

La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): PTS# 556536
- Address and APN(s): 8276 Paseo Del Ocaso, La Jolla, CA 92037 (APN# 346-231-19-00)
- Project contact name, phone, e-mail: Colin Lowry, 619-800-8105, colin@cladinc.us
- Project description: (Process 3)- Site Development Permit (SDP), Neighborhood Development Permit (NDP), and Coastal Development Permit to remodel with partial demolition of an existing single-family dwelling with new 1,134-square-foot second story and net increase of 240 sq ft on first floor, for a total of 3,449 sq-ft two story single dwelling located at 8276 Paseo De Ocaso. The 0.12-acre site is in the Coastal Overlay Zone (Non-Appealable) in the SF zone(s) of the La Jolla Shores Planned District of the La Jolla Community Plan area within Council District 1.
- In addition, provide the following:
 - lot size: 5,250 SF (0.12 acres)
 - existing structure square footage and FAR (if applicable): 2,072 SF (0.39 FAR)
 - proposed square footage and FAR: 3,449 SF (0.66 FAR)
 - existing and proposed setbacks on all sides:
 - Existing:
 - Front yard: 20'-0"
 - Rear Yard: 18'-6"
 - North Side Yard: 3'-8 ½"
 - South Side Yard: 3'-8 ½"
 - Proposed:
 - Front yard: 20'-0"
 - Rear Yard: 25'-5"
 - North Side Yard: 3'-8 ½"
 - South Side Yard: 3'-8 ½"
 - height if greater than 1-story (above ground): 27'-9 ½"

Exhibits and other materials to provide:

Please provide the following which will be attached to the agenda and posted to the City's website for view by the public:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.)
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

(CONTINUED ON THE NEXT PAGE)

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Thank you,

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293
www.sandiego.gov/planning



VIEW FROM PASEO DEL OCASO

ABBREVIATIONS

AB:	ANCHOR BOLT	LB:	POUND (WEIGHT), LAG BOLT
ACT:	ACTUAL	LN:	LENGTH
AD:	AREA DRAIN	LR:	LIVING ROOM
AFF:	ABOVE FINISHED FLOOR	LT:	LIGHT
AIA:	AMERICAN INSTITUTE OF ARCHITECTS	LTG:	LIGHTING
ALT:	ALTERNATE	MAINT:	MAINTENANCE
ALUM:	ALUMINUM	MAX:	MAXIMUM
APPROX:	APPROXIMATE	MECH:	MECHANICAL
ASTM:	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MIN:	MINIMUM
BOT:	BOTTOM	MISC:	MISCELLANEOUS
BTU:	BRITISH THERMAL UNITS	MO:	MASONRY OPENING
BYP:	BY PASS	NTS:	NOT TO SCALE
CAB:	CABINET	OC:	ON CENTER
CF:	CUBIC FEET	OH:	OVERHEAD
CL:	CENTERLINE, CLOSET	OPP:	OPPOSITE
CMU:	CONCRETE MASONRY UNIT	PL:	PLATE
CONT:	CONTINUOUS	PSI:	POUNDS PER SQUARE INCH
DEMO:	DEMOLITION	RA:	RETURN AIR
DIA:	DIAMETER	RAD:	RADIUS
DIAM:	DIAMETER	RCP:	REFLECTED CEILING PLAN
DIFF:	DIFFUSER	RD:	ROOF DRAIN
DIM:	DIMENSION	REQ:	REQUIRE
DN:	DOWN	RM:	ROOM
DWG:	DRAWING	RO:	ROUGH OPENING
EQ:	EQUAL	ROW:	RIGHT OF WAY
EXIST:	EXISTING	SF:	SQUARE FOOT
FAR:	FLOOR AREA RATIO	SIM:	SIMILAR
FDN:	FOUNDATION	SJS:	SILICONE JOINT SEALANT
FFE:	FINISHED FLOOR ELEVATION	SPEC:	SPECIFICATION
FT:	FOOT, FEET	SQ:	SQUARE
FTG:	FOOTING	SS:	STAINLESS STEEL
FURR:	FURRING	STC:	SOUND TRANSMISSION CLASS
GA:	Gauge, GAGE	STD:	STANDARD
GALV:	GALVANIZED	STOR:	STORAGE
GF:	GROUND FAULT INTERRUPTED	STRUCT:	STRUCTURAL
GYP:	GYPSPUM	T&G:	TONGUE & GROOVE
HP:	HIGH POINT	TEMP:	TEMPERED
HT:	HEIGHT	THRU:	THROUGH
HVAC:	HEATING, VENTILATING & AIR CONDITIONING	TV:	TELEVISION
HVY:	HEAVY	TW:	TOP OF WALL
IN:	INCH	TYP:	TYPICAL
INFO:	INFORMATION	UL:	UNDERWRITERS' LABORATORIES
INT:	INTERIOR	UNO:	UNLESS NOTED OTHERWISE
K:	KELVIN (TEMPERATURE)	VA:	VOLT AMPERE
KIT:	KITCHEN	WO:	WOOD
		WIN:	WINDOW

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS, INCLUDING THE FOLLOWING:
 - 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA RESIDENTIAL CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 CALIFORNIA HISTORICAL BUILDING CODE
 - 2016 CALIFORNIA FIRE CODE
 - 2016 CALIFORNIA EXISTING BUILDING CODE
 - 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SAFETY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE.
- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS, AND/OR DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT AND SHALL OBTAIN APPROVAL FROM THE GOVERNING BUILDING OFFICIAL BEFORE PROCEEDING WITH THE WORK.
- THE MANUFACTURERS, PRODUCTS AND EQUIPMENT LISTED ESTABLISH PERFORMANCE REQUIREMENTS. SUBSTITUTIONS OF EQUAL PERFORMANCE MAY BE SUBMITTED FOR THE ARCHITECT'S APPROVAL.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS UNLESS NOTED OTHERWISE.
- SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

DRAWING INDEX

NUMBER	SHEET NAME
A001	Title Sheet
A002	Storm Water Forms
A003	Climate Action Plan
A100	Topo Survey
A101	Setback Survey
A102	Proposed Site Plan
A103	Conceptual Grading Plan
A104	Existing Floor Plan
A105	Demo Floor Plan
A106	Proposed First Floor Plan
A107	Proposed Second Floor Plan
A108	Proposed Roof Plan
A200	Exterior Elevations
A201	Exterior Elevations
A300	Building Section
A700	Renderings
L1.0	Proposed Landscape Plan
L1.2	Proposed Landscape Diagram Plan

AREA CALCULATIONS

FLOOR AREA CALCULATIONS:	
EXISTING LIVING AREA	1,675 SF
EXISTING GARAGE	397 SF
DEMO LIVING AREA	-135 SF
1ST FLOOR ADDITION	375 SF
2ND FLOOR ADDITION	1,137 SF
TOTAL FLOOR AREA	3,449 SF
FAR = 3,449 SF / 5,250 SF =	0.66
EXTERIOR AREA CALCULATIONS:	
REAR COVERED PATIO	435 SF
POOL / SPA	288 SF
MASTER BALCONY	101 SF
BEDROOM 3 BALCONY	70 SF
ROOF DECK	431 SF

PROJECT TEAM

OWNER/APPLICANT:	WARREN TREISMAN & NEOLA BENEDEK 6203 ROCKHURST DR SAN DIEGO, CA 92120 P 619.318.8081
ARCHITECT	CLAD INC. COLIN LOWRY, AIA C-35202 4766 32ND ST SAN DIEGO, CA 92116 P 619.800.8105 E COLIN@CLADINC.US
LANDSCAPE ARCHITECT	KATHERINE STANGLE, LA 1643 MYRTLE AVENUE SAN DIEGO, CA 92103 P 619.991.9873 E KATHERINE@KATHERINESTANGLE.COM
SURVEYOR	QUICK SURVEYING MICHAEL THOMPSON, PLS 2163 WOODLAND HEIGHTS GLENN ESCONDIDO, CA 92026 P 760.525.0694 E ZILLA5706-WORK@YAHOO.COM
SOILS ENGINEER	SCST, INC. DOUG SKINNER, CEG 6280 RIVERDALE ST SAN DIEGO, CA 92120 P 877.215.4321 E DSKINNER@SCST.COM
ARCHAEOLOGICAL CONSULTANT	BRIAN F SMITH AND ASSOCIATES, INC. 14010 POWAY ROAD, SUITE A POWAY, CA 92064 P 858.679.8218 BSMITH@BFS-A-C.A.COM
CONTRACTOR	TO BE DETERMINED

PROJECT INFO

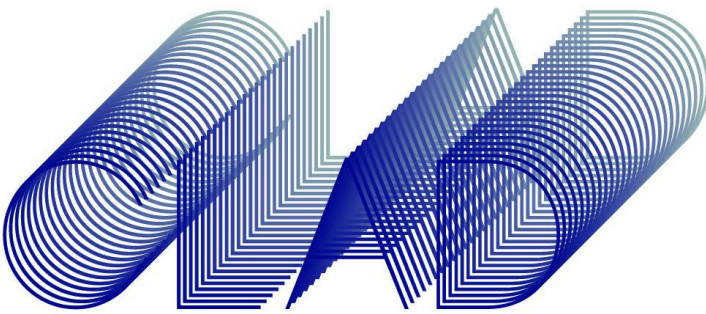
ADDRESS	8276 PASEO DEL OCASO LA JOLLA, CA 92037
ASSESSOR'S PARCEL NUMBER	346-231-19-00
LEGAL DESCRIPTION	LOT 3 IN BLOCK 22 OF MAP 2061
SITE AREA	5,250 SF (0.12 ACRES)
PROJECT DESCRIPTION	THE SCOPE OF WORK INCLUDES A 2 STORY ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND REMODEL OF EXISTING SPACES.
ZONING CLASSIFICATION	LJSPD-SF
OVERLAY ZONES	COASTAL HEIGHT LIMIT OVERLAY ZONE, COASTAL OVERLAY ZONE (NON APPEALABLE AREA 2), BEACH IMPACT OVERLAY ZONE, TANDEM PARKING OVERLAY ZONE
DEVELOPMENT PERMITS	SITE DEVELOPMENT PERMIT, COASTAL DEVELOPMENT PERMIT, NEIGHBORHOOD DEVELOPMENT PERMIT PTS #556536
CONSTRUCTION TYPE	TYPE VB
OCCUPANCY	R-3 (RESIDENTIAL SINGLE FAMILY DWELLING)
DWELLING UNITS	1 DU PER LOT
PARKING	REQUIRED/PROVIDED: 2 SPACES
SPRINKLERS	NOT REQUIRED
FAR	0.66 (NO MAXIMUM, SEE AREA CALCULATIONS BELOW)
BUILDING HEIGHT	27'-9 1/2" (30' MAXIMUM)
LOT COVERAGE	2,312 SF (44.0%; 60% MAXIMUM)
LANDSCAPING	1,575 SF, (30%; 30% MINIMUM, SEE LANDSCAPING PLANS)

Sunset House

8276 Paseo Del Ocaso La Jolla, CA 92037

Title Sheet

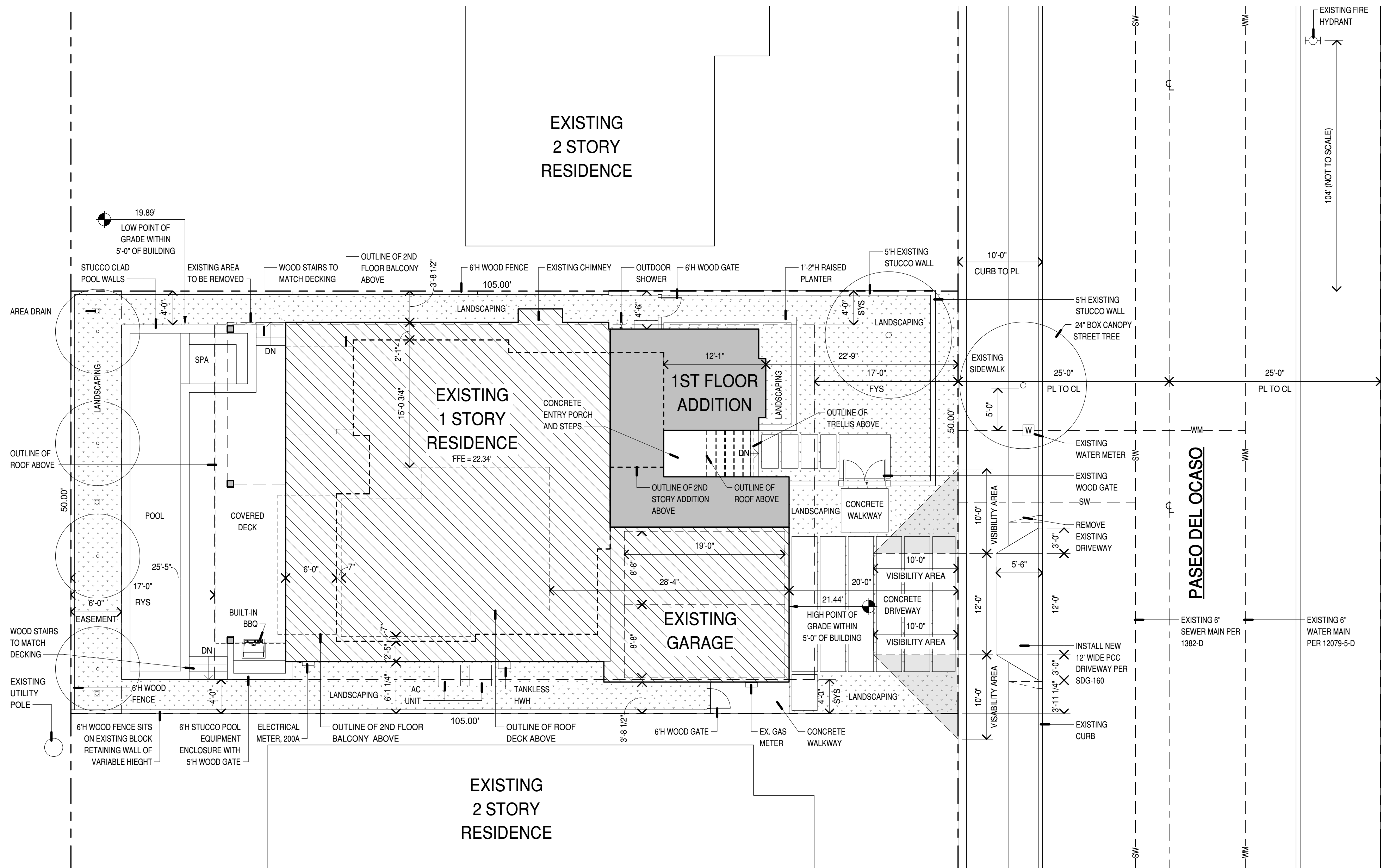
A001



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619.800.8105
Date: 10.09.18

Sunset House

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1 PROPOSED SITE PLAN

1/8" = 1'-0"

SITE PLAN NOTES

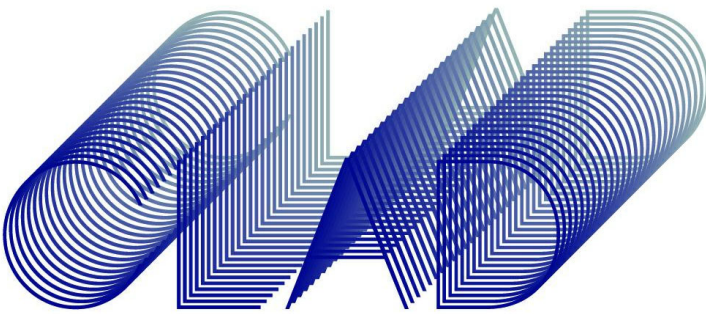
- SEE LANDSCAPE ARCHITECT PLANS FOR PLANTING AND HARDSCAPE INFORMATION.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY LOCATED IN THE VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

SITE PLAN LEGEND

	EXISTING AREA OF REMODEL		FIRE HYDRANT
	EXISTING AREA TO BE REMOVED		AREA DRAIN
	LANDSCAPED AREA; SEE LANDSCAPING PLANS		TOP OF WALL
	FIRST FLOOR ADDITION		BOTTOM OF WALL
	VISIBILITY AREA		EXISTING GRADE
	PROPERTY LINE		FINISHED GRADE
	SETBACK LINE		FINISHED FLOOR ELEVATION
	OUTLINE OF 2ND FLOOR ADDITION		RIGHT OF WAY
	OUTLINE OF ROOF OR BALCONY ABOVE		TYPICAL
	CENTERLINE OF PUBLIC ROAD		UNLESS NOTED OTHERWISE
	EXISTING SEWER MAIN		
	EXISTING WATER MAIN		

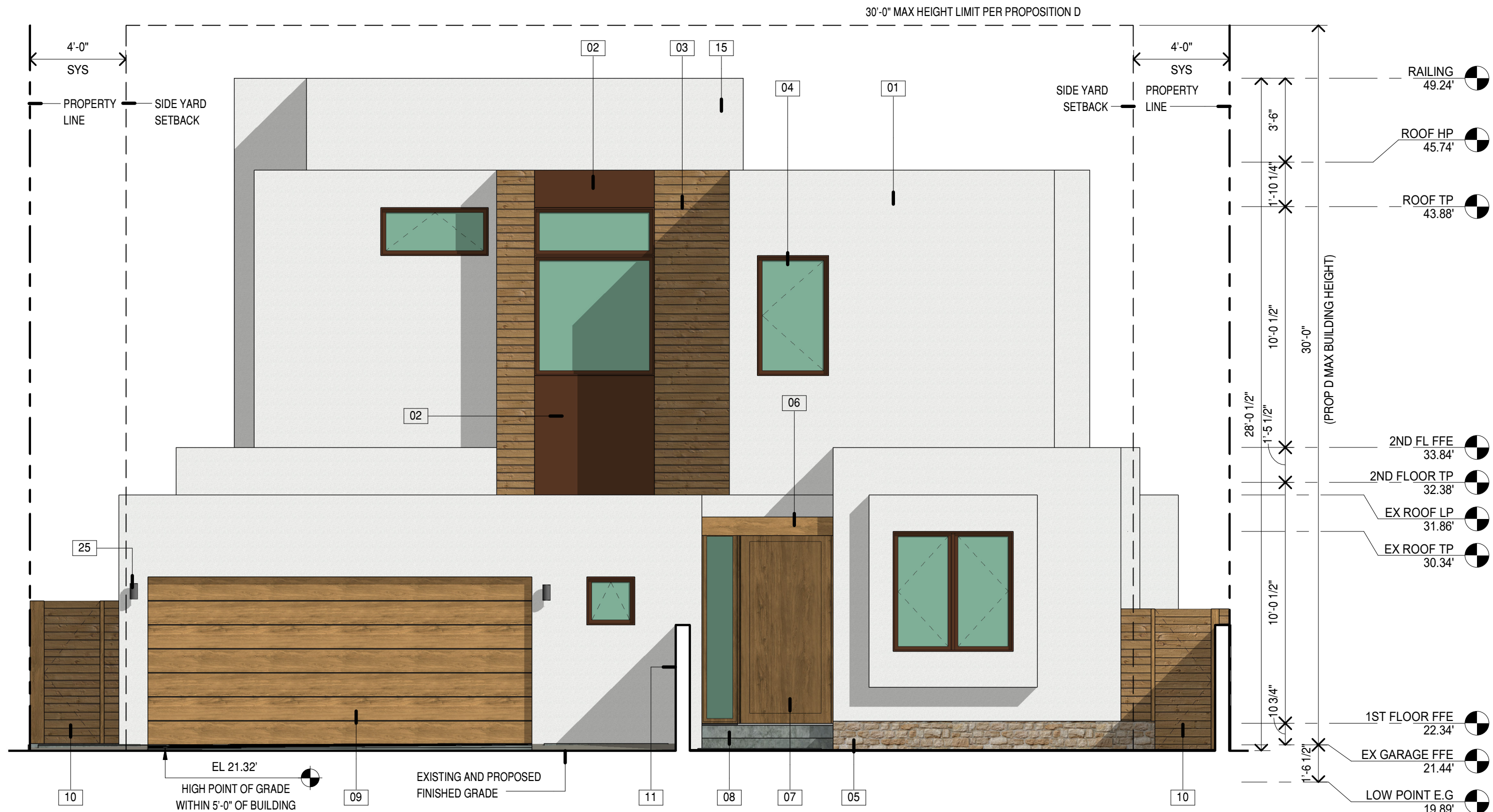
Proposed Site Plan

A102



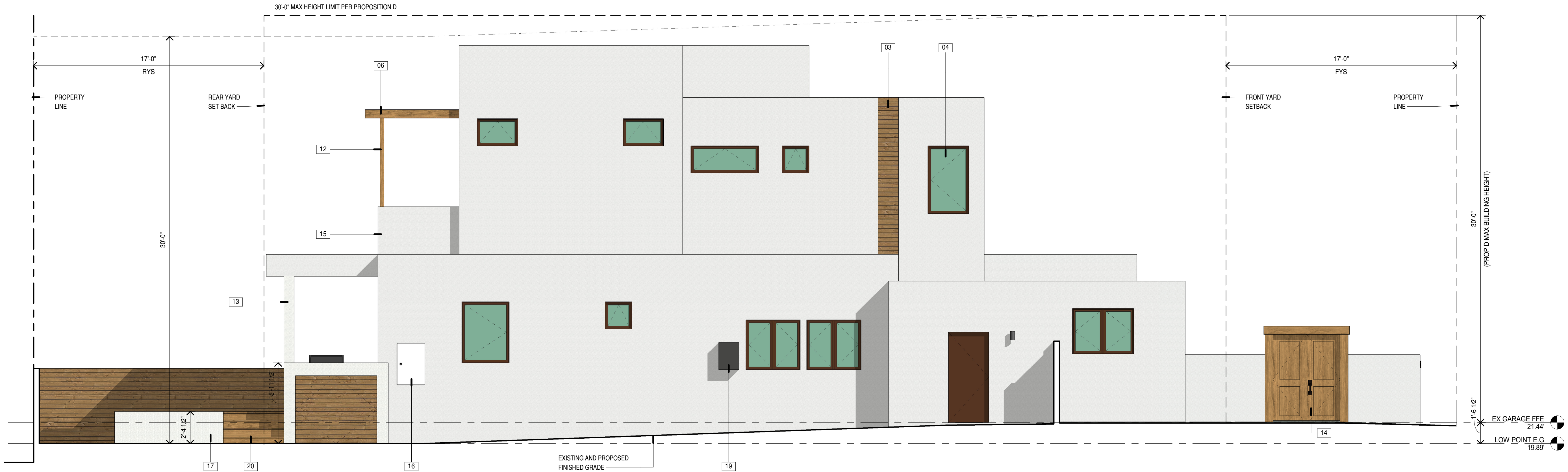
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KEYNOTES	
NUMBER	COMMENTS
01	STUCCO CLAD EXTERIOR WALL
02	ALUMINUM EXTERIOR PANEL, PAINT TO MATCH WINDOWS
03	1x4 WOOD TONGUE AND GROOVE HORIZONTAL SIDING WITH SQUARE REVEAL, STAINED
04	VINYL WINDOW WITH LOW E GLAZING, COLOR TBD
05	RAISED PLANTER WITH STONE WALL
06	2X8 WOOD TRELLIS BEAMS, STAINED
07	WOOD VENEER ENTRY DOOR WITH SIDELIGHT
08	CONCRETE STEPS
09	METAL GARAGE DOOR WITH VENEER TO MATCH WOOD SIDING
10	6'-0"H WOOD GATE, STAINED
11	5'-0" EXISTING STUCCO CLAD BLOCK WALL TO REMAIN
12	4X4 WOOD COLUMNS, STAINED
13	STUCCO CLAD COLUMNS
14	EXISTING WOOD ENTRY GATE TO REMAIN
15	3'-6" STUCCO CLAD GUARDRAIL
16	ELECTRIC METER
17	STUCCO CLAD POOL WALL
19	ALUMINUM SLIDING GLASS DOORS, COLOR TO MATCH WINDOWS
20	OUTDOOR SHOWER
25	EXTERIOR LIGHT FIXTURE



1 FRONT ELEVATION (EAST)

1/4" = 1'-0"



2 SIDE ELEVATION (SOUTH)

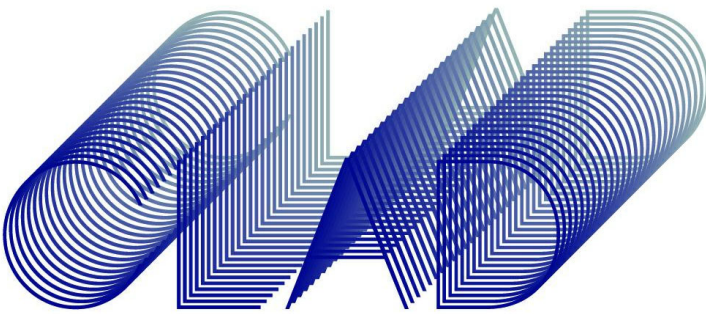
1/4" = 1'-0"

Sunset House

8276 Paseo Del Ocaso La Jolla, CA 92037

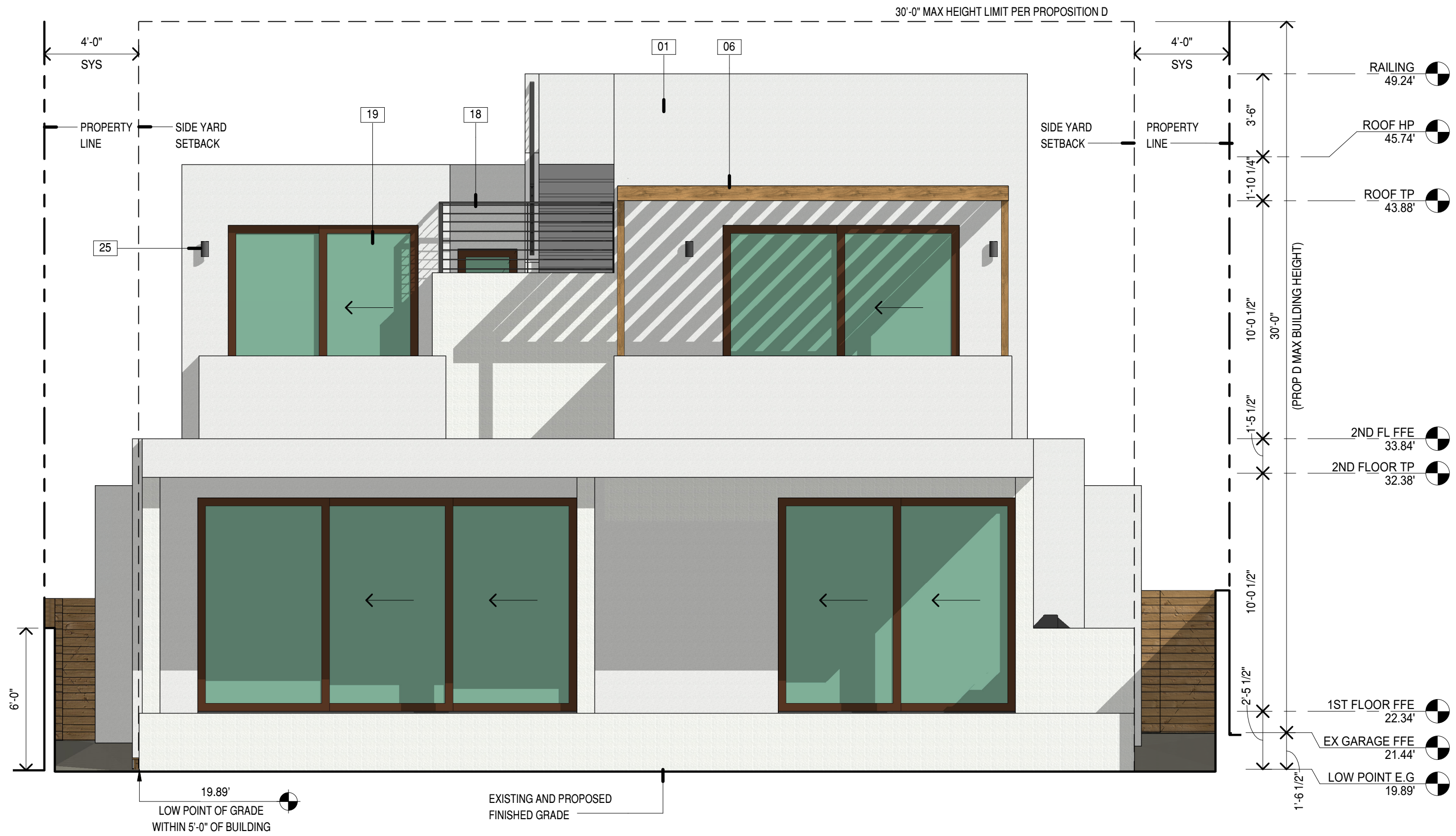
Exterior Elevations

A200

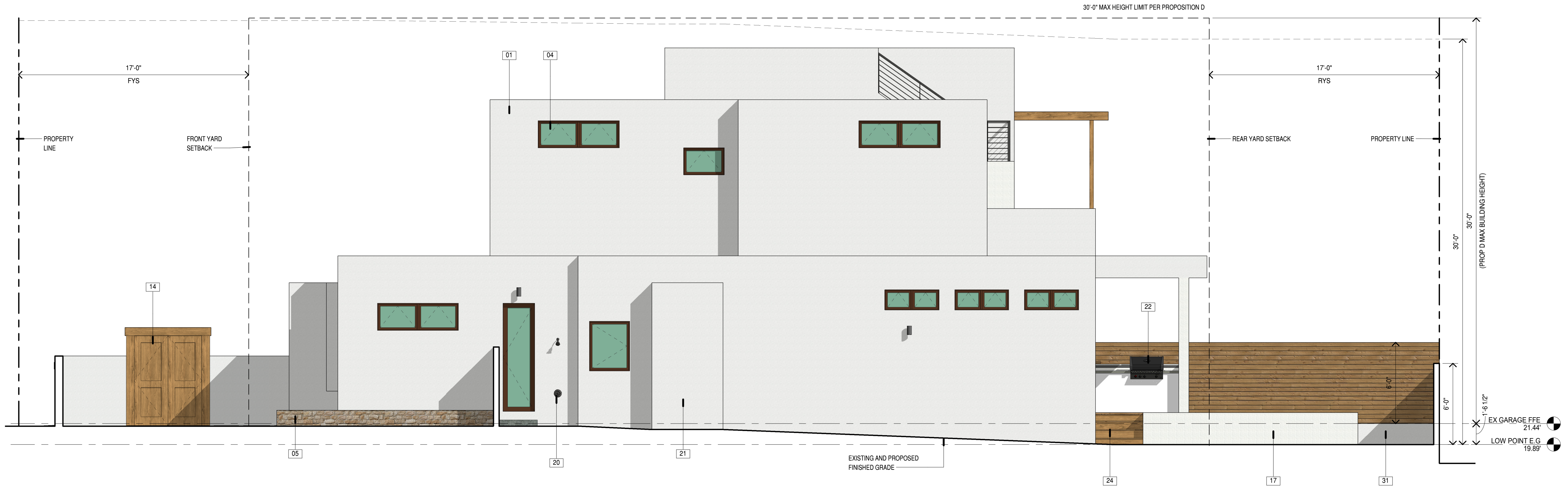


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KEYNOTES	
NUMBER	COMMENTS
01	STUCCO CLAD EXTERIOR WALL
04	VINYL WINDOW WITH LOW E GLAZING, COLOR TBD
05	RAISED PLANTER WITH STONE WALL
06	2X8 WOOD TRELLIS BEAMS, STAINED
14	EXISTING WOOD ENTRY GATE TO REMAIN
17	STUCCO CLAD POOL WALL
18	3'-6" H METAL GUARDRAIL
19	ALUMINUM SLIDING GLASS DOORS, COLOR TO MATCH WINDOWS
20	OUTDOOR SHOWER
21	EXISTING BRICK CHIMNEY, PAINT TO MATCH STUCCO
22	BUILT-IN BBQ COUNTER
24	WOOD STAIRS TO MATCH DECKING
25	EXTERIOR LIGHT FIXTURE
31	EXISTING BLOCK WALL, PAINT TO MATCH STUCCO



1 REAR ELEVATION (WEST)
1/4" = 1'-0"



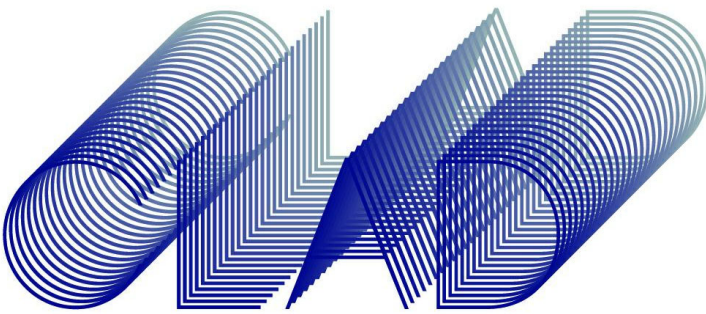
2 SIDE ELEVATION (NORTH)
1/4" = 1'-0"

Sunset House

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Exterior Elevations

A201



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1 BIRD'S EYE VIEW

1/4" = 1'-0"



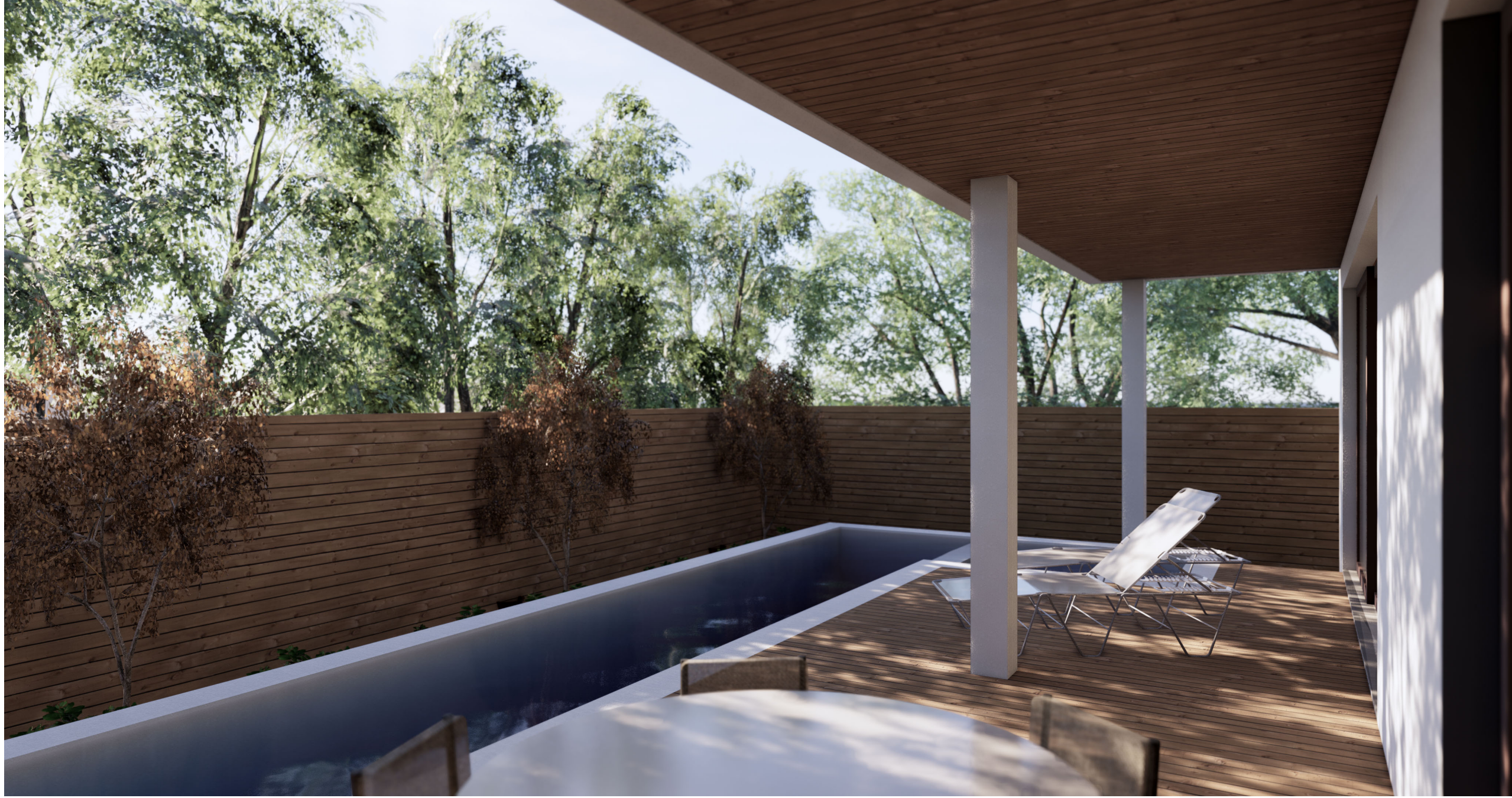
2 FRONT VIEW

1/4" = 1'-0"



3 REAR VIEW

1/4" = 1'-0"



4 REAR DECK VIEW

1/4" = 1'-0"

Sunset House

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Renderings

A700



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