT OF WAY.
- 4 LIGHTING SHALL BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.
- 5 ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPAVED RECREATION, AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THE LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA.
- 6 STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS MUST BE ROUTED TO OTHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

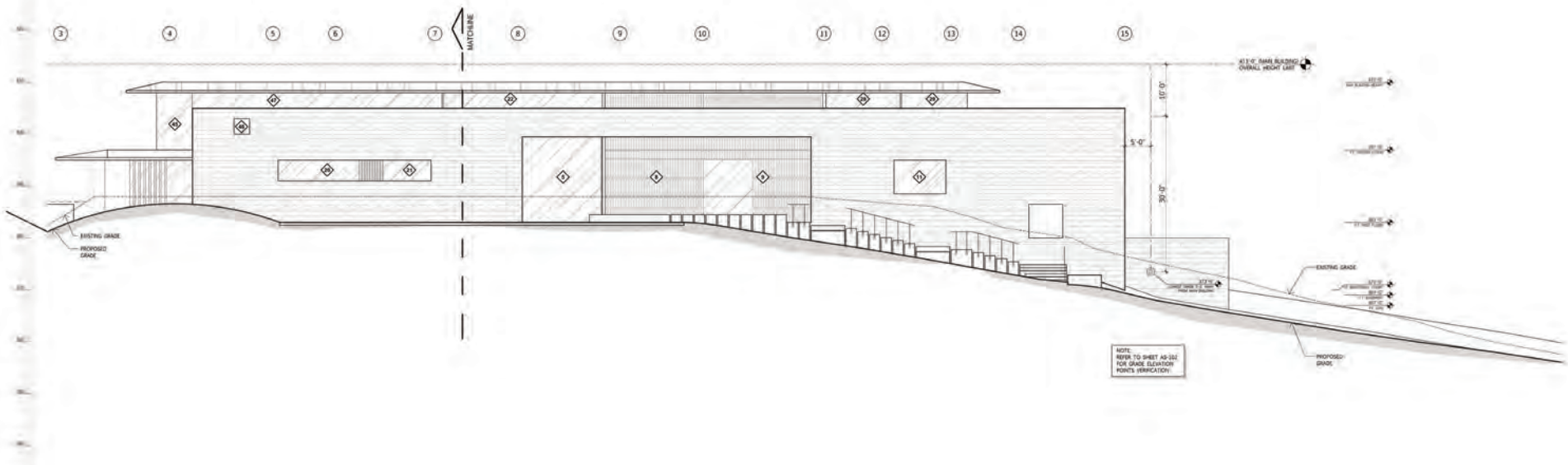
KEYED NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACK LINE
- 3 OUTLINE OF MAIN BUILDING
- 4 80 RETAINING WALL
- 5 81 SHARED DRIVEWAY
- 6 81 BRUSHWAY ENTRY GATE
- 7 80 GRADED SLOPE DRIVEWAY TO ENTRY MOTOR COURT/AREA FOR SIGN CHANGING
- 8 EXTERIOR CONCRETE STEPS TO MAIN ENTRY
- 9 BASKETBALL COURT & SEATED SEATING
- 10 80 LANDSCAPE DECK AREA, PER STRUCTURAL PER PLAN, 2" DIA. 3" SHALLOW PILING REFER TO BALANCED SITE PLAN AND FLOOR PLANS FOR MORE INFORMATION
- 11 81 80% SLOPE FLOOR ORIENTATION
- 12 PROPOSED LOCATION OF STORMWATER PUMP REFER TO CIVIL 0-100 SHEET FOR MORE INFORMATION
- 13 MHPA ZONE OVERLAP AREA WITHIN PROJECT SITE
- 14 PORTION OF 81 DRIVEWAY ON LOT 10 TO BE REMOVED AND/OR ABANDONED
- 15 80 12' HIGH FENCE ALONG PROPERTY LINE
- 16 81 6' WELDED DETACHED STRUCTURE BELOW MAIN ROOF AND POOL, REFER TO SHEET 100A-BASINEMENT PLAN FOR MORE INFORMATION



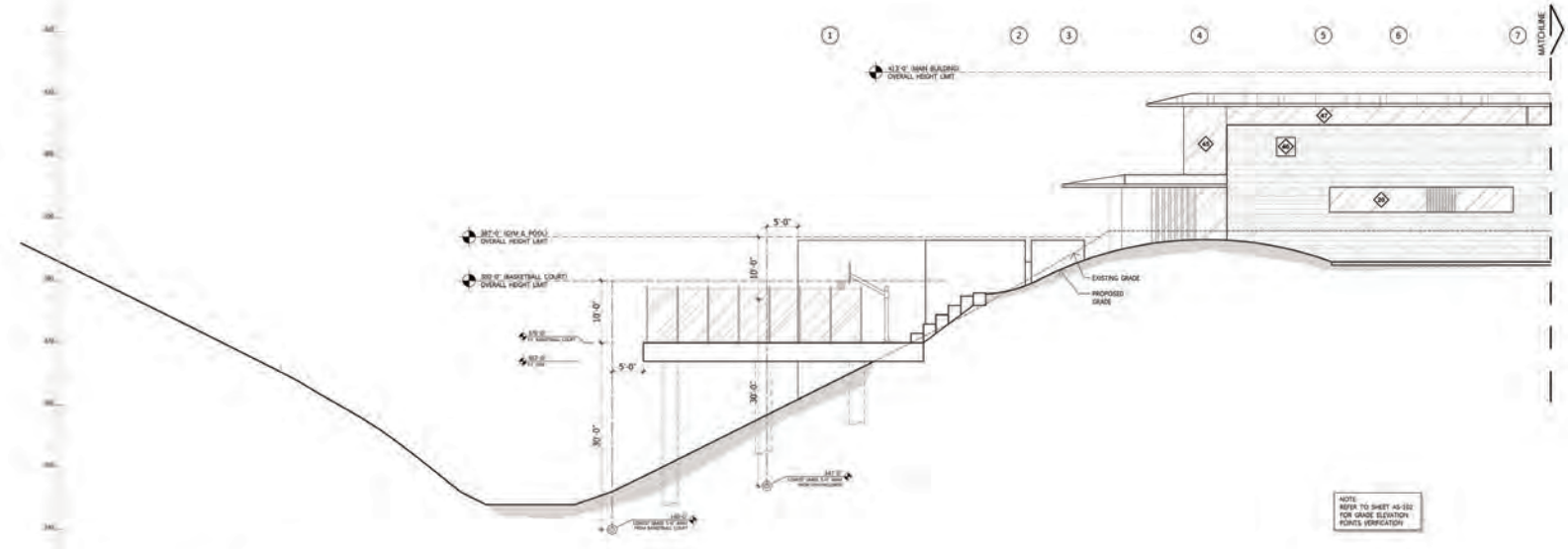
GENERAL NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE ADJACENT CURB.

1 OVERALL SITE PLAN



1a BUILDING ELEVATION - SOUTH

SCALE 1/8"=1'-0"



1b BUILDING ELEVATION - SOUTH

SCALE 1/8"=1'-0"

KEYED NOTES

- 1
- 2
- 3
- 4
- 5

NO.	DATE
1	08/08/17
2	08/08/17
3	08/08/17
4	08/08/17
5	08/08/17

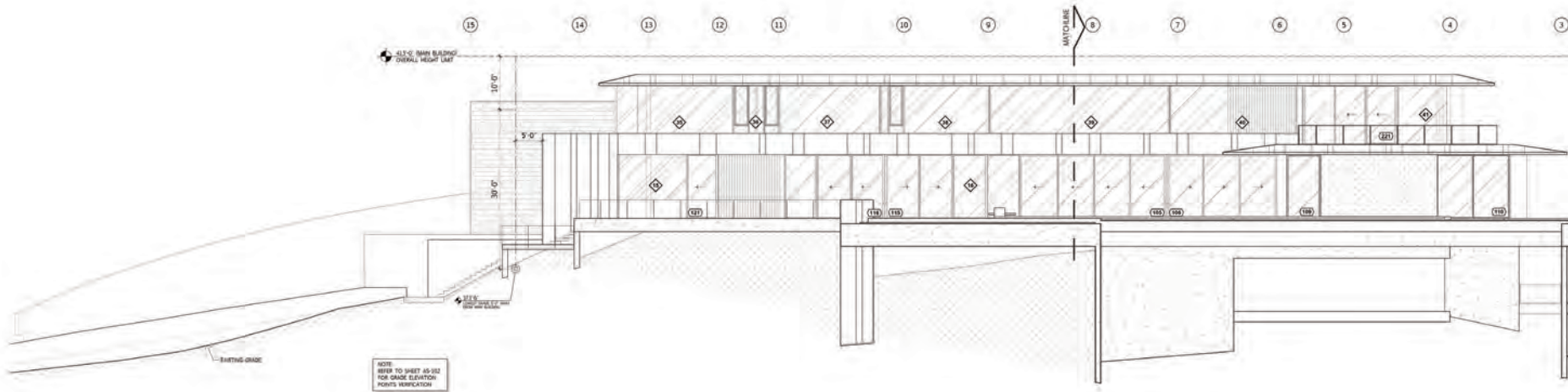
REVISION	DATE

EXTERIOR FINISH KEY	
[SIC]	EXTERIOR STONE
[MFC]	EXTERIOR METAL FINISH
[MCS]	EXTERIOR METAL SCREEN
[MFC]	EXTERIOR METAL PANEL
[PLC]	EXTERIOR PLASTER
[WDS]	EXTERIOR WOOD SLATS
[CONC]	CONCRETE FINISH

* REFER TO SHEET AS-100 FOR FINISH SPEC

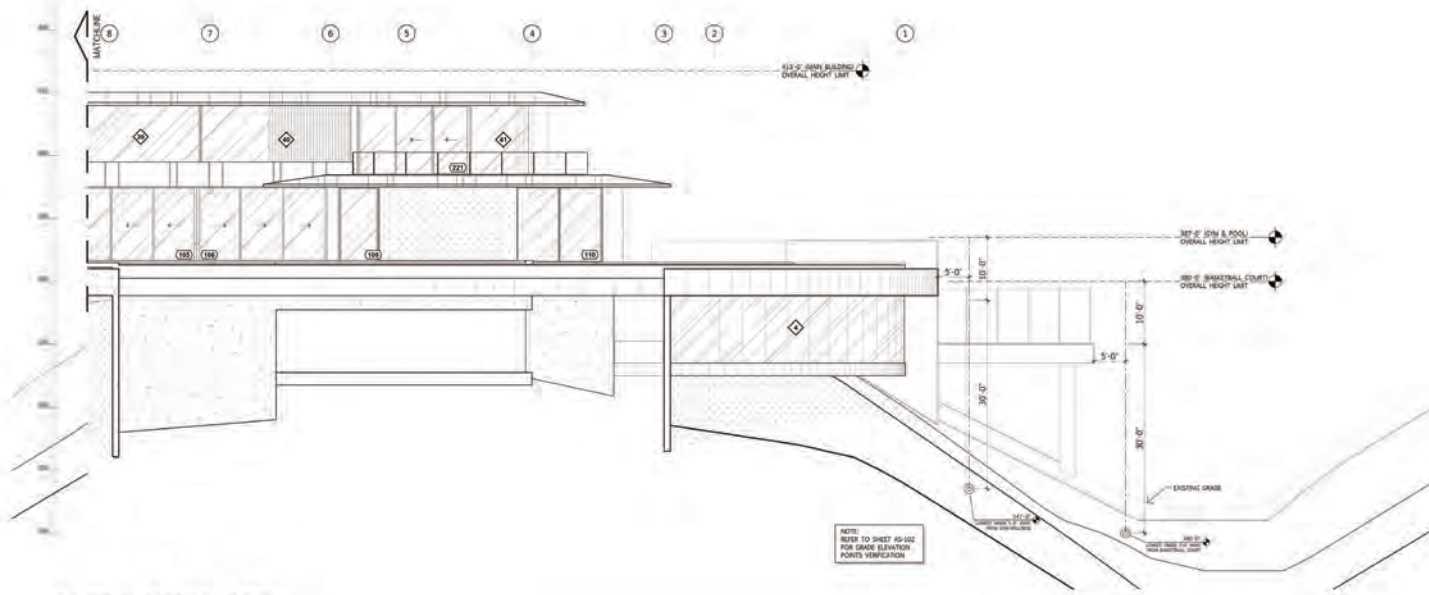
PROJECT #
692097
SCALE: 1/32" = 1'-0"
A 201

EXTERIOR
ELEVATIONS



2a BUILDING ELEVATION - NORTH

SCALE: 1/8"=1'-0"



2b BUILDING ELEVATION - NORTH

SCALE: 1/8"=1'-0"

KEYED NOTES

- ①
- ②
- ③
- ④
- ⑤

SENN WAY
RESIDENCE
7702 SENN WAY
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
Issue Admin	4/18/2017
Design Submittal	4/18/2017
Permit Submittal	4/18/2017
Permit Submittal	11/16/2017
Permit Submittal	11/16/2017
Permit Submittal	4/18/2017

REVISION	DATE

EXTERIOR FINISH KEY	
(S-1)	EXTERIOR STONE
(M-1)	EXTERIOR METAL FACIA
(M-2)	EXTERIOR METAL SCREEN
(M-3)	EXTERIOR METAL PANEL
(P-1)	EXTERIOR PLASTER
(WB-1)	EXTERIOR WOOD SLATS
(CONC)	CONCRETE FINISH

* REFER TO SHEET 4-800 FOR FINISH SPECS

PROJECT #
692097
SCALE: 1/8" = 1'-0"
A 202

EXTERIOR
ELEVATIONS

November 7, 2025

Via Email: ian@sdpermitco.com

Ian Harris:
PO BOX 124979
San Diego, CA 92112

Tobias Harris
100 S Eola Drive
Orlando, FL 3281

Subject: Digital- Senn Way Residence Tenth Review Assessment Letter; Review Cycle Issue Report, Excel Spreadsheet with Responses, Required Submittal Document, and **Due Invoice 464715**; Project No. PRJ-0692097; Internal Order No. 24008916; La Jolla Community Plan

Dear Ian Harris:

Your project is processing one or more [discretionary permits](#). As your Development Project Manager, I will coordinate all communications and schedule meetings directly with you. Please notify me if a different Point of Contact should be assigned while I am managing this project.

The Development Services Department has completed the **10th review** of the project as described below:

LA JOLLA (Process 3) CDP and SDP to construct a 2-story, 18,436-sf single-family residence over a basement/garage, a detached 3,462-sf gym, pool/spa, and a 2,670-sf outdoor basketball court on a vacant lot at 7792 Senn Way. The 5.4-acre site contains ESL (MHPA Subarea 114, Steep Hillside, & sensitive vegetation) and is in the LJSPD-SF Zone, Coastal (Non-App. Area 1) Overlay Zone, Coastal Height Limit. OZ, Fire Brush Zones, and High Fire Severity Zone within La Jolla CP, and CD 1.

A Site Development Permit is required in accordance with Section [143.0110](#) because of potential impacts to environmentally sensitive lands and may be approved or conditionally approved only if the decision maker makes the following supplemental findings and a major development within the La Jolla Shores Planned District.

The construction and grading of the site will require a Coastal Development Permit. CDP Findings, SDMC Section [126.0708](#).

NOTE: To avoid further Subsequent submittals beyond the **10th Review**, please thoroughly review and address all outstanding open review comments.

NOTE: If major modifications to the project scope, submittal requirements, or questions regarding any of the above are needed, please contact me as soon as possible.

The Consolidation of Processing regulations (SDMC 112.0103) mandate that all actions be consolidated and processed at the highest decision level. At this time, the Hearing Officer will make the decision to approve, conditionally approve, or deny the project, with appeal rights available to the Planning Commission.

At a minimum, a formal recommendation to the Hearing Officer will be prepared for your project only after the completion of the following milestones:

- All City staff review comments have been adequately addressed.
- A City Council-recognized Community Planning Group has provided a formal project recommendation;
- An environmental determination has been made, and that determination is in its final stages.

SIGNIFICANT PROJECT ISSUES: Carefully review the attached Project Issues Report, which contains review comments from staff representing various city reviewing disciplines, outside agencies, and the community planning group. All issues in the report must be addressed to move forward to a decision; however, I have identified the following significant issues that are critical for your project:

- a) Staff has requested a meeting to review the provided Biology Study Report and Bumble Bee Survey Report. Meeting dates will be forwarded to you once the project's deposit account deficit and minimum required balance are brought back into good standing.**
- b) Until the requested information has been provided, staff are not able to complete the environmental review in accordance with CEQA, and the environmental processing timeline will be held in abeyance.**
- c) See also and address any remaining open issues made by Plan-MSCP. PLEASE NOTE, Plan-MSCP is waiting on outstanding edits and response to comments to be addressed from the previous Biology Report, Fourth Revision, March 31, 2025.**
- d) Please review all remaining outstanding comments and provide the required information, corrections and/or documentation.**

TIMELINE: How Long Will It Take to Process My Discretionary Approval? The DSD processes a wide variety of discretionary approvals as applicants look to change land use entitlements. Approvals encompass a wide range, from small single-family home additions to master-planned communities spanning several hundred acres. There is no reliable way to forecast exactly how long an application will take to process, as time frames vary depending on many unpredictable factors such as project

complexity, the quality of information received, and demand set by market conditions. However, on average, discretionary approvals require 10-12 months to process. Simple small-scale projects with no environmental or land use issues, positive community support, and a responsive applicant can be processed in as little as 4-6 months; on the other hand, projects with significant environmental impacts, land use issues, neighborhood opposition, and/or a non-responsive applicant or consultant team can take multiple years to complete.

RESUBMITTAL REQUIREMENTS: Incomplete submittals will result in review delays. Currently, additional documents and information are required.

Note: SDMC Section [126.0115](#) requires that a development permit application be closed if the applicant fails to submit or resubmit requested materials, information, fees, or deposits within **90 calendar days** of receiving this letter, or **February 5, 2026**. Closed projects cannot be “reactivated”. Once closed, the applicant shall be required to submit a new development permit application with required submittal materials and shall be subject to all applicable fees and regulations in effect on the date the new application is deemed complete.

- **Accessing Digital Comments** - Currently, additional documents and information are required to continue the review process. Please visit Accela Citizen Access, log into your account and check both the Project Issues Report and the Submittal Requirements Report for the next time documents identified by each review discipline. If you have questions, please refer to the [DSD Online Permit Application Help Guide](#) for support or contact your Development Project Manager. Please keep track of any review comments that are marked as ‘Conditions,’ as these will become conditions of approval for your discretionary permit.
- **Uploading Resubmittal Documents** – Accela puts resubmittals into review automatically, but only if ALL required resubmittal documents are uploaded as individual files and at the same submittal session. **Incomplete resubmittals do not enter review until all items on the submittal report have been uploaded.** It is your responsibility to upload all required materials. I am not notified of incomplete submittals, and I am not responsible for project delays resulting from improper submittals. Once you have uploaded all your documents, please email me to confirm that you are in review. Failure to do so may result in additional delays.

Please refer to the

- ✓ DSD and Online Permit [Application Help Guide](#).
 - ✓ DSD [Training Videos](#) on Rechecks Required and Submitting Plans and Sheet Numbering Resubmitted.
 - ✓ For support, contact the Development Services Department Help line at 619-446-5000.
- **Applicant Response to Project Issues Report:** Please prepare a cover letter or matrix/spreadsheet that specifically describes how you have addressed each of the comments. Please reference the plan, sheet number, report, or page number as appropriate to assist staff in providing the fastest review possible. If it is not feasible to address a particular issue, please indicate the reason. A response to each comment from the

reviewers is necessary for staff to complete their review, as it greatly reduces the amount of work required to evaluate resubmittals. This is particularly important as we tackle rising demands and workloads in our department.

FINANCIAL INFORMATION:

- Please pay the attached invoice prior to resubmitting your project. Invoices can be paid in person at 7650 Mission Valley Road, MS# DSD-1A, San Diego, CA 92108 by scheduling an appointment using the following [link](https://www.sandiego.gov/development-services/virtual-appointments) <https://www.sandiego.gov/development-services/virtual-appointments>, or on the [Accela Citizen Access portal](#). Please notify me when the invoice has been paid, as the system will not alert me.
- **Please pay the attached invoice immediately to avoid project interruptions and freezes. Our most recent records indicate a deficit balance of \$3,176.40** in the deposit account for your project. However, please be advised that the cost of this review has not been posted to your account, and it may take four to six weeks to post these charges to the account. Deposit Account statements are mailed to the Financially Responsible Party on file, with the breakdown of staff charges. Please contact me for assistance if you have not received your statement for the previous two months.

Please be advised that the [minimum required balance](#) for each approval type must be maintained throughout the process. If you wish to make a payment toward the deposit account, please let me know, and an invoice can be provided; payments can be made in person at 7650 Mission Valley Road, MS# DSD-1A, San Diego, CA 92108 by scheduling an appointment using the following [link](#) or on the [Accela Citizen Access portal](#). Please note that **reviews will be immediately halted on any deposit account that is in deficit or goes into collections.**

- Environmental Document Filing Fees:
 - A California Environmental Quality Act (CEQA) Notice of Determination/Exemption (NOD/NOE) must be filed with the County of San Diego after the project's approval and after all appeal periods have been exhausted. This filing must be accompanied by a \$50 document handling fee. Provide a check for \$50 made out to "San Diego County Clerk." Please mail to: DSD Attn: Ollie Shepherd, MS-501, 1222 First Avenue, San Diego, CA 92101. Please include your project number, PRJ-0692097, in the memo section of the check.
 - California Department of Fish and Wildlife (CDFW) Filing Fee: The amount of the fee is dependent on the final environmental determination and would be a minimum of \$50 if the project is exempt. Please see the [CDFW](#) webpage for their fee schedule. If these fees are required, I will notify you.

Meetings with Staff: Upon reviewing the attached Project Issues Report, you may wish to schedule a meeting with staff and your consultants prior to resubmitting the project. Please contact me if you would like to schedule a meeting with our staff. During the meeting, we will also focus on key

Page 5
Ian Harris
November 7, 2025

milestones that must be met to facilitate the review of your proposal and to project a potential timeline for a hearing date, if needed.

PROJECT ISSUE RESOLUTION CONFERENCE: For more information, see this [link](#).

SECOND OPINION GUARANTEE: For more information, see this [link](#).

Sincerely,

A handwritten signature in cursive script that reads "Ollie Shepherd".

Ollie Shepherd
Development Project Manager

Enclosures: 10th Review Assessment Letter, Cycle Issue Report, Excel Spreadsheet, and Required Submittal Document and Due invoice 464715.

cc: File



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 7792 Senn

Project Type Discretionary Project

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Scope of Work

Digital- Senn Way Residence

Site Development Plans PRJ-0692097.pdf

Planning-MSCP

Tara Ash-Reynolds
Tashreynolds@sandiego.gov
619-533-6492

[**Comment 00007** | **Sheet L-11** | **Open**]

THIRD COMMENT. Revise to "**Proposed** Covenant of Easement".

Other

LDR-Environmental

Kristy Blodgett
KBlodgett@sandiego.gov

[**Comment 00044** | **Page** | **Open**]

Environmental Determination:

Until the requested information has been provided, staff is not able to complete the environmental review in accordance with CEQA and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts. Please be aware that our environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or additional technical studies.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Once issues raised by EAS and other reviewing disciplines have been resolved, EAS will make a CEQA determination on the appropriate environmental document -or- no further documentation is required consistent with CEQA Section 15162, or tiering/consistency using a previously certified/adopted environmental document would be appropriate based on all reviewed and submitted information.

Project Scope:

Coastal Development Permit (CDP) and Site Development Permit (SDP) to construct a new 18,436-square-foot two-story single-family residence over basement with a detached 3,462-square-foot gym, a 2,670 square-foot basketball court, and a pool/spa located at 7792 Senn Way. The 5.4-acre site is designated Very Low Density Residential (0-5 du/ac) per the La Jolla Community Plan and is subject to the LJSPD-SF zoning requirements. The project is also subject to the Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1), Fire Brush Zones, High Fire Severity Zone, and Council District 1.

[Comment 00045 | Page | Open]

Biological Resources:

EAS has reviewed the Biological Resources Survey (Vincent Scheidt, Revised March 31, 2025). Additional information is required to ensure the report has been prepared in conformance with the City's Biology Guidelines and appropriately mitigates potential impacts to biological resources. EAS will provide redline revisions to the Development Project Manager by May 13, 2025. In your next submittal, please e-mail EAS and the DPM a ~~strikeout~~/underline (track changes) version of the report with responses to staff comments in both MS Word and PDF. A clean version of the PDF which includes figures and attachments, must also be submitted via Accela. See also and address remaining open issues made by Plan-MSCP on any comments regarding MHPA LUAG language. EAS will clear this issue area once all comments with their review have been cleared.

Review due 10/27/25:

EAS has reviewed the Biological Resources Survey (Vincent Scheidt, Revised September 15, 2025). Additional information is required to ensure the report has been prepared in conformance with the City's Biology Guidelines and appropriately mitigates potential impacts to biological resources. EAS will provide redline revisions to the Development Project Manager by November 3, 2025. See also and address any remaining open issues made by Plan-MSCP. PLEASE NOTE, Plan-MSCP is waiting on outstanding edits and response to comments to be addressed from the previous Biology Report, Fourth Revision, March 31, 2025.

In your next submittal, please e-mail EAS, MSCP and the DPM a ~~strikeout~~/underline (track changes) version of the report with responses to staff comments in both MS Word and PDF. A clean version of the PDF which includes figures and attachments, must also be submitted via Accela.

[Comment 00047 | Page | Open]

Hazards (Wildfire):

The project is located in a Very High Fire Hazard Severity Zone. A potential impact would occur if the project site was in an area susceptible to brush fires or when brush management requirements cannot be met. We will refer to comments made from DSD-Landscape.

Review due 10/27/25:

Please refer to comments made by DSD-Landscape.

[Comment 00048 | Page | Open]

Hydrology:



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

EAS defers to DSD-Engineering as it relates to the property's drainage and water quality. This review discipline has open comments that must be addressed before EAS can make an environmental determination on the project. As such, the initial study timeline will be held in abeyance.

Review due 10/27/25:

Please refer to comments from DSD-Engineering.

Planning-MSCP

Tara Ash-Reynolds
Tashreynolds@sandiego.gov
619-533-6492

[**Comment 00049** | Page | Open]

SECOND COMMENT. MSCP has reviewed "Results of Biological Resources Survey of the 7792 Senn Way Residential Project, La Jolla" prepared by Vincent N. Scheidt (March 31, 2025). MSCP comments and revisions to the letter were submitted to sdpermitco@gmail.com, by 5/15/25. Please incorporate any further comments provided by Development Services Department/ESD. Please provide the revised letter as a digital file and send a clean copy PDF and a Track Changes PDF with strike out underline format and response to MSCP comments provided in the 5/15/25 letter to the MSCP Staff at tashreynolds@sandiego.gov.

Please also upload the most recent copy of the report to Accela.