



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: February 3, 2016

REPORT NO. HO 16-006

ATTENTION: Hearing Officer

SUBJECT: PACIFIC VIEW RESIDENCE CDP
PROJECT NUMBER: 447980

LOCATION: 666 Pacific View Drive

APPLICANT: Rebecca Marquez

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit to demolish an existing single family home to construct a new single family home within located at 666 Pacific View Drive the Pacific Beach Community Planning area?

Staff Recommendation - APPROVE Coastal Development Permit No. 1566715.

Community Planning Group Recommendation - On December 1, 2015, the Pacific Beach Planning Group voted 15-0-0 to recommend approval of the project.

Environmental Review – The project was determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 7, 2016 and the opportunity to appeal that determination ended January 21, 2016.

BACKGROUND

The project proposes the demolition of an existing single family home and development of a new, two story single family home with basement. The 0.13-acre site is located at 666 Pacific View Drive in the RS-1-7 zone within the Coastal Overlay Zone (Appealable), Coastal Height Overlay Zone, First Public Roadway, within the Pacific Beach Community Plan area.

The site currently contains a single story single family residence constructed in 1956. A review of the existing home/site was conducted by City staff to determine if potential significant historic resources exist on the site in accordance with San Diego Municipal Code (SDMC) Section 143.0212. Based on the documentation provided, staff determined the property does not meet

local designation criteria as an individually significant historic resource under any adopted Historic Resource Board Criteria.

The project requires a Coastal Development Permit Process Three, appealable to the California Coastal Commission, for a coastal development pursuant to San Diego Municipal Code section 126.0707. The project is bounded by multifamily residential to the north and single family residences to the south, east, and west.

DISCUSSION

Project Description:

The proposed project includes the demolition of an existing single family dwelling unit and construction of a new single family home totaling 3,421 square feet over a 1,464 square-foot basement. The new home would include a two-car garage, office, kitchen and family room on the first floor, and four bedrooms with bathrooms and laundry room on the second floor. The basement will include a playroom, bathroom, and two additional bedrooms. Additionally, a roof deck is incorporated in the single family design.

As a component of the proposed project, the home will utilize renewable energy technology, self-generating at least 50% of the projected total energy consumption on site through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The photovoltaic system will be located on a portion of the roof. Additional environmental conservation elements for the project include the use of high efficacy lighting or occupancy sensors, energy star appliances, dual Pan Low-E glazing on all windows, use of engineered wood products, natural cooling/ventilation with operable windows, use of permeable paving, and high efficiency irrigation systems with state of the art low precipitation rate sprinkler equipment. The attached garage will provide parking for two cars accessed from Pacific View Drive. Public improvements included the reconstruction of a non-ADA compliant driveway to be replaced with an ADA-compliant, City standard 12-foot wide concrete driveway and a three-foot dedication to the City of the owners property adjacent to the site on Pacific View Drive to create a 10-foot curb to property line public right-of-way.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in the San Diego Municipal Code (SDMC) section 113.0103. The project proposes a maximum building height of 27 feet 6 inches making the project within the 30' maximum height limit allowed under the Coastal Height Overlay Zone and Citywide zoning requirements. The project is not requesting nor does it require any deviations or variances from the applicable regulations, and the project is consistent with the recommended land use designation policy document, design guidelines, and development standards in effect for the site. Because the project utilizes renewable technologies, it qualifies as a sustainable building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Community Plan Analysis:

The project site is designated for low density residential development (5-<9 dwelling units per acre) in the Pacific Beach Community Plan and Local Coastal Program. The project proposes a single dwelling unit on a 5,800 square-foot lot for a density of approximately 7.5 dwelling units per acre. The project is therefore consistent with the prescribed use and density of the community plan. The project site is located at the end of a cul-de-sac between a two-story single-family building to the west and a one-story single family building to the east. Development on the block consists of a mix of one and two-story single-family residences with diverse architecture. Behind the building and on top of the slope are larger 4-story multi-family buildings.

A goal of the Residential Element in the community plan is to implement design standards for single-family and multifamily development to ensure that redeveloped properties reflect the scale and character of the neighborhood. The plan also contains a policy to maintain the residential scale of Pacific Beach. The proposed two-story design is articulated both horizontally and vertically. The articulation softens the transition to the single story structure to the east and the two-story structure to the west. The proposed building material creates variation yet compliments the existing homes along the street. Additionally, the proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, and, floor area ratio.

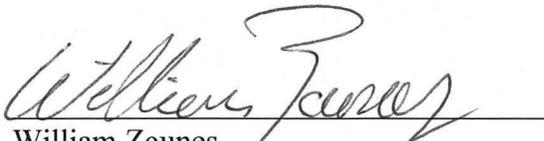
Conclusion

Staff has determined that the project complies with the development regulations of the RS-1-7 zone and all other applicable sections of the San Diego Municipal Code and that the required findings can be made. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1566715 with modifications or;
2. Deny Coastal Development Permit No. 1566715, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


William Zounes,
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Resolution with Findings
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Environmental Exemption
10. Project Plans



Project Site
666 Pacific View Dr.

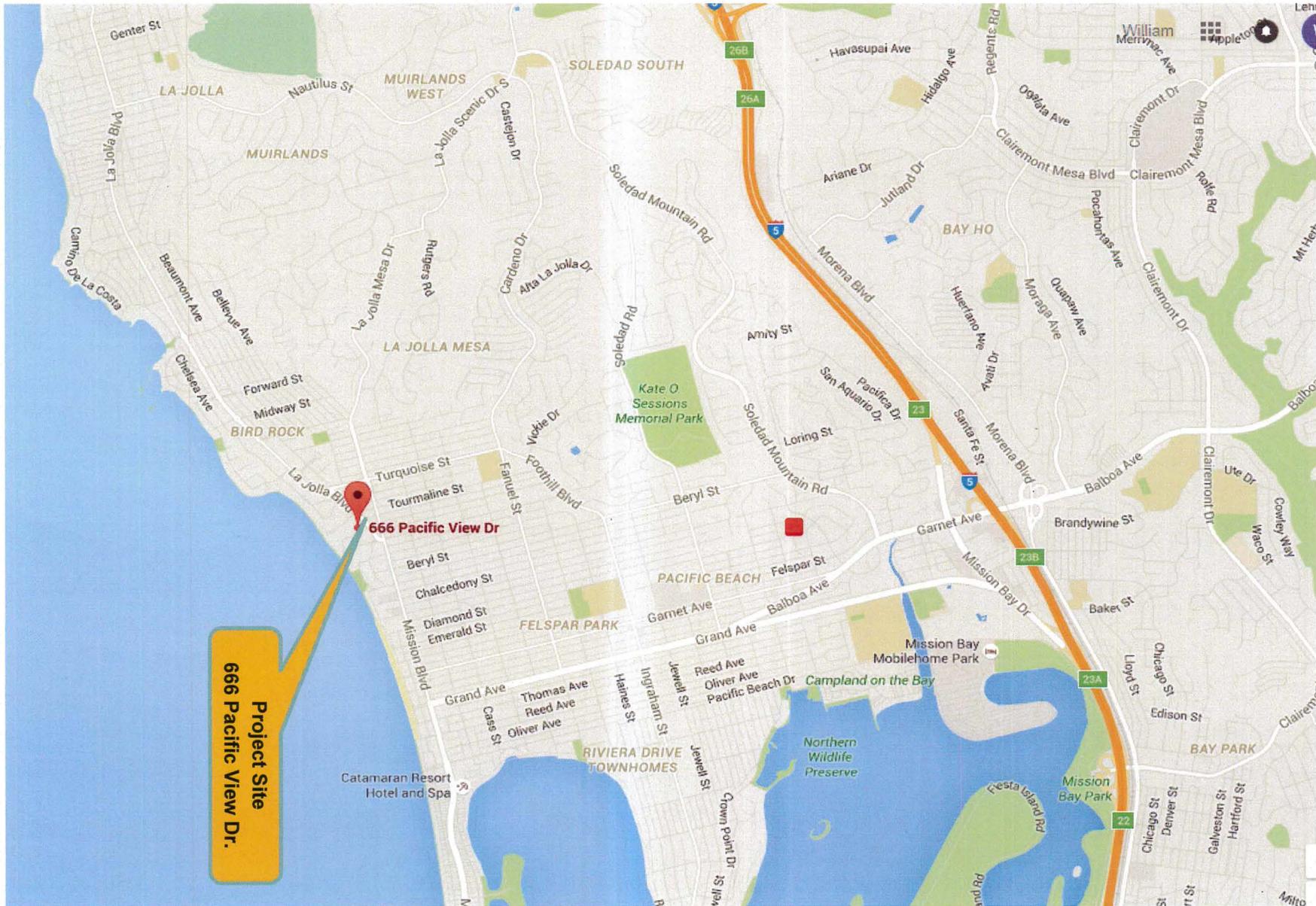


Attachment 1
Aerial Photograph of Site



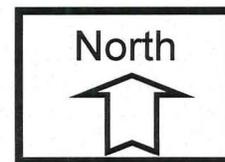
Aerial Photograph (Birds Eye)

Pacific View Residence CDP Project No. 447980
666 Pacific View Drive



Project Location Map

Pacific View Residence CDP Project No. 447980
666 Pacific View Drive



Attachment 3
Project Location Map

PROJECT DATA SHEET

PROJECT NAME:	Pacific View Residence	
PROJECT DESCRIPTION:	The demolition of an existing single family home and development of a new, two story single family home with basement.	
COMMUNITY PLAN AREA:	Pacific Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-7		
HEIGHT LIMIT: 30 feet		
LOT SIZE: 0.13-acres.		
FLOOR AREA RATIO: varies		
FRONT SETBACK: 15 feet		
SIDE SETBACK: 4 feet		
STREETSIDE SETBACK: 10 feet		
REAR SETBACK: 10 feet		
PARKING: 2 parking spaces required		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, GH-1500	Mixed single and multi-family housing
SOUTH:	I-94	I-94
EAST:	Residential, GH-1500	Mixed single and multi-family housing
WEST:	Residential, GH-1500	Mixed single and multi-family housing
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On December 1, 2015, the Pacific Beach Planning Group voted 15-0-0 to recommend approval of the project	

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006234

COASTAL DEVELOPMENT PERMIT NO. 1566715
PACIFIC VIEW RESIDENCE PROJECT NO. 447980
HEARING OFFICER

This Coastal Development Permit No. 1566715 is granted by the Hearing Officer of the City of San Diego to BENJAMIN RYAN and HEATHER RYAN, Owner, and, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.13 -acre site is located at 666 Pacific View Drive in the RS-1-7 zone(s) of the Pacific Beach Community Plan area. The project site is legally described as: Lot 2 of Tournaline Terrace Unit No. 1 in the City of San Diego, County of San Diego, State of California, according to map thereof No. 5766, filed in the Office of the County Recorder of San Diego County, July 29, 1966;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single family home and build a new single family home described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 3, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single family structure and the construction of a new 3,421 square-foot home over a 1,464 square-foot basement on a 0.13-acre site with associated site improvements;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by xxxxxx.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export 378 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance

with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan to drain onto Pacific View Drive, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A", satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, to reconstruct the driveway with current City Standard 12-foot wide concrete driveway, adjacent to the site on Pacific View Drive, satisfactory to the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 3 feet on Pacific View Drive to provide a 10 foot curb-to-property-line distance, satisfactory to the City Engineer.

17. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The owner/permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

21. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

PLANNING/DESIGN REQUIREMENTS:

22. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use

unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

25. Prior to issuance of any Public Right-of-Way permit, the public improvements plans shall show installation of a street tree in conformance with the approved Exhibit "A" and the landscape regulations in SDMC Chapter 14. The plans shall take into account a 40 square-foot area around each required tree which is unencumbered by utilities.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 3, 2016.

**Attachment 5
Draft Permit with Conditions**

Permit Type/PTS Approval No.: CDP No. 1566715
Date of Approval: February 3, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Owner/Permittee

By _____
BENJAMIN RYAN

Owner/Permittee

By _____
HEATHER RYAN

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 1566715
PACIFIC VIEW RESIDENCE CDP PROJECT NO. 447980

WHEREAS, BENJAMIN RYAN and HEATHER RYAN, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single dwelling unit and construct a new a single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1566715) on portions of a 0.13-acre site;

WHEREAS, the project site is located at 666 Pacific View Drive in the RS-1-7 of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lot 2 of Tournaline Terrace Unit No. 1 in the City of San Diego, County of San Diego, State of California, according to map thereof No. 5766, filed in the Office of the County Recorder of San Diego County, July 29, 1966;

WHEREAS, on February 3, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1566715 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 7, 2016 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15302 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Offiver adopts the following written Findings, dated February 3, 2016.

FINDINGS:

Finding for all Coastal Development Permits (SDMC section 126.0708)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.13-acre site is located at 666 Pacific View Drive within the RS-1-7 zone of the Pacific Beach Community Plan area within the Coastal Overlay Zone (appealable area), and the Coastal Height Limit Overlay Zone.

The property is not identified in the City's adopted Local Coastal Program (LCP) Land Use Plan as a public access way. There is no physical access way used by the public on this property or any proposed public access way as identified in the LCP Land Use Plan. The proposed

development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in the Peninsula Local Coastal Program Land Use Plan. The proposed modifications will be consistent with the height of existing structures within neighborhood. The project is completely contained within the private property, and as such, the project would not encroach upon any existing physical access way. The nearest public access to the Pacific Ocean is from the end of Loring Street approximately one quarter mile to the southwest. Therefore, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan. The proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan by not encroaching into any scenic coastal area or public views as identified in the Local Coastal Program and being within the 30-foot height limit.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The subject site does not contain nor is it adjacent to any environmentally sensitive. Therefore the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is designated for low density residential development (5-9 dwelling units per acre) in the Pacific Beach Community Plan and Local Coastal Program. The project proposes a single dwelling unit on a 5,800 square-foot lot for a density of approximately 7.5 dwelling units per acre. The project is therefore consistent with the prescribed use and density of the community plan. The project site is located at the end of a cul-de-sac between a two-story single-family building to the west and a one-story single family building to the east. Development on the block consists of a mix of one and two-story single-family residences with diverse architecture. Behind the building and on top of the slope are larger 4-story multi-family buildings.

A goal of the Residential Element in the community plan is to implement design standards for single-family and multifamily development to ensure that redeveloped properties reflect the scale and character of the neighborhood. The plan also contains a policy to maintain the residential scale of Pacific Beach. The proposed two-story design is articulated both horizontally and vertically. The articulation softens the transition to the single story structure to the east and the two-story structure to the west. The proposed building material creates variation yet compliments the existing homes along the street. Additionally, the proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, and, floor area ratio. Therefore, the proposed development is in conformity with the Pacific Beach Community Plan and Local Coastal Program and complies with the regulations of the certified Land Development Code.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Attachment 6
Draft Resolution with Findings

The project site is located between the First Public Roadway and the Pacific Ocean. The property is located along Pacific View Drive and one quarter of mile east of the Pacific Ocean. Off-site dedicated public access points are located to the west from Loring Street one quarter mile to the west. The proposed site improvement would not encroach on adjacent residential lots. The project would conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act which indicates projects will not impede an any water oriented activity, interfere with coastal dependent aquaculture uses, interfere with coastal access, and not interfere with Coastal areas suited for water-oriented recreational activities that cannot readily be provided at inland water areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 and the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1566715 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1566715, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: February 3, 2016

SAP or WBS Number: 24006234

Attachment 7
Community Planning Group Recommendation

Good Morning,

Just letting you know that we were approved 15-0 last night at PB PLANNING GROUP.

Thanks,
Rebecca

Rebecca Marquez
Golba Architecture Inc
Project Manager
1940 Garnet Avenue Suite 100
San Diego, CA 92109
rmarquez@golba.com
Phone: (619) 231-9905
Fax: (858) 750-3471
Web: www.Golba.com

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OW


 City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Approval Type: Check appropriate box for type of approval (s) requested:
 Neighborhood Use Permit
 Coastal Development Permit
 Neighborhood Development Permit
 Site Development Permit
 Planned Development Permit
 Conditional Use Permit
 Variance
 Tentative Map
 Vesting Tentative Map
 Map Waiver
 Land Use Plan Amendment
 Other _____

Project Title _____ **Project No. For City Use Only**
 672 Pacific View Drive 447980

Project Address:
 666 Pacific View Drive. San Diego, CA 92109

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Benjamin Ryan
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 944 Archer Street
City/State/Zip:
 San Diego, CA 92109
Phone No: 858-431-6102 **Fax No:**
Signature: *Ben Ryan* **Date:** 9/28/15

Name of Individual (type or print):
 Heather Ryan
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 944 Archer Street
City/State/Zip:
 San Diego, CA 92109
Phone No: 858-431-6102 **Fax No:**
Signature: *Heather Ryan* **Date:** 9/28/15

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: _____ **Fax No:** _____

Signature : _____ **Date:** _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: _____ **Fax No:** _____

Signature : _____ **Date:** _____

NOTICE OF EXEMPTION

Environmental Exemption

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT TITLE/ NO.: **PACIFIC VIEW RESIDENCE / 447980**

PROJECT LOCATION-SPECIFIC: 666 Pacific View Drive, San Diego, California 92109

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A COASTAL DEVELOPMENT PERMIT to demolish an existing single-dwelling residence with attached garage, and construct a single-family residence with attached garage, basement, and decks totaling 5,415-square-feet. Various site improvements would also be constructed that include associated hardscape and landscape. The 0.13 acre (5,800-square-feet) project site is located at 666 Pacific View Drive. The land use designation is Low Density Residential (5 - <9 dwelling units per acre). Additionally, the project site is located in the RS-1-7 zone and within the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable), First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Pacific Beach Community Plan and Local Coastal Program. (LEGAL DESCRIPTION: Lot 2 of Tourmaline Terrace Unit No. 1 according to Map No. 5766.)

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Ben Ryan, 944 Archer Street, San Diego, California 92109, (858) 431-6102

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTION: 15302 (REPLACEMENT OR RECONSTRUCTION)
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15302 which consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Furthermore, the exceptions listed in 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: LINDSEY H. SEBASTIAN

TELEPHONE: 619-236-5993

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.



 SIGNATURE/TITLE

January 7, 2016

 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

PROPRIETARY DESIGN, DRAWINGS, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE ENJOYED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PROVIDE CONTRACT OR MANUFACTURE DRAWINGS, PRINTS, APPROPRIATE PARTS OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATED BY GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

672 PACIFIC VIEW DR.

COASTAL DEVELOPMENT PERMIT RESUBMITTAL SET

Prepared By:
Golba Architecture
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fax: (658) 750-3471
contact: Rebecca Marquez

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 12/07/15

Project Addresses:
666 PACIFIC VIEW DR.
SAN DIEGO, CA 92109

Original Date: 09-30-15

Project Name:
672 PACIFIC VIEW DR.

Sheet 1 of 9

Sheet Title:
COVER SHEET



RYAN RESIDENCE
666 PACIFIC VIEW DRIVE
SAN DIEGO, CA 92109



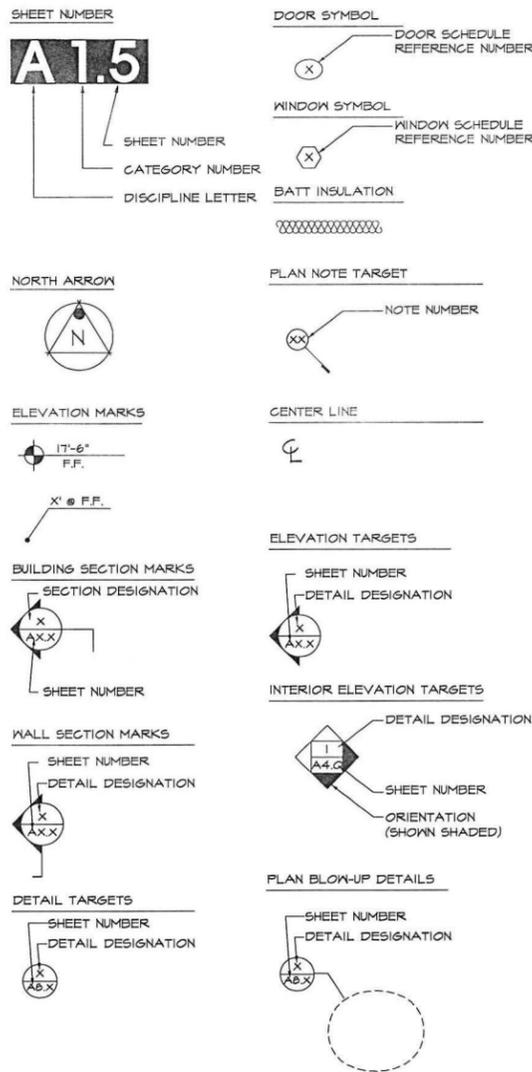
GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED INFILL DEVELOPMENT PROJECT AT 666 PACIFIC VIEW DRIVE RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTAIC SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- ENERGY STAR APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE
- USE OF PERMEABLE PAVING WHERE FEASIBLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

SYMBOLS



ACOUS. ACOUSTICAL	ADJ. ADJUSTABLE	A.F.F. AT FINISHED FLOOR	AGG. AGGREGATE	ALUM. ALUMINUM	ALT. ALTERNATE	A.P. ACCESS PANEL	APPROX. APPROXIMATE	ARCH. ARCHITECTURAL	ASPH. ASPHALT	ASST. ASSISTANT	AUTO. AUTOMATIC																																										
BD. BOARD	BLDG. BUILDING	BOT. BOTTOM	B.U.R. BUILT UP ROOFINGS	CAB. CABINET	CIRC. CIRCULATION	C.L. CENTER LINE	CLR. CLEAR	CLS. CEILING	CL.O. CLOSET	C.M.U. CONCRETE MASONRY UNIT	COL. COLUMN	CONC. CONCRETE	CONF. CONFERENCE	CONN. CONNECTION	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CONTR. CONTRACTOR	COORD. COORDINATE	CORR. CORRIDOR	CPT. CARPET	C.J. CONTROL JOINT	C.T. CERAMIC TILE	C.T.R. CENTER	C.W. COLD WATER																													
DBL. DOUBLE	DEMO. DEMOLITION	DEPT. DEPARTMENT	DIA. DIAMETER	DIA.S. DIAGONAL	DIFF. DIFFUSER	DIM. DIMENSION	DIV. DIVISION	DN. DOWN	D.P. DAMPPROOFING	DR. DOOR	DTL. DETAIL	E. EAST	EA. EACH	EL. ELEVATION	ELA.S. ELASTOMERIC	ELEC. ELECTRICAL	ELEV. ELEVATOR	EMER. EMERGENCY	ENCL. ENCLOSURE	ENGR. ENGINEER	ENT. ENTRANCE	IN. INCH(ES)	ING.AND. INGANDESCENT	INCL. INCLUDED	INSUL. INSULATED	INT. INTERIOR	INTERM. INTERMEDIATE	JAN. JANITOR	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAIN. LAUNDRY	LAV. LAVATORY	LB.(S) POUNDS	L.F. LINEAR FOOT	LT. LIGHT	MACH. MACHINE	MAINT. MAINTENANCE	MAS. MASONRY														
EXP. EXPANSION JOINT	E.E. ELECTRICAL PANEL	EQ. EQUIPMENT	E.M.C. ELECTRIC WATER COOLER	EXH. EXHAUST	EXST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.D. FLOOR DRAIN	FDN. FOUNDATION	F.E. FIRE EXTINGUISHER	F.F. FINISH FLOOR	F.H.C. FIRE HOSE CABINET	FIN. FINISH	FL. FLOOR	FLEX. FLEXIBLE	FLUOR. FLUORESCENT	FT. FOOT	FRUN. FURNITURE	FURR. FURRING	FUT. FUTURE	GA. GAUGE	GALV. GALVANIZED	GEN. GENERAL	GL. GLASS	GND. GROUND	GR. GRADE	GYP. BD. GYPSUM BOARD	H.C. HARD CORE	HDWD. HARDWARE	H.M. HOLLOW METAL	HORZ. HORIZONTAL	HOUR. HOUR	HT. HEIGHT	HT.S. HEATING, VENTILATION	H.V.A.C. HOT WATER	IN. INCH(ES)	ING.AND. INGANDESCENT	INCL. INCLUDED	INSUL. INSULATED	INT. INTERIOR	INTERM. INTERMEDIATE	JAN. JANITOR	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAIN. LAUNDRY	LAV. LAVATORY	LB.(S) POUNDS	L.F. LINEAR FOOT	LT. LIGHT	MACH. MACHINE	MAINT. MAINTENANCE	MAS. MASONRY

ABBREVIATIONS

MATL. MATERIAL	MAX. MAXIMUM	MECH. MECHANICAL	MEMB. MEMBRANE	MEZZ. MEZZANINE	MFR. MANUFACTURER	MIN. MINIMUM	MISC. MISCELLANEOUS	M.O. MASONRY OPENING	MOV. MOVABLE	MTD. MOUNTED	MTL. METAL	MUL. MULLION	N. NORTH	N.I.C. NOT IN CONTRACT	NO. NUMBER	NOM. NOMINAL	N.T.S. NOT TO SCALE	OA. OVERALL	OC. ON CENTER	OD. OUTSIDE DIAMETER	OF.D. OVERFLOW DRAIN	OFF. OFFICE	OH. OVERHEAD	OPNS. OPENINGS	OPP. OPPOSITE	PAV. PAVING	P.C. PRE-CAST	PL. PLATE	PLAM. PLASTIC LAMINATE	PLAS. PLASTER	PLBS. PLUMBING	PLYWD. PLYWOOD	FNT. PAINT	FNL. PANEL	FOL. POLISHED	PROP. PROPERTY	P.S.F. POUNDS PER SQUARE FOOT	P.S.I. POUNDS PER SQUARE INCH	PTD. PAINTED	PTN. PARTITION	PT. POINT	QTY. QUANTITY	R. RUBBER	RECEP. RECEPTION	REINF. REINFORCING	ROY. RIGHT OF WAY	RAD. RADIUS	R.B. RUBBER BASE	R.C.P. REFLECTED CEILING PLAN	R.D. ROOF DRAIN	REG. RECESSED	REF. REFERENCE	REFR. REFRIGERATOR	REINF. REINFORCED	REQD. REQUIRED	RESL. RESULTANT	REV. REVISION	RFG. ROOFINGS	RM. ROOM	R.O. ROUGH OPENING	S. SOUTH	SAN. SANITARY	SCHED. SCHEDULE	SECT. SECTION	SECUR. SECURITY	S.F. SQUARE FOOT	SHR. SHOWER	SHT. SHEET	SIM. SIMILAR	SLO. SLOPE	S.P. STANDPIPE	SPEC. SPECIFICATION	SPKR. SPEAKER	SQ. SQUARE	S.S.T. STAINLESS STEEL	STA. STATION	STD. STANDARD	STL. STEEL	STOR. STORAGE	STRUC. STRUCTURAL	SUSP. SUSPENDED	SYM. SYMMETRICAL	T. TREAD	T.O. TOP OF	T.O. TOP OF	T.A.B. TOP AND BOTTOM	T.&G. TONGUE AND GROOVE	TEL. TELEPHONE	TEMP. TEMPERED	TER. TERRAZZO	THK. THICK	TLT. TOILET	TOPO. TOPOGRAPHY	TV. TELEVISION	TYP. TYPICAL	UNEXG. UNEXGAVATED	UNF. UNFINISHED	UNO. UNLESS OTHERWISE NOTED	UTL. UTILITY	VAC. VACUUM	V.C.T. VINYL COMPOSITION TILE	VENT. VENTILATION	VERT. VERTICAL	VEST. VESTIBULE	V.I.F. VERIFY IN FIELD	VOL. VOLUME	V.T. VINYL TILE	W. WEST	W.C. WATER CLOSET	WD. WOOD	WF. WIDE FLANGE	WH. WATER HEATER	WIN. WINDOW	WM. WIRE MESH	WTP.S. WATERPROOFING	WT. WATER	W.W.F. WELDED WIRE MESH	YD. YARD
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PROJECT DATA

PROJECT DESCRIPTION: SCOPE OF WORK INCLUDES A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE FAMILY RESIDENCE IN ATTACHED GARAGE AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE IN ATTACHED GARAGE. SCOPE ALSO PROPOSES AN ADDRESS CHANGE FROM 666 PACIFIC VIEW DRIVE TO 672 PACIFIC VIEW DRIVE.

SITE ADDRESS: 666 PACIFIC VIEW DRIVE SAN DIEGO, CA 92104

ASSESSORS PARCEL NUMBER: 415-640-02

LEGAL DESCRIPTION: MAP NO. 5166, LOT 2

EXISTING SOIL CONDITIONS: PREVIOUSLY DISTURBED

YEAR EXISTING STRUCTURES BUILT: 1956 (DEEMED NON-HISTORIC, SEE PTS# 445486)

LOT ZONING: RS-1-T

LOT SIZE: 5,800 S.F.

ALLOWABLE FAR: 3,422 S.F. (0.59 X 5,800.44 S.F.)

OCCUPANCY: R-3

BUILDING CODES: 2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA GREEN BUILDING CODE

CONSTRUCTION TYPE: TYPE VB, SPRINKLERED (NFPA 13D) *SPRINKLERS TO BE DEFERRED

APPROVAL TYPE: PROCESS 3 APPEALABLE

GEOLOGIC HAZARD CATEGORY: ZONE 52

ZONING OVERLAYS: COASTAL HEIGHT LIMITATION OVERLAY ZONE, THE COASTAL OVERLAY ZONE (APPEALABLE AREA), THE FIRST PUBLIC ROADWAY, THE PARKING IMPACT OVERLAY ZONE (BEACH IMPACT AREA), THE RESIDENTIAL TANDEM PARKING OVERLAY ZONE, THE TRANSIT AREA OVERLAY ZONE AND THE PACIFIC BEACH COMMUNITY PLAN AND LOCAL COASTAL PROGRAM AREA

FIRE SPRINKLER NOTES:
THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.
TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLTION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

PROJECT DIRECTORY

GENERAL
T1.0 COVER SHEET
T1.1 LEGEND AND PROJECT DATA

CIVIL
C1 TOPOGRAPHICAL SURVEY

ARCHITECTURAL
A0.0 PROPOSED SITE PLAN
A1.0 PROPOSED BASEMENT PLAN & 1ST FLOOR PLAN
A1.1 PROPOSED 2ND FLOOR PLAN & ROOF DECK PLAN
A2.0 ELEVATIONS
A2.1 ELEVATIONS
A3.0 SITE SECTIONS

SELF-CERTIFICATION STATEMENT

HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
 - I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
 - I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
 - MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
 - SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
 - IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED, AND
 - THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER I, SECTION 4.
- RESPONSIBLE CERTIFIED PROFESSIONAL NAME:

SIGNATURE: DATE:

SQUARE FOOTAGE TOTALS:

ALLOWABLE FAR: 3,422 S.F. (0.59 X 5,800 S.F.)

GROSS FOOTAGE:
BASEMENT = 1,464 S.F.
GARAGE = 415 S.F.
FIRST FLOOR = 1,501 S.F.
SECOND FLOOR = 1,505 S.F.
GROSS FOOTAGE = 4,885 S.F.

F.A.R. CALCULATION:
GARAGE = 415 S.F.
FIRST FLOOR = 1,501 S.F.
SECOND FLOOR = 1,505 S.F.
TOTAL = 3,421 S.F.

TOTAL LIVING AREA = 3,421 S.F. < 3,422 S.F. ALLOWABLE

DECKS:
ROOF DECK = 472 S.F.
MASTER DECK = 58 S.F.

PARKING CALCULATIONS:
2 PARKING SPACES PROVIDED FOR SINGLE FAMILY RESIDENCE

BUILDING HEIGHT ALLOWED: 30'-0"
BUILDING HEIGHT PROPOSED: 27'-6"

PROJECT TEAM

OWNER: BENJAMIN & HEATHER RYAN
TEL. (658) 750-3461

ARCHITECT: GOLBA ARCHITECTURE, INC.
1940 GARNET AVE. #100
SAN DIEGO, CA 92104
TEL. (619) 231-9905
CONTACT: REBECCA MARQUEZ

Prepared By: Golba Architecture
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San Diego, CA 92104
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fax: (658) 750-3471
contact: Rebecca Marquez

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 12/07/15

Project Addresses: 666 PACIFIC VIEW DR. SAN DIEGO, CA 92104

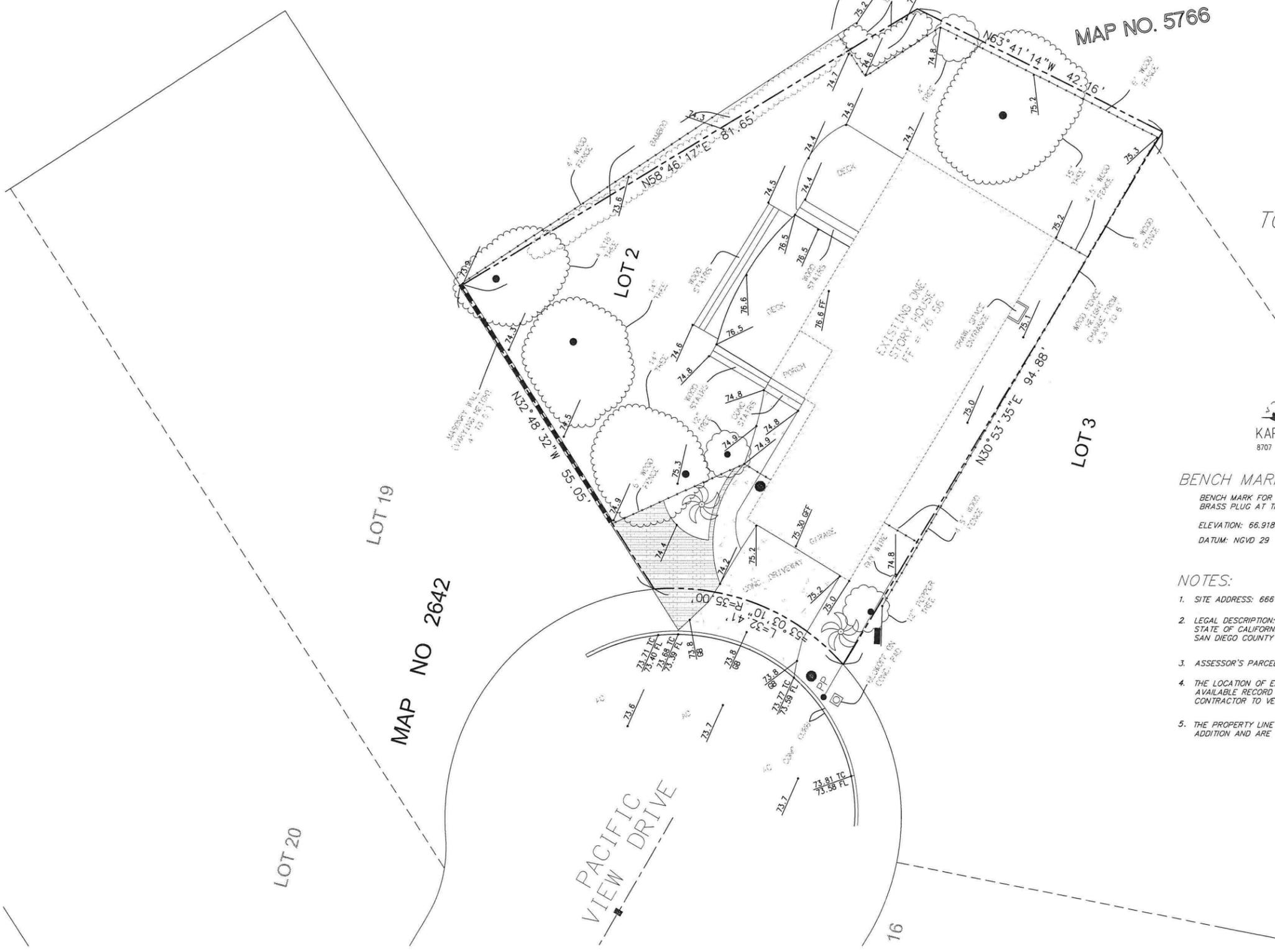
Original Date: 09-30-15

Project Name: 672 PACIFIC VIEW DR.

Sheet 2 Of 9

Sheet Title:

PROJECT DATA



MAP NO. 5766

LOT 19
MAP NO 2642

LOT 20

PACIFIC VIEW DRIVE

TOPOGRAPHIC SURVEY OF

666 PACIFIC VIEW DRIVE
SAN DIEGO, CA 92109
JUNE 6, 2015



BENCH MARK:

BENCH MARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG AT THE NORTHEAST CORNER OF BERYL STREET AND MISSION BLVD.
ELEVATION: 66.918 MSL
DATUM: NGVD 29

NOTES:

1. SITE ADDRESS: 666 PACIFIC VIEW DRIVE, SAN DIEGO, CA.
2. LEGAL DESCRIPTION: LOT 2 OF TOURMALINE TERRACE UNIT NO. 1 IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO THE MAP THEREOF NO. 5766, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER JULY 29, 1966.
3. ASSESSOR'S PARCEL NO. 415-640-02
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
5. THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE TAKEN FROM HORTON'S ADDITION AND ARE SUBJECT TO VERIFICATION BY A FIELD SURVEY.

Prepared By:
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phone: (619) 231-9905
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contact: Rebecca Marquez

Revision 7:
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Revision 1: 12/07/15

Project Addresses:
666 PACIFIC VIEW DR.
SAN DIEGO, CA 92109

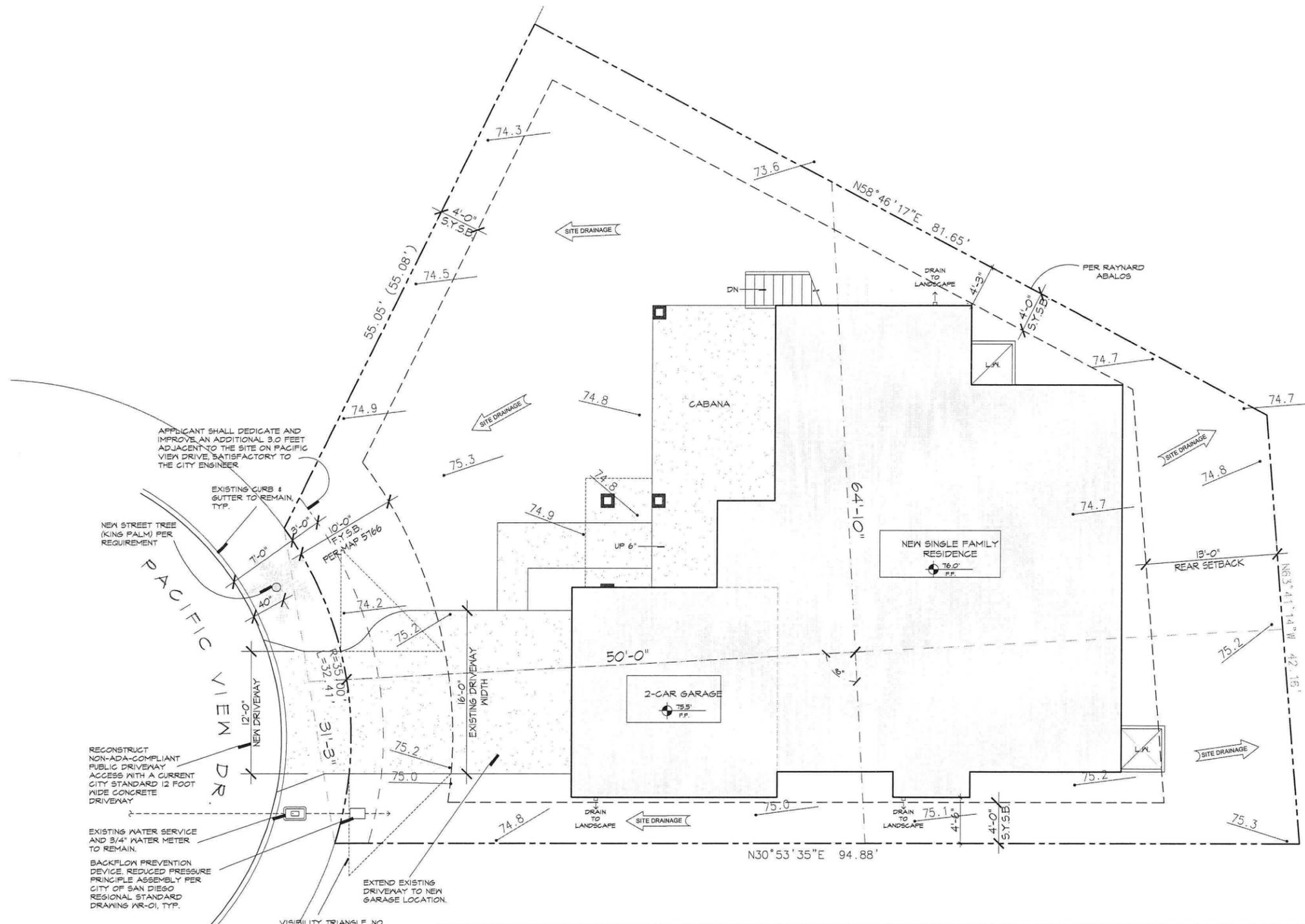
Original Date: 09-30-15

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672 PACIFIC VIEW DR.

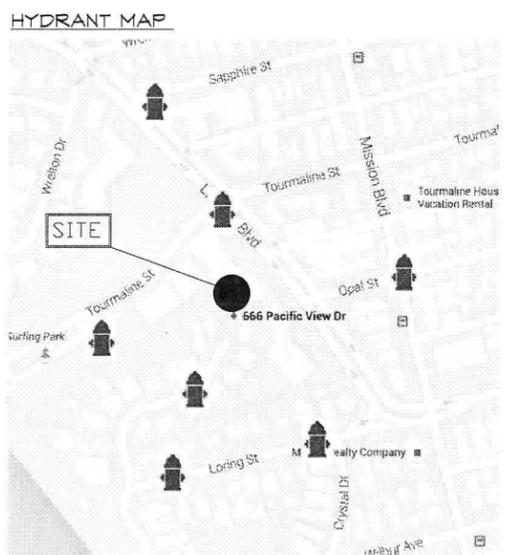
Sheet 3 Of 9

Sheet Title:
SURVEY





NOTE:
STORM WATER RUNOFF ON SITE WILL BE DISPERSED TO LANDSCAPED AREAS. IMPERVIOUS FOOTPRINT ON SITE HAS BEEN MINIMIZED. SEE WATER QUALITY STUDY FOR MORE INFORMATION.



PROPOSED SITE PLAN
SCALE: 3/16"=1'-0"

SPECIAL NOTE #1:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

SPECIAL NOTE #2:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

SPECIAL NOTE #3:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

EARTHWORK QUANTITIES:
CUT QUANTITIES: 0 [CYD]
FILL QUANTITIES: 0 [CYD]
EXCAVATED FOR BASEMENT: 378 [CYD]
IMPORT/EXPORT QUANTITIES: 378 [CYD] EXPORT
MAX. CUT DEPTH: 9'
MAX. FILL DEPTH: 0'

SIDE SETBACKS
LOT WIDTH = (64'-10" + 31'-3") / 2 = 48'-0 1/2"
48'-0 1/2" X 0.08 (SDMC 131.043) TABLE
131-04D) = 3.84' SIDE SETBACK
MINIMUM SIDE SETBACK = 4'-0"

LEGEND

---	INDICATES PROPERTY LINE
- - -	INDICATES SETBACK LINE
- - - - -	LINE OF STRUCTURE ABOVE
[]	NEW SINGLE FAMILY RESIDENCE

NOTES:

- NO EASEMENTS ARE KNOWN TO EXIST OR ARE PROPOSED FOR THE SITE.
- NO BUS STOPS EXIST OR ARE PROPOSED FOR THE SITE.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (LFC 901.4.4).

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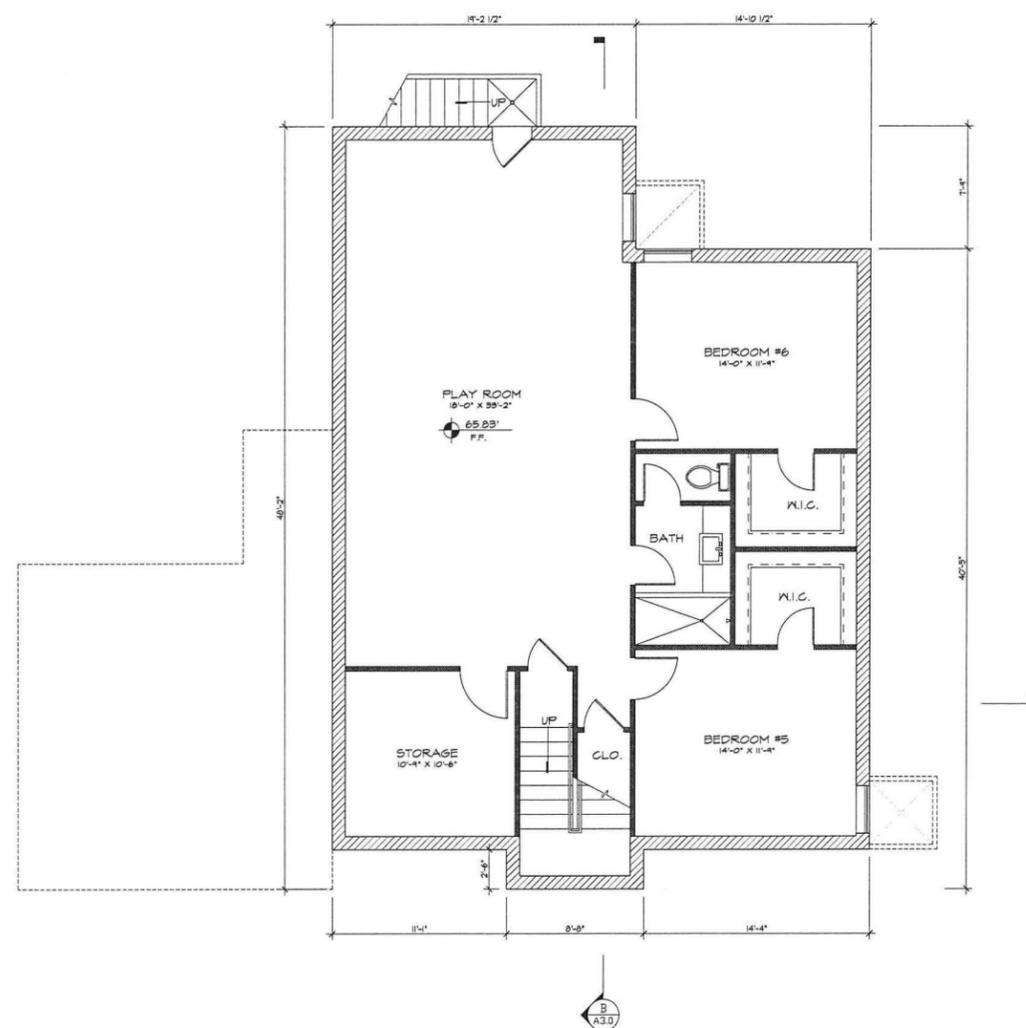
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SAN DIEGO, CA 92109

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672 PACIFIC VIEW DR.

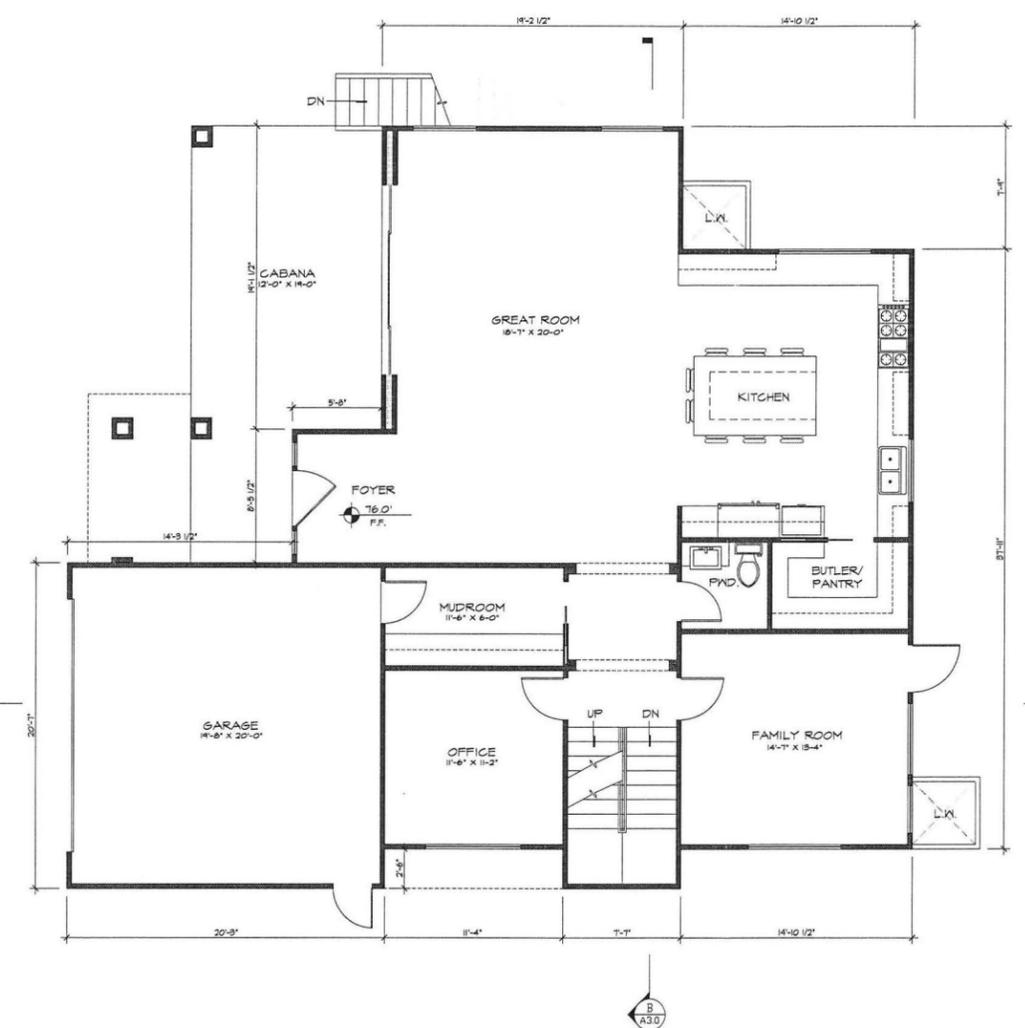
Original Date: 09-30-15

Sheet 4 Of 9

Sheet Title:
SITE PLAN



PROPOSED BASEMENT PLAN
SCALE: 3/16"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

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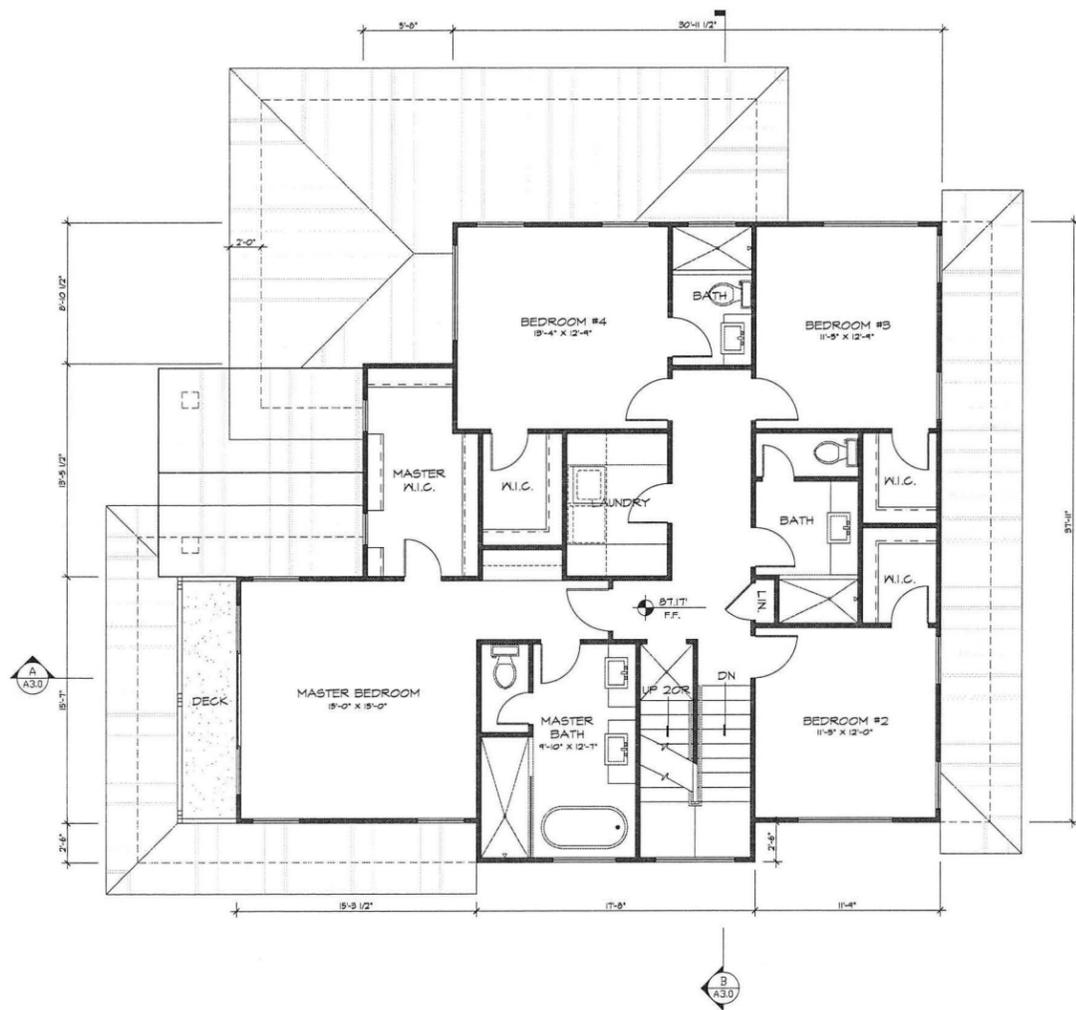
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672 PACIFIC VIEW DR.

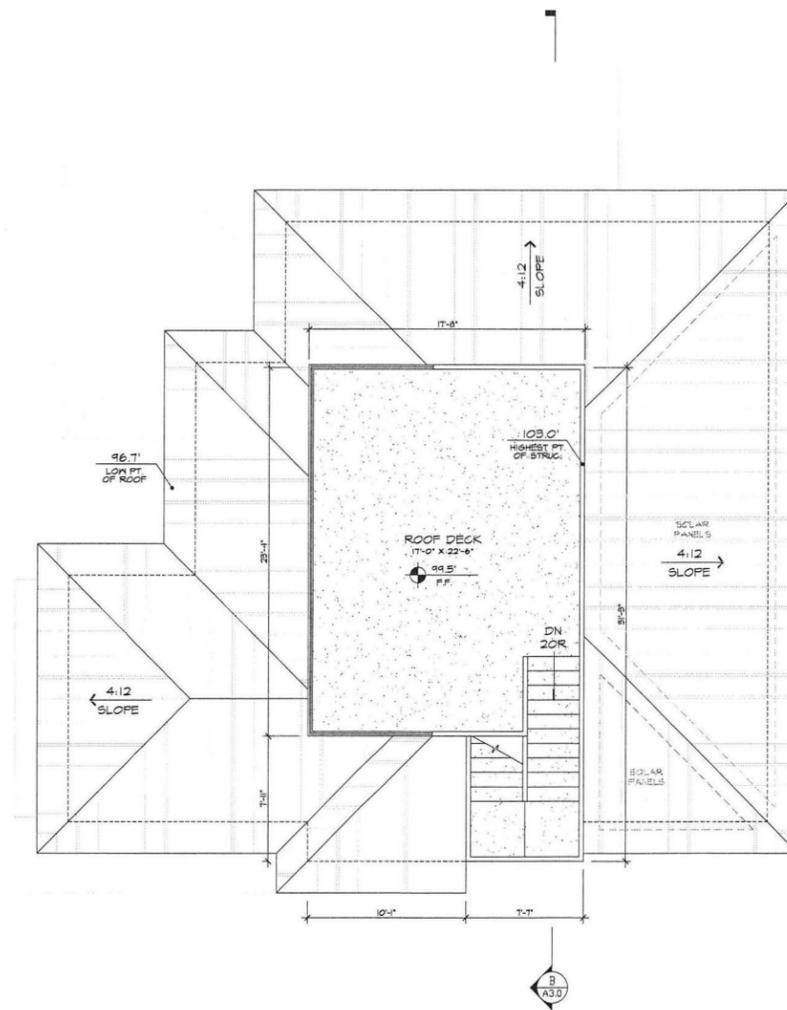
Original Date: 09-30-15

Sheet 5 Of 9

FLOOR PLANS



PROPOSED SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



PROPOSED ROOF DECK PLAN
SCALE: 3/16"=1'-0"



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Project Addresses:
666 PACIFIC VIEW DR.
SAN DIEGO, CA 92109

Original Date: 09-30-15

Project Name:
672 PACIFIC VIEW DR.

Sheet 6 Of 9

Sheet Title:
FLOOR PLANS



Arch
1940
Phor

RYAN RESIDENCE
666 PACIFIC VIEW DRIVE
SAN DIEGO, CA 92109



A1.1



PROPOSED SOUTHWEST ELEVATION

SCALE: 3/16"=1'-0"



PROPOSED SOUTHEAST ELEVATION

SCALE: 3/16"=1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT,
OR ANY VENT, PIPE, ANTENNA, OR OTHER
PROJECTION SHALL NOT EXCEED 30'-0"
ABOVE THE GRADE.

NOTE:
PROPERTY IS UNDER THE PROP. D HEIGHT
MEASUREMENT

Prepared By:
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contact: Rebecca Marquez

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 12/07/15

Project Addresses:
666 PACIFIC VIEW DR.
SAN DIEGO, CA 92109

Original Date: 09-30-15

Project Name:
672 PACIFIC VIEW DR.

Sheet 7 Of 9

Sheet Title:
ELEVATIONS



PROPOSED NORTHWEST ELEVATION

SCALE: 3/16"=1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE: 3/16"=1'-0"

NOTE:
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OR ANY VENT, PIPE, ANTENNA, OR OTHER
PROJECTION SHALL NOT EXCEED 30'-0"
ABOVE THE GRADE.

NOTE:
PROPERTY IS UNDER THE PROP. D HEIGHT
MEASUREMENT

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Revision 7:
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Project Addresses:
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SAN DIEGO, CA 92109

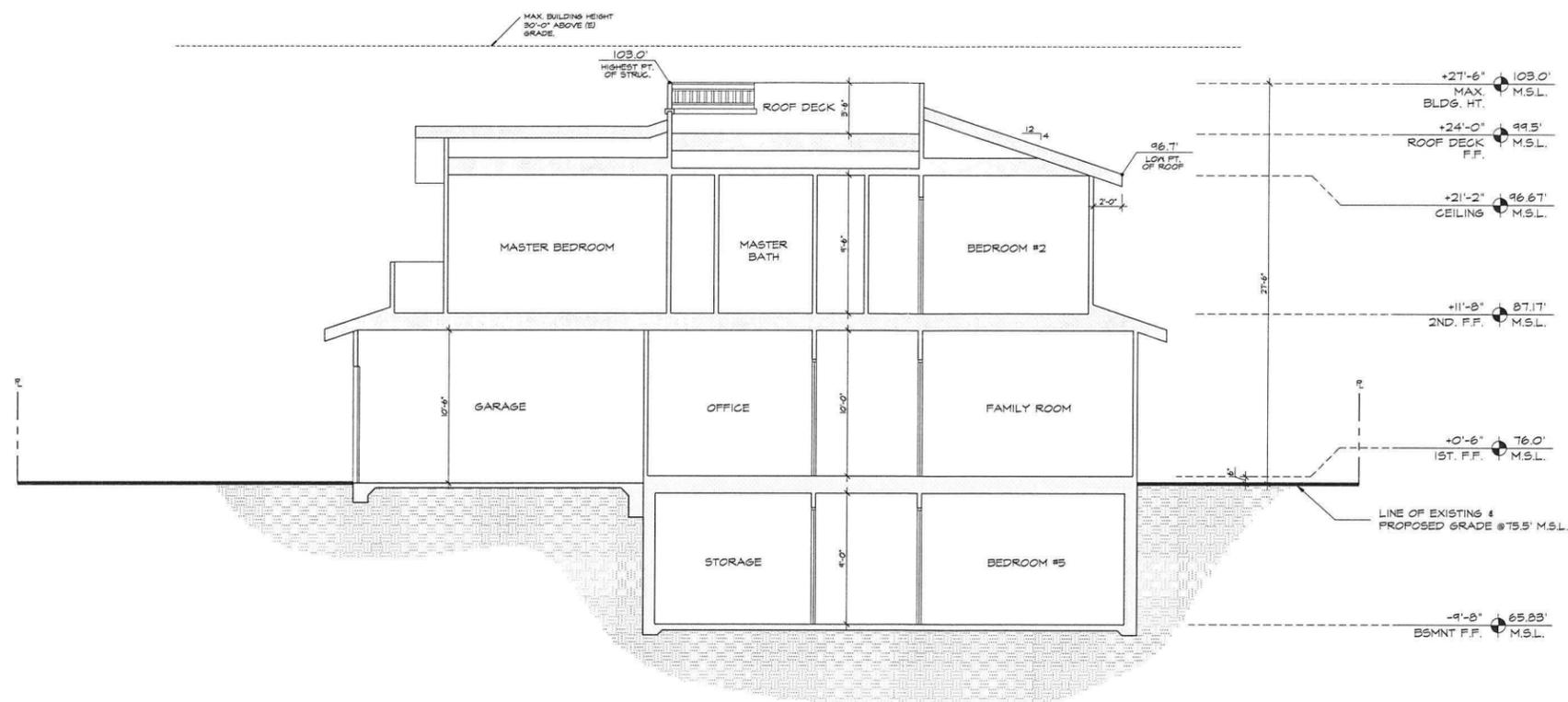
Original Date: 09-30-15

Project Name:
672 PACIFIC VIEW DR.

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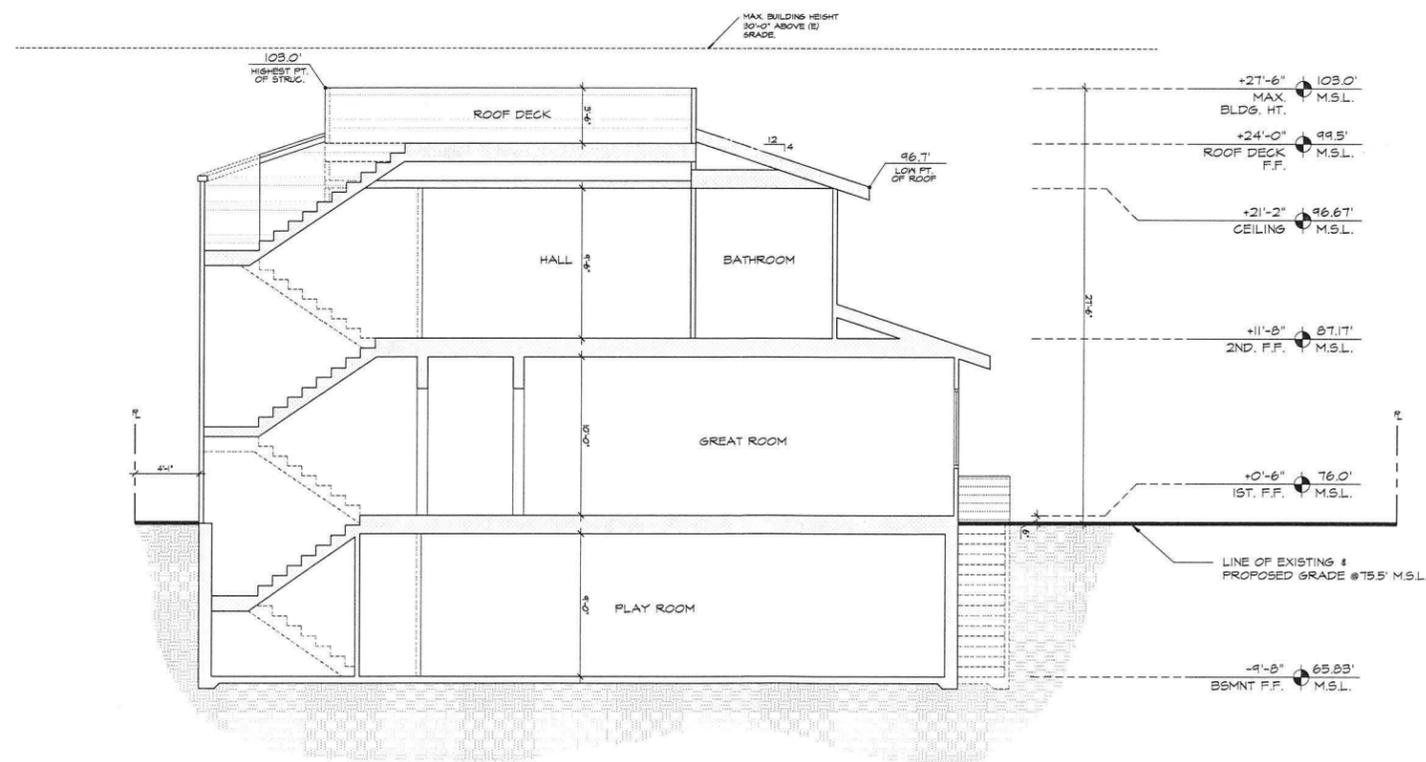
Sheet Title:
ELEVATIONS





SECTION 'A'

SCALE: 3/16"=1'-0"



SECTION 'B'

SCALE: 3/16"=1'-0"

NOTE:
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NOTE:
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Sheet Title:
SECTIONS

