

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
 - **PRJ-1098839**
- Address and APN(s):
 - **1835 Spindrift Dr, La Jolla, CA 92037; APN: 346-451-09-00**
- Project contact name, phone, e-mail:
 - **Alfonso Barragan; 619-297-6153; alfonso@safdierabines.com**
- Project description:
 - **Demolition of existing single-family residence and attached garage. New 2-story single-family residence with pool and subterranean basement, which contains a 6-off street parking garage and accessory dwelling unit for a Coastal Development Permit and Site Development Permit in the La Jolla Community within La Jolla Shores Archeological Study Area.**
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)**
 - Other: _____
- In addition, provide the following:
 - lot size: **7,119.92 SF**
 - existing structure square footage and FAR (if applicable): **3,214 SF / 0.45 FAR**
 - proposed square footage and FAR: **5,482 SF / 0.77 FAR**
 - **Note: Per SDMC 113.0234(b)(1), 108 SF of porch are not counted towards G.F.A. since two elevations are 100% open. Per SDMC 113.0231(d)1), 129 SF of interior court are not counted towards G.F.A.**
 - **Note: Per SDMC 113.0234(a)(2)(B), 3,944 SF of basement area not counted towards G.F.A.**
 - existing and proposed setbacks on all sides:
 1. Existing Setbacks
 - Front: **Varies; 13'-0 1/8" - 23'-5 3/8"**
 - Side (North): **Varies; 4'-10 1/8" - 16'-2 1/8"**
 - Side (South): **6'-8 5/8"**
 - Rear: **Varies; 3'-3" - 21'-5 3/8"**
 2. Proposed Setbacks
 - Front: **Varies; 21' - 8 5/8" - 35'-9 5/8"**
 - Side (North): **Varies; 5'-0" - 20'-10 1/8"**
 - Side (South): **Varies; 4'-0" - 19'-0"**
 - Rear: **Varies; 8'-2" - 9'-5"**

- height if greater than 1-story (above ground): Overall Height Under 30', Actual dimension varies, ref. plans

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board’s review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City’s website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure’s height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners’ Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

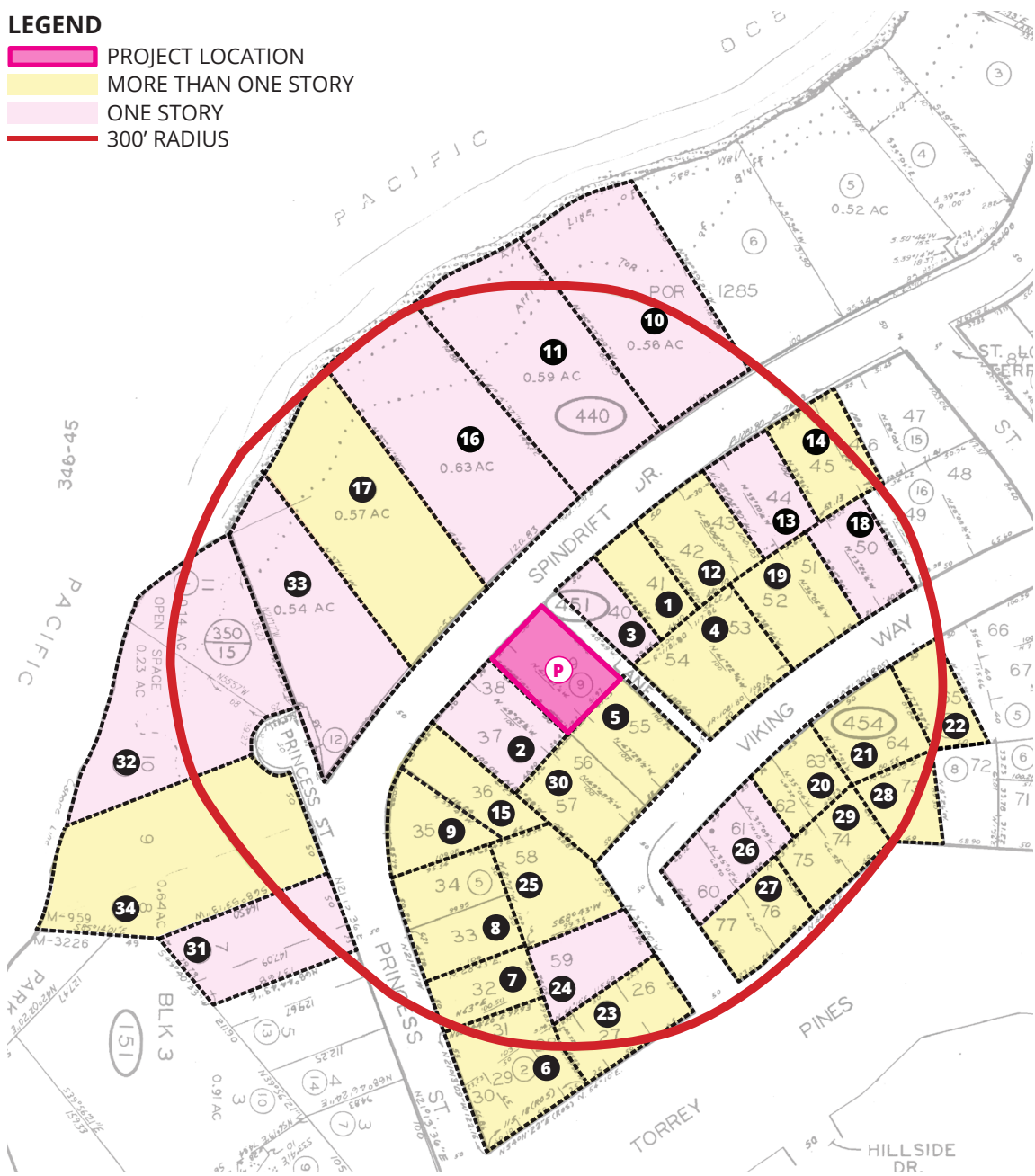
Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173



LEGEND

- PROJECT LOCATION
- MORE THAN ONE STORY
- ONE STORY
- 300' RADIUS



	ADDRESS	GFA	LOT AREA	FAR	FRONT SETBACK	REAR SETBACK	SIDE SETBACK	SIDE SETBACK	STRUCT. HT. ELEVATION
1	1855 SPINDRIFT DR	4,592	4,609.04	0.99	12'	20'	4'	4	93'
2	1825 SPINDRIFT DR	2,414	7,902.89	0.31	15'	5'	5'	5	93'
3	1851 SPINDRIFT DR	1,863	4,453.00	0.42	18	1.25'	2.83'	-	89'
4	1856 VIKING WAY	4,823	11,564.58	0.42	20	-	15	30	105'
5	1842 VIKING WAY	4,159	7,844.60	0.53	15'	5'	5'	5	102'
6	7907 PRINCESS ST	7,232	11,175.00	0.65	12.5	-	4.08'	1.08	113'
7	7921 PRINCESS ST	1,733	4,901.49	0.35	15'	20'	5'	5	98'
8	7939 PRINCESS ST	1,385	4,980.55	0.28	15'	5'	5'	5	101'
9	7949 PRINCESS ST	1,752	5,135.07	0.34	20'	25'	5'	10	101'
10	1874 SPINDRIFT DR	3,271	22,504.89	0.15	30'	55'	5'	10	60'
11	1860 SPINDRIFT DR	4,856	24,929.03	0.19	25'	50'	-	5	72'
12	1857 SPINDRIFT DR	3,517	8,271.97	0.43	15'	10'	5'	5	92'
13	1867 SPINDRIFT DR	1,482	6,717.52	0.22	20'	20'	5'	5	76'
14	1877 SPINDRIFT DR	2,400	7,303.55	0.33	20	15'	5'	5	76'
15	1819 SPINDRIFT DR	3,200	5,379.41	0.59	15'	30'	5'	5	106'
16	1850 SPINDRIFT DR	7,033	24,198.62	0.29	25'	50'	5'	5	80'
17	1834 SPINDRIFT DR	8,494	23,700.00	0.35	12'	40'	5'	6	96'
18	1888 VIKING WAY	1,812	6,543.03	0.28	20'	10'	-	5	88'
19	1874 VIKING WAY	3,794	8,494.44	0.45	25'	5'	5'	10	99'
20	1857 VIKING WAY	3,726	5,461.57	0.68	20'	10'	5	5	113'
21	1879 VIKING WAY	6,691	7,043.60	0.95	15'	5'	5'	5	112'
22	1887 VIKING WAY	2,087	5,284.77	0.39	10'	10'	5	5	103'
23	1802 VIKING WAY	2,490	7,387.71	0.34	25'	-	50'	5	116'
24	1810 VIKING WAY	1,493	6,681.85	0.22	20'	25'	5'	5	107'
25	1820 VIKING WAY	4,769	8,243.55	0.58	20'	5'	5'	5	115'
26	1821 VIKING WAY	2,694	8,135.00	0.33	11'	0.83'	26'	9	110'
27	1801 VIKING WAY	2,875	5,602.12	0.51	30'	10'	15'	40	127'
28	1876 LITTLE ST	3,508	4,572.69	0.77	50'	15'	5'	5	121'
29	1860 TORREY PINES	2,128	6,171.48	0.34	65'	5'	30'	5	119'
30	1832 VIKING WAY	3,986	7,596.37	0.52	25'	15'	5	10	111'
31	7956 PRINCESS ST	3,572	11,753.32	0.30	10'	10'	5'	5	81'
32	7957 PRINCESS ST	6,684	22,725.00	0.29	18.83'	19.75'	6'	2.17	70'
33	1828 SPINDRIFT DR	11,795	18,178	0.65	20'	-	5'	5	82'
34	7964 PRINCESS ST	4,868	27,878.00	0.17	21'	-	16.25'	29.5	57'
	300' RADIUS AVG.	3,917	10,391.87	0.43	20.89	15.06	8.21	7.85	
P	1835 SPINDRIFT DR	5,482	7,119.92	0.77	21.69	8.17	4'	5'	106'



1 | 2045 LOWRY PLACE



2 | 7910 ST LOUIS TERRACE



3 | 1895 SPINDRIFT DR



4 | 2035 LOWRY PLACE



5 | 1919 SPINDRIFT DR



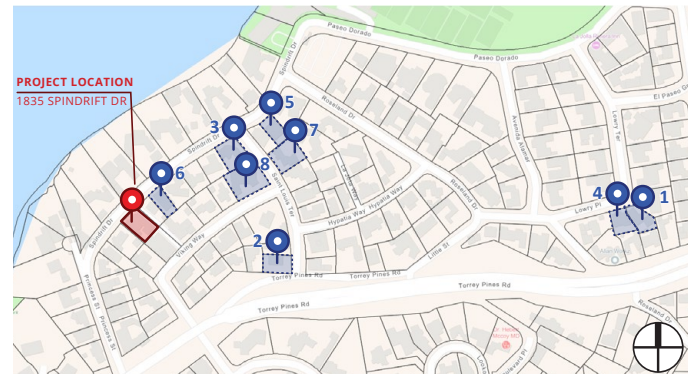
6 | 1855 SPINDRIFT DR



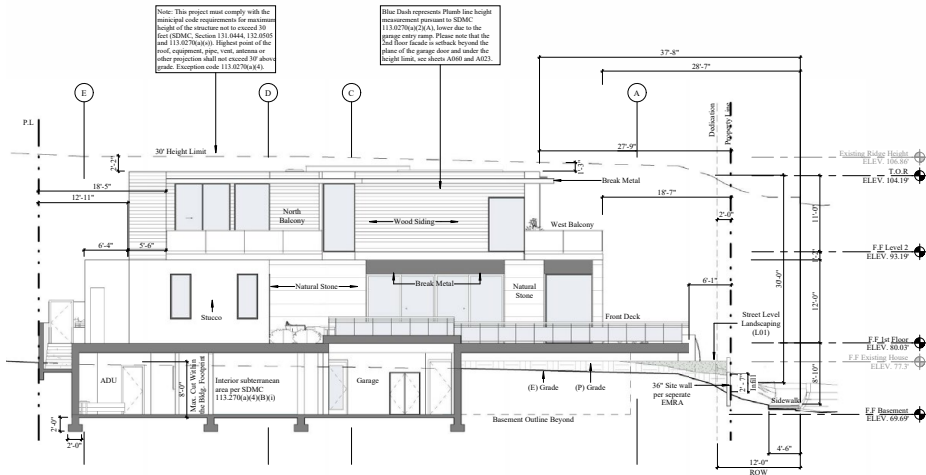
7 | 7975 ST LOUIS TERRACE



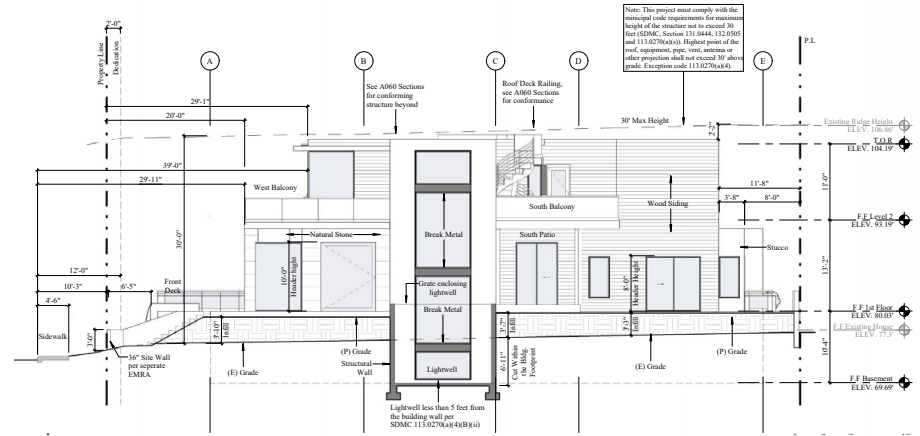
8 | 1890 VIKING WAY



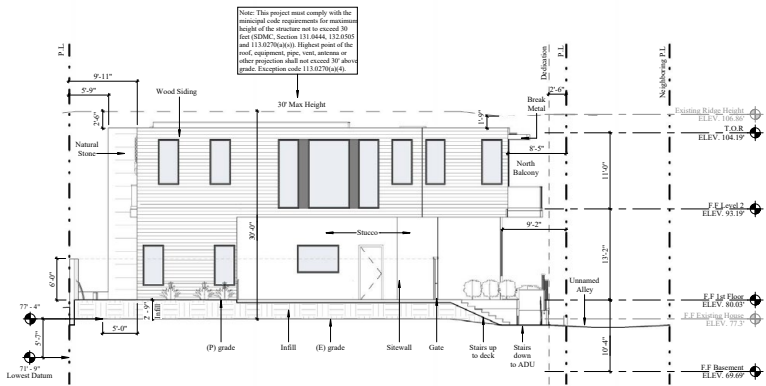
KEY PLAN



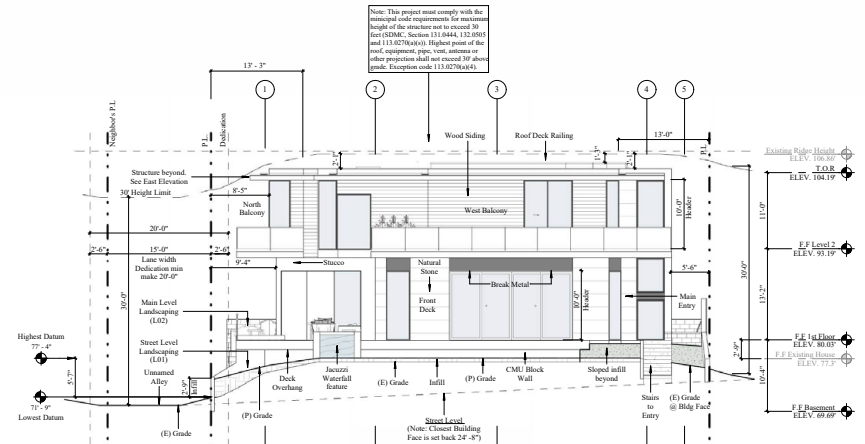
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



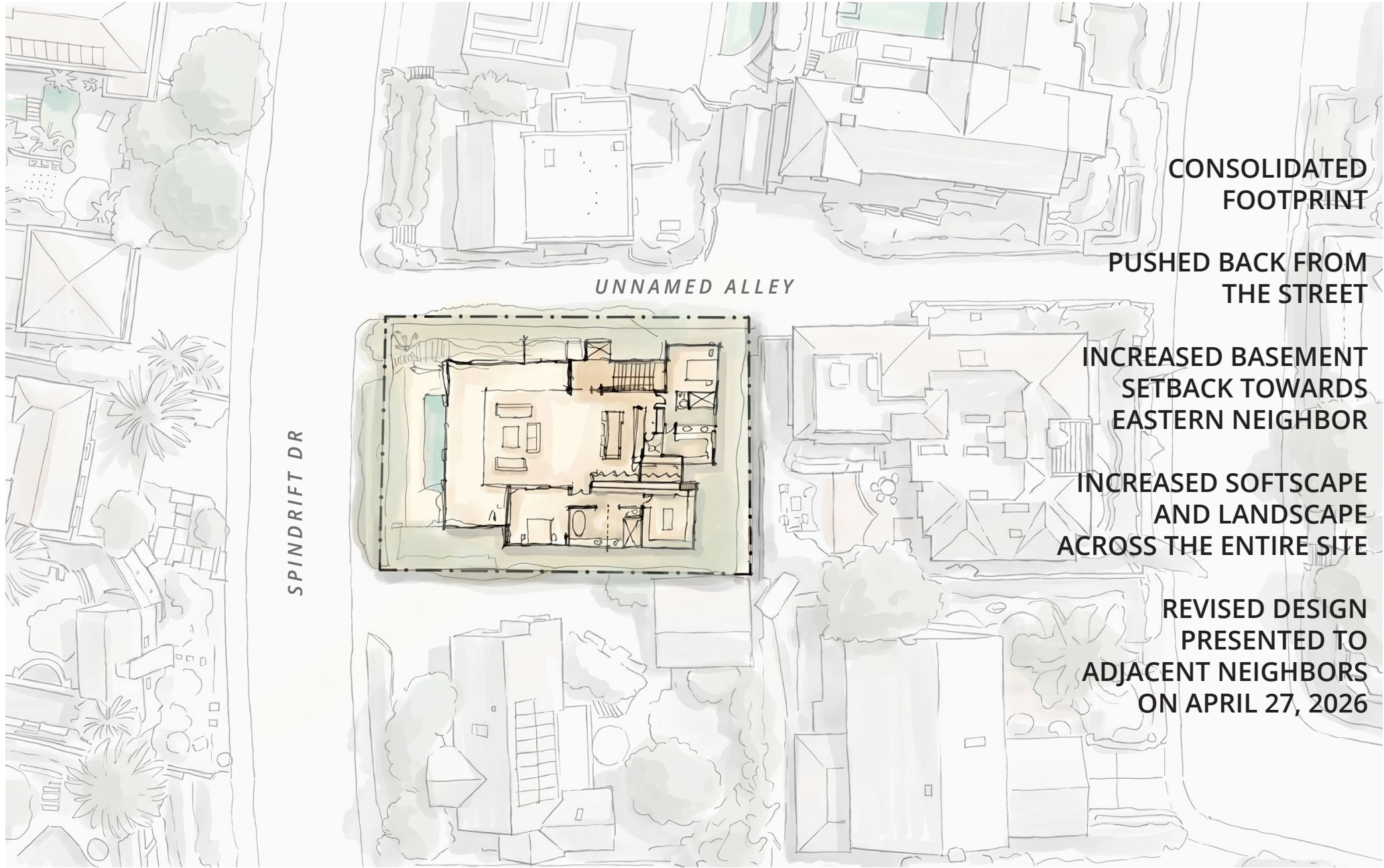
WEST ELEVATION

PREVIOUSLY PRESENTED TO THE LA JOLLA COMMUNITY PLANNING ASSOCIATION ON FEBRUARY 26, 2025 AND WAS NOT APPROVED

EXCESSIVE BULK AND SCALE
LACK OF TRANSITION TO
NEIGHBORING HOMES

LANDSCAPE NOT TYPICAL OF
NEIGHBORHOOD

NO NEIGHBORHOOD
OUTREACH



**CONSOLIDATED
FOOTPRINT**

**PUSHED BACK FROM
THE STREET**

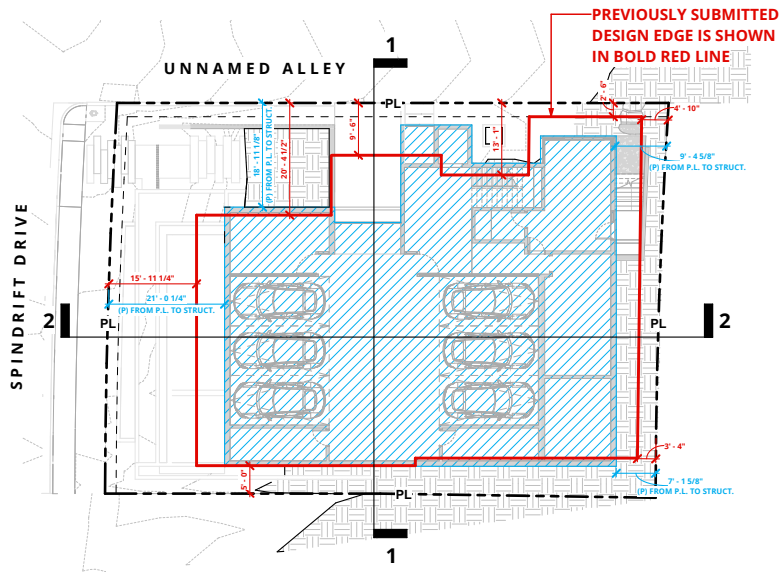
UNNAMED ALLEY

**INCREASED BASEMENT
SETBACK TOWARDS
EASTERN NEIGHBOR**

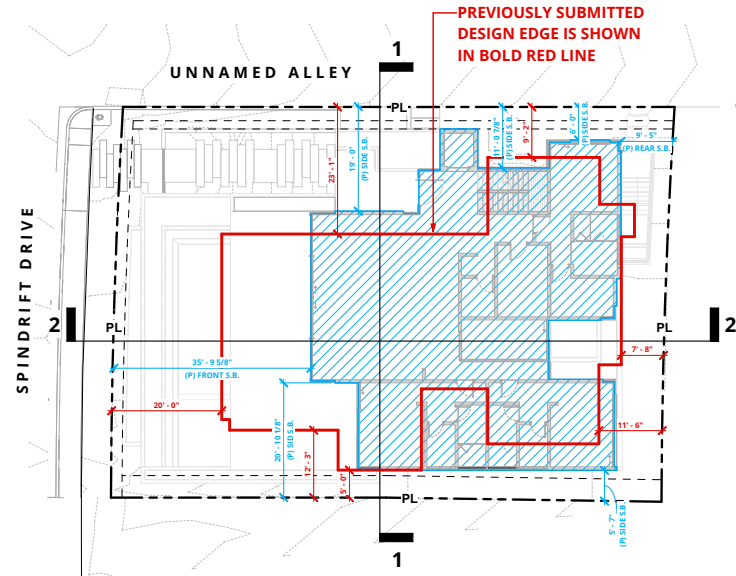
**INCREASED SOFTSCAPE
AND LANDSCAPE
ACROSS THE ENTIRE SITE**

SPINDRIFT DR

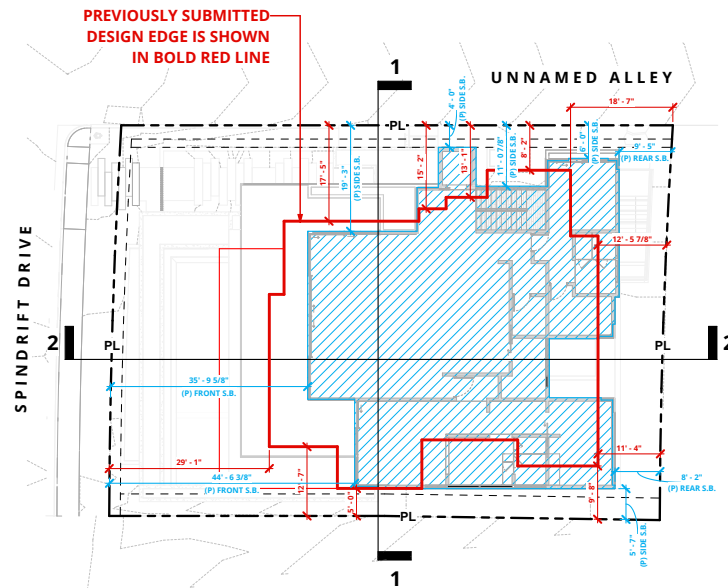
**REVISED DESIGN
PRESENTED TO
ADJACENT NEIGHBORS
ON APRIL 27, 2026**



REVISED FLOOR PLAN - BASEMENT LEVEL



REVISED FLOOR PLAN - FIRST LEVEL

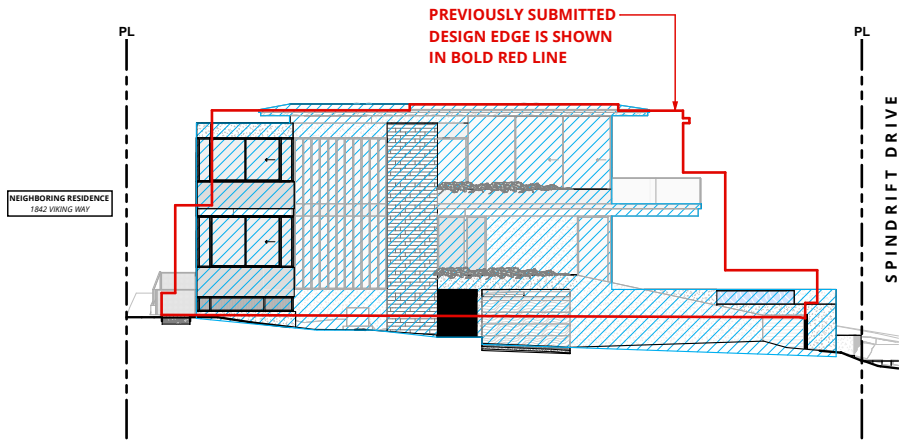


REVISED FLOOR PLAN - SECOND LEVEL

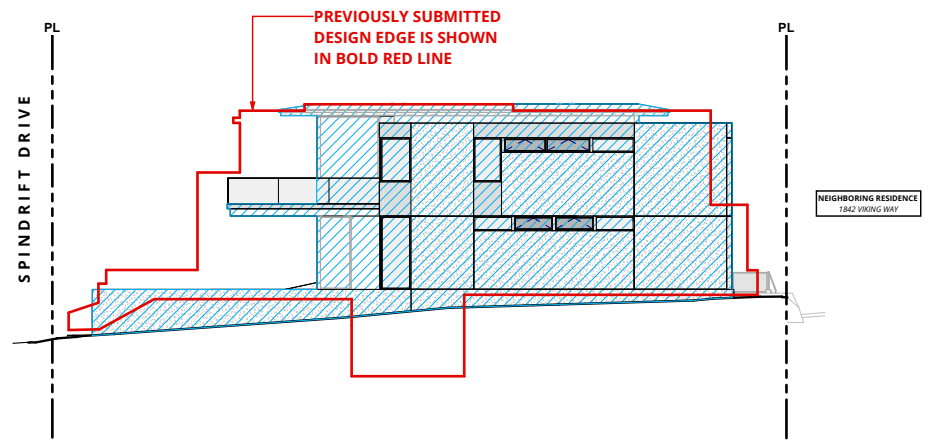
LEGEND

-  PROPOSED REVISED DESIGN
-  ORIGINAL DESIGN

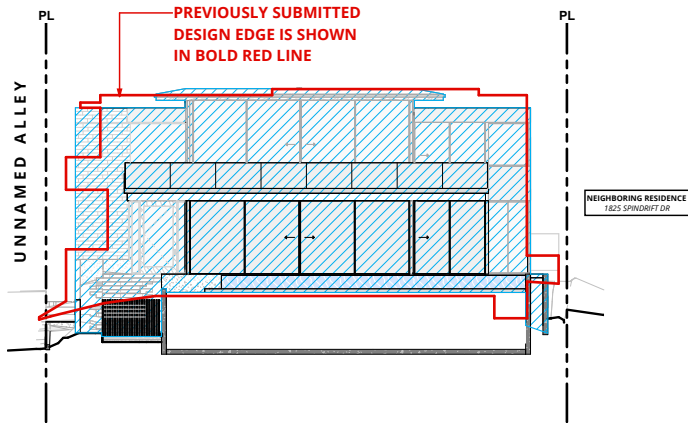




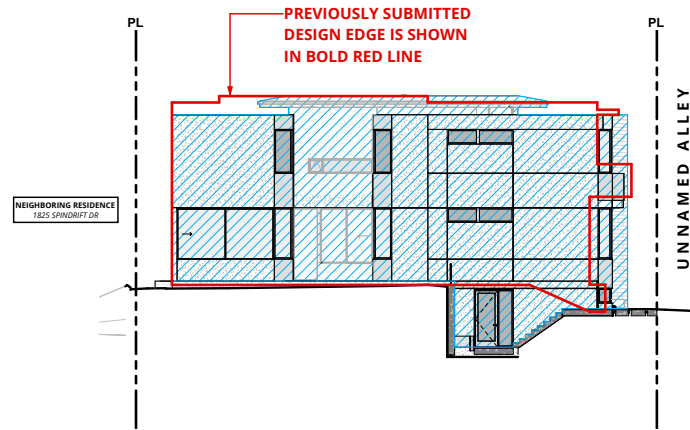
REVISED BUILDING ELEVATION - NORTH



REVISED BUILDING ELEVATION - SOUTH



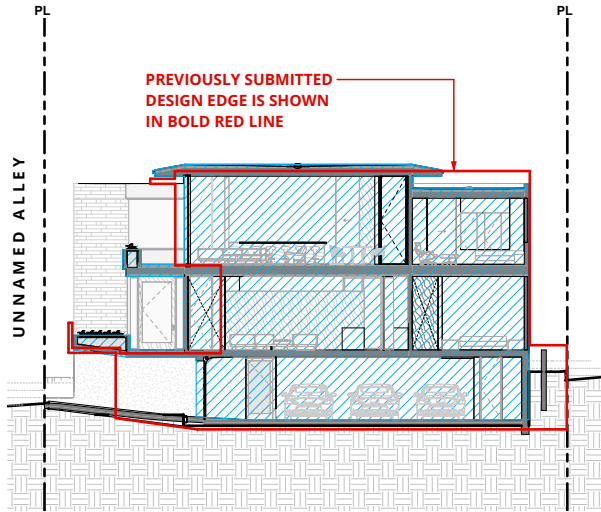
REVISED BUILDING ELEVATION - WEST



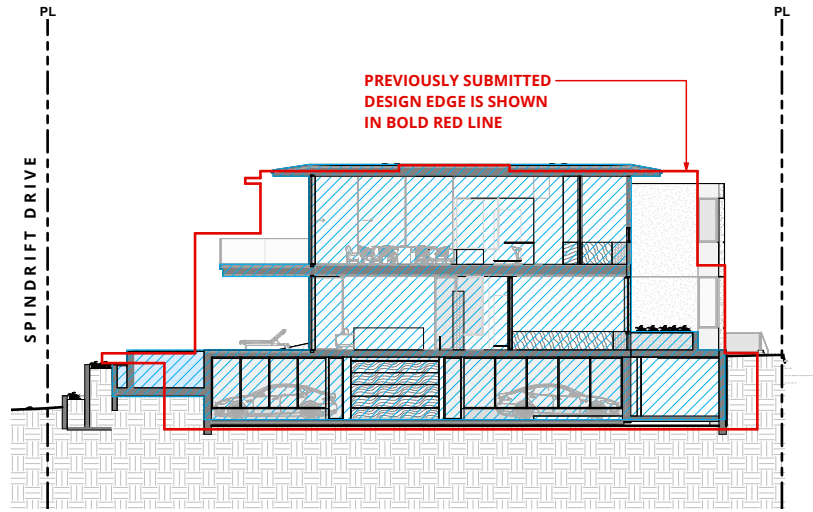
REVISED BUILDING ELEVATION - EAST

LEGEND

-  PROPOSED REVISED DESIGN
-  ORIGINAL DESIGN



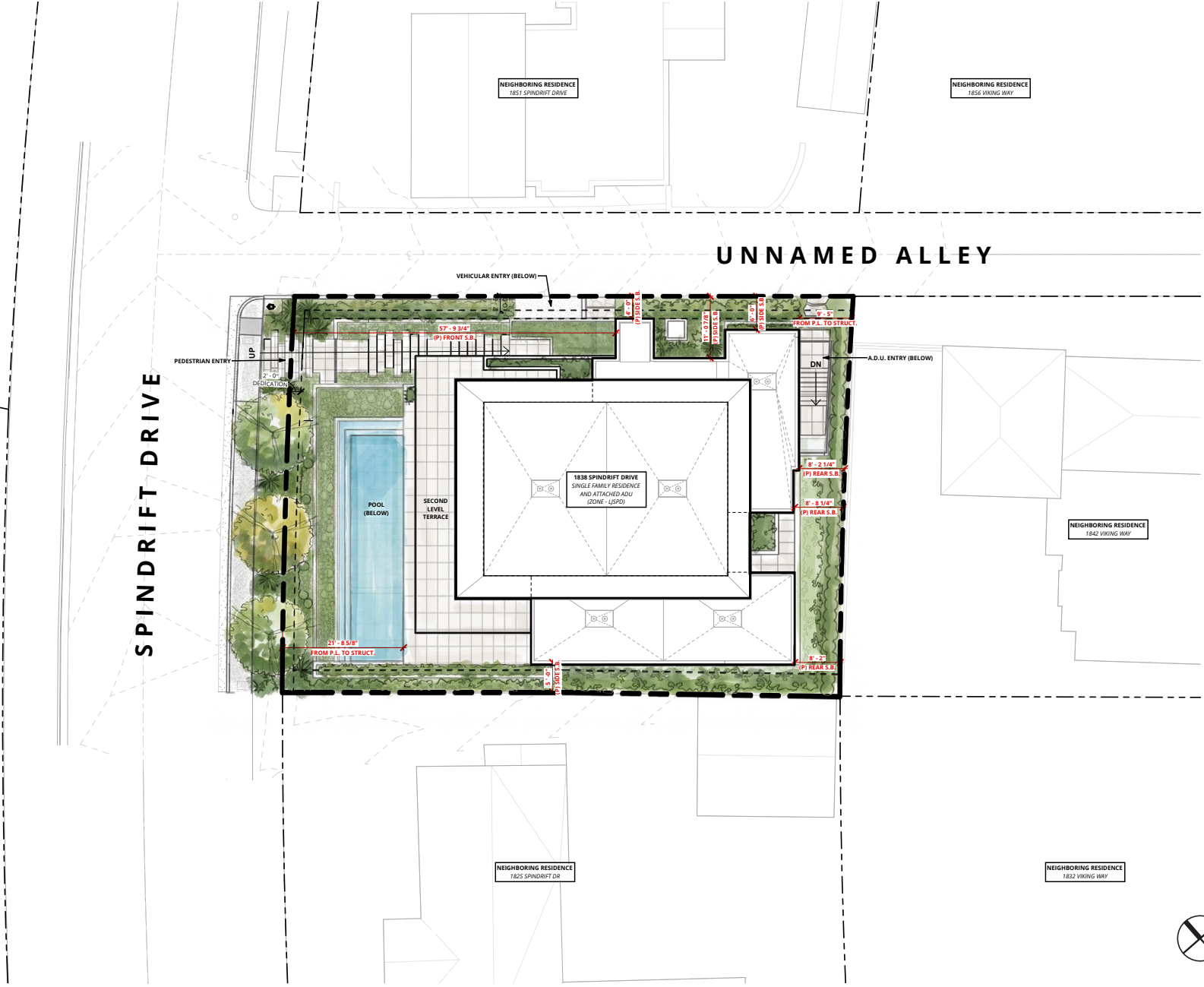
REVISED BUILDING SECTION - NORTH / SOUTH



REVISED BUILDING SECTION - EAST / WEST

LEGEND

-  PROPOSED REVISED DESIGN
-  ORIGINAL DESIGN



DEVELOPMENT SUMMARY

LOT SIZE
7,119.92 SQ. FT. / 0.16 ACRES

PROPOSED F.A.R. (REF. A-002)
ACTUAL LOT AREA: 7,119.92 SQ. FT.
PROPOSED F.A.R.: 0.77
MAX. G.F.A. = 5,482 SQ. FT.

GROSS FLOOR AREA CALCULATION

EXISTING	
THIRD LEVEL	272 SQ. FT.
SECOND LEVEL	425 SQ. FT.
FIRST LEVEL	2,517 SQ. FT.
BASEMENT	0 SQ. FT.
TOTAL GFA	3,214 SQ. FT.

PROPOSED	
SECOND LEVEL:	2,750 SQ. FT.
FIRST LEVEL:	2,732 SQ. FT.
BASEMENT LEVEL:	0 SQ. FT.*
TOTAL GFA:	5,482 SQ. FT.

* 3,994 SQ. FT. OF BASEMENT NOT COUNTED TOWARDS G.F.A.

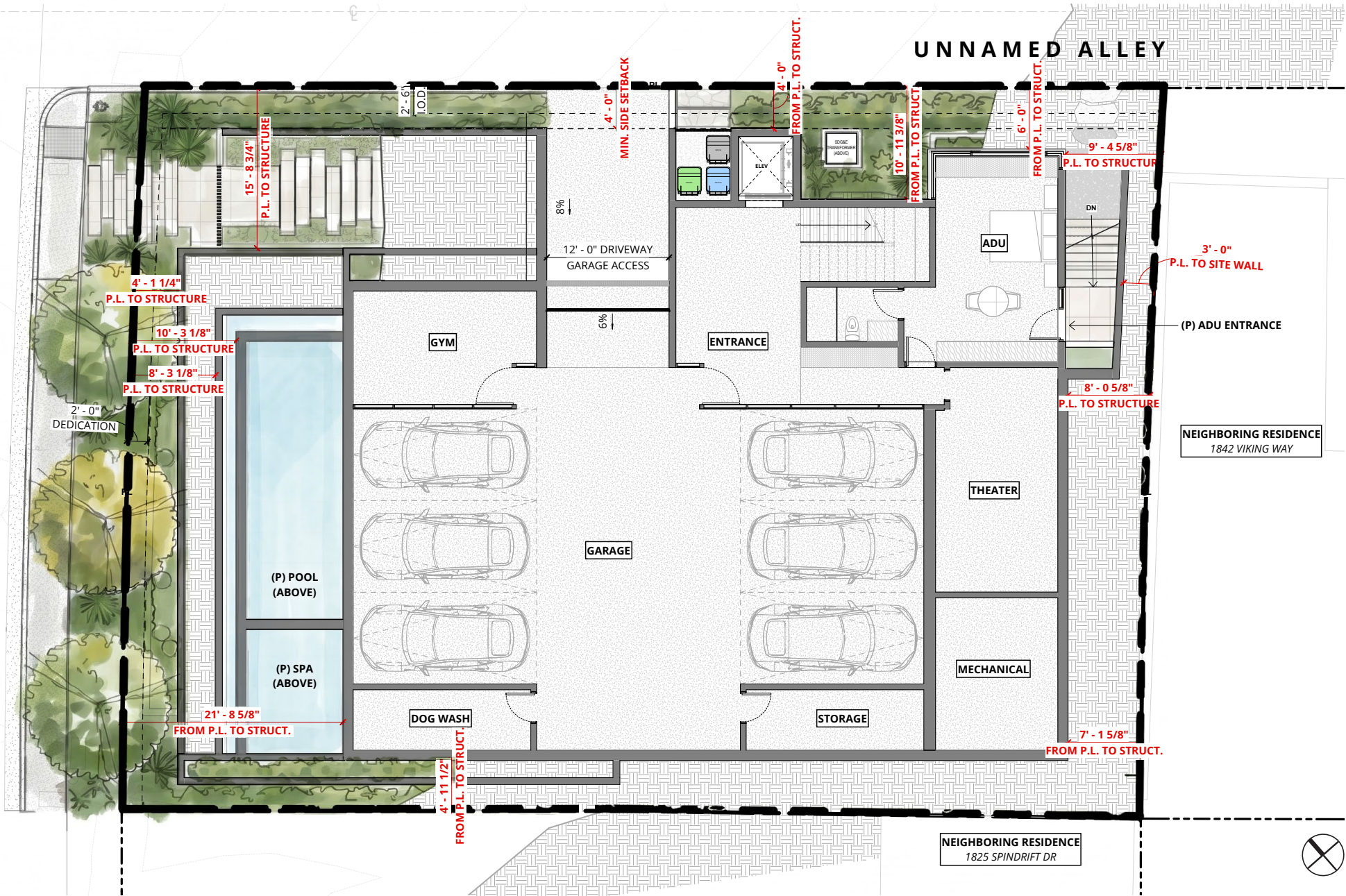
SETBACKS

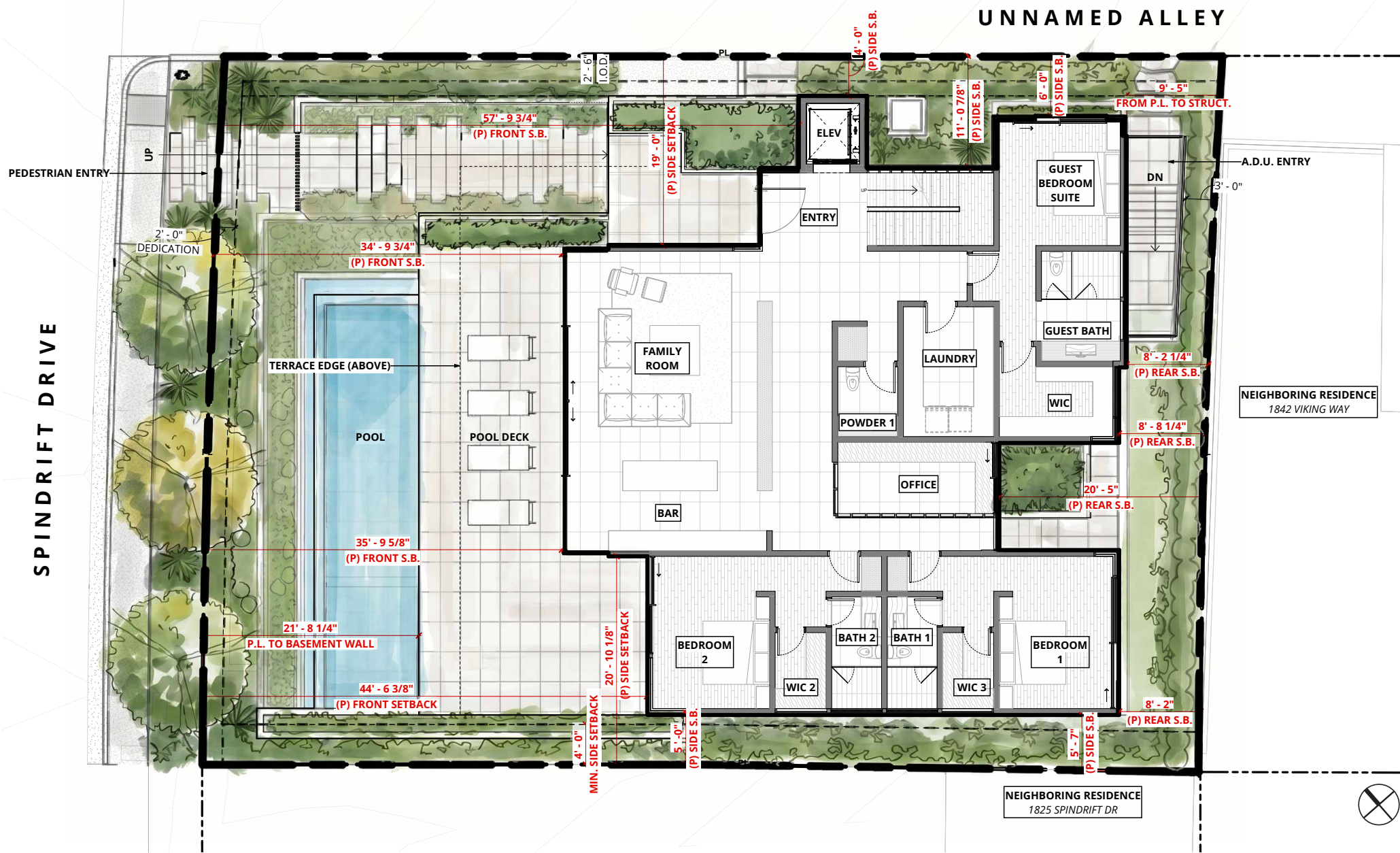
- PROPOSED FRONT SETBACKS:
RANGES FROM 34'-9 3/4" TO 57'-9 3/4"
- PROPOSED EAST SIDE SETBACK:
RANGES FROM 4'-0" TO 19'-0"
- PROPOSED WEST SIDE SETBACK:
RANGES FROM 5'-0" TO 20'-10"
- PROPOSED REAR SETBACK:
RANGES FROM 8'-2" TO 20'-5"



SPINDRIFT DRIVE

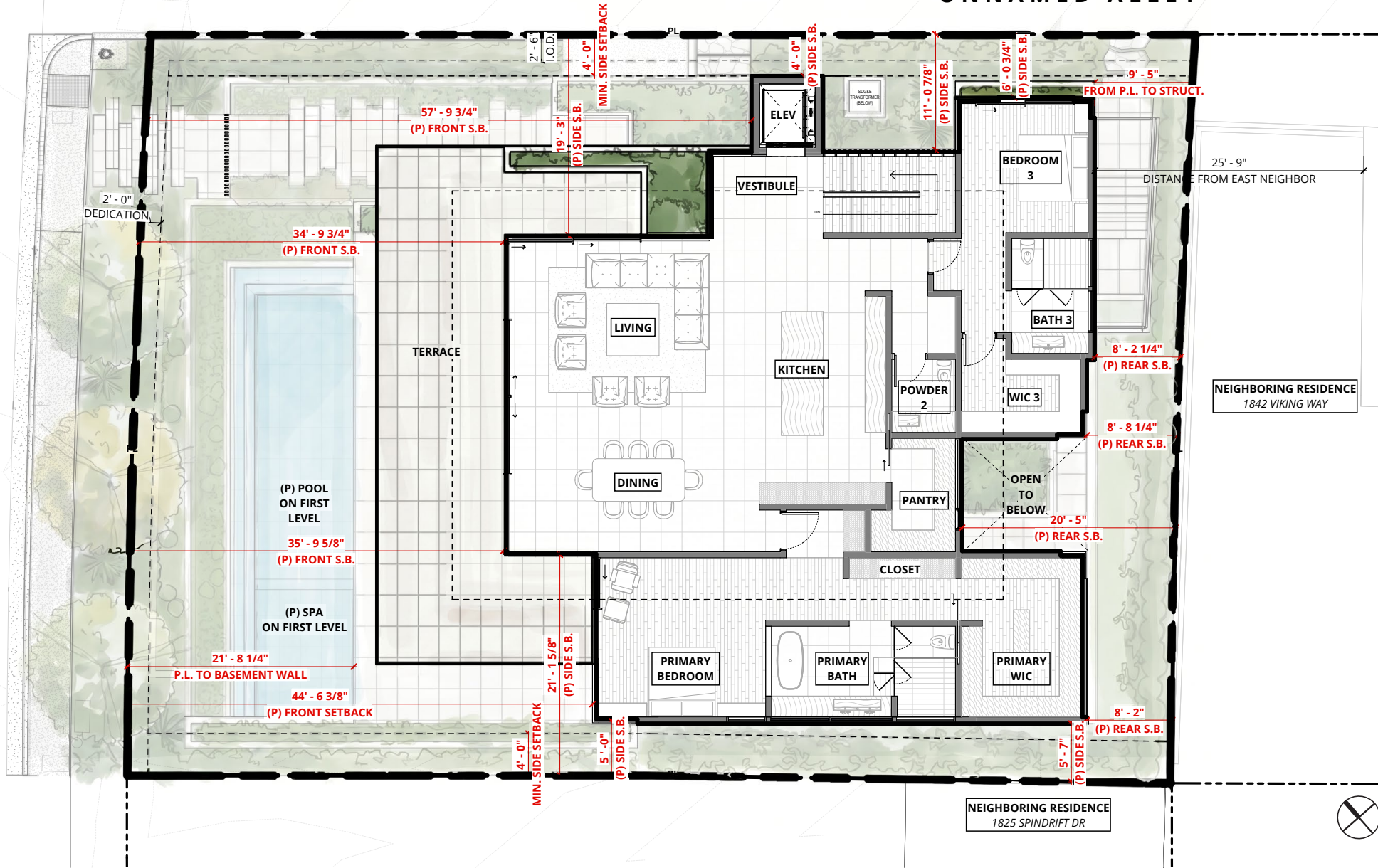
UNNAMED ALLEY

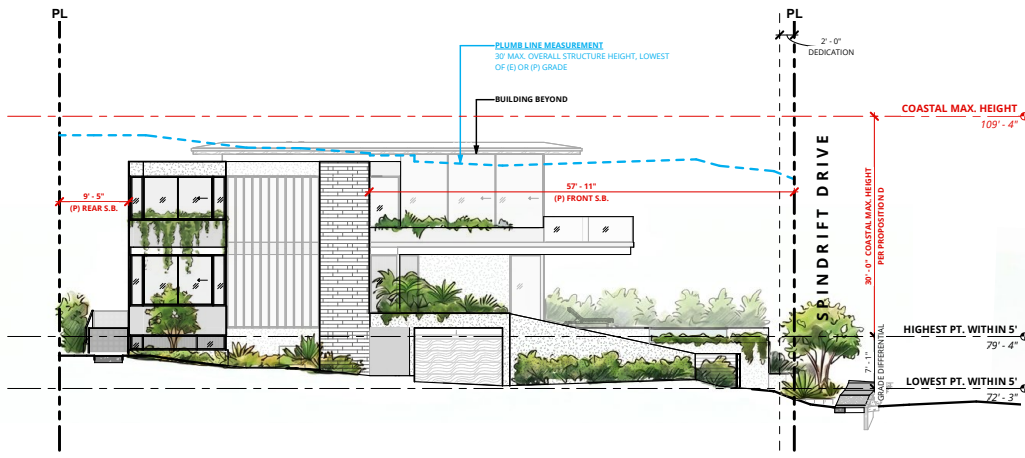




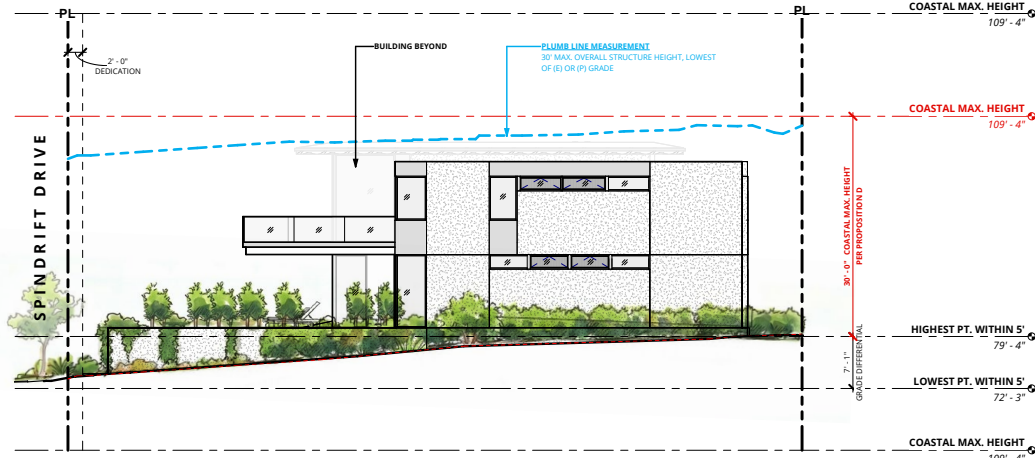
SPINDRIFT DRIVE

UNNAMED ALLEY

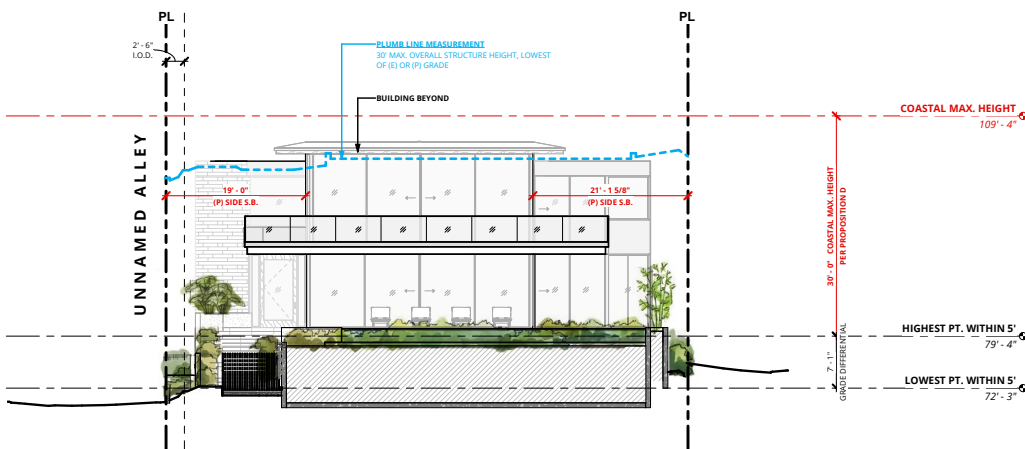




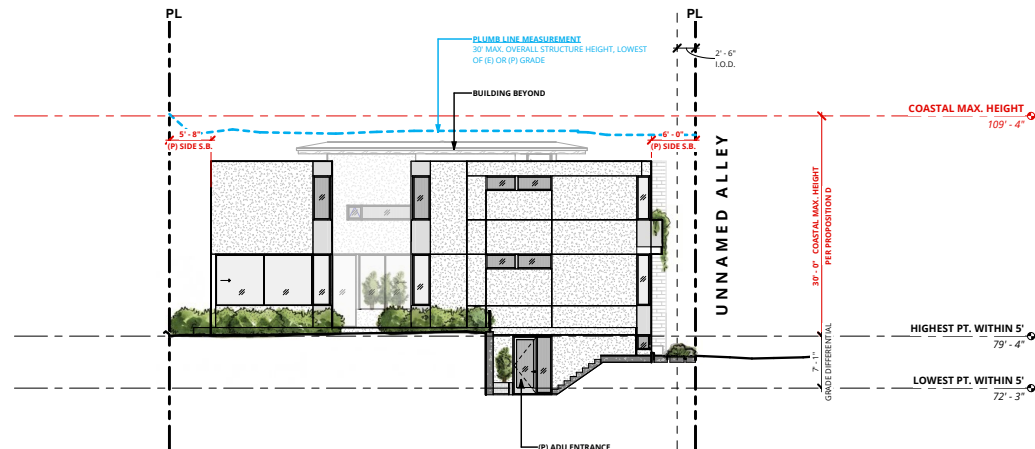
BUILDING ELEVATION - NORTH



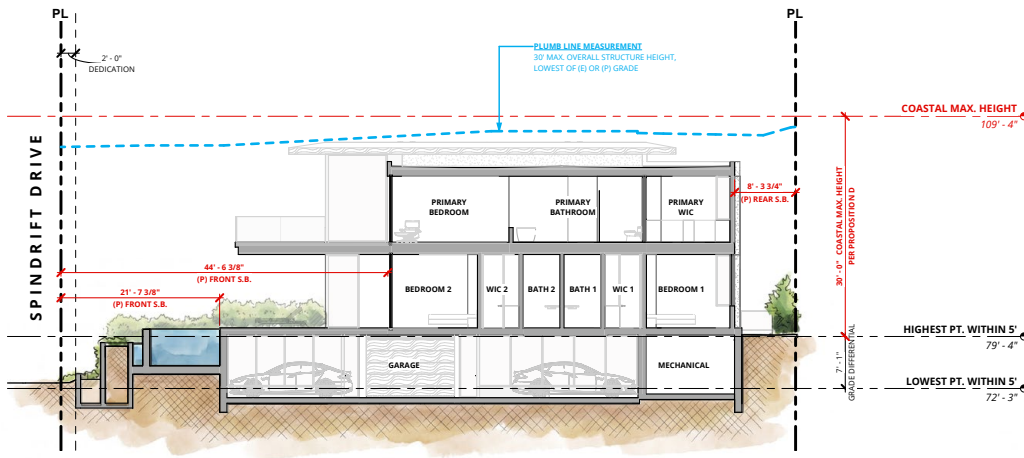
BUILDING ELEVATION - SOUTH



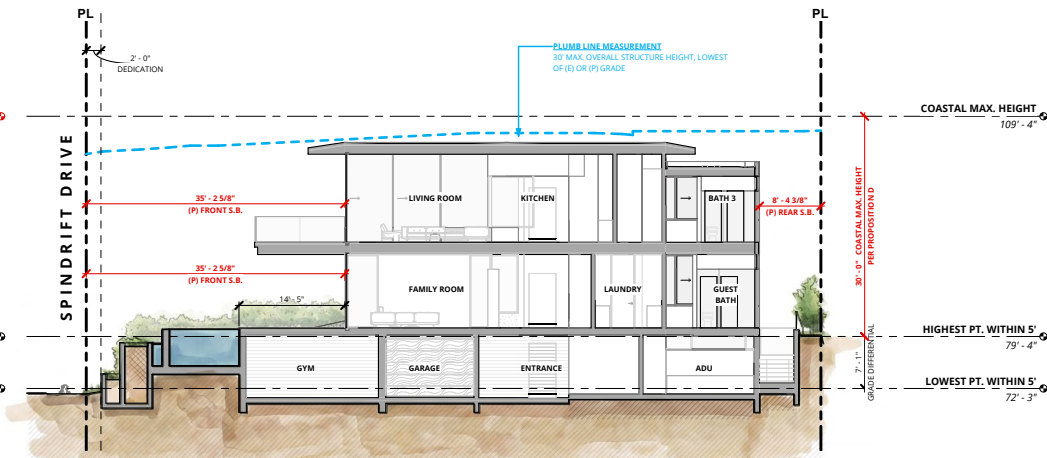
BUILDING ELEVATION - WEST



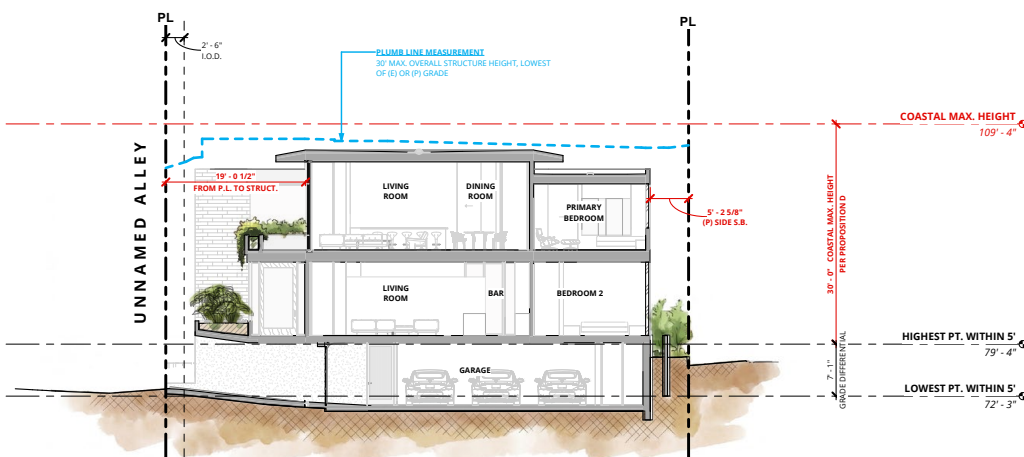
BUILDING ELEVATION - EAST



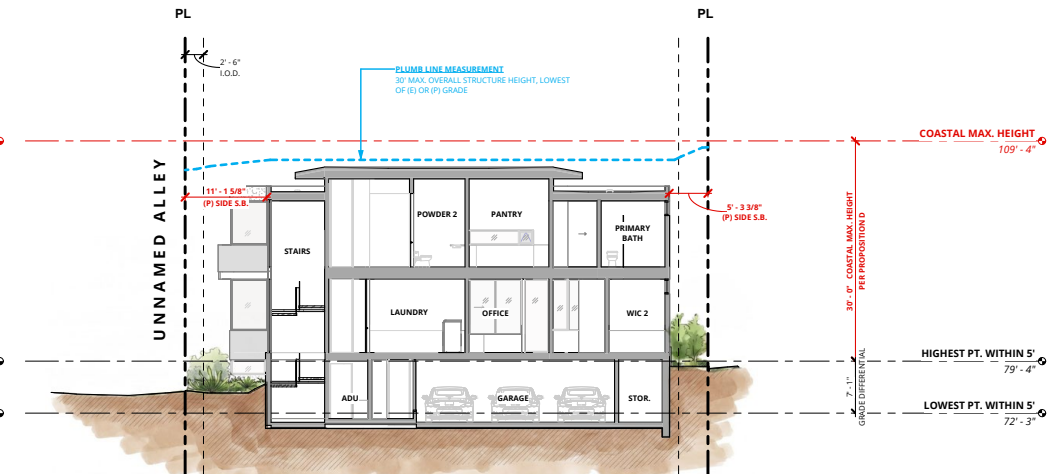
BUILDING SECTION - EAST / WEST 1



BUILDING SECTION - EAST / WEST 2



BUILDING SECTION - NORTH / SOUTH 1



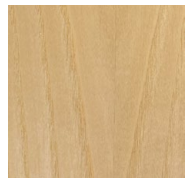
BUILDING SECTION - NORTH / SOUTH 2



WALLS



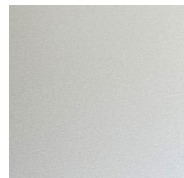
CEILING



GLAZING



TRIMS



WALLS



FLOORS



LANDSCAPE PALETTE

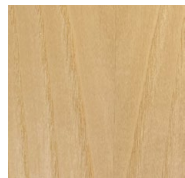




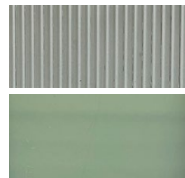
WALLS



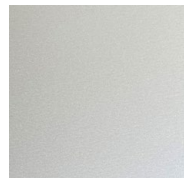
CEILING



GLAZING



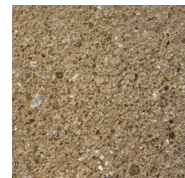
TRIMS



WALLS



FLOORS



LANDSCAPE PALETTE

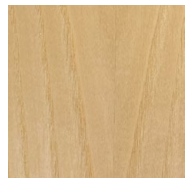




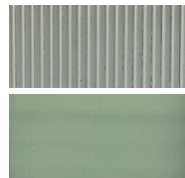
WALLS



CEILING



GLAZING



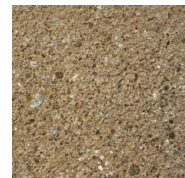
TRIMS



WALLS



FLOORS



LANDSCAPE PALETTE

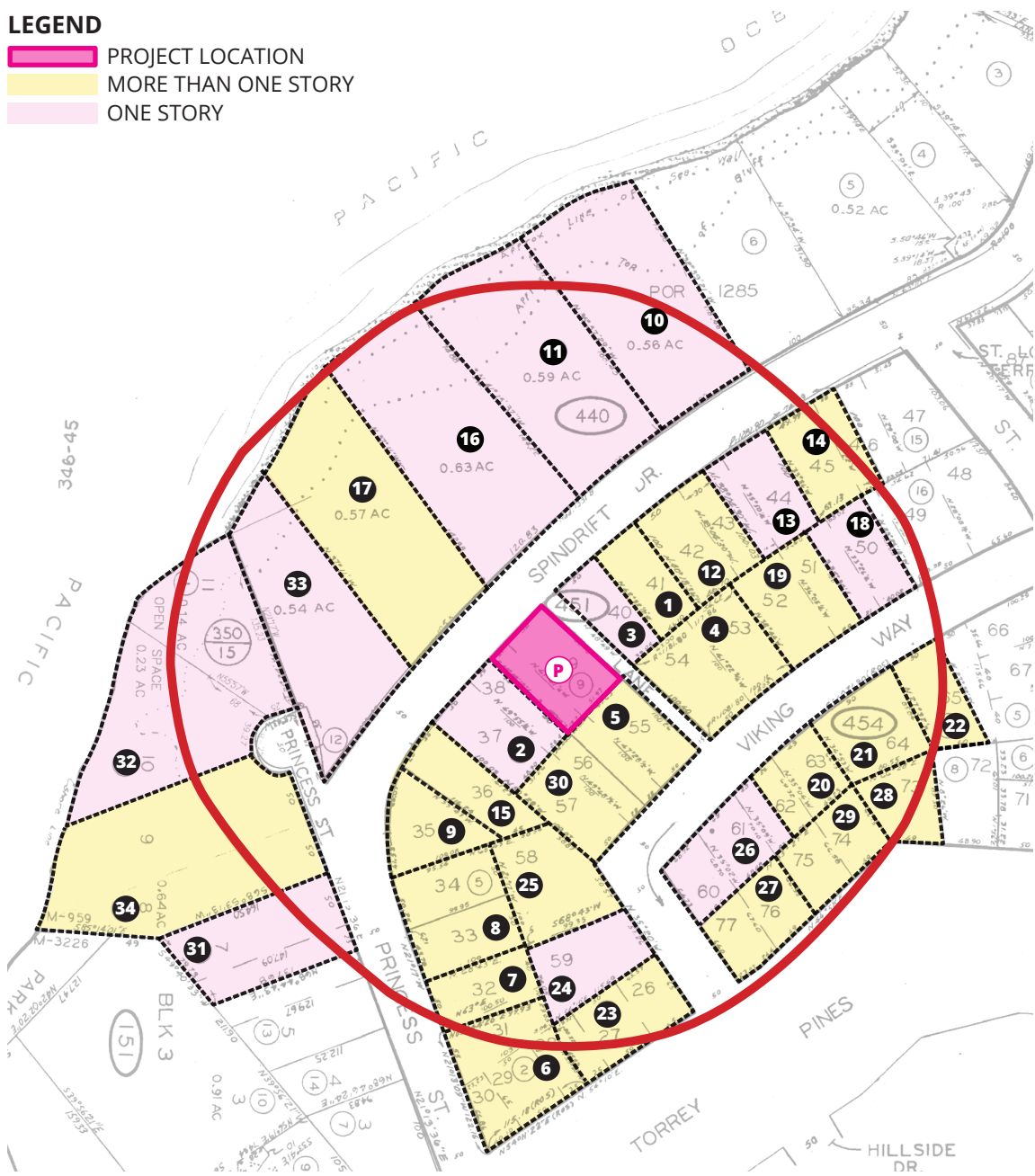




THANK YOU

LEGEND

- PROJECT LOCATION
- MORE THAN ONE STORY
- ONE STORY



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13	1867 SPINDRIFT DR	1,482	6,717.52	0.22	20'	20'	5'	5	76'
14	1877 SPINDRIFT DR	2,400	7,303.55	0.33	20	15'	5'	5	76'
15	1819 SPINDRIFT DR	3,200	5,379.41	0.59	15'	30'	5'	5	106'
16	1850 SPINDRIFT DR	7,033	24,198.62	0.29	25'	50'	5'	5	80'
17	1834 SPINDRIFT DR	8,494	23,700.00	0.35	12'	40'	5'	6	96'
18	1888 VIKING WAY	1,812	6,543.03	0.28	20'	10'	-	5	88'
19	1874 VIKING WAY	3,794	8,494.44	0.45	25'	5'	5'	10	99'
20	1857 VIKING WAY	3,726	5,461.57	0.68	20'	10'	5	5	113'
21	1879 VIKING WAY	6,691	7,043.60	0.95	15'	5'	5'	5	112'
22	1887 VIKING WAY	2,087	5,284.77	0.39	10'	10'	5	5	103'
23	1802 VIKING WAY	2,490	7,387.71	0.34	25'	-	50'	5	116'
24	1810 VIKING WAY	1,493	6,681.85	0.22	20'	25'	5'	5	107'
25	1820 VIKING WAY	4,769	8,243.55	0.58	20'	5'	5'	5	115'
26	1821 VIKING WAY	2,694	8,135.00	0.33	11'	0.83'	26'	9	110'
27	1801 VIKING WAY	2,875	5,602.12	0.51	30'	10'	15'	40	127'
28	1876 LITTLE ST	3,508	4,572.69	0.77	50'	15'	5'	5	121'
29	1860 TORREY PINES	2,128	6,171.48	0.34	65'	5'	30'	5	119'
30	1832 VIKING WAY	3,986	7,596.37	0.52	25'	15'	5	10	111'
31	7956 PRINCESS ST	3,572	11,753.32	0.30	10'	10'	5'	5	81'
32	7957 PRINCESS ST	6,684	22,725.00	0.29	18.83'	19.75'	6'	2.17	70'
33	1828 SPINDRIFT DR	11,795	18,178	0.65	20'	-	5'	5	82'
34	7964 PRINCESS ST	4,868	27,878.00	0.17	21'	-	16.25'	29.5	57'
	300' RADIUS AVG.	3,917	10,391.87	0.43	20.89	15.06	8.21	7.85	
P	1835 SPINDRIFT DR	5,482	7,119.92	0.77	21.69	8.17	4'	5'	106'

Meeting Minutes

Date & Time: Monday, April 27th, 2026 – 10:30pm – 11:30pm
Project: Moradi Residence (1835 Spindrift Drive, La Jolla, CA 92037)
Location: Safdie Rabines Architects, Main Conference Room
Attendees: Vahid Moradi, Owner
Taal Safdie, Architect, Safdie Rabines Architects
Alfonso R. Barragan, Project Manager, Safdie Rabines Architects
Kat Alviz, Designer, Safdie Rabines Architects
Scott & Susan Bondurant, Neighbors at 1842 Viking Way
Erin McConkey, Neighbor
Steve Black, Neighbor at 1834 Spindrift Drive

Concept Presentation to Neighbors

- **Revised Concept Presentation**
 - o Safdie Rabines Architects presented the revised design to the neighbors, explaining major differences between the initial design and proposed design.
 - o The house has been pushed away from the street, allowing views from side neighbors to remain as much as possible.
 - o Square footage remains roughly the same as the one submitted, however, the house footprint is more compact, as some of the exterior and roof access have been removed.

- **Neighbor's Questions and Comments**
 - o Neighbors inquired about some of the revised items, including:
 - Street facing elevation update.
 - The revised design is definitively an improvement to the last plan. However, not so much for the East side.
 - SRA clarified the house footprint, including the basement are not further setback from the southern property line.
 - Reason for relocating the elevator and stairs.
 - SRA responded this was to make these elements face the alley and not be adjacent to a house.
 - Neighbors inquired about the look of the East Façade.
 - SRA responded that this elevation was setback, including the basement, from the southern property line. Also, the visible walls on both levels are located between 8 feet to 10 feet from the property line, and a central portion is about 20 feet away from the property line.
 - The neighbors appreciated the varying depth, so it doesn't feel like a flat big wall against the wall.
 - The neighbors asked about a perspective view from the east side, as this would help them visualize the proposed design better.
 - SRA to study this with the Owner.
 - Neighbors noted this is a more thoughtful design and that is good to have meetings ahead of time to allow neighbors to provide feedback.
 - Steve Black mentioned he's happy with the revised designed and that this is a big improvement to the neighborhood, as before it wasn't well integrated.
 - Steve also inquired about the alley's side, which he suggested the open fence may be modified so its more solid, so it adds more privacy to the house from that side.
 - SRA to consider this and study it in the 3D model.

- **Next Steps**
 - o SRA to present the revised design to the La Jolla Community Planning Group, showing the improvements and how it impacts the neighborhood.



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Development Services Department
7650 Mission Valley Road, San Diego, CA 92108

Project Address 1835 Spindrift Dr
San Diego, CA 92037

Project Type Discretionary Project

Primary Contact alfonso@safdierabines.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Site Development Plans PRJ-1098839.pdf

DSD-Landscape Review

Clare Gamelin
CGamelin@sandiego.gov
(619) 446-5228

[Comment 00038 | Sheet A011 | Open]

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[Comment 00041 | Sheet A011 | Open]

(Updated plans 4/24/26) Water Conservation: Please include Water Budget Calculations and hydrozone diagram directly on the plans. MAWA & ETWU calculations are required in order to show compliance under SDMC 142.0413. See Appendix E of the SD Landscape Standards for reference. Note that detailed irrigation drawings shall be required with the subsequent construction permits.

[Comment 00042 | Sheet A011 | Open]

(Updated plans 4/24/26)

Street Trees [SDMC §142.0409]: This project is subject to street tree requirements. The number of required street trees shall be calculated at the rate of one 24-inch box canopy tree for every 30 linear feet of street frontage, excluding curb cuts. Proposed street trees must be consistent with La Jolla community plan (available online) and located away from all utilities. Show the location, species, and size (min. 24" box) on the plans.

***Please reselect a canopy for tree from the approved La Jolla Community Plan Zone 1.

<https://www.sandiego.gov/sites/default/files/lajollacommunityplanaug2014.pdf>



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[Comment 00043 | Sheet A011 | Open]

(Updated plans 4/24/26) [Right-of-Way Planting: Any proposed shrubs must have a mature height of less than 36"](#). Please review proposed plant material located in view triangles and Right-of-way as they are potential view hazards. Please show proposed plant material that at mature height is less than 36" so staff can verify.

Other

Coastal Commission

Hilda Davison
HDavison@sandiego.gov
(619) 446-5462

[Comment 00150 | Page | Open]

The project site is within the Coastal Overlay Zone. The City's final decision on this discretionary request can be appealed to the California Coastal Commission.

The revised submittal was sent to the California Coastal Commission for comment. On April 10, 2026, Alexander Llerandi, Coastal Program Analyst, replied with no comments.

A copy of the review report and assessment letter will be sent to the Coastal Commission.

Community Planning Group

Hilda Davison
HDavison@sandiego.gov
(619) 446-5462

[Comment 00081 | Page | Open]

On 2/6/2025, the La Jolla Community Planning Association (LJCPA) voted 16-0-1 to deny the project. Form IB-620, dated 10/12/2025, signed by Adrian Feral, Secretary of the LJCPA, has been saved.

The project is also within the designation of the La Jolla Shores Planned District Zone; Therefore, it shall also be presented to the La Jolla Shores Planned District Advisory Board (LJSPDAB) for a recommendation. Please contact Melissa Garcia at MAGarcia@sandiego.gov.

A formal recommendation and/or meeting minutes from both the LJCPA and the LJSPDAB, including the vote count, must be provided in your next resubmittal or directly sent to the assigned Project Manager, Veronica Davison.

2025-05-07 - THE PROJECT REDESIGN SHALL BE PRESENTED TO THE COMMUNITY PLANNING GROUPS FOR REVIEW AND RECOMMENDATION



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[Comment 00149 | Page | Open]

If you have not already done so, please contact Lisa Kriedeman, Chairperson of the La Jolla Community Planning Association (LJCPA), at info@lajollacpa.org to schedule a project presentation before the group at their next available meeting.

A formal recommendation from the La Jolla Shores Planned District (LJSPDAB) is required. Please contact Melissa Garcia at MAGarcia@saniego.gov.

Your next submittal should include a formal recommendation and/or minutes from the LJCPA and LJSPDAB meetings, including the vote count.

DSD-Engineering Review

Khanh Huynh
KHuynh@saniego.gov
(619) 446-5299

[Comment 00140 | Page | Open]

Please revise the proposed site plans (civil and architectural plans) to show the required public improvements as follows:

2.5' I.O.D for the alley.

2' dedication on Spindrift.

Construct a modified curb ramp at the alley entrance.

Replace curb with curb and gutter.

New contiguous sidewalk is acceptable.

All runoff from the alley must be routed and connected to the proposed sidewalk underdrains. No runoff shall be discharged to the alley.

[Comment 00141 | Page | Open]

Please revise the drainage report/exhibit to show the runoff from the alley shall be discharged via sidewalk underdrains and into the street.

[Comment 00142 | Page | Open]

Please contact KHuynh@saniego.gov if you would like to schedule a resolution meeting.

DSD-Geology

Michael Jensen
mdjensen@saniego.gov

[Comment 00131 | Page | Open]



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REVIEW COMMENT:

It is the understanding of this reviewer that Geowest Consultants has received a document from the Law Office of Julie Hamilton dated March 13, 2026 that contained a Third-party review Letter by Engeo, dated March 2, 2026. The third-party review letter indicated that a review of the Geowest and Terrapacific geotechnical documents was performed for conformance with the requirements of the City of San Diego and generally accepted standards of care for investigation and evaluation of fault hazard surface rupture zones in San Diego. Engeo discussed several issues with the Geowest and Terrapacific geotechnical documents, and stated that the reports have not been completed in general conformance with the City and State guidelines addressing fault-rupture hazards. In addition, Engeo concluded that subsurface exploration data is not sufficient to determine whether or not the site is crossed by active or potentially active faulting capable of creating surface rupture. Please provide a detailed response to each issue within Engeo's third-party review letter. Note that the response may require additional subsurface information, surrounding data and geotechnical mapping.

[Comment 00132 | Page | Conditional]

The Owner/Permittee shall submit an interim as-graded geotechnical report that presents the results of detailed geologic mapping/logging of the entire basement excavation to demonstrate the lack of faults crossing the site prior to building inspection of foundation excavations. The interim as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of Development Services.

[Comment 00133 | Page | Conditional]

Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report and a fault-hazard report or an update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports," which specifically address the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

DSD-Landscape Review

Clare Gamelin
CGamelin@sandiego.gov
(619) 446-5228

[Comment 00123 | Page | Conditional]

Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

[Comment 00124 | Page | Conditional]

Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, stepping stone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.



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[Comment 00125 | Page | Conditional]

The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

[Comment 00126 | Page | Conditional]

If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

[Comment 00134 | Page | Open]

Project Update: Plans submitted 4/3/26 with new architect and landscape architect. Complete landscape, floorplan and architecture changes. Review comments 4/24/26 reflect new design. (information only)

[Comment 00135 | Page | Open]

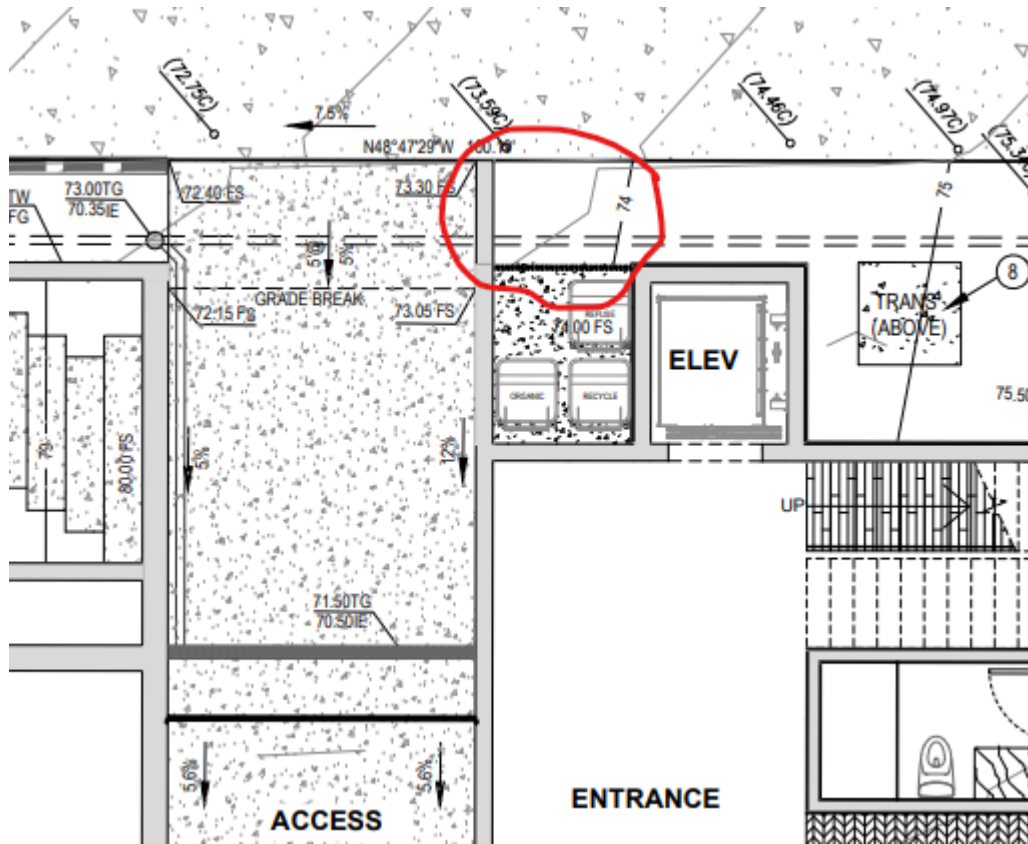
Wall Heights: Please provide all proposed wall heights on the landscape plan.

[Comment 00136 | Page | Open]

Wall Clarification: Please label this double line on plans, is it a wall? What is the height?



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DSD-Planning Review

Alexis Hartley
alhartley@sandiego.gov

[Comment 00108 | Page | Open]

Staff understands applicant has not yet presented to community groups. Staff would like to note La Jolla Shores Advisory Board recommendation is required while La Jolla Community planning group is highly recommended.

[Comment 00143 | Page | Open]

It appears that only the overall height is called out. Please show and label all required height limitations on all elevations and sections:

This project is within the Coastal Height Limit Overlay and therefore will need to meet Plumb Line height, Overall Height and Proposition D Height. Please see SDMC Section 113.0270 as well as BLDG-5-4. The link is included here.
<https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/techbulletin/bldg-5-4.pdf>

In order to determine compliance with the City's zoning height requirements, a two-part measurement is taken.



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First, the structure is measured from the top of the highest point of the building or to the top of any appurtenance, whichever is higher, to grade directly below it. If at any point that measurement exceeds 30 feet, the structure is over height.

The second part of the height measurement can be considered a determination of the maximum overall building height. This measurement is the difference in elevation, within the building footprint, between the highest point of the building and lowest point of grade within five feet of the building perimeter (building wall, balcony, bay window, or similar architectural projection), or the property line, whichever is closer.

In addition, this project is subject to Proposition "D" height requirements. Proposition "D" limits the height of buildings and structures to 30 feet. This height is measured to the highest point of the roof, equipment, antenna, or any other projection from the lowest point of elevation of the finished surface of the ground between the exterior wall of a building and point five feet from said wall.

Staff would like to note: overall height is currently shown as 30 feet + 10 feet. Grade differential on the site is only 7 feet 1 inch, which should be reflected in the overall height measurement.

[Comment 00144 | Page | Open]

West elevation is showing the basement level datum at 71 feet. Please clarify if the proposed entry way is exposed or enclosed by grade.

[Comment 00145 | Page | Open]

Please call out the colors of the proposed building facade. Please show conformance with the La Jolla Shores design manual.

[Comment 00146 | Page | Open]

Please provide a photographic survey of the area, showing that the proposed retaining walls and terrace within the front yard setback are in general conformance with the area.

[Comment 00147 | Page | Open]

Please call out the height of all proposed retaining walls and the height of proposed terrace in relation to the adjacent grade.

LDR-Environmental

Kelli Rasmus
KRasmus@sandiego.gov

[Comment 00137 | Page | Open]

Geologic Conditions:

Please see LDR-Geology comments regarding the presence of active or potentially active faulting on the project site.



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[Comment 00138 | Page | Open]

LDR-Engineering is currently reviewing the latest submittal. EAS defers to LDR-Engineering as it relates to drainage and water quality. Please see LDR Engineering's review comments.

[Comment 00139 | Page | Open]

Preliminary Environmental Determination:

It appears a Mitigated Negative Declaration (MND) pursuant to the requirements of CEQA will be prepared by EAS.

However, additional information is required before an environmental review can be completed. The issues identified above and in any other discipline review comments must be addressed before an environmental determination can be made on this project.

Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or additional technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted information.