

La Jolla Shores Planned District Advisory Board (LJSPDAB) APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items): PRJ-1136844 – Coppel Residence (Substantial Conformance Review for approved CDP No. PMT-2528041 & SDP No. PMT-2541139)
- Address and APN(s): 8424 Avenida De Las Ondas, La Jolla, CA 92037 — APN 346-132-03-00
- Project contact name, phone, e-mail: Chandra Slaven, Coastal Vérité LLC (permitting consultant) – (619) 316-7645 – chandra@coastalverite.co
- Project description: Substantial Conformance Review for approved Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT-2541139. The project revises the previously granted two-story residence with detached garage (7,488 sq. ft. total building area) to a two-story residence with attached garage (8,072 sq. ft. total building area) — a 7% change (less than a 10% modification). The updated project includes a 5,211 sq. ft. upper level (2nd level), a 2,069 sq. ft. lower level/basement (1st level), and a 792 sq. ft. attached garage, with upper- and lower-level deck areas, a swimming pool, and landscape areas. Construction Type V-B; Occupancy R-3; automatic fire sprinklers provided.
- Please indicate the action you are seeking from the Advisory Board:
 - ☐ Recommendation that the Project is minor in scope (Process 1)
 - ☐ Recommendation of approval of a Site Development Permit (SDP)
 - ☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☒ Other: Recommendation of approval of a Substantial Conformance Review (SCR) of the previously approved SDP No. PMT-2541139 and CDP No. PMT-2528041 (less-than-10% modification).
- In addition, provide the following:
 - lot size: 20,276 sq. ft. (0.47 acres)
 - Existing structure square footage and FAR (if applicable): Previously approved (per CDP No. PMT-2528041 / SDP No. PMT-2541139): 7,488 sq. ft. total building area.
 - Proposed square footage and FAR: 8,072 sq. ft. total building area; Gross Floor Area 7,922 sq. ft.; FAR 0.39 (max. allowable 0.45 / 9,124 sq. ft.). Conditioned area 7,280 sq. ft.; garage 792 sq. ft.; lot coverage 33% (6,760 sq. ft.).
 - Existing and proposed setbacks on all sides (existing residence / proposed residence): Front (East): 26'-2" / 26'-0"; Side (North): 5'-3" / 5'-3"; Side (South): 5'-8¼" / 5'-0"; Rear (West): 59'-9½" / 51'-2". (Min. setbacks per previously granted CDP/SDP: Front 25', Sides 5', Rear 30'.)
 - Height if greater than 1-story (above ground): Proposed overall structure height 19'-4¾" (max. allowable 30'; Coastal Height Limit applies). Two stories (one story above grade plus basement).

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173

PROPOSED



PROPOSED



EXISTING



EXISTING



PROPOSED



PROPOSED



EXISTING



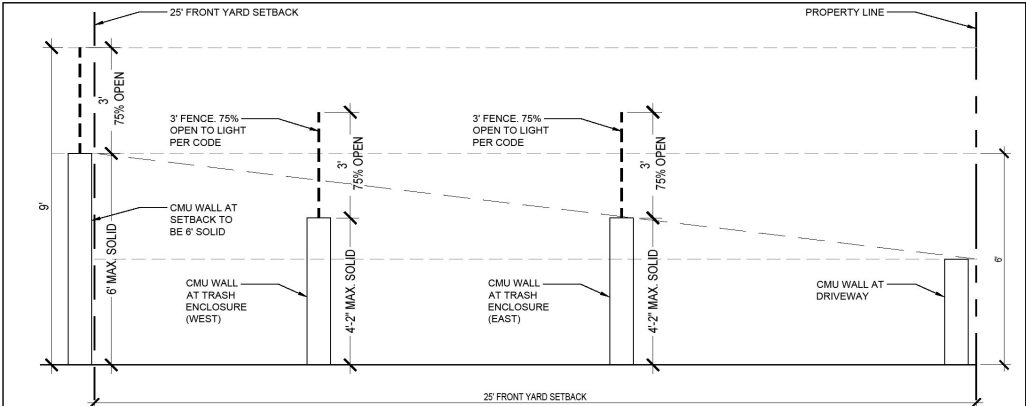
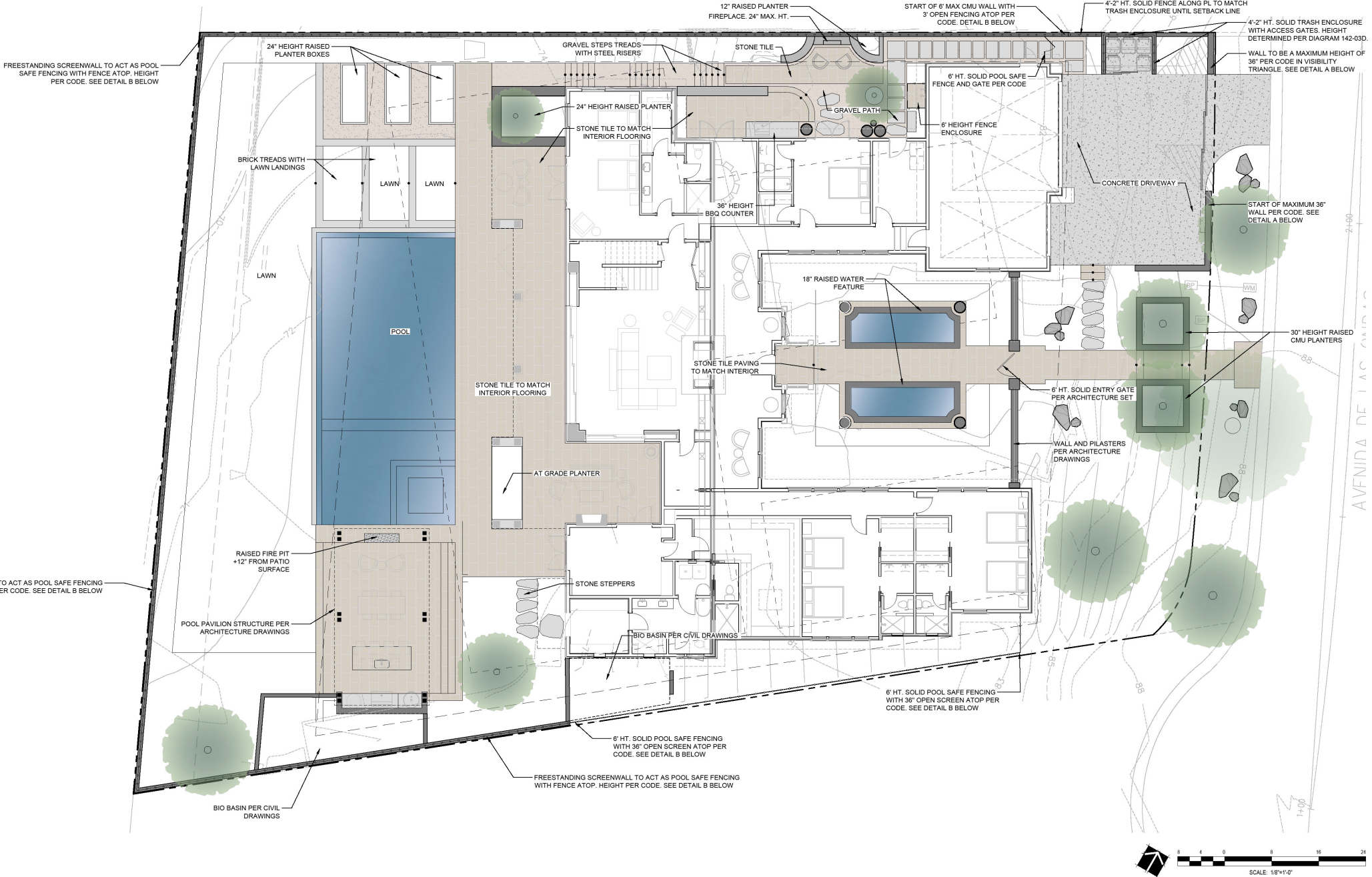
Coppel Residence
8424 Avenida de las Ondas, La Jolla, CA 92037

EXISTING

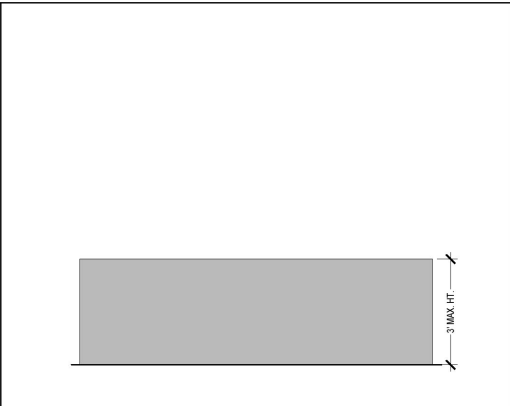


NND DESIGN

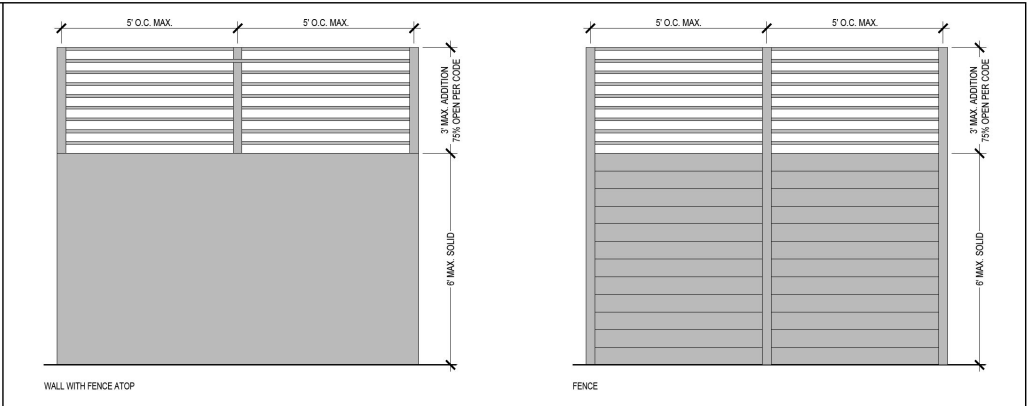
LANDSCAPE LIGHTING NOTES:
LIGHT FIXTURES FOR ALL LANDSCAPE AREAS SHALL BE PROVIDED IN SUFFICIENT NUMBERS AND AT PROPER LOCATIONS TO ASSURE SAFE AND CONVENIENT NIGHTTIME USE. ALL LIGHT FIXTURES SHALL BE APPROPRIATELY SHIELDED SO THAT NO LIGHT OR GLARE IS TRANSMITTED OR REFLECTED IN SUCH CONCENTRATED QUANTITIES OR INTENSITIES AS TO BE DETRIMENTAL TO THE SURROUNDING AREA. ALL EXTERIOR LIGHTING, INCLUDING LIGHTING IN DESIGNATED "DARK SKY" AREAS, SHALL BE IN CONFORMANCE WITH EXTERIOR LIGHTING REGULATIONS.



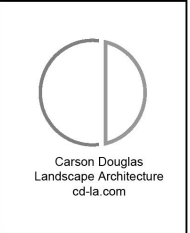
Ⓐ FENCE HEIGHT DIAGRAM (142-03D)



Ⓑ DRIVEWAY WALL



Ⓒ POOL SAFE FENCE ALONG PL (OUTSIDE OF SETBACK)



SHEET TITLE:
CONCEPT PLAN

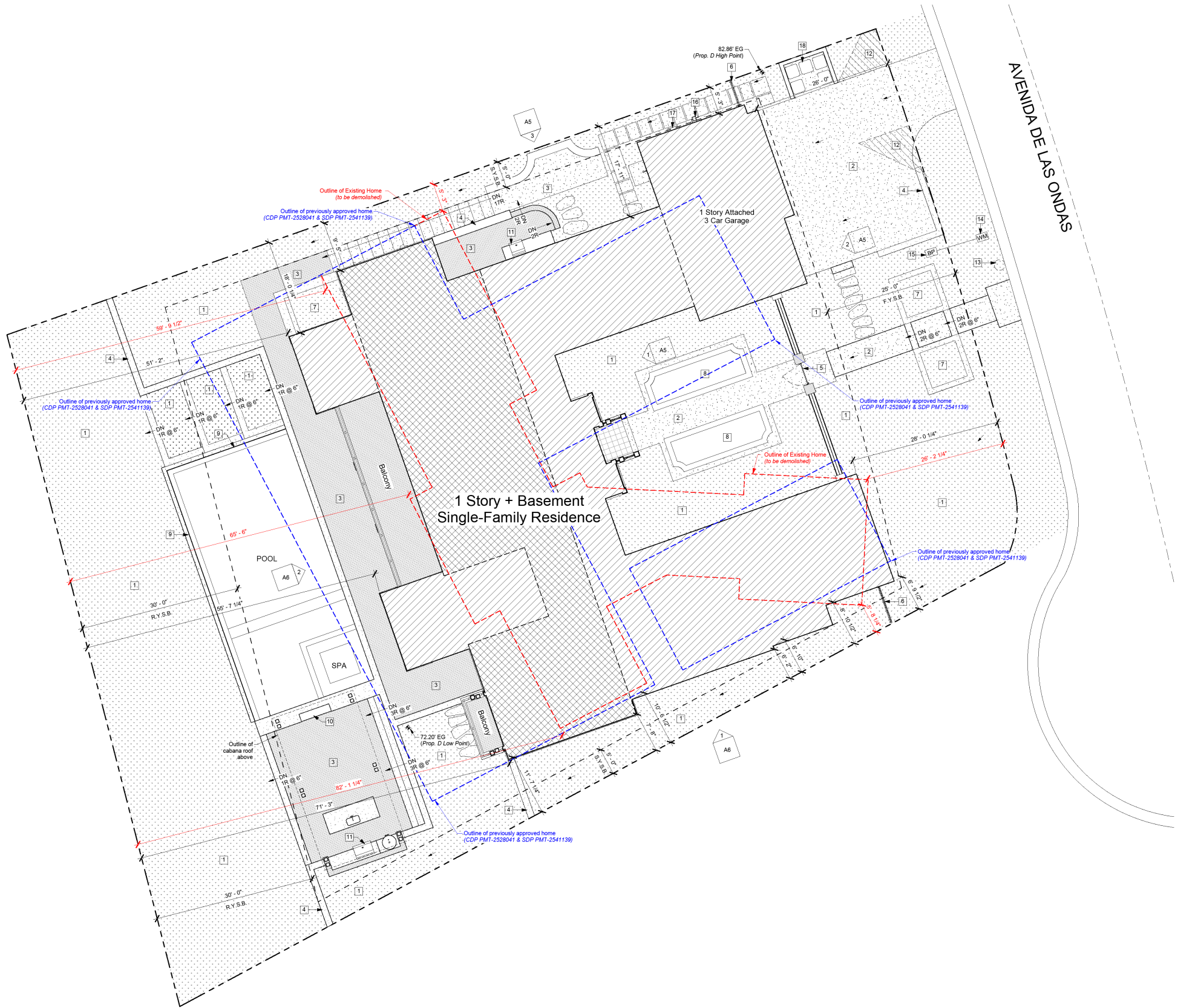
PROJECT | CLIENT:
AVENIDA DE LAS ONDAS
LANDSCAPE CONCEPT PLAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA



revisions	
CDP SUBMITTAL	10-30-2025
CDP SUBMITTAL	02-03-2026
CDP SUBMITTAL	06-19-2026

sheet plot date - 06-17-2026
carson douglas job number - 25-029
design start date - 07-25-2025

L-1.0



SITE PLAN NOTES:

- A) All surface water is to drain away from buildings at a MIN of 5% slope within the first 10 feet (2% for impervious surfaces). See arrows on site plan drainage pattern. Contractor to approve all drainage schemes prior to completion of the project.
- B) Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). [CGC 4.106.3] Exception: Additions not altering the drainage path.
- C) Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following:
- 1) Retention Basin
 - 2) Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle, or other approved method. [CGC 4.106.2]
- D) Landscape irrigation to be installed in all landscaped areas including adjoining public property. Landscape irrigation will have weather or soil based controllers as required by [CGC 4.304.1]
- E) All existing/ proposed impervious stormwater runoff will be routed to landscape areas or planter boxes prior to reaching the public drain system.
- F) Water meters for combined domestic water and fire sprinklers systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official
- G) Automatic irrigation system controllers shall comply with [CGC 4.304.2] as follows:
- 1) Controllers shall be weather or soil moisture based that automatically adjust irrigation in response to changes in needs as weather conditions change.
 - 2) Weather based controllers shall have separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture based controllers are not required to have rain sensors.
- H) New buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be minimum 4" high with minimum stroke width of 1/2" per [CFC 505.1]
- I) Prior to issuance of any construction permit, the Owner shall incorporate any Construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- J) Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LEGEND:

- One-Story Structure
- Basement Below (Two-Story Structure)
- Brick Paving (Hardscape)
- Concrete (Hardscape)
- Landscape (Softscape)
- Slope for drainage
- Outline of Existing Home (To be demolished)
- Outline of Previously Approved Home (CDP PMT-2528041 & SDP PMT-2541139)

KEY NOTES:

- 1 Landscape (Softscape)
- 2 Concrete Hardscape
- 3 Brick Hardscape
- 4 Stone-clad retaining wall; See Landscape Sheet L-1.0 & Civil Sheets
- 5 Courtyard Entry Gate & Wall; See Elevations
- 6 Combination Open/Solid Fence; See Landscape Sheet L-1.0
- 7 Stone-clad Raised Planter; See Landscape Sheet L-1.0
- 8 Stone / Concrete Fountain
- 9 Waterfall edge pool
- 10 Fire Pit
- 11 Outdoor barbecue (BBQ); BBQ installation guide to be provided to Building Inspector to verify all clearances to combustibles are compliant; BBQ structure, counter, and parapet wall surrounding BBQ to be non-combustible framing to satisfy proper clearances to combustible construction per manufacturer's specifications
- 12 10' x 10' Visibility Triangle: No obstruction in the visibility area shall exceed 3 feet in height
- 13 Existing water meter to be relocated
- 14 New water meter location
- 15 Backflow model #975XL2 by Wilkins; SDW-155 backflow assembly type
- 16 New gas meter
- 17 Recessed electrical panel; 400 AMP panel; Provide electrical conduit for Solar Panels; Electrical Panel shall be solar ready
- 18 Trash Enclosure; See Landscape Sheets

SETBACKS:

La Jolla Shores Planned District
SDMC 1519.0304 Single-Family Zone-Development Regulations
(b) Siting of Buildings
(1) Buildings with openings (i.e., doors and/or windows) facing the side property line shall be constructed not closer than four feet from said property line, in some circumstances, provided the see-through provisions in Section 1510.0301(c) are observed.
(4) Building and structure setbacks shall be in general conformity with those in the vicinity

SETBACKS PER PREVIOUSLY GRANTED COASTAL DEVELOPMENT PERMIT NO. PMT-2528041 SITE DEVELOPMENT PERMIT NO. PMT-2541139:

Front (East) Setback:	25' - 0"
Side (North) Setback:	5' - 0"
Side (South) Setback:	5' - 0"
Rear (West) Setback:	30' - 0"

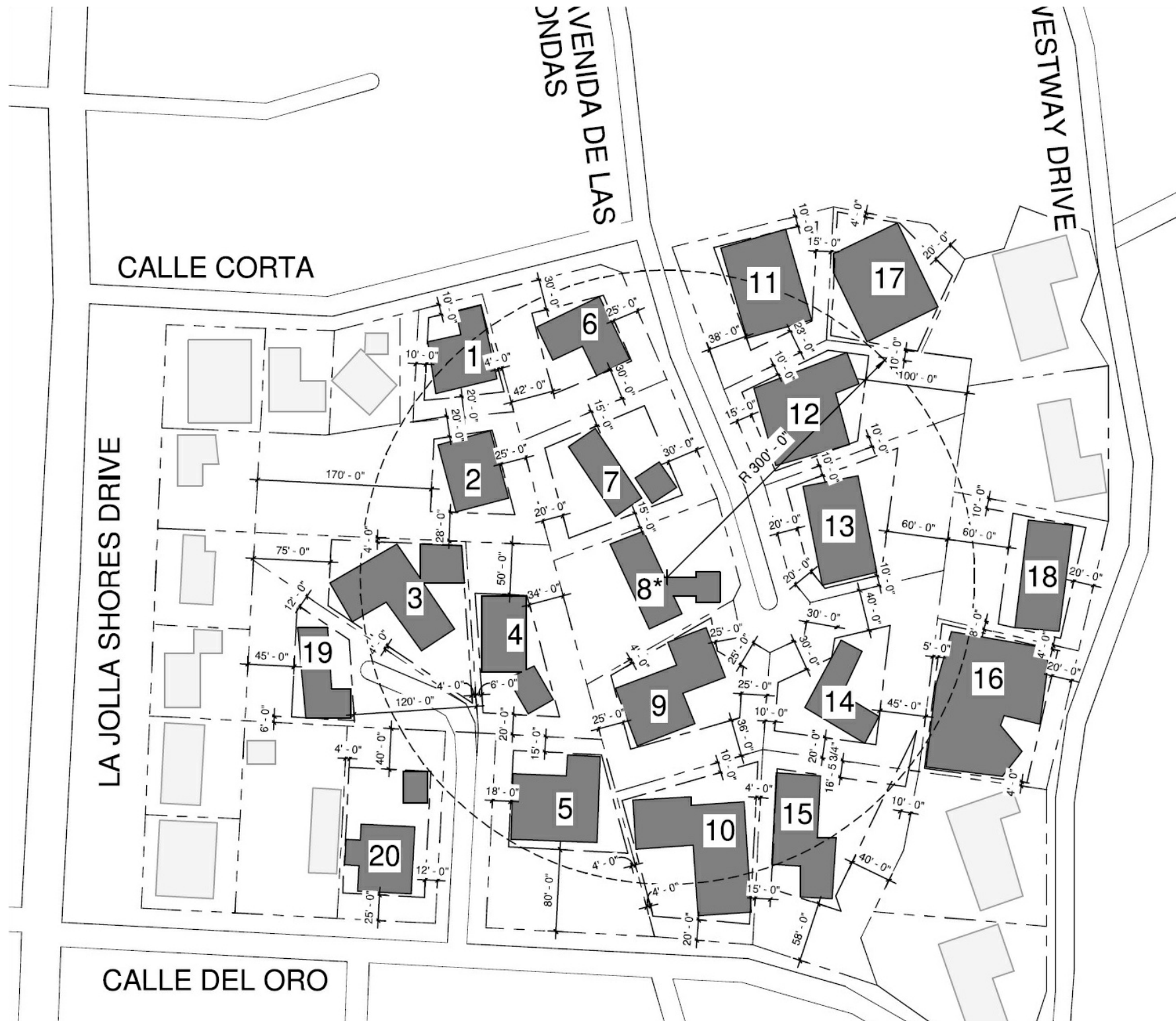
Existing Residence:

Front (East) Setback:	26' - 2"
Side (North) Setback:	5' - 3"
Side (South) Setback:	5' - 8.25"
Rear (West) Setback:	55' - 9.5"

Proposed Residence:

Front (East) Setback:	26' - 0"
Side (North) Setback:	5' - 3"
Side (South) Setback:	5' - 0"
Rear (West) Setback:	51' - 2"

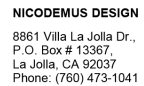
revision	date	notes



#	Address	APN	Lot Size	FAR	Setbacks		
					Front	Side	Rear
1	2341 Calle Corta	346-120-16-00	9,798 SF	0.22	10'	4'	20'
2	2337 Calle Corta	346-120-13-00	31,798 SF	0.15	28'	25'	20'
3	2356 Calle Del Oro	346-120-11-00	21,780 SF	0.23	20'	4'	75'
4	2360 Calle Del Oro	346-120-10-00	24,393 SF	0.15	20'	6'	50'
5	2380 Calle Del Oro	346-120-09-00	26,571 SF	0.27	80'	4'	15'
6	2351 Calle Corta	346-132-01-00	20,825 SF	0.18	25'	25'	42'
7	8434 Avenida De Las Ondas	346-132-02-00	20,762 SF	0.12	20'	15'	35'
8	(E) 8424 Avenida De Las Ondas	346-132-03-00	20,276 SF	0.33	25'	5'	30'
	(P) 8424 Avenida De Las Ondas	346-132-03-00	20,276 SF	0.39	26'	5'	51.1'
9	8414 Avenida De Las Ondas	346-132-04-00	23,086 SF	0.12	25'	4'	25'
10	2404 Calle Del Oro	346-132-05-00	22,215 SF	0.19	20'	4'	10'
11	8445 Avenida De Las Ondas	346-132-10-00	20,175 SF	0.16	38'	10'	15'
12	8435 Avenida De Las Ondas	346-132-09-00	22,215 SF	0.28	15'	10'	100'
13	8425 Avenida De Las Ondas	346-132-08-00	25,264 SF	0.12	20'	10'	60'
14	8415 Avenida De Las Ondas	346-132-07-00	26,163 SF	0.11	30'	10'	45'
15	2414 Calle Del Oro	346-132-06-00	29,185 SF	0.22	55'	15'	15'
16	8456 Westway Dr	346-690-03-00	20,096 SF	0.29	20'	4'	5'
17	8528 Ruelle Monte Carlo	346-831-12-00	14,805 SF	0.47	20'	4'	20'
18	8476 Westway Dr	346-690-02-00	20,081 SF	0.31	20'	4'	60'
19	2352 Calle Del Oro	346-120-12-00	26,136 SF	0.09	6'	45'	12'
20	2340 Calle Del Oro	346-120-08-00	18,874 SF	0.27	25'	4'	40'

Coppel Residence
8424 Avenida de las Ondas, La Jolla, CA 92037





Drawn By:
NN

Drawing Date:
10/30/202

Revisions:		
revision	date	notes

Coppel Residence
8424 Avenida de las Ondas, La Jolla, CA 92037

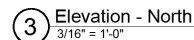
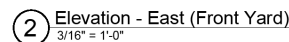
PROJECT:

Elevations

SHEET TITLE:

A5

DRAWING NUMBER:



1	NuCedar® Shingles per specifications; Color to be 'Basket Beige'
2	White Brick
3	Boral TrueExterior Trim; Painted White
4	Architectural Column, Painted White; Framing per Structural
5	Boral-clad Architectural Beam, Painted White; Framing per Structural
6	Natural Slate Shingles per specifications
7	Copper Standing-Seam Roof per specifications
8	Copper half-round gutter
9	Marvin Ultimate Windows, Exterior color to be Stone White; See window schedule on sheet SC
10	Marvin Ultimate Exterior Doors, Exterior color to be Stone White;

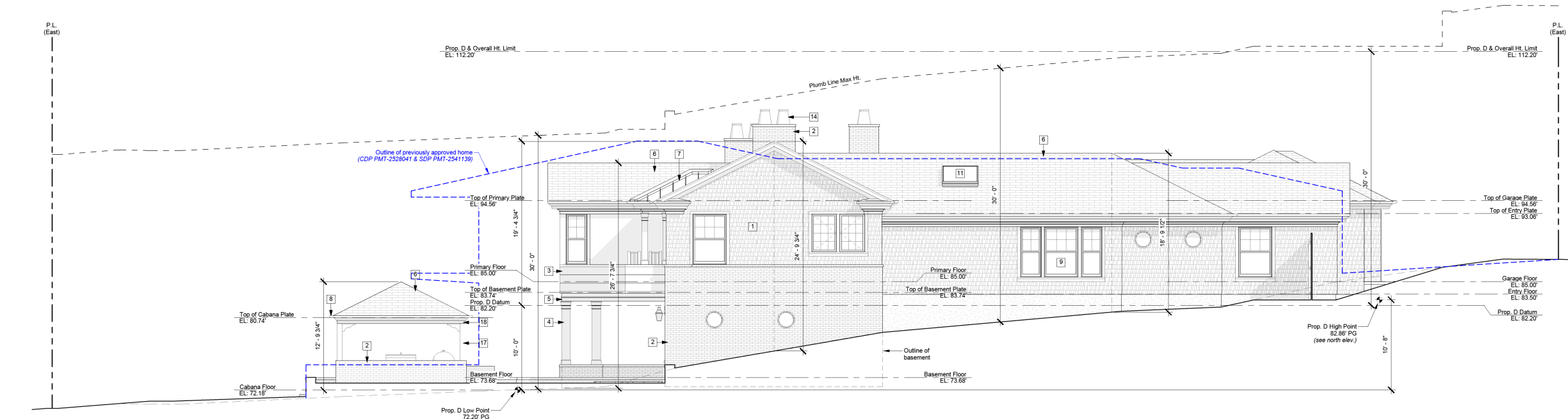
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|----|---|
| 11 | Skylight by Velux |
| 12 | Custom Wood front door; Painted White; See door sheet SC for more information |
| 13 | Wood Garage door; Painted White |
| 14 | Clay Chimney Pots |
| 15 | Wood Gate; Stained |
| 16 | Custom composite railing; Painted White |
| 17 | Wood Post, Painted White; Framing per Structural |
| 18 | Wood Beam, Painted White; Framing per Structural |
| 19 | Decorative Panel, Painted White; See details |

- | | |
|----|---|
| 20 | Outdoor barbecue (BBQ): BBQ installation guide to be provided to Building Inspector to verify all clearances to combustibles are compliant; BBQ structure, counter, and parapet wall surrounding BBQ to be non-combustible framing to satisfy proper clearances to combustible construction per manufacturer's specifications |
| 21 | New gas meter |
| 22 | Recessed electrical panel; 400 AMP panel; Provide electrical conduit for Solar Panels; Electrical Panel shall be solar ready |

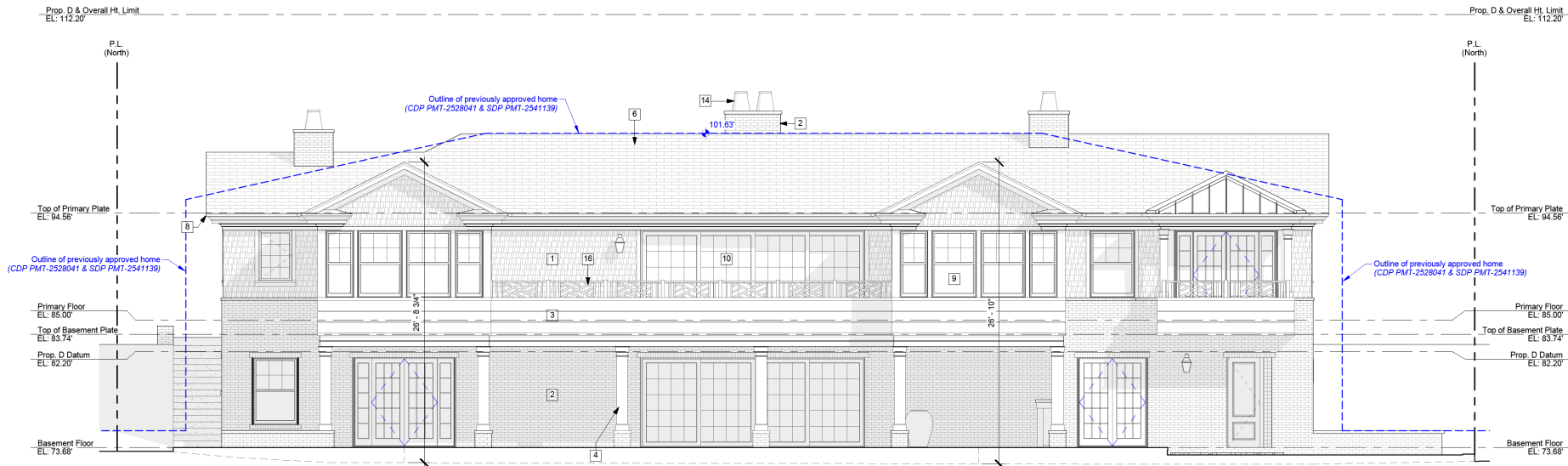
- A) Insulation to be placed in per specifications and Title 24 requirements.
- B) All low-slope roofs shall be non-vented per detail
- C) Balconies over conditioned space shall be non-vented per detail
- D) See roof plan for roof drainage

- A) See sheet SC for window and door schedules.
- B) See details x-x/x/x for typical exterior window head, sill, and jamb details.
See detail x/x/x for typical window installation.
- C) Glazing in the following locations shall be safety glazing material in accordance with CBC 2408:
- 1) Fixed and sliding panels of sliding door assemblies and panels in swinging doors other than wardrobe doors.
 - 2) Fixed or operable panels adjacent to a door where the nearest exposed edge of glazing is within a 24 inch arc on either vertical edge of the door in a closed position and where the exposed edge of glazing is less than 60 inches above the walking surface.
 - 3) Walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches above the walking surface.
- D) Tempered glass shall be permanently identified where when the unit is glazed.
- E) The manufacturer of windows shall have a label attested compliance by the National Fire Protection Rating Council (NFRC) and showing compliance with the energy calculations.

revision	date	notes



1 Elevation - South
 3/16" = 1'-0"



2 Elevation - West
 3/16" = 1'-0"

KEY NOTES:

- | | | |
|--|--|--|
| 1 NuCedar® Shingles per specifications; Color to be 'Basket Beige' | 11 Skylight by Velux | 20 Outdoor barbecue (BBQ); BBQ installation guide to be provided to Building Inspector to verify all clearances to combustibles are compliant; BBQ structure, counter, and parapet wall surrounding BBQ to be non-combustible framing to satisfy proper clearances to combustible construction per manufacturer's specifications |
| 2 White Brick | 12 Custom Wood front door; Painted White; See door schedule on sheet SC for more information | 21 New gas meter |
| 3 Boral TruExterior Trim; Painted White | 13 Wood Garage door; Painted White | 22 Recessed electrical panel; 400 AMP panel; Provide electrical conduit for Solar Panels; Electrical Panel shall be solar ready |
| 4 Architectural Column; Painted White; Framing per Structural | 14 Clay Chimney Pots | |
| 5 Boral-Glad Architectural Beam; Painted White; Framing per Structural | 15 Wood Gate; Stained | |
| 6 Natural Slate Shingles per specifications | 16 Custom composite railing; Painted White | |
| 7 Copper Standing-Seam Roof per specifications | 17 Wood Post; Painted White; Framing per Structural | |
| 8 Copper half-round gutter | 18 Wood Beam; Painted White; Framing per Structural | |
| 9 Marvin Ultimate Windows; Exterior color to be Stone White; See window schedule on sheet SC | 19 Decorative Panel; Painted White; See details | |
| 10 Marvin Ultimate Exterior Doors; Exterior color to be Stone White; See door schedule on sheet SC | | |

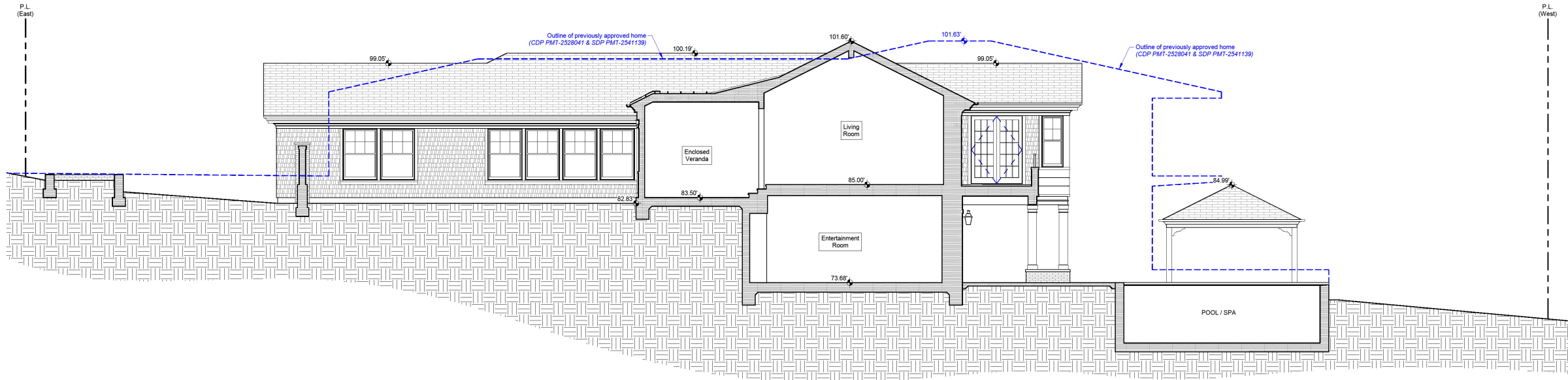
SECTION NOTES:

- A) Insulation to be placed in per specifications and Title 24 requirements.
 B) All low-slope roofs shall be non-vented per detail
 C) Balconies over conditioned space shall be non-vented per detail
 D) See roof plan for roof drainage

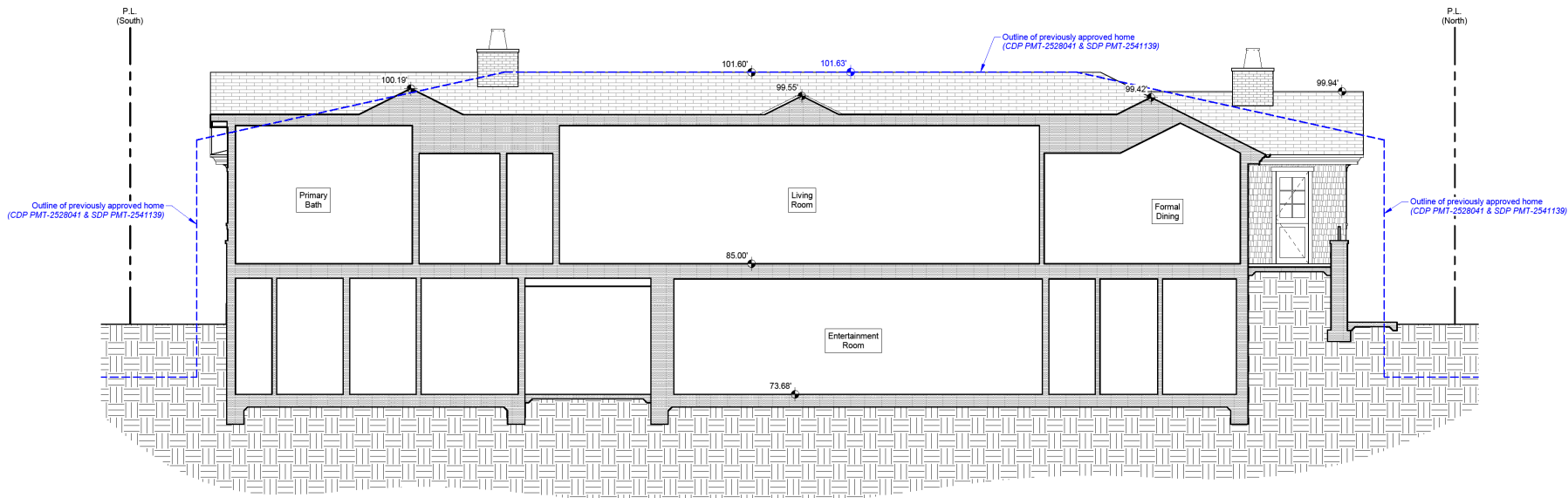
ELEVATION NOTES:

- A) See sheet SC for window and door schedules.
 B) See details x/x/Ax for typical exterior window head, sill, and jamb details. See detail x/Ax for typical window installation.
 C) Glazing in the following locations shall be safety glazing material in accordance with (CBC 2406.4):
 1) Fixed and sliding panels of sliding door assemblies and panels in swinging doors other than wardrobe doors.
 2) Fixed or operable panels adjacent to a door where the nearest exposed edge of glazing is within a 24 inch arc or either vertical edge of the door in a closed position and where the exposed edge of the glazing is less than 60 inches above the walking surface.
 3) Walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches above the walking surface.
 D) Tempered glass shall be permanently identified and visible when the unit is glazed.
 E) The manufactured windows shall have a label attached certified by the National Fenestration Rating Council (NFRC) and showing compliance with the energy calculations.
 F) At patio, provide minimum 2% positive drainage away from all portions of the structure.
 G) See site plan for information pertaining to gates and fences.
 H) Decorative shrouds shall not be installed at the termination of chimneys for factory-built fireplaces, except where such shrouds are listed and labeled for use with the specific system and installed in accordance with the manufacturer's installation instructions.

Revisions:			
revision	date	notes	



1 Building Section
 3/16" = 1'-0"



2 Building Section
 3/16" = 1'-0"

KEY NOTES:

- | | | |
|--|--|--|
| 1 NuCedar® Shingles per specifications; Color to be 'Basket Beige' | 11 Skylight by Velux | 20 Outdoor barbecue (BBQ); BBQ installation guide to be provided to Building Inspector to verify all clearances to combustibles are compliant; BBQ structure, counter, and parapet wall surrounding BBQ to be non-combustible framing to satisfy proper clearances to combustible construction per manufacturer's specifications |
| 2 White Brick | 12 Custom Wood front door; Painted White; See door schedule on sheet SC for more information | 21 New gas meter |
| 3 Boral TruExterior Trim; Painted White | 13 Wood Garage door; Painted White | 22 Recessed electrical panel; 400 AMP panel; Provide electrical conduit for Solar Panels. Electrical Panel shall be solar ready |
| 4 Architectural Column, Painted White; Framing per Structural | 14 Clay Chimney Pots | |
| 5 Boral-clad Architectural Beam, Painted White; Framing per Structural | 15 Wood Gate; Stained | |
| 6 Natural Slate Shingles per specifications | 16 Custom composite railing; Painted White | |
| 7 Copper Standing-Seam Roof per specifications | 17 Wood Post, Painted White; Framing per Structural | |
| 8 Copper half-round gutter | 18 Wood Beam, Painted White; Framing per Structural | |
| 9 Marvin Ultimate Windows; Exterior color to be Stone White; See window schedule on sheet SC | 19 Decorative Panel, Painted White; See details | |
| 10 Marvin Ultimate Exterior Doors; Exterior color to be Stone White; See door schedule on sheet SC | | |

SECTION NOTES:

- A) Insulation to be placed in per specifications and Title 24 requirements.
- B) All low-slope roofs shall be non-vented per detail
- C) Balconies over conditioned space shall be non-vented per detail
- D) See roof plan for roof drainage

ELEVATION NOTES:

- A) See sheet SC for window and door schedules.
- B) See details x/x/Ax for typical exterior window head, sill, and jamb details. See detail x/Ax for typical window installation.
- C) Glazing in the following locations shall be safety glazing material in accordance with (CBC 2406.4):
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 - 2) Fixed or operable panels adjacent to a door where the nearest exposed edge of glazing is within a 24 inch arc or either vertical edge of the door in a closed position and where the exposed edge of the glazing is less than 60 inches above the walking surface
 - 3) Walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches above the walking surface
- D) Tempered glass shall be permanently identified and visible when the unit is glazed.
- E) The manufactured windows shall have a label attached certified by the National Fenestration Rating Council (NFRC) and showing compliance with the energy calculations
- F) At patio, provide minimum 2% positive drainage away from all portions of the structure.
- G) See site plan for information pertaining to gates and fences.
- H) Decorative shrouds shall not be installed at the termination of chimneys for factory-built fireplaces, except where such shrouds are listed and labeled for use with the specific system and installed in accordance with the manufacturer's installation instructions.