



The Beacon

1425 C St San Diego, CA 92101

October 26, 2016

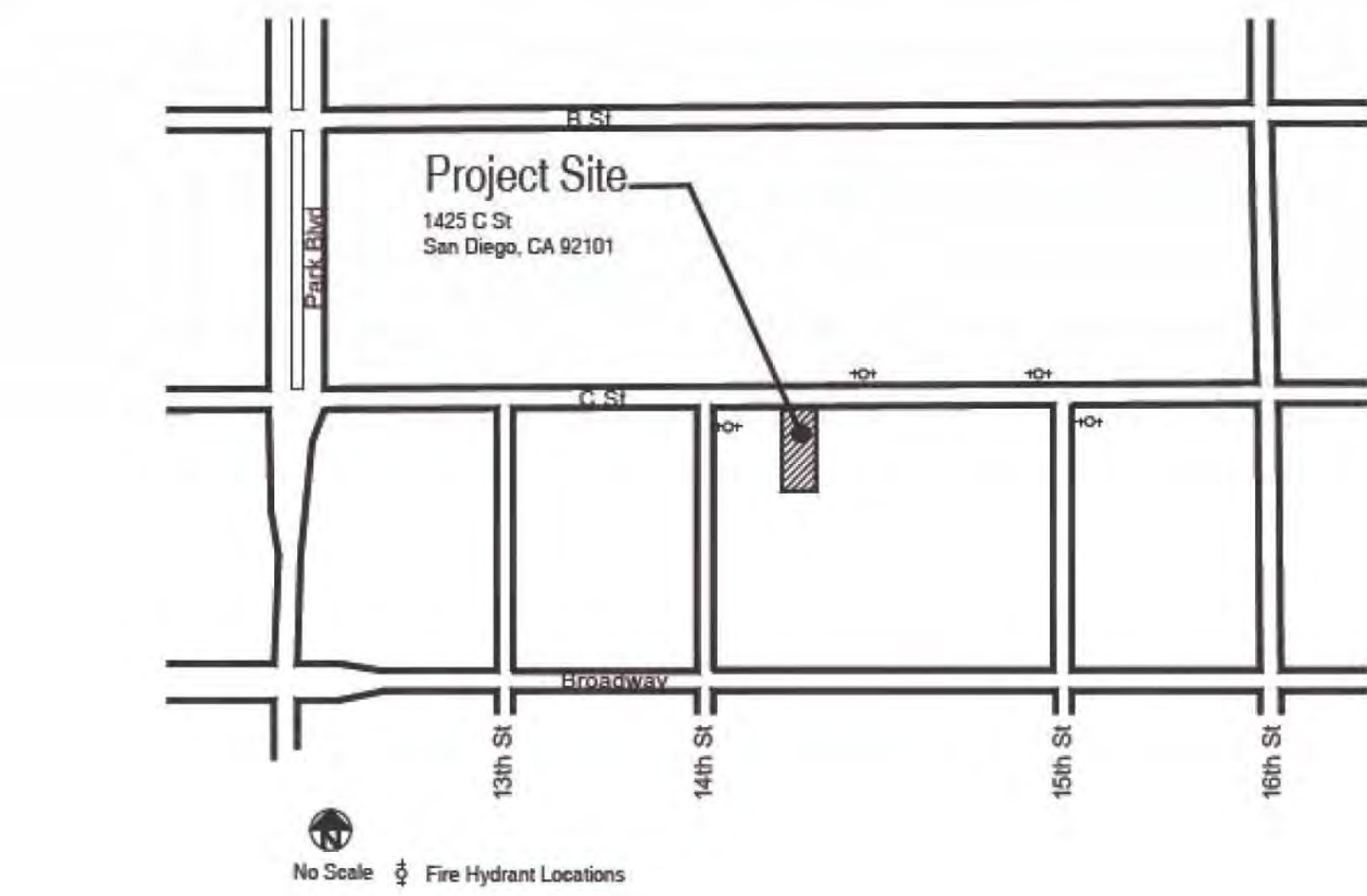
Property Owner & Developer:

Wakeland Housing & Development Corp.
1230 Columbia St, Suite 950
San Diego, CA 92101
Contact: Jonathan Taylor
Tel: 619.326.6212

Architect:

M.W. Steele Group
1805 Newton Ave, Suite A
San Diego, CA 92113
Contact: Diego Velasco
Tel: 619.230.0325 x4237

PROJECT LOCATION



ZONING DESIGNATIONS:

- CCPD-ER
- Planned District: Centre City Planned District
- Community Plan: Center City Community Plan
- Overlay Zones: Large-Floorplate Overlay
- Geologic Hazard: 53 low to moderate

HISTORIC DESIGNATION:

Designated Historic Resource per HRB# 1211

REQUIRED APPROVALS:

- Centre City Development Permit
- Site Development Permit for Substantial Alteration under SDMC Section 126.0504 (i) - Proposed Demolition of Historic Structure

PARKING REQUIREMENTS: (Per Table 156-0313-A)

Description	Parking Requirements	Required Parking Stalls	Proposed Parking Stalls
Living Units (at or below 40% AMI)	no stall required	0	0
Manager's Unit (1 bed)	1 stall every 0.1 units	0.1	1
Visitor/Guest	1 stall every 30 units	1.5	6
Motorcycle	1 stall every 20 units	2.2	2
Bicycle	one stall every 5 units	8.8	9

PROJECT DATA

ADDRESS: 1425 C Street, San Diego, California 92101
ASSESSOR PARCEL NUMBER: 534-210-12

LEGAL DESCRIPTION:
The Westerly one-half of north 40 feet of lots J, K, and L in block 179 of Horton's Addition according to the map made by L.L. Lockling filed in the office of the county recorder of San Diego County. Excepting therefrom the southerly 10 feet thereof.

SITE AREA: 8,278 square feet / 0.19 acres

EXISTING USE:
Residential - Transitional Housing with 15 bedrooms and 0 parking; Two existing buildings of approximately 6,700 gross square feet

PROPOSED USE:
Residential - 43 studio apartments and 1 one-bedroom apartment with 8 parking spaces; approximately 31,155 gross square feet of new construction

PROJECT DESCRIPTION:

The Beacon is a 44-unit studio apartment building, new construction, located at 1425 C Street across from San Diego City College in the East Village Neighborhood of Downtown San Diego. The site area is approx. 8,278 square feet. The building will provide permanent supportive housing for homeless individuals, including individuals served by the County Mental Health Services (MHSA). There will be one manager's unit on-site, with one-bedroom, one-bath and approximately 770 square feet. All other dwelling units will be approximately 350 square feet, and therefore, classify as "living units" under SDMC 156.0315(f). All units will be maintained as affordable for individuals at or below 40% AMI.

SCOPE OF WORK:

Demolish existing 2-story apartment building constructed in 1908 and 1-story duplex constructed in 1912; construct new 5-story apartment building with 43 living units and 1 manager's unit and supporting common spaces.

DEVELOPMENT SUMMARY:

Floor Level	Use	GFA	F.A.R.	Unit Count	Unit Avg SF
Level 1	Parking Bike Storage Lobby Mechanical Refuse/Storage	4,770 SF 230 SF 711 SF 360 SF 250 SF	4,770** SF 230 SF 711 SF 360 SF 250 SF	0	
Level 2	Residential	6,150 SF	6,150 SF	12	350 SF
Level 3	Residential Studios	6,150 SF	6,150 SF	12	350 SF
Level 4	Residential Studios Community Room Manager's Office	5,395 SF 555 SF 200 SF	5,395 SF 555 SF 200 SF	10	350 SF
Level 5	Residential Studios Residential 1-bed Laundry	5,045 SF 770 SF 160 SF	5,045 SF 770 SF 160 SF	9 1	350 SF 770 SF
Roof	Mechanical	361 SF	361 SF	0	0
TOTALS		31,107 SF	31,107 SF	44	350 - 770
Total Exterior Open Space*	Entry Court (Level 1) Sun Deck (Level 2)	1,134 SF 250 SF	1,134 SF 250 SF		

* Exterior Common Area is required for projects under 50 dwelling units

FLOOR AREA RATIO: 3.76 (31,107 / 8,278)

**Garage is included in F.A.R Calculation

- Per Section 113.0234(a)(6) - garage is not open on two sides for a min. of 75%
- Per Section 113.0234(d)(3)(B) - garage does not include a min. of at least two of the required criteria for exclusion in floor area calculations

F.A.R. BONUS: None Requested

TRANSPARENCY: 73%

390 SF of 535 SF of street facing ground level residential facade area is transparent

PROJECT TEAM

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Tel: (619) 326-6212
Email: jtaylor@wakelandhdc.com

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Contact: Diego Velasco
Email: diego@mwsteele.com
Tel: (619) 230-0325 ext. 4237
Cell: (619) 602-1699

Civil:
Kettler Leweck Engineering
303 A St, Suite 302
San Diego, CA 92101
Contact: Mike Yentile
Tel: (619) 269-3444
Email: mike@kettlerleweck.com

Landscape Architect:
David Reed Landscape Architects
2171 India Street, Suite A
San Diego, CA 92101
Contact: David Reed
Tel: (619) 239-3300
Email: david@drasla.com

Geotechnical:
Leighton and Associates, Inc.
3934 Murphy Canyon Rd., Suite B205
San Diego, CA 92123
Contact: Mike D. Jensen
Tel: (858) 292-8030

APPLICABLE CODES:

San Diego Municipal Code
2013 California Building Code

OCCUPANCY:

Residential Group R-2
Storage Group S-2 - garage

CONSTRUCTION TYPE:

Type V-A Wood Construction
over Type I-B Concrete Garage
Sprinklered

LOT COVERAGE:

Max. Allowable (Building Base) : 100%
Proposed: 75%

BUILDING HEIGHT:

5 stories; 60 Feet

INTERIOR COMMON AREA

Required: 5 SF/ Living Unit = 5x43= 215 SF
Proposed: 555 SF

SHEET INDEX

A0.0	Project Data
A0.1	Vicinity Map
A0.2	Vicinity Elevations and Context Studies
A1.0	Site Plan
A1.1	Demo Plan
A2.0	Garage/First Floor Plan
A2.1	Second Floor Plan
A2.2	Third Floor Plan
A2.3	Fourth Floor Plan
A2.4	Fourth Floor Plan
A2.5	Roof Plan
A3.0	Exterior Elevation - North
A3.1	Exterior Elevation - South
A3.2	Exterior Elevation - East
A3.3	Exterior Elevation - West
A4.0	Sections
A5.0	Perspective View
A5.1	Street View
A6.0	Color and Material Boards
L-1	Landscape Concept Plan
L-2	Plant Palette, Notes & Calculations
C1.0	Existing Condition Plan / Topographic Survey
C2.0	Proposed Condition Plan
C3.0	Storm Water Applicability Checklist

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A0.0

Sheet Number 2 of 20



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 Second Civic SD Submittal - 06/20/2016
 Third Civic SD Submittal - 10/26/2016

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VICINITY MAP

Scale: As Noted on Plans



A0.1

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C Street Vicinity Elevation
scale: n.t.s



14th Street Vicinity Elevation
scale: n.t.s

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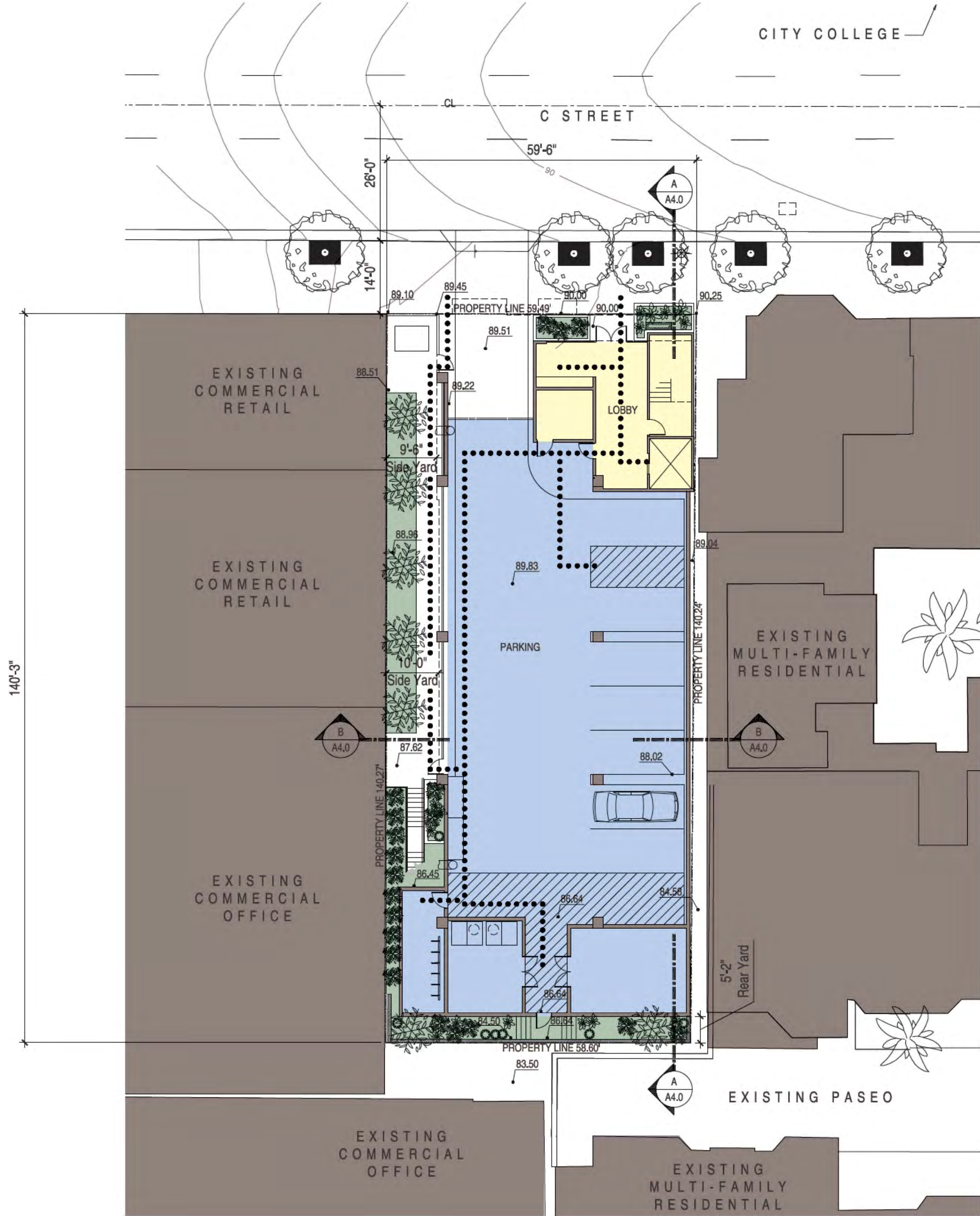
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VICINITY ELEVATIONS
CONTEXT STUDIES

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General Notes

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- 2. No bus stop existing or proposed at street frontage of proposed project.
- 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4).
- 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00

Legend

- Accessible Parking Space
- Key Note
- Property Line
- Spot Elevation
- Accessible Path

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Site Plan



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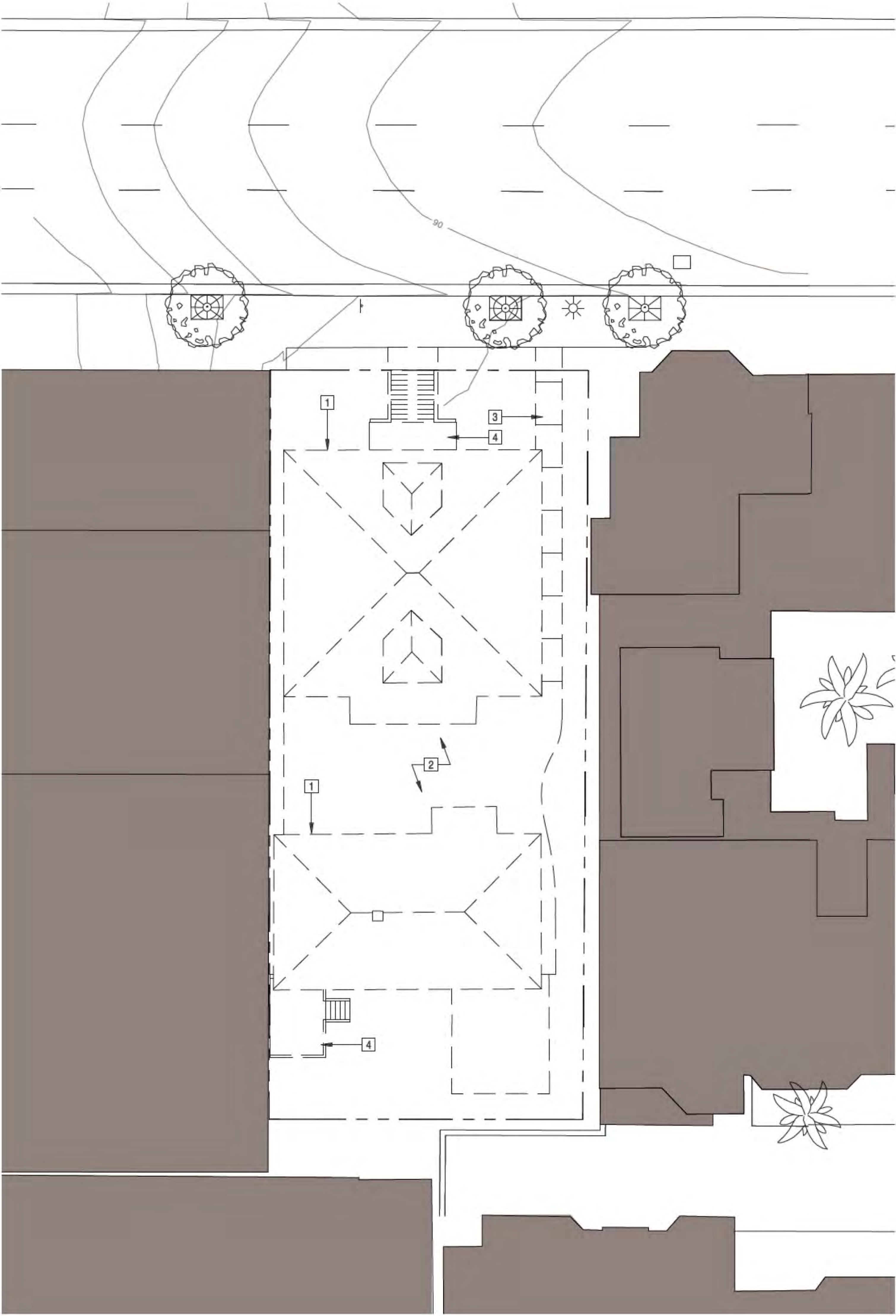
SITE PLAN

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Demolition Plan

Notes

1

Existing Building to be Removed

2

Concrete Patio to be demolished

3

Concrete Paths to be demolished

4

All Existing Patios to be demolished

General Notes

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3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (JFC 901.4.4).

4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00

Legend

Accessible Parking Space

Key Note

Property Line

Spot Elevation

Accessible Path

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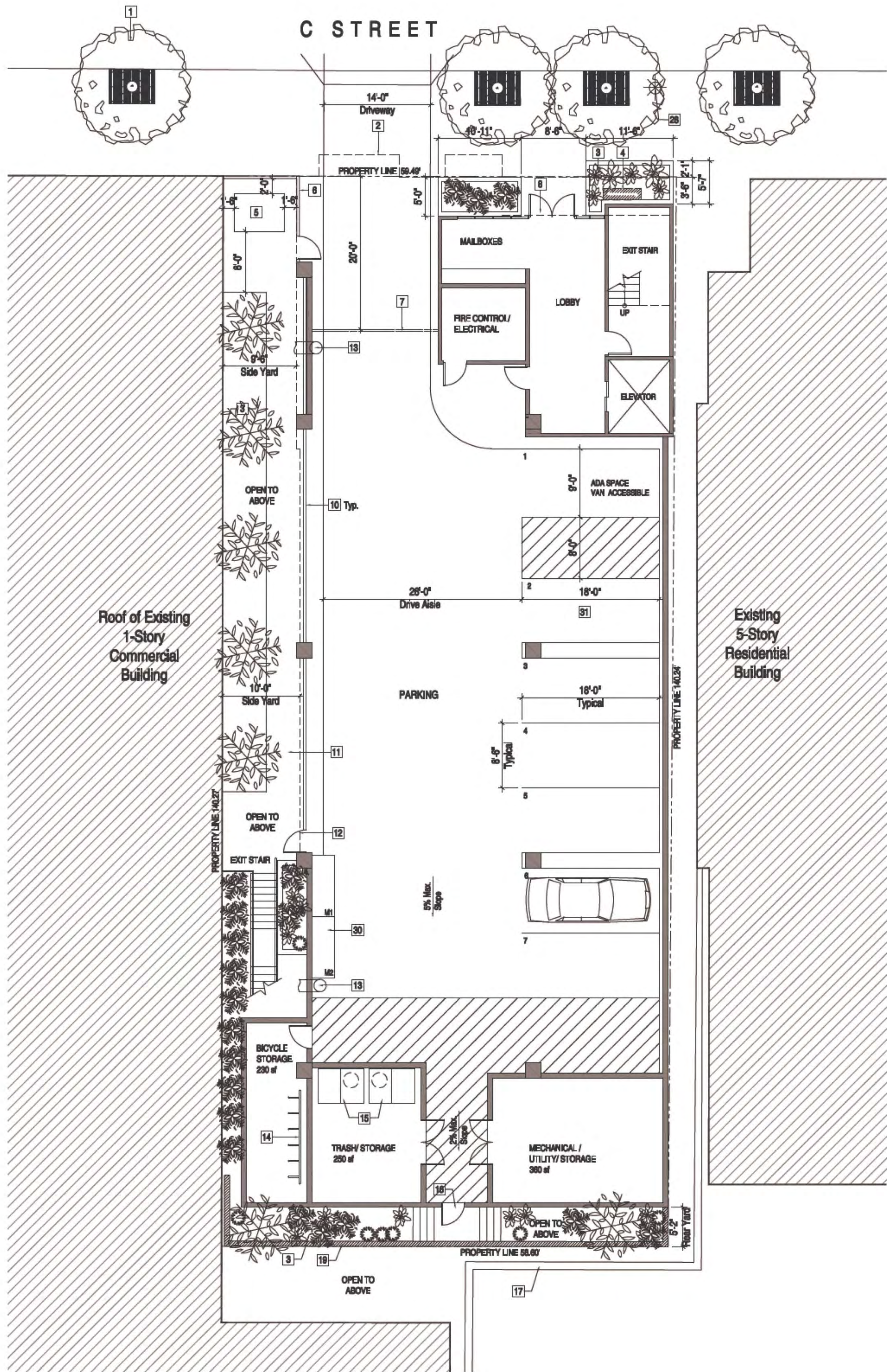
DEMO PLAN

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	Legend  Accessible Parking Space  Key Note  Property Line  Spot Elevation  Accessible Path

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Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2

No bus stop existing or proposed at street frontage of proposed project.

3

Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4).

4

Locations of fire hydrants shown on vicinity map, See Sheet A0.00

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FLOOR PLANS

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A2.0
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Garage Plan



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Second Floor Plan



NORTH

A2.1

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Notes		General Notes	
1	Existing Tree to Remain		
2	Line of Building Perimeter Above		
3	Landscaped Planter		
4	Fire and Water Backflow Device		
5	SDGE Transformer at Grade		
6	Secondary Access Gate		
7	Garage Entry Gate		
8	Primary Building Entrance		
9	Security Desk		
10	Metal Louver Screen over solid masonry wall		
11	Egress Path / Paved Walkway		
12	Garage Pedestrian Exit		
13	Garage Exhaust/ Intake		
14	Secure Bicycle Racks		
15	Trash and Recycling Bins at Chute Locations		
16	Yard Access		
17	Existing Fence / Wall on Adjacent Residential Property		
18	Ortal Window per SDMC Section 156.0811(h)(2)		
19	24" High Masonry Planter Wall		
20	Deck - Synthetic Decking and/or Deck Pavers		
21	Counter for BBQ Grill		
22	Trash and Recycling Chutes		
23	Metal Guardrail		
24	Mechanical Equipment Screening - Galvanized Metal Grating		
25	Stucco Parapet - 42" high Typical with Painted Metal Cap		
26	Trash and Recycling Chute Vents		
27	Sloped Asphalt Shingle Roof		
28	Street Light		
29	VRF Mechanical Units		
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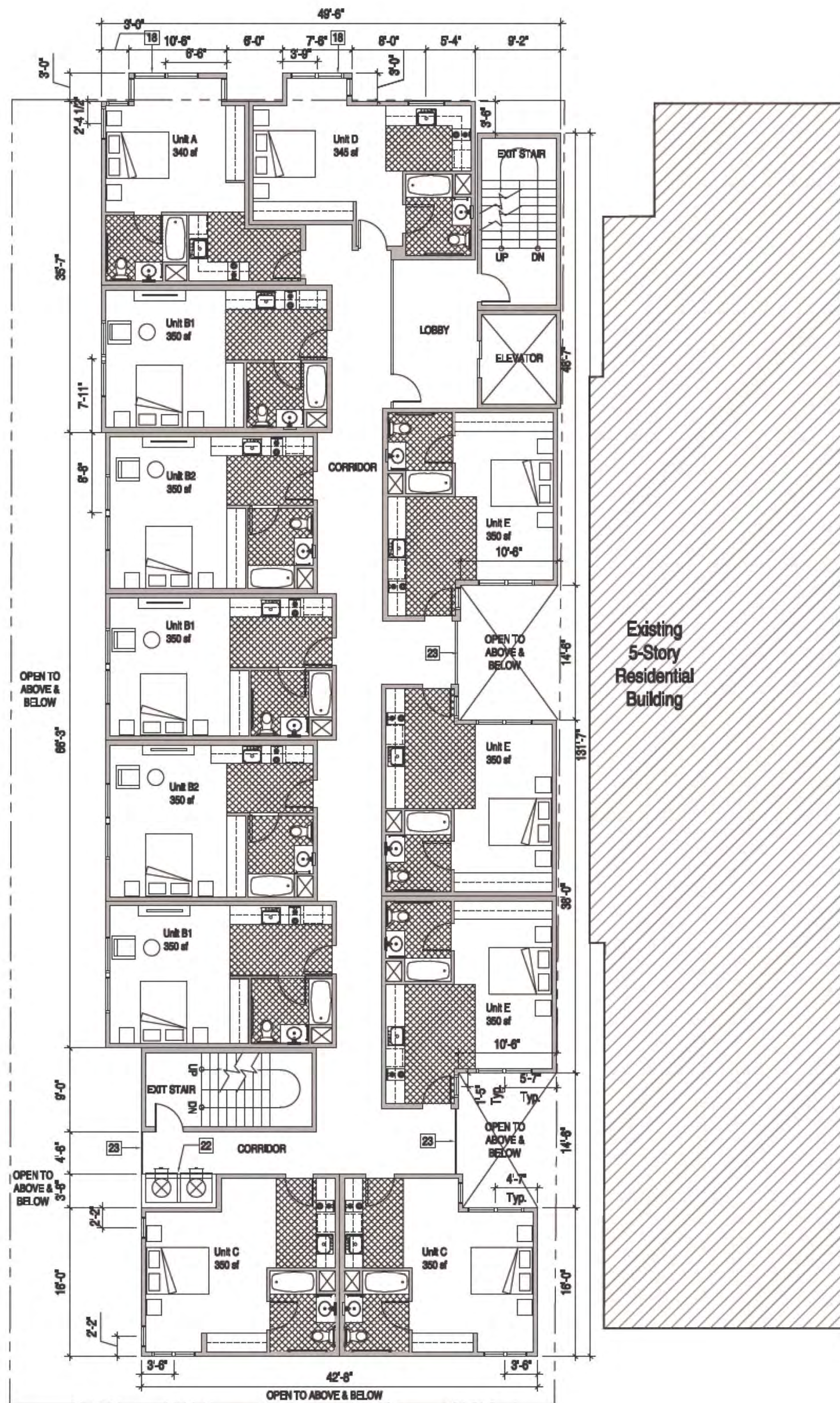
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FLOOR PLANS

Scale: As Noted on Plan:



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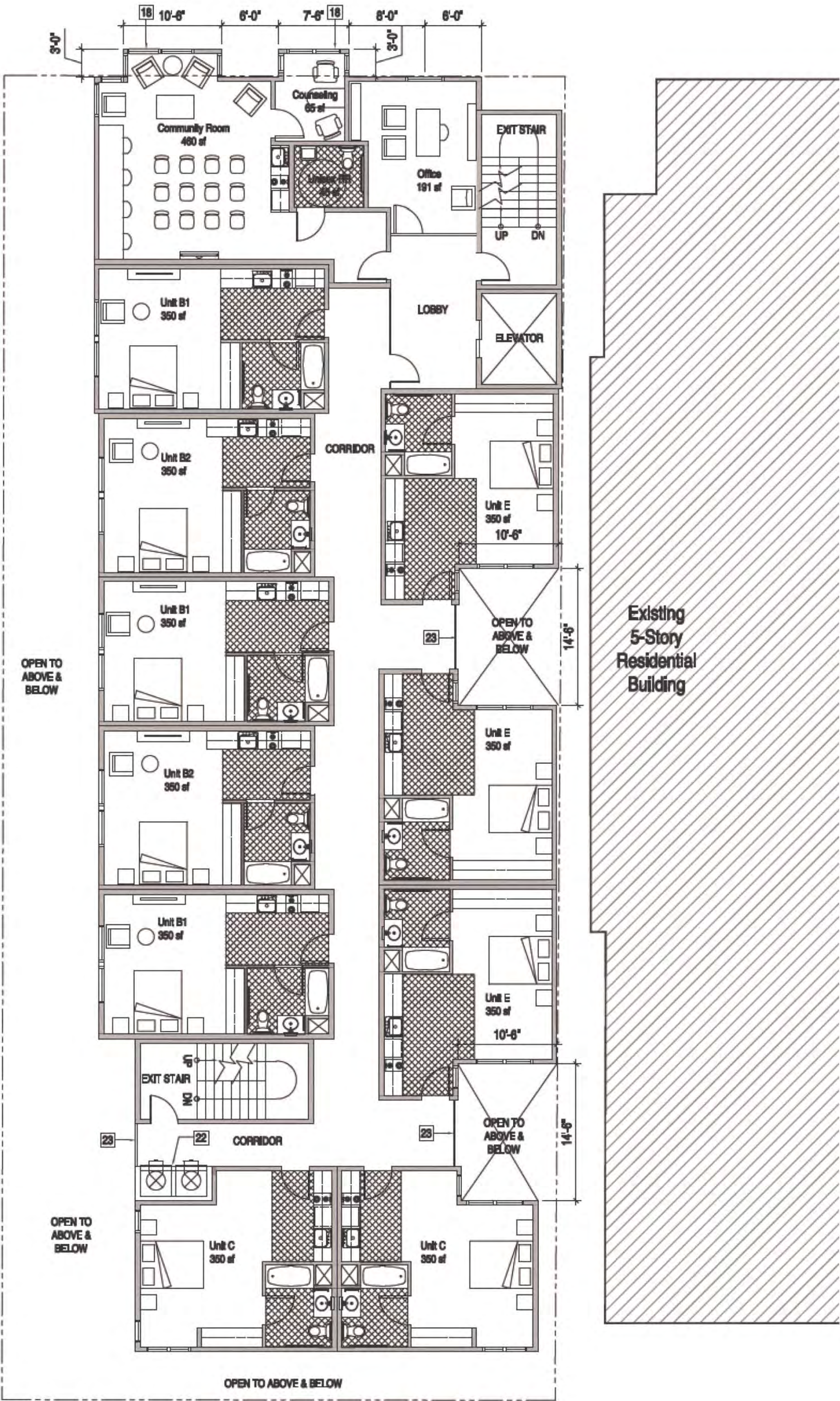
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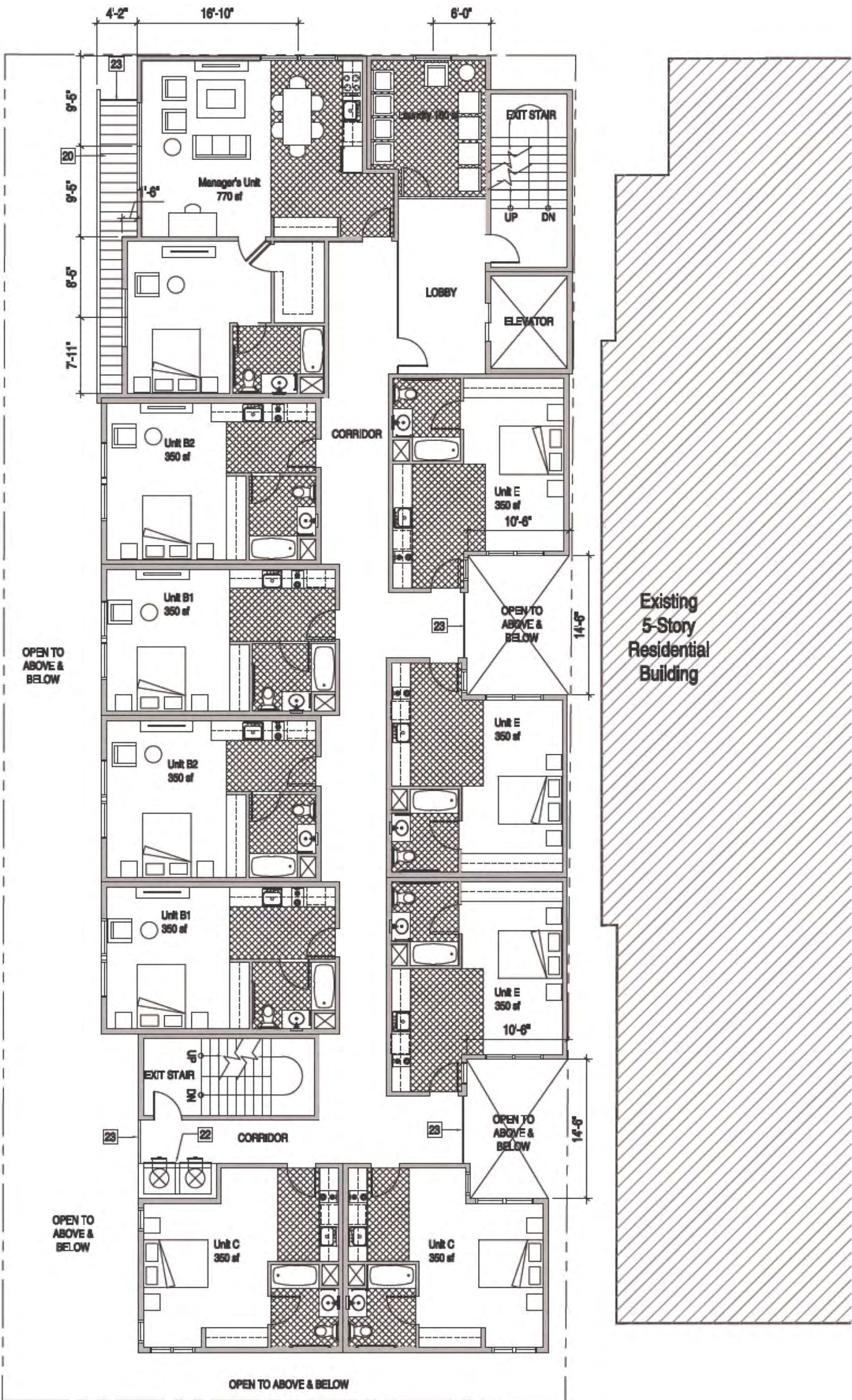
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Sheet Number 10 of 20





Notes	General Notes
1 Existing Tree to Remain 2 Line of Building Perimeter Above 3 Landscaped Planter 4 Fire and Water Backflow Device 5 SDGE Transformer at Grade 6 Secondary Access Gate 7 Garage Entry Gate 8 Primary Building Entrance 9 Security Desk 10 Metal Louver Screen over solid masonry wall 11 Egress Path / Paved Walkway 12 Garage Pedestrian Exit 13 Garage Exhaust/ Intake 14 Secure Bicycle Racks 15 Trash and Recycling Bins at Chute Locations 16 Yard Access 17 Existing Fence / Wall on Adjacent Residential Property 18 Oriel Window per SDMC Section 156.0311(h)(2) 19 24" High Masonry Planter Wall 20 Deck - Synthetic Decking and/or Deck Pavers 21 Counter for BBQ Grill 22 Trash and Recycling Chute 23 Metal Guardrail 24 Mechanical/ Equipment Screening - Galvanized Metal Grating 25 Stucco Parapet - 42" high Typical with Painted Metal Cap 26 Trash and Recycling Chute Vents 27 Sloped Asphalt Shingle Roof 28 Street Light 29 VRF Mechanical Units	1. Refer to Topographic Survey for all existing P.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths. 2. No bus stop existing or proposed at street frontage of proposed project. 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 801.4.4). 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00
	Legend  Accessible Parking Space  Key Note  Property Line  Spot Elevation  Accessible Path

1

Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2

No bus stop existing or proposed at street frontage of proposed project.

3

Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4).

4

Locations of fire hydrants shown on vicinity map, See Sheet A0.00

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Project Number:	1523
Original Date:	April 01, 2016

First Civic SD Submittal - 05/02/2016	
Second Civic SD Submittal - 06/20/2016	
Third Civic SD Submittal - 10/26/2016	

NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

FLOOR PLANS

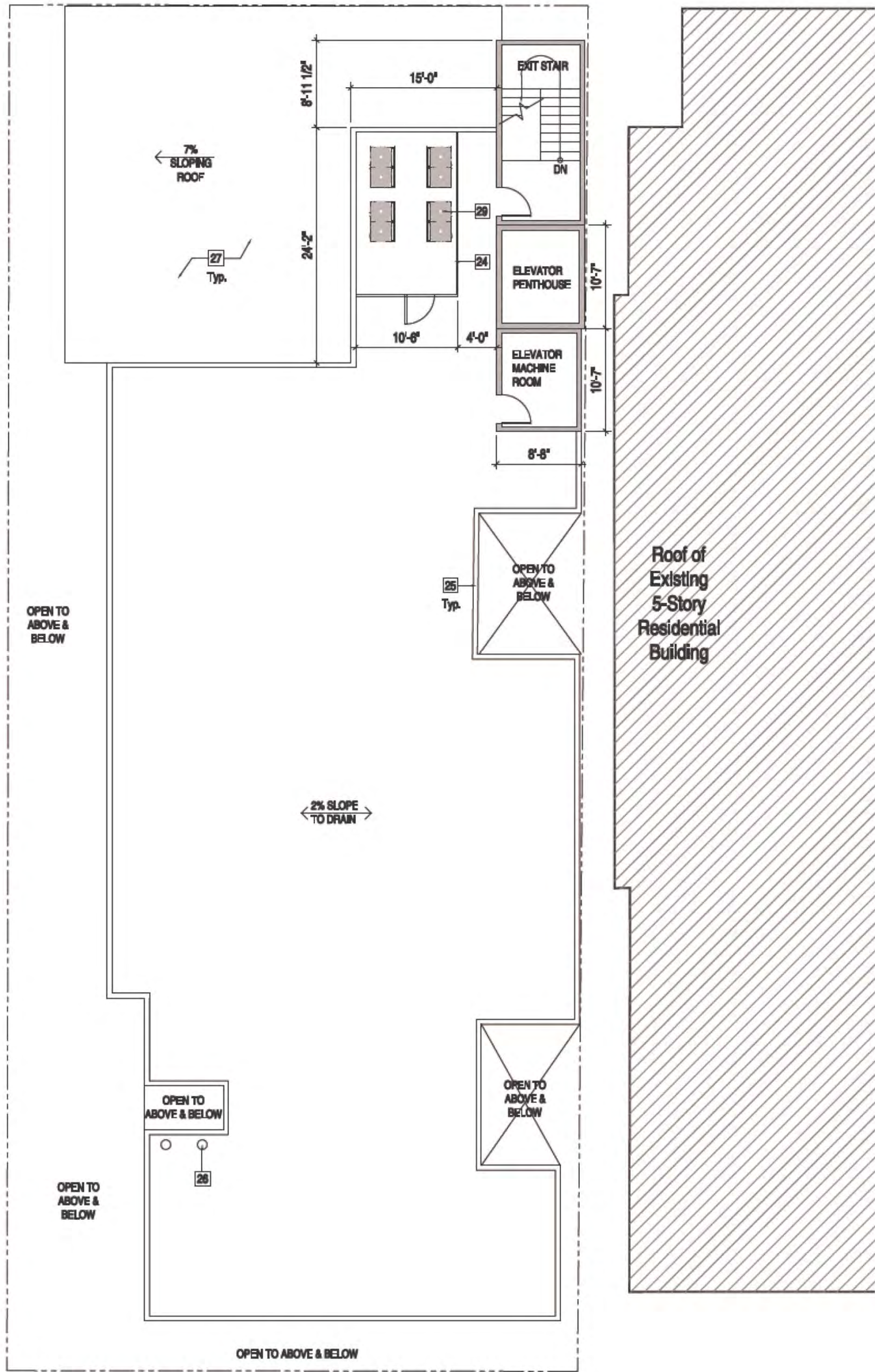
Scale: As Noted on Plans

A2.4

Sheet Number 11 of 20

Fifth Floor Plan





Notes	General Notes
1 Existing Tree to Remain 2 Line of Building Perimeter Above 3 Landscaped Planter 4 Fire and Water Backflow Device 5 SDGE Transformer at Grade 6 Secondary Access Gate 7 Garage Entry Gate 8 Primary Building Entrance 9 Security Desk 10 Metal Louver Screen over solid masonry wall 11 Egress Path / Paved Walkway 12 Garage Pedestrian Exit 13 Garage Exhaust/ Intake 14 Secure Bicycle Racks 15 Trash and Recycling Bins at Chute Locations 16 Yard Access 17 Existing Fence / Wall on Adjacent Residential Property 18 Oriel Window per SDMC Section 156.0311(h)(2) 19 24" High Masonry Planter Wall 20 Deck - Synthetic Decking and/or Deck Pavers 21 Counter for BBQ Grill 22 Trash and Recycling Chutes 23 Metal Guardrail 24 Mechanical Equipment Screening - Galvanized Metal Grating 25 Stucco Parapet - 42" high Typical with Painted Metal Cap 26 Trash and Recycling Chute Vents 27 Sloped Asphalt Shingle Roof 28 Street Light 29 VRF Mechanical Units	1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths. 2. No bus stop existing or proposed at street frontage of proposed project. 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 801.4.4). 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00
	Legend  Accessible Parking Space  Key Note  Property Line  Spot Elevation  Accessible Path

1

Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2

No bus stop existing or proposed at street frontage of proposed project.

3

Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4).

4

Locations of fire hydrants shown on vicinity map, See Sheet A0.00

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Third Civic SD Submittal - 10/26/2016

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ROOF PLAN

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A2.5

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Roof Plan





Notes

1

Metal Railing, Painted Finish

2

Hardie Board Siding with Integral Color

3

Metal Louver, Painted

4

Aluminum Storefront Entrance Door

5

Entrance Lighting Sconce

6

CMU Planter with Integrated Wood Bench

7

Pedestrian Exit Gate, Metal, Painted Finish

8

Cement Plaster, Integral Color and Painted Finish

9

Concrete Post-Tensioned Slab

10

Metal Insulated Panel Siding with Integral Color

11

CMU Garage Wall

12

Metal Reveal

13

Garage Door, Solid Painted Metal Louvers

General Notes

1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2. No bus stop existing or proposed at street frontage of proposed project.

3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4).

Legend

Accessible Parking Space

Key Note

Property Line

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Second Civic SD Submittal - 06/20/2016	-
Third Civic SD Submittal - 10/26/2016	-
	-
	-
	-
	-
	-

NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

NORTH ELEVATION
Scale: As Noted on Plans

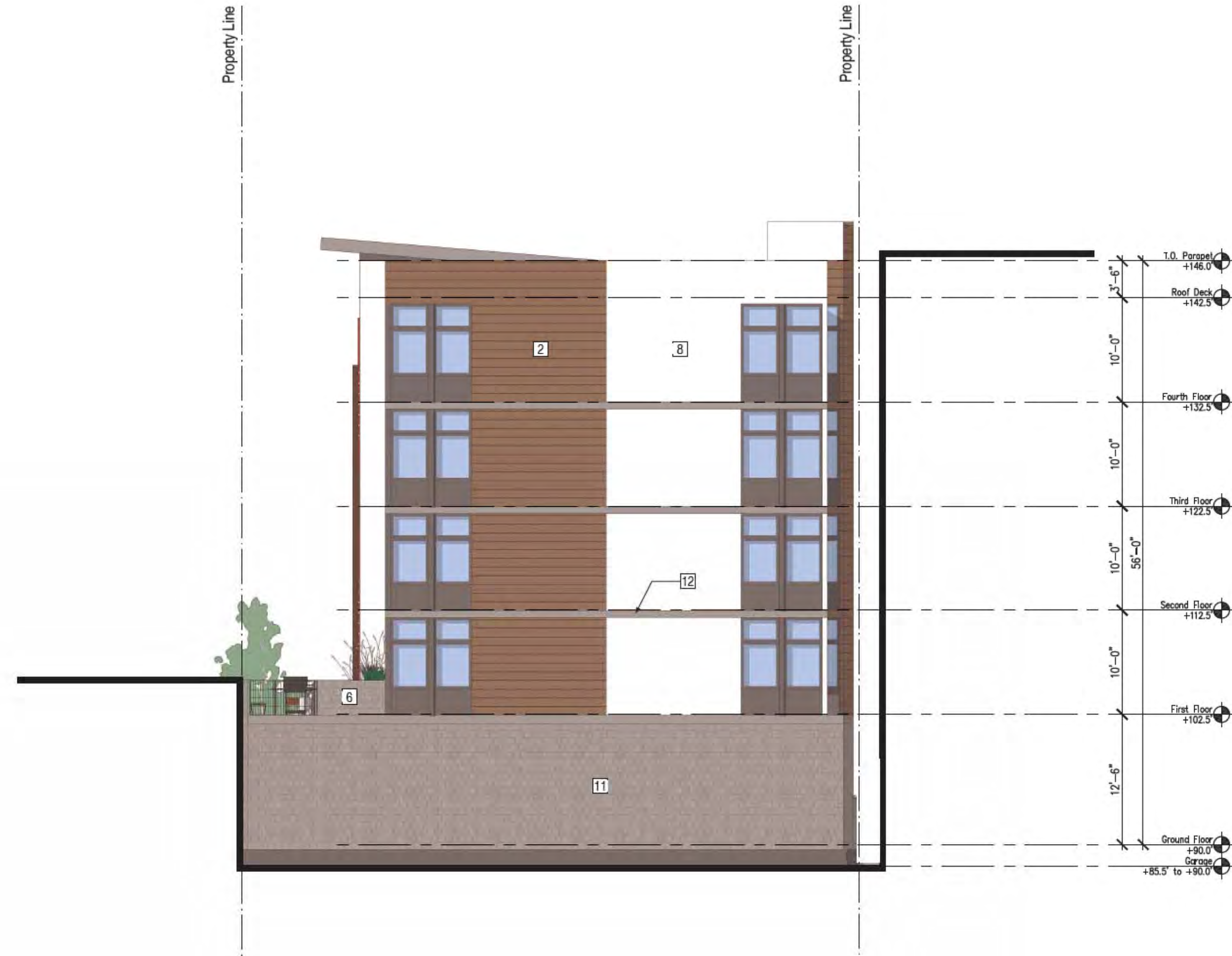
North Elevation



A3.0

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Notes

1

Metal Railing, Painted Finish

2

Hardie Board Siding with Integral Color

3

Metal Louver, Painted

4

Aluminum Storefront Entrance Door

5

Entrance Lighting Sconce

6

CMU Planter with Integrated Wood Bench

7

Pedestrian Exit Gate, Metal, Painted Finish

8

Cement Plaster, Integral Color and Painted Finish

9

Concrete Post-Tensioned Slab

10

Metal Insulated Panel Siding with Integral Color

11

CMU Garage Wall

12

Metal Reveal

13

Garage Door, Painted Metal Grate

General Notes

1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2. No bus stop existing or proposed at street frontage of proposed project.

3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4).

Legend

Accessible Parking Space

Key Note

Property Line

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SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

SOUTH ELEVATION

Scale: As Noted on Plans

South Elevation



Property Line

Property Line



Notes

1

Metal Railing, Painted Finish

2

Hardie Board Siding with Integral Color

3

Metal Louver, Painted

4

Aluminum Storefront Entrance Door

5

Entrance Lighting Sconce

6

CMU Planter with Integrated Wood Bench

7

Pedestrian Exit Gate, Metal, Painted Finish

8

Cement Plaster, Integral Color and Painted Finish

9

Concrete Post-Tensioned Slab

10

Metal Insulated Panel Siding with Integral Color

11

CMU Garage Wall

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Metal Reveal

13

Garage Door, Painted Metal Grate

General Notes

1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

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Legend

Accessible Parking Space

Key Note

Property Line

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EAST ELEVATION

Scale: As Noted on Plans

A3.2

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East Elevation





Notes

1

Metal Railing, Painted Finish

2

Hardie Board Siding with Integral Color

3

Metal Louver, Painted

4

Aluminum Storefront Entrance Door

5

Entrance Lighting Sconce

6

CMU Planter with Integrated Wood Bench

7

Pedestrian Exit Gate, Metal, Painted Finish

8

Cement Plaster, Integral Color and Painted Finish

9

Concrete Post-Tensioned Slab

10

Metal Insulated Panel Siding with Integral Color

11

CMU Garage Wall

12

Metal Reveal

13

Garage Door, Painted Metal Grate

General Notes

1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.

2. No bus stop existing or proposed at street frontage of proposed project.

3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4).

Legend

Accessible Parking Space

Key Note

Property Line

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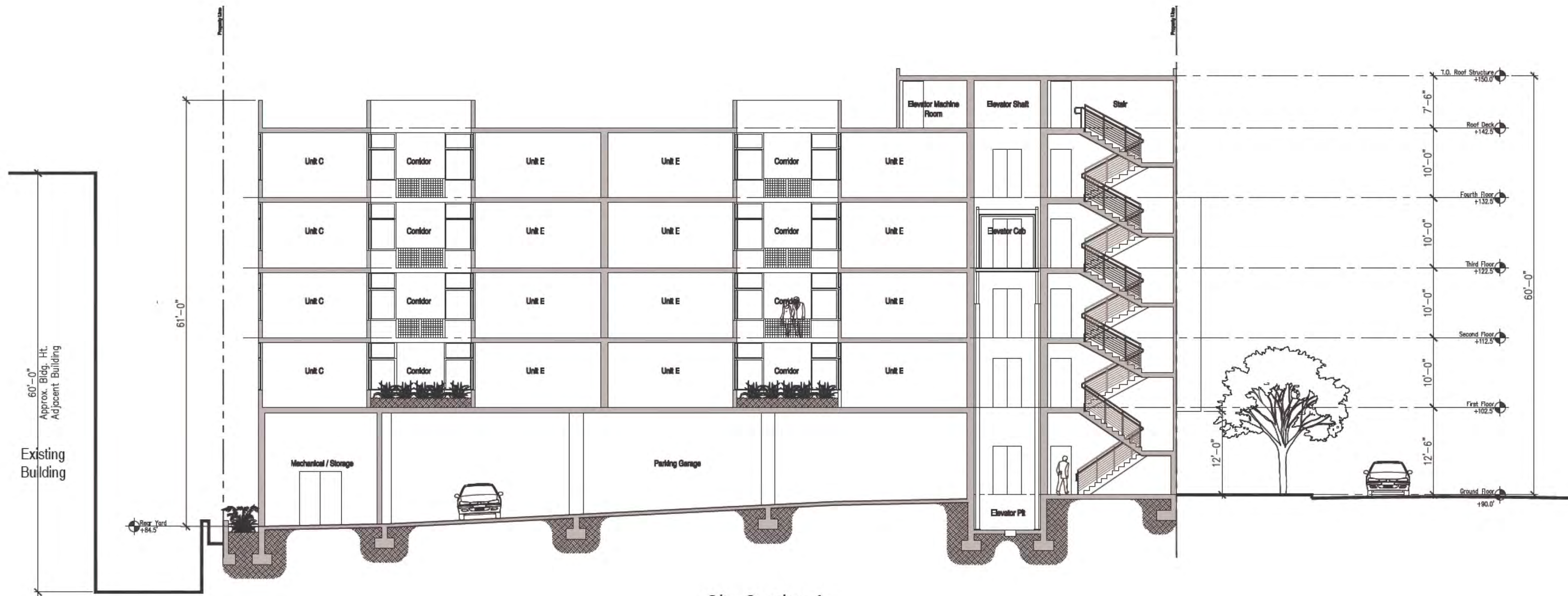
WEST ELEVATION

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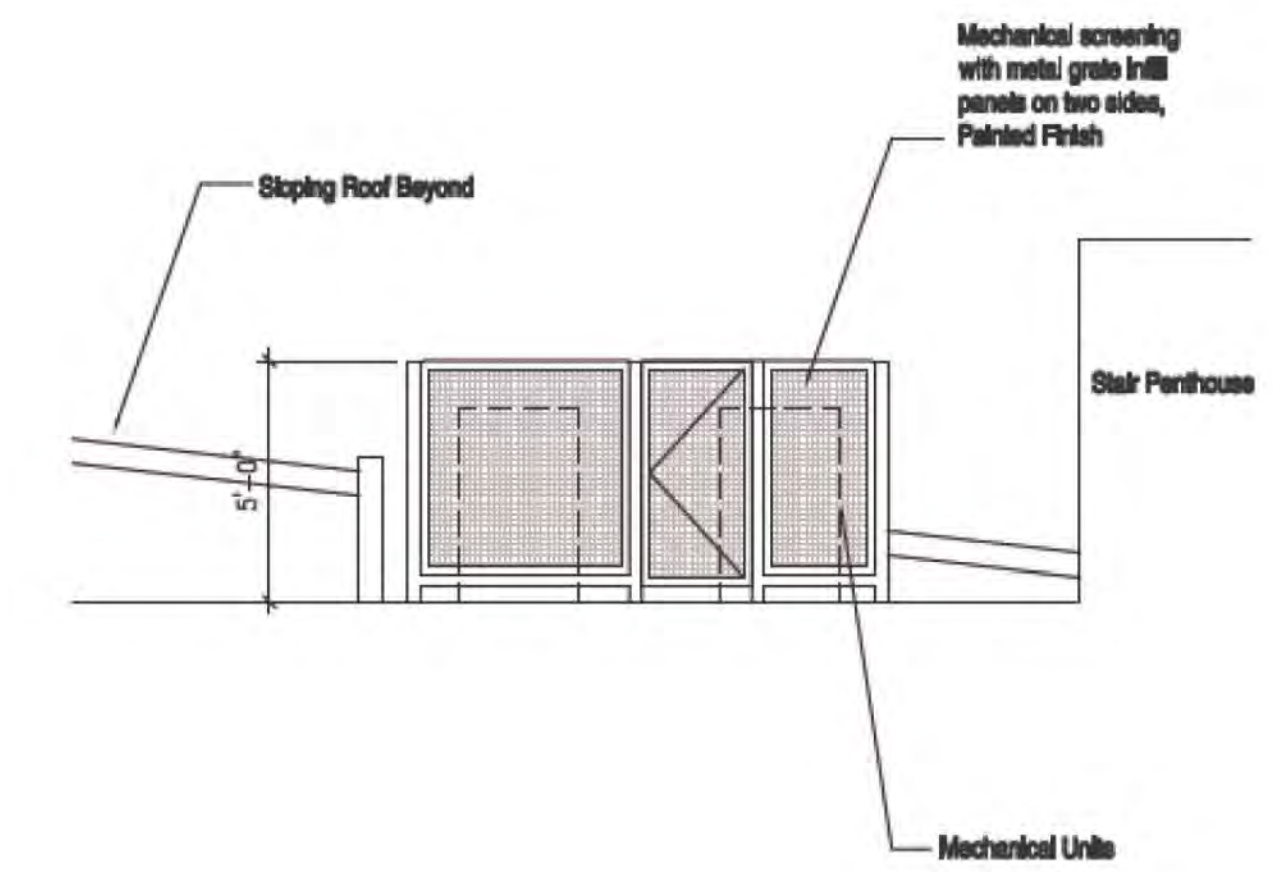
West Elevation



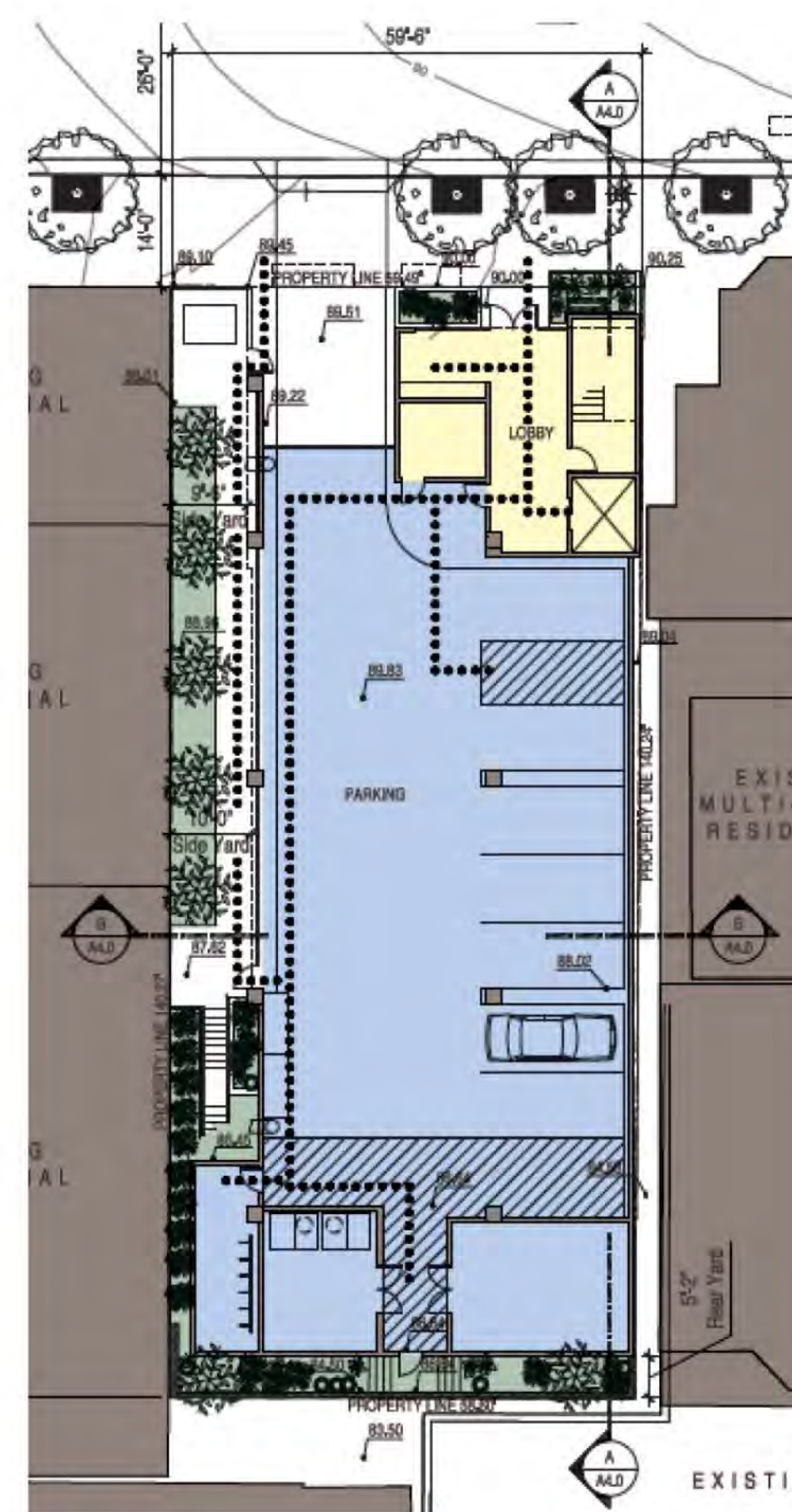
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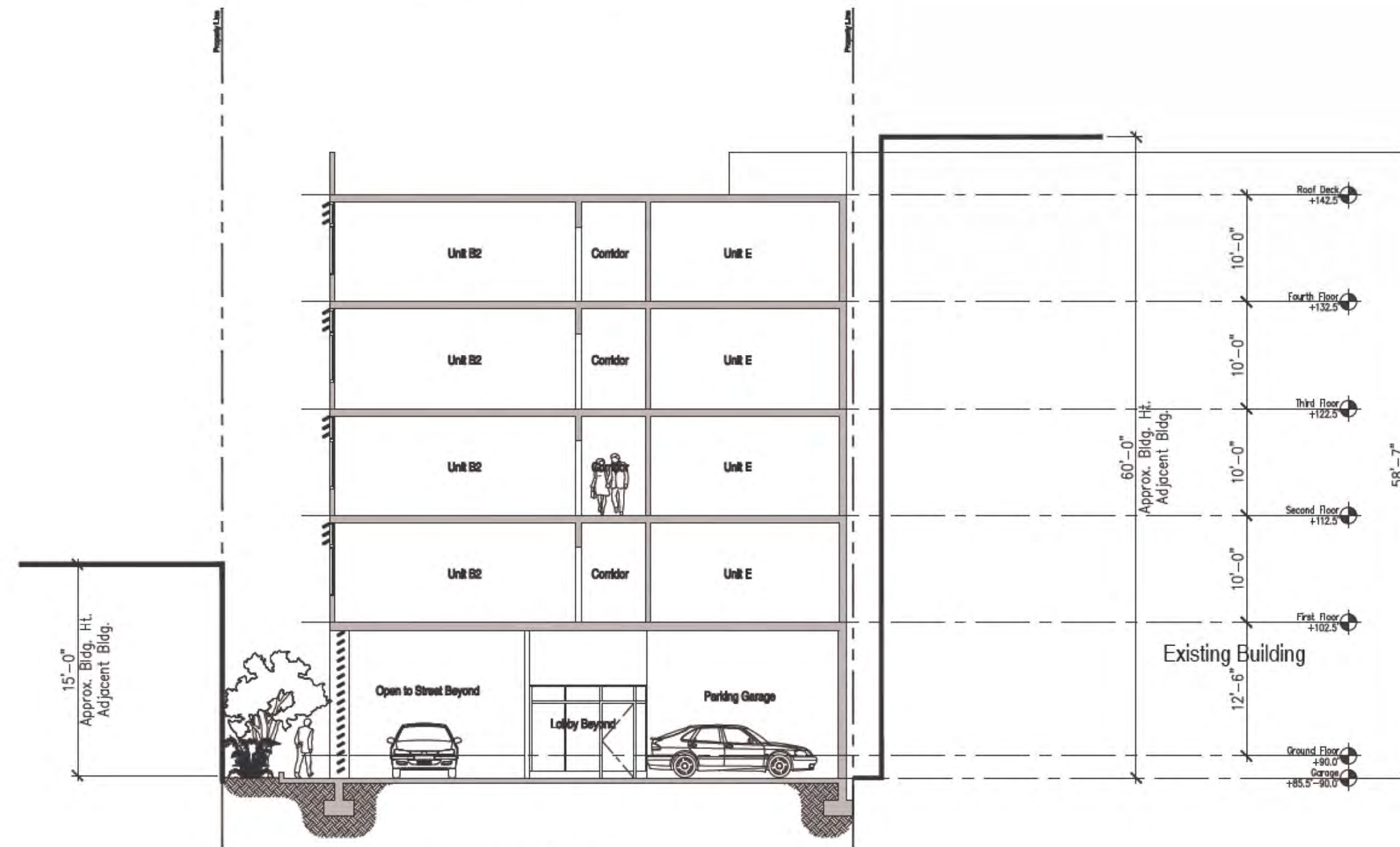
Site Section A



Mechanical Screening
scale: 1/4" = 1'-0"



Key Plan



Site Section B



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SECTIONS

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A4.0

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Perspective - Bird's Eye View

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PERSPECTIVES

Scale: As Noted on Plans

A5.0

Sheet Number 18 of 20



Perspective - View from C Street

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Third Civic SD Submittal - 10/26/2016

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PERSPECTIVES

Scale: As Noted on Plans



A5.1

Sheet Number 19 of 20

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Hardie Board Siding with Integral Color

Metal Railing Painted Finished

Metal Insulated Panel

Hardie Board Color

Metal Louver, Painted

Clear Glass

Cement Plaster, Integral Color and Painted Finish

CMU Planter Walls

Pavers

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SHEET SIZE: 24" x 36"
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MATERIAL BOARD

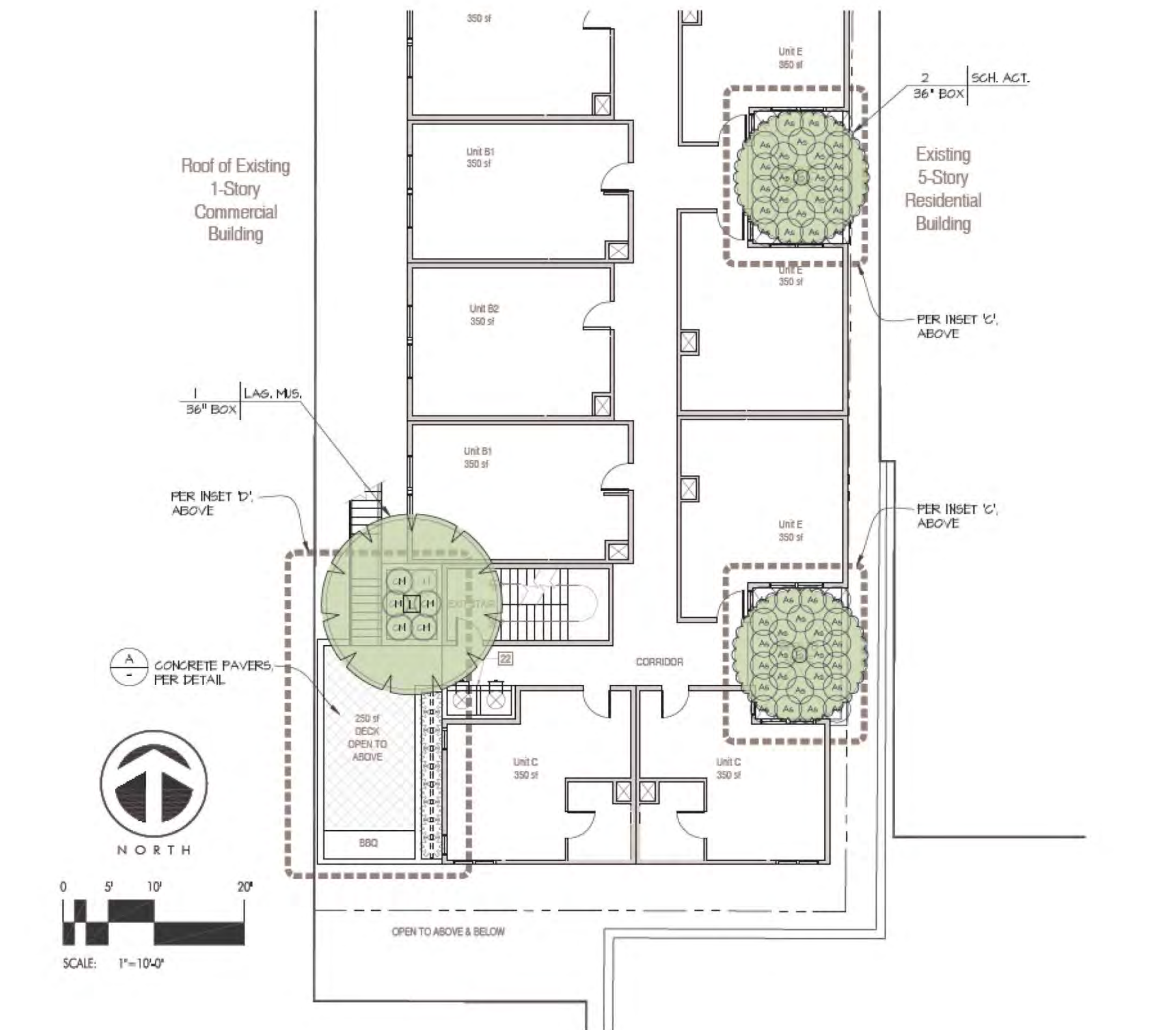
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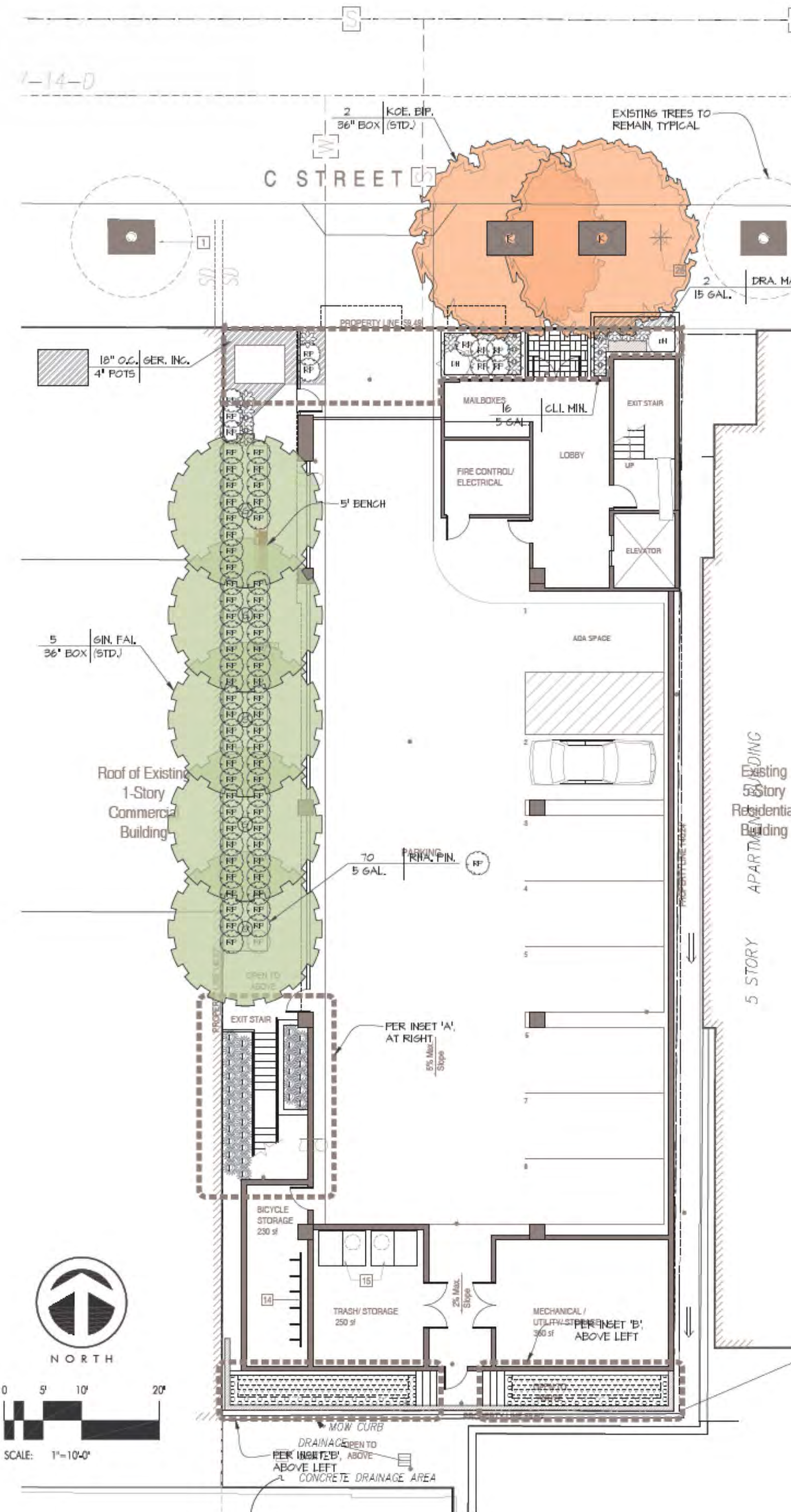
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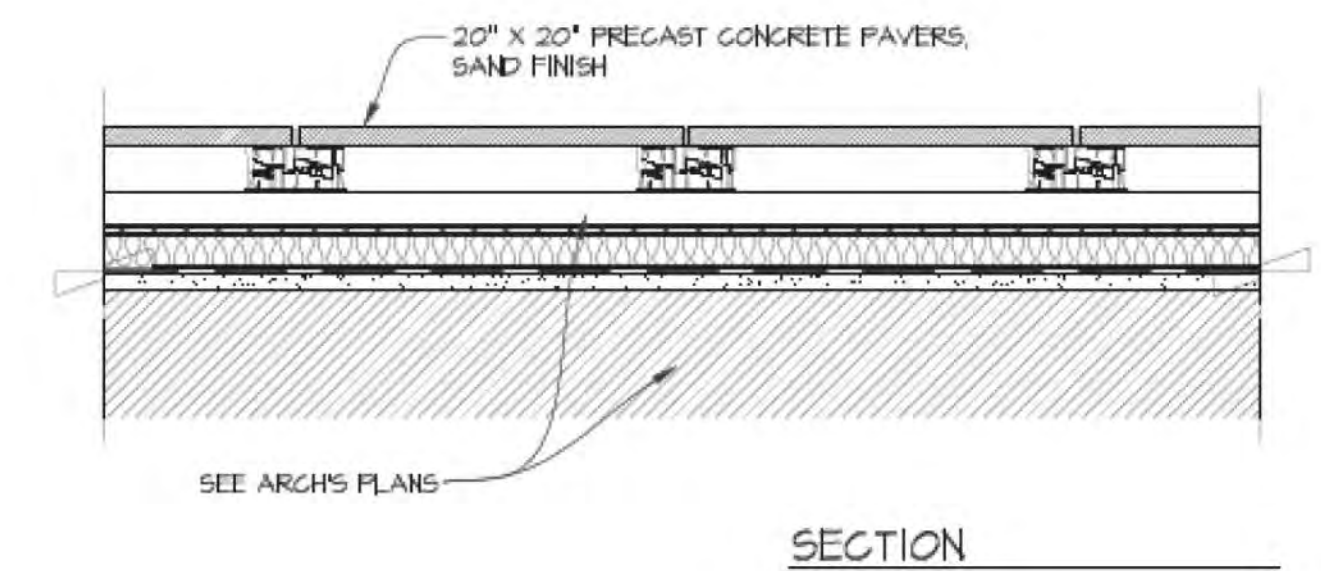
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SECOND LEVEL/DECK
SCALE: 1"=20'-0"



FIRST LEVEL/STREET LEVEL
SCALE: 1"=20'-0"

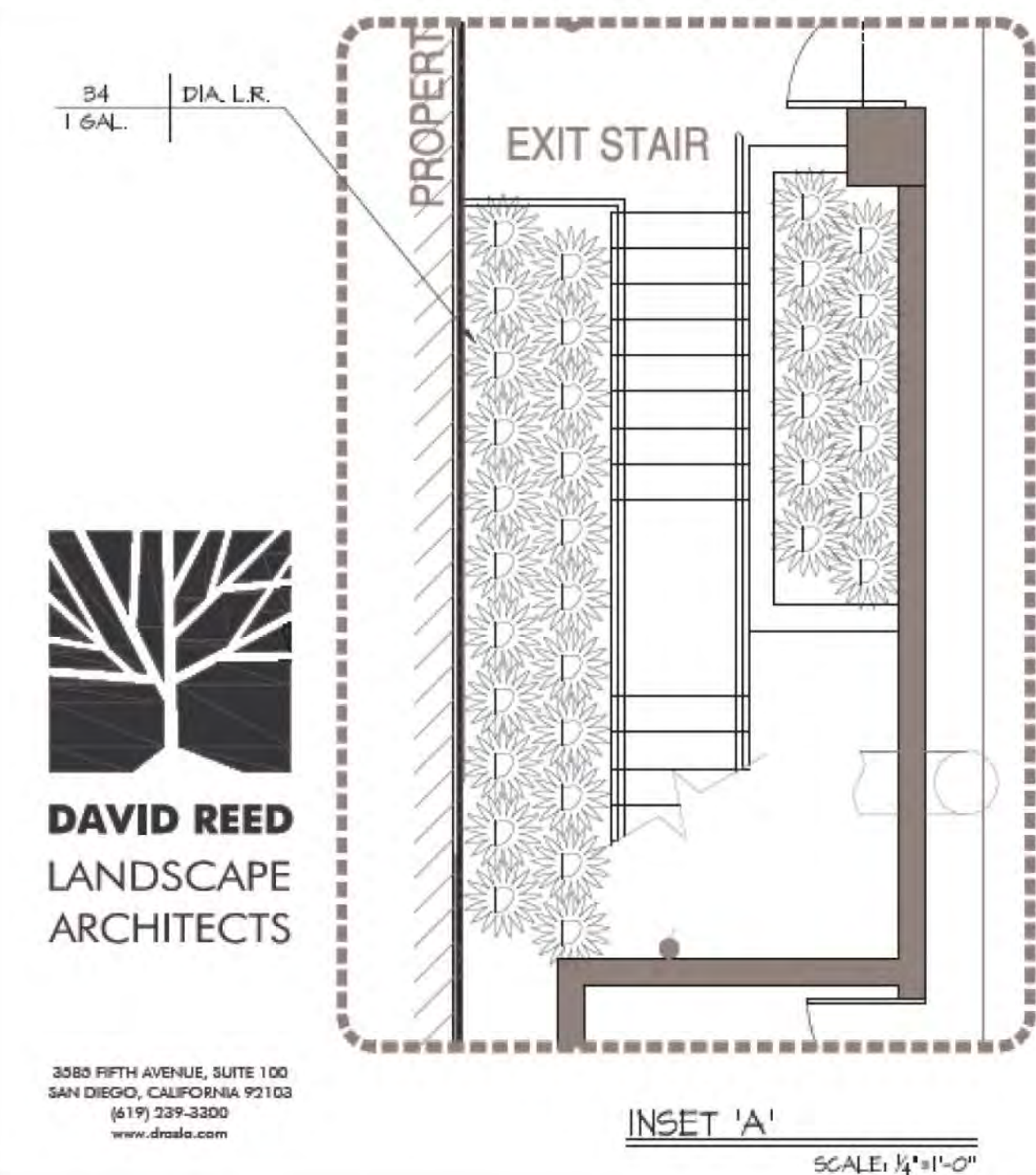


PRECAST CONCRETE PAVERS



DAVID REED
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ARCHITECTS

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Phone: 619.230.0325 x4237

Project Number:	1523
Original Date:	Jan 12 2016
Drawn:	
Checked:	

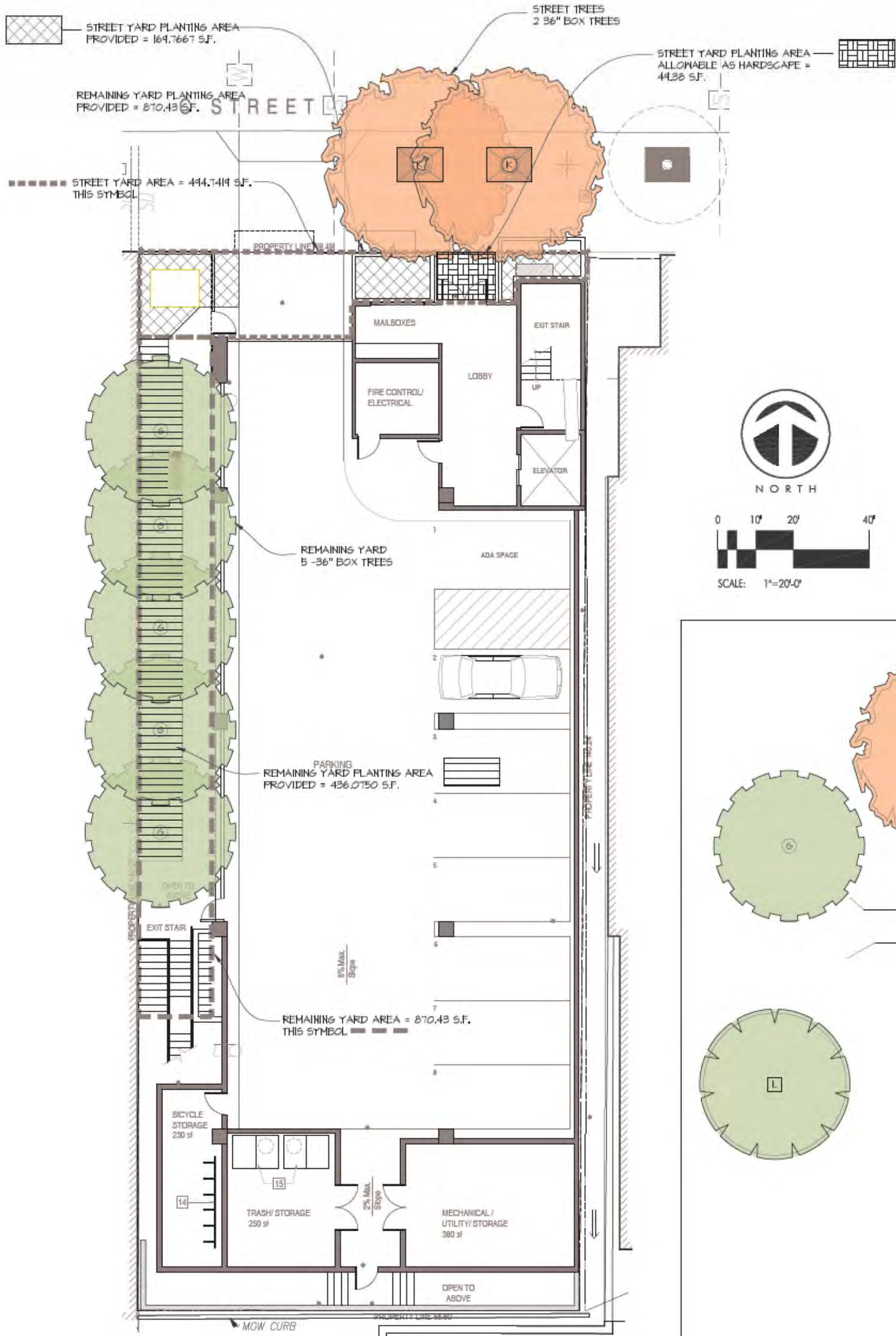
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SHEET SIZE: 24' x 36'
DO NOT SCALE DRAWINGS

CONCEPT PLAN

Scale

L-1

Sheet Number of 00



LANDSCAPE CALCULATIONS DIAGRAM
SCALE: 1"=10'-0"

STREET YARD AREA TOTAL AREA = 444.74 SQ. FT.

PLANTING AREA REQUIRED 444.74 SQ. FT. X 50%	247.37 SQ. FT.
PLANTING AREA PROVIDED	171.30 SQ. FT.
PLANTING AREA ALLOWABLE AS HARDSCAPE ON UNATTACHED UNIT PAVERS 444.74 SQ. FT. X 10% = 44.47	44.38 SQ. FT.
EXCESS POINTS PROVIDED MAXIMUM PLANTING AREA REDUCTION ALLOWED = 247.37 SQ. FT. X 25% = 61.84	37 SQ. FT.

TOTAL = 257.68 SQ. FT.
EXCEEDS REQUIREMENT BY 10.3 SQ. FT.

STREET YARD POINTS TOTAL AREA = 444.74 SQ. FT.

PLANTING POINTS REQUIRED 444.74 SQ. FT. X 0.05	24.73 POINTS
PLANTING POINTS PROVIDED (2) 15 GAL SHRUB * 10 PTS = 20 POINTS (21) 5 GAL SHRUB * 2 PTS = 42 POINTS	62 POINTS

EXCEEDS REQUIREMENT BY 37 POINTS

REMAINING YARD AREA TOTAL AREA = 870.43 S.F.

PLANTING AREA REQUIRED MINIMUM 40 SQ. FT. PER TREE = 40x5	200 SQ. FT.
PLANTING AREA PROVIDED	436.0750 S.F.

EXCEEDS REQUIREMENT BY 236.07 SQ. FT.

REMAINING YARD POINTS TOTAL AREA = 870.43 S.F.

PLANTING POINTS REQUIRED 60 POINT PER EA. BUILDING	60 POINTS
PLANTING AREA PROVIDED (5) 36" BOX TREE * 50 PTS = 250 POINTS (61) 5 GAL SHRUB * 2 PTS = 122 POINTS (34) 1 GAL SHRUB * 1 PTS = 34 POINTS	406 POINTS

EXCEEDS REQUIREMENT BY 346 POINTS

STREET TREE & PUBLIC R.O.W. REQ.
R.O.W. REQUIREMENTS TOTAL L.F. = 59.44 L.F.

TREES REQUIRED 59.44 L.F. / 30	1.98
TREES PROVIDED (5) 36" BOX TREE * 50 PTS = 250 POINTS	2

EXCEEDS REQUIREMENT BY 0.02 TREES

LANDSCAPE CALCULATIONS
NOT TO SCALE

PLANT PALETTE

ABRV.	SIZE	NUMBER	SCIENTIFIC NAME	COMMON NAME	NOTES	H X W	SPACING
STREET YARD TREES: 100% 36" BOX							
KOE. BIP.	36" BOX	2	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	DECIDUOUS CANOPY TREE, YELLOW FLOWERS TURN TO SALMON BRACTS, LOW MAINTENANCE.	25' X 30'	N/A
REMAINING YARD TREES: 100% 36" BOX							
GIN. FAL.	36" BOX	5	GINKGO BILOBA 'FAIRMOUNT'	FAIRMOUNT MAIDENHAIR TREE	DECIDUOUS, PYRAMIDAL HYBRID, GOLD FALL COLOR, EASY CARE.	35' X 15'	13.5'
LAG. MUS.	36" BOX	1	LAURUSTROEMIA FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	DECIDUOUS, MILDLY RESISTANT HYBRID, SMALL ACCENT TREE, LAVENDER FLOWERS, RED FALL COLOR.	25' X 15'	N/A
SCH. ACT.	36" BOX	2	SCHEFFLERA ACTINOPHYLLA	QUEENSLAND UMBRELLA TREE	EVERGREEN, FAST, LOW LIGHT TOLERANT, LARGE GLOSSY LEAVES.	20' X 15'	N/A
LARGE & UPRIGHT SHRUBS							
DRA. MAR.	15 GAL.	2	DRACAENA MARGINATA	N.C.N.	EVERGREEN, TALL, ERECT, NARROW GREEN LEAVES WITH RED MARGINS, LOW LIGHT TOLERANT.	10' X 6'	N/A
SMALL SHRUBS & PERENNIALS							
ASP. SPR.	5 GAL.	40	ASPERAGUS 'SPRENGER'	SPRENGER ASPERAGUS	ARCHING STEMS, BRIGHT GREEN NEEDLE LIKE LEAVES, BILLOWY GROUND COVER.	3' X 6'	8' O.C.
RHA. PIN.	5 GAL.	70	RHAPHIOLEPIS 'PINKIE'	PINKIE INDIAN HAWTHORN	PINK FLOWERS, STURDY SHRUB, TOLERATES DROUGHT AND LOW LIGHT, NEEDS LITTLE PRUNING, EASY CARE.	3' X 4'	2' O.C.
ACCENT PLANTS							
CAR. PAN.	1 GAL.	10' O.C.	CAREX PANSA	CALIFORNIA MEADOW SEDGE	MAT OF BRIGHT GREEN CLUMPS OF GRASS LIKE LEAVES, NEEDS ONLY OCCASIONAL SHEARING.	8" X 12"	10' O.C.
GLI. MIN.	5 GAL.	16	CLIVIA MINIATA	CLIVIA	DARK GREEN STRAP LIKE LEAVES, ORANGE FLOWER CLUSTERS, TAKES SHADE.	25" X 25"	15' O.C.
DIA. LR.	1 GAL.	34	DIANELLA T. 'LITTLE REV'	LITTLE REV FLAX LILY	BLUE-GREEN LEAVES, SLOWLY SPREADS BY RHIZOMES, TINY BLUE FLOWERS.	2" X 2"	15' O.C.
HES. BRA.	1 GAL.	4	HESPERALOE P. 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	DWARF, CLUMPS OF NARROW LEAVES, RED FLOWERS ON STALKS ABOVE FOLIAGE.	25" X 25"	2' O.C.
JUN. PAT.	1 GAL.	12' O.C.	JUNCUS PATENS	CALIFORNIA GRAY RUSH	GRAY-BLUE CLUMPS OF NARROW LEAVES.	2" X 2"	12" O.C.
CON. MAU.	1 GAL.	6	CONVOLVULUS MAURITANICUS	GROUND MORNING GLORY	TRAILING BRANCHES OF SMALL GRAY GREEN LEAVES, LAVENDER BLUE FLOWERS.	15" X 75"	65' O.C.

PLANT PALETTE
NTS

IRRIGATION NOTES

THIS PROJECT IS INTENDED AS A XERISCAPIC LANDSCAPE. HOWEVER, TO COMPLY WITH CITY REGULATIONS, ALL PLANTING AREAS SHALL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM USING DRIP IRRIGATION OR LOW PRECIPITATION & PRECIPITATION MATCHED SPRINKLER HEADS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM EACH ADJACENT LOT.

GENERAL NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND THE CENTRE CITY PLANNED DISTRICT REGULATIONS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.

2. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

3. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT WITHIN 30 DAYS.



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MINIMUM TREE SEPARATION

A. IMPROVEMENT/MINIMUM DISTANCE TO STREET
- TREE TRAFFIC SIGNALS (STOP SIGNS) - 20 FT
- UNDERGROUND UTILITY LINES - 5 FT
- ABOVE GROUND UTILITY STRUCTURES - 10 FT
- DRIVEWAY ENTRIES - 10 FT
- INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FT

B. LANDSCAPE AREAS FOR TREES: THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE. UNCONSOLIDATED MULCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

MAINTENANCE NOTES

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE, PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF DAVID REED LANDSCAPE ARCHITECTS.

MAINTENANCE CRITERIA

TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.

PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIMEN AND THE SAFETY OF THE PUBLIC.

TREE GUYS AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT GIRDLING TRUNKS OR BRANCHES.

PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALKS, PASSAGeways AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.

DEAD PLANTS SHALL BE REPLACED. DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.

SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.

SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCRoACH EXCESSIVELY ONTO THE ADJACENT PROPERTY.

NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

PLANT PALETTE,
NOTES &
CALCULATIONS

Scale



Sheet Number Of 00



(*) SEE WORKSHEET THIS SHEET
(+) MIN. AREA REQUIRED FOR TREATMENT ONLY (I.E. NO HYDROMODIFICATION)
NOTE: BOTTOM AREA CURRENTLY "AVAILABLE" IN PLANTING AREAS PER PLAN = 660 SF±

2. THE TOTAL SITE AREA IS ----- SQ-FT (----- AC)
3. THE TOTAL AMOUNT OF SITE TO BE GRADED:-----
----- SQ-FT (----- AC)
3. THE TOTAL AMOUNT OF SITE AREA: ----- % E
4. THE AMOUNT OF GEOMETRIC CUT IS ----- C.Y.
5. THE MAXIMUM DEPTH OF CUT IS ----- FEET.
6. THE AMOUNT OF GEOMETRIC FILL IS ----- C.Y.
7. THE MAXIMUM DEPTH OF FILL IS ----- FEET.
8. THE MAXIMUM HEIGHT OF CUT SLOPE IS ----- FEET.
9. THE MAXIMUM HEIGHT OF FILL SLOPE IS ----- FEET.
10. THE MAXIMUM GRADIENT OF ALL CUT
AND FILL SLOPES: 4:1.
11. THE AMOUNT OF GEOMETRIC EXPORT IS ----- C.Y.
12. THE LENGTH OF PROPOSED RETAINING WALLS:-----
----- LINEAR FEET.
13. THE MAXIMUM HEIGHT OF PROPOSED RETAINING WALL
(MEASURED FROM TW TO TF) IS ----- FEET.
NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE
ARE GEOMETRIC ONLY AND DO NOT INCLUDE
ADJUSTMENTS FOR BULKING, SHRINKING,
PAVEMENT UNDERCUTS, FOUNDATION SPOILS, ETC.

SITE IMPROVEMENTS

[E]A DENOTES PLANTING AREA
(SEE LANDSCAPE PLANS)

[1] SITE VISIBILITY TRIANGLES

PROPOSED SEWER

(S) PROPOSED PRIVATE SEWER LATERAL

(S2) PROPOSED PRIVATE SEWER MAIN

(#) TBD

(#) TBD

(#) TBD

PROPOSED WATER

(W) PROPOSED PRIVATE WATER SERVICE
(5-FOOT P.O.C., 3' MIN COVER)

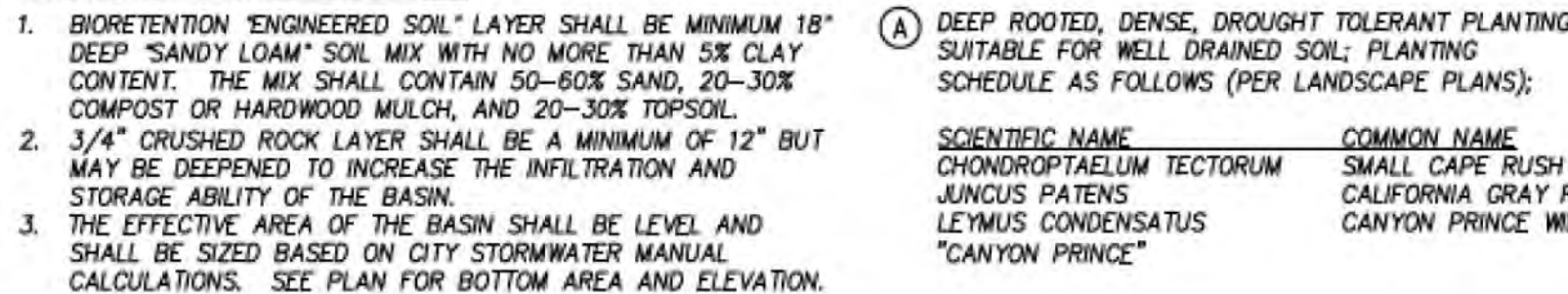
(#) TBD

(#) TBD

(F1) PROPOSED PRIVATE FIRE SERVICE
(5-FOOT P.O.C., 3' MIN COVER)

(D1) PROPOSED PRIVATE STORM DRAIN
(ROOF DRAIN)

	TBD
	TBD



NOT TO SCALE

16. FOR MORE INFORMATION ON BOTH TEMPORARY CONSTRUCTION AND PERMANENT POST CONSTRUCTION STORM WATER QUALITY BMP'S, PLEASE REFER TO KETTLER AND LEWECK ENGINEERING FINAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FINAL STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), BOTH REPORTS DATED _____

4. INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TRACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

3. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP AS APPLICABLE.

DMA1

DMA SUMMARY

DMA	PERVIOUS	IMPERVIOUS	TOTAL AREA
DMA 1	1,201 SF	6,547 SF (ROOF) 530 SF (SIDEWALK)	8,278 SF
DMA 2	N/A	N/A	N/A
			8,278 SF

EXISTING CONDITION	
IMPERVIOUS AREAS	TBD SF
PERVIOUS AREAS	TBD SF
TOTAL AREA	TBD SF
PROPOSED CONDITION	
IMPERVIOUS AREAS	TBD SF
PERVIOUS AREAS	TBD SF
TOTAL AREA	TBD SF
DELTA	
IMPERVIOUS AREAS	TBD SF
PERVIOUS AREAS	TBD SF



Sheet Number Of 00

City of San Diego • Development Services Department • Storm Water Management Applicability Checklist
Page 3 of 4

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If “yes” was checked for any questions in Part D, continue to Part F and check the box labeled “PDP Exempt.”

If “no” was checked for all questions in Part D, continue to Part E.

- Does the project **ONLY** include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City’s Storm Water Standards manual?

☐ Yes; PDP exempt requirements apply
☒ No; next question
- Does the project **ONLY** include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the *City’s Storm Water Standards Manual*?

☐ Yes; PDP exempt requirements apply
☒ No; project not exempt. PDP requirements apply

PART E: Determine if Project is a Priority Development Project (PDP).
 Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If “yes” is checked for any number in PART E, continue to PART F.

If “no” is checked for every number in PART E, continue to PART F and check the box labeled “Standard Development Project”.

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

☐ Yes ☒ No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

☒ Yes ☐ No
- New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface.

☐ Yes ☒ No
- New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.

☐ Yes ☒ No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).**

☒ Yes ☐ No
- New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

☐ Yes ☒ No

Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist

7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). Discharging directly to includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).	☐ Yes	☒ No
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	☐ Yes	☒ No
9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.	☐ Yes	☒ No
10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.	☐ Yes	☒ No
PART F: Select the appropriate category based on the outcomes of PART C through PART E.		
1. The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.	☐	
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	☐	
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	☐	
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management	☒	
Name of Owner or Agent (Please Print): _____ Title: _____ Signature: _____ Date: _____		

X:\PROJECTS\0000-1425 C STREET\ENGR\PLANS\SITE DEVELOPMENT PERMIT\0000 C STREET_SHEET 3.DWG (03-17-16 1:48:37PM) Plotted by: Mike
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