

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PROJECT #1129902 YURES
- Address and APN(s):
8480 LA JOLLA SHORES DR, LA JOLLA, CA 92037 #346-082-21-00
- Project contact name, phone, e-mail:
ANASTASIA BERTH 858-239-3109 ANASTASIA@KAMINSKIYINC.COM
- Project description:
ADDITION AND WHOLE HOME REMODEL WITH RESIDENTIAL ELEVATOR TO ROOF
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____
- In addition, provide the following:
 - lot size: 5500 SQ FT
 - existing structure square footage and FAR (if applicable): 2,954 INCLUDING GARAGE
 - proposed square footage and FAR: 3,215 / 1.58 (COMPLIES)
 - existing and proposed setbacks on all sides: FRONT 15', SIDES 4', REAR 15' (SAME)
 - height if greater than 1-story (above ground): 25' 7" TO TOP OF ELEVATOR STRUCTURE

For Information Items (For projects seeking input and direction. No action at this time)

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

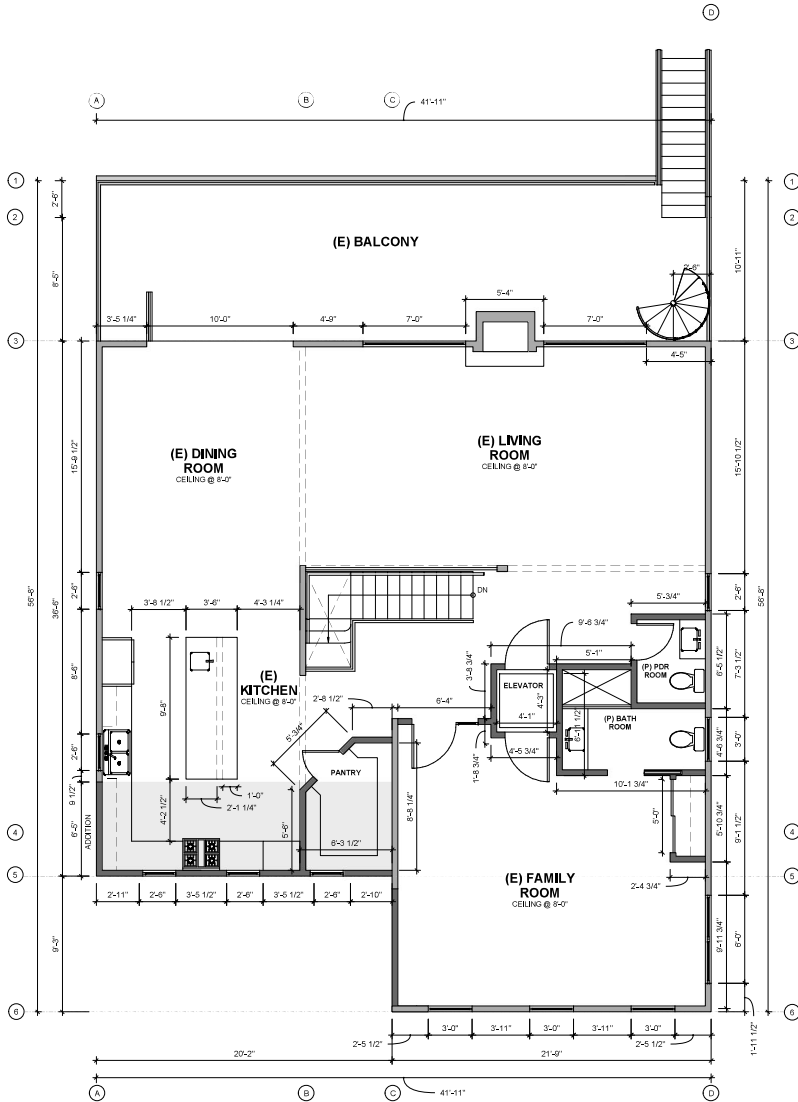


8480 LA JOLLA SHORES DRIVE EXISTING

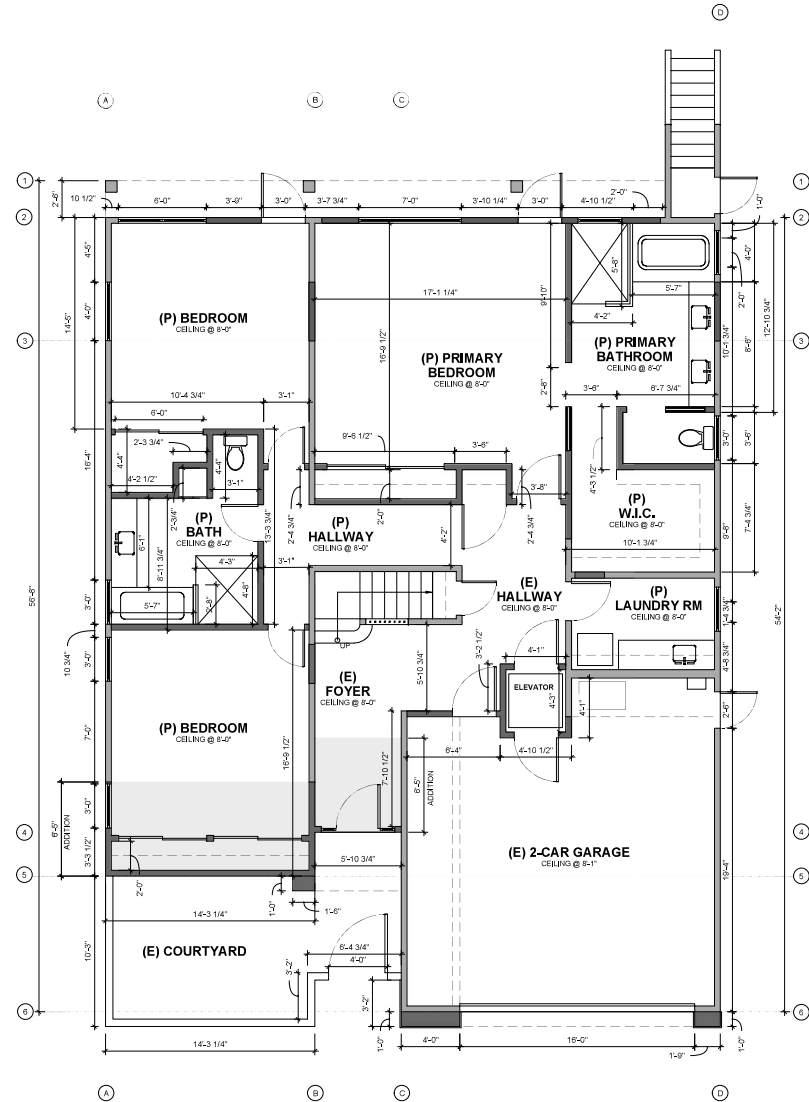


8480 LA JOLLA SHORES DRIVE PROPOSED

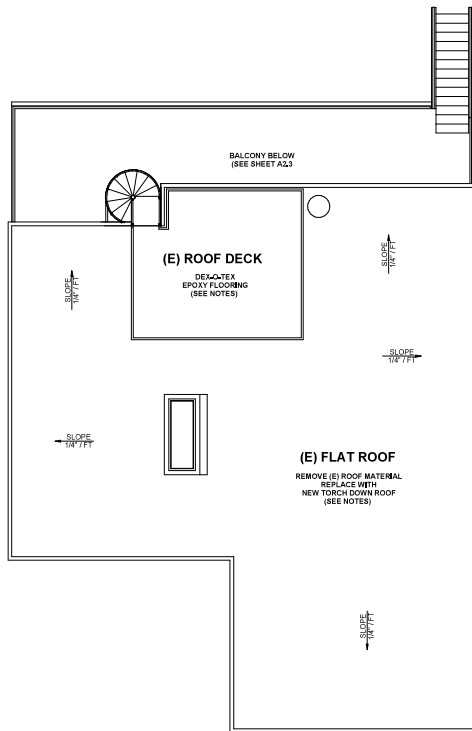
SHADED AREA IS NEW ADDITION



(P) 2ND FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"



(P) 1ST FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"



(E) ROOF PLAN
SCALE: 3/16" = 1'-0"

ROOF NOTES

ALL ROOF COVERING SHALL BE CONSTRUCTED OF FIRE-RETARDANT MATERIAL PER UBC SECTION 3202, MINIMUM CLASS "A" ROOF COVERING ASSEMBLY. CLASS "A" ROOF ASSEMBLIES AND ROOF COVERINGS SHALL BE LISTED AND IDENTIFIED AS CLASS "A" BY AN APPROVED TESTING AGENCY.
LOW SLOPE: ON LOW PITCHES (FROM 3:12 TO THE STANDARD RECOMMENDED ROOF PITCH) IT IS REQUIRED TO APPLY A SELF-ADHERING MODIFIED BITUMEN MEMBRANE OR WATERPROOFING UNDERLAYMENT ON THE ENTIRE DECK. ADEQUATE VENTILATION WILL BE REQUIRED. NEW ROOF - ICC ESR. ALL EAVES SHALL BE A MINIMUM OF 6" - 8" A.F.F.

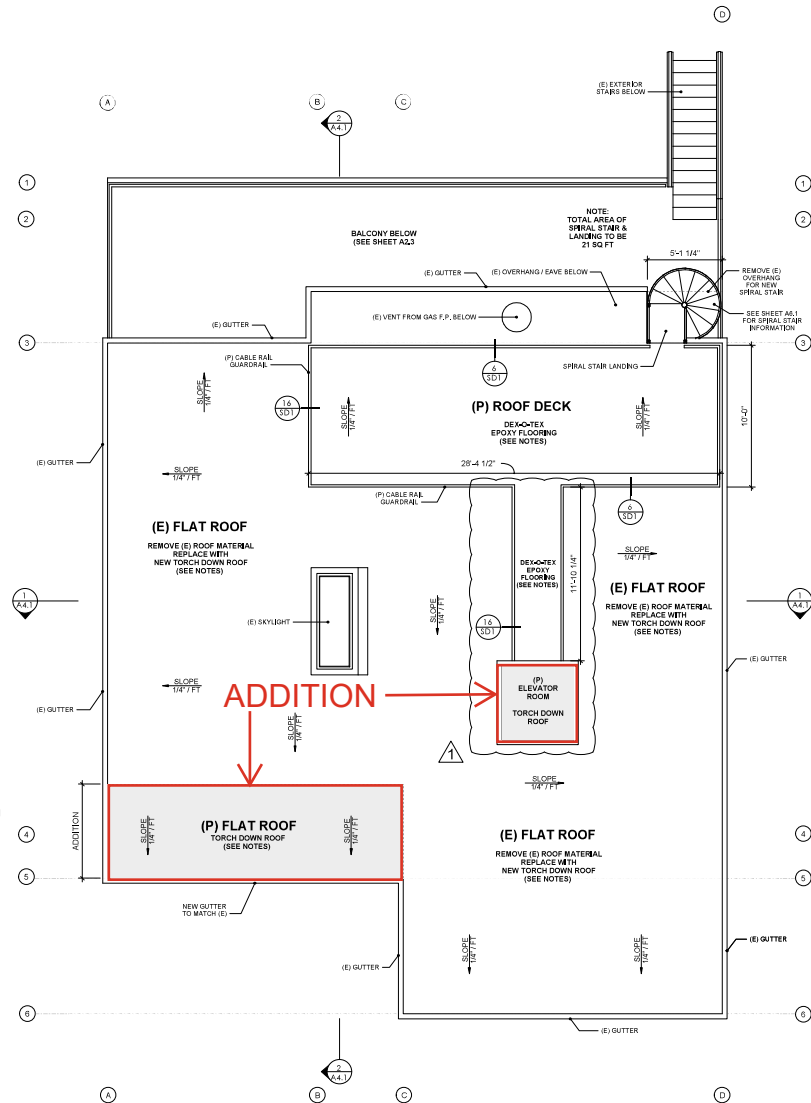
ROOF MATERIALS:
MFR: GAF
MODEL: EVERGUARD
ESR-1475
CLASS: "A"
COLOR: PER OWNER

ROOF DECK MATERIALS:
MFR: DEX-O-TEX
MODEL: DEX FLEX
ESR-9009
CLASS: "A"
COLOR: PER OWNER

DRYER VENT NOTE:
EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.

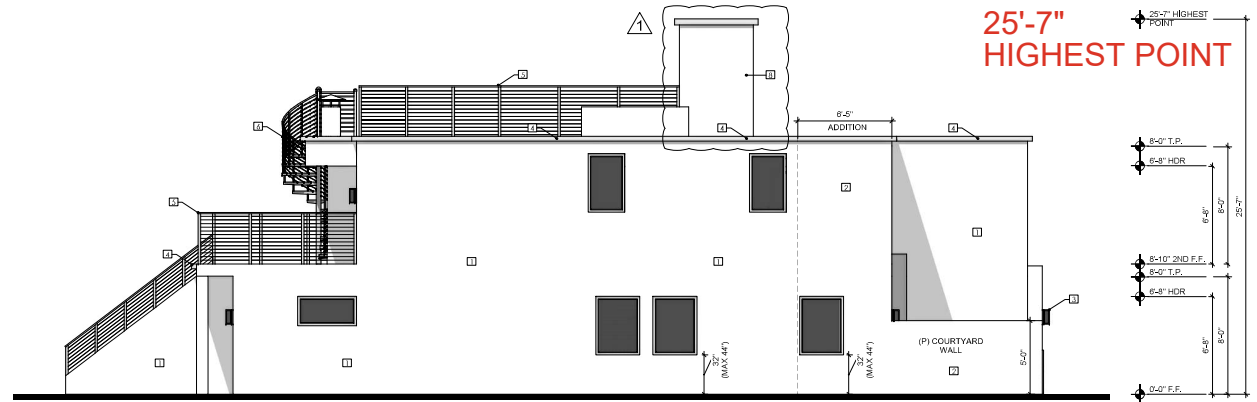
VENTILATION NOTES

1. ALL VENTILATION OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES.
2. PROVIDE AT LEAST 1 INCH OF AIR SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING.
3. NET FREE VENTILATION AREA TO BE AT LEAST 1/150 OF THE AREA OF THE SPACE VENTILATED.
4. EXTERIOR OPENINGS INTO ATTIC SPACES OF A BUILDING FOR HUMAN OCCUPANCY TO BE COVERED WITH CORROSION RESISTANT SCREENING MATERIAL HAVING OPENINGS BETWEEN 1/8 IN. AND 1/4 IN. (SEC. 1203.2)
5. ROOF VENTS, DORMER VENTS, GABLE VENTS, FOUNDATION VENTILATION OPENINGS, VENTILATION OPENINGS IN VERTICAL WALLS, OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOUVERED AND COVERED WITH 1/4 INCH, NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH, OR OTHER APPROVED MATERIAL THAT OFFER EQUIVALENT PROTECTION.
6. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY; THEY SHALL NOT FREE SPIN IN BOTH DIRECTIONS.
7. FOR ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE SHALL BE SOLIDLY BLOCKED WITH NON-COMBUSTIBLE OR FIRE-RETARDANT MATERIALS.
8. WHEN DRIP EDGE FLASHING IS USED AT THE EDGES OF ROOFING MATERIALS, IT SHALL BE NON-COMBUSTIBLE.

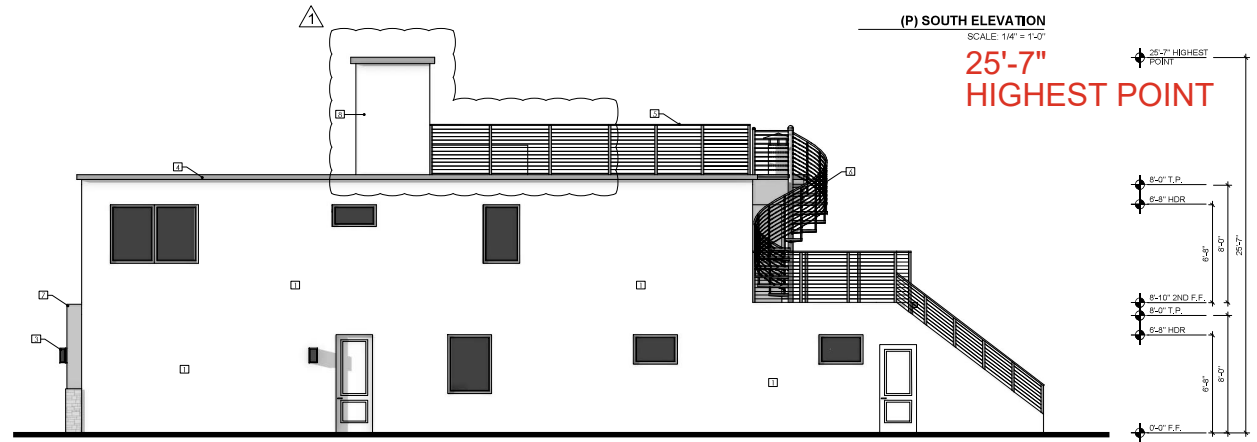


(P) ROOF PLAN
SCALE: 1/4" = 1'-0"

5'-0" w x 5'-0" d x 8'-0" h
ELEVATOR ROOM
added to existing roof

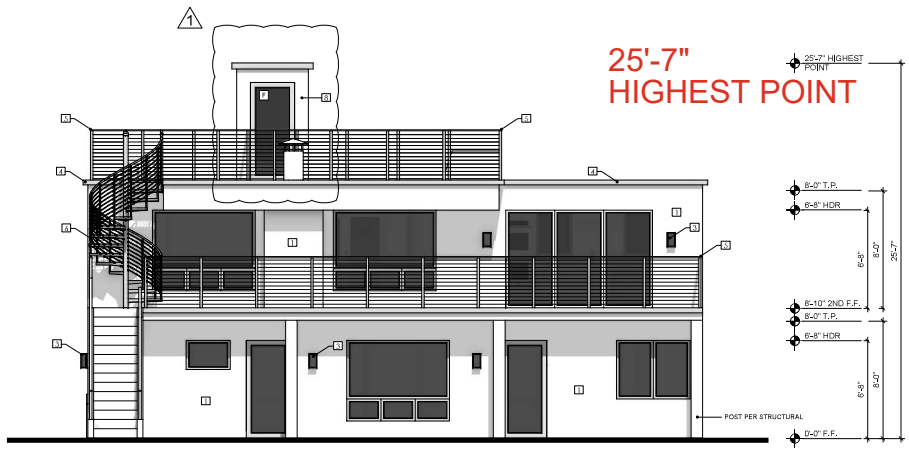


(P) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



(P) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- KEYNOTES**
- (E) STUCCO SIDING TO REMAIN
 - (P) SIDING TO MATCH EXISTING
 - (L) LIGHTING PER OWNER
 - (G) METAL RAIN GUTTER
 - (C) CABLE RAIL GUARDRAIL (SEE DETAIL 16 ON SHEET S02 / DETAIL 9 ON SHEET A5.1)
 - (S) SPIRAL STAIR
 - (F) FURRED OUT WALL
 - (R) ELEVATOR ROOM



(P) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(P) EAST ELEVATION
SCALE: 1/4" = 1'-0"



NEIGHBORHOOD FARs AND SETBACKS

Reference #	Site Address	Parcel #	Lot Size	FAR	Front Setback	Side Setback	Rear Setback	Corner lot	Street Side Setback
1	8484 La Jolla Shores Dr	346-082-20-00	5,498	0.59	15'	4'	15'		10'
2	8490 La Jolla Shores Dr	346-082-19-00	5,655	0.59	15'	4'	15'		10'
3	2201 Camino Del Collado	346-082-18-00	6,795	0.58	15'	4'	15'		10'
4	2151 Camino Del Collado	346-082-17-00	7,501	0.57	15'	4'	15'		10'
5	2105 Camino Del Collado	346-082-16-00	6,535	0.58	15'	4'	15'		10'
6	8497 El Paseo Grande	346-082-15-00	6,839	0.58	15'	4'	15'		10'
7	8498 El Paseo Grande	346-050-17-00	9,829	0.55	15'	4'	15'		10'
8	8493 Paseo del Ocaso	346-082-13-00	7,495	0.57	15'	4'	15'		10'
9	8487 Paseo del Ocaso	346-082-12-00	5,917	0.59	15'	4'	15'		10'
10	8481 Paseo del Ocaso	346-082-11-00	5,435	0.59	15'	4'	15'		10'
11	8475 Paseo del Ocaso	346-082-10-00	7,501	0.57	15'	4'	15'		10'
12	8469 Paseo del Ocaso	346-082-09-00	5,597	0.59	15'	4'	15'		10'
13	8452 La Jolla Shores Dr	346-082-34-00	8,151	0.56	15'	4'	15'		10'
14	8476 La Jolla Shores Dr	346-082-22-00	5,236	0.59	15'	4'	15'		10'
15	8499 La Jolla Shores Dr	346-102-01-00	5,001	0.59	15'	4'	15'		10'
16	8497 La Jolla Shores Dr	346-102-02-00	5,056	0.59	15'	4'	15'		10'
17	8495 La Jolla Shores Dr	346-102-03-00	5,001	0.59	15'	4'	15'		10'
18	8493 La Jolla Shores Dr	346-102-04-00	5,001	0.59	15'	4'	15'		10'
19	8465 La Jolla Shores Dr	346-120-01-00	10,058	0.54	15'	4'	15'		10'
20	8445 La Jolla Shores Dr	346-120-02-00	9,723	0.55	15'	4'	15'		10'
PROPOSED	8480 La Jolla Shores Dr	346-082-21-00	5,500	0.59	21'	4'	28'		N/A
	5500 X .59 = 3245 MAX SQ FT ALLOWABLE								
	3215 / 5500 = .58 (COMPLIES)								



THE CITY OF SAN DIEGO
Development Services Department
7650 Mission Valley Road, San Diego, CA 92108

Project Address 8480 La Jolla Shores Dr
San Diego, CA 92037

Project Type Building Construction

Primary Contact sdpermitco@gmail.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plan Field Change CC-1153219.pdf

DSD-Planning Review

Adrian Rusit
ARusit@sandiego.gov
619-236-5507

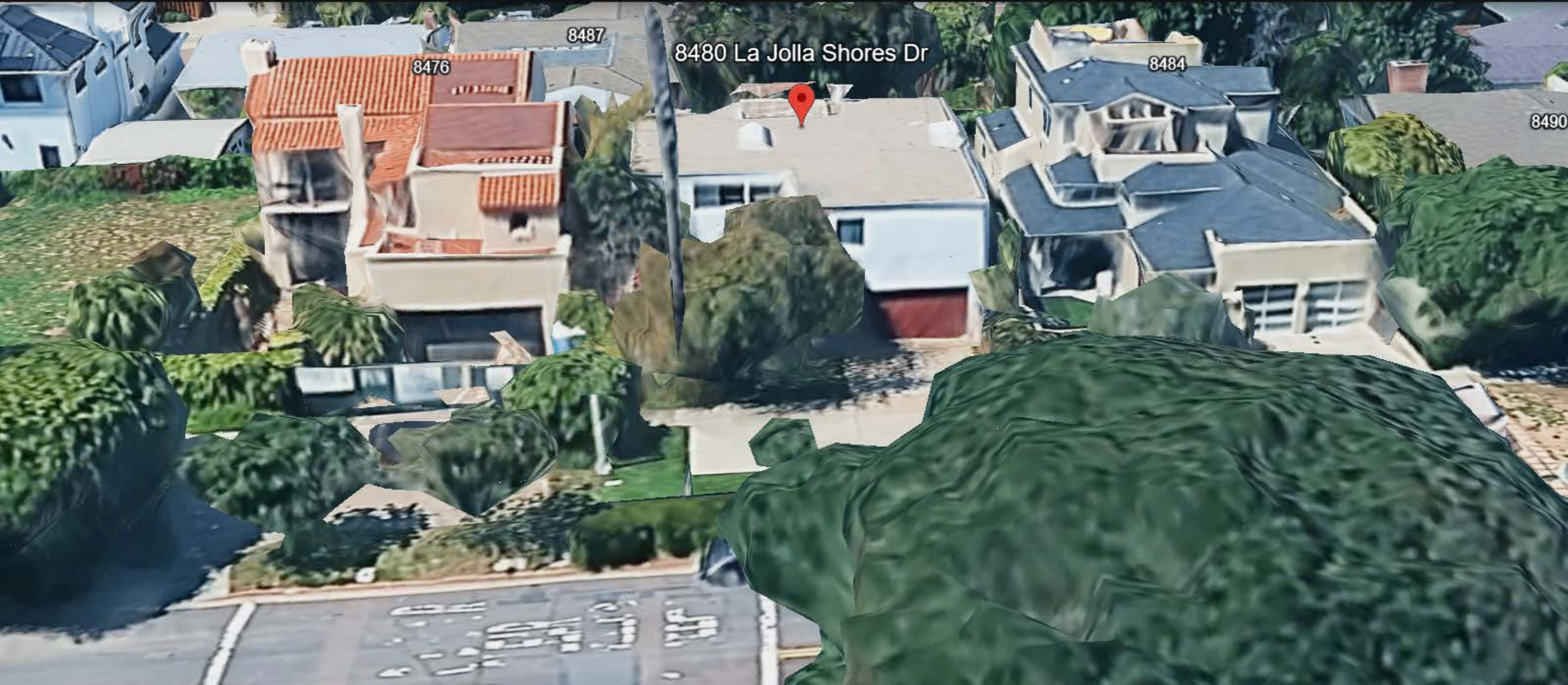
[Comment 00067 | Sheet 1.0 | Open]

Please dimension the rooftop elevator shaft height from the top of the roof to the top of the elevator shaft on sheet A3.1.

[Comment 00068 | Sheet 1.0 | Open]

The project proposes a construction change for PRJ-1129902 to include extending elevator shaft to roof / roof deck structural foundation changes within the La Jolla Shored Planned District. This would increase the height from the existing development on site. Based on the criteria required to be considered minor in scope (Review Criteria "C", Information Bulletin 621 (<https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/infobulletin/ib621.pdf>) and §1510.0201(d)(1)(A-B) which lists the types of development that are considered minor in scope, the project may not qualify as minor in scope and may require a Site Development Permit (SDP), process three.

Please reach out to the La Jolla Shores Advisory Committee before city staff makes a determination. The Advisory Board's recommendations will be considered by City staff in the final determination.



8487

8480 La Jolla Shores Dr

8476

8484

8490

LA JOLLA SHORES DR
8480