



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 29, 2026 REPORT NO. HO-26-045

HEARING DATE: August 5, 2026

SUBJECT: 8151 Calle Del Cielo, Process Three Decision

PROJECT NUMBER: [PRJ-1102311](#)

OWNER/APPLICANT: Mark Laska, Owner / Applicant

SUMMARY:

Issue: Should the Hearing Officer approve the construction of a 1,214-square-foot (sf) two-story addition, consisting of a 482-sf attached two-car garage and a 732-sf accessory dwelling unit (ADU), and associated site improvements on a 0.46-acre site with an existing single-dwelling unit with an attached junior accessory dwelling unit (JADU) located at [8151 Calle Del Cielo](#) within the [La Jolla Community Plan and Local Coastal Program](#) area.

Proposed Actions:

1. APPROVE [Site Development Permit No. PMT-3309019](#).

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project would result in the addition of an allowed ADU and would contribute to the City's housing stock and help address the City's Regional Housing Needs Assessment goal.

Community Planning Group Recommendations: On March 6, 2025, the La Jolla Community Planning Association (LJCPA) voted to APPROVE the project on the consent agenda, 16-0-1 (Attachment 7).

La Jolla Shores Planned District Advisory Board (LJSPDAB) Recommendation: On February 18, 2026, the LJSPDAB made a motion to recommend the project with a vote of 4-0-0 (Attachment 6). The LJSPDAB comments included:

- Concern regarding how close the addition is to the slope
- Concern regarding the retaining wall that needs refortification and the new retaining wall planned for construction

- Concern regarding brush management and the possible implementation of Zone 0 regulations
- Notice to the applicant that the notice on-site needs to remain established and visible for the entirety of the project

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures. The environmental determination was made on April 30, 2026, and the opportunity to appeal that determination ended on May 14, 2026. There was no appeal filed within the appeal period for the environmental determination of exemption. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 0.46-acre site is located at [8151 Calle Del Cielo](#), approximately one-half mile east of the Pacific Ocean (Attachment 1). The project site is located in the LJSPD-SF (La Jolla Shores Planned District - Single-Family) zone, the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, the Very High Fire Hazard Severity Zone (VHFSZ) within the La Jolla Community Plan and Local Coastal Program (LJCP) area.

The existing dwelling unit was constructed in 1959. Staff performed a historic resources assessment of the project site and determined that neither the site nor the structures on the site meet the requirements for local designation as a significant historic resource. The surrounding neighborhood consists of single- and two-story single-dwelling units. The previously developed portion of the site is a relatively level building pad that supports the existing improvements. An engineered slope up to approximately 20 feet in height ascends from Calle del Cielo to the pad, and a series of engineered slopes and level terraces ascend about 45 feet from the eastern edge of the building pad to the site's eastern property line. The engineered slopes have approximate inclinations of 1:1 to 1½:1 (horizontal to vertical). The elevation of the relatively level building pad and area of the proposed garage and accessory dwelling unit (ADU) site is approximately 148 feet above mean sea level (AMSL).

DISCUSSION

The project proposes the construction of a 1,214-sf two-story addition, including a 482-sf attached two-car garage, an attached 662-sf second-floor accessory dwelling unit (ADU) with a 70-sf first-floor ADU entry, a retaining wall along the southern wall of the proposed addition, and associated site improvements. (Attachment 10). Figure 16 of the LJCP designates the site for Very Low-Density Residential land use which allows a density range of zero to five dwelling units per acre (0-5 DU/AC). This density range is characterized by large, single-dwelling unit estate homes built on 10,000 to 40,000 sf parcels with steep slopes and/or open space areas (LJCP, pg. 75). The proposed project is consistent with the prescribed land use and density by maintaining a single dwelling unit with an allowed JADU and proposing a two-story addition for an attached two-car garage and an allowed ADU on the second floor of the proposed addition. Within the LJSPD-SF zone ADUs are allowed in accordance with SDMC Section 1510.0303(c). The Community Character policies of the Residential

Element of the LJCP encourage new development promote good design and harmony within the visual relationships and transitions between new and older structures.

The project site is regulated by the La Jolla Shores Planned District Ordinance (LJSPDO) found in [SDMC Chapter 15](#), Article 10, Divisions 1 through 4, which implements the objectives and proposals of the General Plan for the City of San Diego and the LJCP, and further regulates the development of land within La Jolla Shores. The LJSPD-SF zone does not enforce prescriptive setbacks but instead mandates development to generally conform to the building setbacks within 300 feet of the site. The applicant provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site which included 25 buildings and a tennis court. The survey revealed the following information:

Requirement	300-Foot Average	300-Foot Range	Project
Lot Size	22,109 sf	19,602 sf to 42,253 sf	20,100 sf (existing)
Front Setback	12.44 feet	6 feet to 24 feet	20 feet
Side Setback	4.86 feet	3 feet to 12 feet	4 feet
Rear Setback	22.16 feet	4 feet to 44 feet	44 feet
Gross Floor Area	5,034 sf	2,745 sf to 10,470 sf	4,777 sf
Floor Area Ratio	0.23	0.11 to 0.52	0.24

The proposed two-story addition will be approximately 21 feet, five inches tall in conformance with the 30-foot coastal height limit and [SDMC Section 1510.0304\(c\)](#). [SDMC Section 1510.0304\(d\)](#) limits lot coverage to 60 percent of the lot; the project proposes 21 percent. [SDMC Section 1510.0304\(h\)\(1\)](#) requires that at a minimum of 30 percent of the total parcel area be landscaped; the project proposes 61.5 percent.

The neighborhood survey shows that the project conforms to the scale, mass, and height of surrounding properties. Furthermore, the proposed addition would conform to the community character by proposing building articulation with the proposed two-story addition at the southern end of the existing dwelling unit, with bulk and scale consistent with that of dwelling units within the established neighborhood, which consist of single-story and two-story dwelling units. The project would also support the City of San Diego General Plan's Housing Element Goal 2, Objective G: "repair and maintain the existing housing stock" (HE-66) by providing a new two-car garage for the existing dwelling unit and contributing a new ADU within the second floor of the proposed addition developed in accordance with the applicable regulations.

Required Actions

A Process 3 Site Development Permit is required for projects that propose development within the La Jolla Shores Planned District and are not determined to be minor in scope, per [SDMC Section 1510.0201\(d\)](#).

The decision to approve, conditionally approve, or deny the project shall be made by the Hearing Officer, and the decision is appealable to the Planning Commission.

Project-Related Issues:

FIRE HAZARDS

The City of San Diego has identified a risk of fire hazards due to the potential for fuel growth in sloped areas located in the eastern portion of the site. The Project site is located within the Very High Fire Hazard Severity Zone (VHFHSZ) and within the Fire Brush Management 100-foot Buffer Zone. Brush management is typically required on all premises that propose structures that are within 100 feet of native or naturalized vegetation. The Project site is surrounded by urban development and implementation of the Project would incorporate standard fire safety features and construct buildings in compliance with the fire regulations in the California Building Code (CBC) and the City's Brush Management Regulations. Additionally, the Project would reduce unmaintained brush areas on the Project site. Therefore, the Project would not expose people or structures to a significant risk of loss, injury, or death involving wildland fires.

Conclusion:

This proposed project is designed to comply with the development regulations of the LJSPD-SF zone, and the [La Jolla Community Plan and Local Coastal Program](#). Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommend that the Hearing Officer APPROVE [Site Development Permit No. PMT-3309019](#) as proposed.

ALTERNATIVES

1. APPROVE [Site Development Permit No. PMT-3309019](#), with modifications.
2. DENY [Site Development Permit No. PMT-3309019](#), if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'M. Mendez', is written over a horizontal line.

Martin R. Mendez
Development Project Manager

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. La Jolla Shores Planned District Ordinance Advisory Board Recommendation

7. La Jolla Community Planning Association Recommendation
8. Environmental Notice of Right to Appeal
9. Ownership Disclosure Statement
10. Project Plans

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Project Location

8151 Calle Del Cielo
Project No. PRJ-1102311

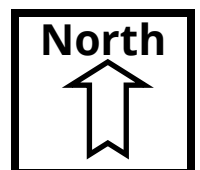
North

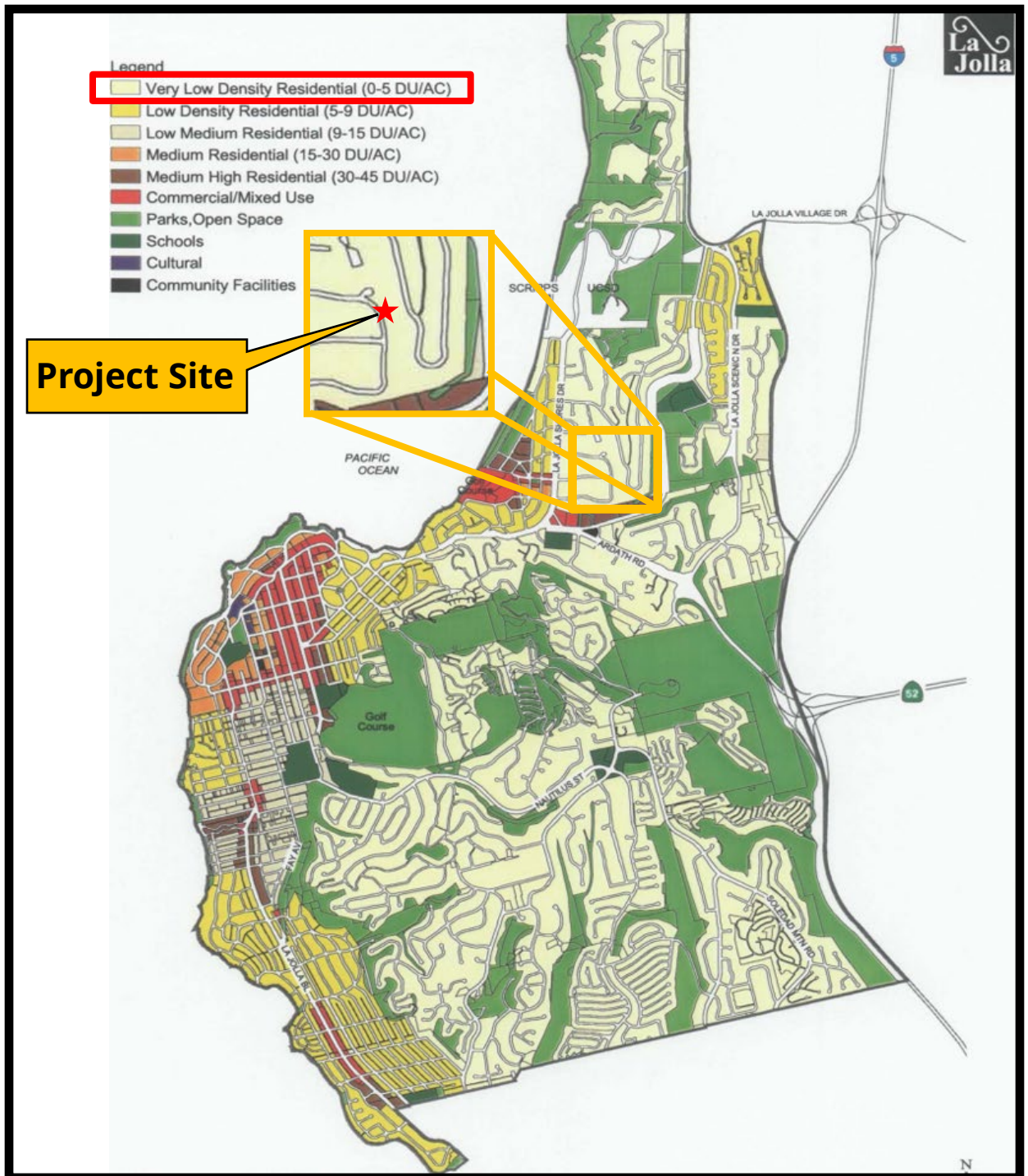




Aerial Photo

8151 Calle Del Cielo
Project No. PRJ-1102311





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HEARING OFFICER

RESOLUTION NUMBER _____

DATE OF FINAL PASSAGE _____

SITE DEVELOPMENT PERMIT NO. PMT-3309019
8151 CALLE DEL CIELO - PROJECT NO. PRJ-1102311

RECITALS

The Hearing Officer of the City of San Diego adopts this Resolution based on the following:

A. MARK LASKA, Owner/Permittee, submitted an application to the City of San Diego for a Site Development Permit for a proposed 1,214-square-foot (sf) two-story addition for a 482-sf attached two-car garage, an attached 662-sf second floor accessory dwelling unit (ADU) with a 70-sf first floor ADU entry, a retaining wall approximately 36 feet in length and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval), for the 8151 Calle Del Cielo project.

B. The 0.46-acre site is located at 8151 Calle Del Cielo in the LJSPD-SF (La Jolla Shores Planned District – Single Family), the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, a Very High Fire Hazard Severity Zone (VHFSZ) and within the La Jolla Community Plan and Local Coastal Program (LJCP) area. The project site is legally described as LOT 26, LA JOLLA DEL NORTE UNIT 2, MAP NO. 3469.

C. On April 30, 2026, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 New Construction or Conversion of Small Structures and there

was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

D. On August 5, 2026, the Hearing Officer considered Site Development Permit No. PMT-3309019 pursuant to the Land Development Code of the City of San Diego.

ACTION ITEMS

Be it resolved by the Hearing Officer of the City of San Diego:

1. The Hearing Officer adopts the following findings with respect to Site Development Permit No. PMT-3309019:

A. SITE DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0505]

I. The proposed development will not adversely affect the applicable land use plan.

The project site has an existing 3,563-square-foot single dwelling unit with an attached junior accessory dwelling unit (JADU), driveway, site retaining walls, and associated improvements to remain. The previously developed portion of the site is a relatively level building pad that supports the existing improvements. An engineered slope up to approximately 20 feet in height ascends from Calle del Cielo to the existing building pad, and a series of engineered slopes and level terraces ascend about 45 feet from the eastern edge of the building pad to the site's eastern property line. The engineered slopes have approximate inclinations of 1:1 to 1½:1 (horizontal to vertical). The elevation of the relatively level building pad and area of the proposed garage and accessory dwelling unit (ADU) site is approximately 148 feet above mean sea level (AMSL).

The proposed project would include the construction of a 1,214-sf two-story addition resulting in a 4,777-sf dwelling unit (DU). The proposed addition would include a 482-sf attached two-car garage, an attached 662-sf second-floor ADU with a 70-sf first-floor ADU entry, a retaining wall along the southern wall of the proposed addition, and associated site improvements. The 0.46-acre site is located at 8151 Calle Del Cielo within the LJSPD-SF (La Jolla Shores Planned District – Single Family) zone within the La Jolla Community Plan and Local Coastal Program (LJCP) area. Additionally, the project site is within the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, and a Very High Fire Hazard Severity Zone (VHFSZ).

Figure 16 of the LJCP designates the site for Very Low-Density Residential land use which allows a density range between zero to five dwelling units per acre (0-5

DU/AC). This density range is characterized by large, single-dwelling unit estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas (LJCP, pg. 75). The proposed project is consistent with the prescribed land use and density by maintaining a single dwelling unit with an allowed JADU and proposing a two-story addition for an attached two-car garage and an allowed ADU on the second floor of the proposed addition. Within the LJSPD-SF zone ADUs are allowed in accordance with SDMC Section 1510.0303(c). The Community Character Policies of the Residential Element for the LJCP advocate for new development to avoid extreme changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures.

The project supports the following LJCP recommendations for residential land uses (pgs. 70, 75 - 77):

1. Designation of Residential Densities:

Ensure that proposed new development is constructed within the density range identified for the project site (pg. 75). Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density (pg.70).

The project maintains the existing land use of one dwelling unit on one lot in a single dwelling unit zone and plan designation. ADUs are not subject to the density limitations of the base zone for the premises. Although the La Jolla Shores Planned District (LJSPD) Ordinance does not contain quantifiable development standards for building setbacks, and lot size, the project will conform to the "character of the area and design principles" in accordance with SDMC Section 1510.0304(b)(4), as described in Finding A.III below and incorporated herein by reference.

2. Community Character:

- a. In order to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and harmony within the visual harmony in the transitions between new and older structures, preserve the following elements:

1) Bulk and scale – with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space.

The project proposes a two-story structure for the proposed addition, and the existing portion of the structure shall be maintained as a single-story structure. The proposed project would be consistent in bulk and scale with existing single-story and two-story residential development within the established neighborhood. The proposed structure includes building

articulation, including a cantilevered balcony for the second-floor ADU and a roof complementary to the existing roof. The proposed building design is consistent with the established design of the existing residential dwelling unit, with building materials and finishes matching the existing dwelling unit. The architectural form and mass are consistent with the established neighborhood character and provide for a complementary transition with the surrounding dwelling units.

2) Street landscape: with regard to size and shape or generalized type of planting materials.

The project proposes maintaining the existing and established street landscaping, including two existing street trees. The project would be conditioned to protect existing landscaping during and after construction, in accordance with the City of San Diego landscape standards and guidelines of the LJCP.

3) Hardscapes – with regard to pavement types, patterns or lack of patterns, colors, widths, colors and contours.

The project proposes pavement types, patterns and colors that are consistent with the City of San Diego regulations for Permeable and Nonpermeable surfaces and consistent with the pavement within the established neighborhood.

4) Street fixtures – with regard to type, size and location (street light fixtures, benches, street signage).

The proposed project design does not include any street fixtures, benches or street signs.

5) Site fixtures – with regard to height, type, material and location (fences, walls, retaining walls, curb cuts and driveways).

The proposed project includes a retaining wall on the southern side of the two-story structure, with colors and finishes consistent with the existing walls on the project site. The existing curb cut and concrete driveway shall remain in place.

6) Curbs, gutters and street pavements – with regard to types and materials.

The existing curb and gutters shall remain and be protected in place.

7) Public physical and visual access as identified in Figure 9 and Appendix G.

The proposed project site does not provide physical access to the coast because it is located approximately half a mile east of the shore, outside of

any Physical Access Subarea as defined on Figure 6 of the LJCP (LJCP, pg. 23). Although Calle Del Cielo has coastal views from portions of the public right of way the LJCP does not identify any Public Vantage Point for Intermittent or Partial Vista (Figure 9, pg. 35-36). The project would protect public views by conforming with the required Coastal Height Limit by proposing a two-story addition with a height of approximately twenty-one feet, five inches (21'-5") where the Coastal Height Limit is thirty feet (30'-0") and would also be in conformance with the plumb line height, the overall height, and Proposition D height as stipulated in SDMC section 113.0270, and Technical Bulletin BLDG-5-4.

- b. In order to regulate the scale of new development, apply development regulations to all residential properties in La Jolla that proportionally relate the building envelope to the existing lot dimensions. Apply minimum side and rear yard setback requirements that separate structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way. Side yard setbacks should be incrementally increased for wider lots.

As described in Finding A.III below and incorporated herein by reference, the proposed project would provide setbacks that are similar to those of the established neighborhood and would be in conformance with the applicable LJSPDO regulations.

Furthermore, the proposed addition would conform to the Community Character by proposing building articulation with the proposed two-story addition at the southern end of the existing dwelling unit, with bulk and scale that is consistent with that of dwelling units within the established neighborhood, which consist of single-story and two-story dwelling units. The project would also support the City of San Diego General Plan's Housing Element Goal 2, Objective G: "repair and maintain the existing housing stock" (HE-66) by providing a new two-car garage for the existing dwelling unit and contributing a new ADU within the second floor of the proposed addition developed in accordance with the current building codes and regulations. Therefore, by proposing development consistent with the regulations of the applicable land use plan and the land development code, the proposed project will not adversely affect the applicable land use plan.

II. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed project is described in Finding A.I above, incorporated herein by reference. The project site contains an existing dwelling unit with an allowed JADU within an established residential neighborhood. A geotechnical investigation report, prepared by Christian Wheeler Engineering on July 3, 2024, was submitted for the proposed project. As described in the geotechnical investigation report, the project site is located in Geologic Hazard Category 26 and in an area that is relatively free of

geologic hazards. The most likely geologic hazard affecting the site is ground shaking from seismic activity along one of the regional active faults.

The proposed project, as part of the permit conditions of approval, would be required to conform to the regulations of the Land Development Code (LDC), including those adopted to protect public health, safety and welfare. Permit requirements include, but are not limited to:

1. Submitting a Water Pollution Control Plan prepared in accordance with the City's Construction Best Management Practices (BMPs) and Storm Water Standards;
2. Entering into an Encroachment Maintenance Removal Agreement (EMRA) for all private improvements, including pavers, landscaping and irrigation within the Calle Del Cielo public right-of-way;
3. Maintenance of all landscape improvements; and
4. All private water and sewer facilities shall be designed to meet the requirements of the current version of the California Plumbing Code.

The proposed development will implement geotechnical recommendations and building construction standards, as they apply to site stabilization, including needed slope protection and site retaining walls, as well as building support standards for the geologic setting of the project site. The project would be required to comply with the City's Stormwater Standards to ensure that any on-site runoff is properly treated during and post-construction phases. Construction BMPs will be implemented for sediment and erosion control, fugitive dust suppression, trash control, and spill prevention.

The project site is located within the Very High Fire Hazard Severity Zone, and the proposed project would include a Brush Management Plan, as shown within Exhibit "A," to control the risk of fire from the undeveloped area at the easterly sloped portion of the site. During and after construction, the project will be required to conform to the requirements of this permit, all applicable land development codes and building codes designed to protect the public health, safety, and welfare of the community, including but not limited to the California Building Code, California Fire Code, the City of San Diego stormwater regulations, and all applicable regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

III. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project is described in Findings A.I and A.II above, incorporated herein by reference. The proposed project is located within the previously developed portions of the project site.

The project site is regulated by the La Jolla Shores Planned District Ordinance (LJSPDO) found in SDMC Chapter 15, Article 10, Divisions 1 through 4, which implements the objectives and proposals of the General Plan for the City of San Diego and the LJCP, and further regulates the development of land within La Jolla Shores. The LJSPD-SF zone does not enforce prescriptive setbacks; instead, it mandates that development generally conform to the building setbacks within 300 feet of the site. The applicant provided a survey containing lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site which included 25 buildings and a tennis court. The survey revealed the following information:

Requirement	300-Foot Average	300-Foot Range	Project
Lot Size	22,109 sf	19,602 sf to 42,253 sf	20,100 sf (existing)
Front Setback	12.44 feet	6 feet to 24 feet	20 feet
Side Setback	4.86 feet	3 feet to 12 feet	4 feet
Rear Setback	22.16 feet	4 feet to 44 feet	44 feet
Gross Floor Area	5,034 sf	2,745 sf to 10,470 sf	4,777 sf
Floor Area Ratio	0.23	0.11 to 0.52	0.24

The proposed two-story addition will be approximately 21 feet, five inches tall in conformance with the 30-foot coastal height limit and SDMC Section 1510.0304(c), and would also be in conformance with the plumb line height, the overall height, Proposition D height as stipulated in SDMC section 113.0270, and Technical Bulletin BLDG-5-4. SDMC Section 1510.0304(d) limits lot coverage to 60 percent of the lot; the project proposes 21 percent. SDMC Section 1510.0304(h)(1) requires that at a minimum of 30 percent of the total parcel area be landscaped; the project proposes 61.5 percent.

The survey of the surrounding neighborhood shows that the project conforms to the scale, mass, and height of surrounding properties and is in conformance with SDMC regulations for density, setbacks, FAR, and coastal height.

In accordance with Table 131-04J, the maximum Floor Area Ratio (FAR) allowed for the property is 0.45 (allowing a 9,045-sf DU) where the project proposes an FAR of 0.24 (proposed 4,777-sf DU) on a 20,100-square-foot site. The proposed addition would incorporate a stucco finish and color to match the finish of the existing structure, a pitched roof that compliments the existing roof design and roofing type, doors and windows that match the existing dwelling unit in accordance with the General Design Regulations of the LJSPDO. All existing trees fronting the property along the Calle Del Cielo Right-of-Way are to remain and be protected in-place.

According to County building records, the existing dwelling unit was constructed in 1959. Staff performed a historic resources assessment for subject property and determined that it does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria pursuant to SMDC Section 143.0212. No variances or deviations to any Land Development Code regulation are proposed. Therefore, the project complies with the General Design and Single-Family Zone Development Regulations as specified in the LJSPD Ordinance relating to Single-Family Zone development, and the proposed development complies with the applicable regulations of the Land Development Code.

2. The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated by this reference.

3. Based on these findings adopted by the Hearing Officer, Site Development Permit No. PMT-3309019 is granted by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Site Development Permit No. PMT-3309019, a copy of which is attached to and made a part of this Resolution by this reference.

Martin R. Mendez
Development Project Manager
Development Services

Adopted on: August 5, 2026

IO#: 24009677

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
DSD-1A

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION DSD-1A

INTERNAL ORDER NUMBER: 24009677

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3309019
8151 CALLE DEL CIELO - PROJECT NO. PRJ-1102311
HEARING OFFICER

This Site Development Permit No. PMT-3309019 is granted by the Hearing Officer of the City of San Diego to MARK LASKA, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0505 and 1510.0201. The 0.46-acre site is located at 8151 Calle Del Cielo, in the LJSPD-SF (La Jolla Shores Planned District - Single-Family) zone, the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, the Very High Fire Hazard Severity Zone (VHFSZ) within the La Jolla Community Plan and Local Coastal Program (LJCP) area. The project site is legally described as: LOT 26, LA JOLLA DEL NORTE UNIT 2, MAP NO. 3469.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/ Permittee for the construction of a 1,214-square-foot (sf) two-story addition, consisting of a 482- sf attached two-car garage, an attached 662-sf second floor accessory dwelling unit (ADU) with a 70-sf first floor ADU entry, and associated site improvements on a site with an existing single-dwelling unit with an attached junior accessory dwelling unit (JADU), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 5, 2026, on file in the Development Services Department.

The project shall include:

- a. An existing 3,563 sf single dwelling unit with an attached JADU to remain;
- b. A proposed 1,214-sf two-story addition to include a 482-sf attached two-car garage, an attached 662 sf second floor ADU with a 70 sf first floor ADU entry;
- c. Landscaping (planting, irrigation and landscape-related improvements);
- d. Off-street parking;
- e. A retaining wall adjacent to the southern property line with an approximate length of 36 feet; and

- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 20, 2029.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) for the pavers, landscape and irrigation located within the City's right-of-way (ROW), satisfactory to the City Engineer.

12. The project proposes exporting 7.26 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
16. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No.2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.
17. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual.
18. Prior to the issuance of any building permit, the Owner/Permittee shall ensure that the project complies with Area of Special Biological Significance (ASBS) requirements.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree that is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A" the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access, whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.
21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right of way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscaping shall be maintained in accordance with the Landscape Standards in a

disease, weed, and litter-free condition at all times. Severe pruning or topping of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

23. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

24. The Brush Management Program shall be based on the standard Zone widths, taking the existing conditions into account, exercising the Zone Two reduction option and Alternative Compliance measures set forth under SDMC Sections §142.0412(f), §142.0412(i), and §142.0412(j). Zone One shall range from 45 feet to 56 feet in width with a corresponding Zone Two of 7 feet to 9 feet in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit "A". Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, plus a 10-foot perpendicular return along adjacent wall faces, shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.

25. Prior to issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A".

26. Prior to issuance of any construction permit for building, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

27. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area, subject to the Fire Marshal's approval.

28. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

31. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

32. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

33. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, a minimum of three feet (3'-0") away from the flail of the driveway, within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

34. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

35. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, to terminate the existing water service within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

36. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new sewer service outside of any driveway or drive aisle and the abandonment of any existing unused sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or commence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 5

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 5, 2026, and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Site Development Permit No. PMT-3309019
Date of Approval: August 5, 2026

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martin R. Mendez
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By _____
Mark Laska
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD MEETING MINUTES FROM:

WEDNESDAY, February 18, 2026

Item 1: CALL TO ORDER

Board Member Sherri Lightner called the meeting to order at 10:00 a.m.

Item 2: ROLL CALL

Members Present: Sherri Lightner, Kathleen Neil, Suzanne Weissman, and Philip Wise.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Matthew Nasrallah, Associate Planner, City Planning Department.

Item 3: APPROVAL OF THE AGENDA

Motion to approve the agenda by Board Member Weissman, seconded by Board Member Wise. Agenda approved 4-0-0.

Item 4: APPROVAL OF THE MINUTES from November 19, 2025.

Motion to approve the minutes with changes by Board Member Wise, seconded by Board Member Weissman. Minutes approved 4-0-0.

Item 5: BOARD MEMBER COMMENT

Board Member Lightner explained that Board Member Potter and herself were able to meet with Council President Joe La Cava about Item 104 of the Land Development Code Update. Since the meeting, they have sent a few follow-up emails to the council president's office. Based on the meetings the board members had with council staff, they learned the item was not brought to the attention of the council president and his office. The proposed language is an improvement over the previous draft, but it's still not what the Advisory Board considers ideal.

Item 6: STAFF LIAISON COMMENT

Staff Liaison Garcia reminded the Advisory Board to e-file their Form 700, and noted that they should receive a confirmation email that they've filed once the form has been completed.

Item 7: NON-AGENDA PUBLIC COMMENT
No public comment was provided.

Item 8: **PRJ-1147772 – 2255 Paseo Dorado (ACTION ITEM)**

First and second floor addition to the existing one-story residence with attached 3-car garage. Interior remodel of kitchen, living room, laundry and powder bath. The applicant is seeking a recommendation that the Project is minor in scope.

Eric Buchanan of Oasis Architecture & Design, Inc. presented the item.

Public Comment:

No public comment was provided.

Board Comment included:

- Concern that a 40% FAR increase is not minor in scope
- Concern that the groundwork and grading would consist of major renovations
- Concern that the new garage is planned to be quite close to the adjacent neighbor and may encroach on their privacy
- Concern that there would not be enough notice to neighbors if the project is designated as a Process 1

Board Motion: The LJSPDAB moved to recommend that the project is not Minor in Scope, as it surpasses the minimum threshold. Motion made by Board Member Neil, seconded by Board Member Wise. Motion approved 4-0-0.

Item 9: **PRJ-1139063 – 7872 Esterel Drive (ACTION ITEM)**

Addition and remodel of the existing one-story single dwelling unit of 3,524 square feet over a basement. Includes addition of 35 square feet to the ground level, addition of 1,636 square feet to the existing basement and a new lower level basement of 1,391 square feet. The applicant is seeking a recommendation of approval of a Site Development Permit (SDP).

Sara Carpenter of Architect Mark, D. Lyon, Inc. presented the item.

Public Comment:

No public comment was provided.

Board Comment included:

- Concern regarding grading and the number of trucks that will be present during construction

- Suggestion to have a traffic control plan to implement during construction
- Support for the applicant's overall goal to designate the site as a historical property

Board Motion: The LJSPDAB moved to recommend the project as presented for a Site Development Permit. Motion made by Board Member Neil, seconded by Board Member Wise. Motion approved 4-0-0.

Item 10: **PRJ-1102311 – 8151 Calle Del Cielo (ACTION ITEM)**

Construction of a new attached 2-car garage with an Accessory Dwelling Unit (ADU) above. The applicant is seeking a recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP).

Audrey Ruland of Ruland Design Group presented the request.

Public Comment:

No public comment was provided.

Board Comment included:

- Concern regarding how close the addition is to the slope
- Concern regarding the retaining wall that needs refortification and the new retaining wall planned for construction
- Concern regarding brush management and the possible implementation of Zone 0 regulations
- Notice to the applicant that the notice on-site needs to remain established and visible for the entirety of the project

Board Motion: The LJSPDAB moved to recommend the project, as presented, for a Site Development Permit and a Coastal Development Permit. Motion made by Board Member Weissman, seconded by Board Member Wise. Motion approved 4-0-0.

Item 11: **ADJOURNMENT**

Next meeting: Wednesday, March 18, 2026. The meeting concluded at 11:25 a.m.

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Page 3	City of San Diego • Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form
Project Name: 8151 Calle del Cielo		Project Number: 1102311	
Community: La Jolla			
For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO. Select "Search for Project Status" and input the Project Number to access project information.			
☒ Vote to Approve ☐ Vote to Approve with Conditions Listed Below ☐ Vote to Approve with Non-Binding Recommendations Listed Below ☐ Vote to Deny			Date of Vote: March 06, 2025
# of Members Yes 16	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations:			
☐ No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: ADRIAN FERAL			
TITLE: SECRETARY		DATE: April 02, 2026	

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



La Jolla Community Planning Association

PO Box 889, La Jolla CA 92038
<https://lajollacpa.org>
info@lajollacpa.org

Member & Trustee Meetings
6 March 2025, ~6:15 pm
● La Jolla Recreation Center ●
615 Prospect, La Jolla

President: Harry Bubbins
 Vice Presidents: Parick Ahern,
 Glen Rasmussen
 Secretary: Adrian Feral
 Treasurer: Lisa Kriedeman

Regular monthly meetings: 1st Thursday. Refer to projects or issues, not to applicants or opponents. For **action** items, chair calls on public, then Trustees, closes discussion upon consensus, and calls for motions. Trustees vote by acclamation, roll call, or show of hands. The public is encouraged to participate in Committee/Board meetings before LJCPA discussion:

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Andy Fotsch, 3rd Thursday, 4:00 pm

T&T – Traffic & Transportation Board, Chair Erik Gantzel, 3rd Tuesday, 4:00 pm

Meeting starts ~6:15pm so that tables, chairs, and so forth can be set up

Member Meeting (Quorum Met: 37 members in attendance at meeting start)

- 1. Approve Agenda**
 Motion Weiss/ Courtney : Approved
- 2. Approve Minutes**
 Motion Kriedeman /Feral : Approved
- 3. Non Agenda Public Comments**
- 4. Amendments to Bylaws and Operating Procedures**

A presentation by Trustee Jackson was made to the membership discussing the proposed Bylaw and Operating procedure updates brought forth by the trustees efforts in previous meetings. They were title A,B,C,D,E A was to enable Hybrid /virtual meetings;B was to create a backup mechanism to update bylaws ; C was to require third party advocates to identify themselves at meetings; D was to implement Quotas for Trustee makeup ; and E to change the rules that Consent Agenda is approved, pulled, or denied. After a lengthy discussion , several straw show of hand approvals on items discussed directed by President Bubbins. Discussion ensued addressing member concerns and motion and roll call vote was had. Motion brought by Trustee Weiss to approve measures A, B, C; Reject measure D and table Measure E for future consideration by committee. The motion was seconded by Trustee Rasmussen and approved with a 37 “yes” vote , and 2 “no” vote.

The meeting was ended with the announcement of the Election Results. The elected trustees are : Kevin Leon, Amber Pleiss, Mary Soriano, Tom Brady, Greg Jackson, Brian Williams.

*****Edit per Minutes Approval on April 3rd Meeting Vote: Election results must be included in the minutes*******

**!The meeting was ended with the announcement of the Election Results. The elected trustees are :
 !Kevin Leon (37 Votes) , Amber Pleiss (35Votes), Mary Soriano(38Votes), Tom Brady(42Votes),
 !Greg Jackson(55 Votes), Brian Williams(50Votes).**

Trustee Meeting (Start at Member meeting end)

- 1. Approve Agenda**
Motion Rasmussen / Dye : Approved.
- 2. Approve Minutes**
Motion Williams/Kriedeman : Approved.
- 3. Non-Agenda Trustee Comments**
- 4. Consolidate, Accept, & Adopt Committee Judgments**

4.1. 625 Wrelton (1109781, Khalil)

Applicant & DSD: (Process 3) Coastal Development Permit to amend Coastal Development Permit No. 91- 0400 for remodel and addition to existing two-story single-dwelling unit to become a three-story single dwelling unit consisting of a 186-square-foot first floor addition, 2,074- square-foot second-floor addition, 115-square-foot penthouse, and decks located at 625 Wrelton Drive. The 0.29-acre site is in the RS-1-7 Zone and Coastal (Appealable) Overlay Zone within the La Jolla Community Plan Area. Council District 1. DSD 10/28/24: This project involves a Conditional Use Permit to remodel and add to an existing two-story single dwelling unit with a roof deck and penthouse, including a 186-square-foot first floor addition, 1,676- square-foot second floor addition, 115-square-foot penthouse, and decks. The project site is 0.29 acres in the Low Density Residential Zone and Coastal (Appealable) Overlay Zone within the La Jolla Community Plan Area. The project site is partially in highly sloped land, with slopes higher than 25%. **DPR 11 Feb: REJECT 8-0-1** “Ineligible for 50% exemption because of encroachment by unpermitted construction. Plans do not demonstrate compliance with 30’ height limit. Plans not prepared or presented by licensed architect or engineer, as required for 3 story building. 2nd level encroaches over side setback. Plans appear inconsistent with one another and therefore are unreliable”

4.2 8151 Calle del Cielo (1102311, Baker)

Applicant & DSD: Coastal Development permit for construction of a new 552 sq. ft. attached 2-Car garage with a 662 sq. ft. accessory dwelling unit above and 120 linear feet of new site retaining wall around the perimeter of the new attached garage located at 8151 Calle del Cielo. The 0.46-acre site is in the LJSPD-SF zone, Coastal (non-appealable) Overlay, Coastal Height Limit Overlay of the La Jolla Community area within Council District 1. This development is within the Coastal Overlay zone (NON-APPEALABLE) and the application was filed on November 9, 2023. PRC 20 Feb: **APPROVE 6-0-1**

4.3 San Diego Triathlon Challenge (Hill)

Request for temporary street closures and associated no parking areas in conjunction with triathlon fundraiser for Challenged Athletes Foundation. Proposed for Saturday, October 25 and Sunday, October 26, 2025 T&T 18 Feb: **APPROVE 7-0-0**

4.4 Indian Wedding Baraat (Vyas)

Request for temporary street closure and no parking on a portion of Coast Blvd on

Friday, April 25, 2025, to accommodate a wedding procession ending at La Jolla Cove Hotel and Suites. T&T 18 Feb: **REJECT** original plan, **APPROVE** modified plan 6-1-0

Item 4.1 was pulled by the applicant and not considered for consent.

Motion to approve Consent Agenda : Dye / Feral : Approved

Comments from Elected Officials, Agencies, & Other Entities

- Council 1 (LaCava): Emily Lynch, 619-236-6159 , erlynch@sandiego.gov
- SD Mayor's Office (Gloria): Fatima Maciel, 619-218-7083, FaMaciel@sandiego.gov
- County 3 (Lawson-Remer): Evan Bridgham, 858-285-5243, Evan.Bridgham@sdcounty.ca.gov
- Assembly 77 (Boerner): Andrés Guerts-Barreto, 916-319-2077, andres.guerts@asm.ca.gov
- Senate 38 (Blakespear): Aurora Livingston 760-642-0809, aurora.livingston@sen.ca.gov
- SD International Airport, Ivonne Velazquez, 619-400-2453, ivelazqu@san.org
- SD Planning: Melissa Garcia, 619-236-6173, magarcia@sandiego.gov
- UCSD Planning: Anu Delouri, 858-610-0376, adelouri@ucsd.edu

President Report

Secretary Report

Treasurer Report

Beginning balance January \$2,132.24

February Donations \$62.92

February Expenses (\$283.92)

Ending balance February 12th \$1,911.24

5, Adjourn to Next Trustee Meeting

Location To Be Determined.



THE CITY OF SAN DIEGO

DATE OF NOTICE: April 30, 2026

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009677

PROJECT NAME / NUMBER: 8151 Calle Del Cielo / PRJ-1102311**COMMUNITY PLAN AREA:** La Jolla**COUNCIL DISTRICT:** 1**LOCATION:** 8151 Calle Del Cielo, San Diego, CA 92037

PROJECT DESCRIPTION: The project proposes a Site Development Permit (SDP) for the construction of a new 482-square-foot (sf) attached two-car garage, a two-story 732 sf accessory dwelling unit (ADU), and associated site improvements located on a site with an existing 3,107 sf single-family residence at 8151 Calle Del Cielo. The 0.46-acre site is zoned LJSPD-SF (La Jolla Shores Planned District – Single Family) and located within the La Jolla Community Plan (LJCP) area. Additionally, the project site is within the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact Area), Very High Fire Hazard Severity Zone (VHFSZ), and designated as Very Low Density Residential land use (0 to 5 dwelling units per acre) within the LJCP. **LEGAL DESCRIPTION:** Lot 26, La Jolla Del Norte Unit 2, Map No. 3469.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Section 15303, New Construction or Conversion of Small Structures

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303, which consists of the construction and location of limited numbers of new small facilities or structures. CEQA Section 15303 allows for the construction of up to three single-family residences in urbanized areas, utility extensions of reasonable lengths to serve such construction, and accessory (appurtenant) structures including garages and carports. The project proposes the construction of a new attached two-car

garage and a two-story ADU, and associated improvements. As such, these exemptions were deemed appropriate.

The exceptions outlined in CEQA Guidelines section 15300.2 were reviewed and determined that none apply. The project is not located in an environmentally sensitive area as defined by CEQA section 15300.2(a). The project is expected to have no significant cumulative impact, as identified in CEQA Guidelines section 15300.2(b). No significant effect due to unusual circumstances would result from the project as identified in CEQA Guidelines section 15300.2(c). Considering the nature of the project and its location, no scenic highway impact would occur as identified in CEQA Guidelines section 15300.2(d). The site is not located on a list compiled pursuant to section 65962.5 of the Government Code as identified in CEQA Guidelines section 15300.2(e). No historic resources exist on the site, and the project would not cause a substantial adverse change in the significance of a historical resource as identified in CEQA Guidelines section 15300.2(f). Therefore, none of the exceptions apply.

DEVELOPMENT PROJECT MANAGER:	Martin R. Mendez
MAILING ADDRESS:	7650 Mission Valley Road, MS DSD-1A, San Diego, CA 92108
PHONE NUMBER / EMAIL:	619-446-5309 / MRMendez@sandiego.gov

On April 30, 2026, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal a CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (May 14, 2026). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00 p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street,

San Diego, CA 92101, by 5:00 p.m. on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.

POSTED ON THE CITY'S CEQA WEBSITE

POSTED: 4/30/2026

REMOVED: 5/14/2026

Leilani Phillips

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	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000 Ownership Disclosure Statement	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: _____ **Project No. For City Use Only:** PRJ-1102311

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General – What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

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.:Ruland Design Group.:.

3245 University Avenue, Suite 1-180
San Diego, CA 92104
www.rulanddesigngroup.com
p. 619.798.4623

LASKA - Garage & Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

PROJECT INFORMATION

1

2

3

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Author: RDG - RT

Date: 01-14-26

TS1

PRJ-1102311

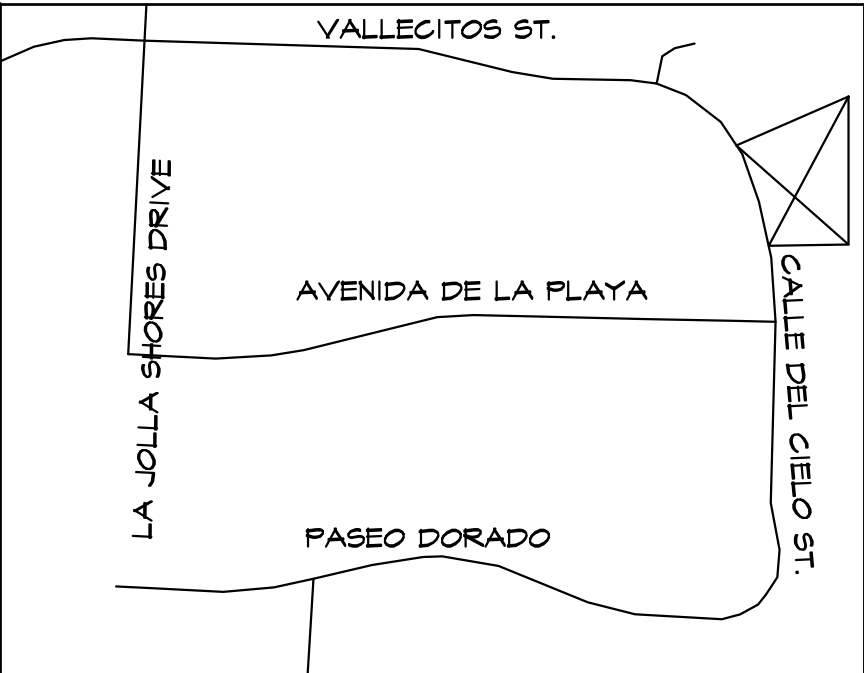
LASKA - New Garage & Accessory Dwelling Unit

8151 Calle del Cielo
La Jolla, CA 92037

SPECIAL INSPECTIONS:

GENERAL REQUIREMENTS:

1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING NEWSLETTER DS-311. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
3. "A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION."
4. "AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION."
5. "A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS."



VICINITY MAP

NOT TO SCALE

PARKING:

TOTAL SPACES REQUIRED: 02
TOTAL SPACES PROVIDED: 02

LOT COVERAGE:

TOTAL LOT AREA: 20,100 S.F.
60% MAX. LOT COVERAGE: 12,060 S.F.
PROPOSED LOT COVERAGE (EXISTG + NEW): 4,240 S.F.
(21% OF LOT)

IMPERVIOUS SURFACE IN PLOT:

TOTAL DISTURBANCE AREA: 767 S.F.
EXISTING AMOUNT OF IMPERVIOUS AREA: 3,210 S.F.
PROPOSED AMOUNT OF IMPERVIOUS AREA: 147 SF
TOTAL IMPERVIOUS AREA: 3,357 S.F.

EARTHWORK QUANTITIES

CUT QUANTITIES: 7.26 CYD
FILL QUANTITIES: 0 CYD
IMPORT/EXPORT: 7.26 CYD (EXPORT)
MAX CUT DEPTH OUTSIDE THE BUILDING FOOTPRINT: 2'-0"

THIS PROJECT PROPOSES TO EXPORT 7.26 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRES A SEPARATE CONDITIONAL USE PERMIT.

PROJECT DATA

PROJECT DESCRIPTION: THE SCOPE OF WORK CONTAINS THE FOLLOWING: CONSTRUCTION OF A NEW 482 S.F. ATTACHED 2-CAR GARAGE WITH A TO S.F. ADU ENTRY AS WELL AS A 662 S.F. ACCESSORY DWELLING UNIT ABOVE. THE NEW ADDITION WILL BE 2-STORIES IN TOTAL HEIGHT.

SITE ADDRESSES: 8151 CALLE DEL CIELO
LA JOLLA, CA 92037

YEAR BUILT: 1980

ASSESSORS PARCEL NUMBER: 346-322-02-00

LEGAL DESCRIPTION: LOT 26, LA JOLLA DEL NORTE UNIT 2, MAP NO. 3469
CDP #1274347 (ISSUED 08/19/2015, EXPIRED)

EXISTING DISCRETIONARY PERMITS:

PROPOSED DISCRETIONARY PERMITS: SITE DEVELOPMENT PERMIT

LOT ZONING: LJSFD-SF

OVERLAY ZONES: COASTAL HEIGHT, COASTAL (N-APP-2), PARKING IMPACT

GEO HAZARD CATEGORY: 26

LOT USE: SINGLE FAMILY RESIDENTIAL (EXISTING)
SINGLE FAMILY RESIDENTIAL (PROPOSED)

LOT SIZE: 20,100 S.F.

F.A.R.: 0.45 X 20,100 SQUARE FEET = 9,045 S.F.

OCCUPANCY TYPE: R-3

BUILDING CODE: 2022 CA. BLDG. CODE, 2022 CA. RES. CODE, 2022 CA. ELECT. CODE, 2022 CA. MECH. CODE, 2022 CA. PLUMB. CODE, 2022 CA. GRN. BLDG. CODE, 2022 CA. BLDG. ENERGY EFF. STAND.

CONSTRUCTION TYPE: TYPE VB - NON RATED

FIRE SPRINKLER: EXEMPT PER RESD-3-1 (COMPANION UNIT DOES NOT EXCEED 1,200 S.F. ON LOT WITH AN EXISTING NON-SPRINKLERED RESIDENCE)

NO. OF STORIES: 1-STORY (EXISTING)
2-STORY (PROPOSED)

SQUARE FOOTAGE CALCULATION

EXISTING PRIMARY RESIDENCE: 3,107 S.F.
EXISTING JUNIOR ADU: 456 S.F.
NEW 1ST FLOOR ADU: 70 S.F.
NEW 2ND FLOOR ADU: 662 S.F.
TOTAL HABITABLE: 4,295 S.F.
NEW 2-CAR GARAGE: 482 S.F.
GRAND TOTAL FOOTAGE: 4,777 S.F. < 9,045 S.F. MAXIMUM F.A.R.
(HABITABLE + GARAGE)

SHEET INDEX

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A12 PROPOSED SECOND FLOOR PLAN
A13 PROPOSED ROOF PLAN
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A21 BUILDING ELEVATIONS
A30 BUILDING SECTIONS

LANDSCAPE
L1 LANDSCAPE PLAN
L2 LANDSCAPE CALCULATIONS & NOTES
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BM2 BRUSH MANAGEMENT NOTES

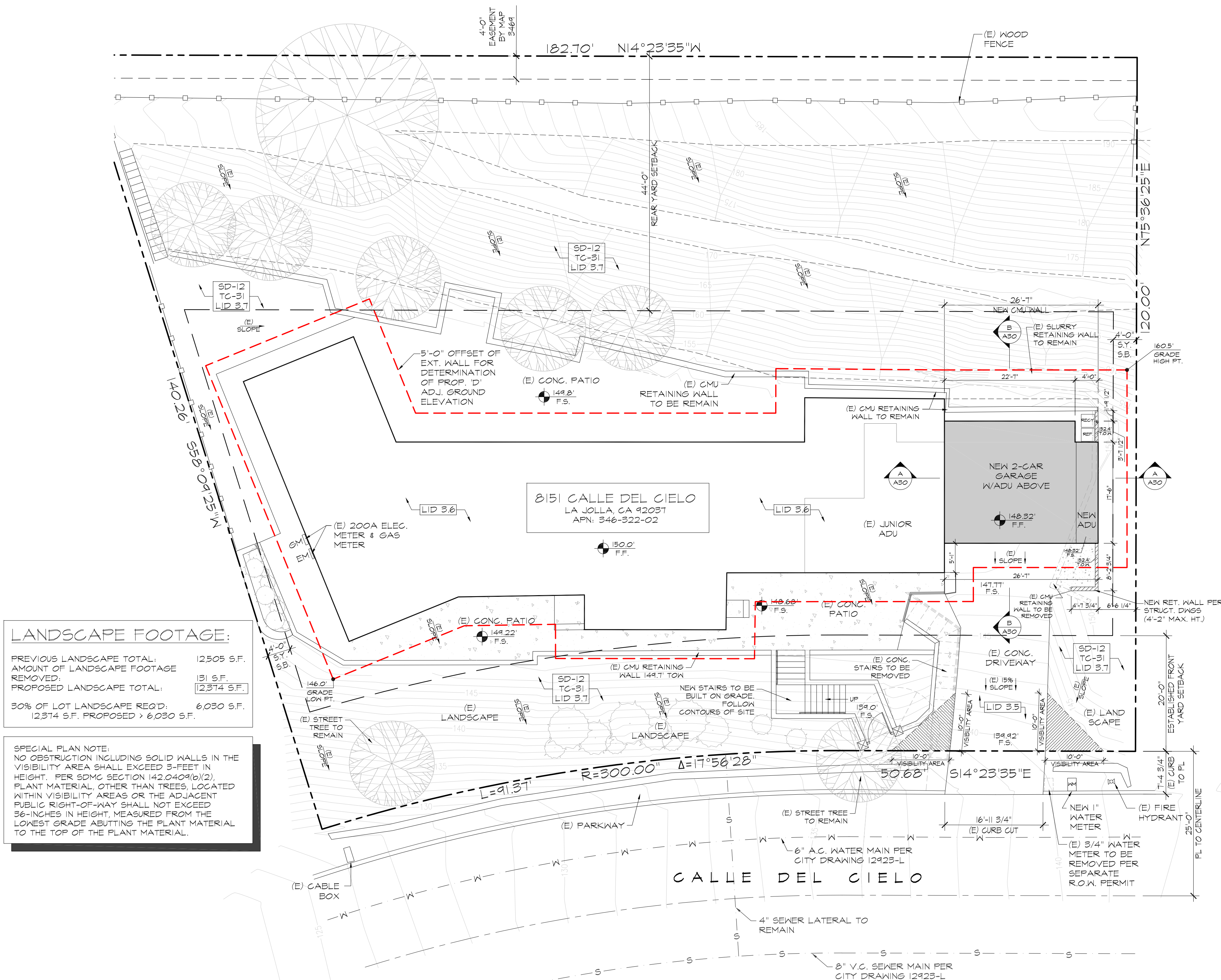
PROJECT DIRECTORY

OWNER: MARK LASKA
8151 CALLE DEL CIELO
LA JOLLA, CA, 92037

ARCHITECT: RULAND DESIGN GROUP
3245 UNIVERSITY AVE, STE 1-180
SAN DIEGO, CA 92104
CONTACT: AUDREY RULAND
VOICE: (619) 798-4623

LANDSCAPE: LANDSCAPE RESOURCE GROUP + ASSOC.
10481 DEL RIO ROAD
SPRING VALLEY, CA 91978
VOICE: (619) 572-2004
CONTACT: CHIP WILSON

SECURE BOUNDING AREA



SITE DESIGN AND SOURCE CONTROL BMP'S HAVE BEEN SHOWN ON THIS SITE PLAN. ADDITIONAL BMP'S ARE AS FOLLOWS:

SITE DESIGN BMP'S ARE DESIGNED TO MAINTAIN PRE-DEVELOPED RUNOFF CHARACTERISTICS. THE LISTED CONCEPTS WERE APPLIED TO THIS PROJECT IN THE FOLLOWING MANNER:

1. MINIMIZE IMPERVIOUS FOOTPRINT BY DESIGNING NEW STRUCTURES IN MULTIPLE STORIES. LANDSCAPE AREAS HAVE BEEN ADDED TO MAXIMIZE INFILTRATION.

2. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREA BY ALLOWING THE ROOF RUNOFF TO FLOW OVER PERVIOUS SURFACES. ROOF DRAINS WILL DRAIN TO LANDSCAPED AREAS.

PERMANENT BMP'S

SP-12 IMPLME

SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS.
(EXISTING)

TC-31 TREATMENT CONTROL - VEGETATED BUFFER STRIP.
(EXISTING)

LOW IMPACT DEVELOPEMENT BMP'S

LID 3.5 LID DRIVEWAY DESIGN (EXISTING)

LID 3.6 L.I.D. BUILDING DESIGN (EXISTING)

LID 3.7 L.I.D. LANDSCAPING DESIGN (EXISTING)

1. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW & EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. 12" MINIMUM NUMBER SIZE. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO C.B.C. SECTION 501.2.

2. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL, AT EACH STAIRWAY, IN ALL STORAGE & CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED & WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER C.F.C. SECTION 3315.1.

3. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO C.F.C. CHAPTER 33. WELDING, CUTTING & OTHER HOT WORK SHALL BE IN CONFORMANCE WITH C.F.C. CHAPTER 35.

4. OPEN FLAMES, FIRE & BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO & C.F.C. SECTION 308.

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).

2. THE SCOPE OF WORK DOES NOT INCLUDE ANY PROPOSED REPLACEMENT OR REMOVAL OF ANY PART OF THE EXISTING SIDEWALK.

3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OF THE MUNICIPLE CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

4. THE PROPOSED IMPROVEMENT WILL NOT ALTER OR CHANGE THE EXISTING SITE DRAIN PATTERN.

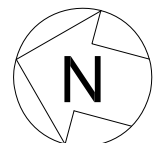
1. THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
2. SITE AND BUILDING MEASUREMENTS ARE ESTIMATES CONTRACTOR OR SURVEYOR TO FIELD VERIFY ALL SITE MEASUREMENTS.

_____ PROPERTY LINE

 PROPERTY LINE
 SETBACK LINE
 AREA OF JADU CONVERSION

PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"





..Ruland Design Group..

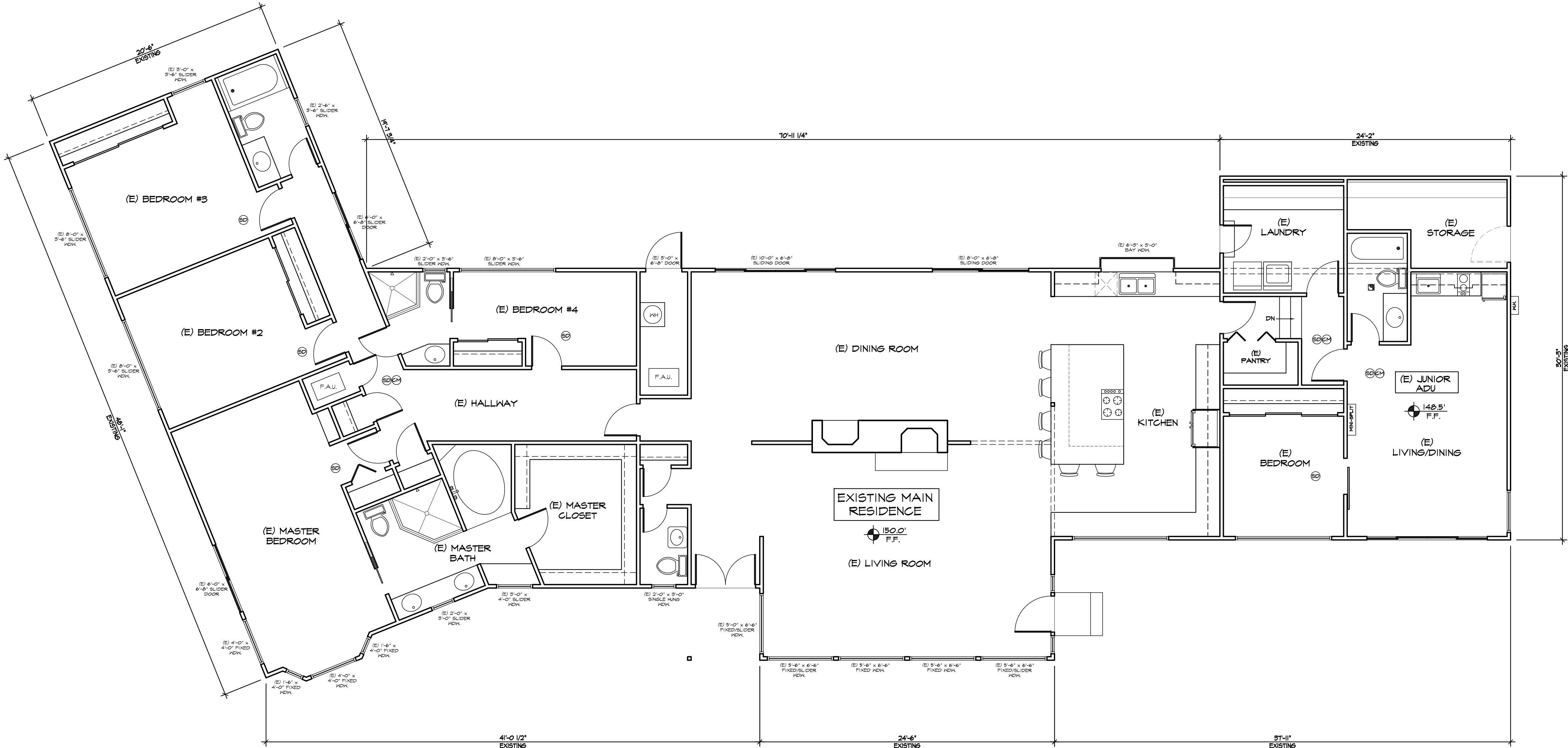
3245 University Avenue, Suite 1-180
San Diego, CA 92104
www.rulanddesigngroup.com
p. 619.798.4623

LASKA - Junior Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

EXISTING FLOOR PLAN

SECURE BOUNDING AREA



NOTE:
GENERAL CONTRACTOR ASSUMES ALL RISK AND LIABILITY TO COMPLY WITH THE CITY OF SAN DIEGO COASTAL PERMIT EXEMPTION POLICY. GENERAL CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL REQUIREMENTS TO PRESEVE 50% OF THE EXISTING WALLS AND REPORT ANY DISCREPANCIES OR ISSUES TO THE ARCHITECT UPON DISCOVERY.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	SMOKE & CARBON MONOXIDE DETECTOR

- DEMOLITION NOTES:
1. THE CONTRACTOR IS TO USE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJOINING AREAS. WHERE APPLICABLE, THE CONTRACTOR IS TO PATCH AND REPAIR DRYWALL, STUCCO OR SIMILAR ADJOINING MATERIAL AFTER DEMOLITION OR REPLACEMENT OF WALLS, WINDOWS OR DOORS.
 2. THE CONTRACTOR IS TO REFERENCE THE NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT DESIGNER OR OWNER IN AREA OF UNCERTAINTY OR DISCREPANCY.
 3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER AND ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES. IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, ELEVATIONS, SECTIONS OR DETAILS OF THESE DRAWINGS.

- 1
- 2
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Author: RDG - RT

Date: 05-30-25

A10

EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"





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LASKA - Garage & Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

PROPOSED FIRST FLOOR PLAN

- 1
- 2
- 3
- 4

Author: RDG - RT

Date: 05-30-25

A11

HIGH FIRE SEVERTY ZONE NOTES:

THE ADDITION OF THE NEW GARAGE AND ACCESSORY DWELLING UNIT ABOVE SHALL SATISFY AND PROVIDE THE FOLLOWING:

1. USE OF CLASS 'A' ROOF WITH FIRE STOPS AT ALL OPENINGS.
2. SKYLIGHTS TEMPERED (IF APPLICABLE).
3. SPARK ARRESTOR FOR NEW CHIMNEYS (IF APPLICABLE).
4. ROOF ATTIC VENTS PROHIBITED IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE INCLUDING EAVES AND OVERHANGS AREAS.
5. PROTECTED AREAS.
6. WINDOWS SHALL BE DUAL GLAZED/SINGLE TEMPERED. VINYL WINDOWS MUST HAVE WELDED CORNERS, METAL REINFORCEMENT AND MEET WINDOW INDUSTRY STANDARDS.
7. GUTTERS SHALL BE DESIGNED TO PREVENT ACCUMULATION OF DEBRIS.
8. NON-COMBUSTIBLE EXTERIOR DOORS OR SOLID WOOD AT LEAST 1 3/8" THICK.
9. ATTACHEMENTS AND PROJECTIONS SUCH AS PATIOS, FENCES AND PATIO COVERS MUST BE IGNITION RESISTANT.
10. FOUNDATION VENTS ARE PROHIBITED TO BE IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE.
11. UNDERFLOOR AREAS MUST BE ENCLOSED AS REQUIRED FOR EXTERIOR WALLS.
12. EXTERIOR WALLS SHALL BE MADE WITH NON-COMBUSTIBLE WALL SURFACES SUCH AS STUCCO, FIBER CEMENT SIDING, & MASONRY. COMBUSTIBLE WALL COVERING, SUCH AS WOOD SIDING MUST HAVE UNDER-LAYMENT OF 1/2" INCH FIRE RATED SHEATHING BUTTED OR TAPED AND MIDDEN.
13. VENT OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH. THE DIMENSION OF THE OPENINGS SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8" INCH. THE MATERIAL USED SHALL BE CORROSION RESISTANT.
14. GARAGE DOOR FIRE RESISTANT REQUIREMENTS.

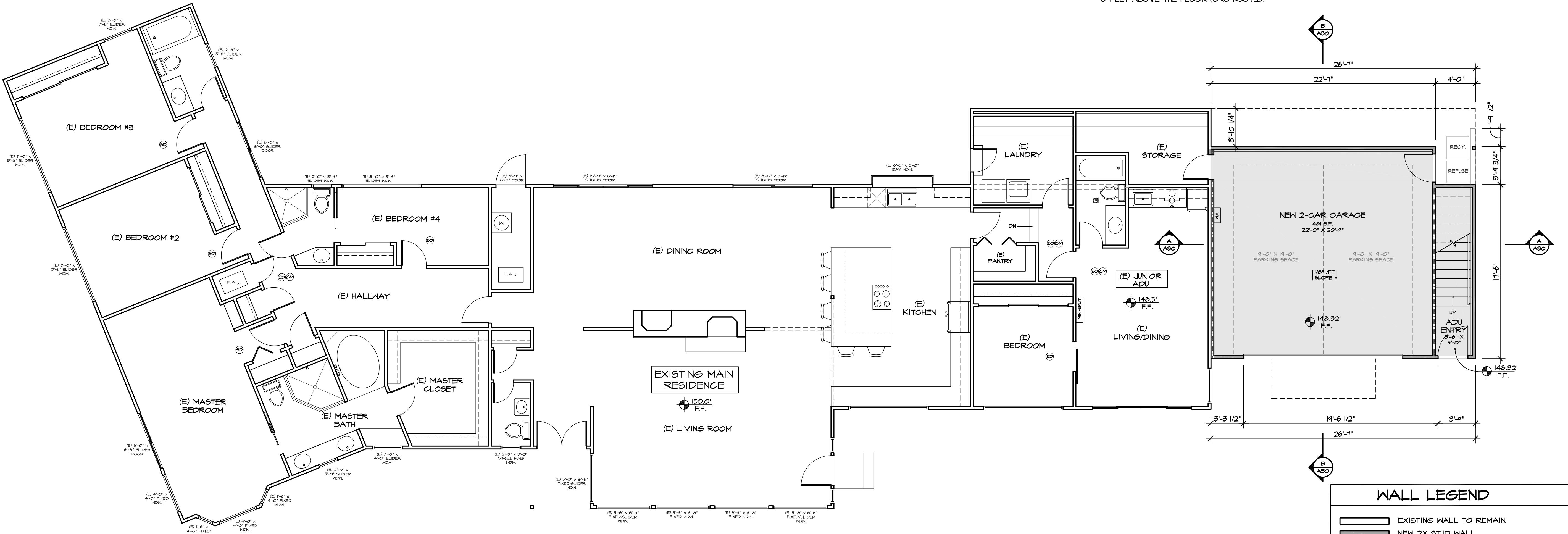
SPECIAL PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
3. ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 5- FEET FROM A PROPERTY LINE & 3- FEET FROM BUILDING OPENINGS.
4. THE DESIGNER IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.
6. AN ELECTRONICALLY SIGNED & REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED & APPROVED.
7. AN ELECTRONICALLY SIGNED & REGISTERED CERTIFICATE OF FIELD VERIFICATION & DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING. SIGNED & REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION & DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED & APPROVED.
8. SHOWER COMPARTMENTS & BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6- FEET ABOVE THE FLOOR (CRC R307.2).

GENERAL FIRE-RATING NOTES:

1. THE FLOOR/CEILING ASSEMBLY ABOVE SEPARATING THE TWO DWELLING UNITS SHALL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION IN ACCORDANCE WITH SECTION R302.3.
2. THE SUPPORTING WALLS, BEAMS, AND POSTS FOR THE ONE-HOUR FIRE-RESISTANCE RATED FLOOR/CEILING ASSEMBLY SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING IN ACCORDANCE WITH R302.3.1.
3. PENETRATIONS ON THE ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION (FLOOR/CEILING AND WALL ASSEMBLIES) SHALL COMPLY WITH SECTION R302.4.

SECURE BOUNDING AREA



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW 2X STUD WALL
	NEW 1-HOUR RATED 2X STUD WALL
	LINE OF WALL ABOVE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	INTERCONNECTED PER CRC R315.1.7 & HARD WIRED WITH BATTERY BACKUP PER CRC R315.5
	RECESSED EXHAUST FAN (50 CFM) (EQUIP W/BACK DRAFT DAMPER)
	WINDOW W/TEMPERED GLASS
	DOOR W/TEMPERED GLASS

PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"





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PROPOSED SECOND FLOOR PLAN

- 1
- 2
- 3
- 4

Author: RDG - RT

Date: 05-30-25

A12

HIGH FIRE SEVERTY ZONE NOTES:

THE ADDITION OF THE NEW GARAGE AND ACCESSORY DWELLING UNIT ABOVE SHALL SATISFY AND PROVIDE THE FOLLOWING:

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2. SKYLIGHTS TEMPERED (IF APPLICABLE).
3. SPARK ARRESTOR FOR NEW CHIMNEYS (IF APPLICABLE).
4. ROOF ATTIC VENTS PROHIBITED IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE INCLUDING EAVES AND OVERHANGS AREAS.
5. PROTECTED AREAS.
6. WINDOWS SHALL BE DUAL GLAZED/SINGLE TEMPERED. VINYL WINDOWS MUST HAVE WELDED CORNERS, METAL REINFORCEMENT AND MEET WINDOW INDUSTRY STANDARDS.
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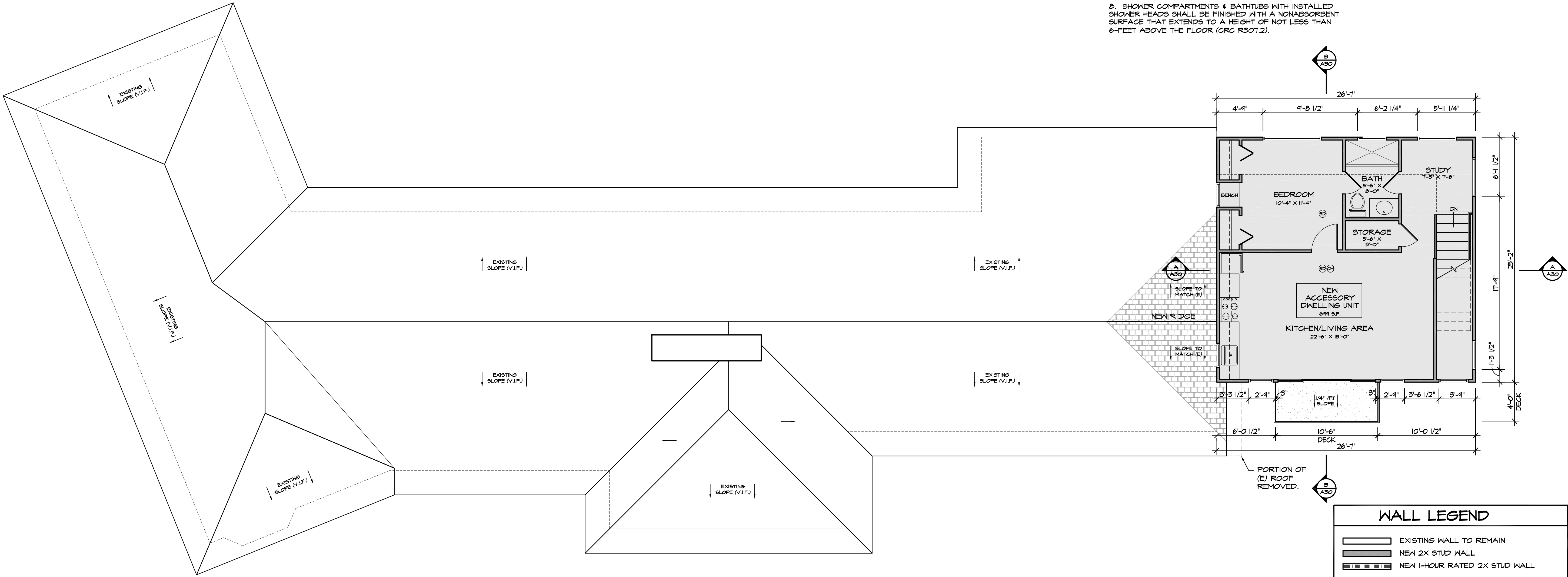
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SECURE BOUNDING AREA



PROPOSED SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"





.:Ruland Design Group.:.

3245 University Avenue, Suite 1-180
San Diego, CA 92104
www.rulanddesigngroup.com
p. 619.798.4623

LASKA - Garage & Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

PROPOSED ROOF PLAN

1

2

3

4

Author: RDG - RT

Date: 05-30-25

A13

HIGH FIRE SEVERTY ZONE NOTES:

THE ADDITION OF THE NEW GARAGE AND ACCESSORY DWELLING UNIT ABOVE SHALL SATISFY AND PROVIDE THE FOLLOWING:

- USE OF CLASS 'A' ROOF WITH FIRE STOPS AT ALL OPENINGS.
- SKYLIGHTS TEMEPERED (IF APPLICABLE).
- SPARK ARRESTOR FOR NEW CHIMINEYS (IF APPLICABLE).
- ROOF ATTIC VENTS PROHIBITED IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE INCLUDING EAVES AND OVERHANG AREAS.
- PROTECTED AREAS.
- WINDOWS SHALL BE DUAL GLAZED/SINGLE TEMPERED. VINYL WINDOWS MUST HAVE WELDED CORNERS, METAL REINFORCEMENT AND MEET WINDOW INDUSTRY STANDARDS.
- GUTTERS SHALL BE DESIGNED TO PREVENT ACCUMULATION OF DEBRIS.
- NON-COMBUSTIBLE EXTERIOR DOORS OR SOLID WOOD AT LEAST 1 3/8" THICK.
- ATTACHEMENTS AND PROJECTIONS SUCH AS PATIOS, FENCES AND PATIO COVERS MUST BE IGNITION RESISTANT.
- FOUNDATION VENTS ARE PROHIBITED TO BE IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE.
- UNDERFLOOR AREAS MUST BE ENCLOSED AS REQUIRED FOR EXTERIOR WALLS.
- EXTERIOR WALLS SHALL BE MADE WITH NON-COMBUSTIBLE WALL SURFACES SUCH AS STUCCO, FIBER CEMENT SIDING, & MASONRY. COMBUSTIBLE WALL COVERING, SUCH AS WOOD SIDING MUST HAVE UNDER-LAYMENT OF 1/2" INCH FIRE RATED SHEATHING BUTTED OR TAPED AND MIDDEN.
- VENT OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH. THE DIMENSION OF THE OPENINGS SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8" INCH. THE MATERIAL USED SHALL BE CORROSION RESISTANT.
- GARAGE DOOR FIRE RESISTANT REQUIREMENTS.

SPECIAL PLAN NOTES:

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
- ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 5- FEET FROM A PROPERTY LINE & 3- FEET FROM BUILDING OPENINGS.
- THE DESIGNER IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.
- AN ELECTRONICALLY SIGNED & REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED & APPROVED.
- AN ELECTRONICALLY SIGNED & REGISTERED CERTIFICATE OF FIELD VERIFICATION & DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING. SIGNED & REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION & DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED & APPROVED.
- SHOWER COMPARTMENTS & BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6- FEET ABOVE THE FLOOR (CRC R307.2).

GENERAL FIRE-RATING NOTES:

- THE FLOOR/CEILING ASSEMBLY ABOVE SEPARATING THE TWO DWELLING UNITS SHALL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION IN ACCORDANCE WITH SECTION R302.3.
- THE SUPPORTING WALLS, BEAMS, AND POSTS FOR THE ONE-HOUR FIRE-RESISTANCE RATED FLOOR/CEILING ASSEMBLY SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING IN ACCORDANCE WITH R302.3.1.
- PENETRATIONS ON THE ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION (FLOOR/CEILING AND WALL ASSEMBLIES) SHALL COMPLY WITH SECTION R302.4.

SECURE BOUNDING AREA



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW 2X STUD WALL
	NEW 1-HOUR RATED 2X STUD WALL
	LINE OF WALL ABOVE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR INTERCONNECTED PER CRC R315.1.7 & HARD WIRED WITH BATTERY BACKUP PER CRC R315.5
	RECESSED EXHAUST FAN (50 CFM) (EQUIP W/BACK DRAFT DAMPER)
	WINDOW W/TEMPERED GLASS
	DOOR W/TEMPERED GLASS

PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



HIGH FIRE SEVERTIY ZONE
NOTES:

THE ADDITION OF THE NEW GARAGE AND ACCESSORY DWELLING UNIT ABOVE SHALL SATISFY AND PROVIDE THE FOLLOWING:

1. USE OF CLASS 'A' ROOF WITH FIRE STOPS AT ALL OPENINGS.
2. SKYLIGHTS TEMEPERED (IF APPLICABLE).
3. SPARK ARRESTOR FOR NEW CHIMNEYS (IF APPLICABLE).
4. ROOF ATTIC VENTS PROHIBITED IN LOCATIONS WHERE EMBERS ARE MOST LIKELY TO ACCUMULATE INCLUDING EAVES AND OVERHANG AREAS.
5. PROTECTED AREAS.
6. WINDOWS SHALL BE DUAL GLAZED/SINGLE TEMPERED. VINYL WINDOWS MUST HAVE WELDED CORNERS, METAL REINFORCEMENT AND MEET WINDOW INDUSTRY STANDARDS.
7. GUTTERS SHALL BE DESIGNED TO PREVENT ACCUMULATION OF DEBRIS.
8. NON-COMBUSTIBLE EXTERIOR DOORS OR SOLID WOOD AT LEAST 1 5/8" THICK.
9. ATTACHEMENTS AND PROJECTIONS SUCH AS PATIOS, FENCES AND PATIO COVERS MUST BE IGNITION RESISTANT.
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14. GARAGE DOOR FIRE RESISTANT REQUIREMENTS.

SPECIAL PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 50'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
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5. EXTEND DUCT WORK TO HEAT ROOM ADDITIONS & NEW CONDITIONED AREAS.

ELEVATION NOTES:

CONTRACTOR TO VERIFY ROOF PITCH AND MATCH EXISTING ROOF PITCH WHEN ORDERING TRUSSES U.O.N.

PAPER-FACED INSULATION IS PROHIBITED IN ATTICS OR OTHER VENTILATED AREAS.

EXTERIOR SHEATHING:
3/4" PLYWOOD CD OR CC GRADE W/8d @6"O.C. E.N. & B.N.
2d @12" O.C.
F.N. P.I.=2%
UNLESS OTHERWISE NOTED ALL NAILING SHALL BE IN ACCORDANCE WITH NAILING SCHEDULE ON SHEET S-2 OF THESE PLANS

USE PLATE WASHERS A MIN. OF 3"X3"X0.225" ON EA. BOLT. WASHER MAY NOT BE SLOTTED MORE THAN A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIA. AND SLOT LENGTH NOT TO EXCEED 1-3/4".

ALL HOLDDOWNS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.

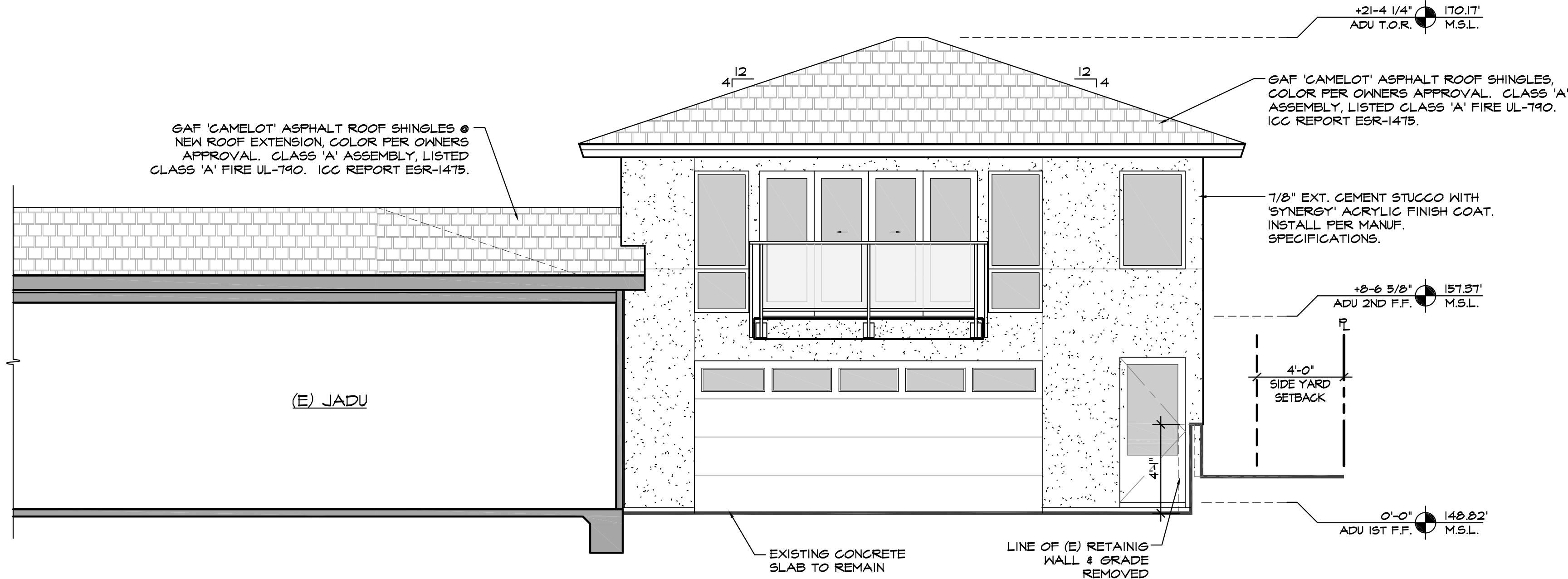
VENTS:
MUST BE LOUVERED AND COVERED WITH 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH

EXTERIOR DOORS:
MUST BE APPVD NON-COMBUSTIBLE OR SOLID CORE NOT LESS THAN 1-3/8" THICK OR 20-MIN FIRE RATED.

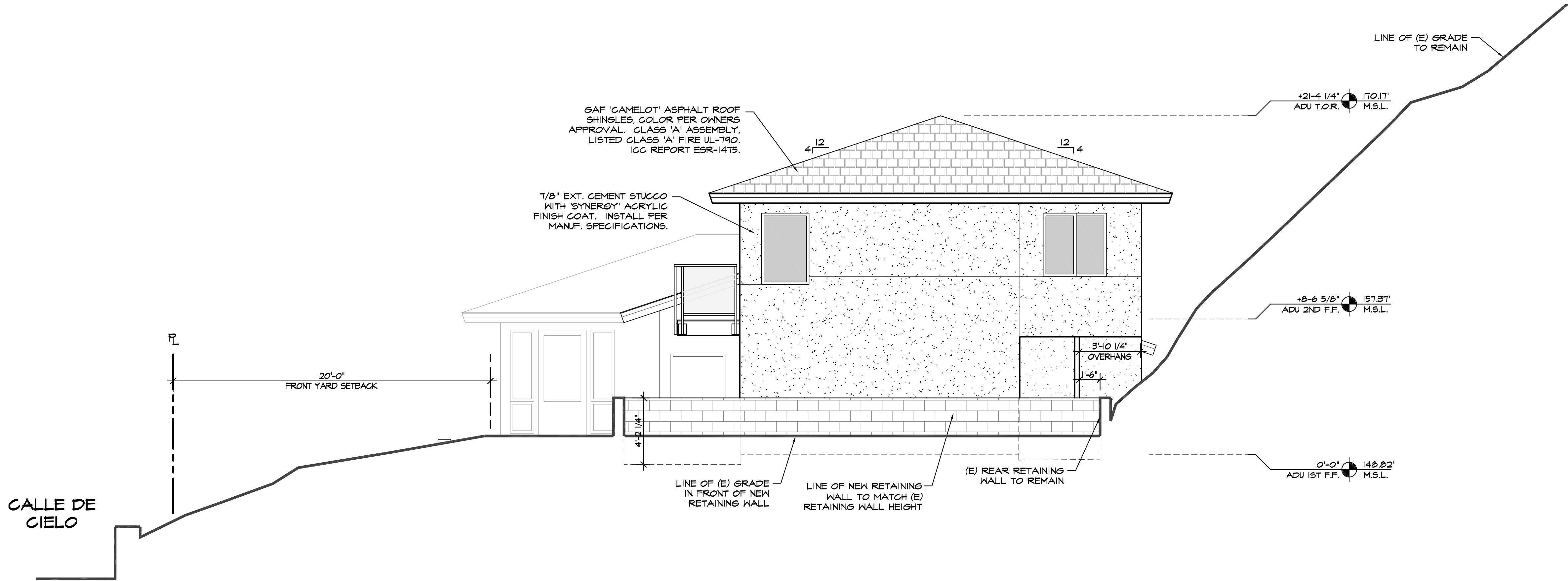
WINDOWS:
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SECURE BOUNDING AREA



WEST ELEVATION (FRONT)



SOUTH ELEVATION (SIDE)

PROPOSED BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"



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PROPOSED BUILDING ELEVATIONS

HIGH FIRE SEVERTIY ZONE
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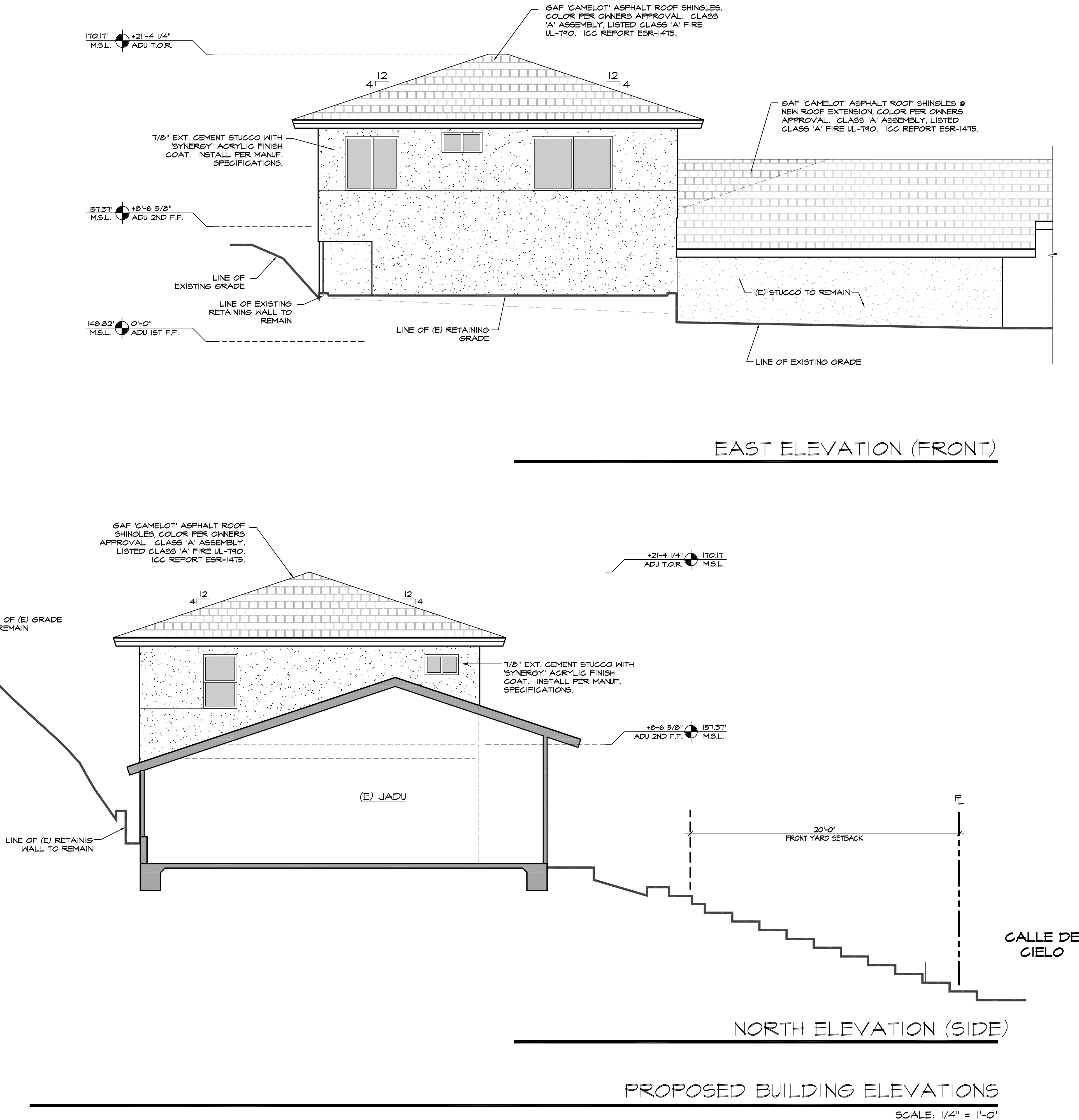
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Author: RDG - RT

Date: 05-30-25

A21

SECURE BOUNDING AREA

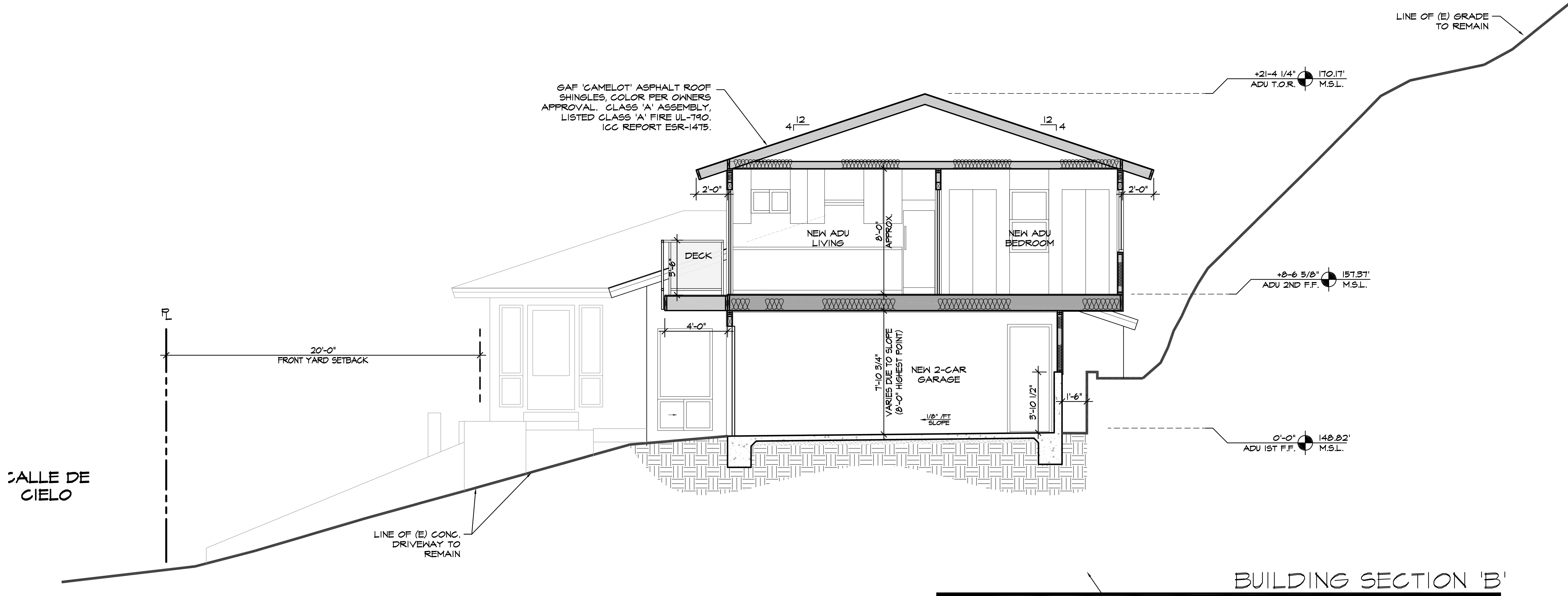


LASKA - Garage & Accessory Dwelling Unit

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BUILDING SECTIONS

SECURE BOUNDING AREA

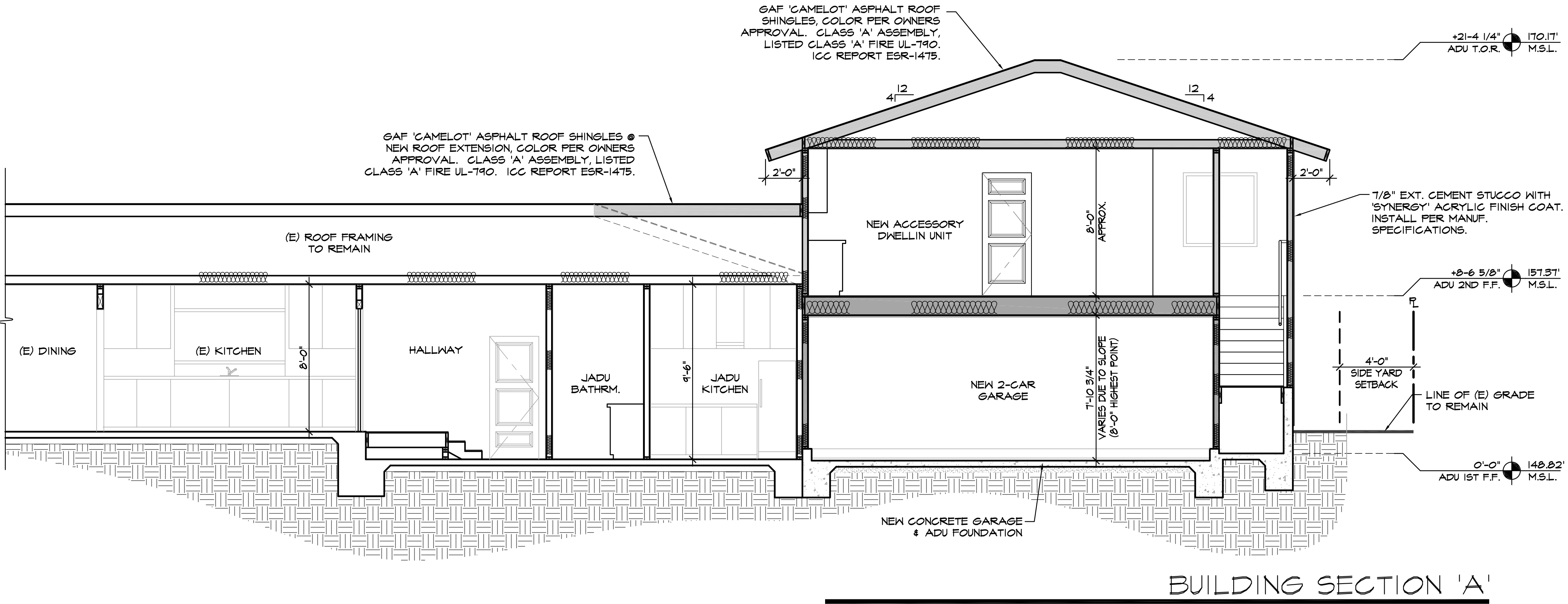


BUILDING SECTION 'B'

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BUILDING SECTION 'A'

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5. EXTEND DUCT WORK TO HEAT ROOM ADDITIONS & NEW CONDITIONED AREAS.

PROPOSED BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

- 1
- 2
- 3
- 4

Author: RDG - RT

Date: 05-30-25

A30

SECURE BOUNDING AREA

PLANT LEGEND

TREES			
SYMBOL	BOTANICAL NAME / COMMON NAME	QTY	SIZE
	Proposed Street Tree Per City of San Diego Street Tree Selection Guide. (30'-40' height x 20-35' width) Metrosideros excelsus / New Zealand Christmas Tree (Standard)	05	24"box
①	Existing Syagrus romanzoffianum / Queen Palm	03	20'-30'BTH
②	Existing Metrosideros excelsus / New Zealand Christmas Tree (Standard) Existing on-site ADU Tree & Climate Action Plan Tree	03	8"-10"Caliper
③	Existing Magnolia grandiflora 'Little Gem' / Little Gem Magnolia Existing on-site ADU Tree & Climate Action Plan Tree	03	8"Caliper
④	Existing Phoenix canariensis / Canary Island Palm	01	4'BTH
⑤	Existing Strelitzia nicholai / Giant Bird of Paradise To be removed to meet Brush Management Regulations.	01	20'-30'HT
⑥	Existing Olea europaea / Olive Tree 'Multi-Trunk' To be pruned to meet Brush Management Regulations. Existing on-site ADU Tree & Climate Action Plan Tree	01	12"-18"Caliper
⑦	Existing Agonis flexuosa / Peppermint Tree To be pruned to meet Brush Management Regulations. Existing on-site ADU Tree & Climate Action Plan Tree	02	24"Caliper
⑧	Existing Cinnamomum camphora / Camphor Tree Existing on-site ADU Tree & Climate Action Plan Tree	01	6"Caliper
⑨	Existing Eucalyptus sideroxylon / Red Ironbark Existing on-site ADU Tree & Climate Action Plan Tree	01	36"Caliper
	Various Dwarf Fruit Trees	18	2"-4"Caliper

SHRUBS & PERENNIALS

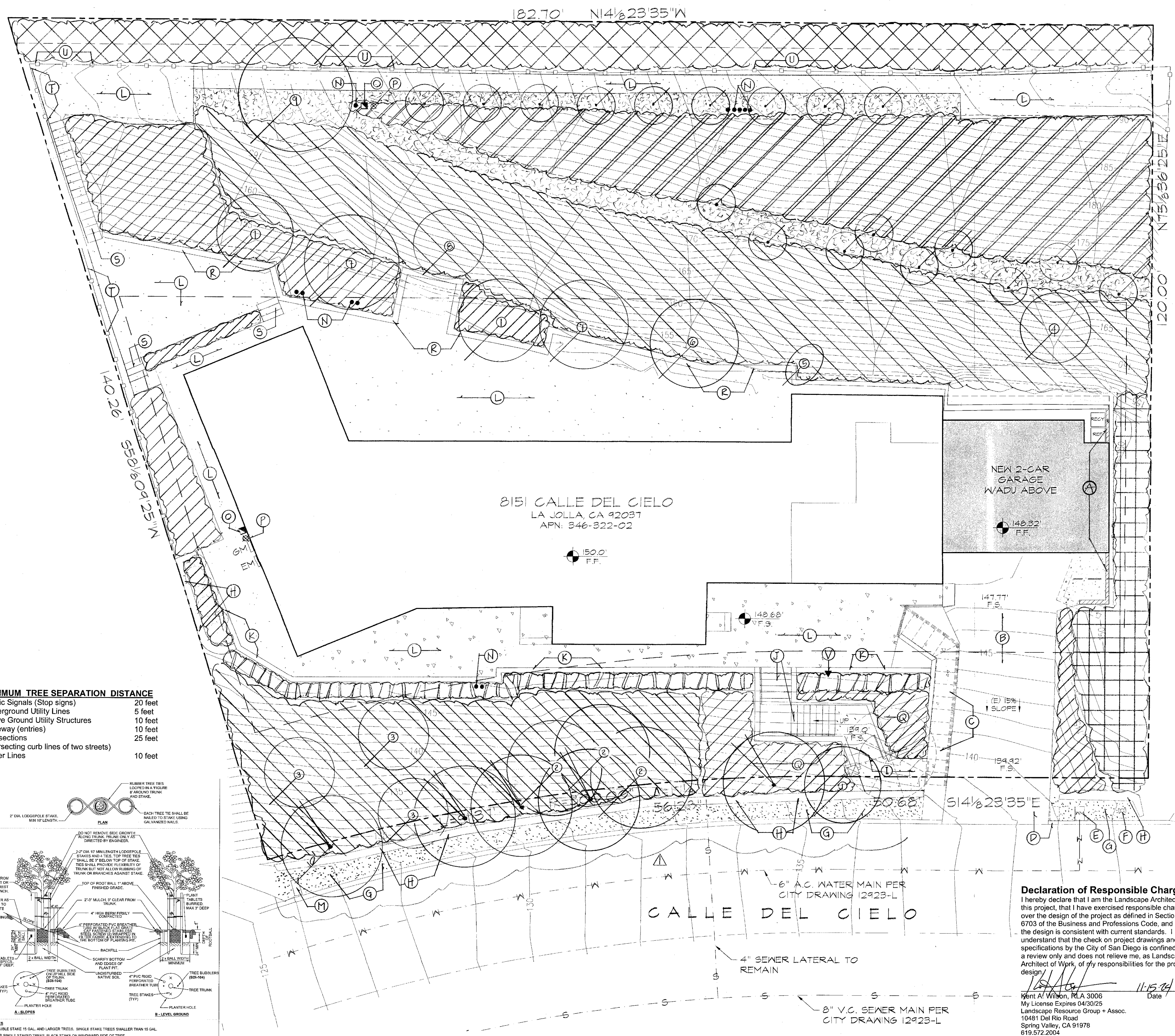
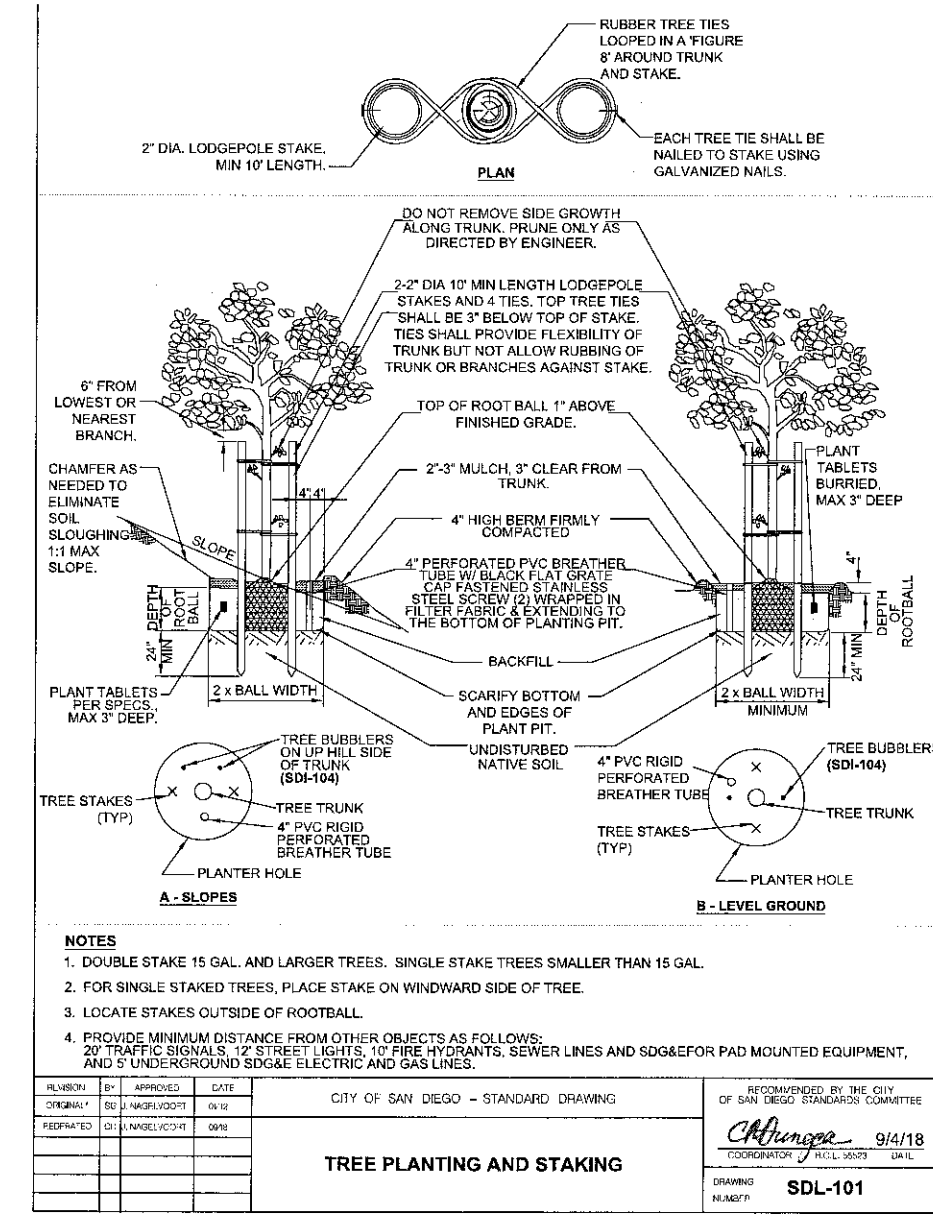
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE
	Existing Hedged Ligustrum japonicum / Japanese Privet	4'height
	Existing random configuration of ornamental plantings to remain: Agapanthus varieties / Lily-of-the-Nile Agave attenuata / Agave Callistemon viminalis 'Little John' / Dwarf Bottlebrush Cycas revoluta / Sago Palm Pelargonium x domesticum / Hybrid Zonal Geranium Pittosporum tobira / Pittosporum Plumeria variety / Frangipani Rosa 'Iceberg' / Hedge Rose Rhampholepis indica / Indian Hawthorn Hibiscus rosa-sinensis / Chinese Hibiscus Zamia furfuracea / Mexican Cycad	
	Existing groundcover and random ornamental and volunteer plantings to remain: Hedera canariensis / Algerian Ivy Bougainvillea cultivars / Bougainvillea Rhus integrifolia / Lemonadeberry Schinus terebinthifolius / Brazilian Pepper Tree Suckers	
	Existing Myoporum parvifolium / Prostrate Myoporum groundcover to remain.	
	Existing massings of the following plantings to remain: Pittosporum tobira / Pittosporum Metrosideros excelsus / New Zealand Christmas Tree Shrub Form Rhus integrifolia / Lemonadeberry	
	Existing massings of the following plantings to remain: Acacia redolens / Prostrate Acacia Rhus integrifolia / Lemonadeberry Schinus terebinthifolius / Brazilian Pepper Tree Suckers	
	Existing 3" Layer wood bark mulch groundcover	

SITE PLAN NOTES

- A. Proposed masonry retaining wall - See Architectural Plans.
- B. Existing concrete driveway.
- C. Existing concrete steps.
- D. Existing driveway apron and street curb.
- E. Proposed relocated water meter - See Architectural Plans.
- F. Existing fire hydrant.
- G. Existing gravel groundcover.
- H. Existing gravity planter wall.
- I. Proposed concrete entry walk - See Architectural Plans.
- J. Proposed concrete stairs - See Architectural Plans.
- K. Existing 16"height masonry wall.
- L. Existing concrete and interlocking paver paving.
- M. Existing above-grade communication utility.
- N. Existing irrigation valves that irrigates the entire front and rear yard areas.
- O. Existing Hunter Pro C irrigation controller.
- P. Proposed Rainbird - ESP/SMT Rain Sensor shut-off or approved equal.
- Q. Existing irrigation system to be modified to new landscape configuration due to new proposed entry steps - verify in-field.
- R. Existing masonry planter walls.
- S. Existing concrete stairs.
- T. Existing tempered glass handrailing.
- U. Existing 6'height wood fence.
- V. Irrigation point of connection.

MINIMUM TREE SEPARATION DISTANCE

Traffic Signals (Stop signs)	20 feet
Underground Utility Lines	5 feet
Above Ground Utility Structures	10 feet
Driveway (entrances)	10 feet
Intersections	25 feet
Intersecting curb lines of two streets	10 feet
Sewer Lines	10 feet



Declaration of Responsible Charge:
I hereby declare that I am the Landscape Architect for this project, that I have exercised responsible charge over the design of the project as defined in Section 6703 of the Business and Professions Code, and that the design is consistent with current standards. I understand that the check on project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as Landscape Architect of Work, of my responsibilities for the project design.

Kent A. Wilson, R.L.A. 3006
My License Expires 04/30/25
Landscape Resource Group + Assoc.
10451 Del Rio Road
Spring Valley, CA 91978
619.572.2004

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

LASKA - Garage & Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

Author:
Date: 11-15-24

LANDSCAPE PLAN
L1

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5-30-25

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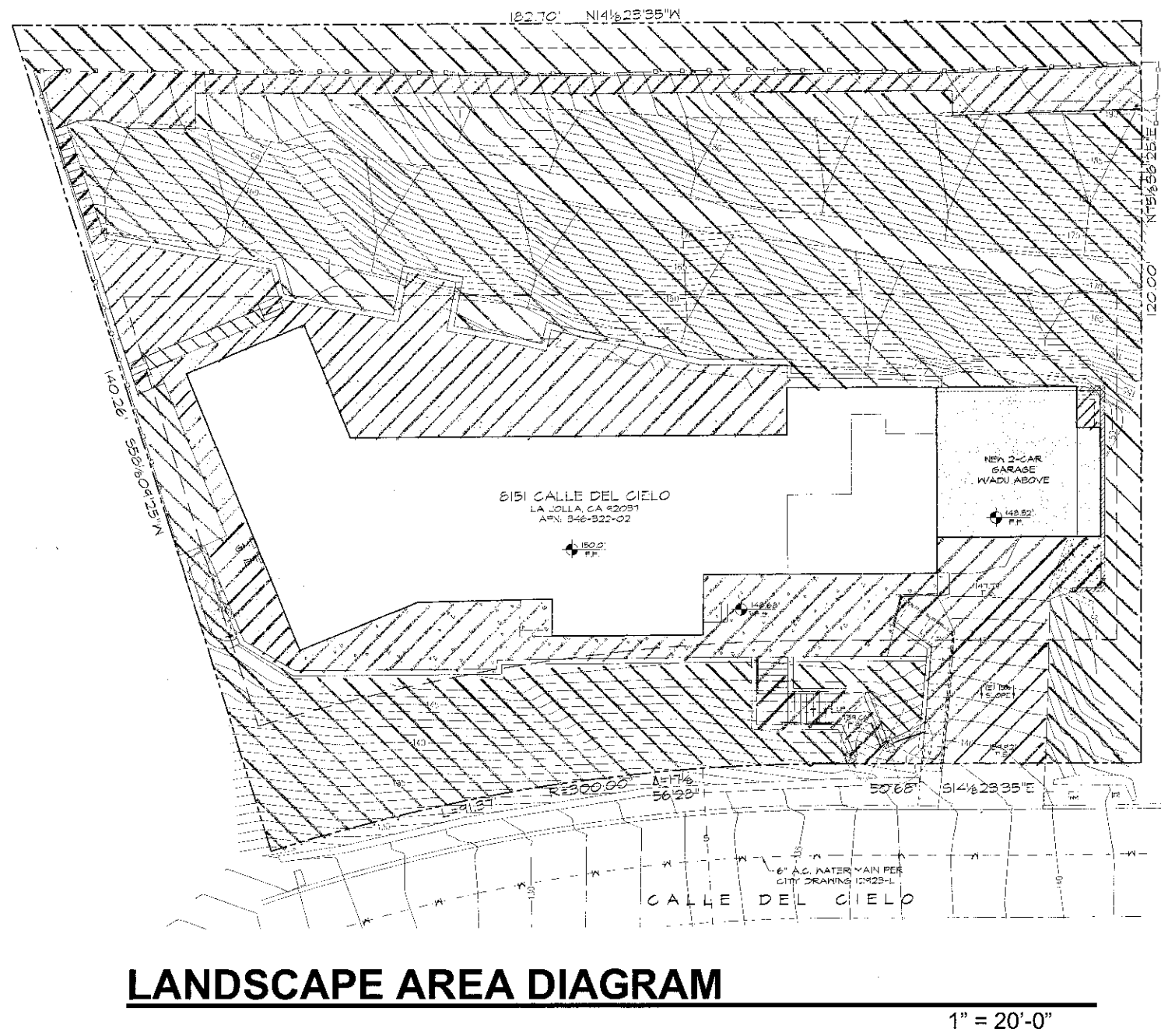
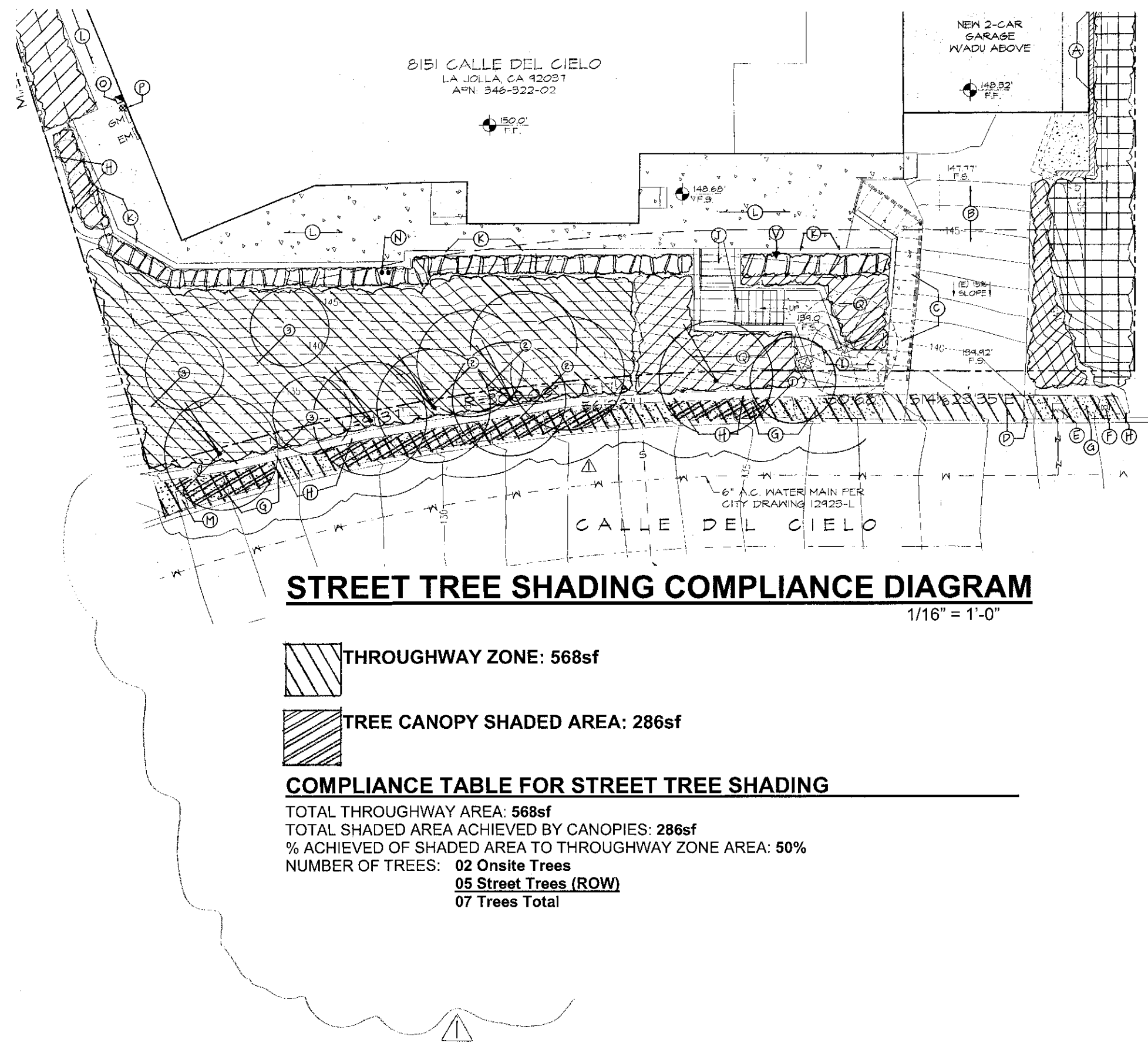
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Date: 11-15-24

LANDSCAPE
CALCULATIONS &
NOTES
L2



LANDSCAPE AREA DIAGRAM

LANDSCAPE CALCULATIONS

LANDSCAPE AREA CALCULATIONS

Existing & Proposed Site Hardscape Area: 4,656sf.

Existing Planting Area: 10,674sf.

Landscape Area Calculation:
20,100sf - Lot Area
10,674sf - Planting Area
4,656sf - Hardscape Area
53% Of Total Parcel Area is Landscaped Area.

CLIMATE ACTION PLAN PREMISES TREE CALCULATIONS

STREET TREE REQUIREMENTS: (1 Broad Leaf Tree per 30 feet of Street Frontage)
Street Trees Required for Calle del Cielo: 04 Total
05 - Metrosideros excelsus / New Zealand ChristmasTree (Standard)

CLIMATE ACTION PLAN CONSISTENCY REGULATIONS

2 Trees required per 5,000sf. of Lot Area for ADU and CAP Onsite Tree Requirements.
20,100sf. - Lot Area
20,100sf / 5,000sf = 8 Tree Requirement
3 - Existing Metrosideros excelsus / New Zealand ChristmasTree Onsite.
3 - Existing Magnolia grandiflora 'Little Gem' / Little Gem Magnolia Onsite.
1 - Existing Olea europaea / Olive Tree 'Multi-Trunk' Onsite.
2 - Existing Agonis flexuosa / Peppermint Tree Onsite.
1 - Existing Cinnamomum camphora / Camphor Tree
1 - Existing Eucalyptus sideroxylon / Red Ironbark Onsite.
11 - Existing Onsite Climate Action Plan Trees Provided

GENERAL LANDSCAPE NOTES

- a. All Landscape and Irrigation shall conform to the standards of the City-wide Landscape Regulations and City of San Diego's Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- b. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not be wrapped around the root ball. SDMC 142.0403(b)(12).
- c. Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by SDMC 142.0403(c) for proper irrigation, development, and maintenance of proposed trees in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the trees selected and shall be an automatic drip system. All proposed irrigation systems shall have an approved rain sensor shutoff device. SDMC 142.0403(c)(3)(D)
The entire site and rear slope is irrigated with an existing automatic, low-flow spray and drip irrigation system. See Site Notes 'N', 'O' and 'P' for valve and irrigation controller locations for the existing site irrigation systems along with the proposed Rain Sensor Shut-off.
- d. Maintenance: All required landscape areas shall be maintained by the PROPERTY OWNER. The landscape and irrigation areas in the public right-of-way shall be maintained by the PROPERTY OWNER. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced with like kind per the conditions of the permit.
- e. If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
- f. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the SDMC 142.0403(b)(10).
- g. All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
- h. Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:
1. A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
2. Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the dripline.
3. Root systems of existing trees will be protected from flooding, erosion, chemical spills, and excessive wetting and drying during dewatering.
4. The existing grade will be maintained within the drip line of existing trees.
5. Roots of existing trees will be cut approximately 6" back from new construction.
6. A certified Consulting Arborist shall oversee pruning of the roots 4" or greater in diameter.
7. Maintain and document a tree watering schedule during construction.
8. All damaged trees will be replaced with one of equal or greater size.
- i. Mulch: all required planting areas shall be covered with mulch groundcover to a minimum depth of 3". All exposed soil areas without vegetation shall also be mulched to this minimum depth per the Land Development Manual, Landscape Standards. SDMC 142.0413(c).
- j. A minimum root zone of 40sf. in area shall be provided for all trees. The minimum dimension for this area shall be 5', per SDMC 142.0403(b)(5).

NOTE: See Architecture Site Plan for all additional site notes.

SECURE BOUNDING AREA

PLANT LEGEND

TREES			
SYMBOL	BOTANICAL NAME / COMMON NAME	QTY	SIZE
①	Existing Phoenix canariensis / Canary Island Palm	01	4"BTH
②	Existing Strelitzia nicholai / Giant Bird of Paradise To be removed to meet Brush Management Regulations.	01	20'-30"HT
③	Existing Agonis flexuosa / Peppermint Tree To be pruned to meet Brush Management Regulations.	02	24"Caliper
④	Existing Olea europaea / Olive Tree 'Multi-Trunk' To be pruned to meet Brush Management Regulations.	01	12"-18"Caliper
⑤	Existing Syagrus romanzoffianum / Queen Palm	02	20'-30"BTH
⑥	Existing Cinnamomum camphora / Camphor Tree	01	6"Caliper
⑦	Existing Eucalyptus sideroxylon / Red Ironbark	01	36"Caliper
⑧	Various Dwarf Fruit Trees	18	2"-4"Caliper

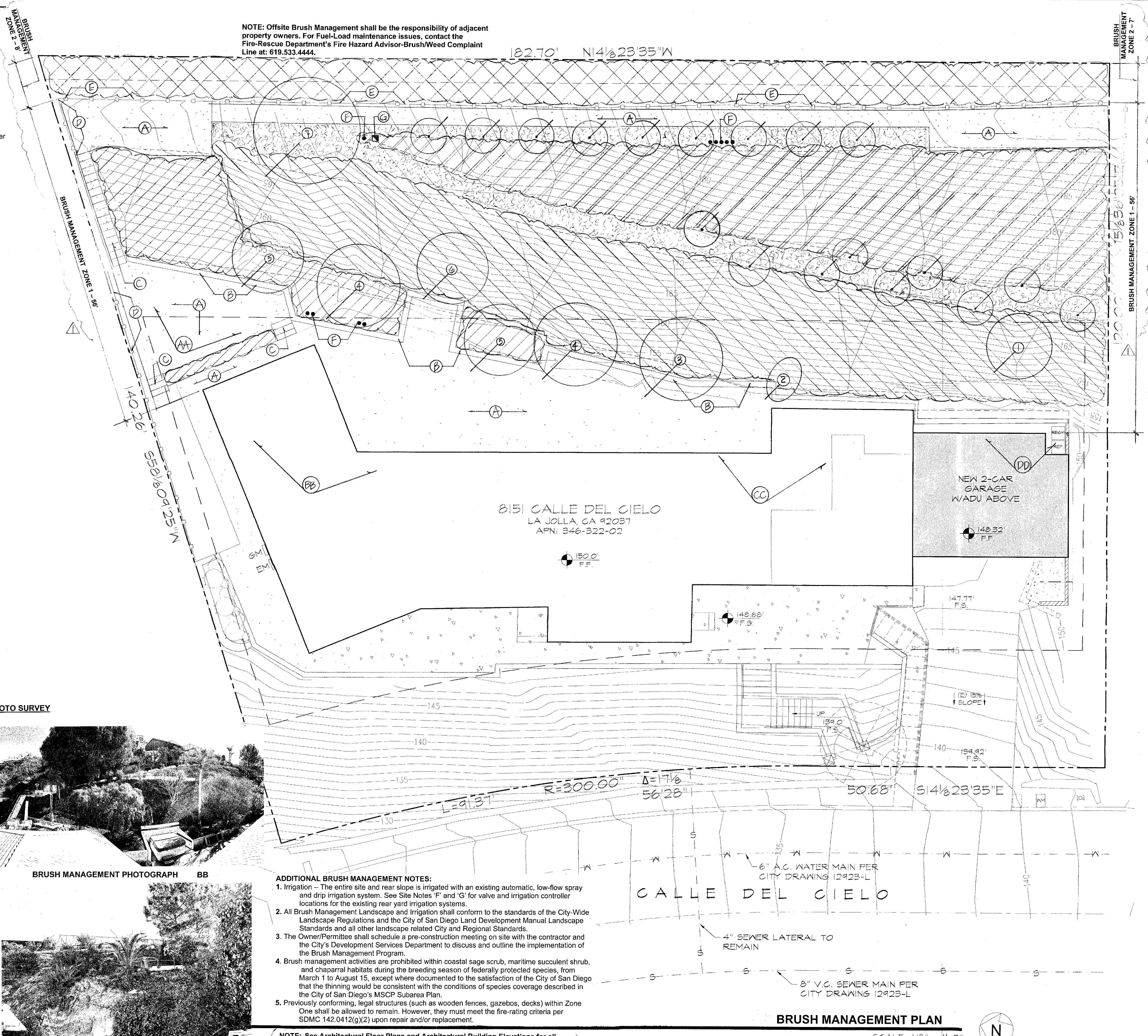
SHRUBS & PERENNIALS

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE
[Hatched Box]	Existing configuration of ornamental plantings to remain: Agave attenuata / Agave Callistemon viminalis 'Little John' / Dwarf Bottlebrush Cycas revoluta / Sago Palm Pelargonium x domesticum / Hybrid Zonal Geranium Pittosporum tobira / Pittosporum Rosa 'Iceberg' / Hedge Rose Raphiolepis indica / Indian Hawthorn ZONE 1 - IRRIGATED	
[Hatched Box]	Existing groundcover and several volunteer plantings to remain: Hedera canariensis / Algerian Ivy Rhus integrifolia / Lemonadeberry Schinus terebinthifolius / Brazilian Pepper Tree Suckers ZONE 1 - IRRIGATED	
[Hatched Box]	Existing Myoporum parvifolium / Prostrate Myoporum groundcover to remain. ZONE 1 - IRRIGATED	
[Cross-hatched Box]	Existing massings of the following plantings to remain: Acacia redolens / Prostrate Acacia Rhus integrifolia / Lemonadeberry Schinus terebinthifolius / Brazilian Pepper Tree Suckers ZONE 2 - NON-IRRIGATED	
[Dotted Box]	Existing 3" Layer wood bark mulch groundcover	

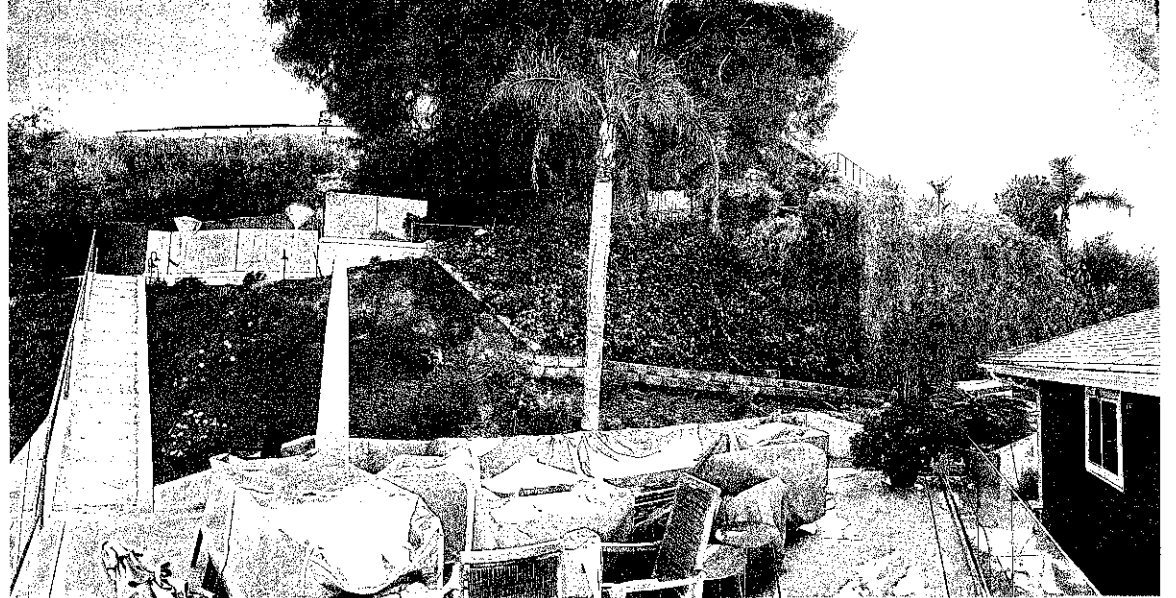
SITE PLAN NOTES

- A. Existing concrete paving.
- B. Existing masonry planter walls.
- C. Existing concrete stairs.
- D. Existing tempered glass handrailing.
- E. Existing 6'height wood fence.
- F. Existing irrigation valves that irrigates the entire rear yard area.
- G. Existing Hunter Pro C irrigation controller.

NOTE: Offsite Brush Management shall be the responsibility of adjacent property owners. For Fuel-Load maintenance issues, contact the Fire-Rescue Department's Fire Hazard Advisor-Brush/Weed Complaint Line at: 619.533.4444.



EXISTING SITE CONDITIONS - PHOTO SURVEY



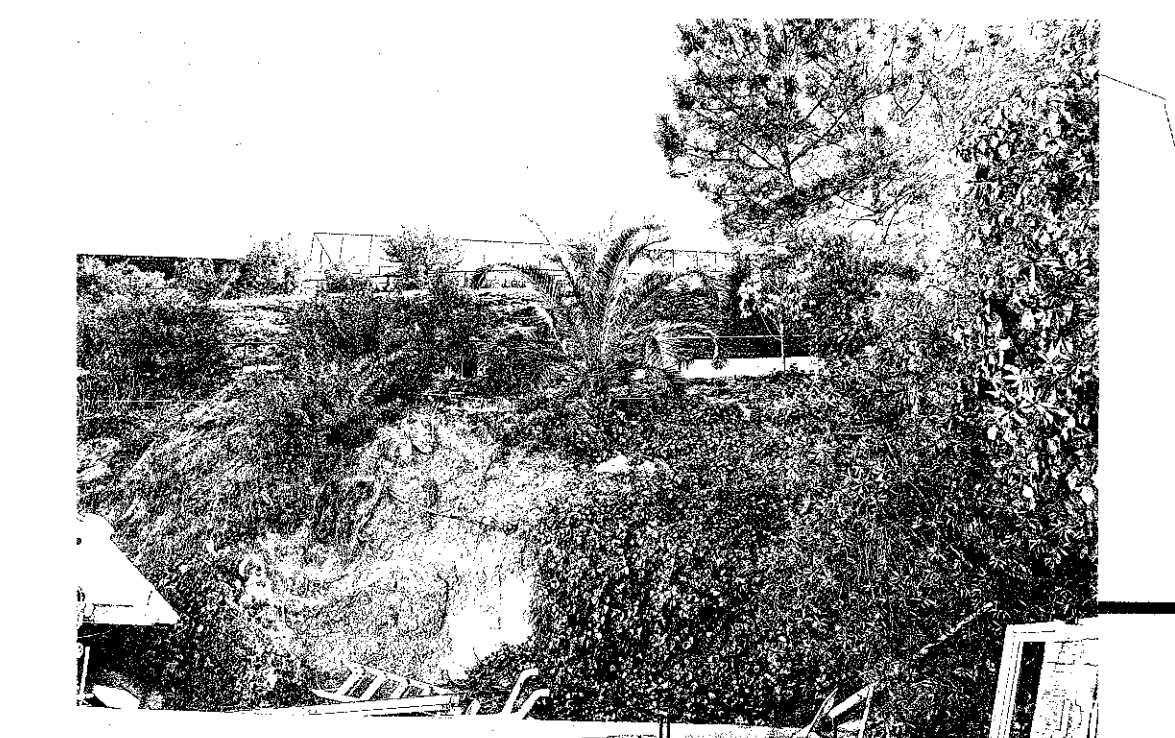
BRUSH MANAGEMENT PHOTOGRAPH AA



BRUSH MANAGEMENT PHOTOGRAPH BB



BRUSH MANAGEMENT PHOTOGRAPH CC



BRUSH MANAGEMENT PHOTOGRAPH DD

- ADDITIONAL BRUSH MANAGEMENT NOTES:
- Irrigation - The entire site and rear slope is irrigated with an existing automatic, low-flow spray and drip irrigation system. See Site Notes 'F' and 'G' for valve and irrigation controller locations for the existing rear yard irrigation systems.
 - All Brush Management Landscape and Irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
 - The Owner/Permittee shall schedule a pre-construction meeting on site with the contractor and the City's Development Services Department to discuss and outline the implementation of the Brush Management Program.
 - Brush management activities are prohibited within coastal sage scrub, maritime succulent shrub, and chaparral habitats during the breeding season of federally protected species, from March 1 to August 15, except where documented to the satisfaction of the City of San Diego that the thinning would be consistent with the conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
 - Previously conforming, legal structures (such as wooden fences, gazebos, decks) within Zone One shall be allowed to remain. However, they must meet the fire-rating criteria per SDMC 142.0412(g)(2) upon repair and/or replacement.

NOTE: See Architectural Floor Plans and Architectural Building Elevations for all Alternative Compliance Mitigation requirements for the building addition.

BRUSH MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"

LASKA - Garage & Accessory Dwelling Unit

8151 Calle del Cielo, La Jolla, CA 92037

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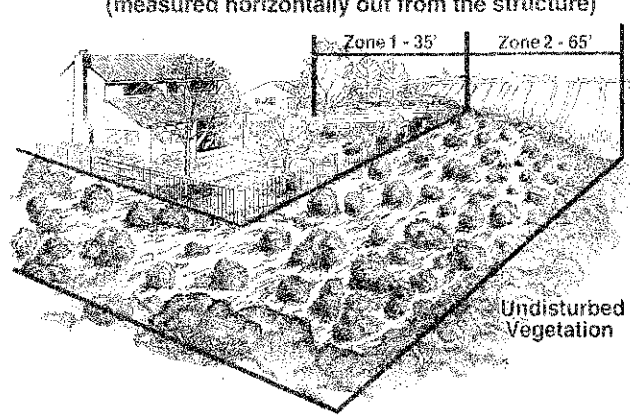
BRUSH MANAGEMENT PLAN
BM1

San Diego Municipal Code
§142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	N.R. 56' 56'
Zone Two	65-feet	N.R. 81' 81'

San Diego Fire-Rescue Department requires 100 ft.
(measured horizontally out from the structure)



(f) The Zone Two width may be decreased by 1 ½ feet for each 1 foot of increase in Zone One width, however, within the Coastal Overlay Zone, a maximum reduction of 30 feet of Zone Two width is permitted.

(g) Zone One Requirements

- (1) The required Zone One width shall be provided between native or naturalized vegetation and any *structure* and shall be measured from the exterior of the *structure* to the vegetation.
- (2) Zone One shall contain no habitable *structures*, *structures* that are directly attached to habitable *structures*, or other combustible construction that provides a means for transmitting fire to the habitable *structures*. *Structures* such as *fences*, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated Type IV or heavy timber construction as defined in the California Building Code.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.
- (4) Trees within Zone One shall be located away from *structures* to a minimum distance of 10 feet as measured from the *structures* to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

(h) Zone Two Requirements

- (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable *structure*, to the edge of undisturbed vegetation.
- (2) No *structures* shall be constructed in Zone Two.
- (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- (5) The following standards shall be used where Zone Two is in an area previously *graded* as part of legal *development* activity and is proposed to be planted with new plant material instead of *clearing* existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing *sensitive biological resources*.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable *structures* and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonnage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

(D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.

- (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
- (7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on *premises* with existing *structures*, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
 - (i) An *applicant* may request approval of alternative compliance for brush management in accordance with Process One if all of the following conditions exist:
 - (1) The proposed alternative compliance provides sufficient defensible space between all *structures* on the *premises* and contiguous areas of native or naturalized vegetation as demonstrated to the satisfaction of the Fire Chief based on documentation that addresses the topography of the site, existing and potential fuel load, and other characteristics related to fire protection and the context of the proposed *development*.
 - (2) The proposed alternative compliance minimizes impacts to undisturbed native or naturalized vegetation where possible while still meeting the purpose and intent of Section 142.0412 to reduce fire hazards around *structures* and provide an effective fire break.
 - (3) The proposed alternative compliance is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
 - (j) If the Fire Chief approves alternative compliance in accordance with this section, the modifications shall be recorded with the approved permit conditions if approved as part of a *development permit*, or noted in the permit file if approved as part of a *construction permit*.
 - (k) For existing *structures*, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition if it is determined that an imminent fire hazard exists.
 - (l) Brush management for existing *structures* shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the *structure* being protected by brush management is owned by the property owner subject to these requirements or is on neighboring property.

San Diego Landscape Standards
Section III - Brush Management

3-1 BRUSH MANAGEMENT - DESCRIPTION

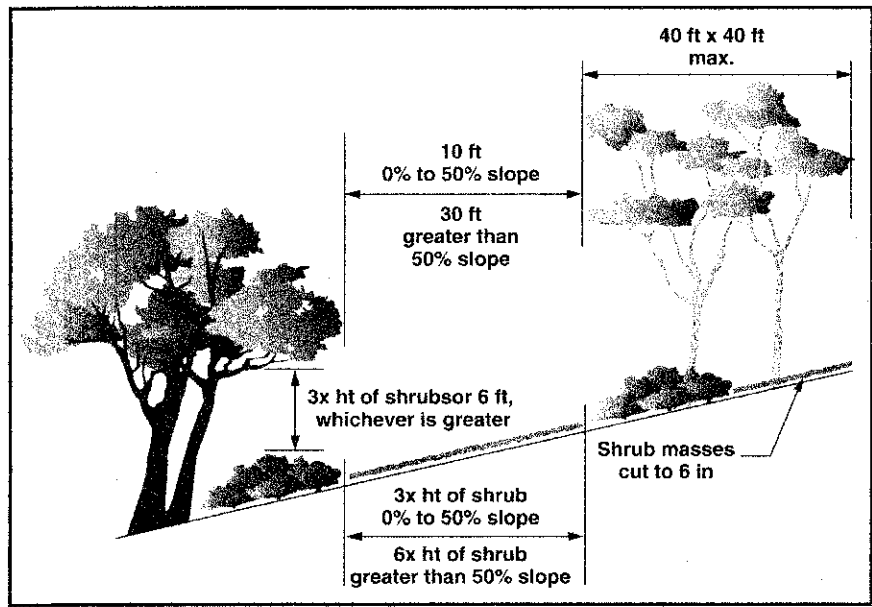
Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

3.2-1 Basic requirements – All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (**Figure 3-1**). Dead and excessively twiggy growth shall also be removed.

Figure 3-1
Pruning Trees to Provide Clearance for Brush Management



- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (**Figure 3-1**).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures
 - 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see **Appendix "B"**).
 - 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
 - 3.2-2.03 Maintain all plantings in a succulent condition.
 - 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements – All Structures
 - 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

1. General Maintenance ~ Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
2. Brush Management Zone 1 ~ This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
3. Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
4. Long-term Maintenance Responsibility ~ All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of OWNER [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

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Author:

Date: 11-15-24

BRUSH MANAGEMENT
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