THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 29, 2026 REPORT NO. HO-26-040

HEARING DATE: August 5, 2026

SUBJECT: 8303 PRESTWICK, Process Three Decision

PROJECT NUMBER: PRJ-1109965

OWNER/APPLICANT: Ahmad Ghamaty and Pari Ghamaty / Spencer Miller

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit and a Coastal Development Permit for the demolition of an existing 2,503-square-foot single dwelling unit (SDU) and the construction of a two-story 10,297-square-foot single dwelling unit (SDU) at 8303 Prestwick Drive within the La Jolla Community Plan area?

Proposed Actions:

1. APPROVE Site Development Permit No. PMT-3273423 and Coastal Development Permit No. PMT-3235726

Fiscal Considerations: None. All costs associated with the processing of this application are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The project proposes the demolition and development of an existing single dwelling unit which supports the goal of the Housing Element of the City of San Diego's General Plan to "repair and maintain the city's existing housing stock" (HE-66).

Community Planning Group Recommendation: On April 2, 2026, the La Jolla Community Planning Association recommended project approval by a vote of 11-0-1, without recommendations.

La Jolla Shored Planned District Advisory Board Recommendation: On November 19, 2025, the La Jolla Shores Planned District Advisory Board (LJSAB) recommended approval of the project 5-0-0 with modifications to conform with SDMC section 131.0444 regarding the northern property line and side of the building to be stepped back on the second floor and on the front second floor façade.

Environmental Impact: This project was determined to be categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302 (Replacement or Reconstruction). The environmental exemption determination for this project was made on May 14, 2026, and the opportunity to appeal that determination ended on May 29, 2026. There were no appeals of the environmental determination. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 0.55-acre site is located at 8303 Prestwick Drive in the LJSPD-SF (La Jolla Shores Planned District – Single-Family) zone, the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, and a Very High Fire Hazard Severity Zone within the La Jolla Community Plan and Local Coastal Program (LJCP). The project application was filed on February 8, 2024, and there was a scope change on April 21, 2025, which re-designed the building and size. A Coastal Development Permit was added to scope due to the complete demolition of the existing structure.

DISCUSSION

The project proposes the demolition of an existing 2,503-square-foot (sf) single dwelling unit (SDU) and the construction of a two-story 10,297 sf single dwelling unit (SDU) and associated site improvements. The site contains environmentally sensitive lands (ESL) in the form of steep hillsides. The project site is regulated by the La Jolla Shores Planned District Ordinance (LJSPDO) in accordance with San Diego Municipal Code (SDMC) Chapter 15, Article 10, Divisions 1 through 4. The LJSPDO implements the goals and policies of the General Plan and the LJCP and further regulates the development of land within La Jolla Shores. The LJSPD-SF zone does not enforce prescriptive setbacks but instead mandates development to generally conform to the building setbacks within 300 feet of the site. The applicant provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The neighborhood survey shows that the project conforms to the scale, mass, and height of surrounding properties.

The project complies with all required setbacks and conforms with those in the vicinity: front yard setbacks of sixteen feet measured from the edge of the four-foot additional right-of-way dedication, side setbacks of eight feet, and a rear setback of one hundred feet, consistent with the pattern of development in the established neighborhood.

Pursuant to SDMC section 113.0234, only 6,188 (sf) of the proposed 10,297 (sf) are counted toward the allowed gross floor area, resulting in a proposed floor area ratio (FAR) of 0.26, which is below the maximum allowed FAR of 0.45.

The new dwelling unit consists of a 2,488-sf basement with an attached garage (below grade), a 3,974-sf main floor, a 3,391-sf upper floor, and a 444-sf roof terrace for a total of 10,297 sf. The basement floor area is excluded from the FAR calculation in accordance with SDMC Section 113.0234, where the distance between the adjacent grade and the finish floor elevation above does not exceed five feet. The proposed two-story dwelling unit will be approximately 29-feet-six-inches in

height conforming to the 30-foot coastal height limit and SDMC Section 1510.0304(c). SDMC Section 1510.0304(d) limits lot coverage to 60 percent of the lot; the project proposes 34 percent. SDMC Section 1510.0304(h)(1) requires that at a minimum of 30 percent of the total parcel area be landscaped; the project proposes 66 percent.

Permits Required:

Development of the proposed project requires:

- A Process Three, La Jolla Shores Planned District Permit, to be processed as a Site Development Permit (SDP), pursuant to SDMC Section 1510.0201(d) for the construction of a major project in the La Jolla Shores Planned District and pursuant to SDMC Section 126.0505(b) for development on a site containing ESL in the form of Steep Hillsides; and

- A Process Two, Coastal Development Permit (CDP), pursuant to SDMC Section 126.0702 for the demolition of a dwelling unit and construction of a new dwelling unit within the non-appealable area of the Coastal Overlay Zone.

Both actions are consolidated and processed as a Process Three Hearing Officer Decision per SDMC Section 112.0103, with appeal rights to the Planning Commission.

Community Plan Analysis:

The community plan identifies the project site as Very Low Density Residential (0-5 du/ac) per Figure 16. The proposed project includes one dwelling unit on a 0.55-acre site or (1.8 du/ac) in conformance with the allowed density. The proposed project supports the goals, policies, and recommendations of the La Jolla Community Plan (LJCP), including, but not limited to, the following:

Residential Land Use Policy #1: Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density.

> The community plan identifies the project site as Very Low Density Residential (0-5 du/ac) per Figure 16. The proposed project includes one dwelling unit on a 0.55-acre site or (1.8 du/ac) in conformance with the allowed density.

Policy 2a states: “Public views from identified vantage points, to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use.”

> The proposal does not interfere with public vantage points. Prestwick Drive is identified as an “Intermittent or Partial Vista” within Figure 9 of the LJCP (pgs. 35 and 36). Additionally, Cliffridge Park, located east of the project site, is identified as a “Viewshed” overlooking the Pacific Ocean. The project would not interfere with the intermittent views from Prestwick Drive because the project site is located on the east side of Prestwick Drive. The proposed two-story dwelling unit would not exceed the 30-foot coastal height limit. By conforming to

the coastal height limit, the proposed project would retain the "Viewshed" from Cliffridge Park located approximately 800 feet east of the project site across a natural canyon.

One goal of the La Jolla Community Plan is to: "maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures."

The proposed project maintains the character of the established residential neighborhood by proposing a structure that complements the newly developed homes and existing one- and two-story residential dwelling units located adjacent to, and in the vicinity, by utilizing building articulation, through the provision of offsetting planes creating architectural interest in the building facades, a proposed modern architectural style with linear features consistent with the designs of newer adjacent homes, and the utilization of building materials which include stone cladding, metal trim, glass fenestrations and stucco finishes with a color palette that utilizes neutral earth tones complementary to adjacent older homes and the adjacent natural setting. In addition, the project provides an enhanced landscape design that consists of plant materials that are consistent to the established surrounding streetscape and incorporates native and low water use plant materials in accordance with the applicable regulations of the SDMC and Community Plan.

LJCP Residential Recommendation 2c: In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements.

The proposal adheres to this recommendation by utilizing building articulation through the provision of offsetting planes on all building facades and building articulation which include the utilization of protruding balconies and terraces, and proturding roof overhangs which provide architectural interest in the building facades. In addition, the proposed structure conforms to this recommendation by conforming to the required building setbacks. The building will also conform to the 30-foot height limit by proposing a structure that is 29-feet-six-inches in height. The bulk and scale of the proposed structure is consistent with the more recently developed properties and adjacent two-story residential dwelling units by providing a building that steps back from the street to lessen the bulk and scale.

<u>Project-Related Issues:</u>

Steep Hillsides

Pursuant to SDMC 143.0142 the project is subject to the Steep Hillside regulations due to the eastern slope being greater than 25 percent. The front half of the project site is a nearly level area fronting the westerly property line of this lot, and the rear half of the lot slopes to the east. Steep hillsides are identified at the rear eastern slope of the project site, and the project has been

conditioned to record a covenant of easement for the preservation of the remaining steep hillsides that are located outside of the proposed development area.

A geotechnical report was prepared by Christian Wheeler Engineering that identified potential geologic hazards at the site. The geotechnical investigation evaluated the subsurface conditions, and the report determined that the proposed construction is feasible from a geological standpoint. The primary geotechnical conditions affecting the project site are steep slopes located on the easterly portion of the site.

Fire Hazards

The project site is located within a Very High Fire Hazard Severity Zone which is an identified risk of fire hazards due to the potential for fuel growth in relatively undeveloped and steep slope areas in the eastern portion of the site. The project is conditioned to include a brush management program which would ensure the safety of inhabitants of the proposed structure by providing fire life safety measures protecting structures from wildfires. Additionally, the project would be required to provide fire sprinklers in accordance with applicable regulations of the California Building Code and Fire Codes.

Conclusion:

This proposed project is designed to comply with the development regulations of the LJSPD-SF zone, the Environmentally Sensitive Lands regulations, the La Jolla Community Plan and Local Coastal Program. Staff has determined that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends, that the Hearing Officer approve Site Development Permit PMT-3273423 and Coastal Development Permit PMT- 3235726 as proposed.

ALTERNATIVES

1. Approve Site Development Permit PMT-3273423 and Coastal Development Permit PMT-3225726, with modifications.

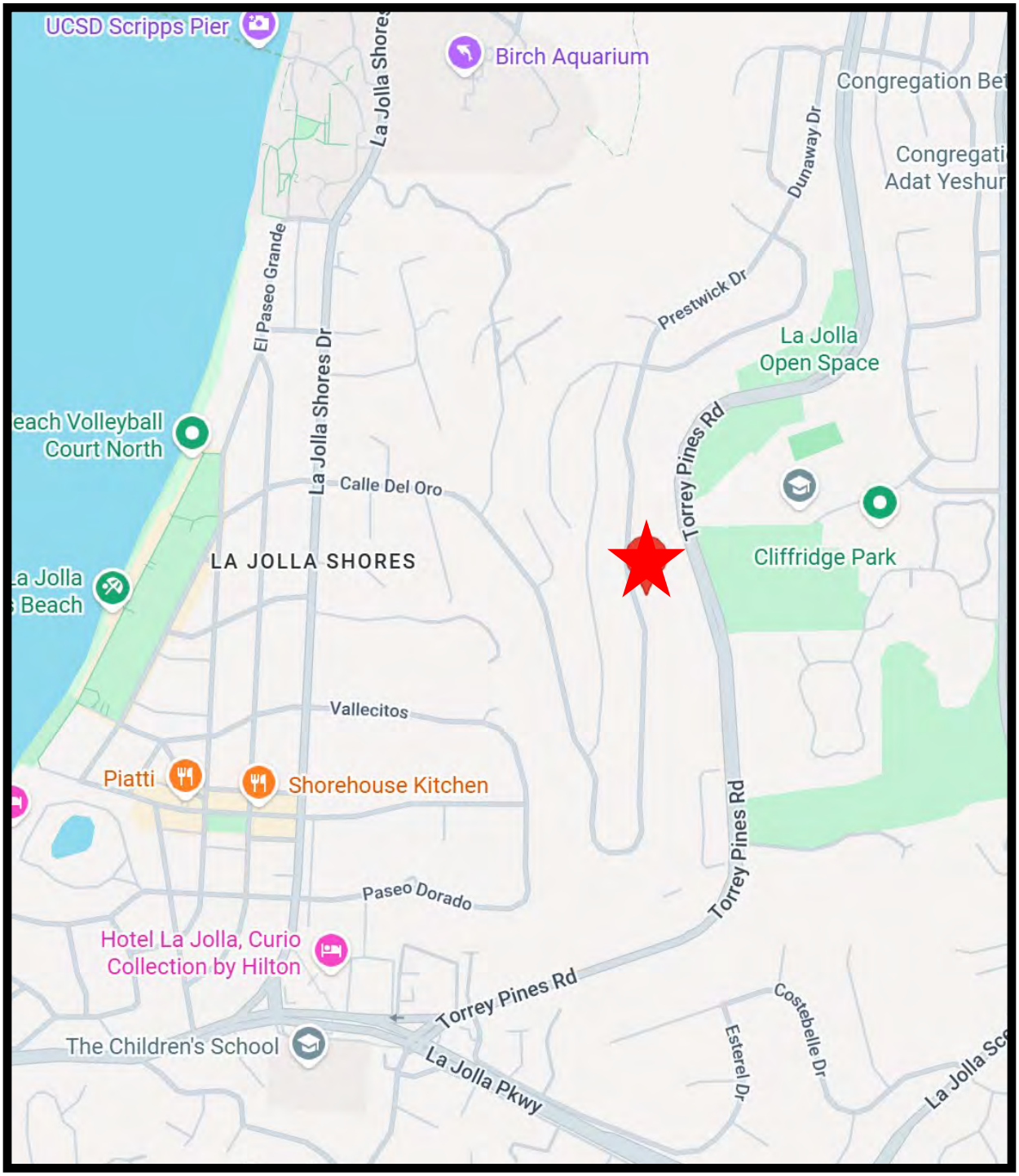
2. Deny Site Development Permit PMT-3273423 and Coastal Development Permit PMT-3235726, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Will Rogers
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Draft Resolution with Findings
4. Draft Permit with Conditions
5. Environmental Exemption
6. La Jolla Community Planning Association Recommendation
7. La Jolla Shores Planned District Advisory Board Recommendation
8. Ownership Disclosure Statement
9. Project Plans



The City of SAN DIEGO

Project Location

8303 Prestwick Drive
Project No. PRJ-1109965

North

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The City of SAN DIEGO

Land Use Plan

8303 Prestwick Drive
Project No. PRJ-1109965

North

HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. PMT-3273423,
COASTAL DEVELOPMENT PERMIT NO. PMT-3235726
8303 PRESTWICK DRIVE, PROJECT NO. 1109965

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. AHMAD GHAMATY AND PARI GHAMATY Husband and Wife as Joint Tenants, Owners/Permittees, submitted an application to the City of San Diego for a Site Development Permit PMT-3273423 and a Coastal Development Permit PMT-3235726 to demolish an existing 2,503-square-foot Single Dwelling Unit (SDU) and construct a new two-story 10,297-square-foot SDU as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the 8303 Prestwick Drive project (project).

B. The 0.55-acre site is located at 8303 Prestwick Drive in the LJSPD-SF (La Jolla Shores Planned District – Single Family) zone, the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, and a Very High Fire Hazard Severity Zone within the La Jolla Community Plan and Local Coastal Program (LJCP). The project site is legally described as: LOT 38 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDERS OF SAN DIEGO COUNTY, NOVEMBER 13,1959. APN #: 346-212-03-00

C. On August 5, 2026, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15302, Replacement or Reconstruction and there was no appeal of

the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

D. On August 5, 2026, the Hearing Officer considered Site Development Permit No. PMT-3273423 and Coastal Development Permit No. PMT-3235726 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Site Development Permit No. PMT-3273423 and Coastal Development Permit No. PMT-3235726:

A. FINDINGS FOR ALL SITE DEVELOPMENT PERMITS [San Diego Municipal Code (SDMC) section 126.0550]:

I. The proposed development will not adversely affect the applicable land use plan.

The proposed project consists of the demolition of an existing 2,503-square-foot single dwelling unit (SDU) and the construction of a new two-story, 10,297-square-foot SDU with associated site improvements on a 0.55-acre site. The proposed structure includes a 2,488-square-foot basement garage level, a 3,974-square-foot main level (first floor), a 3,391-square-foot upper level (second floor) and a 444-square-foot roof terrace. Only 6,188 square feet of the proposed 10,297-square-foot SDU is counted toward gross floor area per SDMC section 113.0234.

The proposed project supports the goals, policies, and recommendations of the applicable LJSPD-SF zone regulations and of the La Jolla Community Plan (LJCP), including, but not limited to, the following:

1. LJCP Residential Land Use Policy #1: Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density.

The community plan identifies the project site as Very Low Density Residential (0-5 du/ac) per Figure 16. The proposed project includes one dwelling unit on a 0.55-acre site or (1.8 du/ac) in conformance with the allowed density.

2. Policy 2a states: "Public views from identified vantage points, to and from La Jolla's community landmarks and scenic vistas of the ocean, beach and bluff areas, hillsides and canyons shall be retained and enhanced for public use."

The proposal does not interfere with public vantage points.

Prestwick Drive is identified as an "Intermittent or Partial Vista" within Figure 9 of the LJCP (pgs. 35 and 36). Additionally, Cliffridge Park, located east of the project site, is identified as a "Viewshed" overlooking the Pacific Ocean. The project would not interfere with the intermittent views from Prestwick Drive because the project site is located on the east side of Prestwick Drive. The proposed two-story dwelling unit would not exceed the 30-foot coastal height limit. By conforming to the coastal height limit, the proposed project would retain the "Viewshed" from Cliffridge Park located approximately 800 feet east of the project site across a natural canyon.

3. The LJCP identifies the following goal "maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures."

The proposed project maintains the character of the established residential neighborhood by proposing a structure that complements the newly developed homes and the existing one- and two-story residential dwelling units located adjacent to and in the vicinity of the project site. In addition, the project provides enhanced landscaping to preserve existing streetscape themes.

4. LJCP Residential Recommendation 2c: In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements.

The proposal adheres to this recommendation by utilizing building articulation through the provision of offsetting planes thus creating architectural interest in the building facades, and by proposing several second-floor balconies and ground-floor covered patio areas.

5. LJCP Residential Recommendation 2e: In order to address transitions between the bulk and scale of new and older development in residential areas; maintain the existing 30-foot height limit of the single dwelling unit zones and Proposition D.

The proposed structure conforms to this recommendation by articulating the building facades as described above and by conforming to the required

building setbacks. The building will also conform to the 30-foot height limit. The bulk and scale of the proposed structure is consistent with the more recently developed properties and the adjacent two-story residential dwelling units located adjacent to the project site by utilizing building articulation through the provision of offsetting planes, creating architectural interest in the building facades, and by proposing several second-floor balconies and ground-floor covered patio areas.

3. One of the land use policies is to provide "Improvements to existing circulation patterns and public facilities." page 9.

The project is required to provide an additional four feet of public right-of -way for future expansion of Prestwick Drive to improve circulation patterns.

II. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project is described in the finding above, incorporated herein by reference. The project is conditioned to make improvements to the public right-of-way including dedicating an additional four feet of right-of-way and the construction of a new 18-foot driveway which would improve public safety for pedestrians. The project will also be required to conform to storm water regulations including best management practices to ensure site drainage and run-off are collected and treated onsite before being directed to the city's storm drain system. The project is also conditioned to include a brush management program which would ensure the safety of inhabitants of the proposed structure by providing fire life safety measures protecting structures from wildfires. The permit for the Project includes various conditions of approval relevant to ensuring conformance with the applicable regulations of the San Diego Municipal Code and building codes in effect for the Project.

Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety, and general welfare of people residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in the Site Development Permit, Coastal Development Permit, and other regulations and guidelines pertaining to the subject property per the San Diego Municipal Code. Therefore, the development as proposed and without any new conditions would not place the occupants of the proposed development or the immediate community in a condition dangerous to their health or safety.

III. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As stated in finding A.I above and hereby incorporated by reference, the project is subject to and complies with LJSPD-SF zone regulations as shown in the table below and the Environmentally Sensitive Land Regulations as stated in findings B.III and IV below, which are incorporated herein:

The project site is regulated by the La Jolla Shores Planned District Ordinance(LJSPDO) found in San Diego Municipal Code (SDMC) Chapter 15, Article 10, Divisions 1 through 4, which implements the objectives and proposals of the General Plan for the City of San Diego and the LJCP, and further regulates the development of land within La Jolla Shores. The LJSPD-SF zone does not enforce prescriptive setbacks but instead mandates development to generally conform to the building setbacks within 300 feet of the site. The applicant provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The neighborhood survey shows that the project conforms to the scale, mass, and height of surrounding properties.

Requirement	Required	Proposed	SDMC
Floor area ratio (FAR)	0.45	0.26 *	SDMC 113.0234
Front Setback	16 feet	16 feet	SDMC 1510.0304(b)(4)
Side Setbacks	8 feet	8 feet	SDMC 1510.0304(b)(4)
Rear Setback	8 feet	160 feet	SDMC 1510.0304(b)(4)
Height	30 feet	29 feet 6 inches	SDMC 1510.0304(c)
Lot Coverage Allowed	60 percent	34 percent	SDMC 1510.0304(d)

* The proposed floor area ratio (FAR) of 0.26 (6,188 square feet SF / 23,958 SF) is within the maximum allowed FAR of 0.45.

The Planned District's General Design regulations state that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area."

The proposed architectural form is modern and includes changes in building materials, proportional fenestration, and varied building heights. Materials include a light brown natural stone veneer walls or light brown stucco walls and a wide, black-painted metal fascia and forty-two-inch glass guard rails. The architecture is similar in nature to adjacent homes and other homes in the vicinity. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks, height and bulk and

scale with all of the applicable development regulations of the La Jolla Shores Planned District's SF zone. There are no deviations requested. Therefore, the proposed project will comply with the regulations of the Land Development Code.

B. SUPPLEMENTAL FINDINGS FOR ENVIRONMENTALLY SENSITIVE LANDS- SDMC Section 126.0550 (b)

I. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The front half of the project site is a nearly level area fronting the westerly property line of this lot, and the rear half of the lot slopes to the east. The westerly portion of the project site is not identified as biologically sensitive lands based on the Biological Report dated July 15, 2024, prepared by Merkel and Associates Inc. The report states that the proposed project would be subject to the standards and requirements of the City Steep Hillsides Guidelines. A condition has been placed on the project for this area to record a covenant of easement for the preservation of the remaining steep hillsides that are located outside of the proposed development area.

The City of San Diego has identified a risk of fire hazards due to the potential for fuel growth in relatively undeveloped and steep slope areas in the eastern portion of the site. The proposed development will include a Brush Management Plan, fire sprinklers within the building, and building design features to reduce fire risk.

Therefore, the site is physically suitable for the design and siting of the proposed development, and the development will result in minimum disturbance to environmentally sensitive lands.

II. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

A geotechnical report was prepared by Christian Wheeler Engineering that addressed potential geologic hazards at the site. The geotechnical investigation evaluated the subsurface conditions, and the report determined that the proposed construction is feasible from a geological standpoint. The primary geotechnical conditions affecting the project site are steep slopes located on the easterly portion of the site. The project site is located within a Very High Fire Hazard Severity Zone which is an identified risk of fire hazards due to the potential for fuel growth in relatively undeveloped and steep slope areas in the eastern portion of the site. The proposed project would be conditioned to include a brush management plan which would minimize risk from fire hazards and all proposed work is contained within the existing developed portion of the property as shown in Exhibit "A.". Therefore, the proposed development will minimize the alteration of natural landforms and will not

result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

III. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed project includes the demolition of the existing single dwelling unit for the construction of a new two-story dwelling unit with a basement and extending turf and landscaped areas into the previously graded sloped area thus requiring a new retaining wall. All proposed work is contained within the existing developed portion of the property as shown in Exhibit "A." Impacts from the proposed development would not be considered significant. The proposed project would include non-standard brush management zones. Zone 1 will stretch from the rear of the residence to the rear wall/fence, and Zone 2 will stretch from the wall/fence to the edge of the property. No impacts are expected to occur as a result of brush management. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

IV. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP);

No impacts to native or sensitive habitats or species are expected to occur from the proposed project. The project site is not located within or adjacent to the MHPA preserve, therefore compliance with the City's MHPA Land Use Adjacency Guidelines is not required.

V. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project has been conditioned to comply with the City's Storm Water Regulations that will lessen runoff impacts to the City's storm drain system and the Pacific Ocean. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

VI. **The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The proposed project does not include mitigation measures for negative impacts created by the proposed development but does have permit conditions of approval which would assist in alleviating impacts from the proposed development. The project would be conditioned to include a covenant of easement for the preservation of steep hillside which are located outside of the allowable development area. Additionally, the proposed project would be conditioned to conform to the City's Storm Water Regulations that will lessen runoff impacts to the City's storm drain system and the Pacific Ocean. Therefore, the nature and extent of mitigation required

as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development

C. COASTAL DEVELOPMENT PERMIT SDMC Section 126.0708

I. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The proposed project is described in SDP Finding A.I. above, incorporated herein by reference. The project is approximately half a mile east of the Pacific Ocean. The LJCP does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. Since the project and associated improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways to the Pacific Ocean as defined in Subarea B in Figure B (page 139) of the La Jolla Community Plan.

The proposed height of the dwelling unit would be approximately 29 feet, six inches, measured to the top of the parapet, which would comply with the 30-foot coastal height limitation. The project is consistent with the goals of protecting the scenic coastal views and public accessways as specified in the LJCP, conforms to the required setbacks, and the building facades are designed with articulated offsetting planes adding architectural interest to the proposed structure. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

II. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site was previously graded and developed with an existing single-dwelling unit. A review of resource maps, and aerial and street-level photography shows that the project site contains environmentally sensitive lands (ESL) in the form of steep hillsides. A covenant of easement is conditioned to being placed over the steep hillside areas. The project site does not contain, nor is it adjacent to Multi-Habitat Planning Area (MHPA)-designated lands of the City of San Diego's (City) Multiple Species Conservation Program (MSCP). The project site is located within an established urban neighborhood and will not have drainage impacts to adjacent properties. Also, the project has been conditioned to comply with the City's Storm

Water Regulations that will lessen runoff impacts to the City's storm drain system and the Pacific Ocean. Therefore, the project will not adversely affect environmentally sensitive lands.

III. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation Program.

The proposed project is described in the findings A.I and A.III above, incorporated herein by reference. As previously described, the project has been designed in accordance with the La Jolla Shores Planned District Ordinance regulations and the La Jolla Community Plan and Local Coastal Program. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation Program.

IV. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is approximately 3,200 feet from the Pacific Ocean and is not located between the nearest public road and the sea. Therefore, this finding does not apply.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Site Development Permit PMT-3273423 and Coastal Development Permit PMT-3235726 are granted by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Site Development Permit PMT-3273423 and Coastal Development Permit PMT-3235726, a copy of which is attached to and made a part of this Resolution by this reference.

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Will Rogers
Development Project Manager

Development Services

Adopted on: August 5, 2026

IO#: 24009818

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE,
MAIL STATION DSD-1A

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24009818

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3273423,
COASTAL DEVELOPMENT PERMIT NO. PMT-3235726
8303 PRESTWICK DRIVE, PROJECT NO. 1109965
HEARING OFFICER

This Site Development Permit No. PMT-3273423 and Coastal Development Permit No. PMT-3235726 is granted by the Hearing Officer of the City of San Diego to AHMAD GHAMATY AND PARI GHAMATY, Husband and Wife as Joint Tenants, Owners/Permittees, pursuant to San Diego Municipal Code (SDMC) sections 126.0505 and 126.0708. The 0.55 -acre site is located at 8303 Prestwick Drive in the La Jolla Shores Planned District – Single Family (LJSPD-SF) Base Zone, Coastal (Non-appealable) Overlay Zone, Coastal Height Limit Overlay Zone, Very High Fire Severity Zone, and located within the La Jolla Community Plan and Local Coastal Program Area. The project site is legally described as: LOT 38 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDERS OF SAN DIEGO COUNTY, NOVEMBER 13,1959. ASSESSORS PARCEL NUMBER: 346-212-03-00

Subject to the terms and conditions set forth in this Permit, permission is granted to Ahmad Ghamaty and Pari Ghamaty, Owners/Permittees to demolish an existing 2,503-square-foot single dwelling unit (SDU) and construct a two-story 10,297-square-foot SDU and associated site improvements as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 5, 2026, on file in the Development Services Department.

The project shall include:

a. The demolition of an existing 2,503-square-foot SDU;

b. A new two-story SDU containing 10,297 total square feet, of which 6,188 square feet is counted towards gross floor area. The proposed structure includes a 2,488-square-foot basement garage level, a 3,974-square-foot main level (first floor), a 3,391-square-foot upper level (second floor) and a 444 square-foot roof terrace;

c. Landscaping (planting, irrigation and landscape related improvements);

d. Off-street parking;

e. Accessory Improvements; Front and Rear Yard planters and retaining walls with stairs; and

f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 20, 2029.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional four feet along Prestwick for a 14-foot-wide parkway satisfactory to the City Engineer.

12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveway and the construction of a current City Standard curb, gutter, and sidewalk adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 18-foot-wide driveway per the current City Standard adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of curb and gutter per current City Standard adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) from the City Engineer for the sidewalk underdrains and landscaping in Prestwick Drive Right-of-Way.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction Best Management Practice (BMP) Standards Chapter 4 of the City's Storm Water Standards.

WATER AND SEWER REQUIREMENTS:

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water service within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

19. Prior to the issuance of any building permit Owner/Permittee shall instal an appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. The proposed BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure that the existing sewer lateral under the proposed driveway will be called-out as private with an EMRA.

21. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

22. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

23. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new sewer service outside of any driveway or drive aisle and the abandonment of any existing unused sewer service within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

27. The Brush Management Program shall be based on a standard Zone One of 35 feet in width and a Zone Two of 65 feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with SDMC section §142.0412. Zone One shall range from 45 feet to 47 feet in width with a corresponding Zone Two of 55 feet to 53 feet in width, exercising Zone Two reduction options under SDMC section §142.0412(f).

28. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

29. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

30. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

31. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

32. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

33. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

34. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Steep Hillsides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 5, 2026, and [Approved Resolution Number].

Site Development Permit No. PMT-3273423
Coastal Development Permit No. PMT-3235726
Date of Approval: August 5, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

WILL ROGERS
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Ahmad Ghamaty
Owner/Permittee

By _____
Ahmad Ghamaty
OWNER

Pari Ghamaty
Owner/Permittee

By _____
Pari Ghamaty
OWNER

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

ATTACHMENT 5

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

Office of Land Use and Climate Innovation
1400 Tenth Street, Room 121
Sacramento, CA 95814

From: City of San Diego
Development Services Department
7650 Mission Valley Road, MS DSD-1A
San Diego, CA 92108

Project Title / Number: 8303 Prestwick Drive / PRJ-1109965

State Clearinghouse No.: N/A

Project Location-Specific: 8303 Prestwick Dr, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Site Development Permit (SDP) and a Coastal Development Permit (CDP) to demolish an existing 2,503 square-foot (sf) one-story single dwelling unit to construct a 6,113 sf two-story residence with a 2,488 sf subterranean basement and garage and a 444 sf roof terrace at 8303 Prestwick Drive. The 0.55-acre site is located in the La Jolla Shores Planned District, LJSPD-SF Base Zone, Coastal (Non-appealable) Overlay Zone, Coastal Height Limit Overlay Zone (CHLOZ), Airport Influence Area (MCAS Miramar Review Area 2) and is designated Very Low Density Residential (0-5 du/ac) within the La Jolla Community Plan Area. LEGAL DESCRIPTION: Lot 38 of Prestwick Estates Unit No. 1 per Map No. 4392.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Spencer Miller, 7626 Herschel Ave, San Diego, CA 92037, (858) 459-9291

Exempt Status: (Check one)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Section 15302, Replacement or Reconstruction
- ☐ Statutory Exemptions:
- ☐ Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). This exemption applies to projects involving the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Since the project

proposes the replacement of an existing single-family residence and associated site improvements with a new single-family residence and associated site improvements, this use of this exemption was deemed appropriate.

The exceptions outlined in CEQA Guidelines section 15300.2 were reviewed and determined that none apply. The project is not located in an environmentally sensitive area as defined by CEQA section 15300.2(a). The project is expected to have no significant cumulative impact, as identified in CEQA Guidelines section 15300.2(b). No significant effect due to unusual circumstances would result from the project as identified in CEQA Guidelines section 15300.2(c). Considering the nature of the project and its location, no scenic highway impact would occur as identified in CEQA Guidelines section 15300.2(d). The site is not located on a list compiled pursuant to section 65962.5 of the Government Code as identified in CEQA Guidelines section 15300.2(e). No historic resources exist on the site, and the project would not cause a substantial adverse change in the significance of a historical resource as identified in CEQA Guidelines section 15300.2(f). Therefore, none of the exceptions apply. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

Analyst: Marlene Watanabe / (619) 446-5129

Filed by:

Will Rogers / (619) 446-5283
Name/Phone Number

Signature

Development Project Manager
Title

7/28/26
Date

Check One:

☒ Signed by Lead Agency
☐ Signed by Applicant

Date Received for Filing with County Clerk or LCI:

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form

Project Name: 8303 Prestwick Dr	Project Number: 1109965
Community: La Jolla	

For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.

Select "Search for Project Status" and input the Project Number to access project information.

- ● Vote to Approve
- ❒ Vote to Approve with Conditions Listed Below
- ❒ Vote to Approve with Non-Binding Recommendations Listed Below
- ❒ Vote to Deny

Date of Vote: April 02, 2026

# of Members Yes	# of Members No	# of Members Abstain
11	0	1

Conditions or Recommendations:

❒ No Action
(Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)

NAME: ADRIAN FERAL

TITLE: SECRETARY

DATE: April 26, 2026

LA JOLLA SHORES PERMIT REVIEW COMMITTEE AGENDA
LA JOLLA COMMUNITY PLANNING ASSOCIATION

Thursday, January 15th, 2026

VIA Zoom

1. Call to Order: Andy Fotsch, Chair (andy@willandfotsch.com). Committee members in attendance: Dan Courtney, Larry Davidson, Janie Emerson, Andy Fotsch, John Pierce, Angie Preisendorfer, John Shannon

2. Motion made to Adopt the Agenda by John Pierce, 2nd Angie Preisendorfer. VOTE 5-0-0

3. *Motion made to* Approve *November Meeting* Minutes Andy Fotsch, 2nd Angie Preisendorfer. VOTE 5-0-1

4. Non-Agenda Public Comment: NONE

5. Non-Agenda Committee Member Comments:

6. Angie Preisendorfer concerned about a notice posted 12/30/2025, on project PRJ-1147194 , 8424 Avenida de las Ondas. For a Substantial Conformance review for 8,072 sq foot building with a 792 sq foot attached garage without public comment or LJSPRC notice. LJSPRC approved on 11/2022, a 5178 sq. foot project. LJSPRC should Notify the PRC and CD-1

Janie Emerson also stated concern about the City of San Diego offering ‘Surplus Land” one parcel is in the La Jolla Shores area. It is

misrepresented and misleading, that the lot is accessible from Torrey Pines road. It is not accessible. Only accessible from Boundary. Should have been brought to the LJSPRC

Notify PRC, CPA and copy CD-1 Misleading description and unsafe accessibly.

Come to our attention that public surplus land in our LJ Shores communities being offered. There is no access from Torrey Pines Road. Boundary and Torrey Pines Rd does not exist. If cut though, the lot would not be buildable

a. Project Name: 8303 Prestwick Drive

Project Number: PRJ-1109965
Type of Structure: Single Family Residence Address: 8303 Prestwick Drive, La Jolla, Ca 92037 Applicants Rep: Spencer Miller

Project Description: Site Development Permit for two-story addition of 3,644 square feet to an existing one-story single dwelling unit consisting of 2,578 square feet of a new second floor, 765 square feet of new third floor, 45 square feet addition on first floor, 382 square feet to extend the two-car garage and 2,232 square feet remodel of the existing single dwelling unit located at 8303 Prestwick

Drive. The 1.04-acre site is in the LJSPD-SF Base Zone, Coastal (Non-appealable) Overlay Zone within the La Jolla Community Plan Area. Council District 1.

Applicant's Rep Roger Samons stated changes made to the north facing wall of the primary bathroom windows for privacy for the property to the north.

Setbacks north side from the street second floor 33’6” to north setbacks changed to 6’9” and 6’10”

Public Comment:

George Keane north neighbor 8317 Preswick Dr, stated he erected story poles on his property to show neighbors what the new structure would look like. A letter to be attached. Also 17 home owners representing 11 properties signed a petition against this project, as massive and out of scale with the neighborhood

Jan Keane 8317 Preswick Dr. Thanked the architect for changes to the bathroom windows on the second floor. But the the project sits too close to the street. Protruding ahead of the existing homes in the neighborhood. Not happy with the 20’ front setback and against the project for bulk and scale.

John Eton also a neighbor concerned about the fire zone and the large soils north facing wall. With the new zero zone fire requirements means no landscaping to camouflage the large wall.

Neighbor Racheal Martin, 8156 Prestwick Dr state the house is to massive and should be pushed back to 30’. Requests to sit down with the owners to discuss.

Applicants Rep stated the existing set back foot print is 15’ to the house, 20’ to the garage.

Committee Comments:

Janie Emerson; Stated that feedback on projects encourage neighbors work things out together for the best interest of the community.

Made a motion to allow time. Dan Courtney 2nd

Committee Discussion:

Larry Davidson agreed with Janie Emerson, also had questions regarding adding 3' if fill dirt?

Rep stated it was for the back yard not the structure.

John Pierce agreed with Janie Emerson

Dan Courtney asked about the petition and how many home owners? Stated he had issues with the concerns of the neighbors.

17 signatures representing 11 homes.

Courtney also asked about the rear, east facing retaining wall.

Rep stated it faced Torrey Pines Road far above the road.

John Shannon stated it was imperative there be communication on what's best for the community.

Angie Preisnedorfer concerned about the bulk and scale of the project.

Motion made that findings can not be made for Project Number: PRJ-1109965, due to concern of the neighbors and second story set backs.

VOTE 6-0-1

Strongly encouraged to come back after working with the neighbors

SD	**City of San Diego** **Development Services** 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	**Ownership Disclosure Statement**	**FORM** **DS-318** **October 2017**

Approval Type: *Check appropriate box for type of approval(s) requested:* ☐ Neighborhood Use Permit ☑ Coastal Development Permit ☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ **Other** _____

Project Title: NARLA RESIDENCE **Project No. *For City Use Only*:** _____

Project Address: 8303 PRESTWICK DRIVE
LA JOLLA

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☑ Limited Liability -or- ☐ General – What State? WY. Corporate Identification No. 013804

☑ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: ANNA HOLDINGS LLC C/O VINOD NARLA ☑ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1429 CAMINITO HALAGO

City: LA JOLLA State: CA Zip: 92037

Phone No.: 248 515 7005 Fax No.: _____ Email: vinod.narla@gmail.com

Signature: _____ Date: 12.15.23

Additional pages Attached: ☑ Yes ☐ No

Applicant

Name of Individual: LARRY PAPPAS, ARCHITECT ☐ Owner ☐ Tenant/Lessee ☑ Successor Agency

Street Address: 304 KALMIA ST

City: SAN DIEGO State: CA Zip: 92101

Phone No.: 619 524 1562 Fax No.: _____ Email: lpappasarch@gmail.com

Signature: _____ Date: 12.15.23

Additional pages Attached: ☐ Yes ☑ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

ATTACHMENT 9

NARLA RESIDENCE

CDP/SDP SET

PROJECT OVERVIEW

1. SITE ADDRESS
   8303 PRESTWICK DR, LA JOLLA, CA 92037
2. ZONE
   LJSPD-SF
3. PARKING REQUIREMENTS
   2
4. SETBACKS
   SEE CHART BELOW
5. GROSS SITE AREA
   23,776 SQ. FT.

A.P.N
346-212-03-00

LEGAL DESCRIPTION
MAP 4392, LOT 38, PRESTWICK ESTS, UNIT #1

YEAR BUILT
N/A

BUILDING HEIGHT
29'-6"

NUMBER OF STORIES
2 STORIES + BASEMENT

PROJECT ANALYSIS

1. STREET ADDRESS
   8303 PRESTWICK DR, LA JOLLA, CA 92037
   (Check one) [ ] N [ ] S [ ] E [ ] W
   Between ______ and ______

2. ZONING ANALYSIS
   2.1. OCCUPANCY CLASSIFICATION
   EXISTING: R-3
   PROPOSED: R-3
   2.2. TYPE OF CONSTRUCTION
   EXISTING - TYPE V-B
   PROPOSED - TYPE V-B
   2.3. USE & DENSITY
   USE (EXISTING): SINGLE DWELLING UNIT
   USE (PROPOSED): SINGLE DWELLING UNIT

   DENSITY
   Maximum no. dwelling units allowed per zone: 1 DWELLING UNIT
   Number of existing units to remain on site: 0 UNITS TO REMAIN
   Number of proposed dwelling units on site: 1 NEW DWELLING UNIT PROPOSED
   Total number of units provided on the site: 1 DWELLING UNIT ON SITE
   2.4. ZONING DESIGNATIONS
   Planned District (if Applicable): LJSPD-SF

   Overlays (check all that apply):
   [X] Airport Influence Area (AIA) - MCAS MIRAMAR - Review Area 2
   [X] Coastal Overlay Zone (COZ) - N-APP-2
   [X] Coastal Height Limit Overlay Zone (CHLOZ)

   Environmentally Sensitive Lands: Does the project site contain or is it adjacent to any site that contains any of the following Environmentally Sensitive Lands as identified in Municipal Code Section 113.0103?
   [X] Yes [ ] No Sensitive Biologic Resources
   [ ] Yes [X] No Steep Hillsides - POTENTIAL
   [ ] Yes [X] No Coastal Beaches
   [ ] Yes [X] No Sensitive Coastal Bluffs
   [ ] Yes [X] No 100-Year Floodplain

   Historic District: [ ] Yes [X] No (If Yes) Name: ______
   Designated Historic [ ] Yes [X] No

   Historic and Cultural Resources:
   [X] Paleontological Sensitivity Area (High)

   Geologic Hazard Categories: 26 Earthquake Fault Buffer? [ ] Yes [X] No

   Airports:
   FAA Part 77 Notification Area [ ] Yes [X] No (If Yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)

3. PARKING REQUIREMENTS
   Parking Criteria: (Check one)
   [X] Residential
   [ ] Commercial
   [ ] Industrial
   [ ] Mixed Use
   [ ] Other ______
   Total number of spaces required by zone 2
   Total number of spaces provided on-site 3 spaces

4. SETBACK CALCULATIONS
   Street Yard: Proposed 20 Ft.
   Interior Yard(s): Proposed 8 Ft.
   RearYard: Proposed 100 Ft.
   City Approved Setback from Coastal Sea Cliff/ Bluff Face
   Setback from MAIN HOUSE Required ______ Ft. Proposed ______ Ft.

5. SITE AREA
   Total Site Area (gross): 0.55 Ac. 23,776 SQ. FT. Sq. Ft.
   Net Site Area ______ Ac. ______ Sq. Ft.
   (Net site area includes required streets and public dedications)
   5.1. COVERAGE DATA
   Total Building Area (ground floor): ______ Ac. 3,564 SQ. FT.
   Total Landscape/Open Space Area: ______ Ac. 15,619 SQ. FT.
   Total Hardscape/Paved Area: ______ Ac. 4,569 SQ. FT.
   5.2. STORM WATER TABULATIONS
   DISTURBANCE AREA
   TOTAL DISTURBANCE AREA: 6,432 SQFT
   EXISTING AMOUNT OF IMPERVIOUS AREA: 7,042 SQFT
   PROPOSED AMOUNT OF IMPERVIOUS AREA: 6,432 SQFT

   EARTHWORK QUANTITIES
   Cut Quantities: 860 & 190 CYD
   Fill Quanitites: 800 & 710 CYD
   Import/ Export: 520/60 CYD
   Max Cut Depth: 7 & 6.5 FT
   Max Fill Depth: 11.5 FT

SCOPE OF WORK

NEW CONSTRUCTION OF A NEW 6,188 SF (GFA) SINGLE FAMILY RESIDENCE ON VACANT LOT CONSISTING OF:

1. PREVIOUSLY PARTIAL DEMOED EXISTING RESIDENCE.
2. DEMO OF EXISITING REMAINING RESIDENCE AND POOL UNDER SEPARATE PERMIT.
3. BURRIED GARAGE AND SUBTERRANEAN BASEMENT LEVEL.
4. TWO LEVEL WITH ROOFTOP ACCESS AREA.
5. RAISED BACKYARD WITH FILL OVER 5'-0" UP WITHIN MANUFACTURED SLOPE EXTENT PER SOILS REPORT.
6. REDEISGNED BUILDING AND LANDSCAPING FROM INITIAL SITE DEVELOPMENT SUBMITTAL.
7. COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT.

PROJECT TEAM

OWNER
ANNA LLC
8303 PRESTWICK DRIVE
LA JOLLA, CA 92037
PH. (000) 000-0000
EMAIL: VINOD.NARLA@GMAIL.COM
FINANCIALLY RESPONSIBLE PARTY

CIVIL ENGINEER
PLSA
1911 SAN DEIGO AVE. SUITE 100
SAN DIEGO, CA 92110
PH. (858) 259-8212
CONTACT: BRYAN KNAPP

ARCHITECTS
TONY CRISAFI, LISA KRIEDMAN
ISLAND ARCHITECTS
7626 HERSCHEL AVENUE
LA JOLLA, CALIFORNIA 92037
PH. (858) 459-9291
FAX (858) 456-0351
PROJECT MANAGER:

ENVIRONMENTAL (BIOLOGY)
MERKEL & ASSOCIATES, INC.
5435 RUFFIN RD
SAN DIEGO, CA 92123
PH. (858) 560-5465
CONTACT: KYLE INCE

SOILS ENGINEER
CHRISTIAN WHEELER ENGINEERING
3980 HOME AVE
SAN DIEGO, CA 92105
PH. (619) 550-1700
CONTACT: CHRISTIAN WHEELER

LANDSCAPE DESIGNER
MATTIS DESIGN STUDIO
SAN DIEGO, CA 92107
PH. (619) 985-0132
CONTACT: KATERINA MATTIS

SURVEYOR
CIREMELE SURVEYING
164 S ECONDIDO BLVD
ESCONDIDO, CA 92025
PH. (760) 489-2200

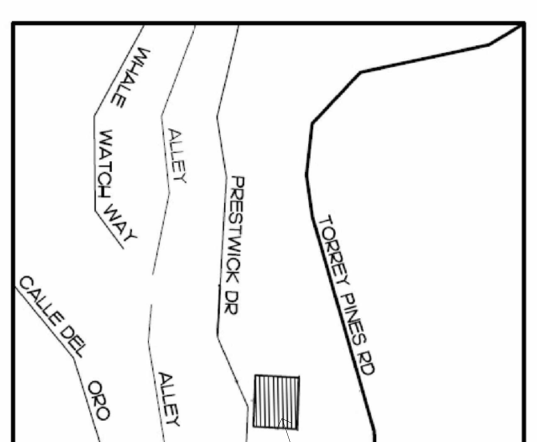
LANDSCAPE ARCHITECT
STAN SMITH ASSOCIATES
23011 MOULTON PARKWAY, SUITE H-2
LAGUNA HILLS, CA 92653
PH. (949) 855-6413
CONTACT: STAN SMITH

DRAWING INDEX

02 COASTAL DEVELOPMENT PERMIT SHEET LIST

DWG#	DRAWING TITLE
TITLE SHEETS	
T1 CDP	TITLE SHEET
CIVIL	
C1	PRELIMINARY GRADING PLAN
C2	PRELIMINARY SECTIONS
SURVY	
SVRY 1	TOPOGRAPHIC SURVEY
LANDSCAPE	
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
L-3	HYDROZONE PLAN
L-4	DETAILS
L-5	DETAILS
L-6	BRUSH MANAGEMENT PLAN
L-7	PHOTO REFERENCE PLAN
ARCHITECTURAL	
A1.1	SITE PLAN
A1.1a	SITE SECTIONS
A1.3	AREA CALCULATIONS
A1.4	HEIGHT LIMIT DIAGRAMS
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A4.3	EXTERIOR ELEVATION MATERIAL PALETTE
A5.1	BUILDING SECTIONS
A5.2	BUILDING SECTIONS

VICINITY MAP



APPLICABLE CODE

APPLICABLE CODES

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA FIRE CODE

THIS PROJECT SHALL COMPLY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24), WHICH ADOPTS THE 2021IBC, 2021 IRC, 2021 UPC, 2021 UMC, 2020 NEC, 2021 IFC AND IEBC

THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE (ORD. 11333 NS)

ALL REQ. PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPIED.

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO

N

DEFERRED SUBMITTALS

1. DEFERRED SUBMITTAL ITEMS: SOLAR

2. PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL REVIEW. ALL COMMENTS RELATED TO THE DEFFERED SUBMITTAL ITEMS MUST BE ADDRESSED TO THE SATISFACTION OF THE BUILDING OFFICIAL PRIOR TO APPROVAL OF THE ITEMS. INSPECTIONS OF DEFERRED SUBMITTAL ITEMS WILL NOT BE PERFORMED UNTIL APPROVED.

ADDITIONAL NOTES

1. PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.04104, 43.010, 129.0104(a)(4), AND 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES BUT IS NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.

APPROVALS

1. LJSAB APPROVAL-0-0-0
2. PRC ADVISORY BOARD APPROVAL- 4-1-1
3. JLCPA APPROVAL- TBD

FLOOR AREA SUMMARY & F.A.R CALCULATION

FAR CALCULATIONS		
ALLOWABLE FAR	10,699 SF	.45
PROPOSED FAR	6,188 SF	.26

GROSS FLOOR AREA CALCULATIONS

BASEMENT LEVEL	SQUARE FOOTAGE	INCLUDED TO GFA	EXCLUDED TO GFA
HABITABLE	707 SF	N/A	707 SF
NON-HABITABLE (GARAGE)	1,662 SF	N/A	1,662 SF
NON-HABITABLE (MECH/STRG)	118 SF	N/A	118 SF
TOTAL	2,488 SF	N/A	2,488 SF
MAIN LEVEL			
HABITABLE	3,153 SF	3,153 SF	N/A
NON-HABITABLE (TERRACE)	821 SF	N/A	821 SF
TOTAL	3,974 SF	3,153 SF	821 SF
UPPER LEVEL			
HABITABLE	2,960 SF	2,960 SF	N/A
NON-HABITABLE (STORAGE)	75 SF	75 SF	N/A
NON-HABITABLE (TERRACE)	356 SF	N/A	356 SF
TOTAL	3,391 SF	3,035 SF	356 SF
ROOF TERRACE			
NON-HABITABLE (TERRACE)	444 SF	N/A	444 SF
TOTAL	444 SF	N/A	444 SF
OVERALL TOTAL	10,297 SF	6,188 SF	4,109 SF

PROPOSED DEVELOPMENT RATIOS

BUILDING FOOTPRINT	3,535 SF	15%
LANDSCAPE RATIO	15,619 SF	66%
HARDSCAPE RATIO	4,584 SF	19%
LOT TOTAL:	23,776 SF	100%

LOW INCOME HOUSING

NUMBER OF LOW INCOME HOUSING UNITS ON SITE IN THE PREVIOUS 5 YEARS = 0

DWELLING UNITS SUMMARY

ADDRESS	BONUS	EXTREMELY LOW	VERY LOW	LOW	MODERATE	ABOVE MODERATE	TOTAL DU'S
8303 PRESTWICK DR. LA JOLLA, CA 92037	0	0	0	0	0	1	1

ABBREVIATIONS

℄ CENTERLINE
∅ DIAMETER OR ROUND
(E) EXISTING
EXIST'G EXISTING
ABV. ABOVE
ACOUS. ACOUSTICAL
A.D. AREA DRAIN
ADJ. ADJUSTABLE
A.F.F. ABOVE FINISH FLOOR
A.F.G. ADJACENT FINISH GRADE
AGGR. AGGREGATE
AL. ALUMINUM
ALUM. ALUMINUM
APPROX. APPROXIMATE
ARCH. ARCHITECT
BD. BOARD
B.I. BUILT - IN
BLDG. BUILDING
BLK. BLOCK
BLKG. BLOCKING
BLT. BOLT
BM. BEAM
BOT. BOTTOM
C. CONDUIT
CAB. CABINET
CEM. CEMENT
CER. CERAMIC
CLG. CEILING
CLO. CLOSET
CLR CLEAR
C.M.U. CONCRETE MASONRY UNIT
CNTR. COUNTER
COL. COLUMN
CONC. CONCRETE
CONN. CONNECTION
CONSTR. CONSTRUCTION
CONT. CONTINUOUS
CSMT. CASEMENT WINDOW
CTR. CENTER
CTSK. COUNTERSUNK
D DRYER
DBL. DOUBLE
DEPT. DEPARTMENT
DET. DETAIL
DIA. DIAMETER
DIM. DIMENSION
DN. DOWN
D.O. DOOR OPENING
DR. DOOR
DS. DOWNSPOUT
DW DISH WASHER
DWG'S DRAWINGS
DWR. DRAWER
E. EAST
EA. EACH
E.J. EXPANSION JOINT
EL. ELEVATION
ELEC. ELECTRICAL
ENCL. ENCLOSED
EQ. EQUAL
EQUIP. EQUIPMENT
EXIST. EXISTING
EXP. EXPANSION
EXPO. EXPOSED
EXT. EXTERIOR
FAU FORCED AIR UNIT
F.D. FLOOR DRAIN
FDN. FOUNDATION
F.F. FINISH FLOOR
F.G. FINISH GRADE
F.H. FIRE HYDRANT
FIN. FINISH
FIXED FIXED WINDOW
FL. FLOOR
FLASH. FLASHING
F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH
F.O.M. FACE OF MULLION
F.O.S. FACE OF STUD
F.P. FIREPLACE
FPRF. FIREPROOF
FRAM'G FRAMING
FT. FOOT OR FEET
FTG. FOOTING
FURR. FURRING
FUT. FUTURE
G. GAS
GA. GAUGE
GALV. GALVANIZED
G.B. GRAB BAR
G.D. GARBAGE DISPOSAL
GFCI GROUND FAULT CURRENT INTERUPTER
GL. GLASS
GND. GROUND
GR. GRADE
GYP. GYPSUM
GYP. BD. GYPSUM BOARD
H.B. HOSE BIB
HDR HEADER
HDWD. HARDWOOD
HDWE. HARDWARE
H.M. HOLLOW METAL
HORIZ. HORIZONTAL
HR. HOUR
HT. HEIGHT
H.V.A.C HEATING VENTILATING AIR CONDITIONING
HORZ HORIZONTAL
INSUL. INSULATION
INT. INTERIOR
LIN. LINEN
LAM. LAMINATE
LAV. LAVATORY
LT. LIGHT
L.V. LOW VOLTAGE
MAX. MAXIMUM
M.C. MEDICINE CABINET
MECH. MECHANICAL
MEMB. MEMBRANE
MFG MANUFACTURING
MFR. MANUFACTURER
MH. MANHOLE
MIN. MINIMUM
MIR. MIRROR
MISC. MISCELLANEOUS
MTL. METAL
MUL. MULLION
N. NORTH
N.I.C. NOT IN CONTRACT
NO. OR # NUMBER
NOM. NOMINAL
N.T.P. NOTICE TO PROCEED
N.T.S. NOT TO SCALE
O/ OVER
O.A. OVERALL
OBS. OBSCURE
O.C. ON CENTER
O.D. OUTSIDE DIAMETER
O.D. OVERFLOW DRAIN
OFF. OFFICE
O.H. OVERHEAD
O.H.C. OVERHEAD CABINET
OPNG. OPENING
OPP. OPPOSITE
PL. PROPERTY LINE OR PLATE
PL/SH POLE AND SHELF
PL. LAM. PLASTIC LAMINATE
PLSTR. PLASTER
PLEX. PLEXIGLASS
PLNTR. PLANTER
PLUMB. PLUMBING
PLYWD. PLYWOOD
PNL. PANEL
PNTRY. PANTRY
P.P. PLANTING POCKET
PR. PAIR
PRCST. PRECAST
PREFAB. PREFABRICATED
PT. POINT
PTN. PARTITION
PTD. PAINTED
R. RISER
RAD. RADIUS
R RADIUS
R.D. ROOF DRAIN
REF. REFERENCE
REFR. REFRIGERATOR
REV REVERSE
REINF REINFORCE, REINFORCED
RGTR. REGISTER
REQ. REQUIRED
RES. RESISTANT
RESIL. RESILIENT
RM. ROOM
R.O. ROUGH OPENING
R.V. ROOF VENT
S. SOUTH
S.C. SOLID CORE
SCHED. SCHEDULE
S.D. STORM DRAIN
SECT. SECTION
S.F. SQUARE FEET
SH. SHELF
SHR. SHOWER
SHT. SHEET
SIM. SIMILAR
SKYLT. SKYLIGHT
SL. SLOPE/SLIDER (WINDOW)
SL.DR. SLIDING GLASS DOOR
SPEC. SPECIFICATIONS
SQ. SQUARE
S.S. STAINLESS STEEL
S.ST. STAINLESS STEEL
ST. STONE
STD. STANDARD
STL. STEEL
STOR. STORAGE
STRUCT'L STRUCTURAL
STRUCT STRUCTURE
SUSP. SUSPENDED
SYM. SYMMETRICAL
T. TREAD
T.B. TOWEL BAR
T.C. TRASH COMPACTOR
TEL. TELEPHONE
TEMP. TEMPERED GLASS
T.& G. TONGUE AND GROOVE
THK. THICK
THR. THRESHOLD
T.O.C. TOP OF CURB
T.P.D. TOILET PAPER DISPENSER
T.V. TELEVISION
T.W. TOP OF WALL
TYP. TYPICAL
UNF. UNFINISHED
U/G UNDERGROUND
U.N.O. UNLESS NOTED OTHER
VERT VERTICAL
V.P. VAPOR PROOF
W WASHER OR WEST
W/ WITH
W.C. WATER CLOSET
WD. WOOD
W.H. WATER HEATER
W/O WITHOUT
W.P. WATERPROOF
WT. WEIGHT
WTR. WATER

SYMBOLS AND LEGEND

ELEVATION MARKER
1 Ref / A101 — DIRECTION OF VIEW; DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING; SHEET THAT ELEVATION APPEARS ON

DETAIL MARKER
SIM 1 / A101 — DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING; SHEET THAT DETAIL APPEARS ON

SECTION MARKER
SIM 1 / A101 — DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING; DIRECTION OF CUT; SHEET THAT SECTION APPEARS ON

EXTENT OF CUT

WINDOW TYPE INDICATOR
1i — WINDOW TYPE NUMBER

DOOR TYPE INDICATOR
101 — DOOR TYPE NUMBER

MATCH LINE/DATUM POINT
DATUM POINT

OTHER
GLASS
PLYWOOD
CONT. WOOD BLKG., BLKG. BETWEEN MEMBERS
GRAVEL OR AGGREGATE BASE COURSE (ABC)
INSULATION (BATT OR BLANKET)
INSULATION (RIGID)
METAL
PLASTER OR GYPBOARD (AS NOTED)
SOIL
TILE (GLAZED,UNGLAZED OR PAVER)

WALLS
EXISTING WALL TO REMAIN
2 X 6 STUD WALL U.N.O.
CONCRETE
STEEL STUD WALLS

REVISION INDICATOR
REVISION NUMBER
REVISION

CITY STANDARD TITLE BLOCK

Prepared By:
Name: Island Architects
Contact: Spencer Miller
7626 Herschel Avenue
La Jolla, CA 92037
Phone: (858) 459-9291
Street Address:
8303 Prestwick Dr, La Jolla, CA 92037
Project Name:
NARLA RESIDENCE
Sheet Title:
TITLE SHEET

Revision 08: ______
Revision 07: ______
Revision 06: ______
Revision 05: ______
Revision 04: ______
Revision 03: ______
Revision 02: ______
Revision 01: ______
Original Date: ______
Sheet: 1 of 24
DEP#: ______

ISLAND ARCHITECTS
TONY CRISAFI, LISA KRIEDEMAN, R.A.
7626 HERSCHEL AVENUE LA JOLLA, CA 92037
TEL: 858-459-9291 FAX: 858-456-0351

LICENSED ARCHITECT LISA K. KR... NOT FOR CONSTRUCTION ...354 APR 30, 27 STATE OF CALIFORNIA

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JOB #: 2506
DRAWN BY: SM
PROJ. MGR.: NW
DATE: ISSUE:

REVISIONS

#	DESCRIPTION	DATE

NARLA RESIDENCE
8303 Prestwick Dr, La Jolla, CA 92037

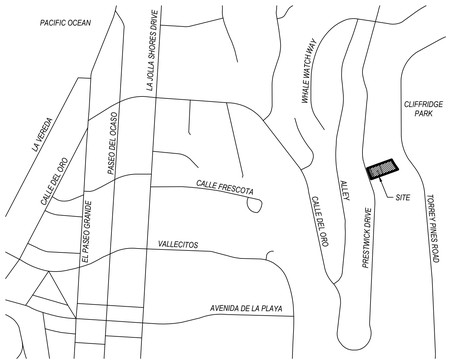
T1 CDP
TITLE SHEET
04/01/2026

PLOT DATE AND TIME 4/2/2026 1:05:25 PM C:\Users\smiller\Documents\Narla-CENTRAL_smillerSRB6B.rvt

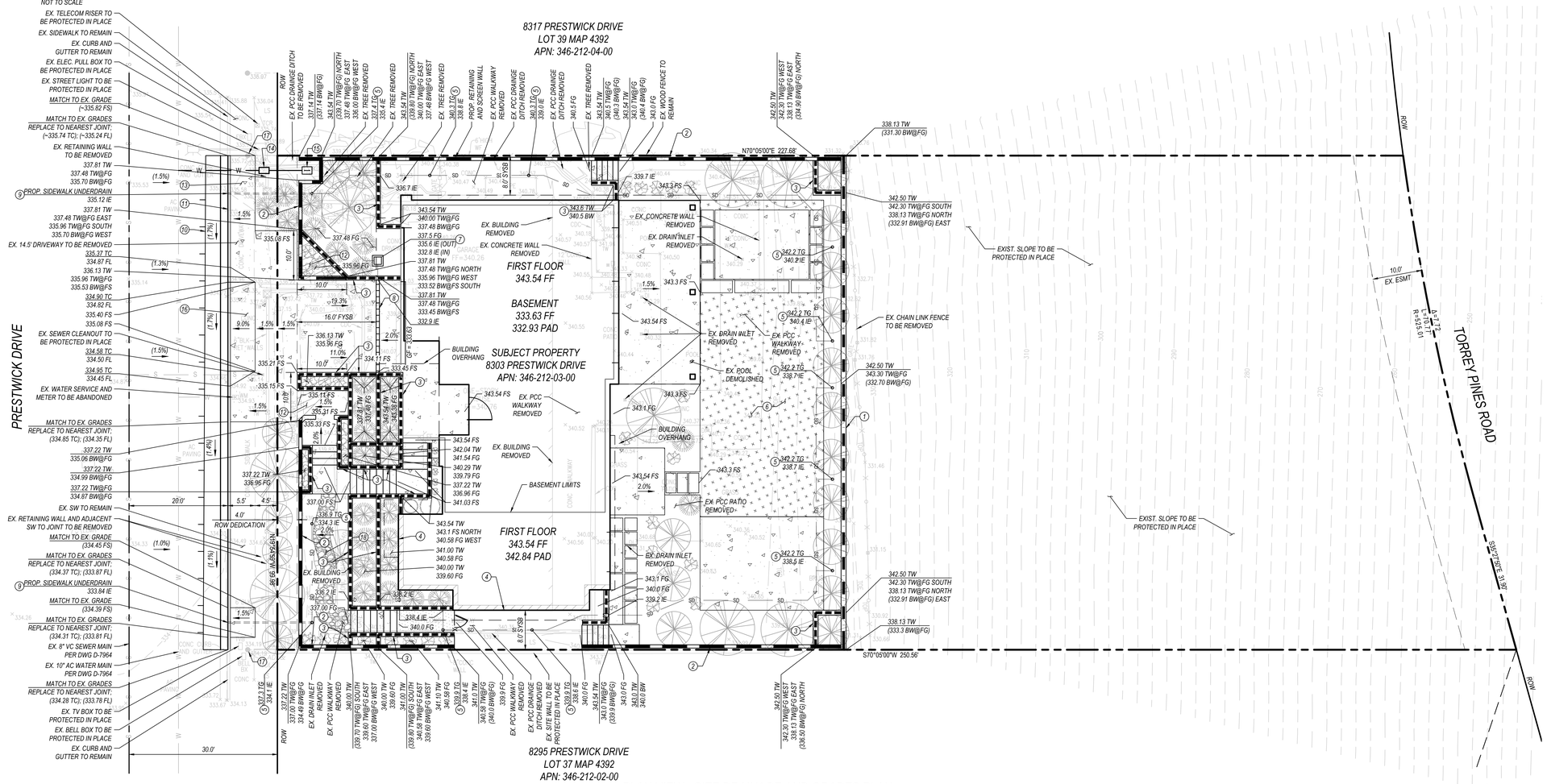
PRELIMINARY GRADING PLAN

8303 PRESTWICK DRIVE

PMT-3273423



VICINITY MAP
NOT TO SCALE



PLAN VIEW - SITE DRAINAGE AND GRADES PLAN
SCALE: 1" = 10'

GRAPHIC SCALE: 1" = 10'

LEGEND

- SUBJECT PROPERTY LINE
- ADJACENT LOT LINE
- EXISTING RIGHT-OF-WAY
- CENTERLINE OF ROAD
- EXISTING WATER MAIN (SIZE PER PLAN)
- EXISTING SEWER MAIN (SIZE PER PLAN)
- PROPOSED SAWCUT OF EXISTING AC PAVEMENT
- PROPOSED CURB & GUTTER PER CITY OF SD SDG-151
- PROPOSED DRIVEWAY APRON PER CITY OF SD SDG-155 (SIZE PER PLAN)
- PROPOSED GEOGRID RETAINING WALL
- PROPOSED SPECIAL CASE TIERED PLANTER RETAINING WALL
- PROPOSED MASONRY RETAINING WALL
- PROPOSED TURF AREA;SEE SEPARATE LANDSCAPE PLANS FOR DETAILS
- PROPOSED PCC PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
- PROPOSED DECORATIVE WALKWAY; SEE SEPARATE LANDSCAPE PLANS FOR DETAILS
- PROPOSED 4" PVC STORM DRAIN
- PROPOSED 3" SIDEWALK UNDERDRAIN PER SDRSD D-27
- PROPOSED 6" AREA DRAIN
- PROPOSED SUMP PUMP
- PROPOSED FINISHED GRADE
- EXISTING GRADE
- PROPOSED DEEPENED FOOTING; SEE SEPARATE ARCHITECTURAL PLANS FOR DETAILS

OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE PARCEL MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: _____
ANNA HOLDINGS, LLC

LEGAL DESCRIPTION

LOT 38 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 13, 1959.

COMMONLY KNOWN AS 8303 PRESTWICK DRIVE, LA JOLLA, CA 92037
ASSESSOR'S PARCEL NO. 346-212-03-00

ACCESS

PRESTWICK DRIVE, A PUBLIC ROAD

SITE ADDRESS

8303 PRESTWICK DR
LA JOLLA, CA 92037
APN: 346-212-03-00

TOPOGRAPHY

TOPOGRAPHY OBTAINED BY FIELD SURVEY ON MAY 13, 2025
PREPARED BY: CIREMELLE SURVEYING INC.

BENCHMARK

CITY OF SAN DIEGO BENCH MARK NO. 15931, BRASS PLUG LOCATED ON THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF PRESTWICK DR. AND INVERNESS DR.

ELEVATION: 347.411 FEET

SHEET INDEX

SHEET 1 PRELIMINARY GRADING PLAN
SHEET 2 PRELIMINARY SECTIONS

ENGINEER OF WORK

BRYAN A. KNAPP, RCE 86542 DATE

REGISTERED PROFESSIONAL ENGINEER
BRYAN ANDREW KNAPP
No. 86542
Exp. 03/31/27
CIVIL
STATE OF CALIFORNIA

SCOPE OF WORK/PROJECT DESCRIPTION

THE PROJECT SCOPE WILL INCLUDE THE DEMOLITION OF THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED IMPROVEMENTS CURRENTLY LOCATED ONSITE.

THE PROJECT SEEKS APPROVAL TO CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ON A VACANT LOT, ALONG WITH MISCELLANEOUS SURFACE, GRADING, AND UTILITY IMPROVEMENTS.

IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREA (ONSITE):	7,042 SF
NEW PROPOSED REMOVED AND REPLACED IMPERVIOUS AREA:	6,432 SF
TOTAL PROPOSED IMPERVIOUS AREA (ONSITE):	6,432 SF
DECREASE IN IMPERVIOUS AREA (ONSITE):	610 SF

PROJECT PROPOSED TO DISTURB <1.0 ACRE OF LAND; A SWPPP AND MONITORING PROGRAM WILL NOT BE REQUIRED

AREA CALCULATIONS

GROSS PARCEL AREA:	23,776 SF / 0.55 AC
TOTAL AREA DISTURBED:	11,499 SF / 0.26 AC
BUILDING FOOTPRINT:	3,564 SF
LANDSCAPE:	15,619 SF
HARDSCPAE:	4,596 SF

SETBACKS

INCLUDED SETBACKS	REQUIRED	PROPOSED
FRONT (FYSB):	16'	16'
STREET SIDE (SYSB):	8'	8'
INTERIOR SIDE (SYSB):	8'	8'
REAR:	8'	160'

EARTHWORK / PROJECT GRADING

TOTAL:	EXCLUDING BUILDING / BASEMENT EXCAVATION:
CUT: 860 CY	CUT: 190 CY
FILL: 800 CY	FILL: 710 CY
EXPORT: 60 CY	IMPORT: 520 CY
MAX CUT HEIGHT: 7 FT	MAX CUT HEIGHT: 6.5 FT
MAX FILL HEIGHT: 11.5 FT	MAX FILL HEIGHT: 11.5 FT

*ESTIMATE DOES NOT INCLUDE STRIPPING OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS).

SITE NOTES

1. ALL EXISTING UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORD INFORMATION. EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES UNKNOWN. CONTRACTOR TO FIELD VERIFY LOCATION AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES BETWEEN ACTUAL LOCATION AND PLAN LOCATION OF UTILITIES UPON DISCOVERY OF DISCREPANCY.
2. ALL STREET SIGNS, LIGHTS, LAMPS, UTILITIES, ETC. LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED IN-PLACE DURING CONSTRUCTION OR REPLACED TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE PROJECT IS LOCATED IN THE ASBS WATERSHED. SINCE THE PROJECT IS LOCATED IN THE ASBS WATERSHED NO DRY WEATHER FLOWS IS ALLOWED INCLUDING OVER IRRIGATION.

CONSTRUCTION NOTES

1. PROPOSED RETAINING WALL (GEOGRID, MASONRY OR SIMILAR) WITH FENCE; SEE SEPARATE STRUCTURAL PLANS FOR DETAILS
2. PROPOSED MASONRY RETAINING WALL PER SDRSD C-03 WITH PRIVACY FENCE
3. PROPOSED SPECIAL CASE TIERED PLANTER RETAINING WALL; SEE SEPARATE STRUCTURAL PLANS FOR DETAILS
4. PROPOSED BUILDING DEEPENED FOOTING; SEE SEPARATE ARCHITECTURAL PLANS FOR DETAILS
5. INSTALL 6" AREA DRAIN BY NDS OR APPROVED EQUAL; SEE DETAIL CIVIL SHEET 2
6. PROPOSED TURF AREA; SEE SEPARATE LANDSCAPE PLANS FOR DETAILS
7. INSTALL 18"X18" BROOKS BOX WITH SUMP PUMP; INSTALL X160 SERIES EFFLUENT PUMP BY ZOELLER PUMP COMPANY W/ 100 GPM CAPACITY OR APPROVED EQUAL
8. INSTALL 8" WIDE TRENCH DRAIN BY NDS OR APPROVED EQUAL
9. PROPOSED 3" SIDEWALK UNDERDRAIN PER SDRSD D-27
10. PROPOSED SAWCUT OF EXISTING AC PAVEMENT; SEE DETAIL CIVIL SHEET 2
11. PROPOSED CURB & GUTTER PER CITY OF SD SDG-151
12. SIGHT VISIBILITY TRIANGLE. SEE NOTE THIS SHEET
13. PROPOSED PCC SIDEWALK PER CITY OF SD SDG-155
14. PROPOSED 1" WATER SERVICE AND 1" METER PER SDRSD WS-01, WS-03 AND CITY OF SD SDW-134, SDW-136
15. PROPOSED REDUCED PRESSURE PRINCIPAL BACKFLOW ASSEMBLY PER CITY OF SD SDW-155; INSTALL 1" 975XLZSE BY WILKINS OR APPROVED EQUAL; ENCASE SERVICE IN SCH 80 PVC SLEEVE ENCASED IN CONCRETE BETWEEN METER AND BACKFLOW.
16. PROPOSED 18' WIDE DRIVEWAY PER CITY OF SD SDG-159
17. EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE; MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
18. PROPOSED STONE WALKWAY; SEE SEPARATE LANDSCAPE PLANS FOR DETAILS

BMP NOTE:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTIACES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OF SPECIFICATIONS. (NEW ISSUE)

STORM WATER DISCHARGE NOTE:
AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATERS ARE TO BE INSTALLED TO REDUCE DISCHARGE TO NON-ERODIBLE VELOCITIES

SIGHT VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY TRIANGLE AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMC 113.0273

WPCP NOTE:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITIES STORM WATER STANDARDS.

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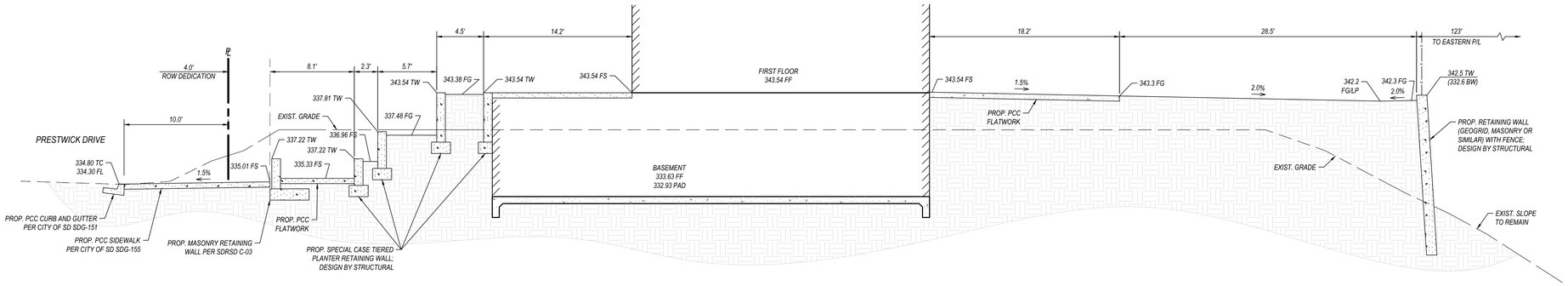

SECTION A-A

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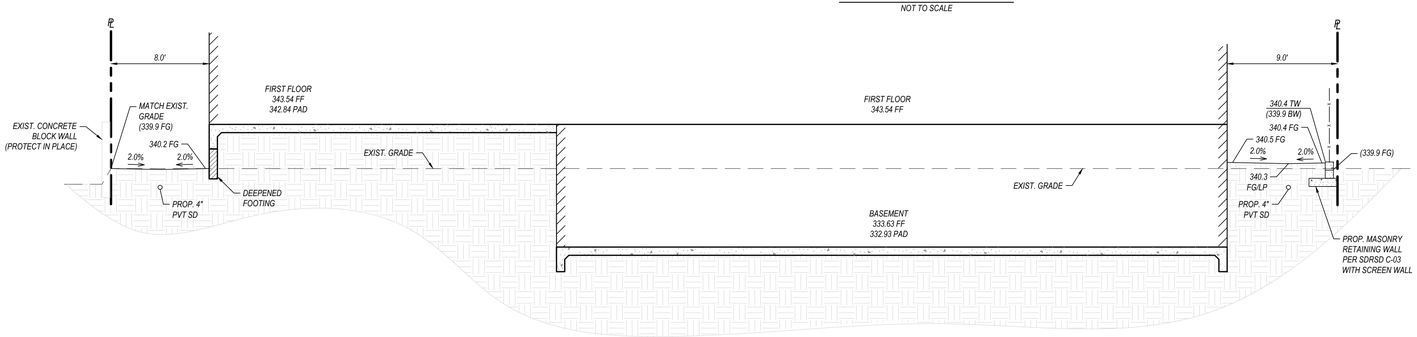

SECTION B-B

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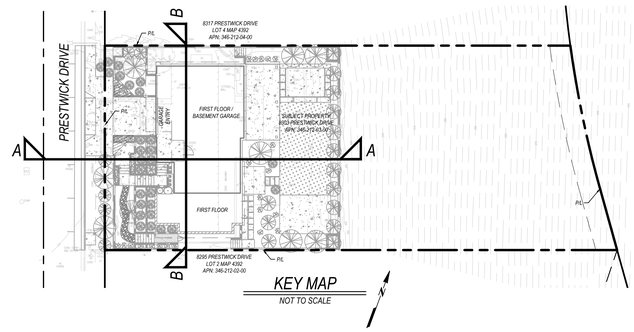
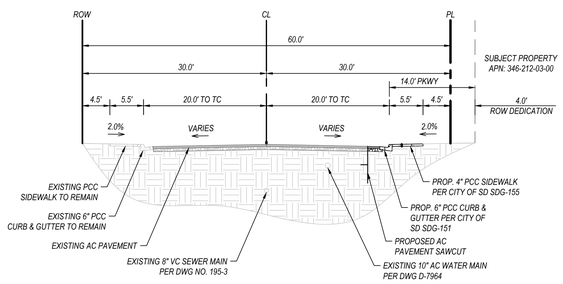


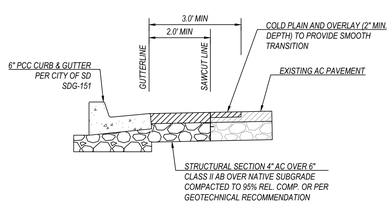
KEY MAP

NOT TO SCALE



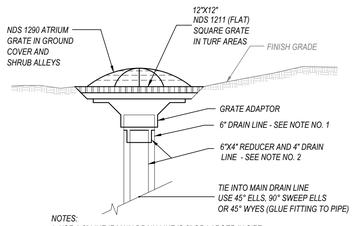
TYPICAL SECTION - PRESTWICK DRIVE

NOT TO SCALE



TYPICAL DETAIL - AC PAVEMENT SAWCUT

NOT TO SCALE



NOTES:
1. USE A 6" LINE IF MAIN DRAIN LINE IS 6" OR LARGER IN SIZE.
2. USE A REDUCER AND A 4" LINE IF MAIN DRAIN LINE IS 4" IN DIA.

DETAIL: ATRIUM DRAIN SET IN LANDSCAPE

NOT TO SCALE

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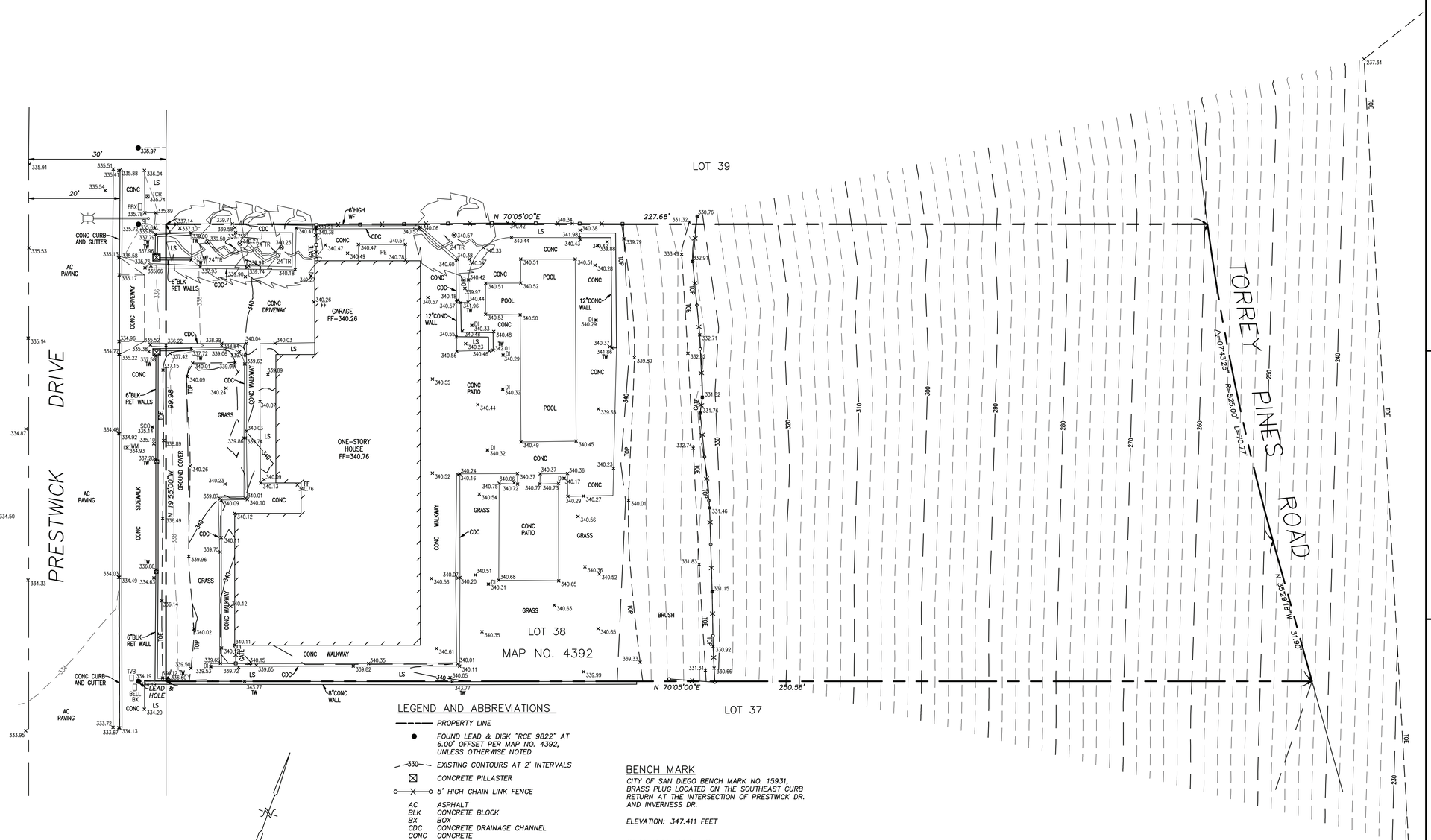
SAVE DATE: 2026-3-27 - PLOT DATE: 2026-3-27 3:41 PM - FILE NAME: J:\ACTIVE JOBS\4349 8303 PRESTWICK\CIVIL\DRAWING\DISCRETIONARY PLANS\4349-CV-CDP-03-SECT.dwg



LEGEND AND ABBREVIATIONS

- PROPERTY LINE
- ● FOUND LEAD & DISK "RCE 9822" AT 6.00' OFFSET PER MAP NO. 4392, UNLESS OTHERWISE NOTED
- 330 EXISTING CONTOURS AT 2' INTERVALS
- ⊠ CONCRETE PILLASTER
- 5' HIGH CHAIN LINK FENCE

AC	ASPHALT
BLK	CONCRETE BLOCK
BX	BOX
CDC	CONCRETE DRAINAGE CHANNEL
CONC	CONCRETE
DI	DRAIN INLET
EBX	ELECTRICAL BOX
ELMH	ELECTRICAL MANHOLE
EVLT	ELECTRICAL VAULT
FF	FINISH FLOOR
LS	LANDSCAPED AREA
PE	POOL EQUIPMENT
RET	RETAINING
SCO	SEWER CLEANOUT
SL	STREET LIGHT
TCR	TELECOM RISER
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TR	TREE
TVB	TELEVISION BOX
TW	TOP OF WALL
WF	WOOD FENCE
WM	WATER METER

0 5 10 20 30

1 INCH = 10 FEET

GRAPHIC SCALE

BENCH MARK

CITY OF SAN DIEGO BENCH MARK NO. 15931, BRASS PLUG LOCATED ON THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF PRESTWICK DR. AND INVERNESS DR.

ELEVATION: 347.411 FEET

GENERAL NOTES

1.) BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY AND RECORD DATA PER MAP NO. 4392.

2.) ASSESSOR'S PARCEL NUMBER: 346-212-03.

3.) LOT AREA = 23,776 SQUARE FEET / 0.55 ACRE.

LICENSED LAND SURVEYOR
CORIES D. CIREMELE
NO.5267
STATE OF CALIFORNIA

REVISIONS

NO.	DESCRIPTION	DATE	APP'D
1	REVISED SLOPE CONTOURS, LOCATED CHAIN LINK FENCE	5/13/25	CC

CIREMELE SURVEYING INC.
164 S. ESCONDIDO BLVD.
ESCONDIDO, CA. 92025
(760) 489-2200
CIRSURVEY@SBCGLOBAL.NET

J.N. 20-079

DATE: 5/13/25
SCALE: 1" = 10'
DRAWN: DRK
CHECKED: CC

SHEET TITLE: TOPOGRAPHIC SURVEY

PROJECT: 8303 PRESTWICK DRIVE
LA JOLLA, CA 92037

SHEET NO. 1 OF 1

PLANTING NOTES

CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.

PLANT MAINTENANCE WORK SHALL CONSIST OF APPLYING WATER, WEEDING, FERTILIZING PER SPECIFICATIONS.

THE ENTIRE PROJECT IS TO BE MAINTAINED FOR A PERIOD OF 60 CALENDAR DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DISEASE AND PEST CONTROL DURING THE MAINTENANCE PERIOD.

CONTRACTOR SHALL RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.

CONTRACTOR TO VERIFY WITH SOIL ANALYSIS, THE SOIL AMENDMENT AND CONTACT THE LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENITIES.

ALL SHRUBS AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REMOVE MAJOR SETTLING OF PLANT MATERIAL.

PLANTS CALLED OUT ON PLAN ARE CONSIDERED IN CLUSTERS EVEN IF NOT ATTACHED BY CONNECTING LINES. CALLOUTS WILL HAVE TOTAL COUNTS NEEDED.

ALL PLANTING BEDS TO RECEIVE LANDSCAPE FABRIC TOPPED WITH 2" DEPTH BARK MULCH - EASTMAN SOIL'S ⅜" OR EQUAL.

ALL TREES WITHIN FIVE FEET (5') OF HARDSCAPE OR WALLS TO BE INSTALLED WITH A ROOT BARRIER.

CONTRACTOR SHALL ENSURE THAT ALL TOP SOILS HAVE A MINIMUM OF 4" HORIZONTAL SEPARATION FROM BUILDING WEEP SCREED AND ALL SOIL SHALL SLOPE AWAY FROM THE BUILDING

PLANT LEGEND

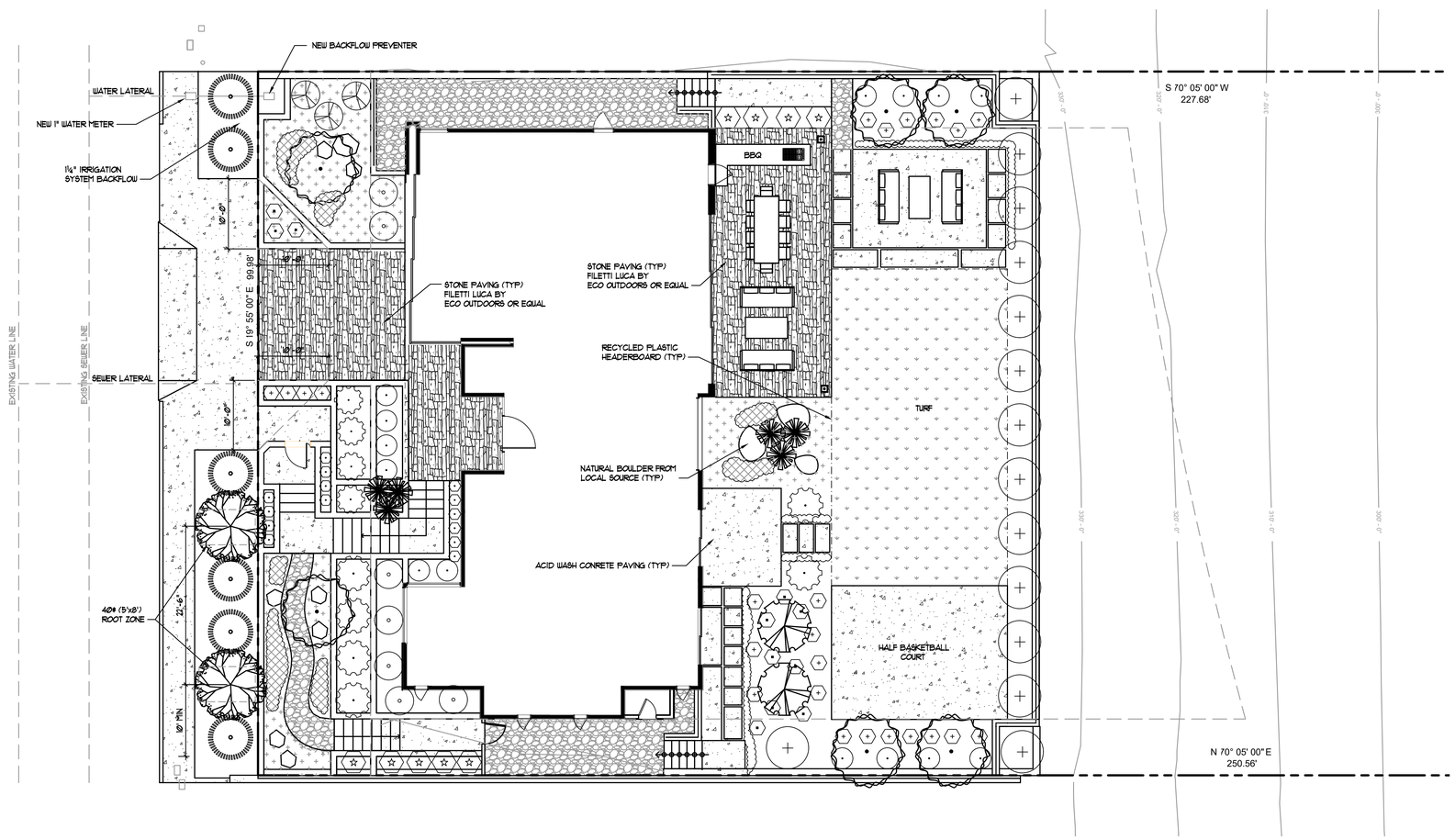
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS / QTY.
		TREES		
	24" BOX	ARBUTUS 'MARINA' STREET TREE	STRAWBERRY TREE	L / 2
	15 GAL	ARBUTUS 'MARINA'	STRAWBERRY TREE	L / 6
	15 GAL	CERCIS OCCDENTALIS	WESTERN REDBUD	L / 2
	SPECIMEN	YUCCA ALOIFOLIA	ALOE YUCCA	L / 2
		SHRUBS		
	15 GAL	ACACIA C. 'ACCOGOI'	COUSIN ITT RIVER WATTLE	L / 10
	5 GAL	ANIGOZANTHOS 'TENACITY'	TENACITY KANGAROO PAW	L / 14
	15 GAL	LEUCADENDRON 'GOLDEN TULIP'	GOLDEN TULIP CONEBUSH	L / 7
	15 GAL	LEUCADENDRON 'HAWAII MAGIC'	HAWAII MAGIC CONEBUSH	L / 14
	5 GAL	LEUCOSPERMUM 'SCARLET RIBBON'	SCARLET RIBBON PINCUSHION	L / 3
	5 GAL	LOMANDRA C. 'POM POM'	SHORTY MAT RUSH	L / 24
	5 GAL	LOMANDRA L. 'ROMA 13'	PLATINUM BEAUTY MAT RUSH	L / 9
	15 GAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	L / 14
	15 GAL	OLEA E. 'LITTLE OLLIE'	LITTLE OLLIE OLIVE	L / 6
		SUCCULENTS		
	15 GAL	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	L / 11
		GROUND COVERS		
	1 GAL	MIXED SUCCULENTS	TO BE SELECTED	L
	4" POTS	GROUND COVER	TO BE SELECTED	L
	SOD	MARATHON II	TURF	H
	3/4"	CRUSHED STONE	COLOR TBS BY OWNER	2" DEPTH
	1"-3"	CRUSHED STONE	COLOR TBS BY OWNER	2"-3" DEPTH

NOTE: CRUSHED STONE MULCH TO BE INSTALLED OVER WEED FILTER FABRIC

LOT COVERAGE

BUILDING COVERAGE	3564 SQ. FT. / 15%
HARDSCAPE	4596 SQ. FT. / 19%
LANDSCAPE	15,619 SQ. FT. / 66%
- IRRIGATED AREA	4232 SQ. FT. / 27%
- TURF AREA	1125 SQ. FT. / 7%

NOTE: STRUCTURES IN BRUSH MANAGEMENT ZONE 1 SHALL BE OF NONCOMBUSTIBLE, ONE-HOUR FIRE-RATED OR TYPE IV HEAVY TIMBER CONSTRUCTION



NORTH

REVISIONS	BY
10/27/25 - REV S/W PER ADA ACCESS	NS
11/3/25 - ADD REAR DOOR AT BDRM	NS
11/24/25 - REVISE PER ARCHITECT	NS
12/15/25 - UPDATE LOT COVERAGE	NS
3/26/26 - REV PER PLAN CHK-CITY	NS

LANDSCAPE ARCHITECTURE
23011 Moulton Parkway
Suite H-2 - Laguna Hills, CA 92653
(949) 855-6413
FAX 830-4465
PLANNING • RESEARCH
STAN SMITH ASSOCIATES

PLANTING PLAN

NARLA RESIDENCE
8303 PRESTWICK DRIVE
LA JOLLA, CA 92037

DRAWN	SSA
CHECKED	SS
DATE	9-15-25
SCALE	1/8" = 1'-0"
JOB NO.	
SHEET	L-1

OF SHEETS

ESTIMATED PRESSURE CALCULATION - VALVE 12

1" WATER METER AT 7.7 GPM	050 PSI
1¼" REDUCED PRESSURE BACKFLOW PREVENTER	10.00 PSI
169 FT. OF 1¼" PVC SCH. 40 MAINLINE	0.76 PSI
1" REMOTE CONTROL VALVE	3.80 PSI
LATERAL LINE FRICTION LOSS	5.00 PSI
FITTINGS (20% OF MAINLINE LOSS)	0.15 PSI
SPRINKLER HEAD OPERATING PRESSURE	30.00 PSI
ELEVATION (8')	3.46 PSI
MISCELLANEOUS LOSS	5.00 PSI
TOTAL PRESSURE REQUIRED FOR PROPER OPERATION	58.67 PSI

IRRIGATION LEGEND

	MFG.	MODEL NO.	DESCRIPTION	PSI	RAD	GPM	PATTERN
▼	RAINBIRD	3504-9-PC-SAM-15	POP-UP TURF ROTOR	35	23'	1.28	VAR. ARC
⊙	RAINBIRD	PC-10-1032	DRIP EMITTER ON FLEX RISER	30	N/A	1.0 GPH	DRIP
•	RAINBIRD	XB-10PC-1032	DRIP EMITTER ON FLEX RISER	30	N/A	1.0 GPH	DRIP
	RAINBIRD	XFS-06-12	SUBGRADE DRIPLINE	30	12"	0.6 GPH	DRIP
			SPACE AT 12" O.C. WITH STAPLE EVERY 4' AND (2) STAPLES AT EVERY TEE, ELBOW OR CROSS. USE (1) LINE FLUSHING VALVE FOR EVERY 15 GPM OF ZONE FLOW - POSITION NEAR HALFWAY POINT				
⊗	RAINBIRD	XCZLF-100-PRF	1" DRIP VALVE CONTROL KIT				
⊗	RAINBIRD	100-DVF	1" CONTROL VALVE				
⋈	FEBCO	622F	BRONZE BALL VALVE - LINE SIZE				
▭	FEBCO	825Y-A	1¼" REDUCED PRESSURE BACKFLOW PREVENTER				
△	RAINBIRD	TM2-12-120V	AUTOMATIC WALL MOUNT CONTROLLER				
	RAINBIRD	LNKWIFI	LNK WIFI MODULE				
	RAINBIRD	WR2	WIRELESS RAIN / FREEZE SENSOR				

— — — PRESSURE MAINLINE: ¾"-1½", USE PVC SCHEDULE 40
2" OR LARGER: USE PVC CLASS 315
SOLVENT WELD, BURY MIN. 18" BELOW GRADE.
SIZE NOTED ON PLAN

——— NON-PRESSURE LATERAL: PVC CLASS 200
SOLVENT WELD, BURY MIN. 12" BELOW GRADE
SIZE NOTED ON PLAN.

= = = = = SLEEVING: PVC SCHEDULE 40 (2x PIPE SIZE)
BURY MIN. 24" BELOW GRADE

—— - —— WIRE SLEEVING: PVC SCHEDULE 40
EXTEND MIN. 12" BEYOND EDGE OF PAVING
BURY MIN. 18" BELOW GRADE

GPM 4 — VALVE NUMBER
HYDROZONE 1" — VALVE SIZE

HYDROZONES:
HZ-1: LOW WATER USE
HZ-2: TURF

IRRIGATION NOTES

1. 120 VOLT ELECTRICAL POWER OUTLETS FOR CONTROLLERS TO BE PROVIDED BY OTHERS. CONTRACTOR TO BE RESPONSIBLE FOR MAKING HOOK-UP FROM OUTLETS TO CONTROLLERS.

2. ALL WIRE FROM CONTROLLERS TO ELECTRIC VALVES TO BE COPPER #UF-14 DIRECT BURIAL. USE BLACK FOR PILOT AND WHITE FOR COMMON. INSTALL IN COMMON TRENCH WITH MAIN LINE WHERE POSSIBLE. PROVIDE MIN. OF 18" COVER.

3. PROVIDE MIN. 18" COVER OVER ALL MAIN LINE PIPING AND 12" COVER OVER ALL LATERAL LINE PIPING.

4. ALL PIPE UNDER PAVED AREAS TO BE PVC SCH. 40. INSTALL PRIOR TO PAVING.

5. THIS DESIGN IS DIAGRAMMATIC; EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND IS TO BE INSTALLED WITHIN THE NEAREST PLANTED AREA WHERE POSSIBLE.

6. CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST ALL HEADS FOR BEST PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, DRIVES AND BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE THE SELECTION OF THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS.

7. INSTALL ALL EQUIPMENT AS SHOWN IN DETAILS.

8. SYSTEM DESIGN IS BASED ON PRESSURES AND GALLONAGES INDICATED AT POINTS OF CONNECTION.

9. DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE, OTHERWISE THE IRRIGATION CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY AND ALL NECESSARY REVISIONS.

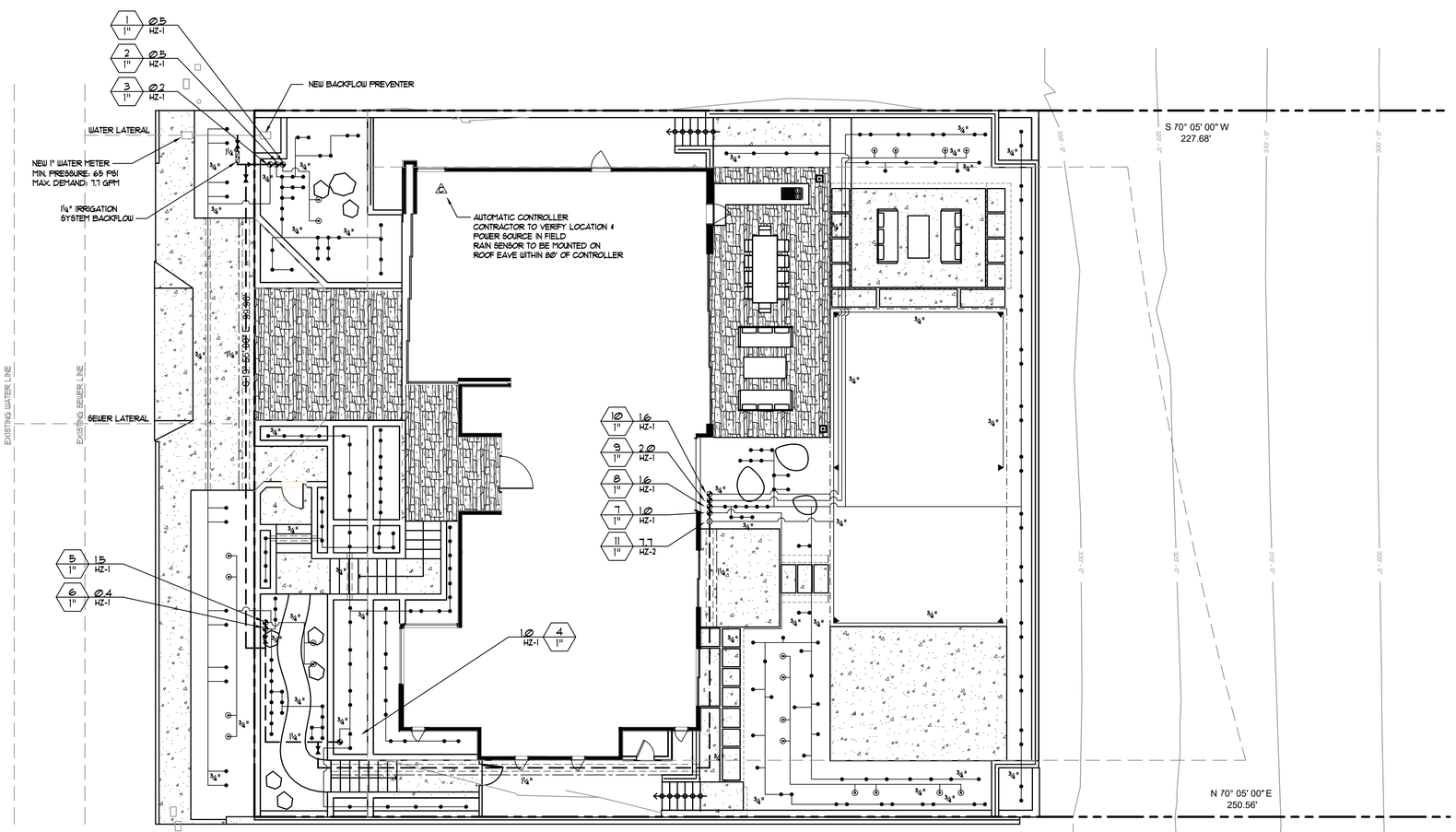
10. FINAL LOCATION OF AUTOMATIC CONTROLLER TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

11. THE SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR. ANY DEFECTIVE MATERIAL OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO COST TO THE OWNER.

12. CONTRACTOR TO BE RESPONSIBLE FOR RODENT CONTROL OF DRIP SYSTEM DURING INSTALLATION AND MAINTENANCE PERIOD.

13. CONTRACTOR IS TO ADJUST IRRIGATION TO WHERE LIGHTING FIXTURES AND OTHER UTILITIES OCCURRED IN FIELD.

14. CONTRACTOR TO ADJUST ALL HEADS TO PROVIDE FULL COVERAGE WITH NO OVERSPRAY ONTO THE BUILDINGS AND/OR HARDSCAPE.



NORTH

LICENSED LANDSCAPE ARCHITECT
STANLEY RUSSELL SMITH
3-26-26
STATE OF CALIFORNIA

REVISIONS	BY
10/21/25 - REV S/W PER ADA ACCESS	NS
11/3/25 - ADD REAR DOOR AT BDRM	NS
11/24/25 - REVISE PER ARCHITECT	NS
12/15/25 - UPDATE LOT COVERAGE	NS
3/26/26 - REV PER PLAN CHK-CITY	NS

STAN SMITH ASSOCIATES
LANDSCAPE ARCHITECTURE
23011 Moulton Parkway
Suite H-2 - Laguna Hills, CA 92653
(949) 855-6413
FAX 830-4465
PLANNING • RESEARCH

IRRIGATION PLAN

NARLA RESIDENCE
8303 PRESTWICK DRIVE
LA JOLLA, CA 92037

DRAWN	SSA
CHECKED	SS
DATE	9-15-25
SCALE	1/8" = 1'-0"
JOB NO.	
SHEET	L-2
OF	SHEETS

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area^2–(square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

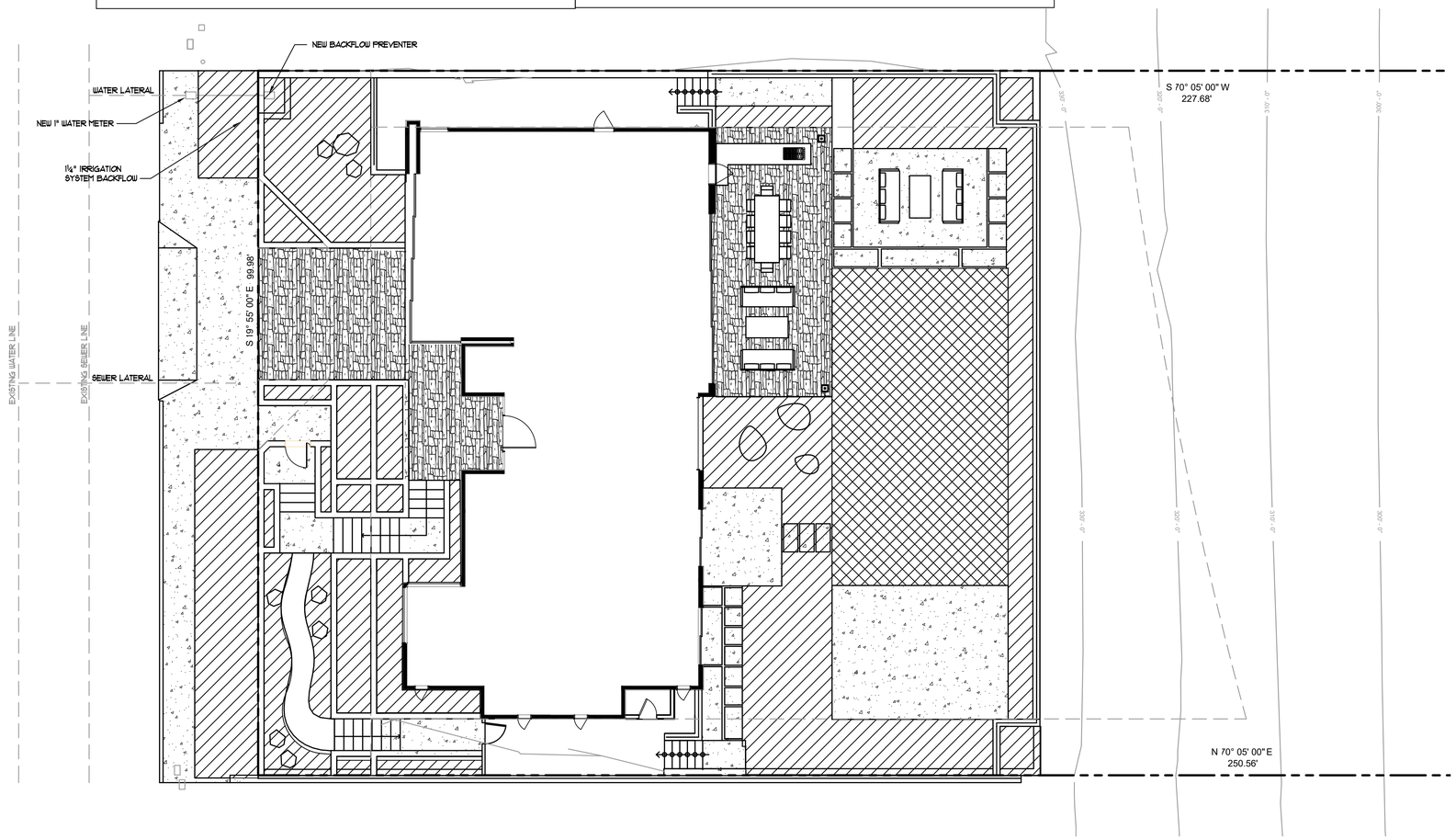
Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	HZ-1	1-10	0.2	3107	Drip	0.81	73
	HZ-2	11	0.7	1125	Spray	0.75	27
						Total	100

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. **The total ETWU cannot exceed the total Water Budget-MAWA.**

Controller No.	ETWU $[(ETo)(0.62)][(\frac{PF \times HA}{IE}) + SLA]$	Result in Gallons per Year
1	(40)(0.62)(3107)(0.2)/(0.81)) =	19,026
	(40)(0.62)(1125)(0.7)/(0.75))=	26,040
	Total ETWU gallons per year	45,066

MAWA = (40)(0.62)(0.45)(4232) = 47,229



HYDROZONE LEGEND

HZ-1: LOW WATER USE (3107#)

HZ-2: TURF (1125#)

NORTH

LICENSED LANDSCAPE ARCHITECT
STANLEY RUSSELL SMITH
Expiration Date 2-28-21
Renewal Date 3-26-26
Date
STATE OF CALIFORNIA

REVISIONS	BY
10/21/25 - REV S/W PER ADA ACCESS	NS
11/3/25 - ADD REAR DOOR AT BDRM	NS
11/24/25 - REVISE PER ARCHITECT	NS
12/15/25 - UPDATE LOT COVERAGE	NS
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HYDROZONE PLAN

NARLA RESIDENCE
8303 PRESTWICK DRIVE
LA JOLLA, CA 92037

DRAWN	SSA
CHECKED	SS
DATE	9-15-25
SCALE	1/8" = 1'-0"
JOB NO.	
SHEET	L-3
OF	SHEETS

PLANTING SPECIFICATIONS

WEED CONTROL: KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA. UPON COMPLETION OF SOIL PREPARATION, THE CONTRACTOR SHALL APPLY A SELECTIVE PRE-EMERGENT TO ALL PLANTING AREAS EXCEPT SEEDED LAWN AREAS.

CULTIVATION - IMMEDIATELY AFTER APPLICATION OF WEED CONTROL, CULTIVATE ALL AREAS TO A DEPTH OF 1-1/2".

FINISH GRADING: MAKE ALL SOIL AREAS SMOOTH AND EVEN WITH A FINISH GRADE OF 1" (ONE INCH) BELOW THE SURFACE OF WALKS, PAVED AREAS AND CURBS AND SLIGHTLY LESS THAN FLUSH WITH CATCH BASINS, MANHOLES, CLEAN OUTS, VALVE BOXES AND SIMILAR FEATURES. RAKE CLEAN ALL AREAS.

SOIL PREPARATION AND FERTILIZATION: IN ALL PLANTING AREAS THE FOLLOWING APPLICATION SHALL BE MADE PER 1,000 SQ. FT. OF AREA AND SHALL BE THOROUGHLY CULTIVATED IN TWO DIRECTIONS INTO THE TOP 6" OF SOIL, AND THE AREA WATERED DOWN: 2 CUBIC YARDS NITROGEN STABILIZED SAWDUST, 100 LBS. AGRICULTURAL GYPSUM, 150 LBS. GRO-POWER PLUS COMMERCIAL FERTILIZER.

DEEP RIP ALL AREAS TO BE PLANTED OR SEEDED TO A UNIFORM DEPTH OF AT LEAST 12" AND FOR THIS ENTIRE DEPTH THE SOIL SHALL BE MADE LOOSE AND FRIABLE.

ALL MATERIALS SHALL BE UNIFORMLY AND THOROUGHLY BLENDED BY REPEATED ROTARY CULTIVATION INTO THE 6" OF TOP SOIL.

AT TIME OF PLANTING, THE TOP 2" (TWO INCHES) OF ALL AREAS TO BE PLANTED OR SEEDED SHALL BE FREE OF STONES, WEEDS, ROOTS OR OTHER DELETERIOUS MATTER 1" (ONE INCH) IN DIAMETER OR LARGER AND SHALL BE FREE FROM ALL WIRE, PLASTER OR SIMILAR OBJECTS THAT WOULD BE A HINDRANCE TO PLANTING OR MAINTENANCE. REMOVE ALL DEBRIS FROM THE SITE.

AFTER 30 DAYS (MAINTENANCE PERIOD) APPLY 25 LBS. PER 1,000 SQ. FT. OF GRO-POWER PLUS IN ALL LANDSCAPE AREAS.

REFER TO SOILS REPORT FOR ANY ADDITIONAL SOIL AMENDMENTS.

BACKFILL MIX - TREES, SHRUBS AND VINES:
SOIL MIX FOR BACKFILL IN PITS FOR TREES, SHRUBS AND VINES SHALL CONSIST OF THE FOLLOWING:

AMOUNT/CUBIC YARD
60% BY VOLUME ON-SITE SOIL
40% BY VOLUME ORGANIC AMENDMENT
2 LBS. AGRICULTURAL GYPSUM
15 LBS. GRO-POWER PLUS

PLANTING PITS SHALL BE EXCAVATED TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL. BACKFILL SHALL THEN BE ADDED AS OUTLINED ABOVE. THE PREPARED SOIL SHALL BE UNIFORMLY BLENDED IN AN AREA ADJACENT TO THE PLANTING WORK AND SHALL BE ACCURATELY PROPORTIONED USING A SUITABLE MEASURING CONTAINER. UNUSED EXCAVATED SOIL SHALL BE REMOVED FROM SITE. PROTECT THE MIX FROM WATER UNTIL IT HAS BEEN PLACED IN BACKFILL AROUND PLANTS.

INSTALL PLANTING TABLETS IN THE FOLLOWING APPLICATIONS: 1 GRAM 'GROLIFE' TABLETS BY GRO-POWER INTO PLANTING PITS AS PER DETAIL.

EACH GALLON PLANT - 2 TABLETS
EACH 5 GALLON PLANT - 4 TABLETS
EACH 15 GALLON PLANT - 8 TABLETS

SPECIMEN PLANTS LARGER THAN 15 GALLON SIZE SHALL BE 3 TABLETS PER 1/2" CALIPER OF TREE TRUNK.

AGRONOMIC SOILS REPORT:
a. AFTER COMPLETION OF ROUGH GRADING & PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL PROVIDE THE TESTING OF PLANTING SOILS & COMPOSTED ORGANIC HUMUS MATERIALS BY AN INDEPENDENT AGRONOMIC SOILS TESTING LABORATORY THAT IS A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABS. REPRESENTATIVE SOILS SAMPLES SHALL BE TAKEN IN THE FIELD & A WRITTEN REPORT SHALL BE PREPARED BY THE SOIL SCIENTIST THAT SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENTS, PRE-PLANT FERTILIZATION, HYDROMULCH SLURRY & POST-MAINTENANCE FERTILIZATION PROGRAM.

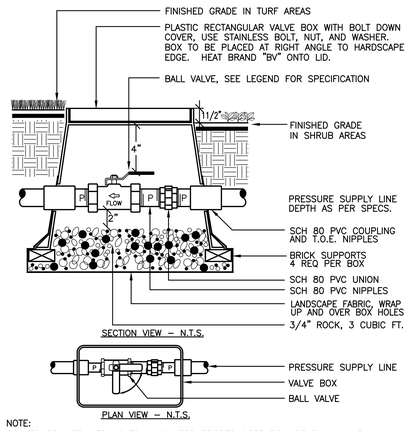
b. SOIL PREPARATION SPECIFICATIONS SHALL BE PREPARED BASED ON THE TEST RESULTS & RECOMMENDATIONS AND MUST BE APPROVED BY THE CITY PRIOR TO SOIL PREPARATION.

c. SOIL TESTS SHALL BE PERFORMED AFTER SOIL PREPARATION TO CONFIRM THAT SOIL PREPARATION WAS PERFORMED IN COMPLIANCE WITH PRE-PLANT SOILS REPORT & SPECIFICATIONS. COMPLIANCE OF CONTRACTOR'S WORK WITH SOIL PREPARATION SPECIFICATIONS SHALL BE DETERMINED SOLELY BY THE CITY.

GUARANTEE: ALL SPECIMEN TREES AND ALL SHRUBS OF 15 GALLON SIZE AND LARGER SHALL BE GUARANTEED BY THE CONTRACTOR TO TAKE ROOT AND GROW IN A HEALTHY CONDITION FOR ONE YEAR AFTER COMPLETION OF ALL CONTRACTOR'S LANDSCAPE PLANTING WORK PROVIDING SAID TREES AND SHRUBS HAVE RECEIVED NORMAL CARE AND MAINTENANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT AND OWNER.

ALL OTHER PLANTINGS INCLUDING, BUT NOT NECESSARILY LIMITED TO, GROUND COVER, VINES, ETC. SHALL BE GUARANTEED BY THE CONTRACTOR TO TAKE ROOT AND GROW IN A HEALTHY CONDITION FOR SIXTY (60) DAYS AFTER COMPLETION OF ALL CONTRACTOR'S LANDSCAPE PLANTING WORK.

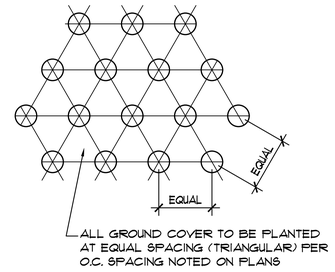
ANY OF SAID TREE, SHRUBS, OR OTHER PLANTINGS WHICH DIE BACK OR LOSE FORM AND SIZE AS ORIGINALLY SPECIFIED SHALL BE REPLACED WITHOUT DELAY BY CONTRACTOR WHEN REQUESTED BY LANDSCAPE ARCHITECT AND/OR OWNER, AT NO COST TO OWNER.



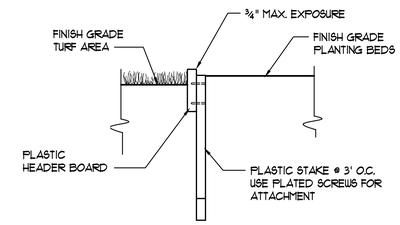
NOTE:
BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE, INSTALL VALVE OFF-CENTER IN BOX.

INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

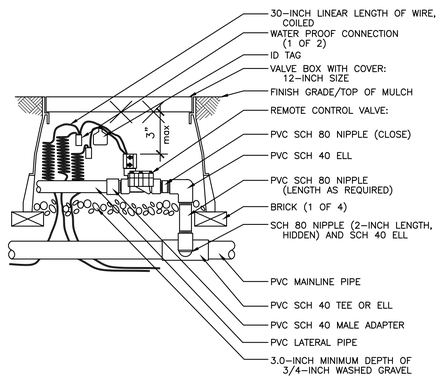
G BALL VALVE



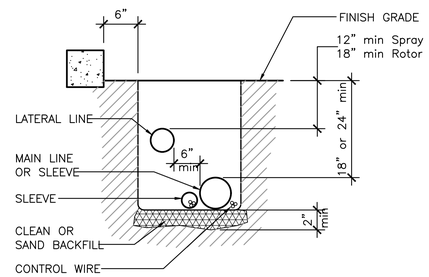
D GROUND COVER PLANTING



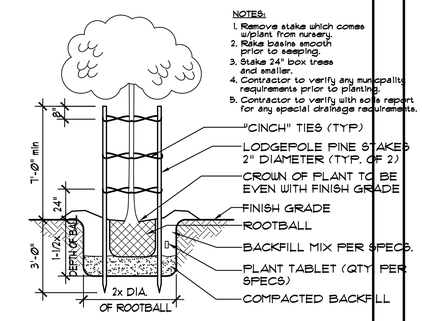
A HEADERBOARD



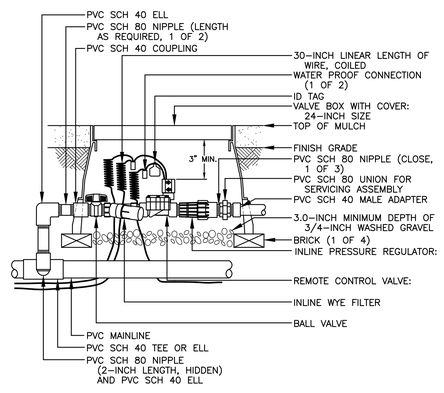
H CONTROL VALVE



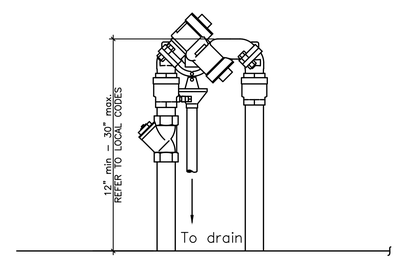
E IRRIGATION TRENCHING



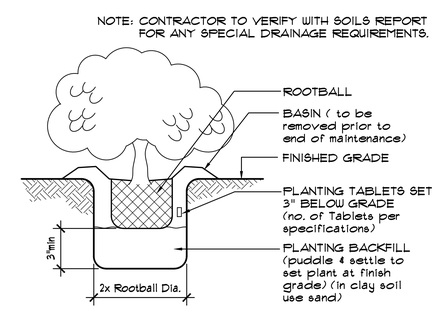
B TREE PLANTING



I DRIP ZONE CONTROL KIT



F BACKFLOW PREVENTER



C SHRUB PLANTING

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DRAWN	SSA
CHECKED	SS
DATE	9-15-25
SCALE	NTS
JOB NO.	
SHEET	L-4
OF	SHEETS

IRRIGATION SPECIFICATIONS

INSTALL ALL MATERIALS TO COMPLY WITH LOCAL CODES AND ORDINANCES. VERIFY PRESSURE SHOWN PRIOR TO BEGINNING OF CONSTRUCTION.

VERIFICATION: ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS. LOCATIONS OF VALVES AND VACUUM BREAKERS SHALL BE AS INDICATED ON THE DRAWINGS. ANY DEVIATION FROM THE PLAN MUST HAVE THE APPROVAL OF THE LANDSCAPE ARCHITECT. LOCATION OF ALL BACKFLOW AND CONTROLLERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PERMIT AND FEES: THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY FEES AND PERMITS REQUIRED IN THE PURSUIT OF HIS WORK AS REQUIRED BY GOVERNING CODES.

EXCAVATIONS: DEPTHS OF MINIMUM COVER UNLESS OTHERWISE SPECIFIED BELOW FINISH GRADE.

1. MAIN LINE PRESSURE PLASTIC - 18" MINIMUM COVER, 24" UNDER PAVING, SAND BACKFILL.
2. QUICK COUPLER LINES - 1-1/2" AND SMALLER MAIN LINE 18"
3. LATERAL SPRINKLER LINES - 12" ± SAND BACKFILL UNDER PAVING.
4. CONTROL WIRING - 18".

THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL SPRINKLER SYSTEMS AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES AND/OR DISCREPANCIES IN AREA DIMENSIONS, UNTIL SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

INSTALL ALL EQUIPMENT AND MATERIALS AS SHOWN IN DETAILS AND SPECIFICATIONS.

ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING, USE PVC CLASS 315 FOR 2" AND LARGER AND PVC SCHEDULE 40 FOR 1-1/2" AND SMALLER. PROVIDE SAND BACKFILL OVER PIPING CROSSING ANY ROADWAY OR AC PAVING.

ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PER LOCAL CODE.

VALVE BOXES SHALL BE AMETEK #10-131-001 WITH AMETEK #10-131-007 COVER MARKED "IRRIGATION CONTROL VALVE."

INSTALL CONTROLLER AS CALLED FOR ON THE DRAWINGS. OWNER SHALL PROVIDE 110 VOLT SERVICE TO CONTROLLER. IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP TO CONTROLLER.

INSTALL 24 VOLT CONTROL WIRING ON #14 UF DIRECT BURIAL IRRIGATION WIRE. USE BLACK FOR PILOT, USE WHITE FOR COMMON WIRE.

USE EPOXY TAPE CONNECTORS FOR SPLICING OF WIRES. BURY WIRES IN SAME TRENCH AS MAIN LINE WITH SIX 1" DIA. x 30" LINEAR EXPANSION COILS EVERY 100' AND AT VALVES. INSTALL WIRES IN PVC SLEEVE UNDER PAVING.

CONTRACTOR SHALL SUBMIT "AS-BUILT" DRAWINGS TO OWNER. LOCATE VALVES, QUICK COUPLERS AND MAIN LINE LOCATION WITH DIMENSIONS FROM THE NEAREST PERMANENT POINT OF REFERENCE.

CONTRACTOR SHALL FURNISH THREE (3) QUICK COUPLING KEYS EQUIPPED WITH HOSE SWIVELS.

TESTS: ALL PRESSURE LINES SHALL BE TESTED PRIOR TO BACKFILL OPERATIONS. CENTER LOAD PLASTIC PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND WHIPPING UNDER PRESSURE.

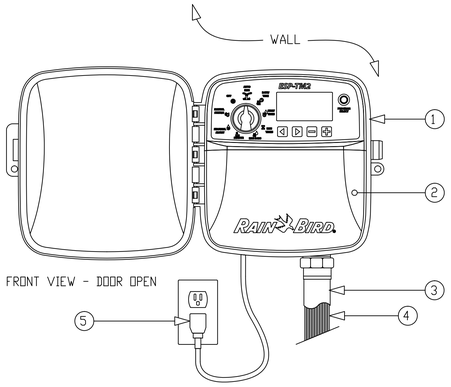
GUARANTEE: THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR TO GIVE COMPLETE AND SATISFACTORY SERVICE AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

SHOULD ANY TROUBLE DEVELOP WITHIN THE SPECIFIED GUARANTEE PERIOD, WHICH IN THE OPINION OF THE OWNER IS DUE TO INFERIOR OR FAULTY MATERIAL AND/OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED, WITHOUT DELAY, BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AND AT NO EXPENSE TO THE OWNER AS PART OF THIS CONTRACT.

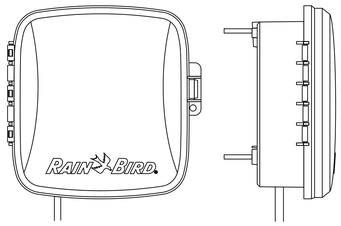
GENERAL NOTES:

1. RAIN BIRD ESP-TM2 INDOOR/OUTDOOR WALL MOUNTED CONTROLLER.
2. WIRING BAY COVER.
3. 3/4-INCH PVC SCH 40 CONDUIT AND FITTINGS.
4. FIELD WIRES TO REMOTE CONTROLLED IRRIGATION VALVES.
5. SUPPLIED POWER-CORD PLUGS INTO 120 VAC GROUNDED OUTLET
6. OPTIONAL: 1/2-INCH PVC SCH 40 CONDUIT, TO EXTERNAL POWER SUPPLY.
7. OPTIONAL: LNK WIFI MODULE ALLOWS REMOTE OPERATION OF THE CONTROLLER.

ESP-TM2 CONTROLLER MODELS	
TM2-4-120V	4-ZONE
TM2-6-120V	6-ZONE
TM2-8-120V	8-ZONE
TM2-12-120V	12-ZONE SHOWN

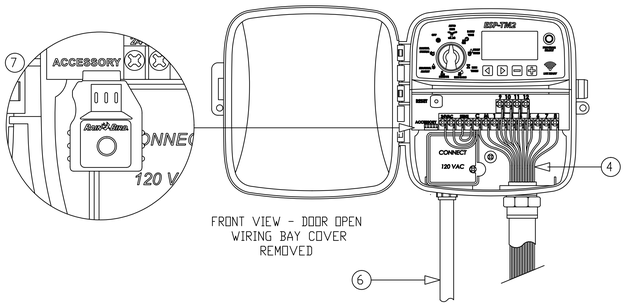


FRONT VIEW - DOOR OPEN



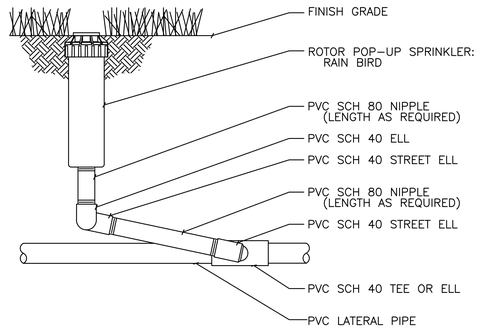
FRONT VIEW - DOOR CLOSED

SIDE VIEW

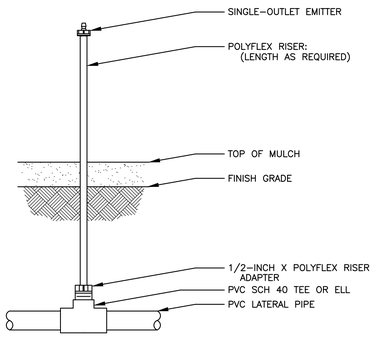


FRONT VIEW - DOOR OPEN
WIRING BAY COVER
REMOVED

H AUTOMATIC CONTROLLER



A POP-UP TURF ROTOR



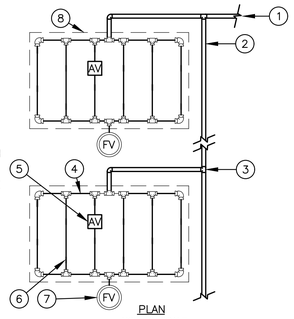
B EMITTER ON RISER

I DETAIL

F POP-UP TURF ROTOR

LEGEND

1. PVC LATERAL LINE FROM DRIP ZONE KIT.
2. PVC SUPPLY MANIFOLD.
3. PVC TEE OR ELL
4. POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
5. AIR/VACUUM RELIEF VALVE PLUMBED TO TUBING AT HIGH POINT.
6. DRIPLINE LATERAL
7. AUTOMATIC FLUSH VALVE PLUMBED TO TUBING AT LOW POINT.
8. PLANTER PERIMETER.



PLAN
NOT TO SCALE

NOTE:
THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH.

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

C DRIPLINE

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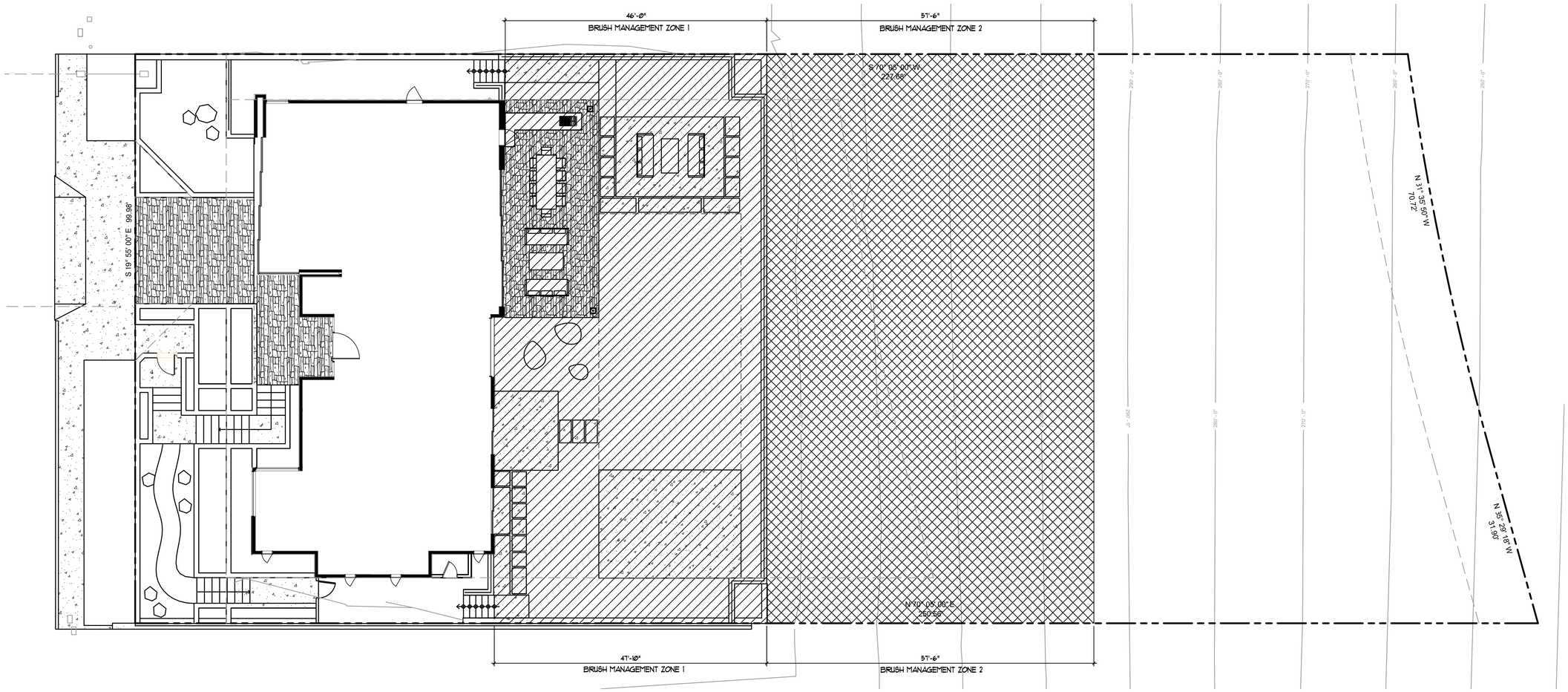
DRAWN SSA
CHECKED SS
DATE 9-15-25
SCALE NTS
JOB NO.
SHEET L-5
OF SHEETS



BRUSH MANAGEMENT REQUIREMENTS (SDMC Section 142.0412)

Any property containing a habitable structure and native or naturalized vegetation is required to provide 100 feet of brush management in two distinct zones: Zone 1 and Zone 2. Special requirements may apply (i.e. pre-1989 development). Check with Fire-Rescue or DSD before you begin brush management work.

Brush Management **Zone 1** typically extends 35 feet out from the habitable structure towards flammable vegetation, and occurs on the level portion of a property.

- **Zone 1** must be maintained on a regular basis by thinning and pruning trees and plants, controlling weeds, and maintaining irrigation systems.
- No habitable structures are permitted. New construction (i.e. fences, walls, palapas, play structures, gazebos, and decks) must be non-combustible and/or have a minimum 1-hour fire resistance rating. Previously conforming structures (legally constructed prior to ordinance) may remain unless they constitute a distinct danger to life or property.
- Plants should be primarily low-growing (less than 4 feet in height), low-fuel, and fire-resistive.
- All portions of trees, other than the trunk, which extend within ten feet of a structure or the outlet of any chimney, must be cut back.
- Trees adjacent to or overhanging any building must be free of dead wood.
- Roof and rain gutters must be free of leaves, needles, or other dead vegetative growth.

Brush Management **Zone 2** is the remaining 65 feet that extends beyond Zone 1, typically comprised of undisturbed vegetation on a slope subject to sensitive biological resource protections.

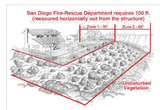
- **Zone 2** must be maintained on a regular basis by controlling weeds and removing invasive species. (See back of Bulletin under additional information.)
- Selective thinning and pruning of native and non-native plants is required to reduce the fuel-load. Do not grade or grub native plants, soils or habitats. Non-native plants must be pruned before native plants. See detailed instructions provided in this Bulletin. Violators will be responsible for restoration and mitigation costs as applicable.
- Brush management activity is not allowed March 1 through August 15 in coastal sage scrub, maritime succulent scrub, or coastal sage-chaparral habitats, unless an exception is specifically granted.
- NO structures or permanent irrigation are allowed in Zone 2.
- A permit is required to re-vegetate or reconfigure Brush Management Zone 2. Failure to obtain the required permits could result in costly corrective action.

How to Selectively Thin and Prune Plants and Trees in Zone 2 and Avoid Clearing Sensitive Vegetation in Violation of the Code.

Step 1: Remove…. as much dead wood as you can and invasive species within the Brush Management Zone areas.

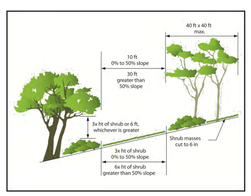
Step 2: Thin…. the entire Zone 2 area. Start by cutting down 50% of the plants over 2 feet in height to a height of 6 inches. Don't go any lower than 6 inches so the roots remain to control soil erosion. The goal is to create a "mosaic" or more natural look, as shown below, so do your cutting in a "staggered" pattern. Leave uncut plant groupings up to 400 square feet — that's a 20x20-foot area, or an area that can be encircled by an 80-foot rope — separated by groupings of plants cut down to 6 inches. Thinning should be prioritized as follows: 1) invasive non-native species; 2) non-native species; 3) flammable native species; 4) native species; and 5) regionally sensitive species.

Before Brush Management



After Thinning and Pruning

Step 3: Prune…. all plants or plant groupings that are left after the thinning process to achieve the horizontal and vertical clearances shown in the illustration below. (For trees in Eucalyptus Woodlands areas, see FPB Policy B-08-1.)



Tree and Shrub Spacing

Remaining plants, 4 feet or more in height, should then be cut and shaped into "umbrellas." This means pruning one half of the lower branches to create umbrella-shaped canopies. This allows you to see and deal with what is growing underneath. Upper branches may then be shortened to reduce fuel load as long as the canopy is left intact. This keeps the plant healthy and the shade from the plant canopy reduces weed and plant growth underneath. Vegetation that is less than 4 feet in height, like coastal sage scrub, should be cut back to within 12 inches of the root crown.

Chaparral Plant Before Pruning

Chaparral Plant After Pruning

Step 4: Dispose…. of the cuttings and dead wood by either hauling it to a landfill; or, by chipping/mulching it on-site and spreading it out in the Zone 2 area to a depth of not more than 6 inches.

Step 5: Thin and prune annually…. because plants will grow back.

NORTH

REVISIONS	BY
11/3/25 - REV PER PLAN CHK - CITY	NS
11/24/25 - REV PER ARCHITECT	NS
3/26/26 - REV PER PLAN CHK - CITY	NS

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BRUSH MANAGEMENT PLAN

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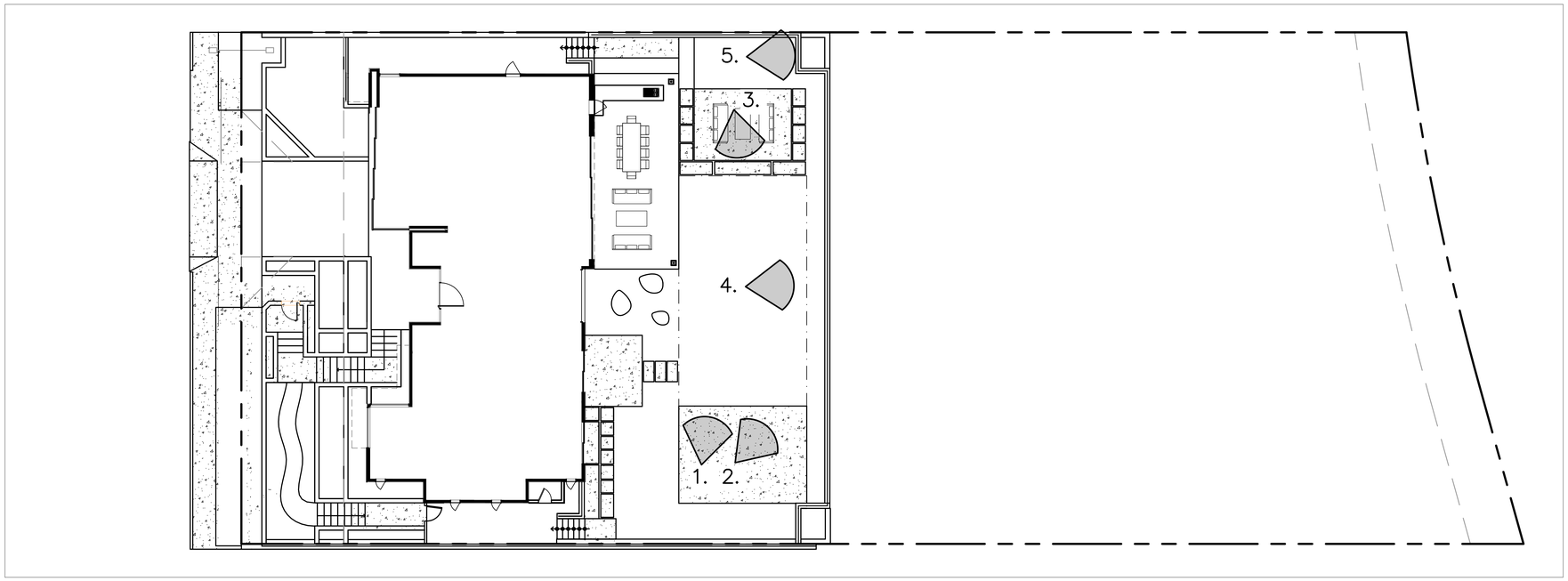
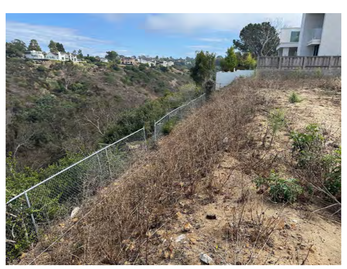
DRAWN	SSA
CHECKED	SS
DATE	9-15-25
SCALE	SCALE
JOB NO.	
SHEET	L-6
OF	SHEETS



SITE PLAN: REAR YARD PHOTO LOCATIONS

VIEW 1: SOUTHEAST LOOKING NORTH

VIEW 2: SOUTHEAST LOOKING EAST



VIEW 3: NORTHEAST LOOKING SOUTH

VIEW 4: CENTER EAST LOOKING EAST

VIEW 5: NORTHEAST LOOKING EAST

NORTH

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12/15/25 - REV PER ARCHITECT	NS

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PHOTO REFERENCE PLAN

NARLA RESIDENCE
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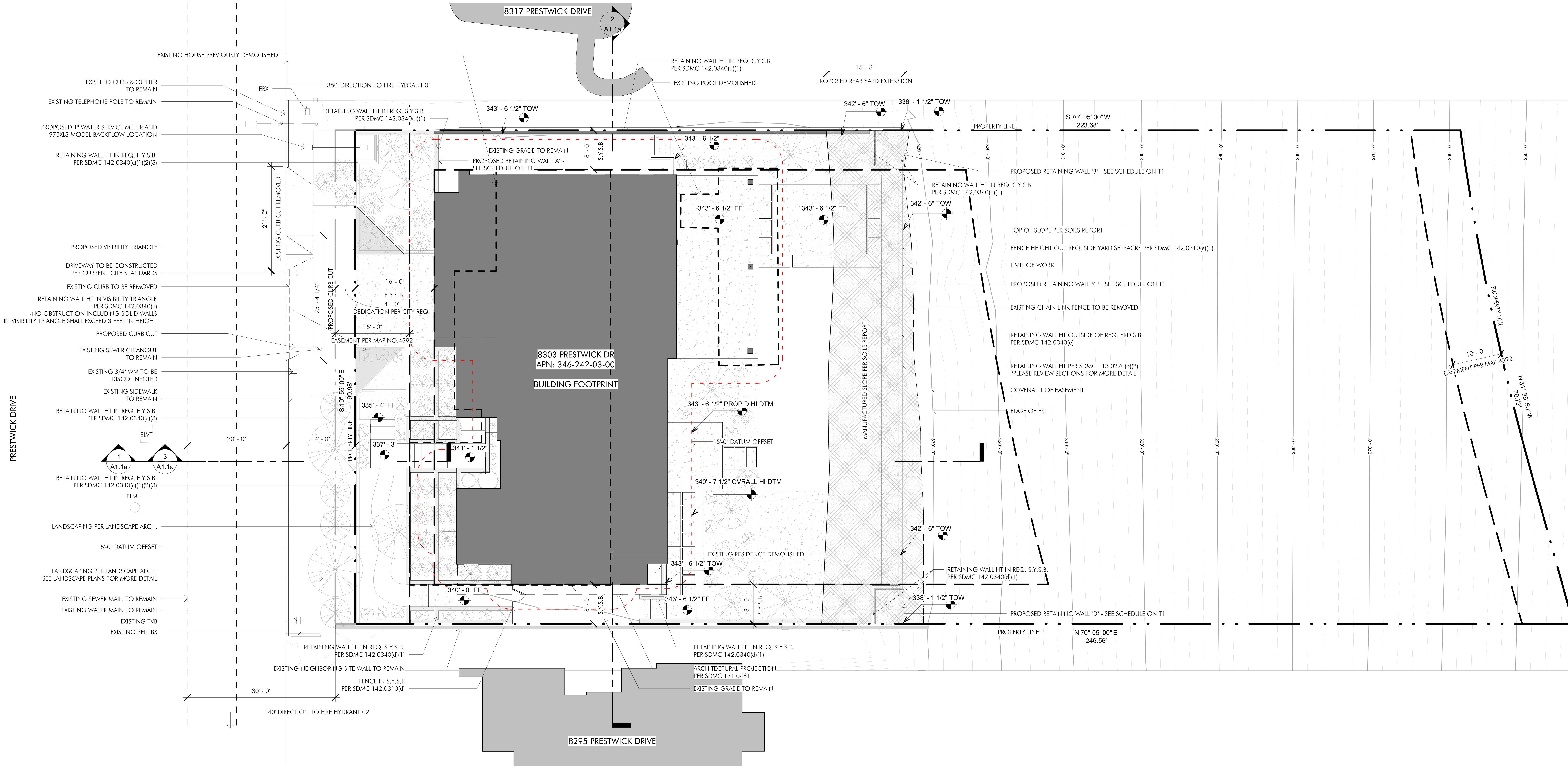
LA JOLLA, CA 92037

DRAWN SSA
CHECKED SS
DATE 9-23-25
SCALE NOT TO SCALE
JOB NO.
SHEET L-7
OF SHEETS



SITE PLAN 1" = 10'-0" (1)

NORTH

SITE NOTES

1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
2. PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
4. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
6. FIRE HYDRANTS, 1 @ 140'-0" & 1 @ 350'-0" FROM PROPERTY SEE SITE PLAN.
7. REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC.
8. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
9. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
   i. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change
   ii. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
10. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
11. 4" DIAMETER DOMESTIC DRYER MOSITURE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL & VERTICAL LENGTH OF 14', INCLUDING TWO 90-DEGREE ELBOWS. 5" DIAMETER DRYER DUCTS RUN UP TO 25'. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED W/ BACK-DRAFT DAMPERS.
12. DWELLING UNIT TO REQUIRE FIRE SPRINKLERS PER BULLETIN RESD3-1 ITEM (B)(1)
13. NO OBSTRUCTION, INCLUDING SOLID WALLS, IN VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409(b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
14. AFTER BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE WATER SERVICE SIZE WHICH IS REQUIRED DUE TO THE WATER METER UPGRAGE:
   OWNER SIGNATURE:____________________

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL C.URRENT REQLIIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB], SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INISTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQIVIP) FOR POST-CONSTRUCTION BMPS.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMPS SHALL BE INISTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PHOTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLETO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NOH-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIOI\IS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR-ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORSEEN C IRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELDPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MANINTAIN ALL BMPS DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.

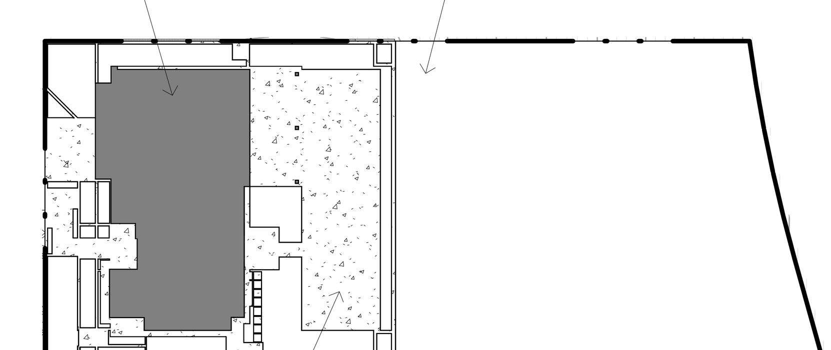
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY COI\ISTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CAL TRANS FAG SHEET TC-O1 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS, WIDTH SHALL BE 10' OR THE MINIMUM NECESARRY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT 8'(-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

Area Legend

	BUILDING FOOTPRINT	3,564 SF	15%
	LANDSCAPE	15,619 SF	66%
	HARDSCAPE	4,596 SF	19%
	LOT TOTAL:	23,776 SF	100%

SITE LEGEND

- PROPERTY LINE PRIOR TO 4'-0" DEDICATION
- PROPERTY LINE
- SETBACK LINE
- 5'-0" OVERALL AND PROP D HIGH AND LOW DATUM OFFSET
- STREET CENTER LINE
- EXISTING HOUSE AND POOL DEMOLISHED
- BUILDING FOOT PRINT
- MANUFACTURED SLOPE
- NEIGHBORING HOUSES



LOT COVERAGE DIAGRAM 1" = 40'-0" (2)

CITY STANDARD TITLE BLOCK

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Project Name: NARLA RESIDENCE
Sheet Title: SITE PLAN

Revision 08:
Revision 07:
Revision 06:
Revision 05:
Revision 04:
Revision 03:
Revision 02:
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Sheet: 11 of 24
DEP#:

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LICENSED ARCHITECT LISA K. KR... C-...354 APR 30, 27 STATE OF CALIFORNIA — NOT FOR CONSTRUCTION

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REVISIONS

#	DESCRIPTION	DATE

NARLA RESIDENCE

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A1.1
SITE PLAN
04/01/2026

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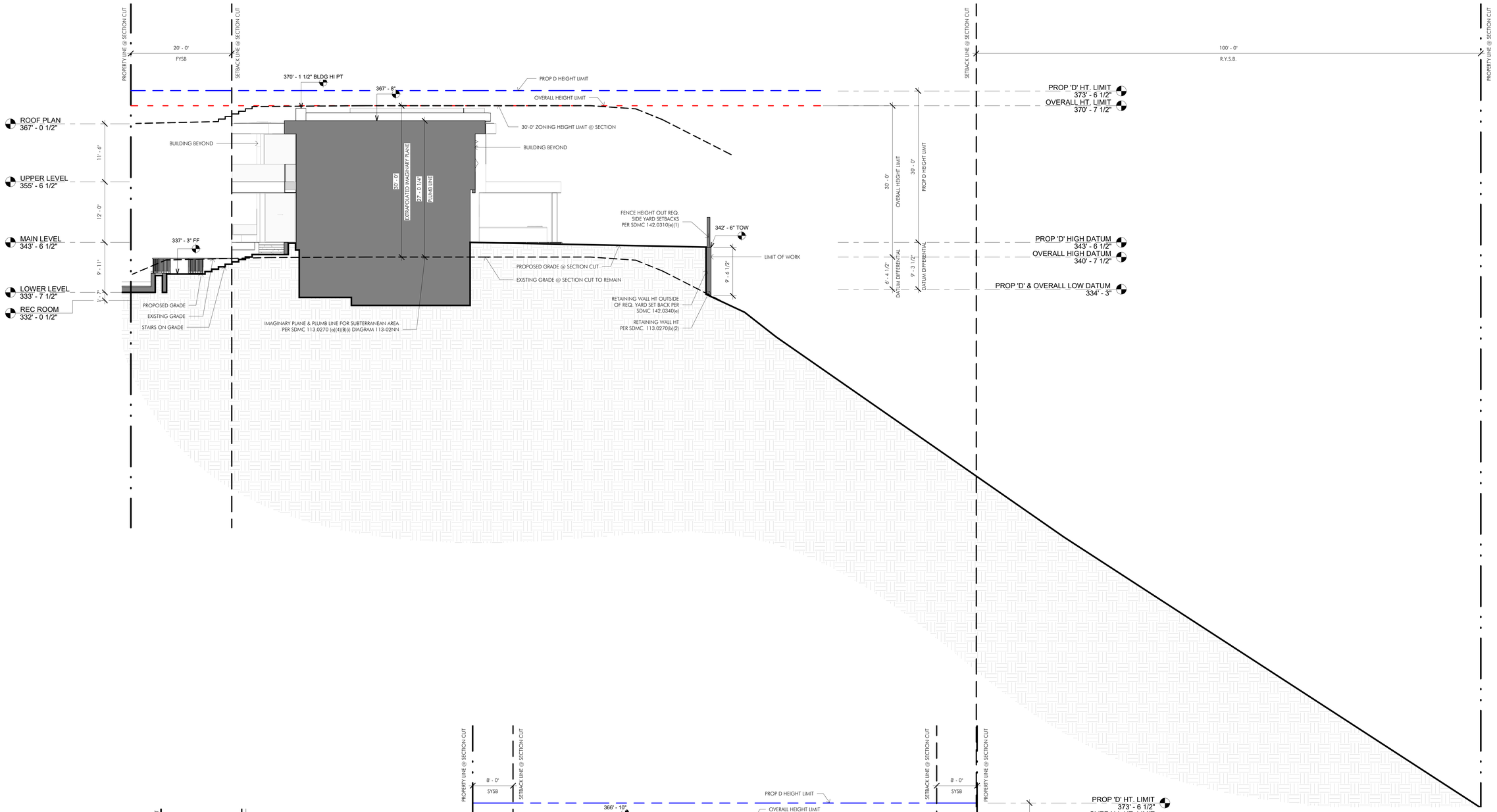
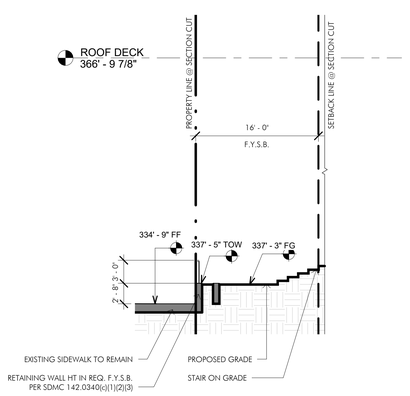


SITE SECTION 1 1/8" = 1'-0" (1)



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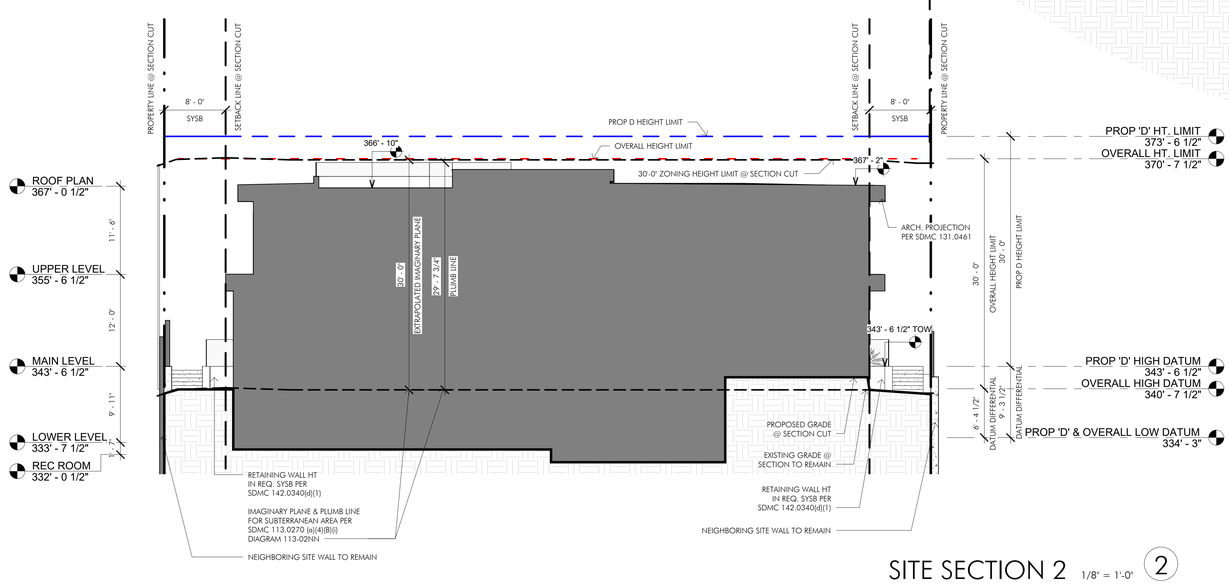

SITE SECTION 2 1/8" = 1'-0" (2)

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LICENSED ARCHITECT LISA A. KRIEDEMAN No. 2506 NOT FOR CONSTRUCTION APR 30, 21 OF CALIFORNIA

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DATE:	ISSUE:

REVISIONS

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NARLA RESIDENCE

Sheet Title:
SITE SECTIONS

Revision 08:
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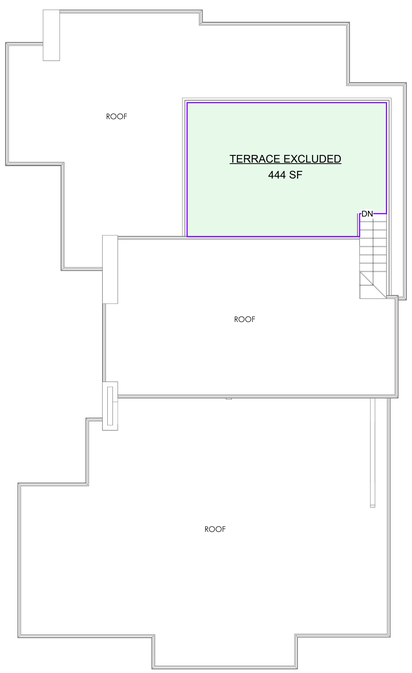
A1.1a
SITE SECTIONS
04/01/2026

FAR CALCULATIONS		
ALLOWABLE FAR	10,699 SF	.45
PROPOSED FAR	6,188 SF	.26

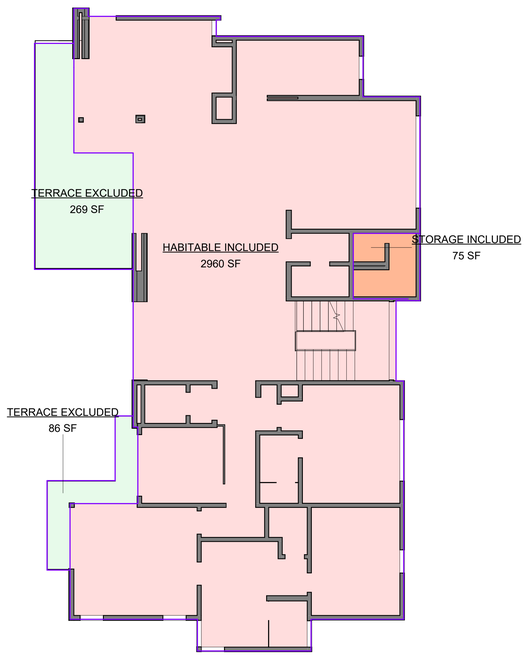
GROSS FLOOR AREA CALCULATIONS			
BASEMENT LEVEL	SQUARE FOOTAGE	INCLUDED TO GFA	EXCLUDED TO GFA
HABITABLE	707 SF	N/A	707 SF
NON-HABITABLE (GARAGE)	1,662 SF	N/A	1,662 SF
NON-HABITABLE (MECH/STRG)	118 SF	N/A	118 SF
TOTAL	2,488 SF	N/A	2,488 SF
MAIN LEVEL			
HABITABLE	3,153 SF	3,153 SF	N/A
NON-HABITABLE (TERRACE)	821 SF	N/A	821 SF
TOTAL	3,974 SF	3,153 SF	821 SF
UPPER LEVEL			
HABITABLE	2,960 SF	2,960 SF	N/A
NON-HABITABLE (STORAGE)	75 SF	75 SF	N/A
NON-HABITABLE (TERRACE)	356 SF	N/A	356 SF
TOTAL	3,391 SF	3,035 SF	356 SF
ROOF TERRACE			
NON-HABITABLE (TERRACE)	444 SF	N/A	444 SF
TOTAL	444 SF	N/A	444 SF
OVERALL TOTAL	10,297 SF	6,188 SF	4,109 SF



AREA PLAN

TERRACE EXCLUDED

ROOF PLAN 1/8" = 1'-0" 4



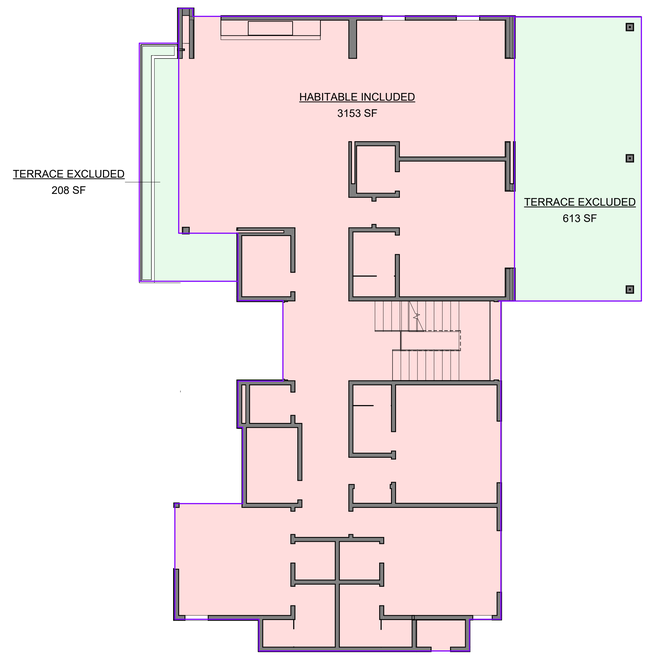
AREA PLAN

HABITABLE INCLUDED

STORAGE INCLUDED

TERRACE EXCLUDED

SECOND FLOOR AREA PLAN 1/8" = 1'-0" 3

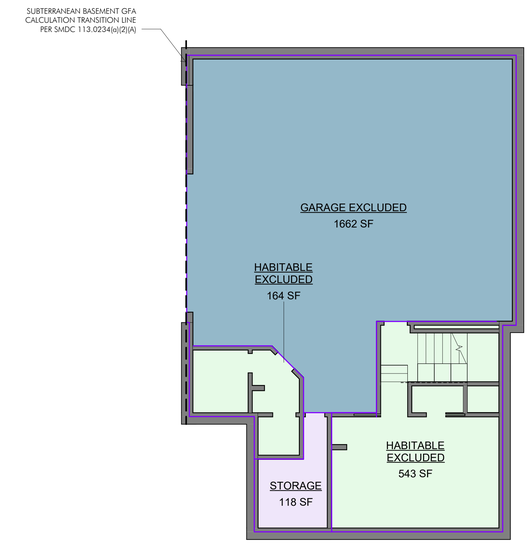


AREA PLAN

HABITABLE INCLUDED

TERRACE EXCLUDED

FIRST FLOOR AREA PLAN 1/8" = 1'-0" 2



AREA PLAN

GARAGE EXCLUDED

HABITABLE EXCLUDED

STORAGE

BASEMENT AREA PLAN 1/8" = 1'-0" 1

CITY STANDARD TITLE BLOCK

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Project Name:

NARLA RESIDENCE

Sheet Title:

AREA CALCULATIONS

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Original Date:

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LICENSED ARCHITECT LISA A. KRIEDEMAN NOT FOR CONSTRUCTION APR 30, 21 STATE OF CALIFORNIA

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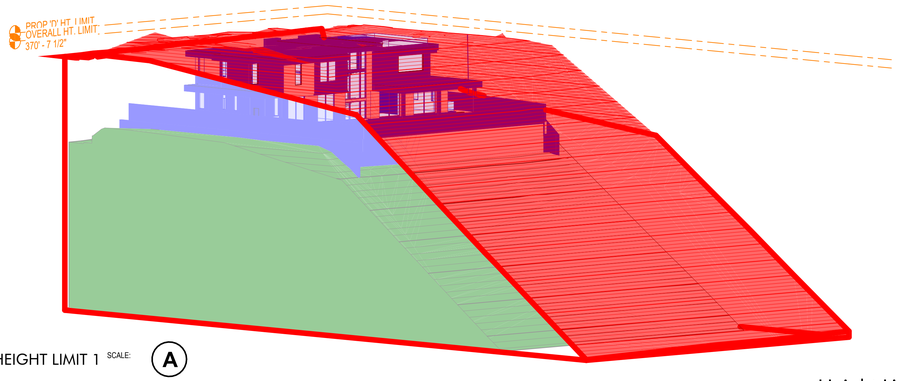
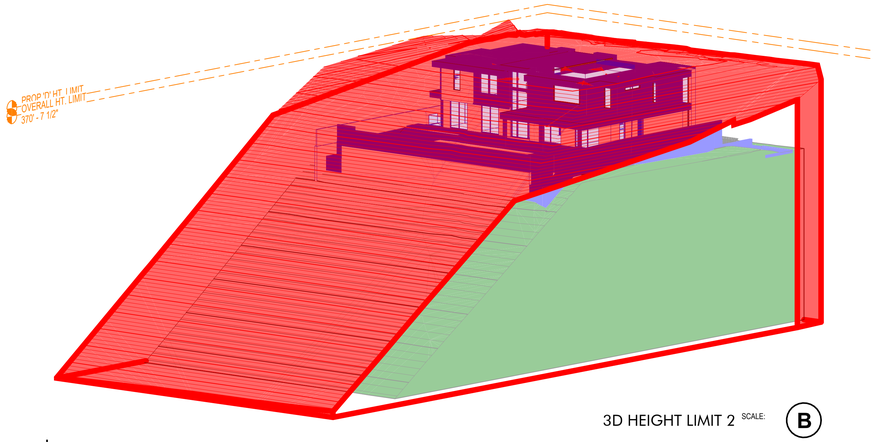
A1.3

AREA CALCULATIONS

04/01/2026



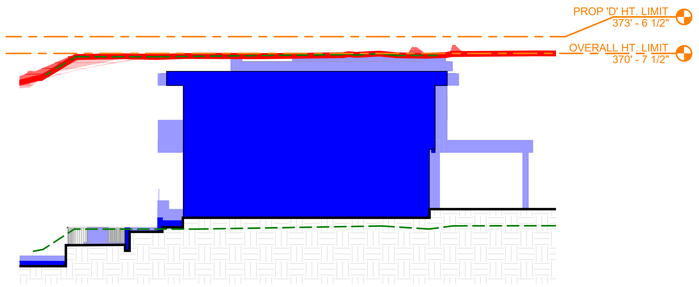
3D HEIGHT LIMIT 1 SCALE: A



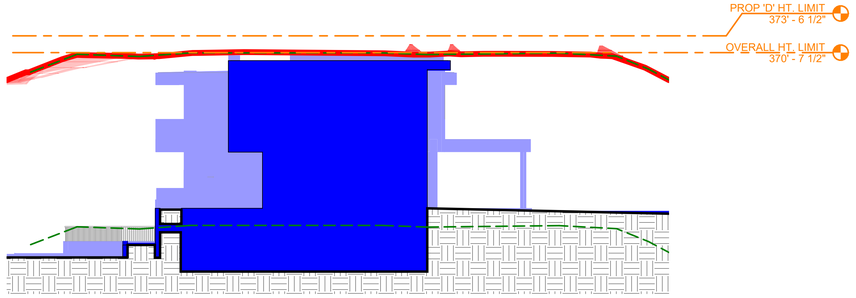
3D HEIGHT LIMIT 2 SCALE: B

Height Limit Legend

- 30' HEIGHT LIMIT
  30' TOPOGRAPHY OFFSET W/ SUBTERRANEAN BASEMENT EXCLUSION SHOWN
- 30' HEIGHT LIMIT CUT LINE AT SECTION
  30' TOPOGRAPHY OFFSET W/ SUBTERRANEAN BASEMENT EXCLUSION SHOWN
- OVERALL AND COASTAL HEIGHT LIMIT
- PROPOSED SINGLE FAMILY RESIDENCE AT SECTION CUT
- EXISTING GRADE AT SECTION



SECTION 1 HEIGHT LIMIT SCALE: 3/32" = 1'-0" 1



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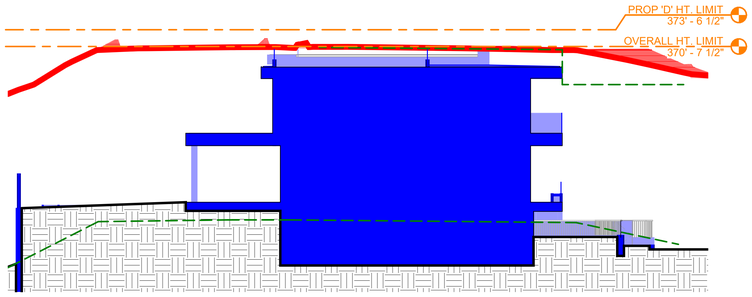

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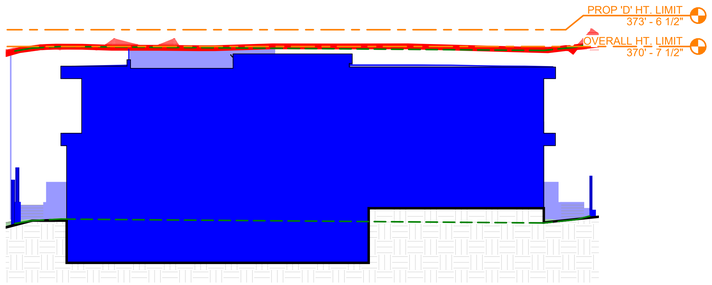

SECTION 4 HEIGHT LIMIT SCALE: 3/32" = 1'-0" 4

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Sheet Title:
HEIGHT LIMIT DIAGRAMS

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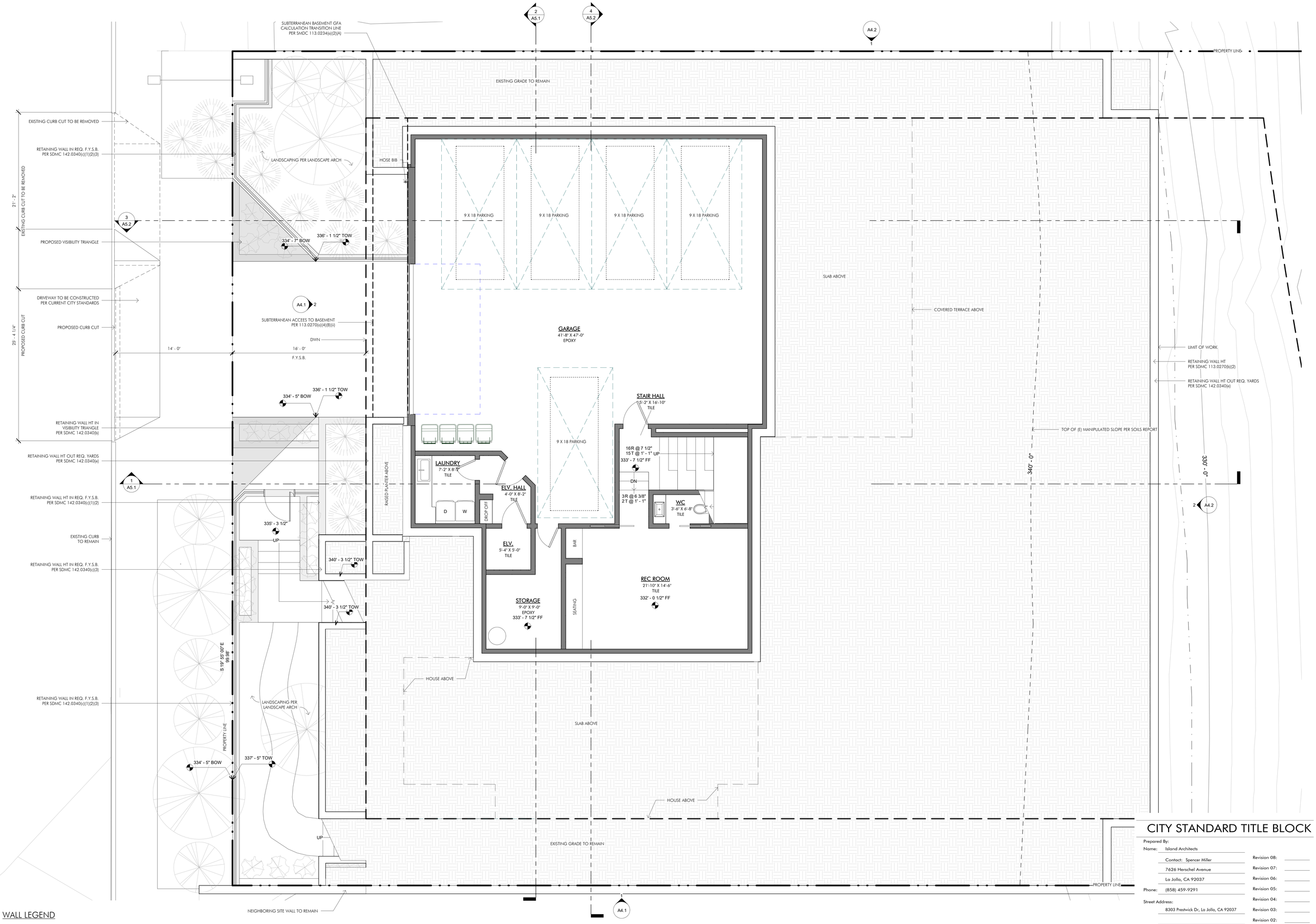
A1.4

HEIGHT LIMIT DIAGRAMS

04/01/2026



WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW SITE WALL

BASEMENT FLOOR PLAN

1/4" = 1'-0"

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Sheet Title:
BASEMENT PLAN

Revision 08:
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Revision 01:
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Sheet: 15 of 24
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LICENSED ARCHITECT LISA A. KRIEDEMAN NO. 2504 NOT FOR CONSTRUCTION APR 30, 17 STATE OF CALIFORNIA

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PROJ. MGR.:	NW
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#	DESCRIPTION	DATE

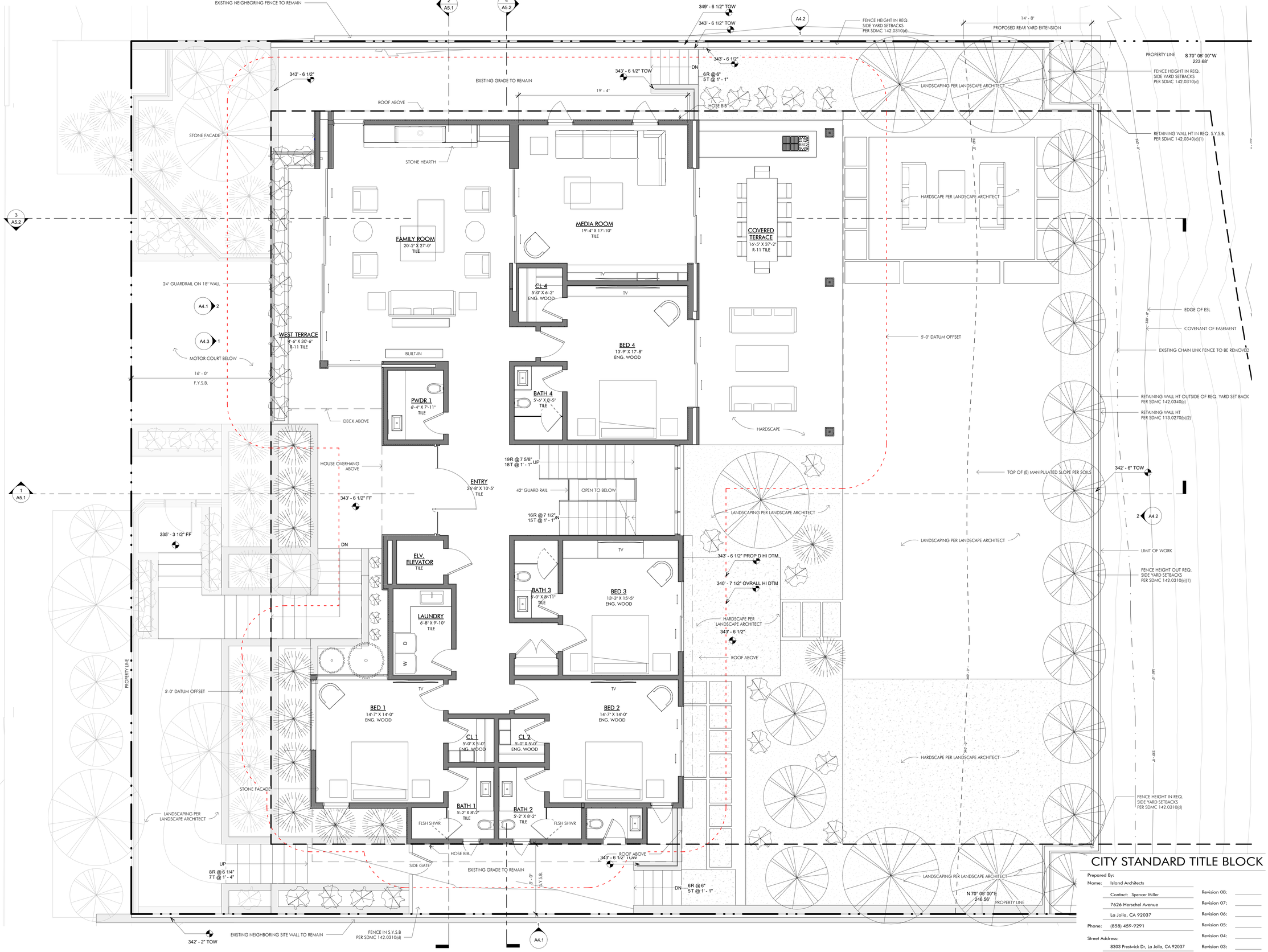
NARLA RESIDENCE

8303 Prestwick Dr, La Jolla, CA 92037

A2.0

BASEMENT PLAN

04/01/2026



WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW SITE WALL

FIRST FLOOR PLAN

1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

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Project Name:
NARLA RESIDENCE

Sheet Title:
FIRST FLOOR PLAN

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LICENSED ARCHITECT LISA A. KRIEDEMAN NO. 18626 STATE OF CALIFORNIA
NOT FOR CONSTRUCTION
APR 30, 2026

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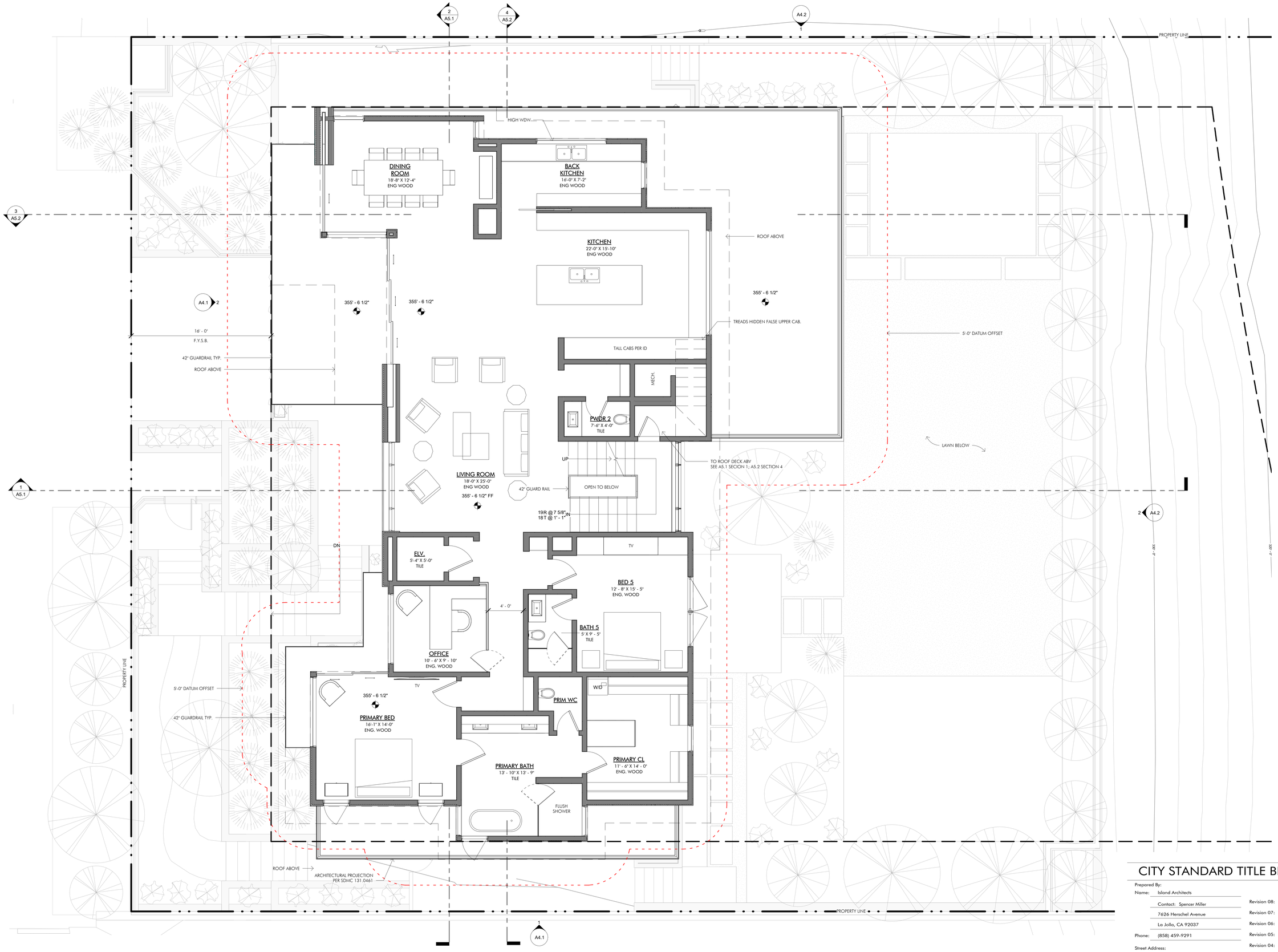
A2.1

FIRST FLOOR PLAN

04/01/2026



WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW SITE WALL

SECOND FLOOR PLAN

1/4" = 1'-0"

1

NORTH

CITY STANDARD TITLE BLOCK

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SECOND FLOOR PLAN

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ISLAND ARCHITECTS

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LICENSED ARCHITECT LISA A. KRIEDEMAN NO. 29706 NOT FOR CONSTRUCTION APR 30, 17 STATE OF CALIFORNIA

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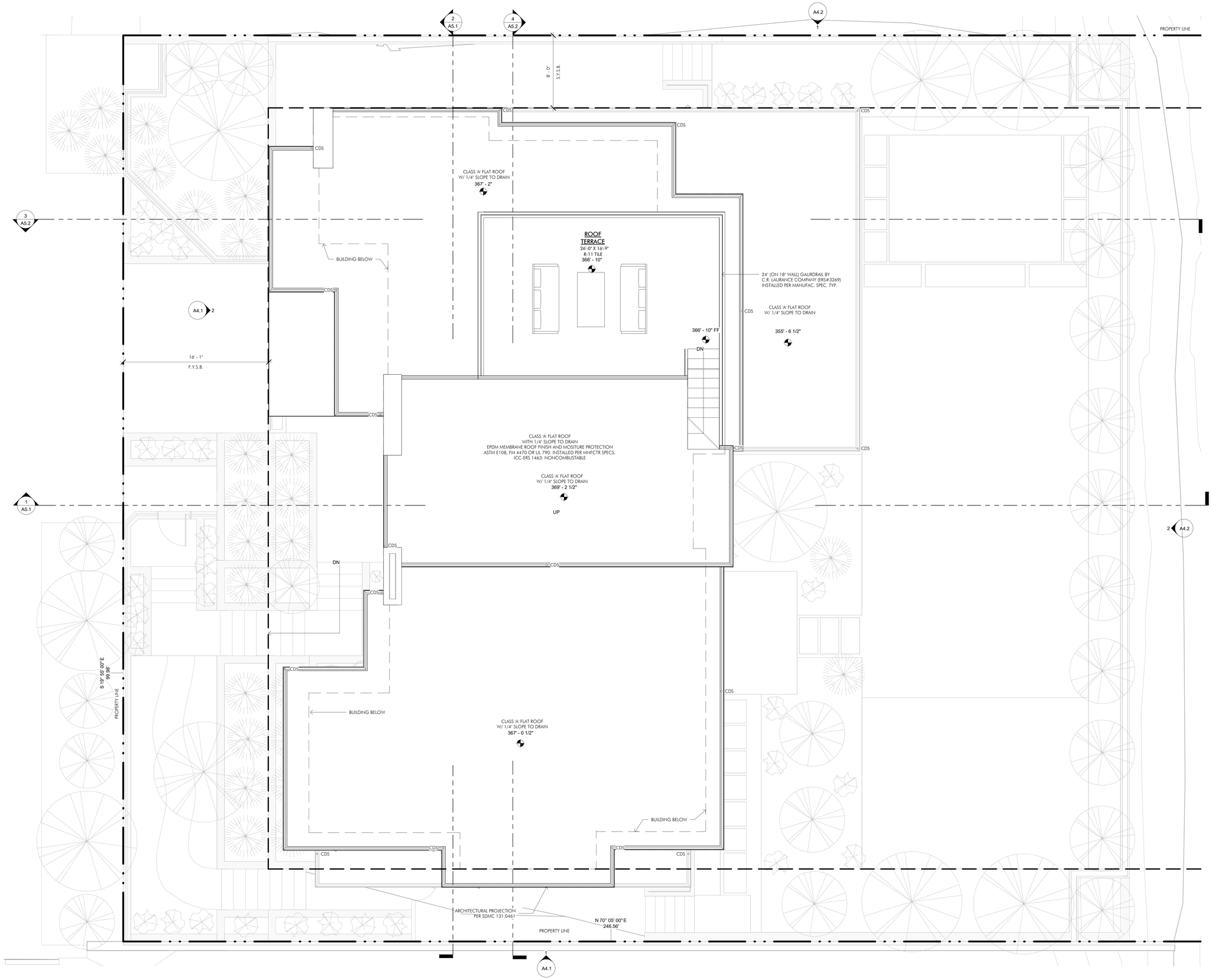
A2.2

SECOND FLOOR PLAN

04/01/2026



ROOF NOTES:

1. ALL RIDGE DIMENSIONS ARE CALLED OUT TO TOP OF SHEATHING
2. ALL ELEVATIONS LOCATED AT EDGE OF WALLS ARE TO TOP OF PLATE
3. ALL PLATE HTS. ARE TAKEN ABOVE MAIN LEVEL F.F. =0'-0" (EL. +___.___)
4. DIMENSIONS SHOWN AT CHIMNEY CAPS ARE TO FINISH MATERIAL
5. ALL SKYLIGHTS TO BE FLAT, TINTED GLAZING & BRONZE FRAME SKYLIGHT.
6. RADIANT BARRIER SHEATHING TO BE USED OVER INTERIOR & ATTIC SPACES

◯ = DOWN SPOUT LOCATIONS
▭ = SCUPPER LOCATIONS

1. ALL FLAT ROOF TO BE BUILT-UP ROOFING CLASS 'A' ASSEMBLY. EPDM SYSTEM

FURNISH 60-MIL EPDM (ETHYLENE, PROPYLENE, DIENE TERPOLYMER): THERMAL AND MOISTURE PROTECTION: ICC-ES-ERS-1463 IN THE LARGEST SHEET POSSIBLE WITH 3" OR 6" FACTORY-APPLIED TAPE (FAT). THE MEMBRANE SHALL CONFORM TO THE MINIMUM PHYSICAL PROPERTIES OF ASTM E108. WHEN A 10 FOOT WIDE MEMBRANE IS TO BE USED, THE MEMBRANE SHALL BE MANUFACTURED IN A SINGLE PANEL WITH NO FACTORY SPLICES TO REDUCE SPLICE INTERSECTIONS.

3. CONTRACTOR TO PROVIDE WATERPROOFING PER SPECIFICATIONS PROVIDED BY MANUFACTURER.

4. FLAT ROOF TO SLOPE A MINIMUM OF 1/4" PER 12".

5. ALL FLASHING AND WATERPROOFING PER NFAC STANDARDS SUPPLIED BY CONTRACTOR. ALL METAL EDGINGS SHALL BE TESTED AND MEET ANSI/SPRI ES-1 STANDARDS AND COMPLY WITH INTERNATIONAL BUILDING CODE. ALL METAL WORK IS TO BE SUPPLIED AND WARRANTED BY THE MANUFACTURER.

6. WHEN APPLICABLE, INSULATION SHALL BE INSTALLED IN MULTIPLE LAYERS. THE FIRST AND SECOND LAYER OF INSULATION SHALL BE MECHANICALLY FASTENED OR ADHERED TO THE SUBSTRATE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS

7. FOLLOW MANUFACTURER'S TYPICAL FLASHING PROCEDURES FOR ALL WALL, CURB, AND PENETRATION FLASHING INCLUDING METAL EDGING/COPING AND ROOF DRAIN APPLICATIONS

8. INSTALLER AND CONTRACTOR MUST PERFORM A FINAL INSPECTION TO REVIEW ALL WORK AND TO VERIFY ALL FLASHING HAS BEEN COMPLETED PER MANUFACTURERS SPECIFICATIONS AND PER CODE AS WELL AS THE APPLICATION OF ALL CAULKING

9. THE HIGHEST POINT OF THE ROOF EQP., OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE PER (ORD. 11333 NS)

CITY STANDARD TITLE BLOCK

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NARLA RESIDENCE

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ROOF PLAN

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ROOF PLAN 1/4" = 1'-0" 1 NORTH

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LICENSED ARCHITECT LISA A. KRIEDEMAN NO. 2269 NOT FOR CONSTRUCTION EXP. APR 30, 2_ STATE OF CALIFORNIA

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NARLA RESIDENCE
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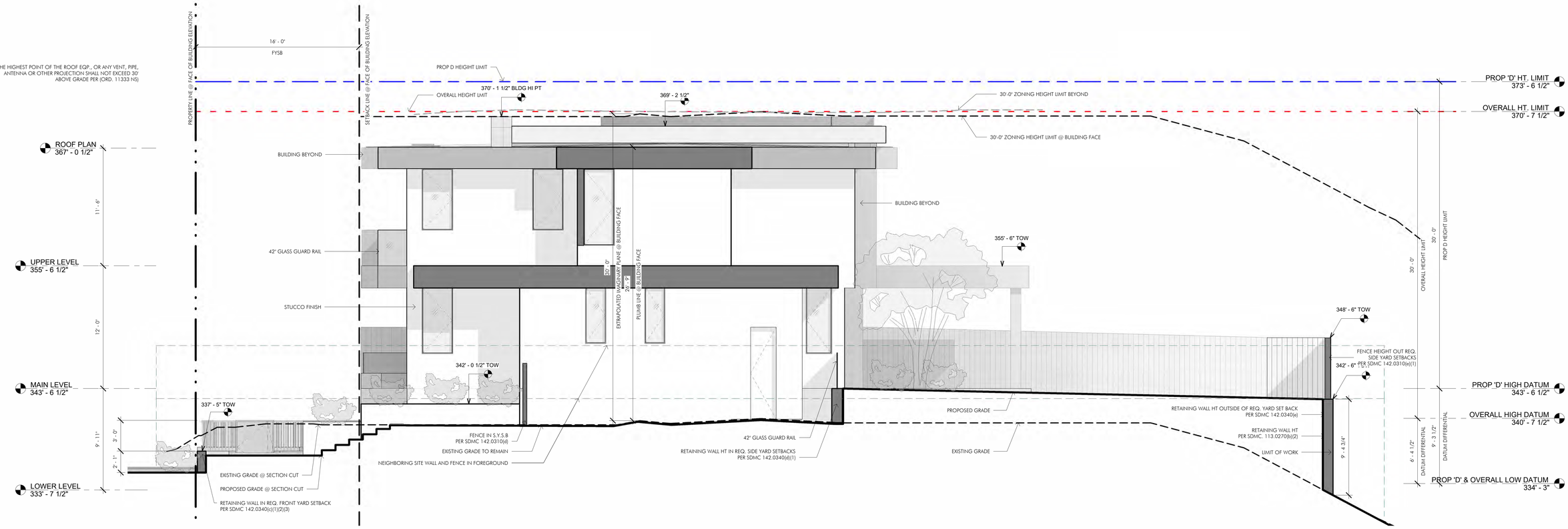
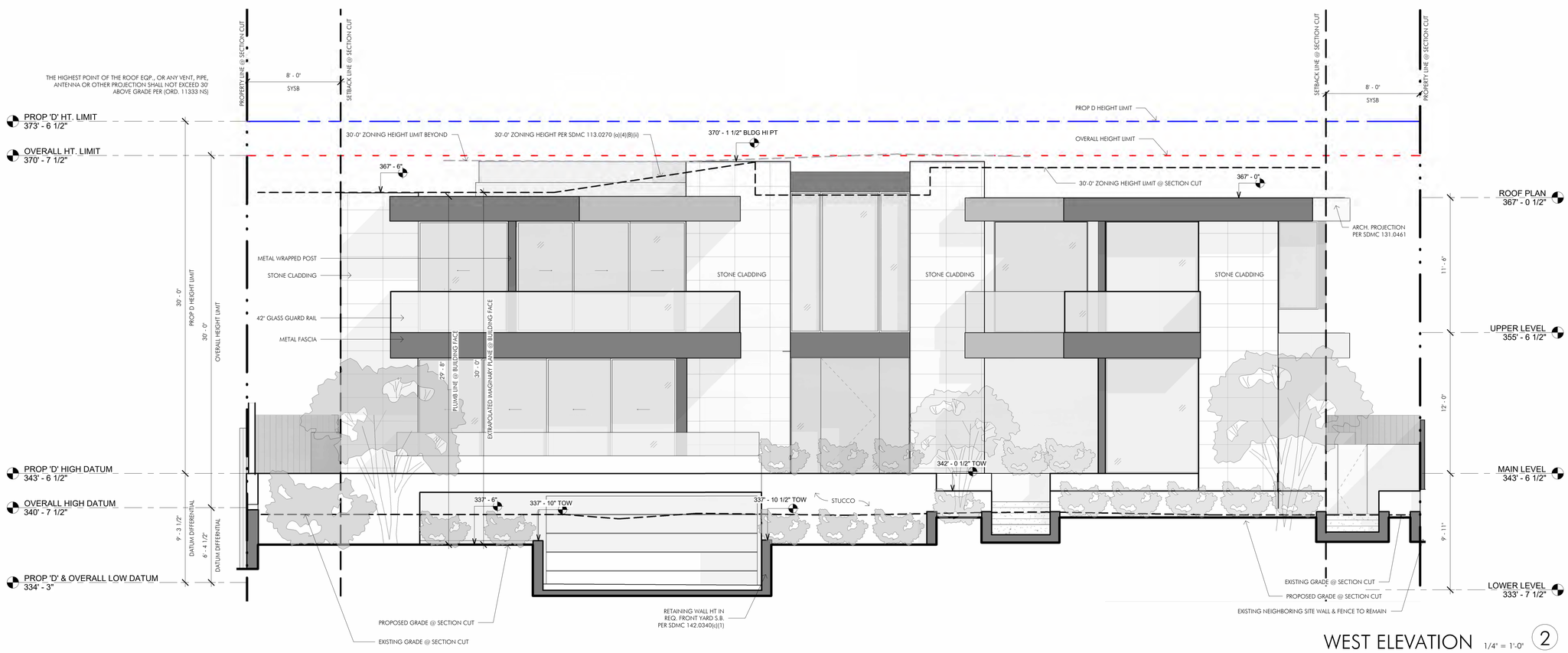
A2.3
ROOF PLAN
03/31/2026



SOUTH ELEVATION 1/4" = 1'-0" 1



WEST ELEVATION 1/4" = 1'-0" 2

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- OVERALL ZONING HEIGHT LIMIT
- PROP D HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT BEYOND
- PROPOSED GRADE

CITY STANDARD TITLE BLOCK

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EXTERIOR ELEVATIONS

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NARLA RESIDENCE

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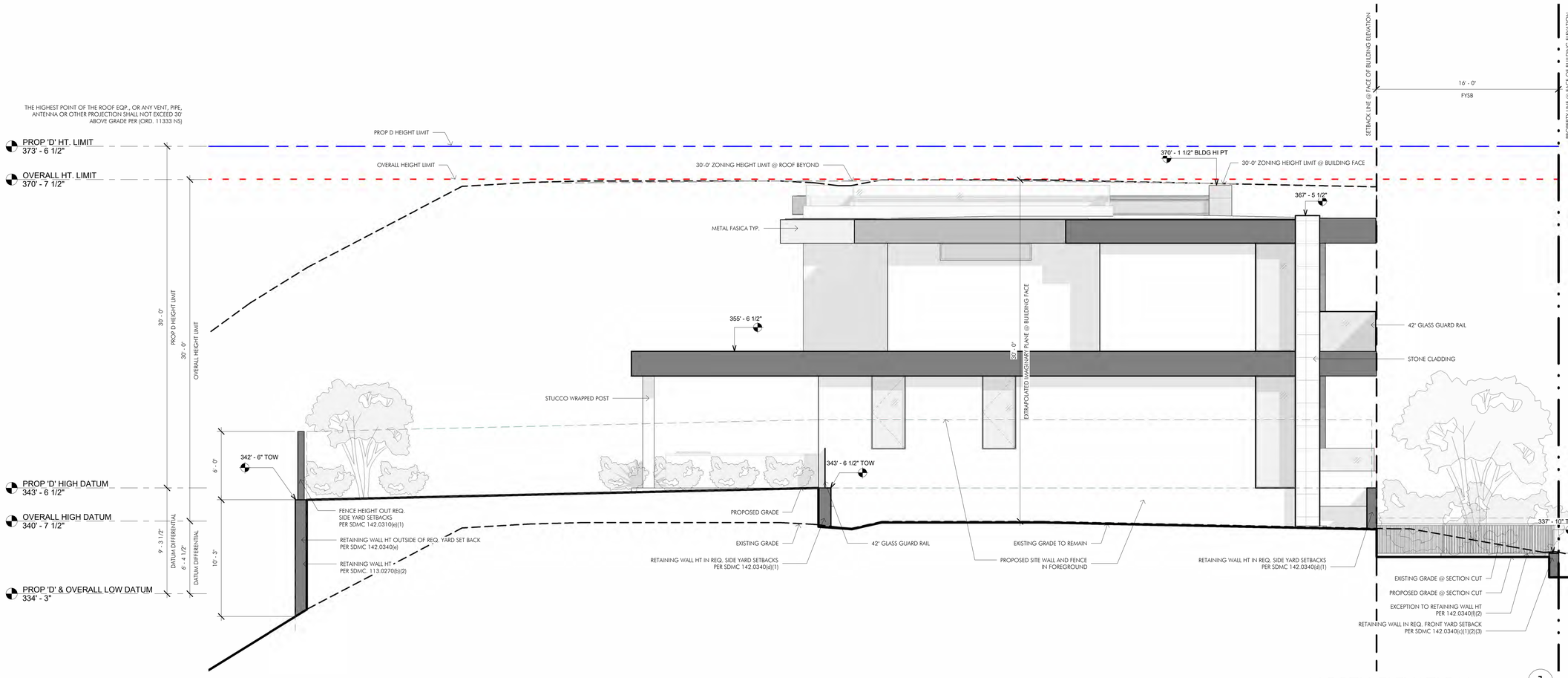
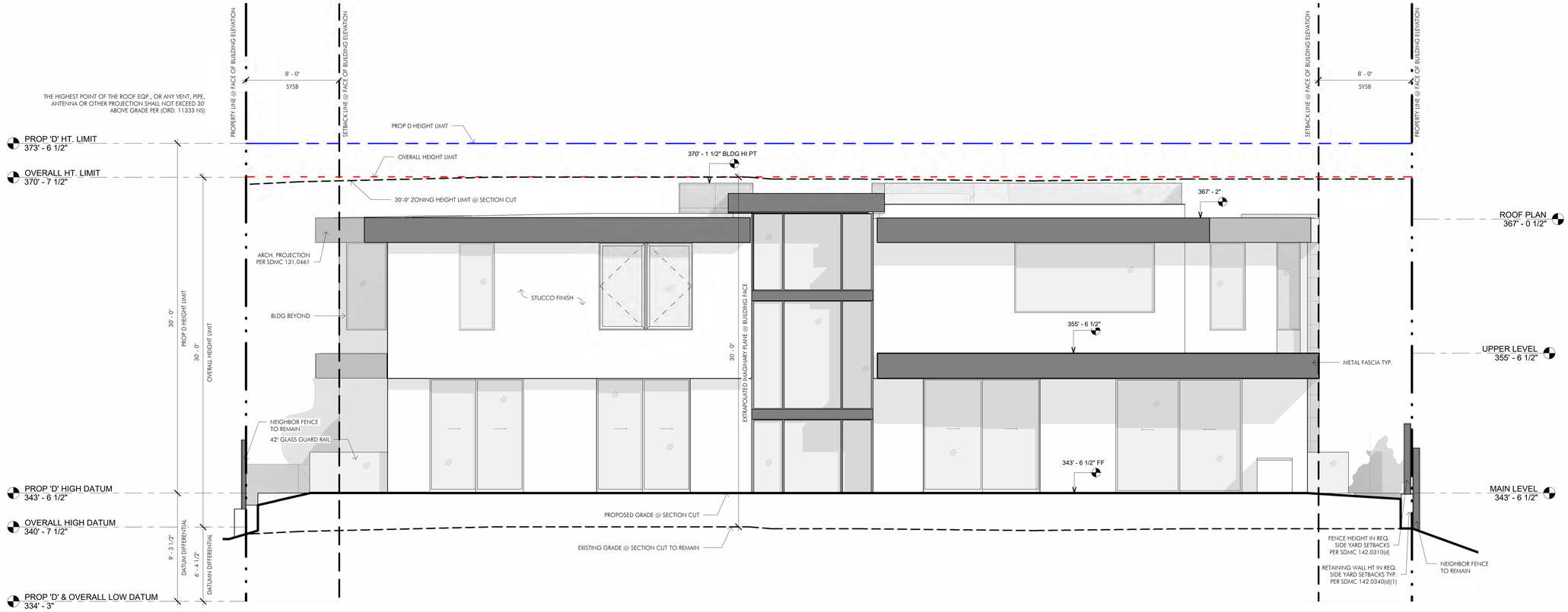
A4.1

EXTERIOR ELEVATIONS

04/01/2026



NORTH ELEVATION 1/4" = 1'-0" 1



EAST ELEVATION 1/4" = 1'-0" 2

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- OVERALL ZONING HEIGHT LIMIT
- PROP D HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT BEYOND
- PROPOSED GRADE

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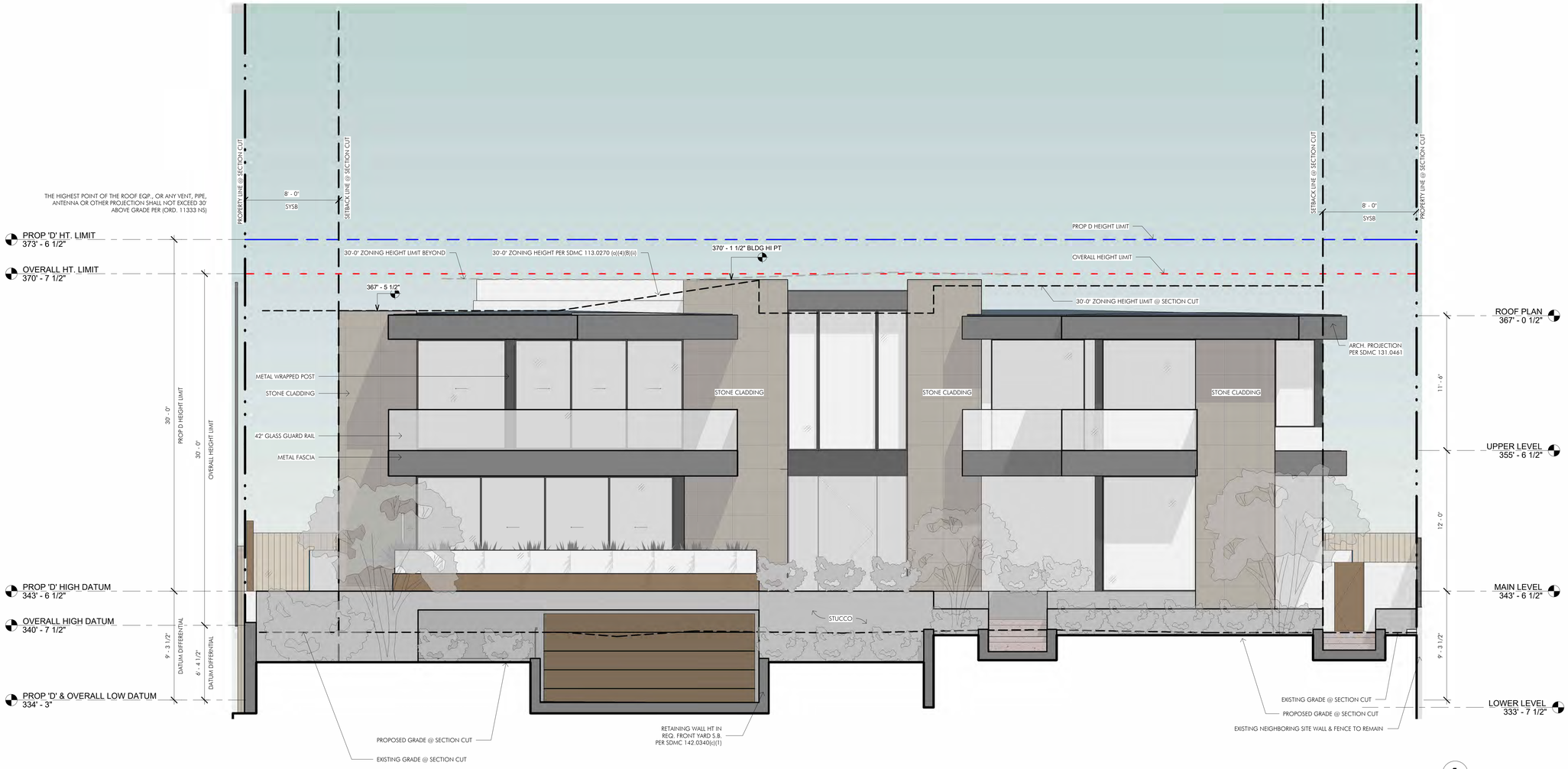
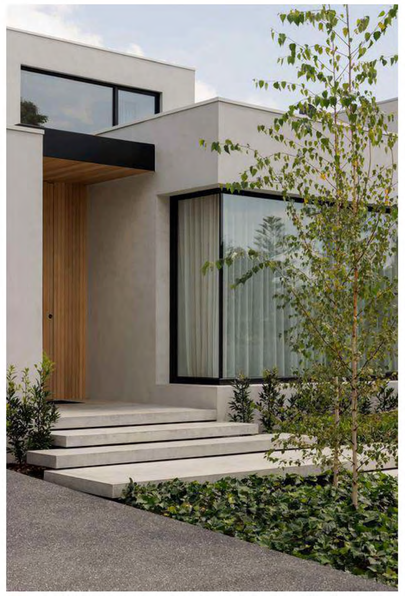
A4.2
EXTERIOR ELEVATIONS
04/01/2026



WEST ELEVATION - MATERIAL PALETTE

1/4" = 1'-0" (1)

MATERIAL AND FORM INSPIRATION



STUCCO, WDW & DR, WOOD MATERIAL INSPIRATION

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- OVERALL ZONING HEIGHT LIMIT
- PROP D HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT BEYOND
- PROPOSED GRADE

CITY STANDARD TITLE BLOCK

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Sheet Title:
EXTERIOR ELEVATION MATERIAL PALETTE

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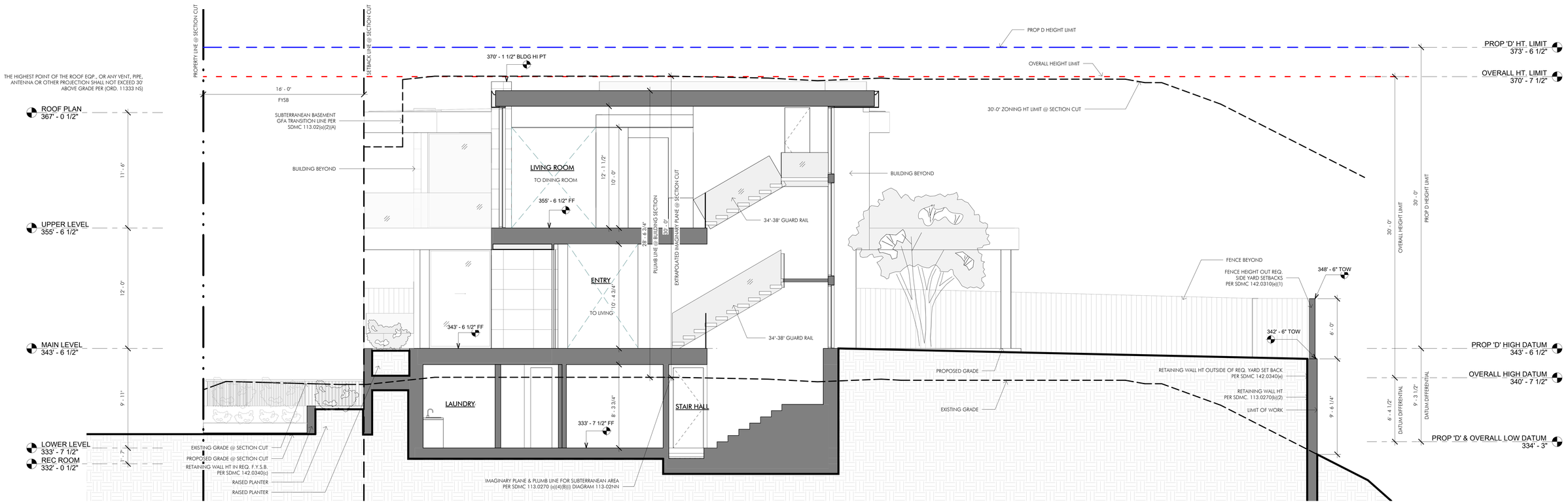
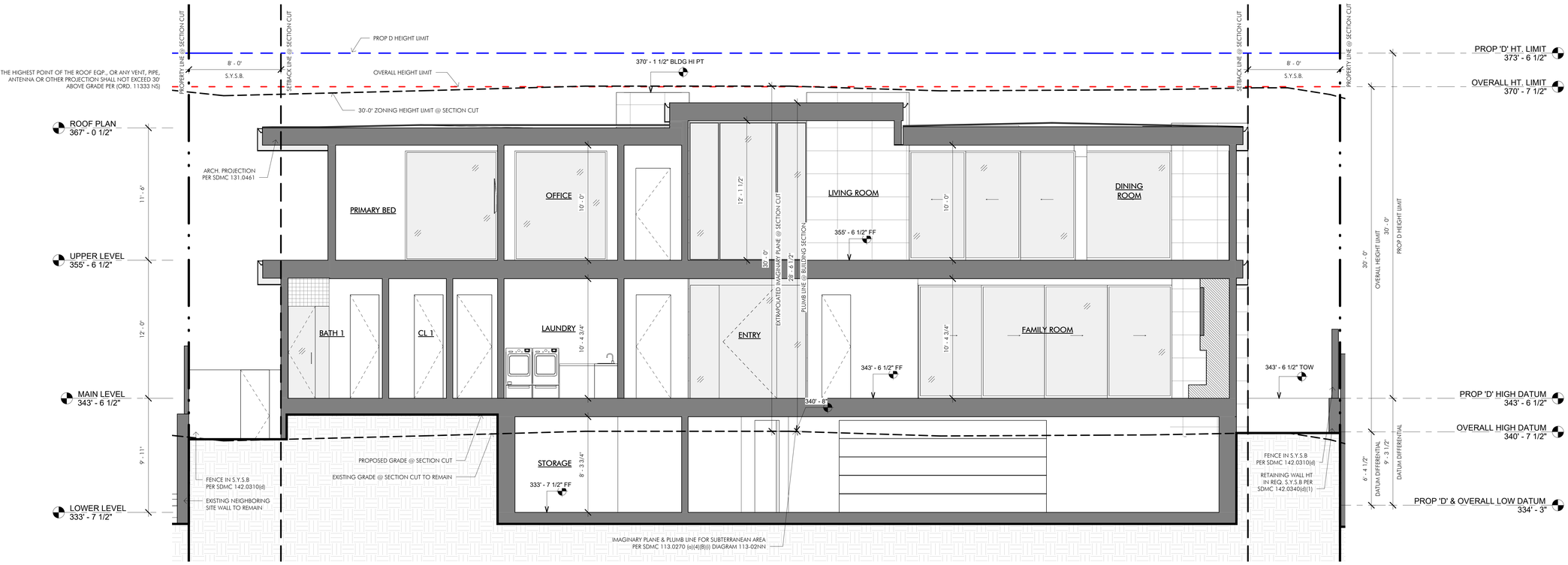
A4.3

EXTERIOR ELEVATION MATERIAL PALETTE
04/01/2026



SECTION 1 1/4" = 1'-0" (1)



SECTION 2 1/4" = 1'-0" (2)

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- OVERALL ZONING HEIGHT LIMIT
- PROP D HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT BEYOND
- PROPOSED GRADE

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Project Name:
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Sheet Title:
BUILDING SECTIONS

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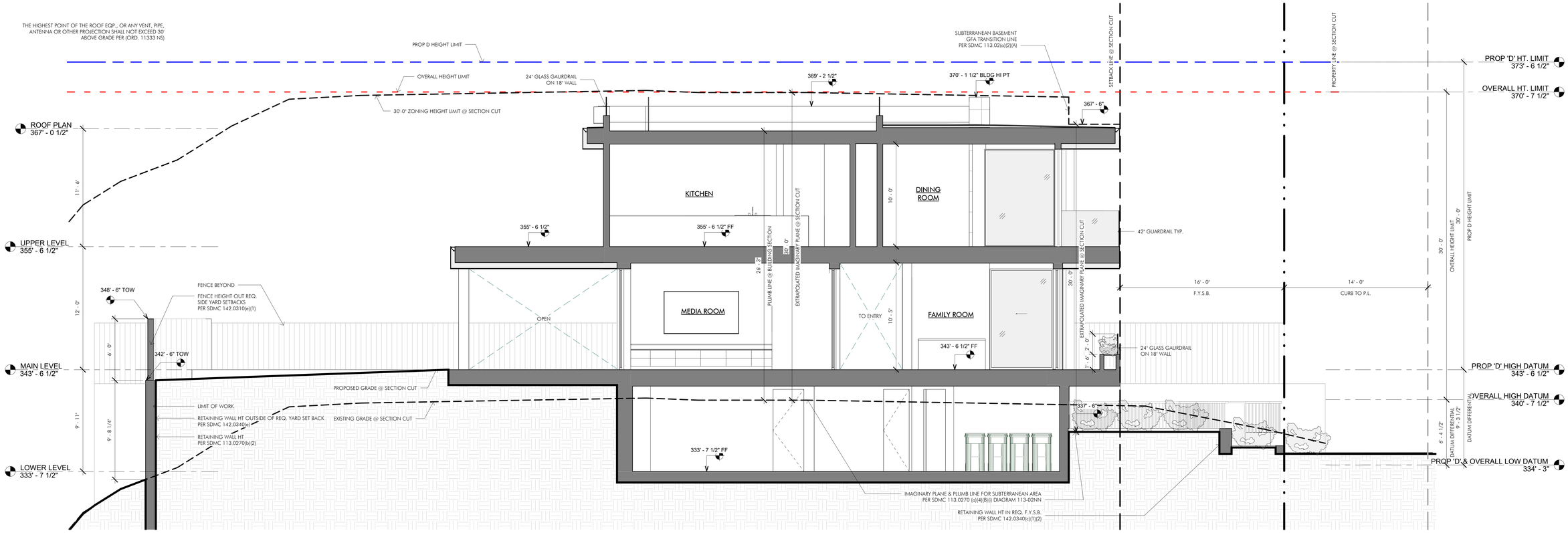
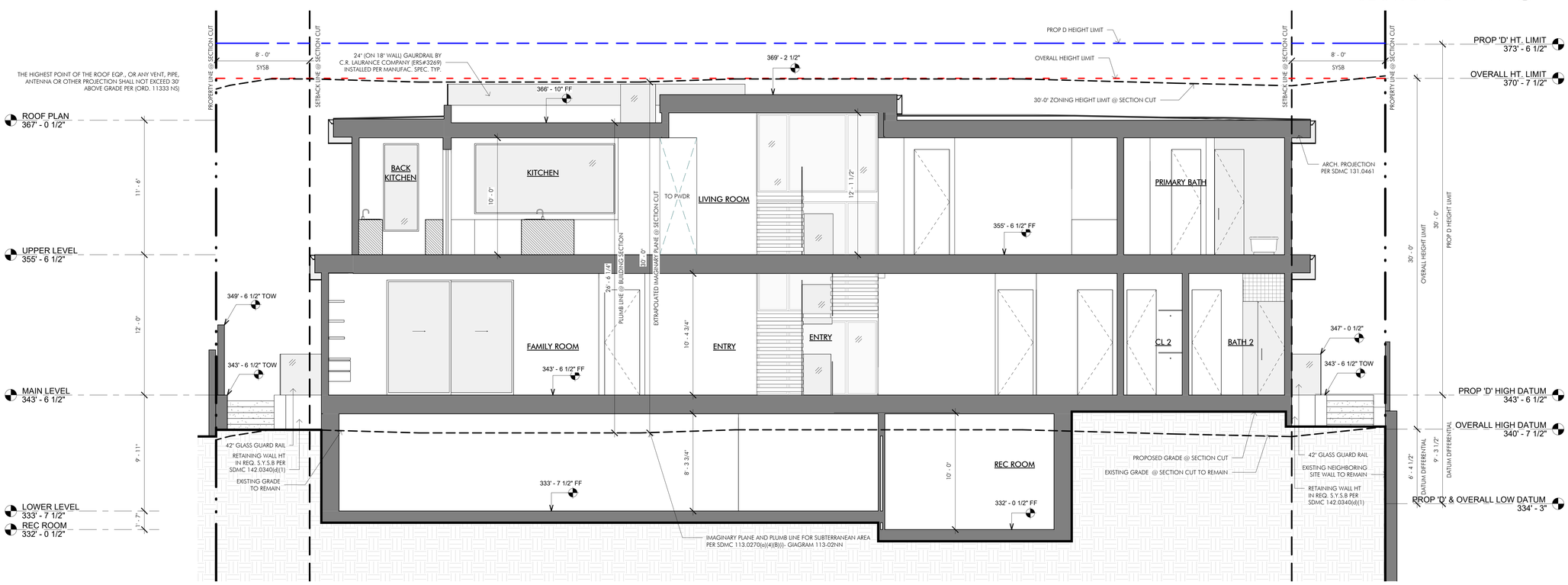
A5.1
BUILDING SECTIONS
04/01/2026



SECTION 3 1/4" = 1'-0" (3)



SECTION 4 1/4" = 1'-0" (4)

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- OVERALL ZONING HEIGHT LIMIT
- PROP D HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT
- 30'-0" ZONING HEIGHT LIMIT BEYOND
- PROPOSED GRADE

CITY STANDARD TITLE BLOCK

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LICENSED ARCHITECT LISA A. KRIEDEMAN NO. 2506 STATE OF CALIFORNIA
NOT FOR CONSTRUCTION
APR 30, 21

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A5.2
BUILDING SECTIONS
04/01/2026