

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items): PRJ-1154920 — Race Residence
- Address and APN(s): 8332 Calle del Cielo, La Jolla, CA 92037; APN 346-180-23-00
- Project contact name, phone, e-mail: Tim Martin, AIA, Martin Architecture, 760-729-3470, tim@martinarchitecture.com
- Project description: Demolition of the existing one-story single-family residence (built 1976) and construction of a new two-story single-family residence with guest quarters, including a two-car attached garage at the residence and a single garage at the guest quarters; new curb cut at Calle del Cielo; new front- and rear-yard landscaping with new site drainage system and site retaining walls; and new/upgraded electrical service. Required permits: Coastal Development Permit (CDP) and Site Development Permit (SDP).
- Please indicate the action you are seeking from the Advisory Board:
 - ☐ Recommendation that the Project is minor in scope (Process 1)
 - ☐ Recommendation of approval of a Site Development Permit (SDP)
 - ☒ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☐ Other: _____
- In addition, provide the following:
 - lot size: 20,533 SF (0.47 acres)
 - existing structure square footage and FAR (if applicable): 3,427 SF gross (2,734 SF main floor + 693 SF garage); FAR 0.17 — to be demolished
 - proposed square footage and FAR: 6,463 SF GFA (residence 5,025 SF + guest quarters 1,438 SF); FAR 0.31 (0.45 max permitted per SDMC 131-04j)
 - existing and proposed setbacks on all sides: Proposed: front 26'-9", side yards 6'-0" each, rear 88'-0" (existing residence to be demolished; existing conditions per survey on Sheet A104)
 - height if greater than 1-story (above ground): 2 stories; 18'-9½" per Coastal height measurement / 23'-6" per zoning measurement (30'-0" max permitted)

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____

- proposed square footage and FAR: ____
- existing and proposed setbacks on all sides: ____
- height if greater than 1-story (above ground): ____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

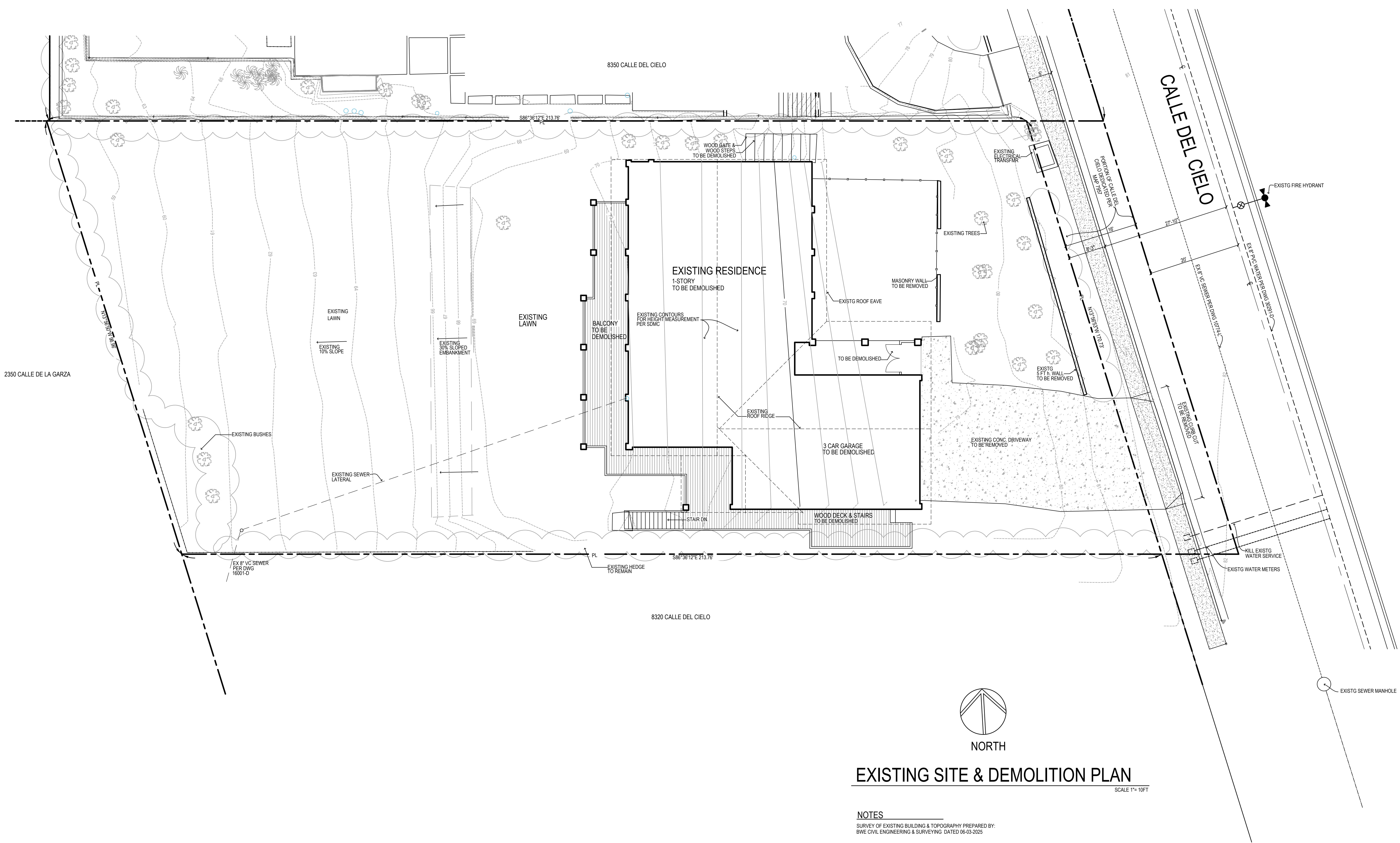
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173

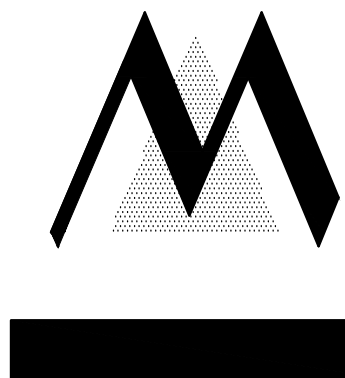


EXISTING SITE & DEMOLITION PLAN

SCALE 1"= 10FT

NOTES

SURVEY OF EXISTING BUILDING & TOPOGRAPHY PREPARED BY:
BWE CIVIL ENGINEERING & SURVEYING DATED 06-03-2025



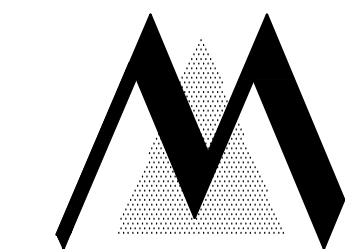
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

07-08-26

SHEET NO.

A104



RACE RESIDENCE

8332 CALLE DEL CIELO LA JOLLA CA 92037

MARTIN ARCHITECTURE

Tim Martin A.I.A.

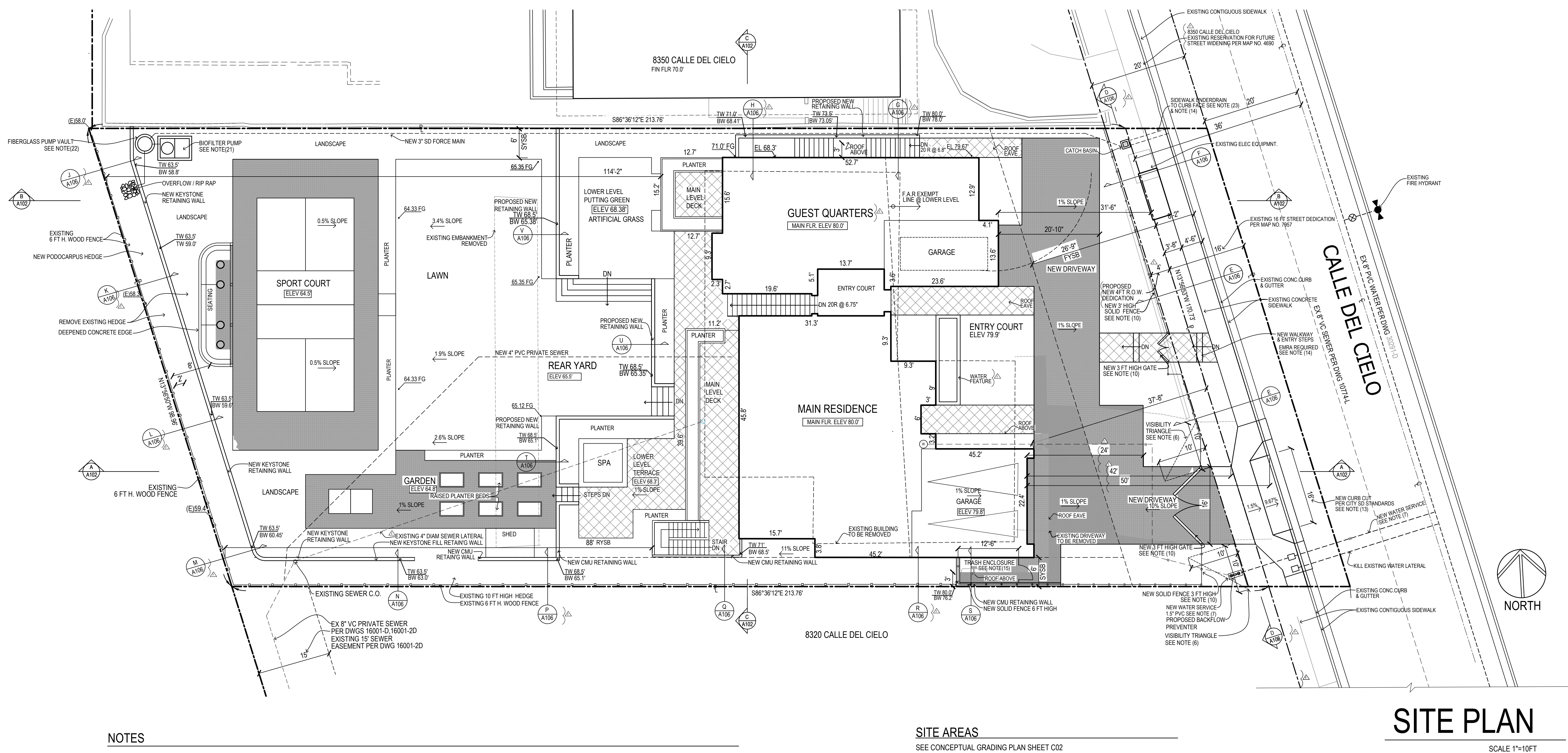
2333 State Street Suite 100 Carlsbad, CA 92008
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tim@martinarchitecture.com

03-27-26
07-15-26

SHEET NO.

A101



SITE PLAN

SCALE 1"=10FT

NOTES

- SEE SHEET A104 FOR EXISTING SITE PLAN
- SEE SHEET A102 FOR SITE SECTIONS
- SEE SHEET A105 FOR NEIGHBORHOOD SITE PLAN AND FIRE HYDRANT LOCATIONS
- SEE GRADING PLAN SHEET C02 FOR PROPOSED GRADES & SITE DRAINAGE
- MAX 6FT HIGH NEW SOLID CEDAR FENCE TYPICAL AT SIDEYARD PROPERTY LINES
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3FT IN HEIGHT. PER SDMC SECTION 142.0409(b)(2) PLANT MATERIAL OTHER THAN TREES LOCATED IN VISIBILITY AREAS OR THE THE ADJACENT RIGHT OF WAY SHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL
- NEW WATER SERVICE
KILL EXISTING WATER SERVICE
PROPOSED NEW PRIVATE 1.5" PVC WATER SERVICE w/ WATER METER
NEW BACKFLOW PREVENTER AT PROPERTY LINE PER CITY S.D. STDS. SEE NOTE (8)
- ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED ON THE PROJECTS APPROVED WATER METER DATA CARD
- NEW 8" CONC BLOCK RETAINING WALL SEE GRADING PLAN SHEET C02
- ANY SOLID FENCE IN FRONT YARD SHALL NOT EXCEED 3FT IN HEIGHT. 75% OPEN FENCE PERMITTED UP TO 6 FT IN HEIGHT PER SDMC SECTION 142.0310(c) (2) IN THE COASTAL ZONE
- ROOF AND DECK DRAINS TO DRAIN TO EXTERIOR AT GRADE. (DS= DOWNSPOUT LOCATION)
- EXISTING 8" VC SEWER PER DWG. 16001-D
EXISTING 8" PVC WATER MAIN PER DWG. 30291-D
- NEW CURB, CURBCUTS AND PAVEMENT SHALL BE CONSTRUCTED PER CITY OF SAN DIEGO STANDARDS
- AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) WILL BE CONDITION OF APPROVAL FOR ANY DECORATIVE PAVEMENT, NEW CURB OUTLET, LANDSCAPE AND IRRIGATION IN THE CALLE DEL CIELO RIGHT OF WAY SUBJECT TO THE CITY ENGINEERS APPROVAL
- MIN AREA REQUIRED PER SDMC TABLE 142-08B IS 36 SF FOR 2 DWELLING UNITS
AREA OF TRASH ENCLOSURE PROVIDED: (5.5' x 12.5') 68.75 sf.
TRASH AREA SHALL BE SCREENED W/ 6FT HIGH SOLID FENCING
- POOL & SPA, SOLAR PANELS & NEW CURBCUTS ARE BY SEPARATE PERMITS
- EASEMENTS:
 - THERE ARE NO WATER, SEWER OR GENERAL UNDERGROUND UTILITY EASEMENT THAT LIE ON THIS PROPERTY OR THAT LIE CONTIGUOUS TO THIS PROPERTY IF THE EASEMENT IS PRIVATE & WAS RECORDED ON THE ADJACENT PROPERTY'S TITLE IN FAVOR IN FAVOR OF THIS PROPERTY
 - THERE IS A PRIVATE HEIGHT RESTRICTIVE EASEMENT OVER THE PROPERTY SEE SHEET CS1- EASEMENTS
- SEE LANDSCAPE CONCEPT PLANS SHEETS L1 & L2 FOR NEW PLANTING, IRRIGATION AND WATER USAGE
- FOR AREA DRAINS AND DRAINAGE SYSTEM SEE PRELIMINARY GRADING & UTILITY PLAN SHEET C02
- ALL PROPOSED WATER LINES BOTH PUBLIC AND PRIVATE WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE A 5 FT MIN. SEPARATION (EDGE TO EDGE) FROM THE TRUNK OF ANY TREE
- CONTECH MWS-4-6-L-V MODULAR WETLAND BIOFILTER PUMP SEE DMA PLAN SHEET C03
- 36" DIAM x 7FT DEPTH FIBERGLASS PUMP VAULT: CONTECH MWS-4-6-L-V MODULAR WETLAND BIOFILTER PUMP SEE DMA PLAN SHEET C03
- 3"X12" CURB-O-LET TO CURB FACE: SEE GRADING PLANS SHEET C02

SITE AREAS

SEE CONCEPTUAL GRADING PLAN SHEET C02

TOTAL SITE AREA	20,533 S.F. (0.47 ACRES)
PROPOSED BUILDING FOOTPRINT	4,845 S.F. (0.11 ACRES)
PROPOSED IMPERVIOUS AREA	11,346 S.F. (0.26 ACRES)
PROPOSED PERVIOUS AREA	8,845 S.F. (0.2 ACRES)
DISTURBANCE AREA	20,533 S.F. (0.47 ACRES)

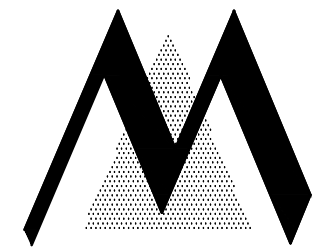
HARDSCAPE AREAS

MAX AREA OF HARDSCAPE SHALL NOT EXCEED 60% FRONT YARD PER SDMC

FRONT YARD AREA:	2,649 SF
DRIVEWAY AREA:	1,279 SF
WALKWAY AREA:	117 SF
FRONT YARD HARDSCAPE AREA:	1,396 SF (53%)

LEGEND

- INDICATES SITE SECTION LOCATION SEE SHEET A102,A106
- INDICATES RETAINING WALL SECTION SEE SHEET A106
- INDICATES NEW CONTOUR LINE
- INDICATES TOP OF WALL ELEVATION
- INDICATES BOTTOM OF WALL ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISH ELEVATION



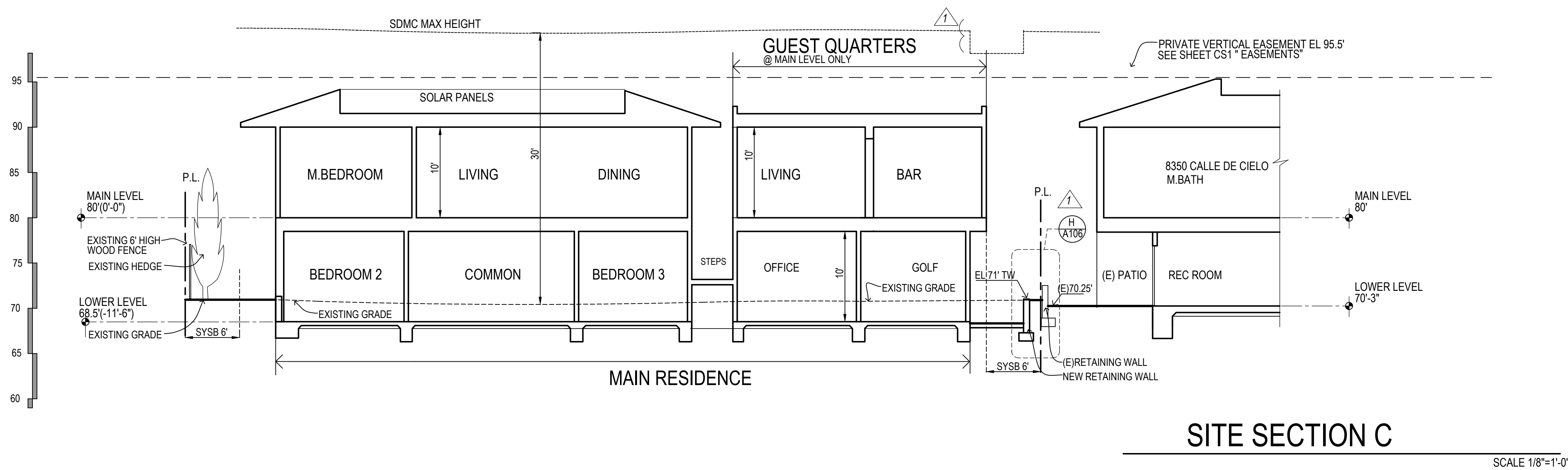
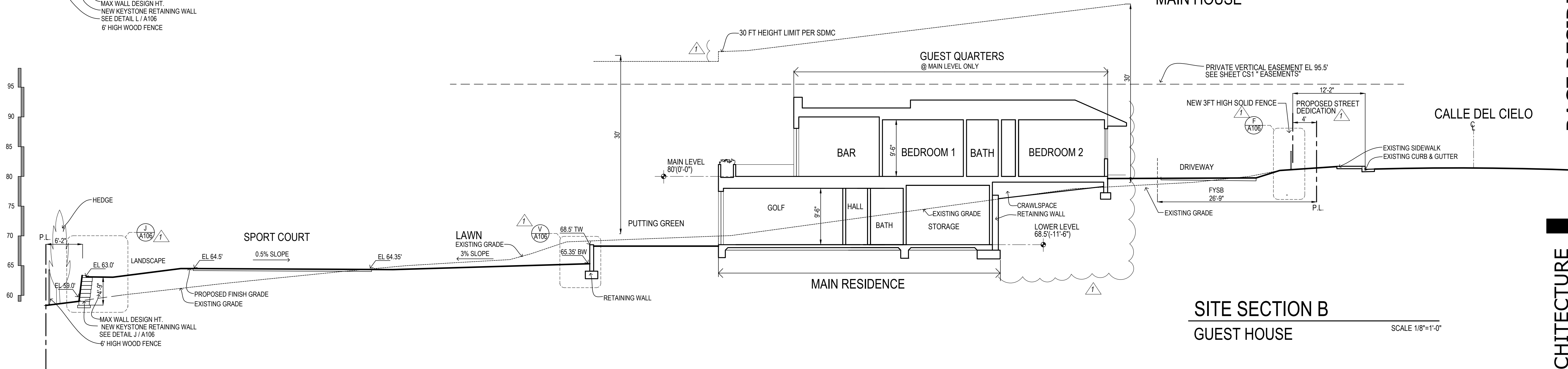
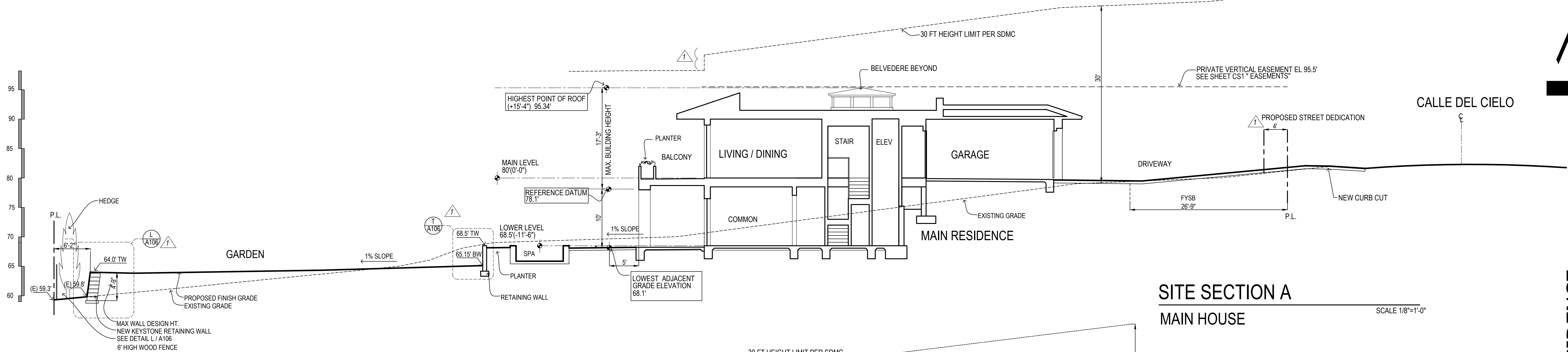
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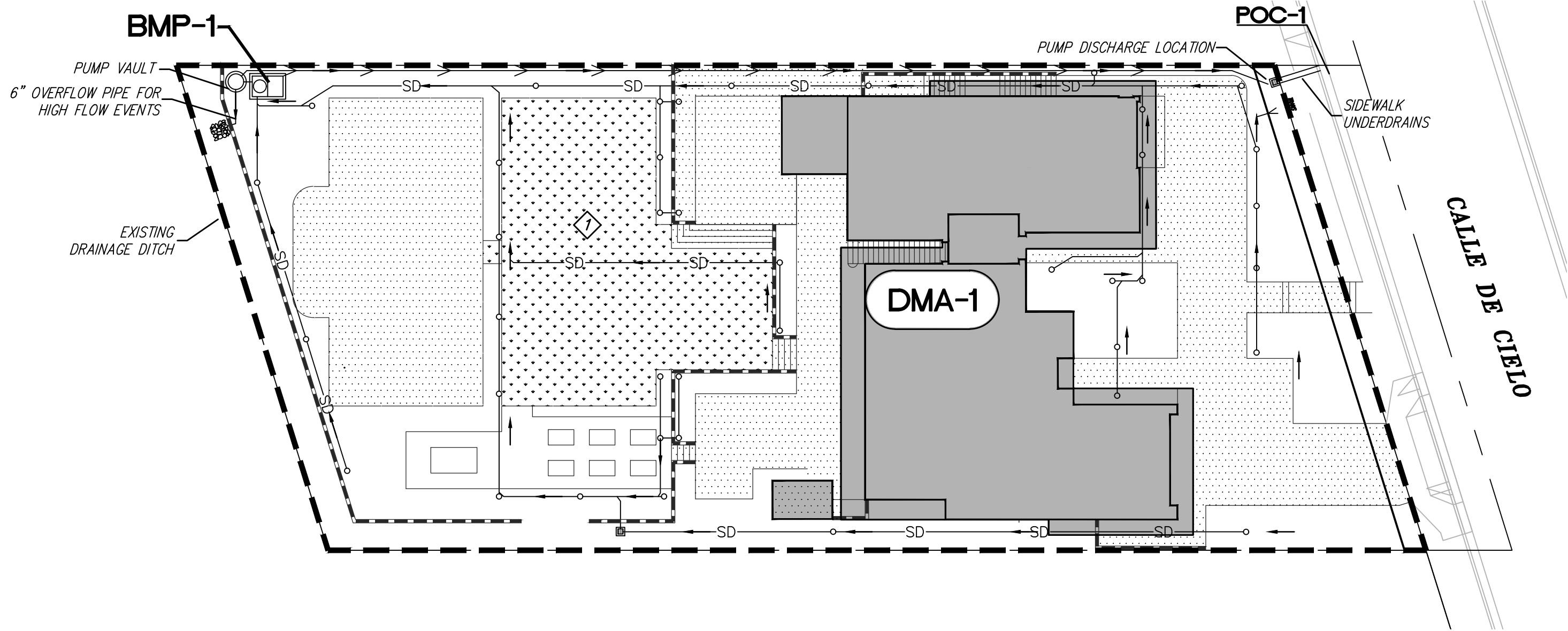
03-27-2026
07-08-2026

SHEET NO.

A102



NOTE: THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. NO DRY WEATHER RUNOFF IS PERMITTED. PROJECT WILL BE SUBJECT TO INCREASED INSPECTIONS, SATISFACTION TO THE CITY ENGINEER.



MAINTENANCE NOTES

MODULAR WETLAND SYSTEM.
MAINTENANCE THRESHOLD:
- REMOVE TRASH FROM SCREENING DEVICE - AVERAGE MAINTENANCE INTERVAL 6 TO 12 MONTHS.
- REMOVE SEDIMENT FROM SEPARATION CHAMBER - AVERAGE MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.
- REPLACE CARTRIDGE FILTER MEDIA - AVERAGE MAINTENANCE INTERVAL IS 12 TO 14 MONTHS.
- REPLACE DRAIN DOWN FILTER MEDIA - AVERAGE MAINTENANCE INTERVAL IS 12 TO 24 MONTHS.
- TRIM VEGETATION - AVERAGE MAINTENANCE INTERVAL IS 6 TO 12 MONTHS.
ACCESS TO STRUCTURAL BMP:
- MANHOLE ON MWS UNIT

DMA DATA TABLE

DMA-NO.	TOT. AREA (SF)	IMP. AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS (%)	TYPE/TREATED BY
DMA-1	20,191	11,346	8,845	56	BMP-1

TREATMENT BMP DATA TABLE

BMP-#	TREATING	Q _{TREATMENT} (CFS)	1.5 * Q _{TREATMENT} (CFS)	PROVIDED FLOWRATE (CFS)	DESCRIPTION
BMP-1	DMA-1	0.051	0.076	0.076	MWS-L-4-6-V MODULAR WETLAND BIOFILTER BMP

IMPERVIOUS AREA DISPERSION TABLE

LANDSCAPE AREA (SF)	IMP. AREA DRAINING TO LANDSCAPE AREA (SF)	IMP. TO PERVIOUS AREA RATIO	TARGET VOLUME RETENTION (CF)	VOLUME RETENTION REQUIREMENTS MET?
2369	1970	0.83	11	YES

SOURCE CONTROL BMPs

STORM DRAIN STENCILING

SITE DESIGN BMPs

IMPERVIOUS AREA DISPERSION

LEGEND:

DMA BOUNDARY
DRAINAGE ARROWS
DRAINAGE MANAGEMENT AREA DMA-#
STRUCTURAL BEST MANAGEMENT PRACTICE BMP-#
IMPERVIOUS AREA
ROOF AREA
LANDSCAPED AREAS
AMENDED/RETILLED SOIL AREAS
ROOF DRAIN LOCATION (RD)

GENERAL NOTES

- THE UNDERLYING HYDROLOGIC SOIL GROUP FOR THE SITE IS TYPE D
- GROUNDWATER DEPTH HAS NOT YET BEEN DETERMINED.
- NO EXISTING NATURAL HYDROLOGIC FEATURES EXIST ON SITE.
- NO CRITICAL COARSE SEDIMENT YIELD AREAS ON SITE OR UPSTREAM OF SITE.
- ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE IMPLEMENTED.

SOURCE CONTROL BMP NOTES

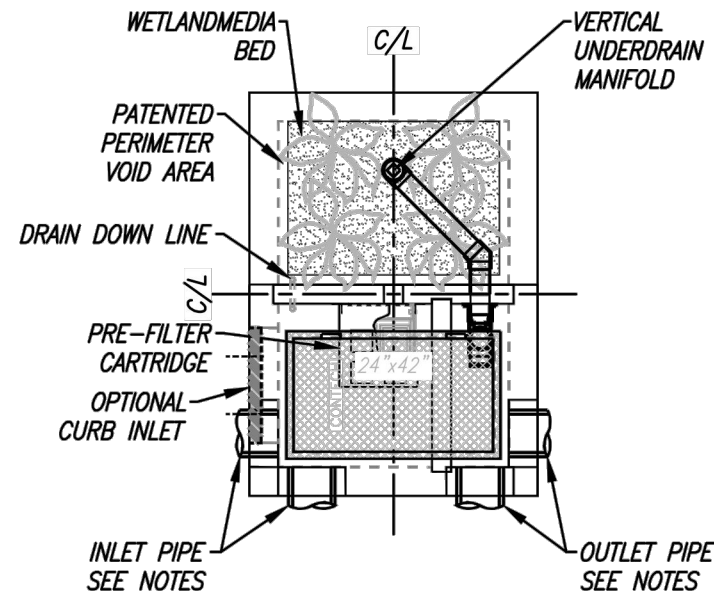
ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE UTILIZED
4.2.1 PREVENT ILLICIT DISCHARGE INTO THE MSA
4.2.2 ALL ONSITE INLETS TO BE MARKED "NO DUMPING" OR SIMILAR AND ALL OPERATIONAL PRECAUTIONS TO AVOID NON STORM WATER DISCHARGE SHALL BE FOLLOWED PER THE CITY'S BMP DESIGN MANUAL.
4.2.6 SC-A ONSITE STORM DRAIN INLETS
SC-D1 NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL
SC-D2 LANDSCAPE/OUTDOOR PESTICIDE USE
SC-P PLAZAS, SIDEWALKS, AND PARKING LOTS

SITE SPECIFIC DATA				
PROJECT NUMBER		0931		
PROJECT NAME		Race Residence		
PROJECT LOCATION		La Jolla, CA		
STRUCTURE ID		BMP-1		
TREATMENT REQUIRED				
TREATMENT FLOW (CFS)		0.076		
PRETREATMENT LOADING RATE (GPM/SF)		2.1 GPM/SF		
WETLAND MEDIA LOADING RATE (GPM/SF)		1.0		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		(CFS)		
PIPE DATA		I.E.	MATERIAL	DIAMETER
INLET PIPE 1				
INLET PIPE 2				
OUTLET PIPE				
		PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION				
SURFACE LOAD		PEDESTRIAN		
NOTES:				
* PRELIMINARY ONLY - NOT FOR CONSTRUCTION				

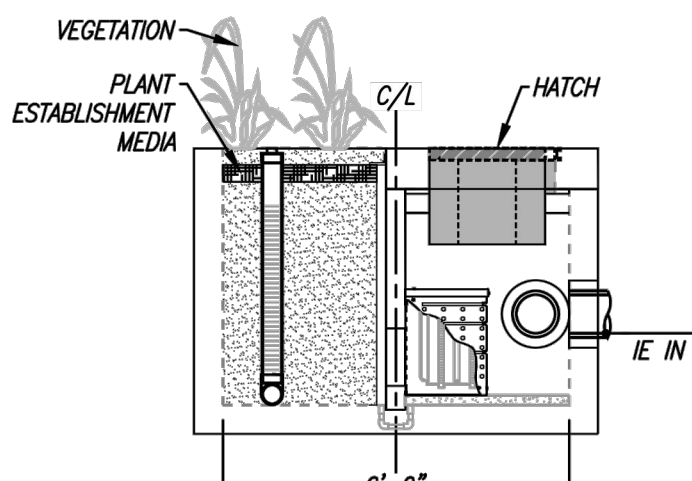
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INSTALLATION NOTES

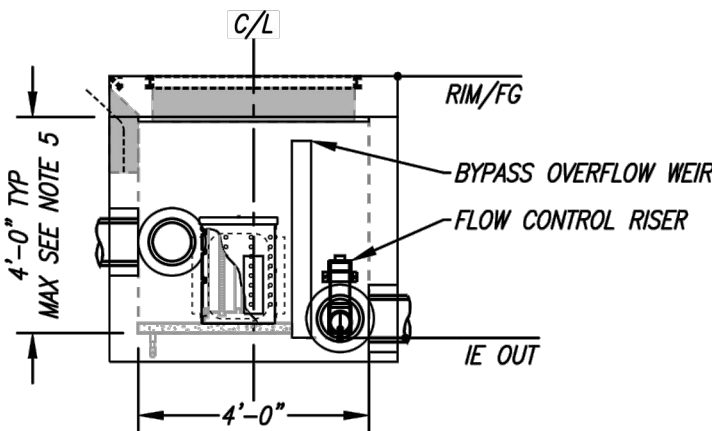
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATERIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.
- VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.



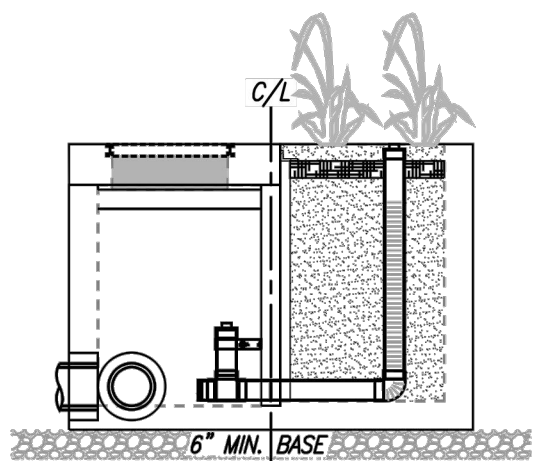
PLAN VIEW



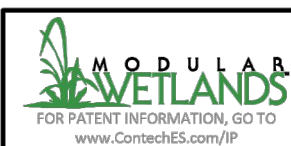
LEFT END VIEW



ELEVATION VIEW



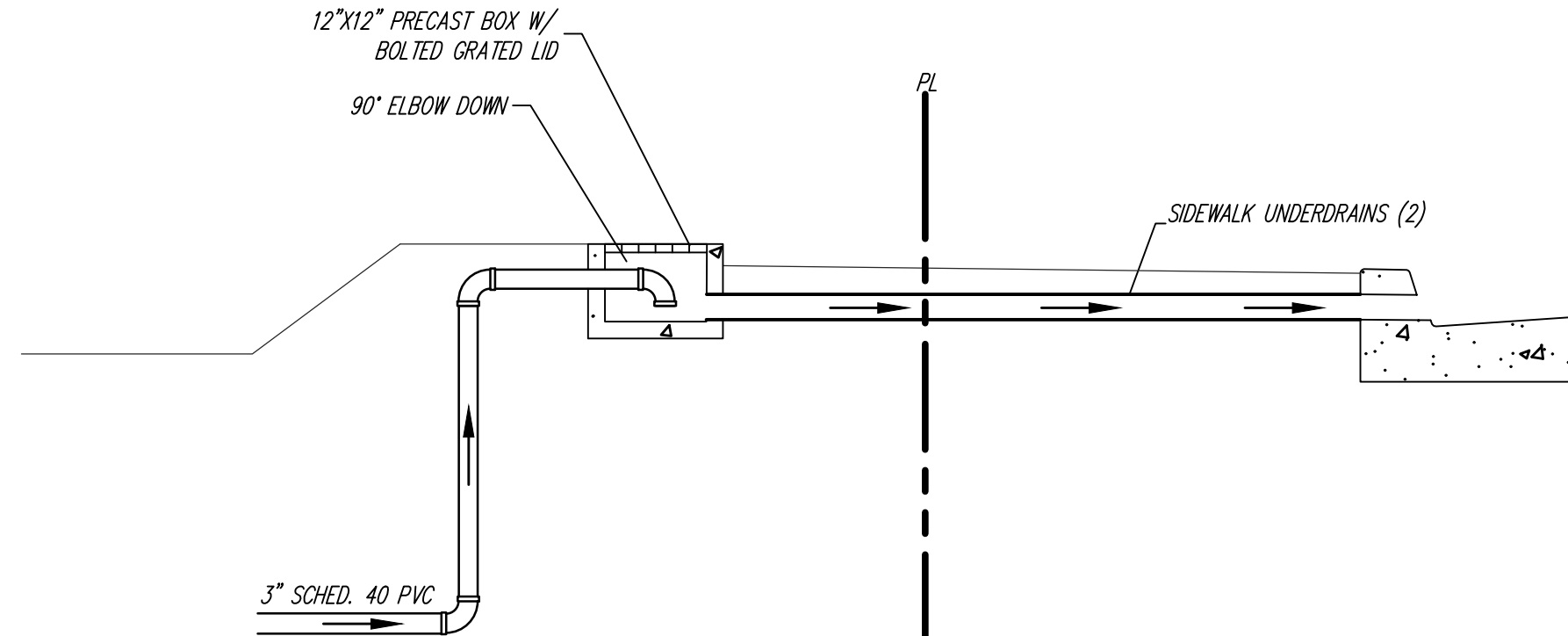
RIGHT END VIEW



PROPRIETARY AND CONFIDENTIAL:
THE INFORMATION CONTAINED IN THIS DOCUMENT IS THE SOLE PROPERTY OF CONTECH AND ITS COMPANIES. THIS DOCUMENT, IN WHOLE OR IN PART, MAY BE USED, REPRODUCED OR MODIFIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF CONTECH.

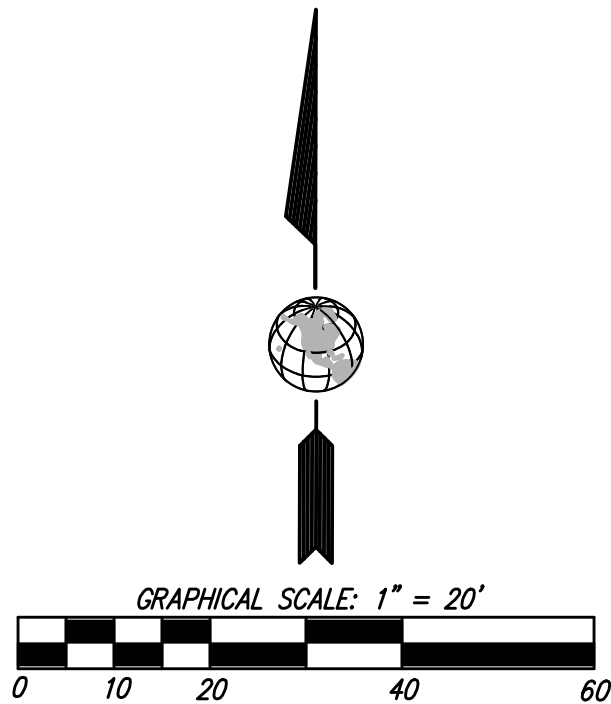


MWS-L-4-6-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL



PUMP DISCHARGE DETAIL

NOT TO SCALE



BMP-1, MWS-L-4-6-V BIOFILTER BMP

NOT TO SCALE

A



RACE RESIDENCE
8332 CALLE DEL CIELO
LA JOLLA, CA 92037

1.	-

OMEGA
ENGINEERING CONSULTANTS
4330 NEWBRIDGE AVE, SUITE C
SAN DIEGO, CA 92123
PH: (619) 634-8620

THIS DRAWING, AS INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE ENGINEER.

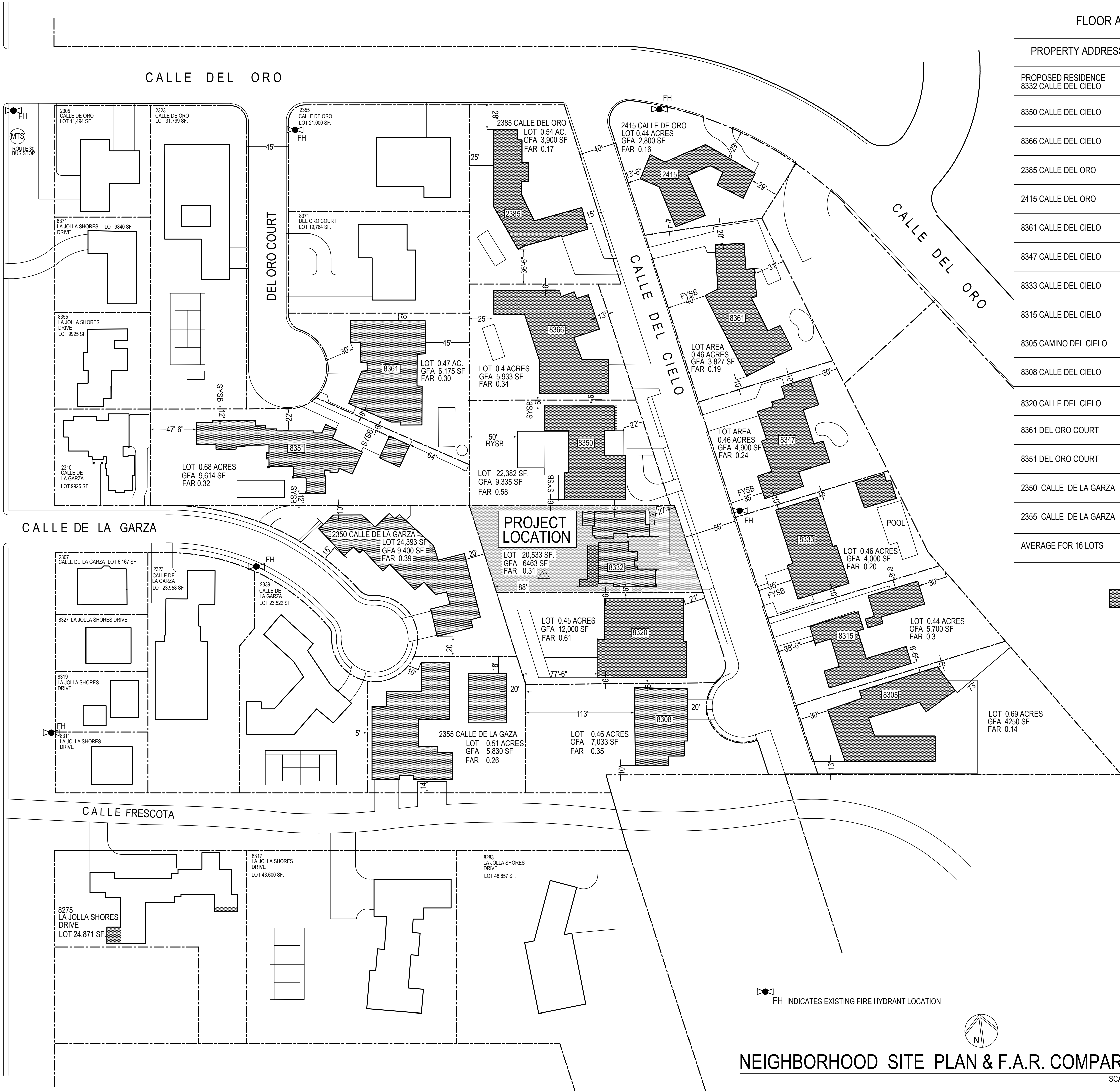
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK.

DRAWN BY	CHECKED BY
JC	NS
DATE	JOB NO.
7/20/26	0931

DMA PLAN

C-03

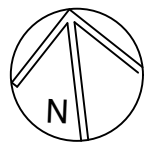
LA JOLLA SHORES DRIVE



FLOOR AREA RATIO COMPARISON				SETBACK COMPARISON			
PROPERTY ADDRESS	LOT AREA	GROSS FLR AREA	FLOOR AREA RATIO	FRONT YD SETBACK	SIDE YD SETBACK	SIDE YD SETBACK	REAR YD SETBACK
PROPOSED RESIDENCE 8332 CALLE DEL CIELO	0.47 ACRES	6,463 S.F.	0.31	26.75 FT	6 FT	6 FT	114.2 FT
8350 CALLE DEL CIELO	0.52 ACRES	9,355 S.F.	0.58	22 FT	6 FT	6 FT	50 FT
8366 CALLE DEL CIELO	0.4 ACRES	5,933 S.F.	0.34	13 FT	6 FT	6 FT	25 FT
2385 CALLE DEL ORO	0.54 ACRES	3,900 S.F.	0.17	28 FT	25 FT	15 FT	36.5 FT
2415 CALLE DEL ORO	0.44 ACRES	2,800 S.F.	0.16	29 FT	29 FT	13.5 FT	4 FT
8361 CALLE DEL CIELO	0.46 ACRES	3,827 S.F.	0.19	40 FT	10 FT	20 FT	31 FT
8347 CALLE DEL CIELO	0.46 ACRES	4,900 S.F.	0.24	35 FT	10 FT	10 FT	30 FT
8333 CALLE DEL CIELO	0.46 ACRES	4,000 S.F.	0.20	36 FT	5 FT	10 FT	5 FT
8315 CALLE DEL CIELO	0.44 ACRES	5,700 S.F.	0.30	38.5 FT	6.5 FT	8.5 FT	30 FT
8305 CAMINO DEL CIELO	0.69 ACRES	4,250 S.F.	0.14	30 FT	5 FT	13 FT	73 FT
8308 CALLE DEL CIELO	0.46 ACRES	7,033 S.F.	0.35	20 FT	5 FT	10 FT	113 FT
8320 CALLE DEL CIELO	0.45 ACRES	12,000 S.F.	0.61	21 FT	6 FT	6 FT	77.5 FT
8361 DEL ORO COURT	0.47 ACRES	6,175 S.F.	0.30	30 FT	8 FT	8 FT	45 FT
8351 DEL ORO COURT	0.68 ACRES	9,614 S.F.	0.32	22 FT	6 FT	12 FT	64 FT
2350 CALLE DE LA GARZA	0.56 ACRES	9,932 S.F.	0.41	15 FT	10 FT	20 FT	20 FT
2355 CALLE DE LA GARZA	0.51 ACRES	5,850 S.F.	0.26	10 FT	5 FT	20 FT	14 FT
AVERAGE FOR 16 LOTS	0.50 ACRES		0.31 FAR				

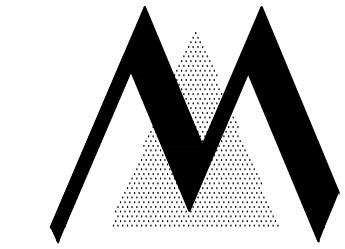
INDICATES PROPERTIES USED FOR COMPARISON

FH INDICATES EXISTING FIRE HYDRANT LOCATION



NEIGHBORHOOD SITE PLAN & F.A.R. COMPARISON

SCALE: 1"=50 FT



MARTIN M ARCHITECTURE
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SHEET NO.

A105

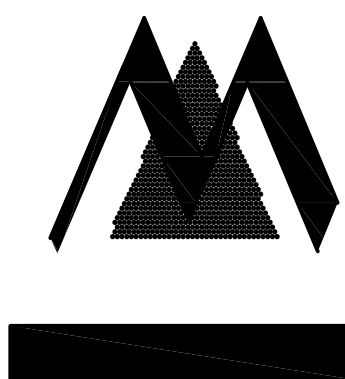
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8332 CALLE DEL CIELO LA JOLLA CA 92037

La Jolla Shores

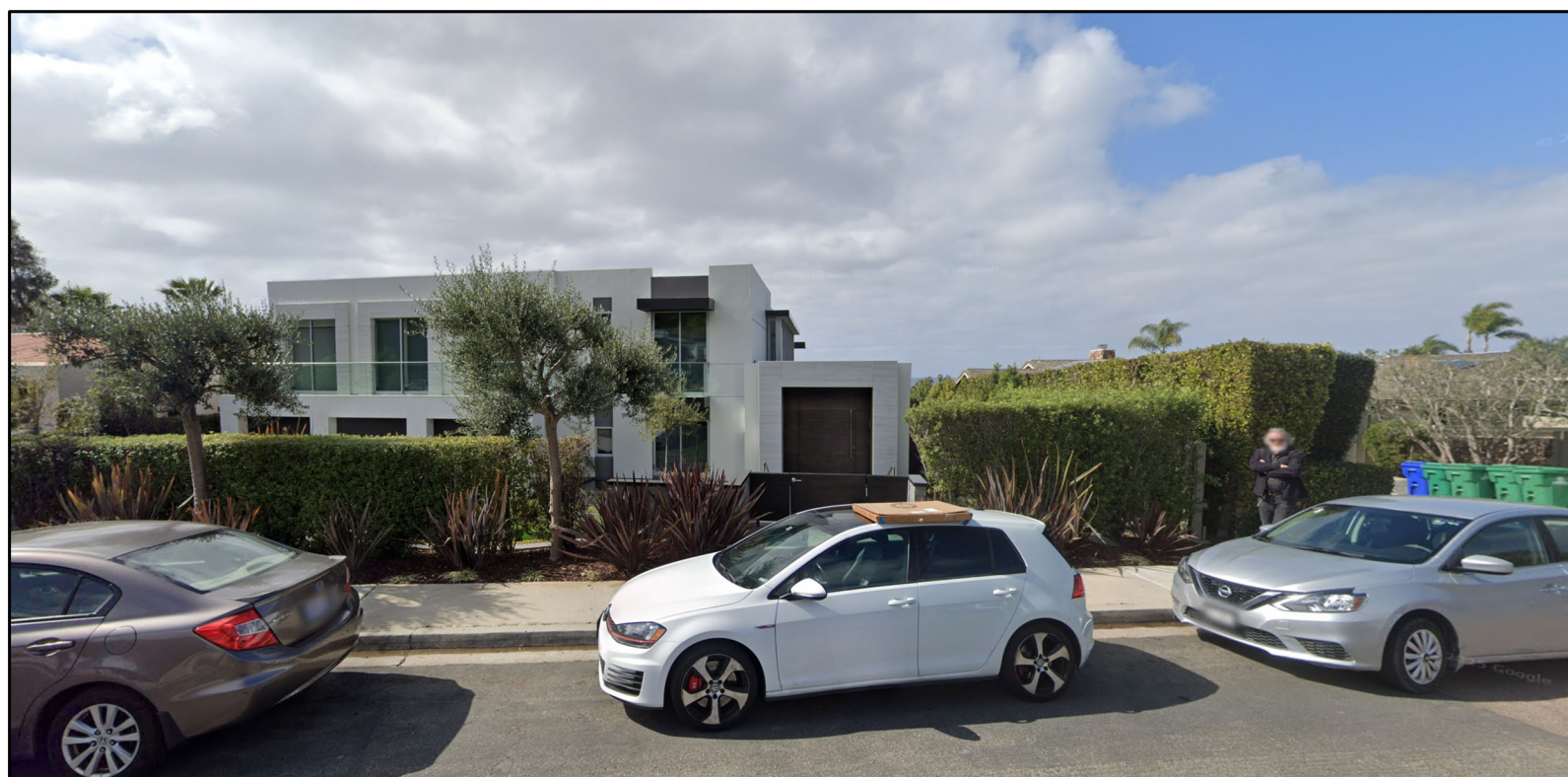
private sport court exhibit



SITE
8332 CALLE DEL CIELO



EXISTING STREET VIEWS TO THE WEST



8320



8332



8350



8350

EXISTING STREET VIEWS TO THE EAST



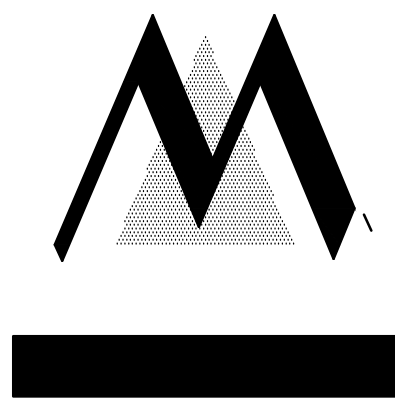
8361



8347



8333



RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

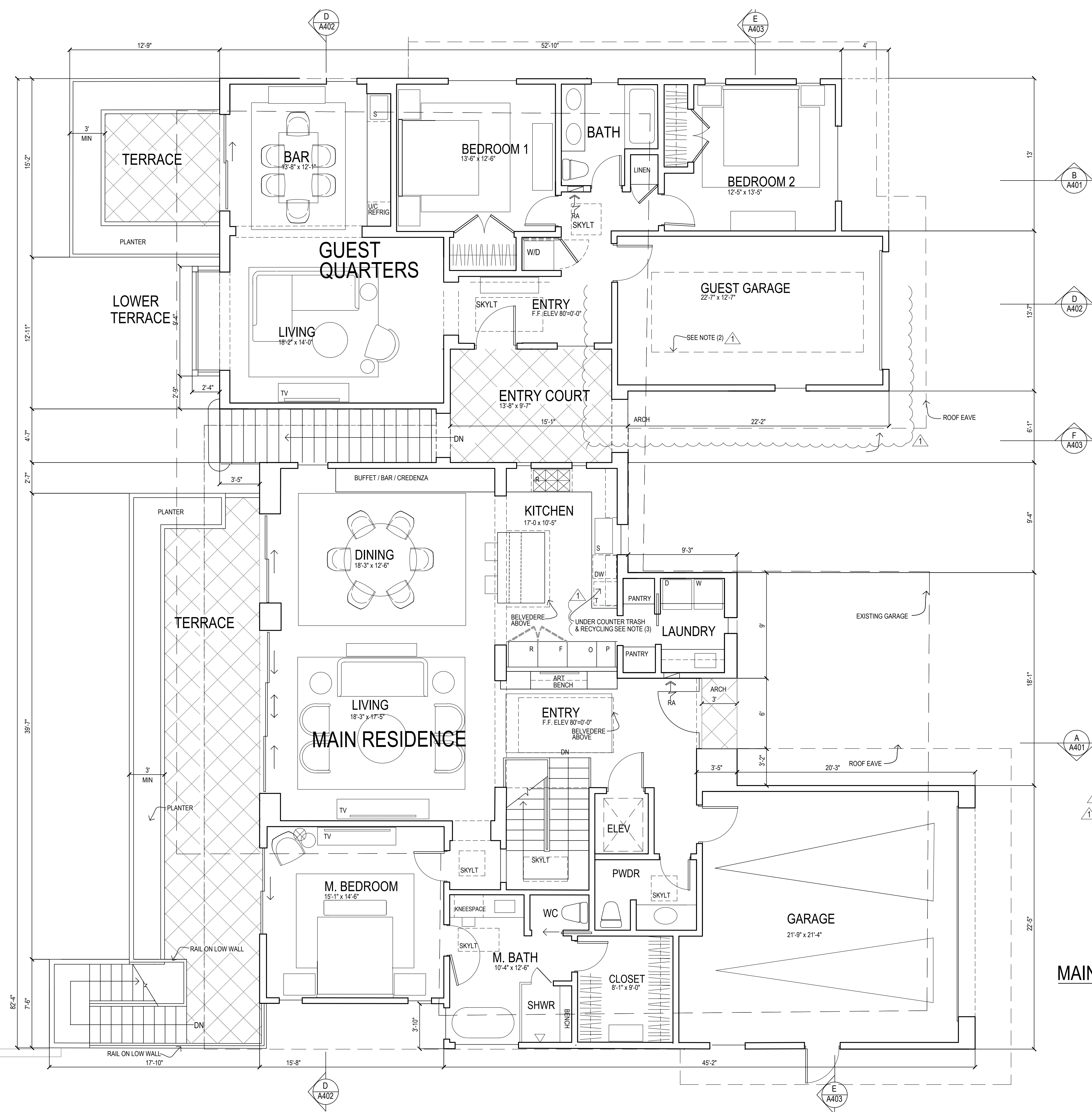
MARTIN ARCHITECTURE

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03-27-26
07-08-26

SHEET NO.

A201



GUEST QUARTERS FLOOR AREAS

MAIN LEVEL HABITABLE	1,131 SF
MAIN LEVEL GARAGE	307 SF
MAIN LEVEL GROSS	1,438 SF

RESIDENCE FLOOR AREAS

MAIN LEVEL HABITABLE	1,705 SF
MAIN LEVEL GARAGE	512 SF
MAIN LEVEL TOTAL	2,217 SF
STAIR WELL	50 SF
MAIN LEVEL GROSS (FAR)	2,267 SF

NOTES

1) PER CITY OF SAN DIEGO CLIMATE ACTION PLAN
PLUMBING FIXTURES AND FITTINGS SHALL BE LOW FLOW AS FOLLOWS:

- KITCHEN FAUCETS MAX FLOW RATE NOT TO EXCEED 1.5 GPM @ 60 PSI
- STANDARD DISHWASHERS SHALL USE MAX 4.25 GALS PER CYCLE
- COMPACT DISHWASHERS SHALL USE MAX 3.5 GALS PER CYCLE
- CLOTHES WASHERS SHALL HAVE WATER FACTOR OF 6 GALS PCF DRUM CAPACITY

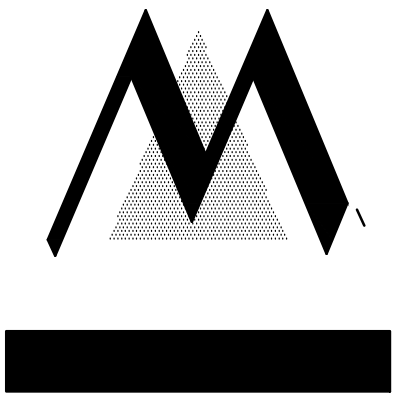
2) MOTOR HOME DIMENSIONS 18'-0" x 6'-9" x 9'-6" H

3) ALL DWELLING UNITS MUST BE EQUIPPED WITH AN INTERIOR REFUSE, ORGANIC WASTE AND RECYCLABLE MATERIALS STORAGE AREA (SDMC 142.0820(a))

MAIN LEVEL FLOOR PLAN

SCALE 1/4"=10"





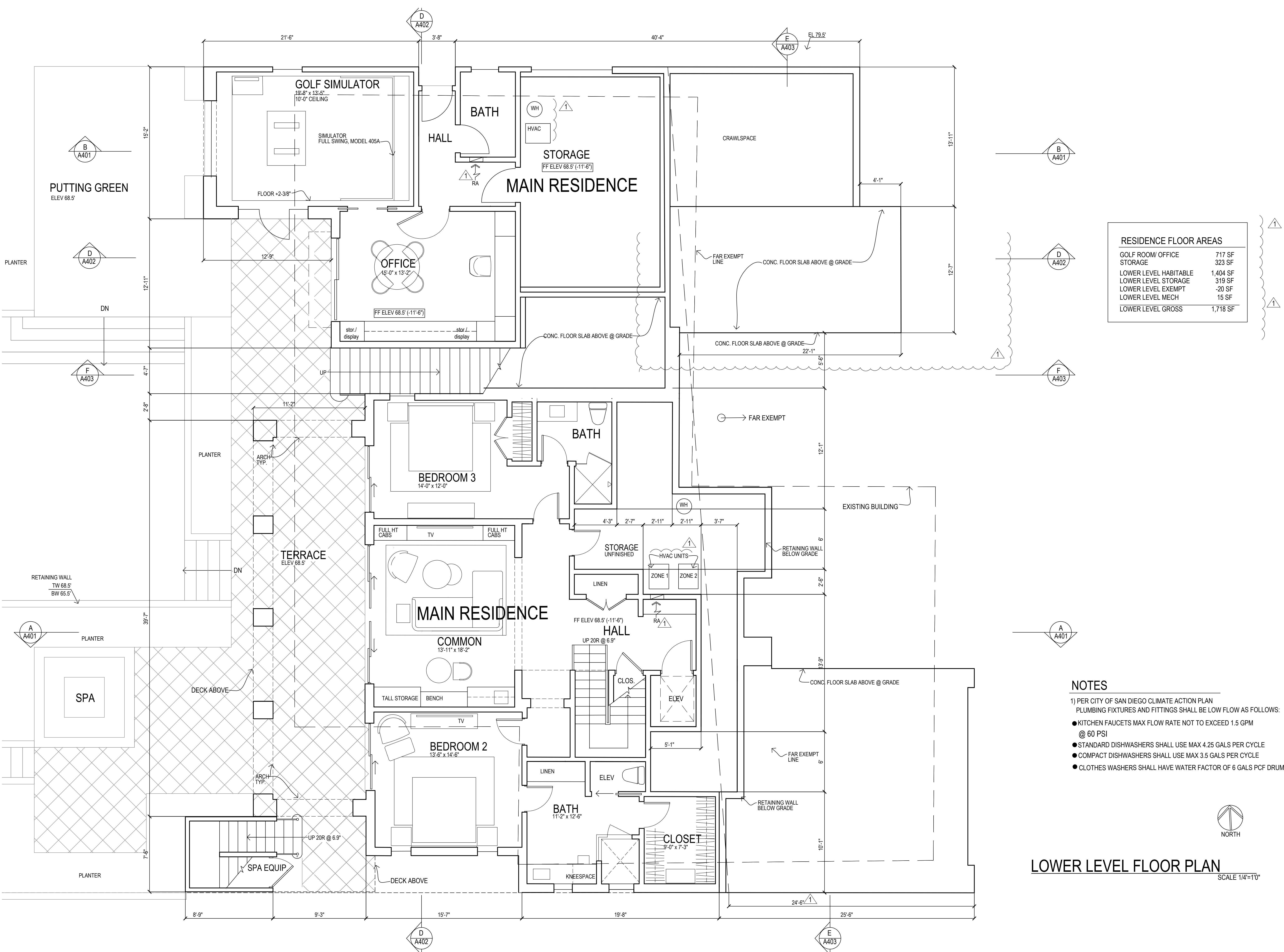
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8332 CALLE DEL CIELO LA JOLLA CA 92037

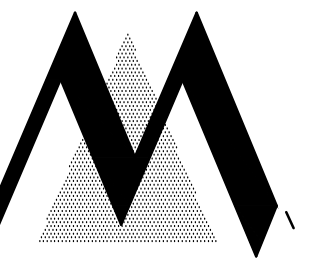
MARTIN A.I.A. ARCHITECTURE
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SHEET NO.

A202





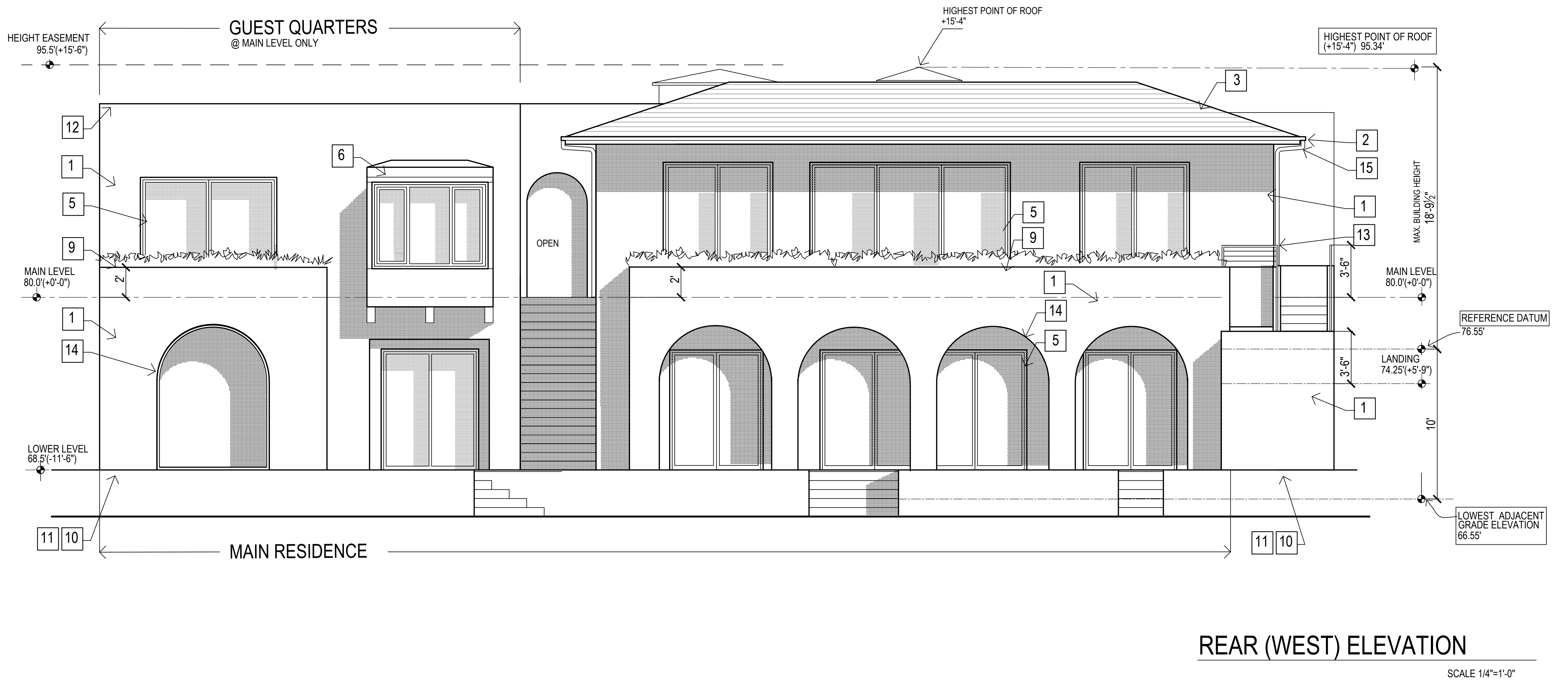
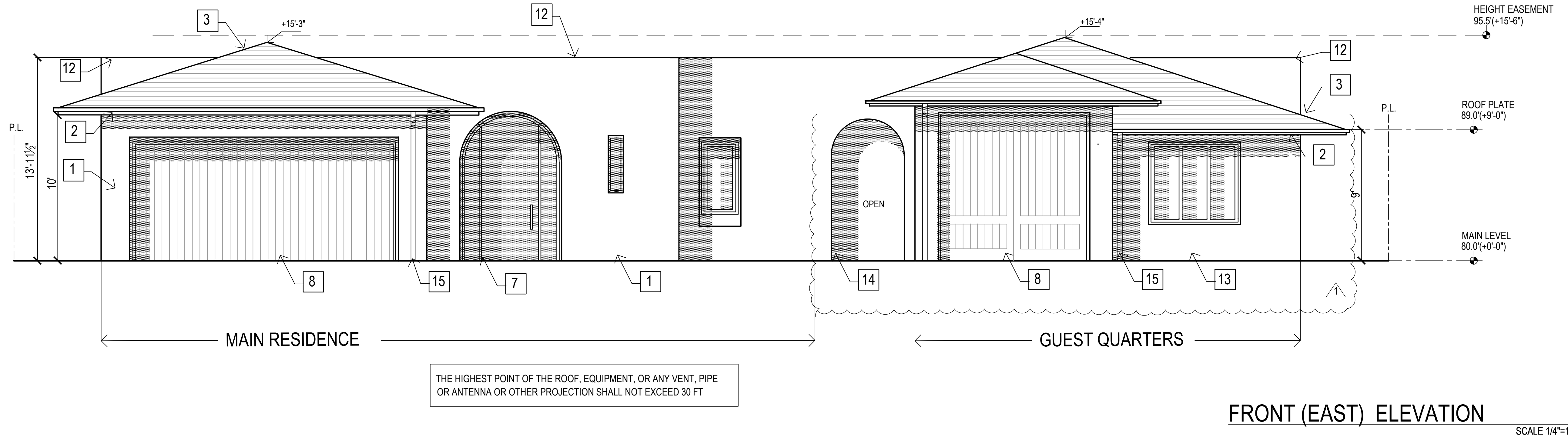
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

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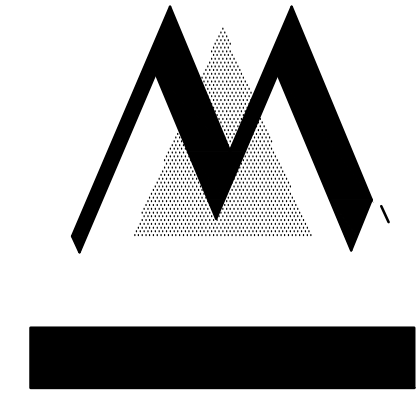
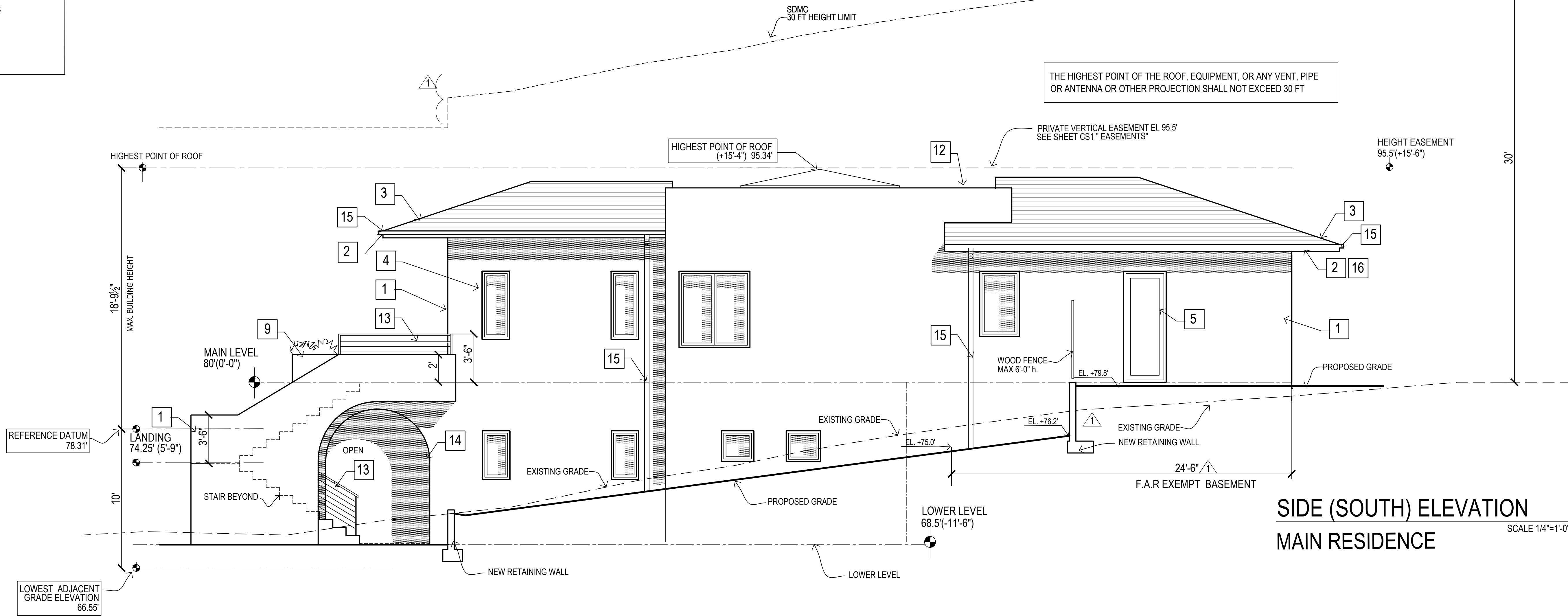
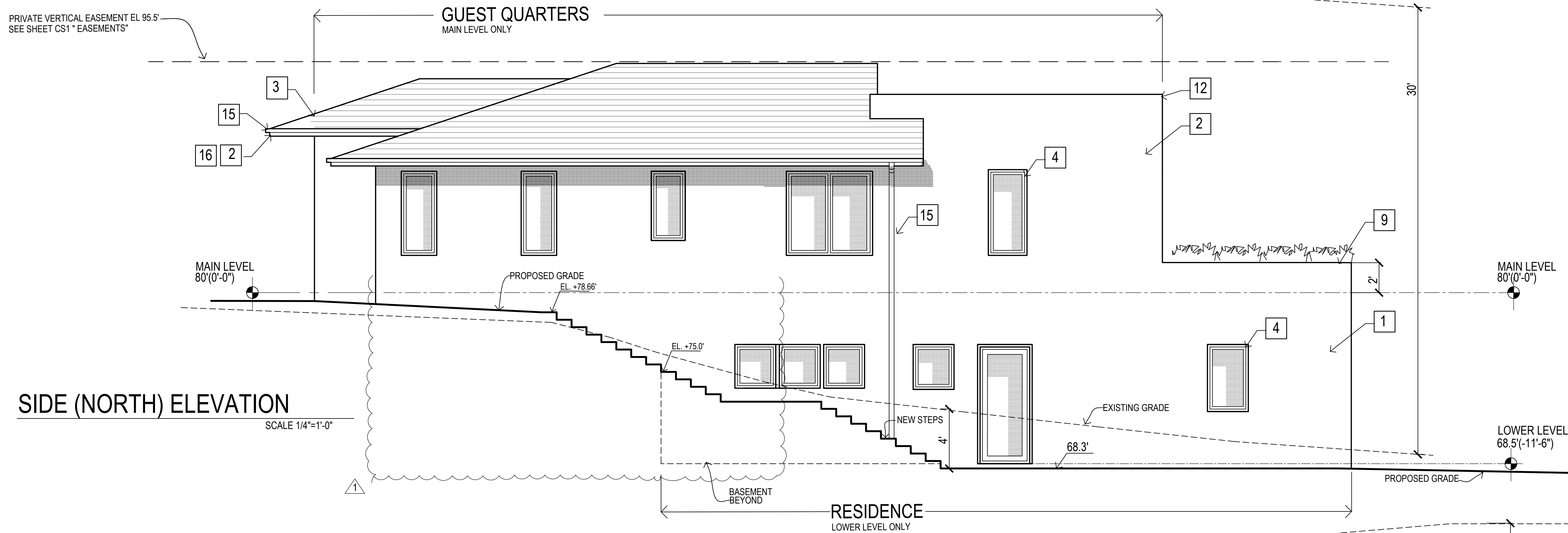
A301



EXTERIOR MATERIALS LEGEND

- 1 STUCCO FINISH ON CEMENT PLASTER
SANTA BARBARA FINISH COLOR: WHITE
- 2 PAINTED WOOD FASCIA
COLOR: CHARCOAL GREY
- 3 COMPOSITION SHINGLES CLASS "A"
FIRE RATED COLOR: CHARCOAL GREY
- 4 ALUMINUM CLAD WOOD CASEMENT
WINDOWS W/ DIVIDED LIGHTS
COLOR: BRONZE
- 5 ALUMINUM CLAD WOOD SLIDING DOORS
COLOR: BRONZE
- 6 STAINED WOOD BAY WINDOW
BRONZE ALUM. CLAD CASEMENTS
- 7 ARCHED GLAZED ENTRY DOOR
BRONZE ALUM. CLAD
- 8 METAL OVERHEAD SECTION GARAGE
DOOR STAINED WOOD TYPICAL
- 9 STUCCO PLANTER BOX ON DECK
SANTA BARBARA FINISH COLOR: WHITE
- 10 CONCRETE BLOCK RETAINING WALLS
W/ STONE FACING
- 11 TERRACED LANDSCAPE PLANTERS
W/ STONE FACING
- 12 STUCCO PARAPET
SANTA BARBARA FINISH COLOR: WHITE
- 13 STEEL GUARDRAIL W/ STEEL CABLES
FINISH: STAINLESS STEEL
- 14 STUCCO ARCH
SANTA BARBARA FINISH COLOR: WHITE
- 15 ROOF DRAIN AND GUTTERS
BRONZE FINISH TYPICAL
- 16 STAINED WOOD SOFFIT @ EAVES

EXTERIOR MATERIALS LEGEND	
1	STUCCO FINISH ON CEMENT PLASTER SANTA BARBARA FINISH COLOR: WHITE
2	PAINTED WOOD FASCIA COLOR: CHARCOAL GREY
3	COMPOSITION SHINGLES CLASS "A" FIRE RATED COLOR: CHARCOAL GREY
4	ALUMINUM CLAD WOOD CASEMENT WINDOWS W/ DIVIDED LIGHTS COLOR: BRONZE
5	ALUMINUM CLAD WOOD DOORS COLOR: BRONZE
6	STAINED WOOD BAY WINDOW BRONZE ALUM. CLAD CASEMENTS
7	ARCHED GLAZED ENTRY DOOR BRONZE ALUM. CLAD
8	METAL OVERHEAD SECTION GARAGE DOOR STAINED WOOD TYPICAL
9	STUCCO PLANTER BOX ON DECK SANTA BARBARA FINISH COLOR: WHITE
10	CONCRETE BLOCK RETAINING WALLS W/ STONE FACING
11	TERRACED LANDSCAPE PLANTERS W/ STONE FACING
12	STUCCO PARAPET SANTA BARBARA FINISH COLOR: WHITE
13	STEEL GUARDRAIL W/ STEEL CABLES FINISH: STAINLESS STEEL
14	STUCCO ARCH SANTA BARBARA FINISH COLOR: WHITE
15	ROOF DRAIN AND GUTTERS BRONZE FINISH TYPICAL
16	STAINED WOOD SOFFIT @ EAVES



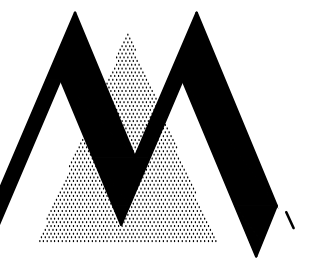
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

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SHEET NO.

A302



RACE RESIDENCE
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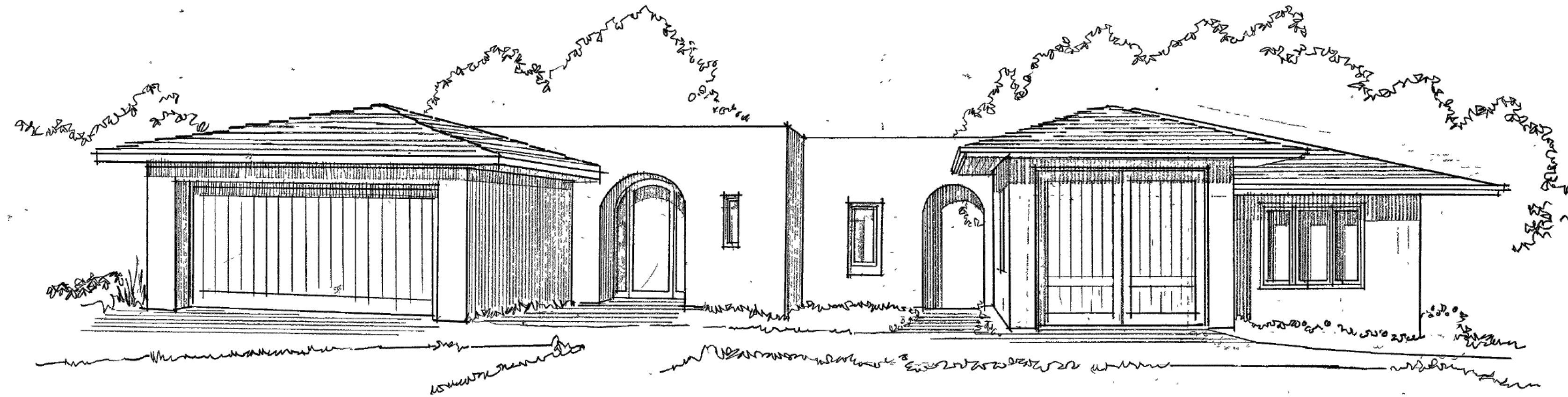
MARTIN ARCHITECTURE

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SHEET NO.

A303



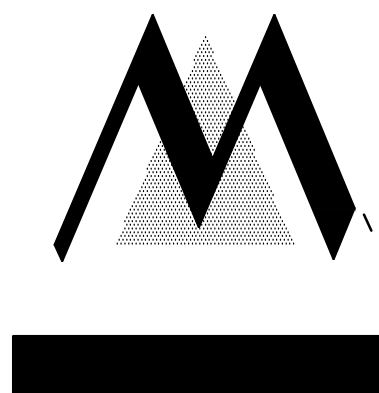
EAST VIEW (FROM STREET) ¹



WEST VIEW (FROM REAR YARD)

PERSPECTIVE VIEWS

NO SCALE



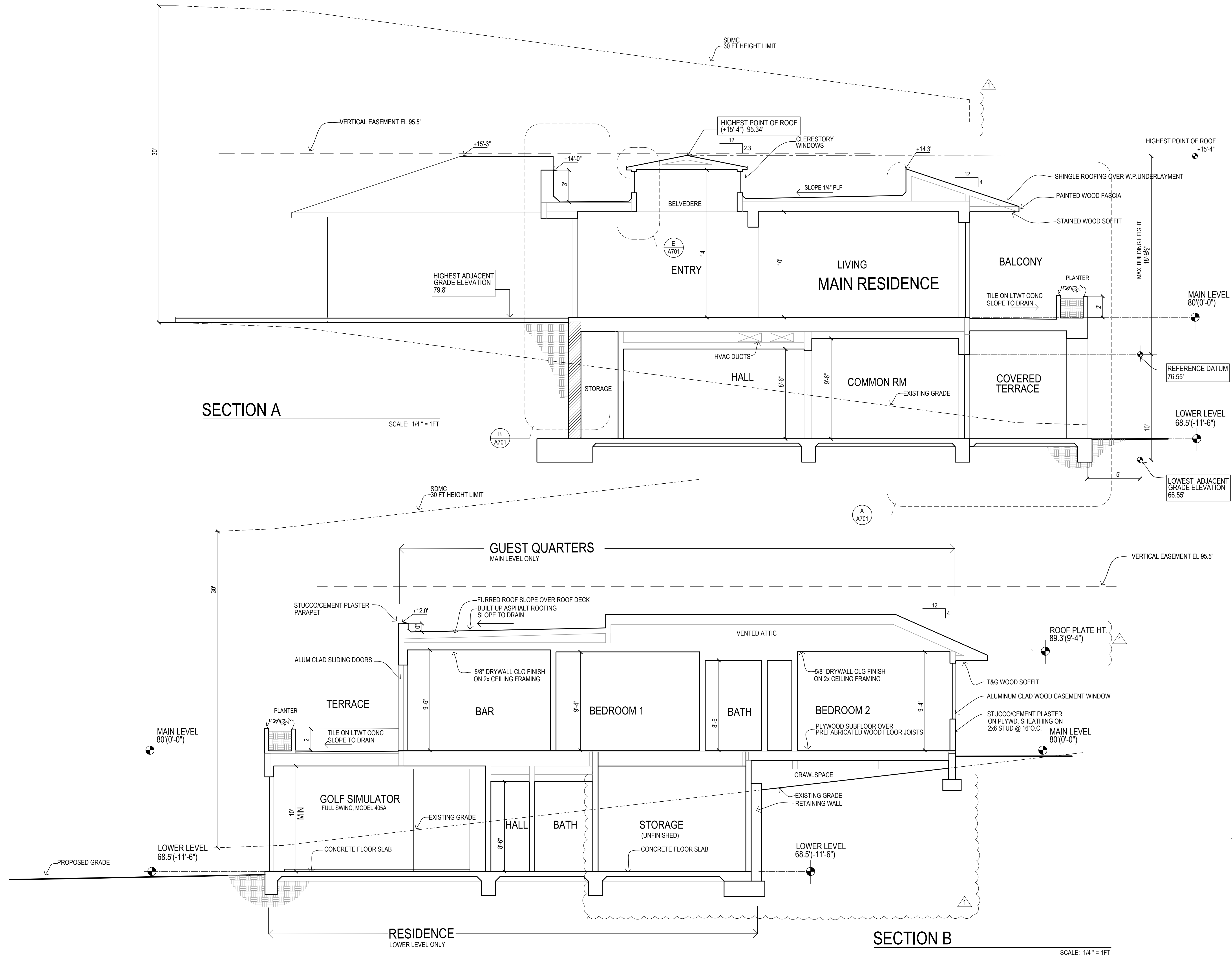
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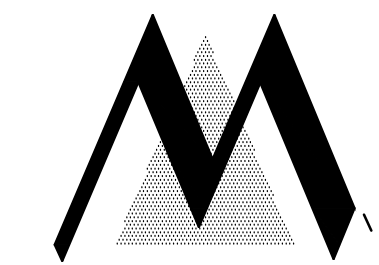
MARTIN A.I.A. ARCHITECTURE
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SHEET NO.

A401





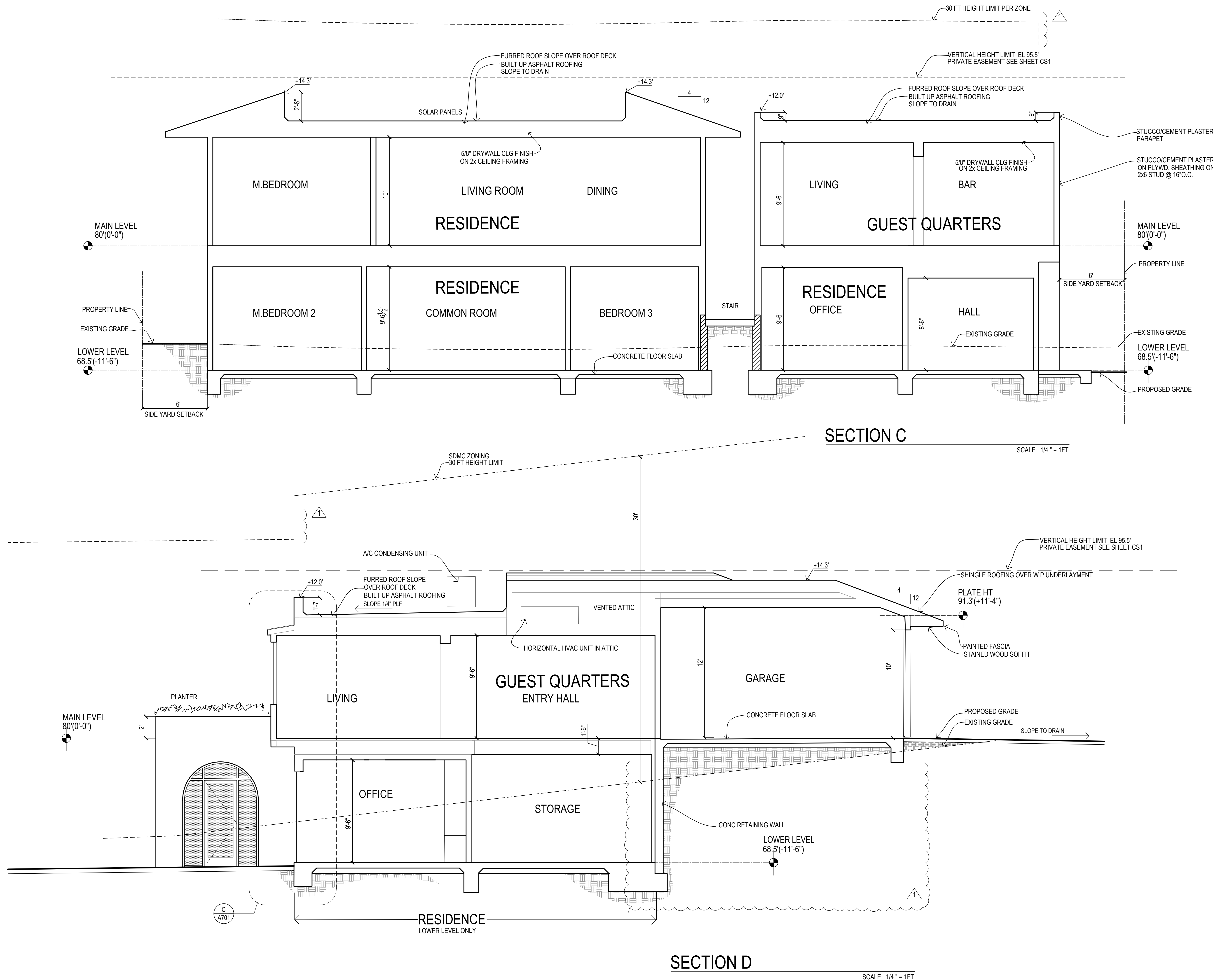
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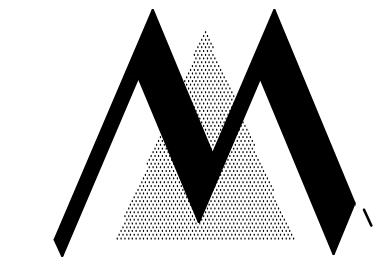
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SHEET NO.

A402





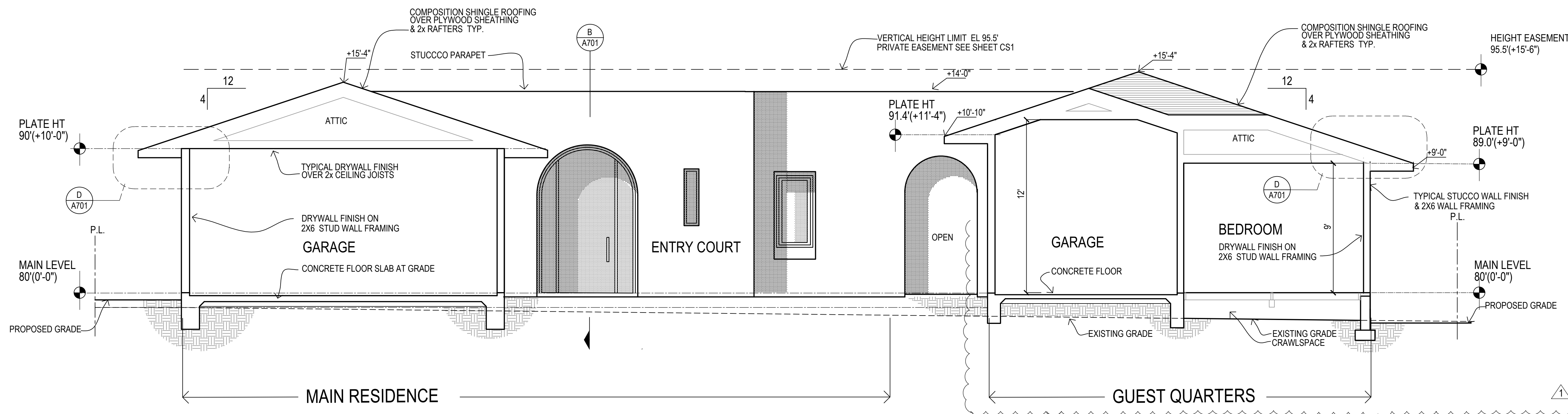
RACE RESIDENCE
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17-07-08-26

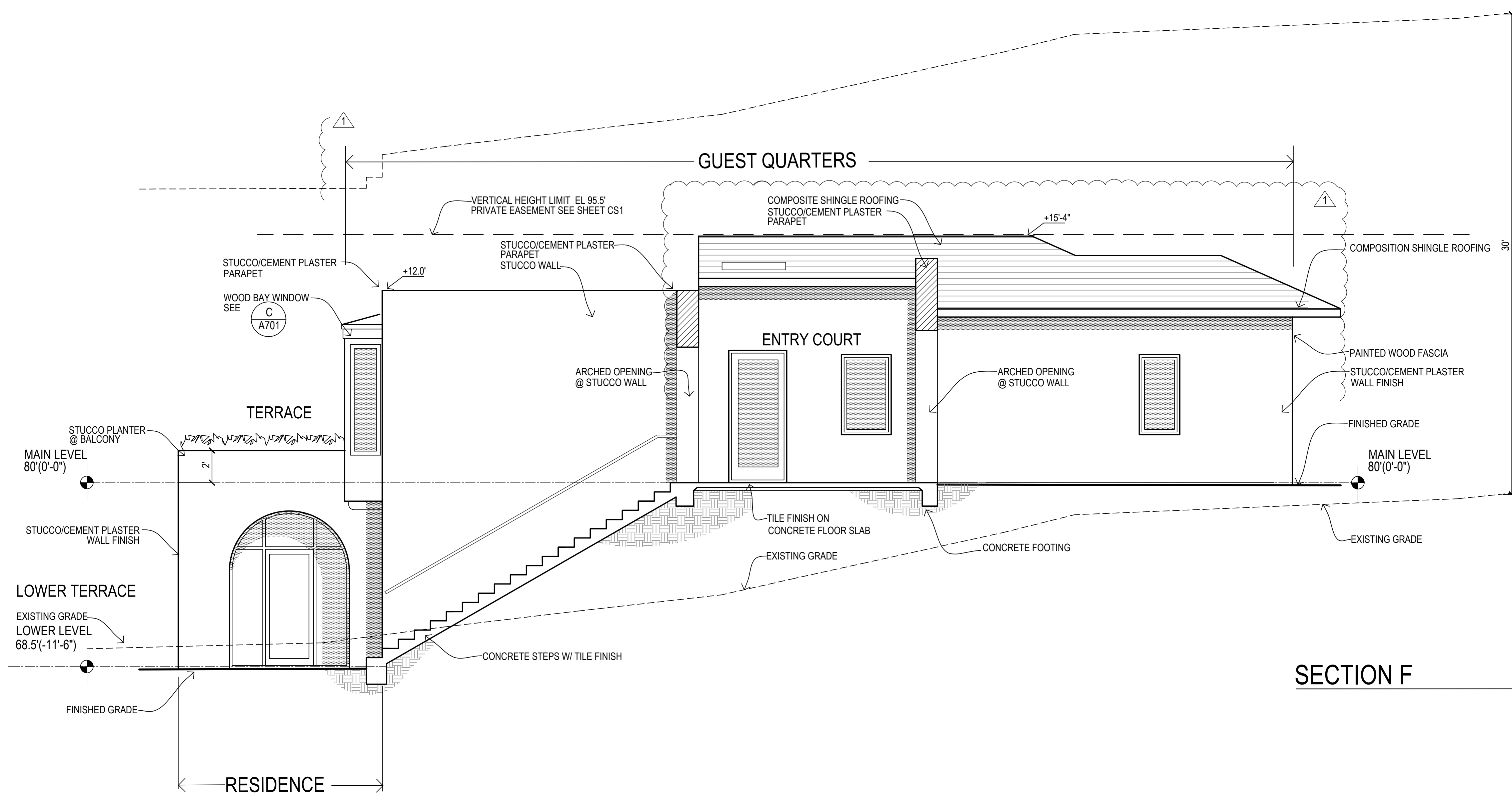
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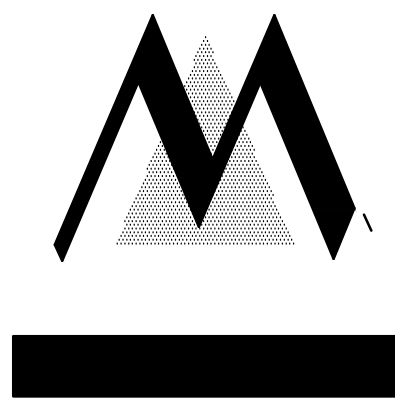
SECTION E

SCALE: 1/4" = 1FT



SECTION F

SCALE: 1/4" = 1FT



RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

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SHEET NO.

A501

NOTES

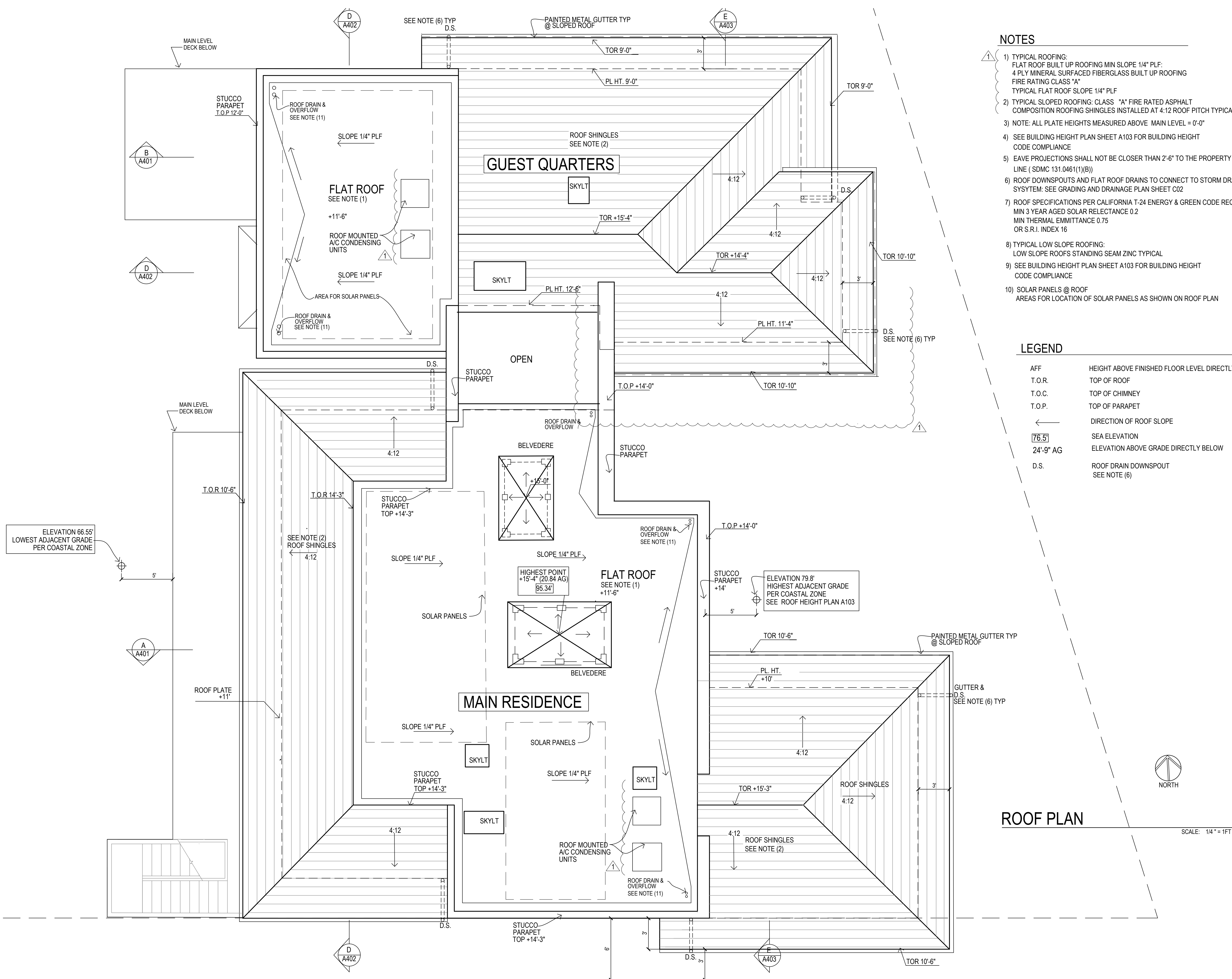
- 1) TYPICAL ROOFING:
FLAT ROOF BUILT UP ROOFING MIN SLOPE 1/4" PLF:
4 PLY MINERAL SURFACED FIBERGLASS BUILT UP ROOFING
FIRE RATING CLASS "A"
TYPICAL FLAT ROOF SLOPE 1/4" PLF
- 2) TYPICAL SLOPED ROOFING: CLASS "A" FIRE RATED ASPHALT
COMPOSITION ROOFING SHINGLES INSTALLED AT 4:12 ROOF PITCH TYPICAL
- 3) NOTE: ALL PLATE HEIGHTS MEASURED ABOVE MAIN LEVEL = 0'-0"
- 4) SEE BUILDING HEIGHT PLAN SHEET A103 FOR BUILDING HEIGHT
CODE COMPLIANCE
- 5) EAVE PROJECTIONS SHALL NOT BE CLOSER THAN 2'-6" TO THE PROPERTY
LINE (SDMC 131.0461(1)(B))
- 6) ROOF DOWNSPOUTS AND FLAT ROOF DRAINS TO CONNECT TO STORM DRAIN
SYSYTEM: SEE GRADING AND DRAINAGE PLAN SHEET C02
- 7) ROOF SPECIFICATIONS PER CALIFORNIA T-24 ENERGY & GREEN CODE REQUIREMENTS:
MIN 3 YEAR AGED SOLAR RELECTANCE 0.2
MIN THERMAL EMMITTANCE 0.75
OR S.R.I. INDEX 16
- 8) TYPICAL LOW SLOPE ROOFING:
LOW SLOPE ROOFS STANDING SEAM ZINC TYPICAL
- 9) SEE BUILDING HEIGHT PLAN SHEET A103 FOR BUILDING HEIGHT
CODE COMPLIANCE
- 10) SOLAR PANELS @ ROOF
AREAS FOR LOCATION OF SOLAR PANELS AS SHOWN ON ROOF PLAN

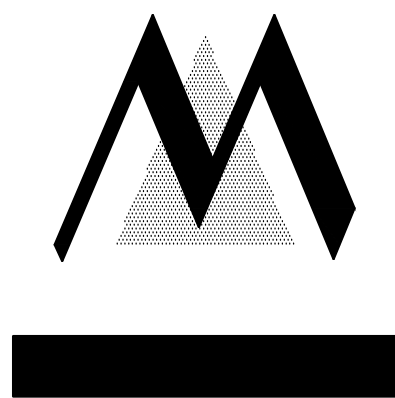
LEGEND

AFF	HEIGHT ABOVE FINISHED FLOOR LEVEL DIRECTLY BELOW
T.O.R.	TOP OF ROOF
T.O.C.	TOP OF CHIMNEY
T.O.P.	TOP OF PARAPET
←	DIRECTION OF ROOF SLOPE
76.5'	SEA ELEVATION
24'-9" AG	ELEVATION ABOVE GRADE DIRECTLY BELOW
D.S.	ROOF DRAIN DOWNSPOUT SEE NOTE (6)

ROOF PLAN

SCALE: 1/4" = 1'FT





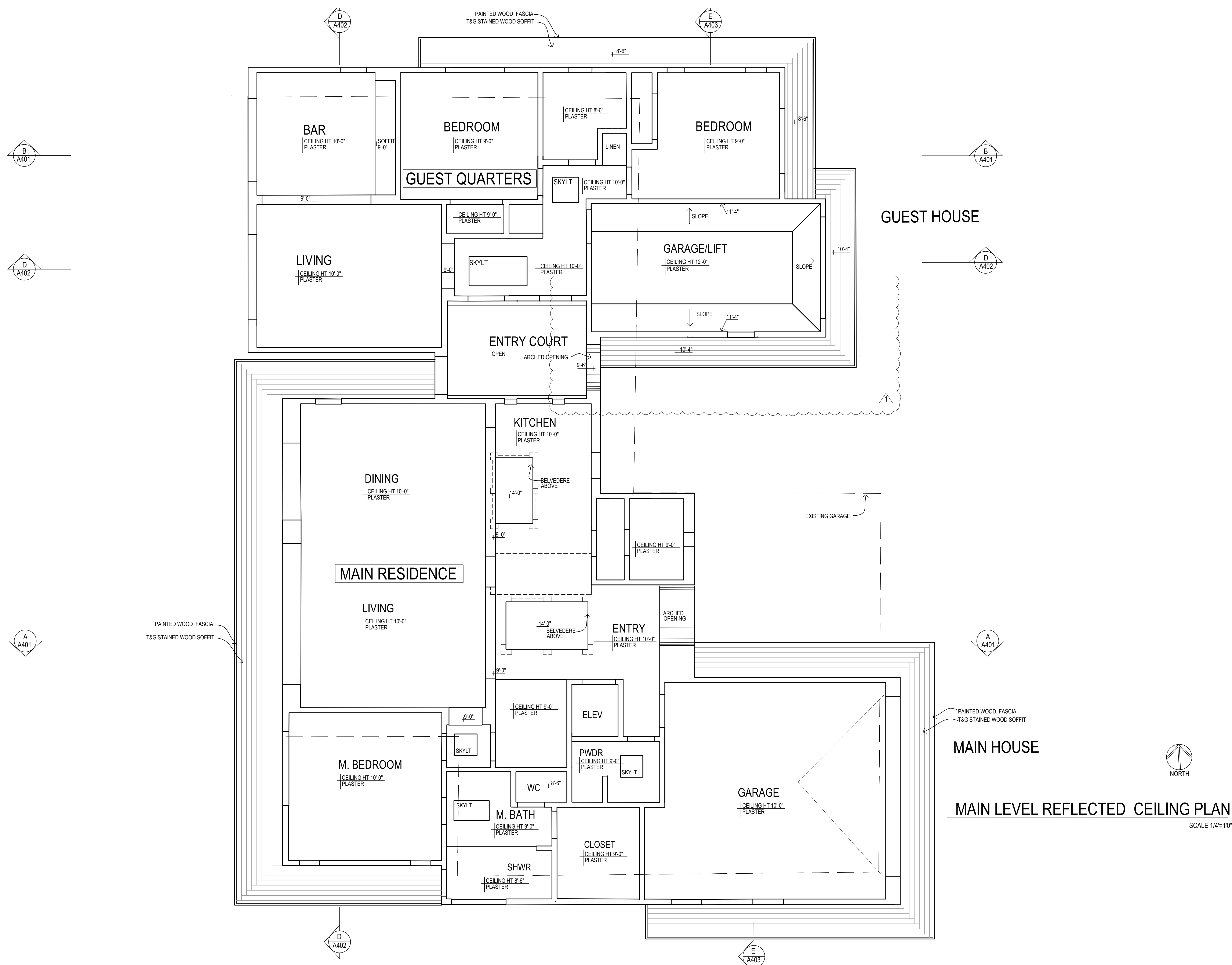
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

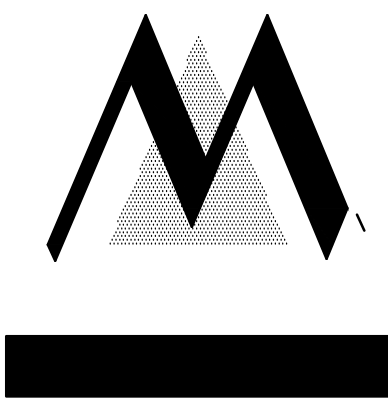
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SHEET NO.

A601





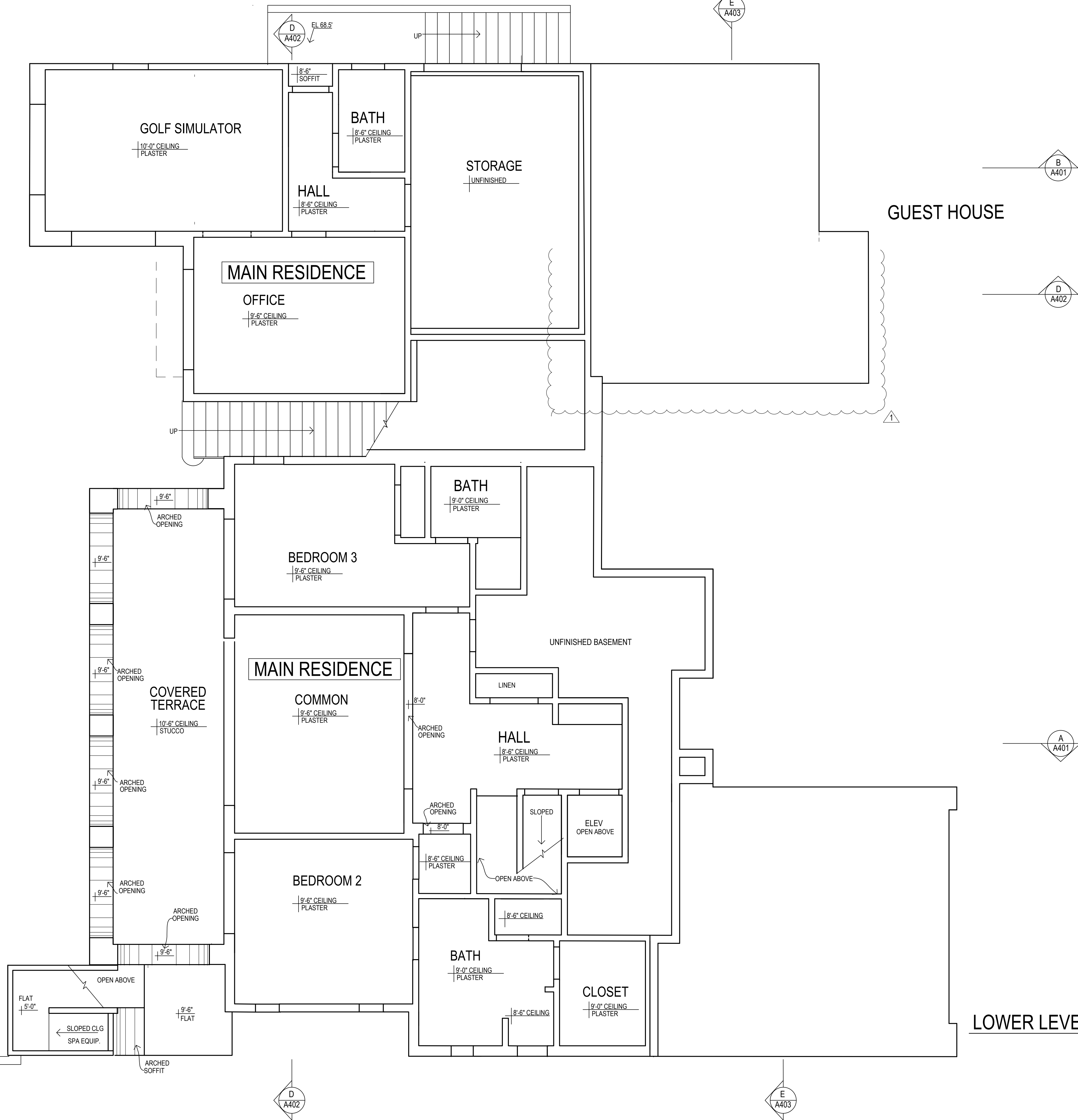
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

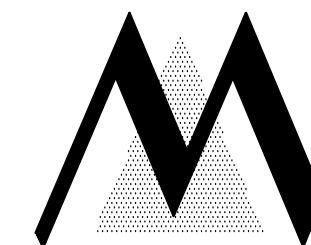
MARTIN  ARCHITECTURE
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SHEET NO.

A602





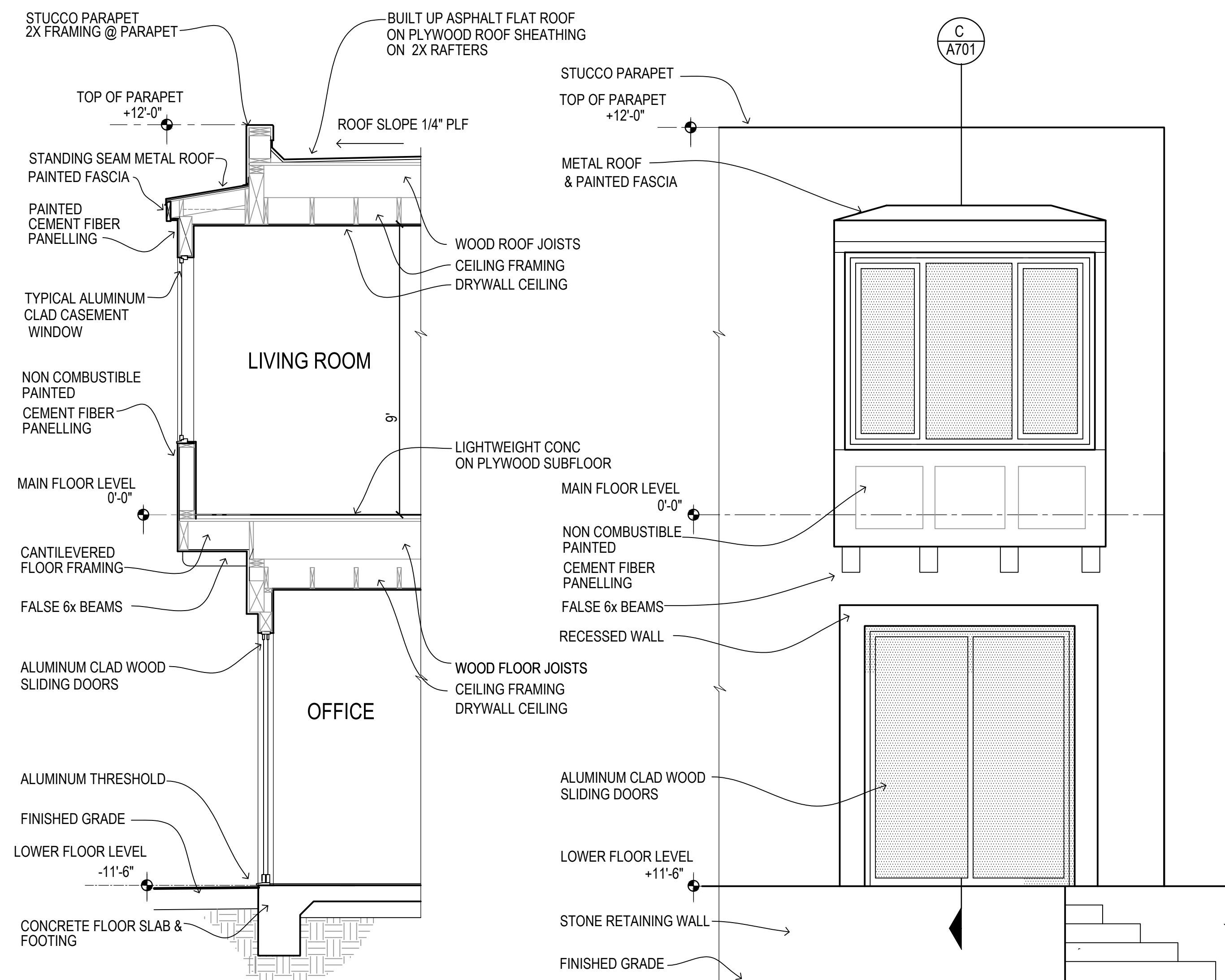
RACE RESIDENCE
8332 CALLE DEL CIELO LA JOLLA CA 92037

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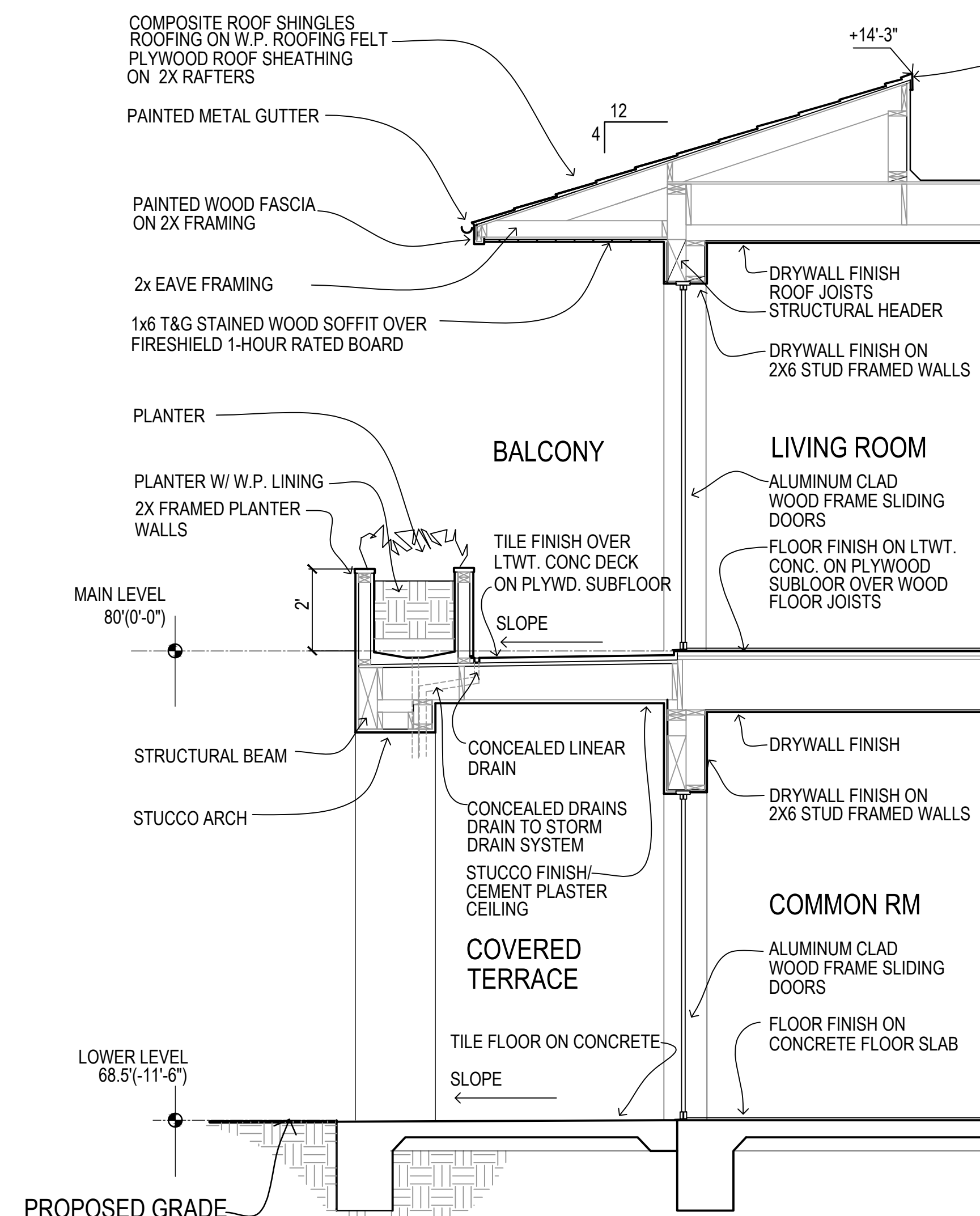
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A701

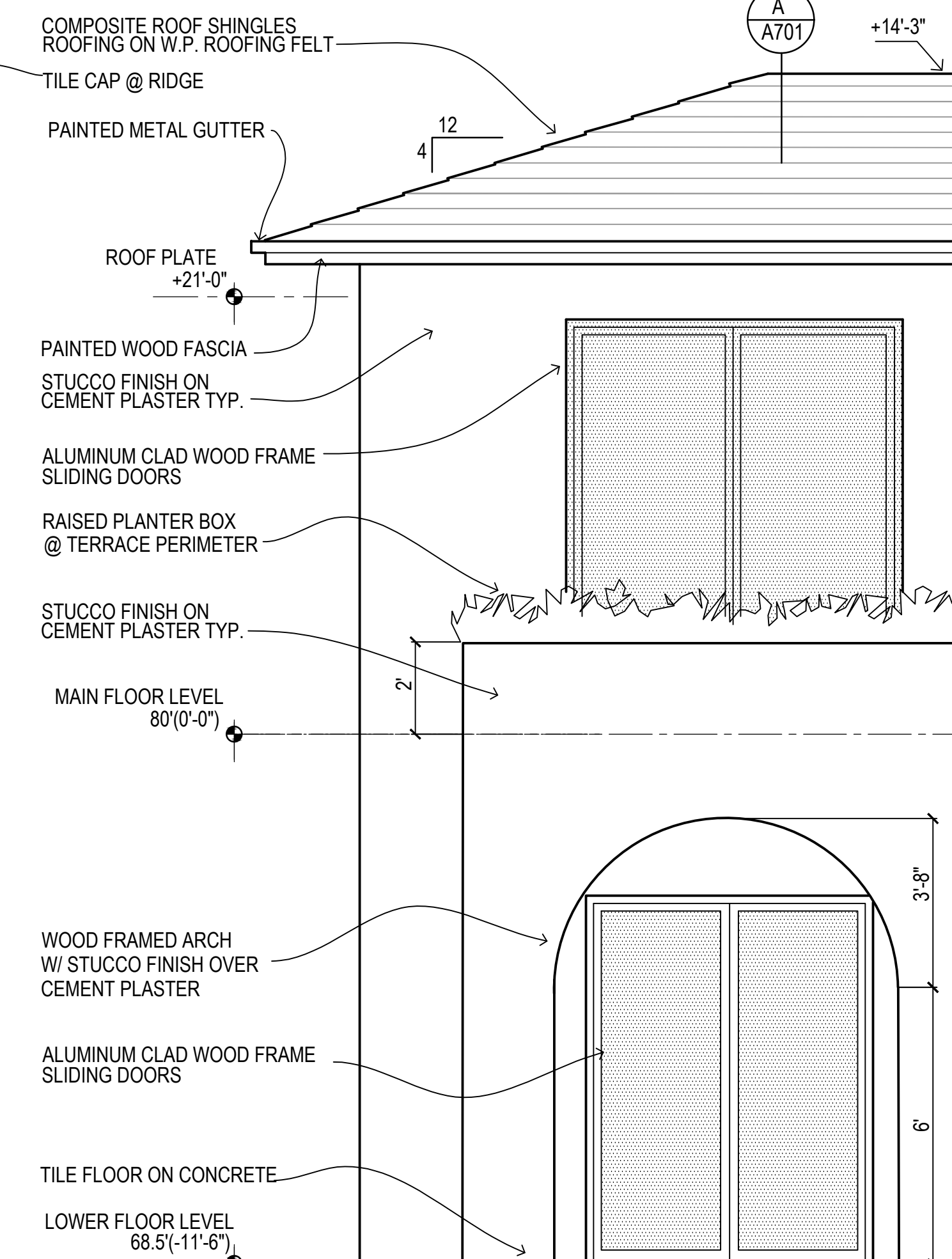


SECTION @ BAY WINDOW **C**
SCALE 3/8"=1'-0"

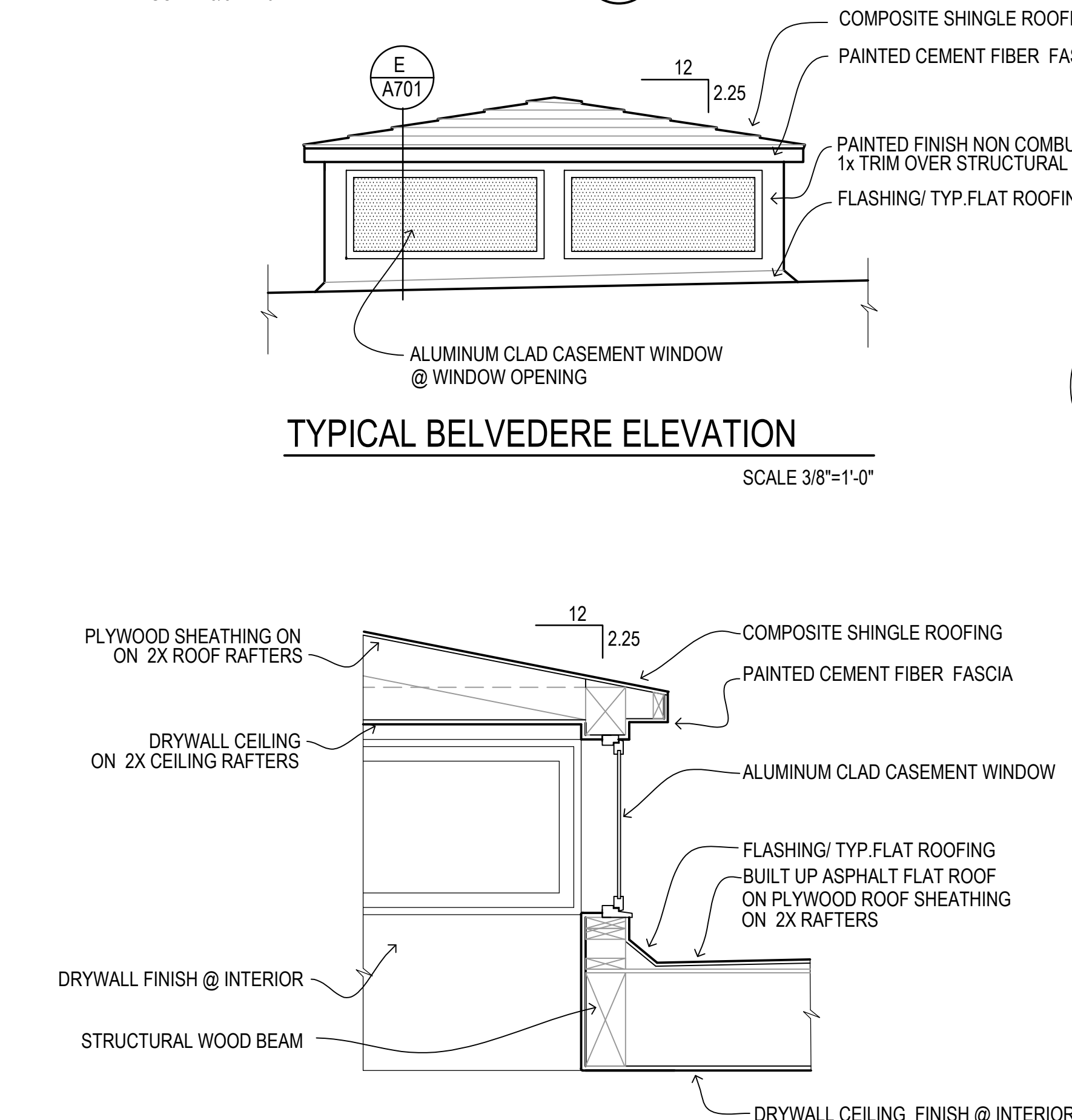
ELEVATION @ BAY WINDOW : GUEST QUARTERS
SCALE 3/8"=1'-0"



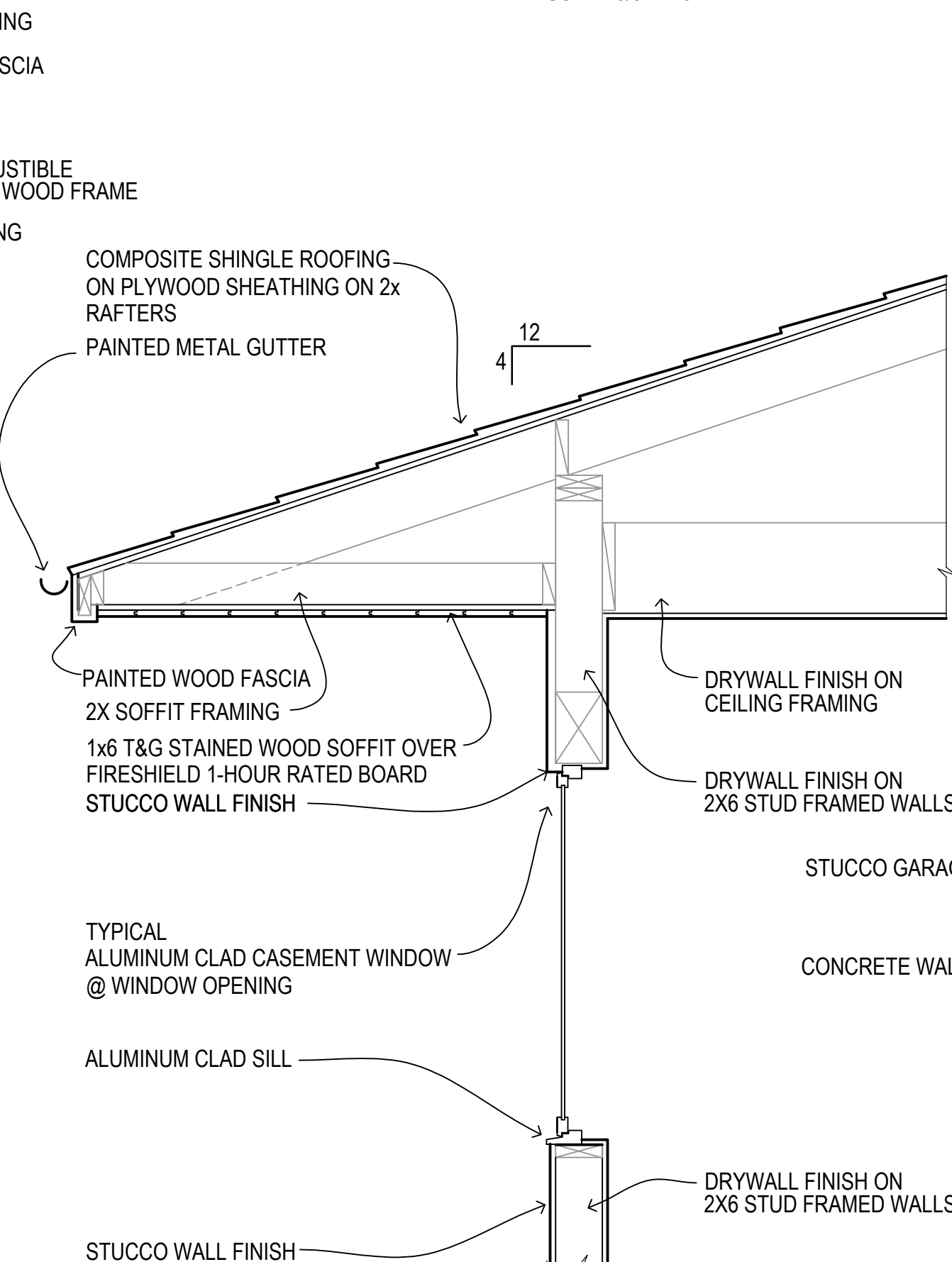
SECTION THRU BALCONY **A**
SCALE 3/8"=1'-0"



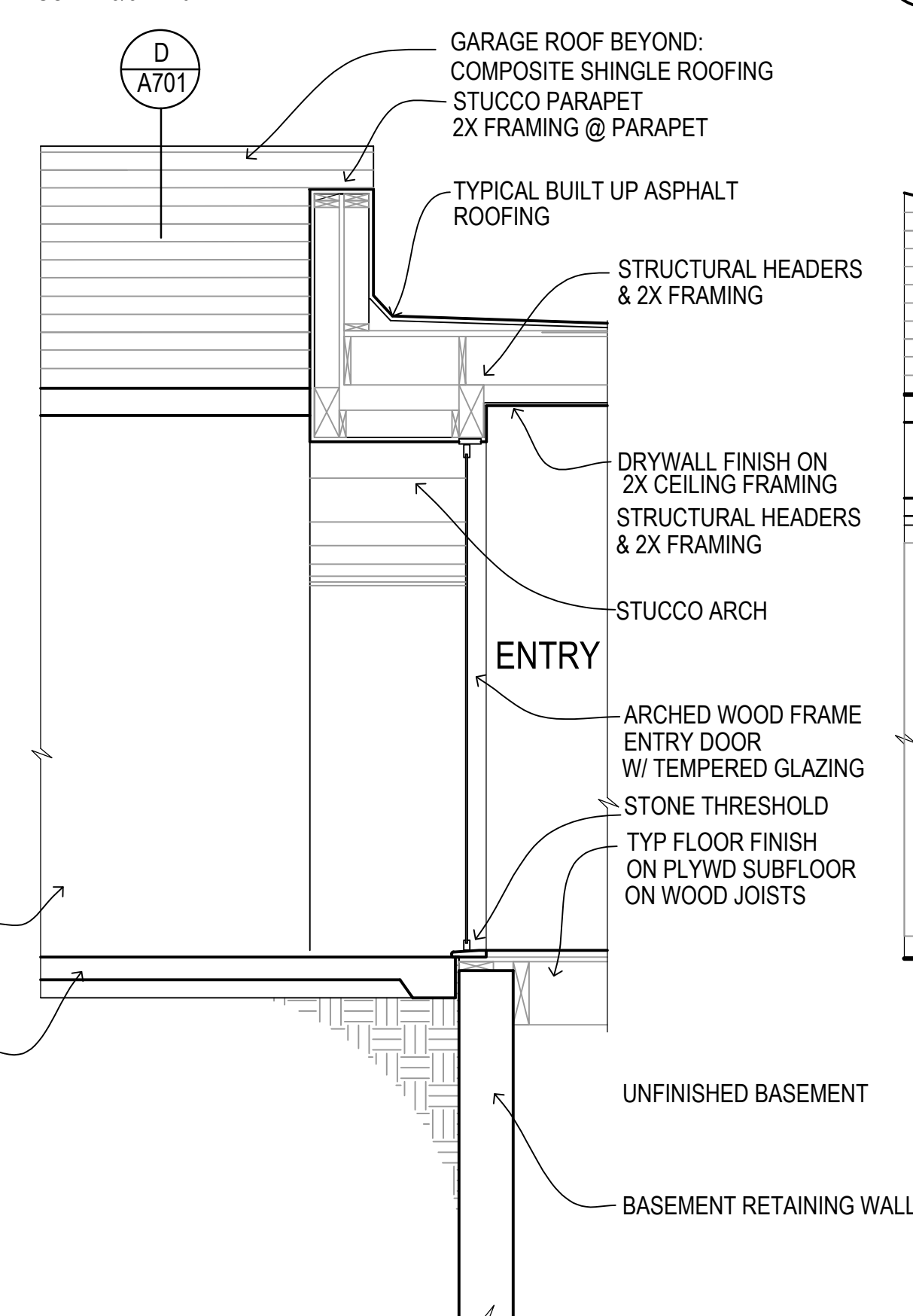
ELEVATION @ BALCONY: MAIN RESIDENCE
SCALE 3/8"=1'-0"



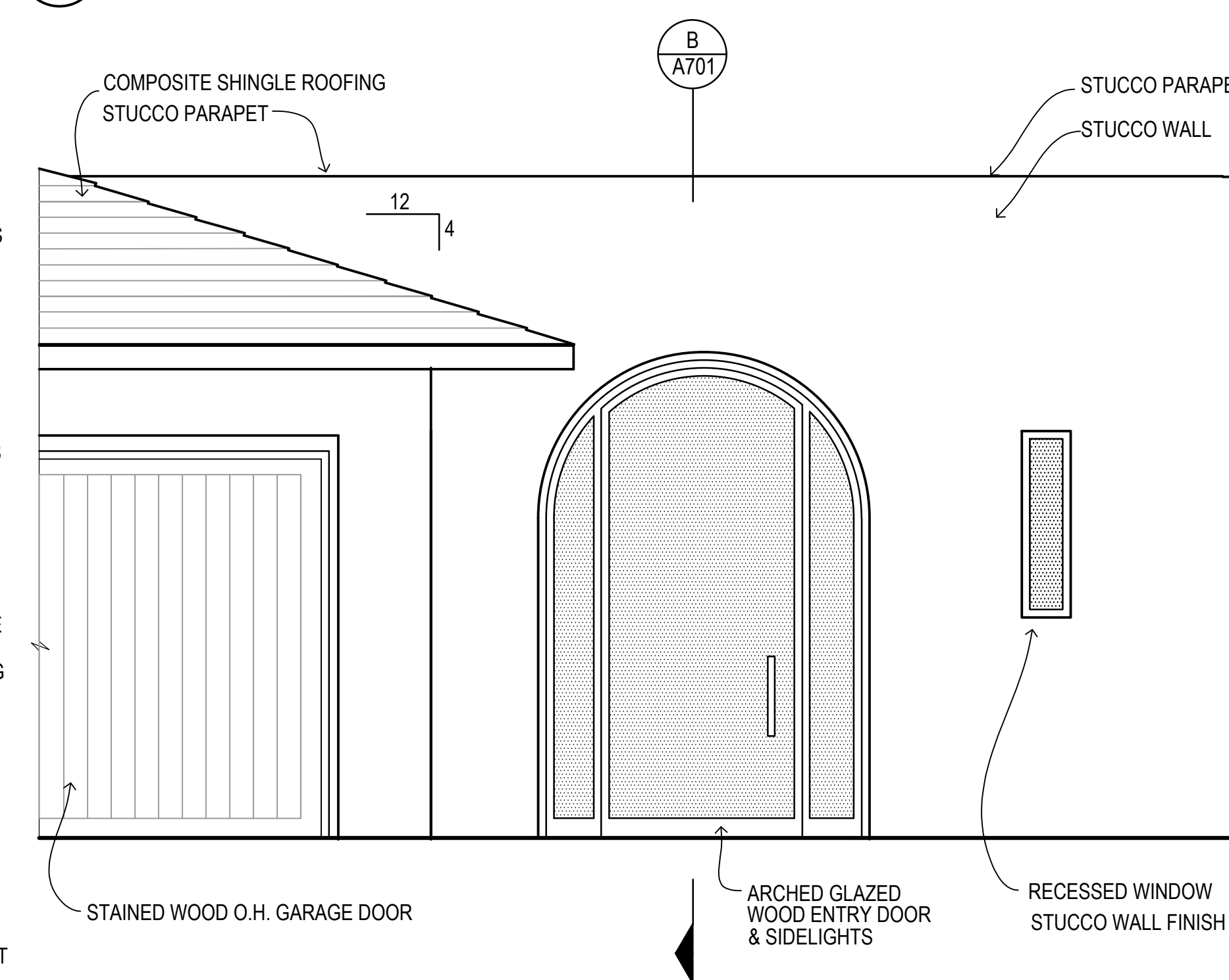
SECTION THRU BELVEDERE **E**
SCALE 3/4"=1'-0"



SECTION THRU TYPICAL EAVE **D**
SCALE 3/4"=1'-0"



SECTION @ ENTRY **B**
SCALE 3/4"=1'-0"



ELEVATION @ ENTRY: MAIN RESIDENCE
SCALE 3/8"=1'-0"

ARCHITECTURAL DETAILS