



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: January 27, 2016

REPORT NO. HO 16-002

ATTENTION: Hearing Officer

SUBJECT: ENGEL RESIDENCE
PROJECT NUMBER: 430787

LOCATION: 975 Scott Street

APPLICANT: Arthur Engel

Summary

Issue: Should the Hearing Officer approve the construction of new garages and the remodel of an existing single-family residence located at 975 Scott Street within the Peninsula Community Planning area?

Staff Recommendation: Approve Coastal Development Permit No. 1514954.

Community Planning Group Recommendation: The project was approved by a vote of 6-0-1 at the October 15, 2015 meeting of the Peninsula Community Planning Group with no recommendations (Attachment 7).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 8, 2015, and the opportunity to appeal that determination ended December 22, 2015.

BACKGROUND

The proposed project is located at 975 Scott Street in the RS-1-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway and the Parking Impact Overlay Zone (Coastal) within the Peninsula Community Plan and Local Coastal Program Land Use Plan. The 0.33-acre site is located within a single-family residential neighborhood on the south side of Scott Street which is directly adjacent to the San

Diego Harbor. The site currently contains a split level, 5,373-square-foot, single-family, two-story residence built in 1972. The lower level of the house includes a three-car garage, one bedroom, a family room and storage. The second level contains two bedrooms, two bathrooms and the kitchen. The project is accessed off of Scott Street by two driveways with a detached porte-cochere which connects driveways and contains a roof that creates a covered walk between the porte-cochere and the residence.

DISCUSSION

Project Description:

The project requires a Coastal Development Permit (CDP) for development within the Appealable area of the Coastal Overlay Zone. The CDP shall be processed in accordance with Process Three, with the Hearing Officer as the decision maker. The decision may be appealed to the Planning Commission in accordance with San Diego Municipal Code Section 112.0506.

The project proposes to construct two, two-car garages, one located on the east side of the property and the other on the west side of the property. The 460-square-foot garage on the west side of the property would be at street level, set back towards the rear of the site and attached to the existing residence with a covered deck above. The other 612-square-foot garage would be located on the east side of the property towards Scott Street and attached to the existing residence. The total combined square footage of the garages is 1,072 with a design that is modern in architectural form, simplified with an emphasis on rectangular, horizontal, and vertical lines. The modern design of the building would utilize glass, wood and stucco elements.

The interior of the existing residence will also be remodeled and 781 square-feet of habitable space will be added to the existing single-family home. The lower level would include a total of 168 square-feet which expands the existing family room and adds a bedroom towards the rear of the residence. The main level would include a total of 613 square-feet which contains the covered deck above the proposed garage and the expansion of the master bedroom. The detached porte-cochere at the front driveway has a roof structure that creates a covered walk and will be removed.

The project is limited to the 30-foot height limit within the Coastal Overlay Zone and the project's overall height is 22.3 feet with a plumb height of 28.45 feet. The maximum floor area ratio for the 14,770-square-foot site is 0.50 or 7,235 square-feet. The project proposes a floor area ratio of 0.50 or 7,226 square-feet. The minimum parking regulations for a single-family residence is two parking spaces and the project is proposing seven. The project complies with all other applicable regulations in regards to lot coverage, setbacks and design standards of the San Diego Municipal Code.

Community Plan Analysis:

The project site is located in the La Playa Neighborhood and is designated for single-family residential use in the Peninsula Community Plan, with a maximum density of nine dwelling units

per acre. The project proposes one dwelling unit on a 0.33-acre lot. The project is consistent with the land use designation prescribed in the Community Plan.

The Residential Element of Peninsula Community Plan (PCP) has objectives for development to encourage design compatibility with existing residential development in all new infill housing, as well as to conserve the character of existing stable single-family neighborhoods throughout the peninsula including the very low-density character of certain neighborhoods. The proposed project is within an established neighborhood and is remodeling the interior of an existing single-family residence with the addition of two garages and would be compatible with the existing neighborhood.

The Urban Design Streetscape Element recommends that sidewalk and eye level elevations should be made up of glass, soft surfaces extensions of living areas (balconies, decks, patios) and appropriate landscaping. The project proposes a design that is modern in architectural form, simplified with an emphasis on rectangular, horizontal, and vertical lines. The modern design of the building would utilize glass, wood and stucco elements.

The Community Plan does identify the subject lot as having a coastal view vista. City staff has determined that there is a current view from the public right of way (Scott Street) on the east and west sides of the subject property. The subject property is therefore subject to policies in the PCP related to Natural Environment (views). View corridors should be encouraged along the ocean and bay shorelines. Setbacks and view corridors should be kept clear of obstacles which may interfere with visual access. The project is providing a 9-foot setback along the east and the west side of the property to comply with this policy

The project is located in the Airport Influence Area (AIA) Review Area 2 for the San Diego International Airport (SDIA). The project is located outside of the 60 decibel (dB) Community Noise Equivalent Level (CNEL) and is not located in a Safety Zone; therefore, a consistency determination is not required. The maximum height of the proposed structure is 40.25 feet Above Mean Sea Level (AMSL). The Federal Aviation Authority (FAA) Part 77 notification surface for North Island Naval Air Station is above the site at 91 feet AMSL and the notification surface for SDIA is above the site at 120 feet AMSL. Therefore, notification to the FAA is not required. Since the project is within AIA Review Area 2, the City is not required to submit the proposed project to the San Diego County Regional Airport Authority, serving as the Airport Land Use Commission (ALUC), for a consistency determination with the adopted ALUCP for SDIA.

Conclusion:

City staff has reviewed the request for the development of two garages and an addition to the existing single-family residence. Staff has found the project to be in conformance with the applicable sections of the San Diego Municipal Code and believes the required findings can be approved. Therefore, staff recommends the Hearing Officer approve Coastal Development Permit No. 1514954 (Attachment 4).

Alternatives:

1. **Approve** Coastal Development Permit No. 1514954, **with modifications.**
2. **Deny** Coastal Development Permit No. 1514954, **if the findings required to approve the project cannot be affirmed.**

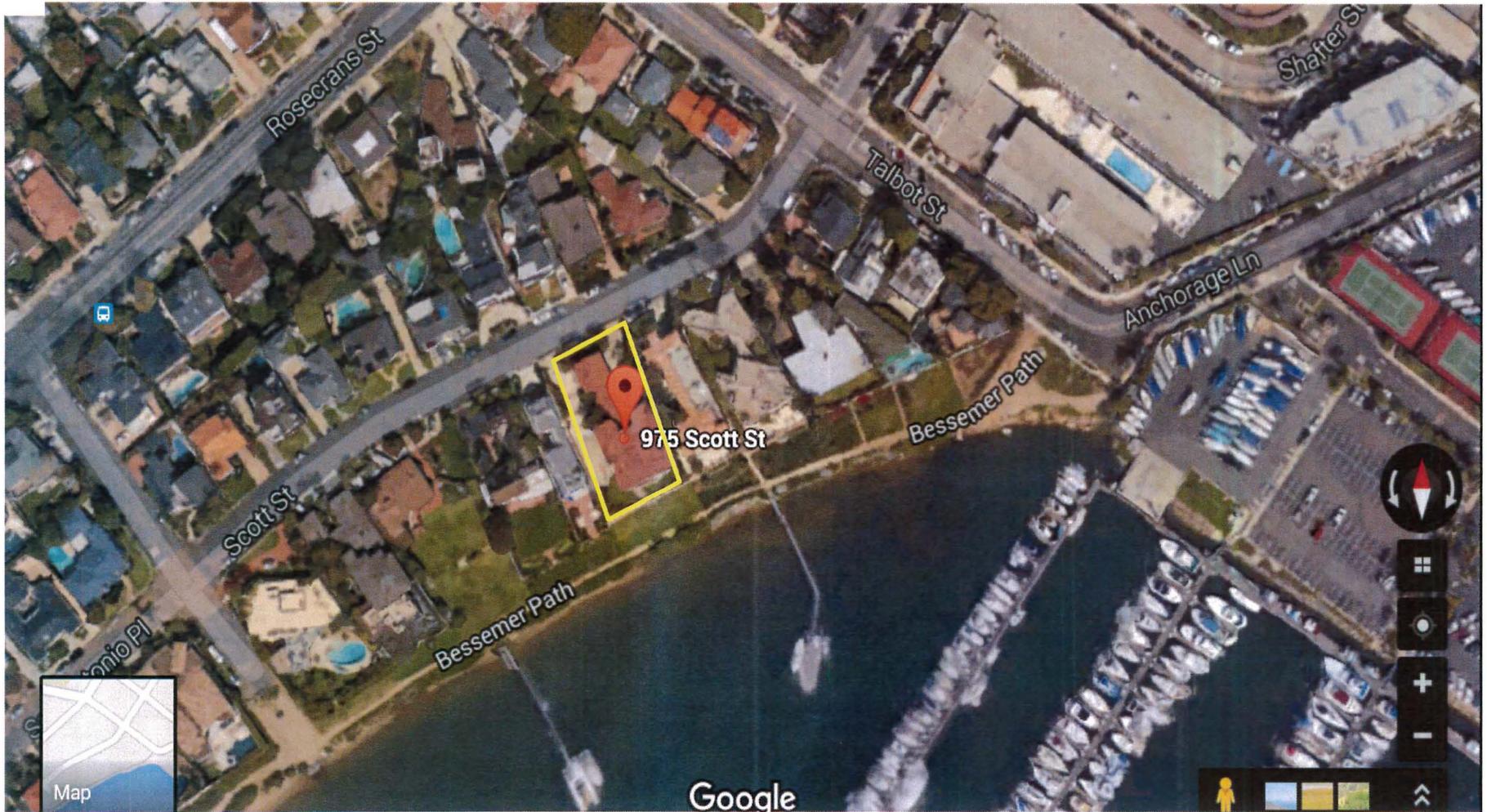
Respectfully submitted,



Renee Mezo
Development Project Manager

Attachments:

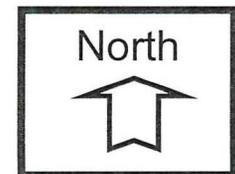
1. Aerial Photograph
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Notice of Exemption
6. Project Plans
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement

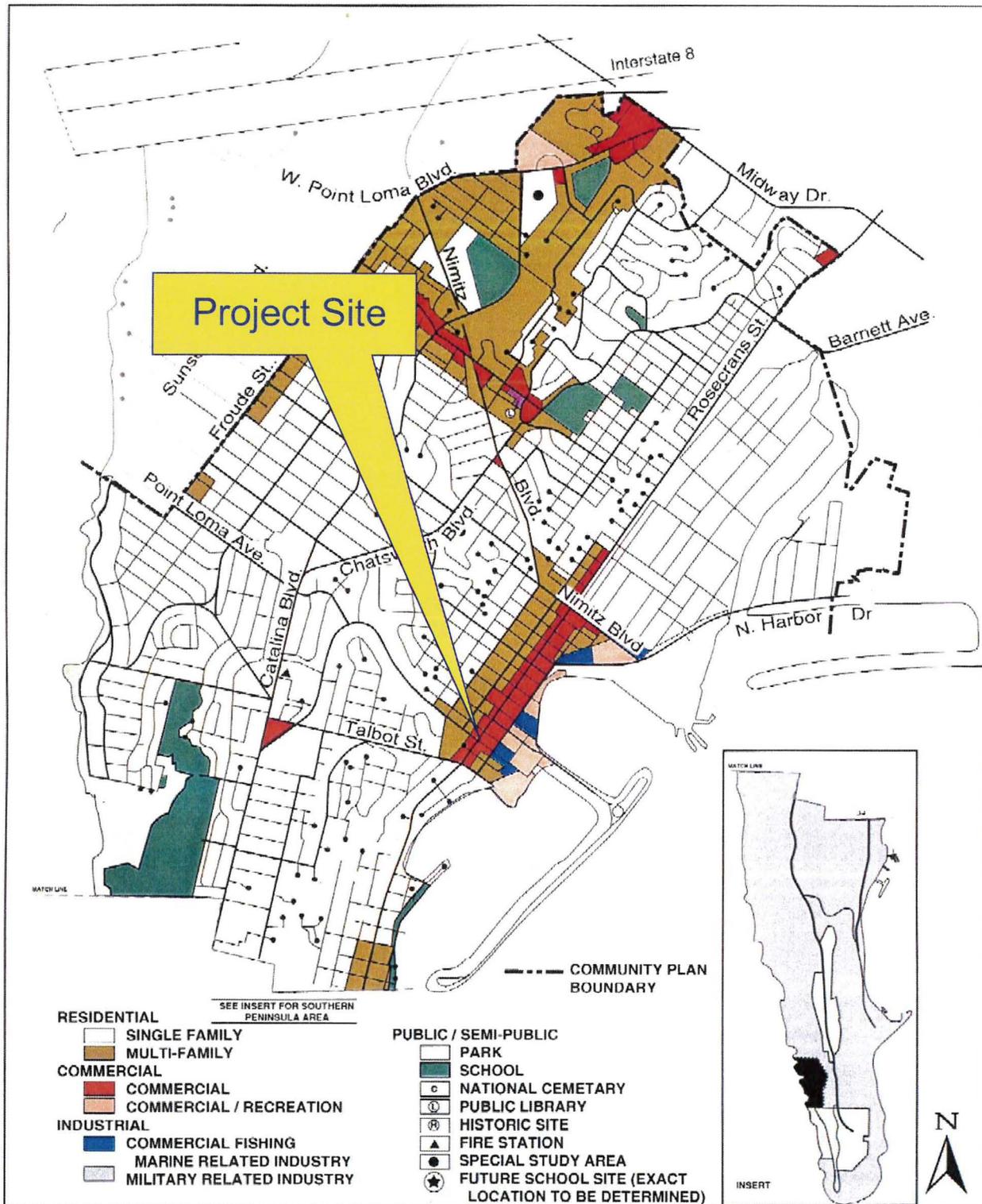


Peninsula Community Aerial Photograph

ENGEL RESIDENCE-975 SCOTT STREET

PROJECT NO. 430787





Land Use Map

ENGEL RESIDENCE – 975 SCOTT STREET
PROJECT NO. 430787



HEARING OFFICER RESOLUTION NO. XXXX
COASTAL DEVELOPMENT PERMIT NO. 1514954
ENGEL RESIDENCE PROJECT NO. 430787
DRAFT

WHEREAS, ARTHUR E. ENGEL, TRUSTEE OF THE ARTHUR E. ENGEL TRUST OF 1988, Owner/Permittee, filed an application with the City of San Diego for a permit to construct two, two-car garages and add additional square footage to an existing single-family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1514954), on portions of a 0.33-acre site;

WHEREAS, the project site is located at 975 Scott Street in the RS-1-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway and the Parking Impact Overlay Zone (Coastal) within the Peninsula Community Plan and Local Coastal Program Land Use Plan;

WHEREAS, the project site is legally described as a Portion of Lot 3, Block 2 Bay Shore Addition, Map No. 1152;

WHEREAS, on January 27, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1514954 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 8, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated January 27, 2016.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.33-acre site is located at 975 Scott Street in the RS-1-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway and the Parking Impact Overlay Zone (Coastal) within the Peninsula Community Plan and Local Coastal Program Land Use Plan. The project site does not contain any existing physical access way used

by the public or and does not contain any access way identified in the Local Coastal Program Land Use Plan. The project will be developed entirely within the private property.

The Peninsula Community Plan does identify the subject lot as having a coastal view vista. There is a current view from the public right of way (Scott Street) on the east and west sides of the subject property. The subject property is therefore subject to policies in the Community Plan related to Natural Environment (views). View corridors are encouraged along the ocean and bay shorelines. The project is providing a 9-foot setback along the east and the west side of the property which will be kept clear of obstacles that may interfere with visual access.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is completely built out and within a developed suburban neighborhood that does not contain any environmentally sensitive lands. Therefore the proposed development will not adversely affect any environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located in the La Playa Neighborhood and is designated for single-family residential use in the Peninsula Community Plan and Local Coastal Program Land Use Plan, with a maximum density of 9 dwelling units per acre. The existing development consists of one dwelling unit and that density remains unchanged, therefore the project is consistent with the land use designation prescribed in the Community Plan.

The Community Plan does identify the subject lot as having a coastal view vista and there is a current view from the public right of way (Scott Street) on the east and west sides of the subject property. The subject property is therefore subject to policies in the Community Plan related to Natural Environment (views). View corridors are encouraged along the ocean and bay shorelines. The project is providing a 9-foot setback along the east and the west sides of the property. Landscaping may be permitted within the view corridor provided such improvements do not significantly obstruct public views of the ocean/bay. Landscaping shall be planted and maintained at no higher than three feet to preserve public views.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.33-acre site is located at 975 Scott Street in the RS-1-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway and the Parking Impact Overlay Zone (Coastal) within the Peninsula Community Plan and Local Coastal Program Land Use Plan.

The project site does not contain any existing public access way or any public recreation areas identified in the Local Coastal Program Land Use Plan. The proposed project will be developed entirely within the private property.

The Community Plan does identify the subject lot as having a coastal view vista and there is a current view from the public right of way (Scott Street) on the east and west sides of the subject property. The subject property is therefore subject to policies in the Community Plan related to Natural Environment (views). View corridors are encouraged along the ocean and bay shorelines. The project is providing a 9-foot setback along the east and the west sides of the property. Landscaping may be permitted within the view corridor provided such improvements do not significantly obstruct public views of the ocean/bay. Landscaping shall be planted and maintained at no higher than three feet to preserve public views.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1514954 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1514954, a copy of which is attached hereto and made a part hereof.

Renee Mezo
Development Project Manager
Development Services

Adopted on: January 27, 2016

SAP Number: 24006001

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006001

COASTAL DEVELOPMENT PERMIT NO. 1514954
ENGEL RESIDENCE PROJECT NO. 430787
HEARING OFFICER
DRAFT

This Coastal Development Permit No. 1514954 is granted by the Hearing Officer of the City of San Diego to Arthur E. Engel, Trustee of the Arthur E. Engel trust of 1988, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0701. The 0.33-acre site is located at 975 Scott Street in the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway and the Parking Impact Overlay Zone (Coastal) within the Peninsula Community Plan and Local Coastal Land Use Plan. The project site is legally described as: a Portion of Lot 3, Block 2 Bay Shore Addition, Map No. 1152.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct two, two-car garages and add additional square footage to an existing single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 27, 2016, on file in the Development Services Department.

The project shall include:

- a. The construction of two, two car garage totaling approximately 1,072 square-feet;
- b. The construction of a 781-square-foot addition to the existing single-family residence;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted Community Plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 10, 2019.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard

Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices maintenance, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. The Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the San Diego Municipal Code (SDMC) and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

17. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

18. There shall be compliance with the regulations of the underlying zone unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

19. Prior to the issuance of construction permits, the Owner/Permittee shall record a Deed Restriction preserving a visual corridor at a minimum of 9 feet wide along the east and west side setbacks in accordance with the requirements of the San Diego Municipal Code section 132.0403(b).

20. Landscaping may be permitted within the view corridor along the east and west side provided such improvements do not significantly obstruct public views of the ocean/bay. Landscaping shall be planted and maintained at no higher than three feet to preserve public views.

21. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 27, 2016 and Resolution No. XXXX.

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 430787

PROJECT TITLE: Engel Residence

PROJECT LOCATION-SPECIFIC: The project site is located at 975 Scott Street, San Diego, CA 92106 within the Peninsula Community Planning Area

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit (CDP) to remodel an existing single family residence and to construct two new garages. The remodel would consist of the addition of 781 square feet of living space and the two new garages would total 1,072 square feet. The 0.33-acre site is located within the Coastal Overlay zone (Appealable) in the RS-1-7 zone(s) of the Peninsula Community Plan area within Council District 2. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Arthur Engel, 701 Gage Drive, San Diego, CA 92107, 619-437-6999

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)).
- CATEGORICAL EXEMPTION: SECTION 15301 (EXISTING FACILITIES) AND SECTION 15303 (NEW CONSTRUCTION)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction). The exemptions are appropriate because 15301 allows for additions to existing structures that will not result in an increase 2,500 square feet and 15303 allows for the construction of accessory structures including garages. Furthermore, the exceptions listed in CEQA Section 15300.2 do not apply because the structure to be remodeled is not historically significant and the site itself has been previously developed and is devoid of sensitive resources.

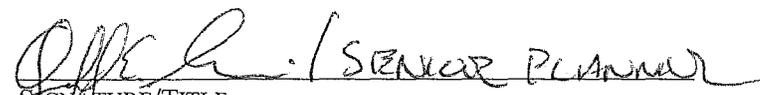
LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


SIGNATURE/TITLE

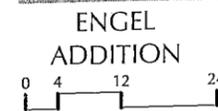
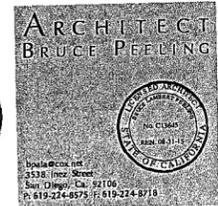
12/22/2015

DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



DEVELOPMENT SUMMARY

SITE ADDRESS
975 SCOTT STREET
SAN DIEGO, CALIFORNIA 92106

OWNER
ART ENGEL
701 GAGE DRIVE
SAN DIEGO, CA 92106

ARCHITECT
BRUCE PEELING, A.I.A.
3538 INEZ STREET
SAN DIEGO, CALIFORNIA 92106
619-224-8575

SURVEY CREATED APRIL 16, 2013
COFFEY ENGINEERING INC.
10660 SCRIPPS RANCH BLVD.
SAN DIEGO, CALIFORNIA 92131
858-831-0111

LEGAL DESCRIPTION
PORTION OF LOT 3 BLOCK 2 BAY SHORE ADDITION
MAP 1152

APN:
531-693-08

CLASSIFICATION TYPE OCCUPANCY GROUP
TYPE V-B R-3, U-1

ZONE: LOT SIZE: MAX F.A.R.:
RS-1-7 14,470 S.F. 0.50 (7,235 S.F.)

COASTAL HEIGHT LIMIT
PROJECT HEIGHT: 22'-3"

EXISTING AND PROPOSED USE
SINGLE FAMILY RESIDENCE

CONSTRUCTION RECORD 1972

GEOLOGIC CATEGORIES 31,53

LANDSCAPE AREA 5,250 s.f.

REQUIRED PERMITS / APPROVALS
COASTAL APPEALABLE, COASTAL HEIGHT
AIRPORT INFLUENCE AREA-SAN DIEGO INT. AIRPORT
FIRST PUBLIC ROADWAY OVERLAY
NEIGHBORHOOD DEVELOPMENT PERMIT

GOVERNING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA GREEN BUILDING CODE

SUMMARY TABLE

SETBACKS:	MIN:	PROPOSED
FRONT	15'-0"	15'-0"
SIDE	9'-0"	9'-0"
REAR	13'-0"	13'-0"
FAR:	MAX:	PROPOSED
	0.50	0.50
HEIGHT:	MAX:	PROPOSED
	30'-0"	22'-3"
PARKING:	MIN:	PROPOSED
	2	7

BUILDING AREAS

	LOWER GARAGE	MAIN GARAGE	LOWER RESIDENCE	MAIN RESIDENCE	EXCLUDED DECKS & BALCONIES
EXISTING	1,375		1,384	2,614	548
ADDITION	460	612	168	613	65
TOTAL PROPOSED AREA	7,226				
	± 14,470 S.F.				
	= .50 F.A.R.				

NARRATIVE

- WE PROPOSE TO CONSTRUCT 2 NEW, ATTACHED, 2 CAR GARAGES AND REMODEL AN EXISTING 2-STORY RESIDENCE. THIS WILL ADD 1,075 S.F. TO THE GARAGE AREA. THERE WILL BE 168 S.F. ADDED TO THE RESIDENCE AT EACH LEVEL. IN THE SOUTHWEST CORNER OF THE EXISTING HOUSE, AND A COVERED DECK OVER THE LOWER GARAGE ADDITION WILL ADD ANOTHER 448 S.F. TO THE RESIDENCE.
- THERE WILL BE A NET INCREASE OF APPROX. 900 S.F. OF NON-PERMISSIBLE SURFACE AREA DUE TO THE ADDITION OF 750 S.F. OF ROOF AND PAVING AT THE MAIN LEVEL GARAGE ADDITION, AS WELL AS THE REMOVAL OF A 450 S.F. ENTRY ROOF CANOPY. THE NEW ATTACHED GARAGE AT THE LOWER LEVEL WILL BE CONSTRUCTED OVER THE LOCATION OF AN EXISTING CONCRETE SLAB. THERE WILL BE APPROX. 600 S.F. OF NEW PAVING IN THE REAR YARD.

GRADING DATA

TOTAL AMOUNT OF SITE TO BE GRADED: 0 S.F.
PERCENT OF TOTAL SITE GRADED: 0%
AMOUNT OF SITE WITH 25% SLOPES OR GREATER: 0 S.F.
PERCENT OF SITE WITH 25% SLOPES OR GREATER: 0%
AMOUNT OF CUT: 15 CUBIC YARDS (INCLUDING FOOTINGS)
AMOUNT OF FILL: 15 CUBIC YARDS (UNDER GARAGE SLAB)
MAXIMUM HEIGHT OF FILL SLOPES: 2 FEET
MAXIMUM HEIGHT OF CUT SLOPES: 0 FEET
AMOUNT OF IMPORT/EXPORT SOIL: 0 CUBIC YARDS
NEW SITE RETAINING WALLS: 0'

DRAINAGE NOTES

THE DRAINAGE PATTERN WILL NOT BE SIGNIFICANTLY MODIFIED. THE FRONT YARD DRAINS FROM SOUTH TO NORTH, AND ALL DRAINAGE IS NOW AND WILL CONTINUE TO BE DIRECTED TOWARDS THE R.O.W. AT SCOTT STREET, MOSTLY PASSING THROUGH PERMEABLE GRASSCRETE & LANDSCAPING. THE REAR YARD AREA WILL DRAIN FROM NORTH TO SOUTH.

- NOTES**
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - A MINIMUM CEILING HEIGHT FOR KITCHENS, HALLS, CORRIDORS, LAUNDRY ROOMS & BATHROOMS IS 7'-0". A MINIMUM CEILING HEIGHT FOR ALL OTHER HABITABLE ROOMS SHALL BE 7'-6".
 - ALL FENCES AND WALLS SHALL CONFORM TO THE HEIGHT AND LOCATION CRITERIA AS REGULATED IN SDMC CHAPTER 14 ARTICLE 2 DIVISION 3.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WP3) THE WP3 SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - THERE ARE NO BUS/TRANSIT STOPS EXISTING OR PROPOSED.
 - BUILDING ADDRESS NUMBERS WILL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

LEGEND

- PROPERTY LINE
- 45.5' T.W. TOP OF WALL
- 40.0' B.W. BOTTOM OF WALL
- EXISTING CONTOUR TO REMAIN
- EXISTING CONTOUR TO BE MODIFIED
- PROPOSED CONTOUR
- DRAINAGE PATTERN
- EXISTING BUILDING FOOTPRINT
- PROPOSED ADDITION FOOTPRINT
- PROPOSED PAVING AREAS
- PROPOSED VIEW CORRIDOR EASEMENT

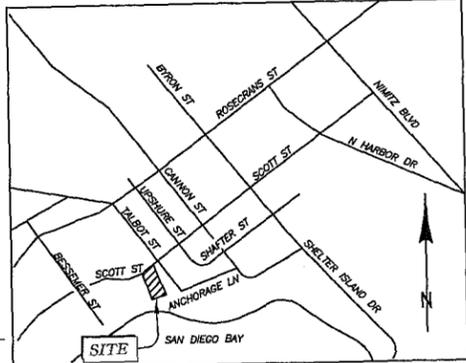
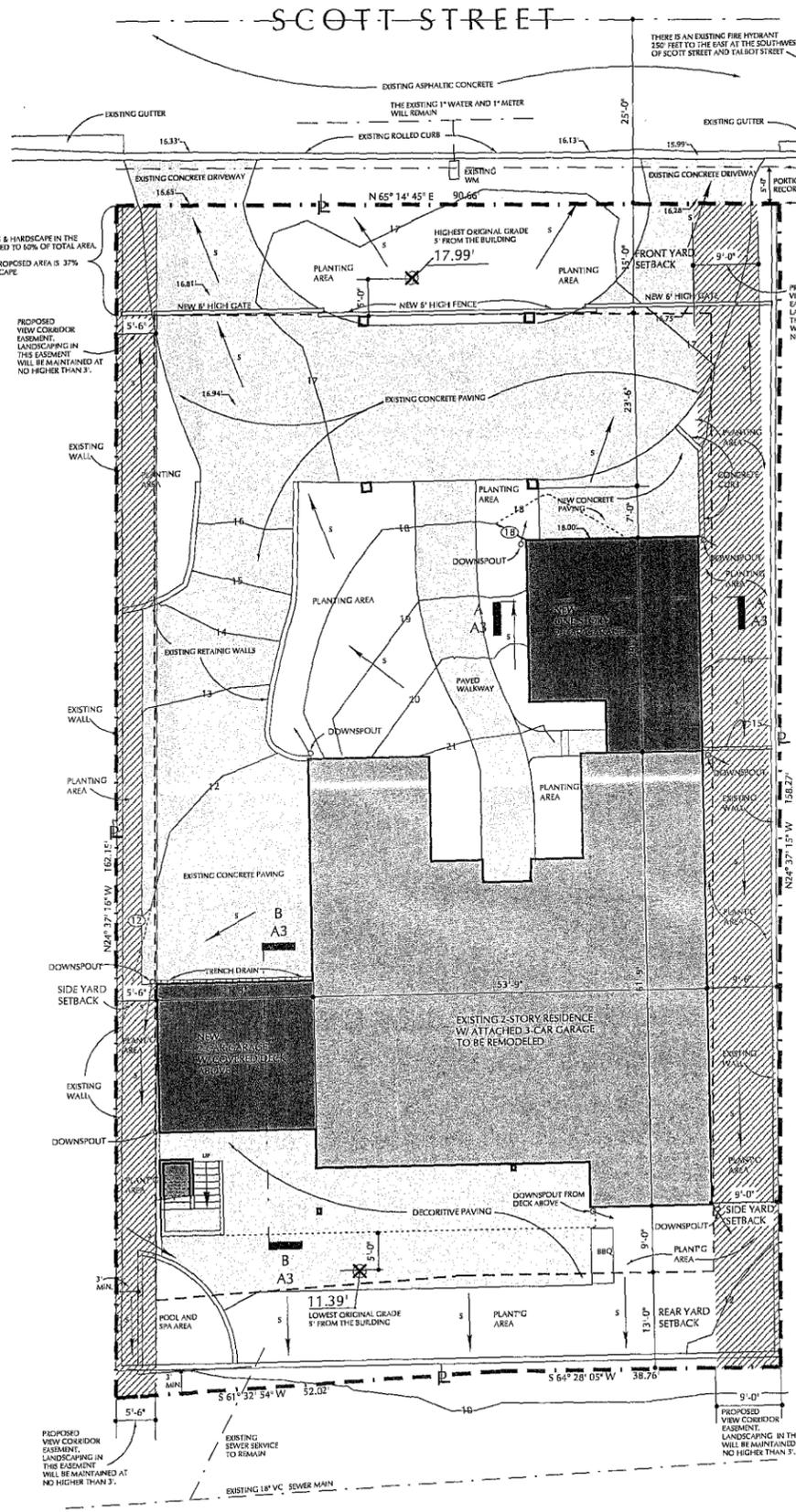
Prepared By:
Name: BRUCE PEELING, ARCHITECT, A.I.A.
Address: 3538 INEZ STREET
SAN DIEGO, CA 92106
Phone #: 619-224-8575
Fax #: 619-224-8718
email: bpea@cox.net

Project Address:
975 SCOTT STREET
SAN DIEGO, CA 92106
Project Name:
ENGEL ADDITION

Sheet Title:
SITE, GRADING & DRAINAGE PLAN,
NOTES, ROOF PLAN

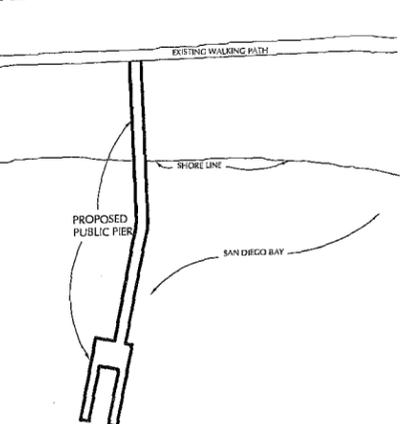
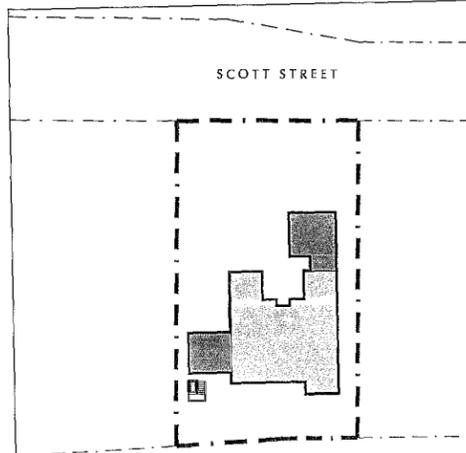
VICINITY MAP

Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	DECEMBER 02, 2015
Revision 2:	OCTOBER 07, 2015
Revision 1:	JULY 13, 2015
Original Date:	JUNE 22, 2015
Sheet:	1 OF 4
DEP #	



VICINITY MAP

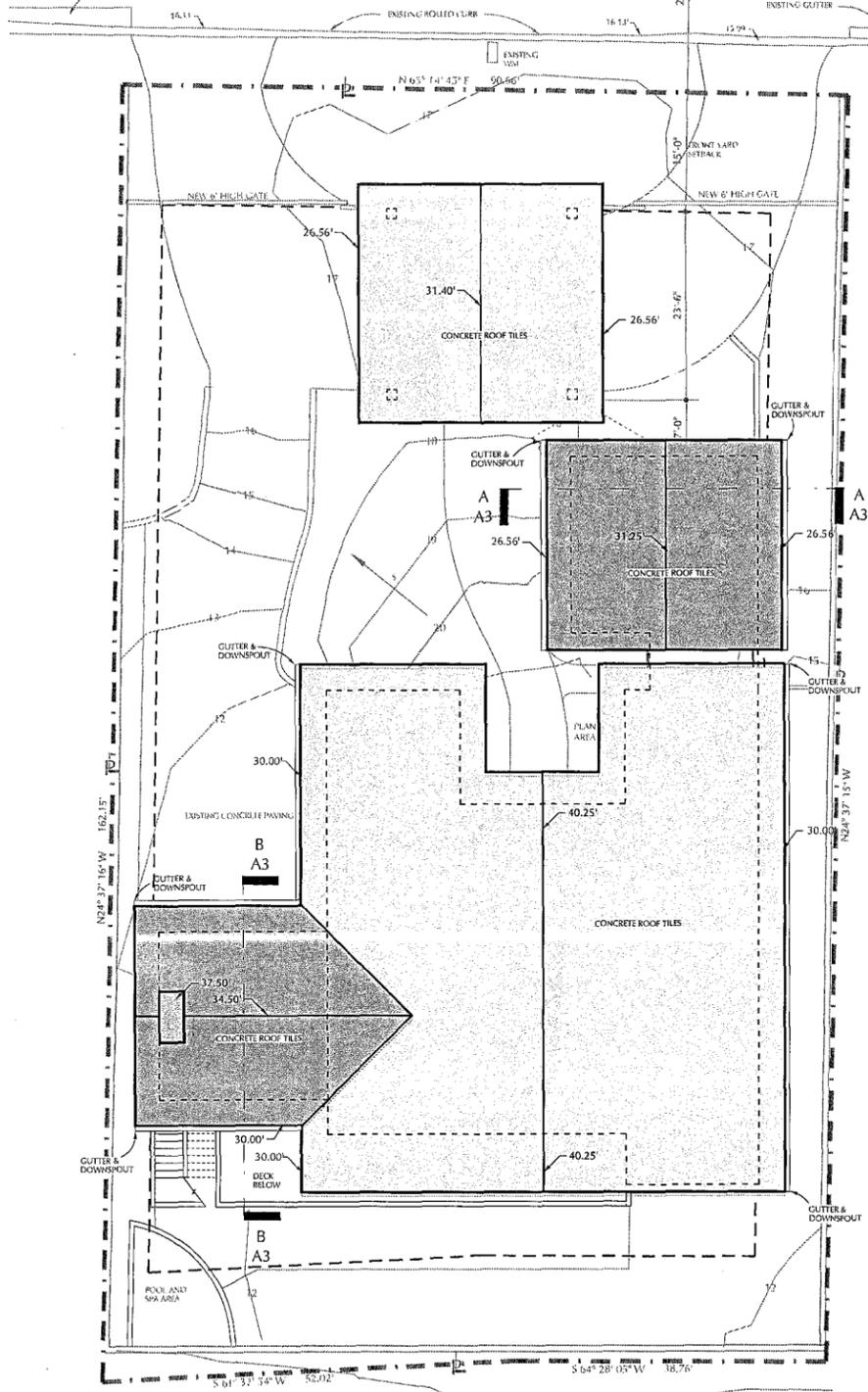
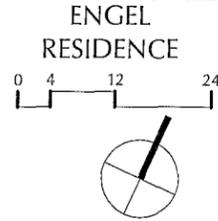
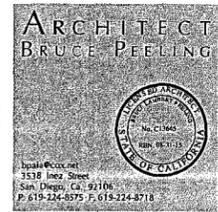
NTS



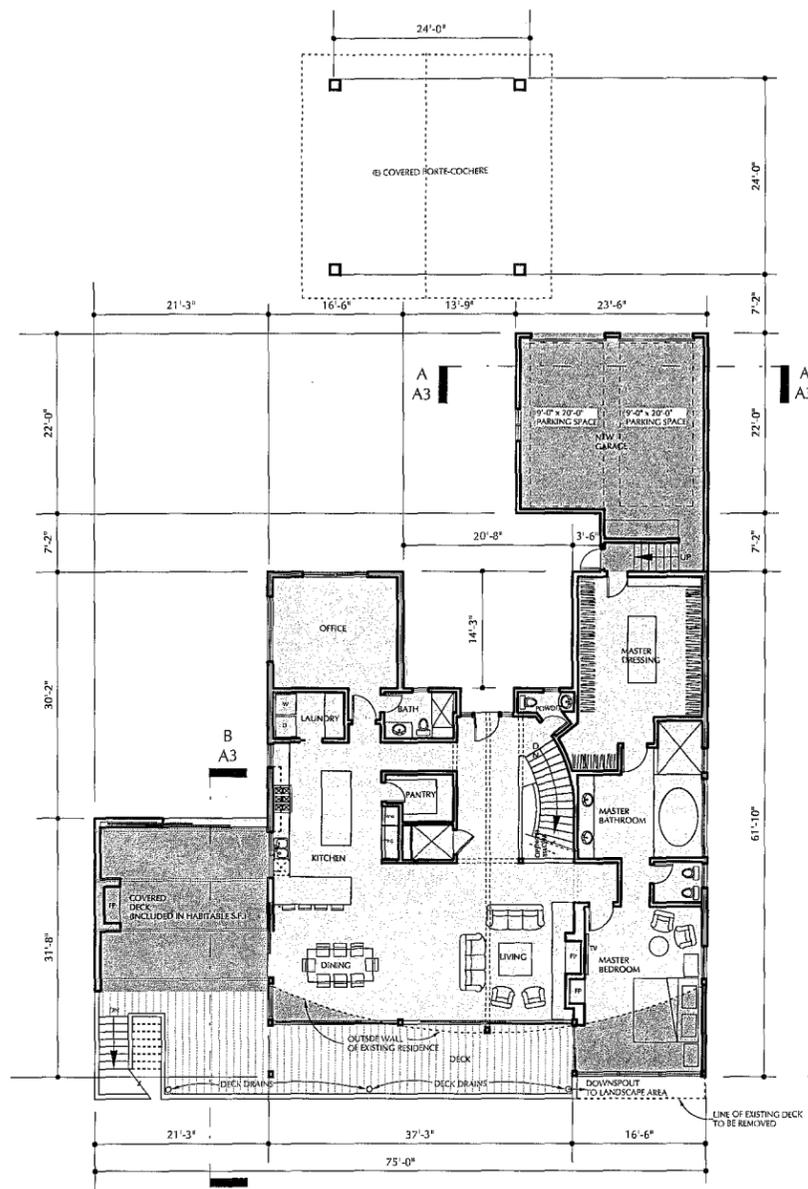
SITE VICINITY WITH PROPOSED PUBLIC PIER
(NOT PART OF THIS PERMIT APPLICATION)

NTS

SITE, GRADING & DRAINAGE PLAN



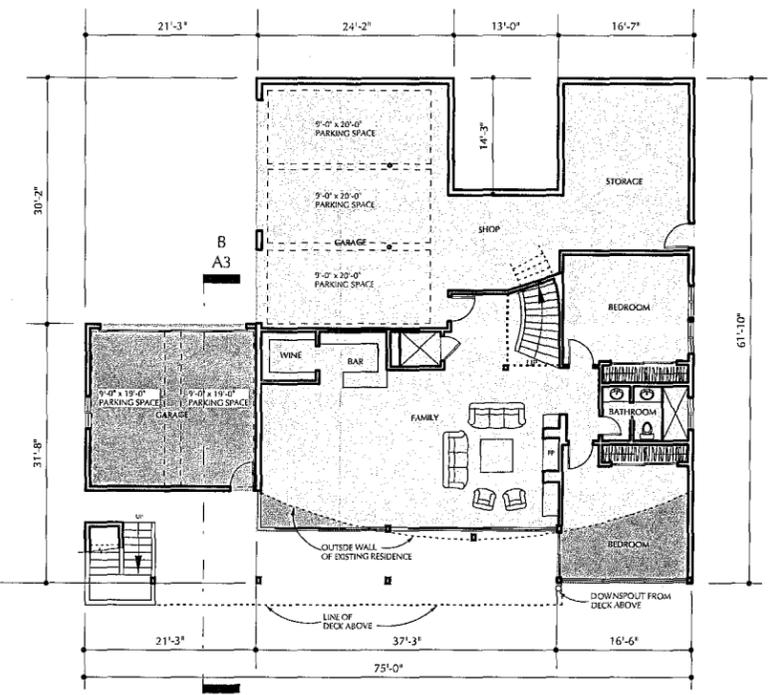
ROOF PLAN



MAIN FLOOR PLAN

612 S.F. GARAGE & STORAGE
 3,227 S.F. HABITABLE
 3,839 S.F. TOTAL MAIN FLOOR AREA

EXISTING BUILDING AREA
 PROPOSED AREA OF ADDITION



LOWER FLOOR PLAN

1,835 S.F. GARAGE & STORAGE
 1,552 S.F. HABITABLE
 3,387 S.F. TOTAL MAIN FLOOR AREA

1 2 3
 4

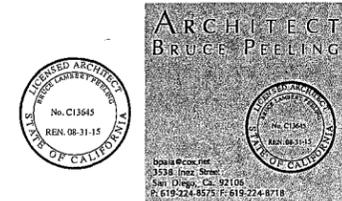
Prepared By: _____
 Name: BRUCE PEELING, ARCHITECT, A.I.A.
 Address: 3538 INEZ STREET
 SAN DIEGO, CA. 92106
 Phone #: 619-224-8575
 Fax #: 619-224-8718
 email: bpala@cox.net

Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: OCTOBER 07, 2015
 Revision 1: JULY 13, 2015
 Original Date: JUNE 22, 2015

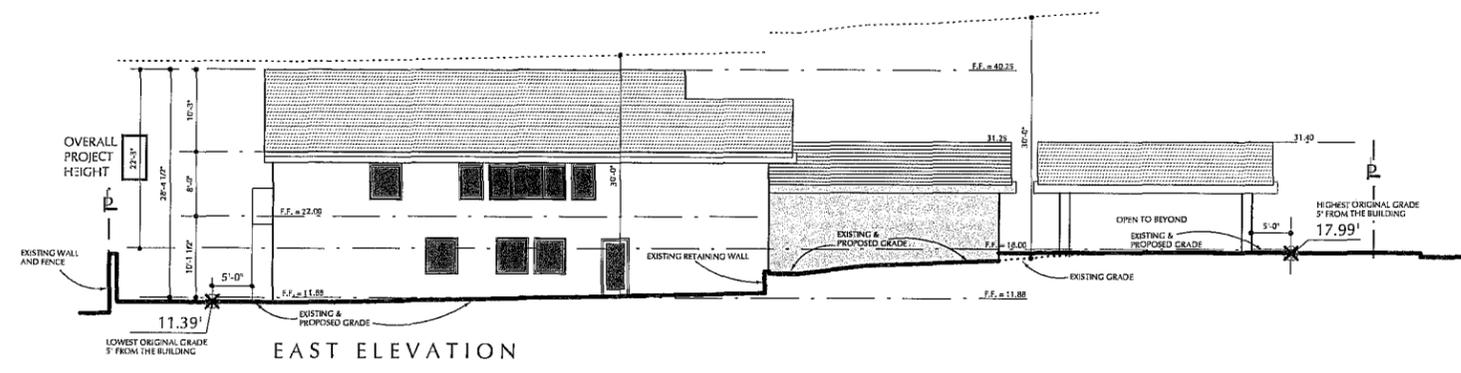
Project Address
 975 SCOTT STREET
 SAN DIEGO, CA 92106
 Project Name:
 ENGEL ADDITION

Sheet Title:
 FLOOR PLANS, ROOF PLAN

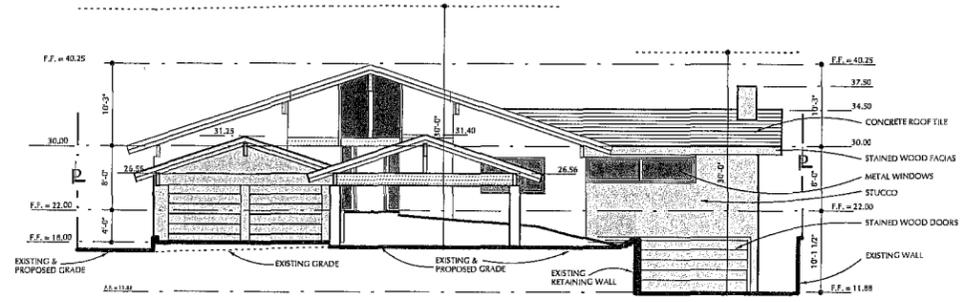
Sheet 2 OF 4
 DEP # _____



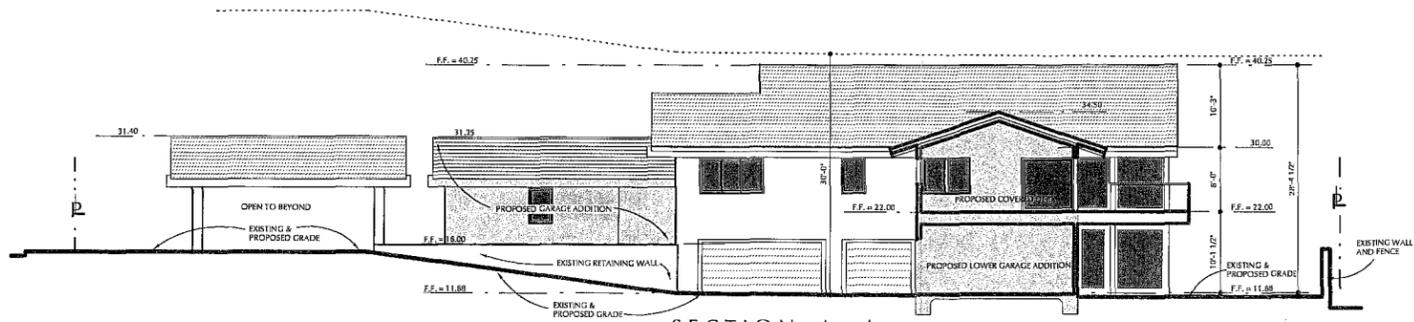
ENGEL ADDITION
 0 4 12 24



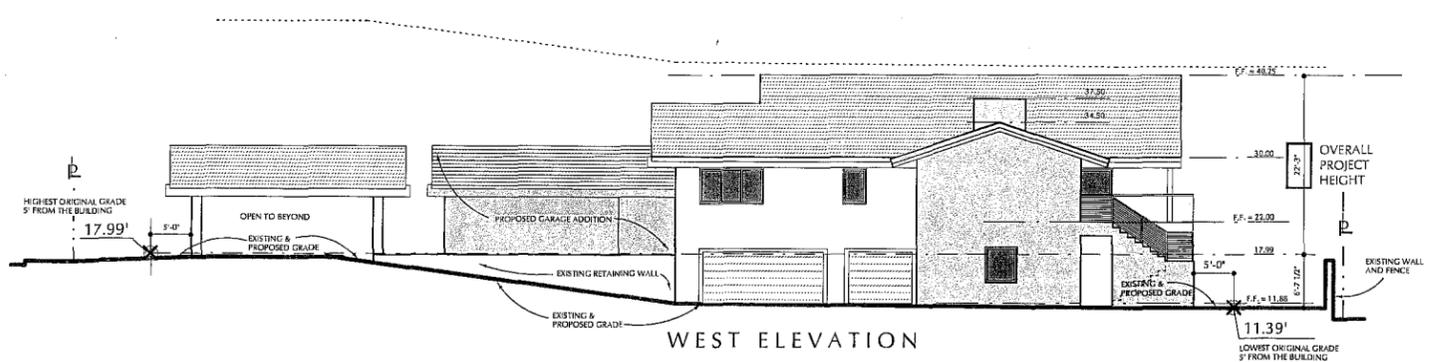
EAST ELEVATION



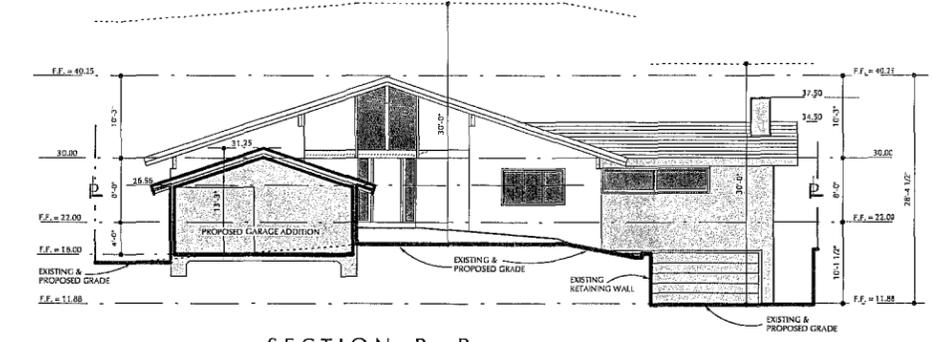
NORTH ELEVATION



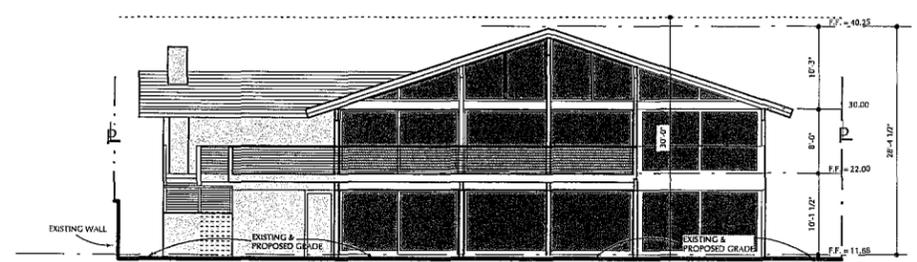
SECTION A - A



WEST ELEVATION



SECTION B - B



SOUTH ELEVATION

1	2	3
4		

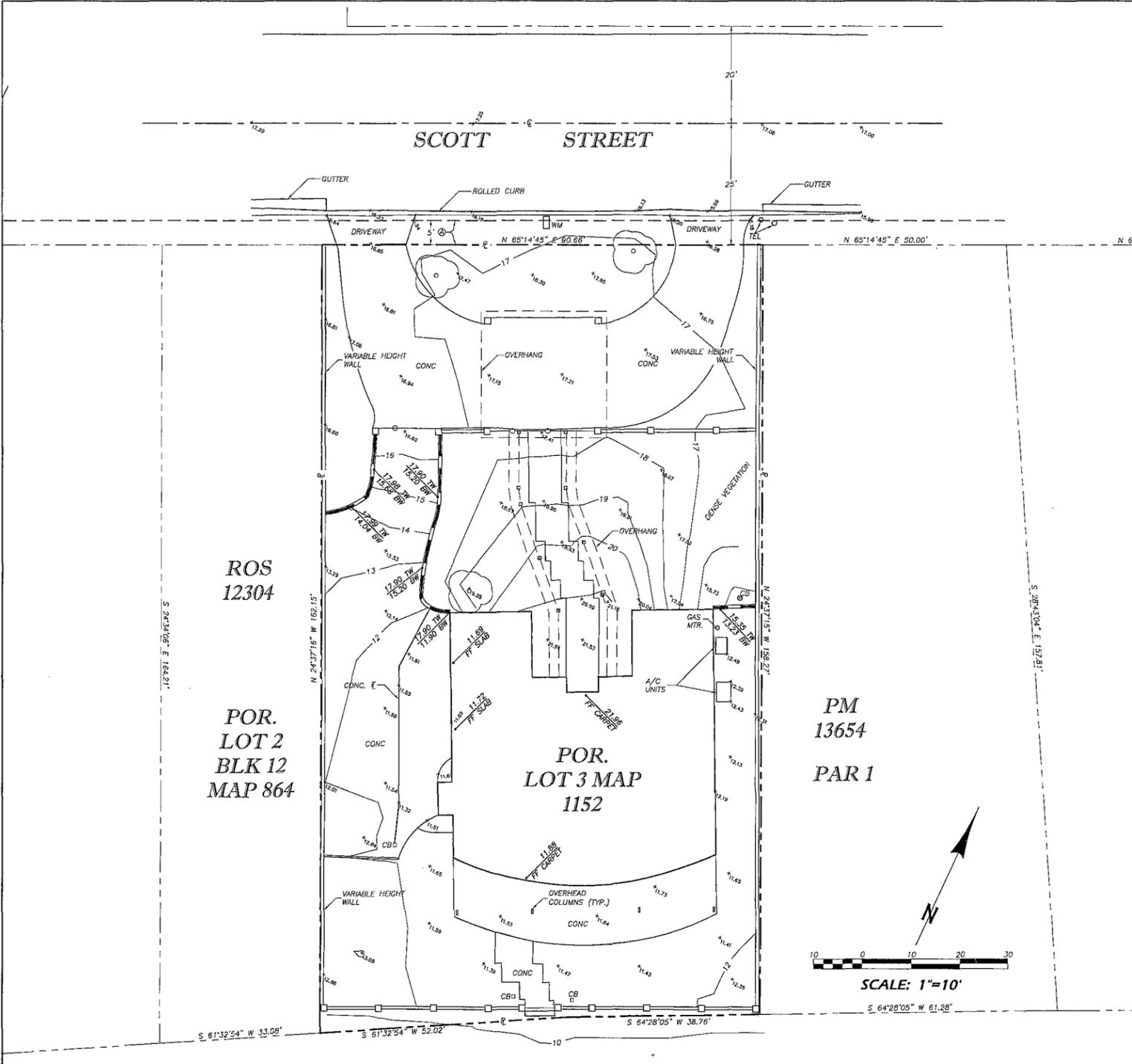
Prepared By: _____
 Name: BRUCE PEELING, ARCHITECT, A.I.A.
 Address: 3538 INEZ STREET
 SAN DIEGO, CA 92106
 Phone #: 619-224-8575
 Fax #: 619-224-8718
 email: bpaia@cmx.net

Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: OCTOBER 07, 2015
 Revision 1: JULY 13, 2015
 Original Date: JUNE 22, 2015

Project Address
 975 SCOTT STREET
 SAN DIEGO, CA 92106
 Project Name:
 ENGEL ADDITION

Sheet Title:
 ELEVATIONS, SITE SECTIONS

Sheet 3 OF 4
 DEP # _____



LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		— N45°45'45"W
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		—+—
CONTOUR		—○—
CONCRETE CURB & GUTTER		—+—+—
SPOT ELEVATION		x
GATE/FENCE		— —
RETAINING WALL		—+—+—+—

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	TEL	TELEPHONE/ AT&T RISER
CB	CATCH BASIN	TYP	TYPICAL
E	CENTER LINE	WM	WATER METER
CONC	CONCRETE		
EP	EDGE PAVEMENT		
F	FLOW LINE		
PAVT	PAVEMENT		

- NOTES**
- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
 - THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
 - THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

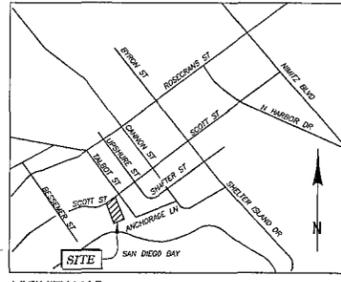
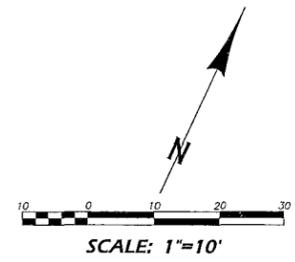
PORTION OF LOT 3, BLOCK 1 OF MAP 1152. SEE ROS 12304 & PM 13654
 APN: 531-683-08

BENCHMARK

CITY OF SAN DIEGO VERTICAL CONTROL NETWORK, SOUTH BRASS PLUG AT THE INTERSECTION OF SCOTT STREET AND UPSHURE ST.
 ELEV = 15.15

EASEMENTS

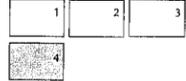
EASEMENTS PER FIRST AMERICAN TITLE REPORT, ORDER DIV-4840851, DATED 2/17/2015.
 (A) PORTION OF SCOTT STREET DEDICATED PER DOCUMENT RECORDED JUNE 14, 1944 AS BOOK 1705 PAGE 31 OF OFFICIAL RECORDS.



VICINITY MAP
 THOMAS BROS. MAP 1288-93
 NO SCALE

DATE OF SURVEY: 4/2/15 FIELD CREW: C. SCHWARTZ, M. STASHY
TOPOGRAPHIC SURVEY

DRAWN BY:	CS
CHECKED BY:	JSC
ORIGINAL:	4/16/15
REVISION 1:	7/8/15
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
TOPOGRAPHIC SURVEY	
SCALE: 1"=10'	
C.O.	
SHT 1 OF 1 SHTS	

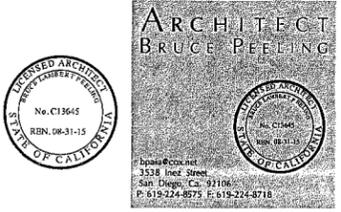


Prepared By:
 Name: BRUCE PEELING, ARCHITECT, A.I.A.
 Address: 3538 INEZ STREET
 SAN DIEGO, CA. 92106
 Phone #: 619-224-8575
 Fax #: 619-224-8718
 email: bpala@cox.net

Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: OCTOBER 07, 2015
 Revision 1: JULY 13, 2015
 Original Date: JUNE 22, 2015
 Sheet: 4 OF 4
 DEP # _____

Project Address
 975 SCOTT STREET
 SAN DIEGO, CA 92106
 Project Name:
 ENGEL ADDITION

Sheet Title:
 TOPOGRAPHIC SURVEY



ENGEL
 ADDITION

COFFEY ENGINEERING, INC.
 7000 S. CALLE
 SAN DIEGO, CA 92108
 TEL: 619-591-0111 FAX: 619-591-0179



SCOTT STREET 975
 975 SCOTT STREET
 SAN DIEGO, CA 92106

PENINSULA COMMUNITY PLANNING BOARD MINUTES

3701 Voltaire St., Point Loma Library

Oct. 15, 2015

APPROVED MINUTES

VOTED ON THURSDAY NOV. 19

Present: Amanda Behnke, Patricia Clark, James Hare, Mark Krencik, Peter Nystrom, Julia Quinn, Jarvis Ross and Don Sevens.

Absent: Nicole Burgess, Bruce Coons, David Dick, Robert Goldyn, Jon Linney, Jay Shumaker and Paul Webb.

Called to order at 6:36 p.m.

PARLIAMENTARY ITEMS

1. **Approval of agenda.** By acclamation.
2. **Approval of September 2015 minutes.** Motion by Sevens, second by Nystrom to approve minutes as submitted by secretary with a revised item clarifying Traffic subcommittee report. Approved 5-0-2. Voting yes: Behnke, Hare, Krencik, Sevens, Nystrom. No: 0. Abstaining: Clark, Ross. Both cited not having enough information.
3. **Secretary's Report – Don Sevens.** Secretary said that a competing version of the minutes being produced by another board member was not helpful. He said that revisions in the Ralph M. Brown Act and City Policy 600-24 mean that certain of the board's current practices are not in compliance. Specifically, draft minutes should be posted (or made accessible to the public) "as soon as possible and no later than the next scheduled regular meeting." The revisions further require that action items show which members voted for, against or abstained. Further that the names of public speakers be reported and the tenor of their remarks be included. The chair suggested that the matter be discussed between meetings.
4. **Treasurer's Report – Patricia Clark.** Treasury has \$266.55 with a couple bills arriving.
5. **Chair Report – Julia Quinn.** She reported on a community workshop at Liberty Station Oct. 6 about proposed FAA flight changes. Community sentiment – including a letter by the planning board pointing out detrimental environmental effects – was overwhelmingly against the changes.

Jarvis Ross: There is a potential for lawsuits by people affected by the new flight paths.

6. **Establish Code Compliance Committee.—Julia Quinn.** The chair said she wanted the board to establish creating a standing subcommittee to consider assisting in code compliance on such issues as oversized vehicles, homeless living in unoccupied buildings and to be the eyes and ears of the community. No motion was offered by the board and there was no further discussion or action.

NON-AGENDA PUBLIC COMMENTS

1. **Jim Dorsey.** He reported the latest developments at the unfinished house at 1676 Plum St. He said there were several court appearances with the owner, on probation after pleading to several misdemeanors, missing the last one. The sidewalk, torn out seven years ago, was replaced before an interim deadline. However, it did not pass inspection and had to be torn out because of substandard construction and redone. There are several court dates or deadlines before a final deadline in January. The owner is under court direction to complete the construction – his choice -- or face possible court-ordered demolition, sale or jail time.
2. **Seth Gates.** The city's financial director for public utility districts gave a presentation on proposed increases in water rates. The presentation was not on the agenda but was described by the chair as non-agenda public discussion.
Gates said the increases are being driven by two factors. The first is higher cost water being received from the San Diego County Water Authority. The second is state mandates to cut back during the drought. That results in less revenue received while fixed costs must still be covered.

The city is using \$32 million of reserves to soften the impact on consumers, Gates said, and none of the rate increase will be used for department operations.

A City Council hearing will be held to receive public input with a petition or desire to participate deadline of Nov. 17. An outside auditor will be retained every two years to evaluate staff assumptions on water availability and demand.

Ross: Why are contractors responsible for so many waterline breaks?

A: (Gates) Ducking a direct answer, he said they are being charged for all damages.

Quinn: Are the percentages on rate increases simple percentages or compounded?

A: The increases shown are simple. Compounded, rates would actually rise 41% over five years.

Proposed effective dates and simple percentage increases

Jan. 2016	9.8%
July 2016	6.9%
July 2017	6.9%

July 2018	5.0%
July 2019	7.0%

GOVERNMENT REPORTS

Council District 2 – James Mcguirk pinch-hit for Conrad Wear. He said that an annex to the Dolphin Motel on Garrison east of Rosecrans has passed all inspections and that a certificate of occupancy will be served soon. Removal of a billboard, Mcguirk said, was not a condition for a building permit and is up to the Murdock family.

On a pocket park at Canon Street and Avenida de Portugal, city staff is tending to the paperwork but completion and City Council consideration could take several months.

On the FAA flight path issue, he said Council Member Lorie Zapf opposes removal of Waypoint Loma for visual and noise disturbance and said all other questions should be referred to the office or Rep. Scott Peters.

Flashing beacon lights, warning of pedestrians in crosswalks, will be installed in the near future at three sites: Catalina Boulevard and Orchard Avenue, Zola and Chatsworth, and Sunset Cliffs Boulevard and Point Loma Avenue.

Marian D'Angelo: They really do work, as evidenced by the one recently installed at Canon and Evergreen streets.

City Planning – Associate city planner Tony Kempton was absent.

NEW/OLD BUSINESS

None.

INFORMATION ITEMS

Ocean Beach Planning Board update – Valerie Paz was absent.

ACTION ITEMS

- 1. Monarch at Barnard TM Parcel 1**, Project No. 419664, 2930 Barnard St. Zone RM-1-1 – Tentative Map (Process 3) for creation of 176 residential condominium units (under construction). Applicant: Janay Kruger.

Krencik said the project on the site of the former Barnard Elementary School came before the Project Review subcommittee in both September and October. There was no quorum in October and it was sent to the full board without a vote.

The buildings are three stories tall with parking, traffic and architectural style consistent with an area of multifamily buildings.

Four of the 180 units are on a different parcel, are slightly different and require a separate vote.

Kruger said 15 of the 180 units are affordable, all are fully sprinklered and eventually will become condominiums. Monarch purchased the property for \$16.5 million from the school district in a bidding (or auction) situation.

Sevrens: What about fire hydrants, fire engine access and safety?

A: (Kruger) There are three fire hydrants close to the site and a loop road on the perimeter. The standard to be met is that a fire engine can access one side of every building. All units are sprinklered and the Fire Department has approved.

Audience member from Midway Planning Board: Will the company repave Barnard Street?

A: (Various) Yes, if damage was caused by their construction vehicles. Otherwise, they will at least look into it.

Reporter Tony DeGarate: Why has this project never come to the full planning board before?

A: (Kruger) Not required.

A: (Jarvis) That is the problem with the city's Planning Department. The codes are not what they should be.

Motion to approve, encouraging the developer to study traffic and work with nearby homeowner associations.

Moved by Krencik, seconded by Clark. Yes (6): Behnke, Clark, Hare, Krencik, Nystrom, Ross. No: (0). Abstain (1): Sevrens. (Not comfortable with the process, a subcommittee sending it forward without being able to vote for lack of a quorum.)

2. Monarch at Barnard TM Parcel 2, Project No. 419673, 3901-3907 Chapman St., Zone RM-1-1. Tentative Map (process 3) for creation of four residential condominium units (under construction). Applicant Janay Kruger.

Motion to approve. Moved by Clark, seconded by Krencik. Yes (6): Behnke, Clark, Hare, Krencik, Nystrom, Ross. No: 0. Abstain (1): Sevrens. (Discomfort with process involving lack of quorum.)

- 3. McCall Residence CDP**, Project No. 428931, 425 San Gorgonio St., Zone RS-1-4. Coastal Development Permit (CDP) to construct 5,284 SF single-family unit on a vacant 0.23 acre site. Coastal (non-appealable) overlay zone Applicant: Bruce Peeling.

Applicant reported the city waived a sidewalk requirement on a street where sidewalks are obviously inappropriate.

Motion to approve. Moved by Krencik, seconded by Clark. Yes (6): Behnke, Clark, Hare, Krencik, Nystrom, Ross. No: 0. Abstain (1): Sevrens. (A well-done project but no quorum at subcommittee stage.)

- 4. Engel Residence Addition CDP**, Project No. 430787, 975 Scott St., Zone RM-1-7, CDP to construct 1,842 SF addition to existing single-family unit on 0.33 acre site. Coastal (appealable) overlay zone. Applicant: Bruce Peeling.

Krencik: This abuts the water so it is required that it come before the planning board. This will be basically an entirely new house with existing 2 by 4's retained. The house is essentially 7,000 square feet on a 14,000 square-foot lot for a floor area ratio of .5.

Applicant: Construction will not start until spring.

Motion to approve. Moved by Krencik, seconded by Ross. Yes (6): Behnke, Clark, Hare, Krencik, Nystrom, Ross. No: 0. Abstain (1): Sevrens. (Especially uncomfortable because a full board vote is required but the subcommittee was unable to vote.)

- 5. East Hotel Sign Plan**, Project No. 443410, 2220 Lee Court, Zone CC-5-5. Neighborhood Use Permit (NUP) for a comprehensive sign plan. Coastal (appealable) overlay zone. Applicant: Nathan Cadieux.

Three hotels adjacent to the channel by Liberty Station were approved years ago. A public esplanade will allow the public to cross the bridge over the channel, walk the property edge and link to Spanish Landing.

Proposed is relatively modest directional signage close to Harbor Drive in public right-of-way to guide visitors.

Amanda Behnke had to leave mid-item and a quorum was lost. Applicant was asked to return in November.

6. Approval of PCPB Bylaw Revisions. Approval of proposed bylaw revisions to be consistent with city revisions to Council Policy 600-24. Presentation by James Hare and Julia Quinn. **The matter was not considered because of a lack of a quorum.**

SUBCOMMITTEES

No subcommittee reports were presented because of a lack of a quorum.

Adjourned at 8:55 p.m. to 6:30 p.m. Thursday, Nov. 19.

■ **Submitted by Secretary Don Sevens.**



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title Project No. For City Use Only
ENGEL ADDITION

Project Address:
975 SCOTT ST

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
ARTHUR ENGEL
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 701 GAGE DR
 City/State/Zip: SAN DIEGO
 Phone No: 619-992-7311 Fax No: 619-522-6320
 Signature: [Signature] Date: 6/22/15

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____