



THE CITY OF SAN DIEGO

Report to the Hearing Officer

HEARING DATE: March 23, 2016 REPORT NO. HO 16-018

SUBJECT: Tangiers Court SDU CDP

PROJECT NUMBER: 430486

LOCATION: 824 Tangiers Court

APPLICANT: Scot Frontis

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit to demolish an existing single family home and construct a new single family home located at 824 Tangiers Court in the Mission Beach Precise Plan area (Community Plan).

Staff Recommendation: APPROVE Coastal Development Permit No. 1510517

Community Planning Group Recommendation: On February 16, 2016, the Mission Beach Precise Planning Board voted 10-0-0 to recommend approval of the project without conditions.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 9, 2016, and the opportunity to appeal that determination ended February 23, 2016.

BACKGROUND

The project proposes the demolition of an existing single family home and development of a new, 1,470-square-foot, three story single family home with attached garage. The 0.03 -acre site is located at 824 Tangiers Court in the R-N zone of Mission Beach Planned District within the Mission Beach Precise Plan area. The site is within the Coastal Overlay Zone (Appealable to the California Coastal Commission), and the Coastal Height Overlay Zone, within the Mission Beach Community Plan area.

The existing single story single family residence was constructed in 1941. A review of the existing home/site was conducted by City staff to determine if potential significant historic resources exist on the site in accordance with San Diego Municipal Code (SDMC) Section 143.0212. Based on the documentation provided, staff determined that the property does not meet local designation criteria as an individually significant historic resource under any adopted Historic Resource Board Criteria.

The project requires a Coastal Development Permit Process Three, appealable to the California Coastal Commission, for a coastal development pursuant to San Diego Municipal Code section 126.0707. The project is surrounded by multifamily residential development.

DISCUSSION

Project Description:

The proposed project includes the demolition of an existing single family dwelling unit and construction of a new single family home totaling 1,470 square feet over with a 369 square-foot, two car garage. The new home would include four bedrooms, kitchen, laundry room, and family room. The attached garage will provide parking for two cars accessed from Bayside Lane.

As a component of the proposed project, the home will utilize renewable energy technology, self generating at least 50% of the projected total energy consumption on site through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The photovoltaic system will be located on a portion of the roof. Additional environmental conservation elements for the project include the planting of native drought tolerant landscaping with efficient irrigation technology.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in the San Diego Municipal Code (SDMC) section 113.0103. The project proposes a maximum building height of 28 feet 6 inches making the project within the 30' maximum height limit allowed under the Coastal Height Overlay Zone and Citywide zoning requirements. The project is not requesting nor does it require any deviations or variances from the applicable regulations, and the project is consistent with the recommended land use designation policy document, design guidelines, and development standards in effect for the site. Because the project utilizes renewable technologies, it qualifies as a sustainable building, and the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Community Plan Analysis

The site is designated for residential uses. The project is consistent with the land use designations of the Mission Beach Precise Plan by continuing to maintain an existing single family residence without increasing the density range of 36 dwelling units per acre. The addition would meet the goals of the Mission Beach Precise Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed addition will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, parking, landscape, and floor area ratio.

Conclusion

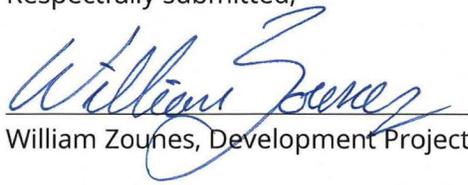
Staff has determined that the project complies with the development regulations of the Mission Beach Planned District and all other applicable sections of the San Diego Municipal Code. Staff has

determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1510517, with modifications.
2. Deny Coastal Development Permit No. 1510517, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



William Zounes, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Resolution with Findings
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Environmental Exemption
10. Project Plans



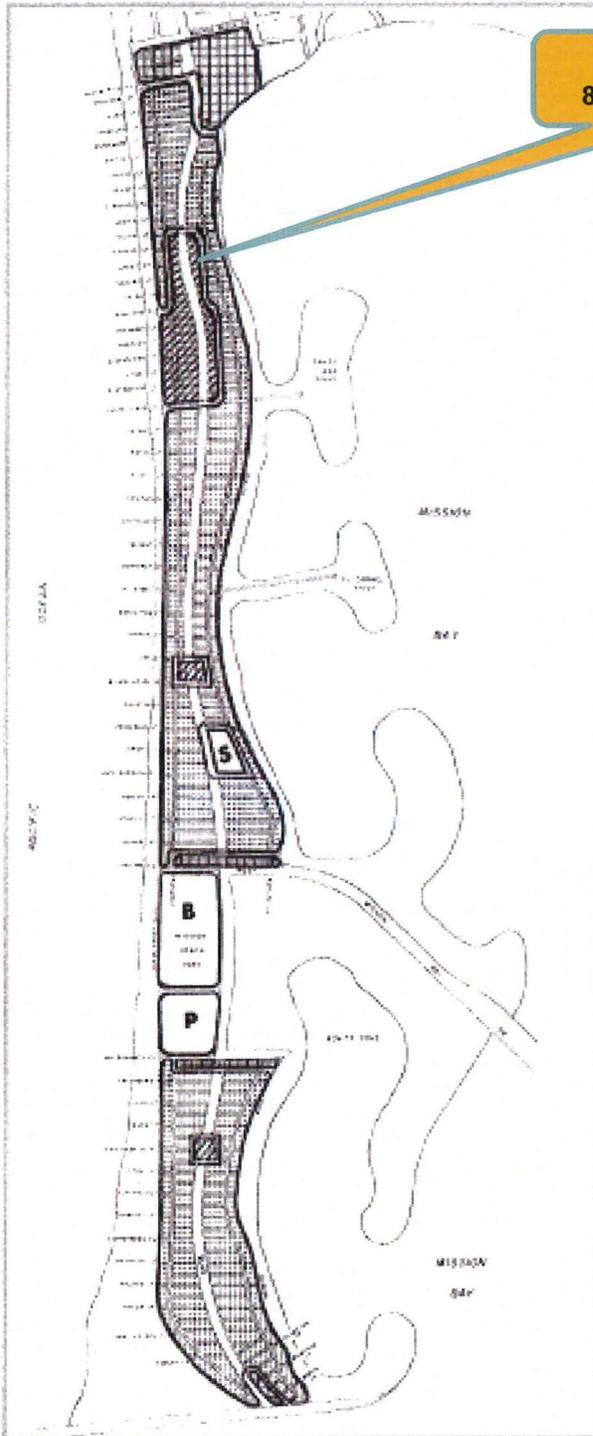
Project Site
824 Tangiers Court



Aerial Photograph (Birds Eye)
Tangiers Court SDU CDP Project No. 430486
824 Tangiers Court

Attachment 1
Aerial Photograph of Site

Attachment 2 Mission Beach Land Use plan



**Project Site
824 Tangiers Court**

legend

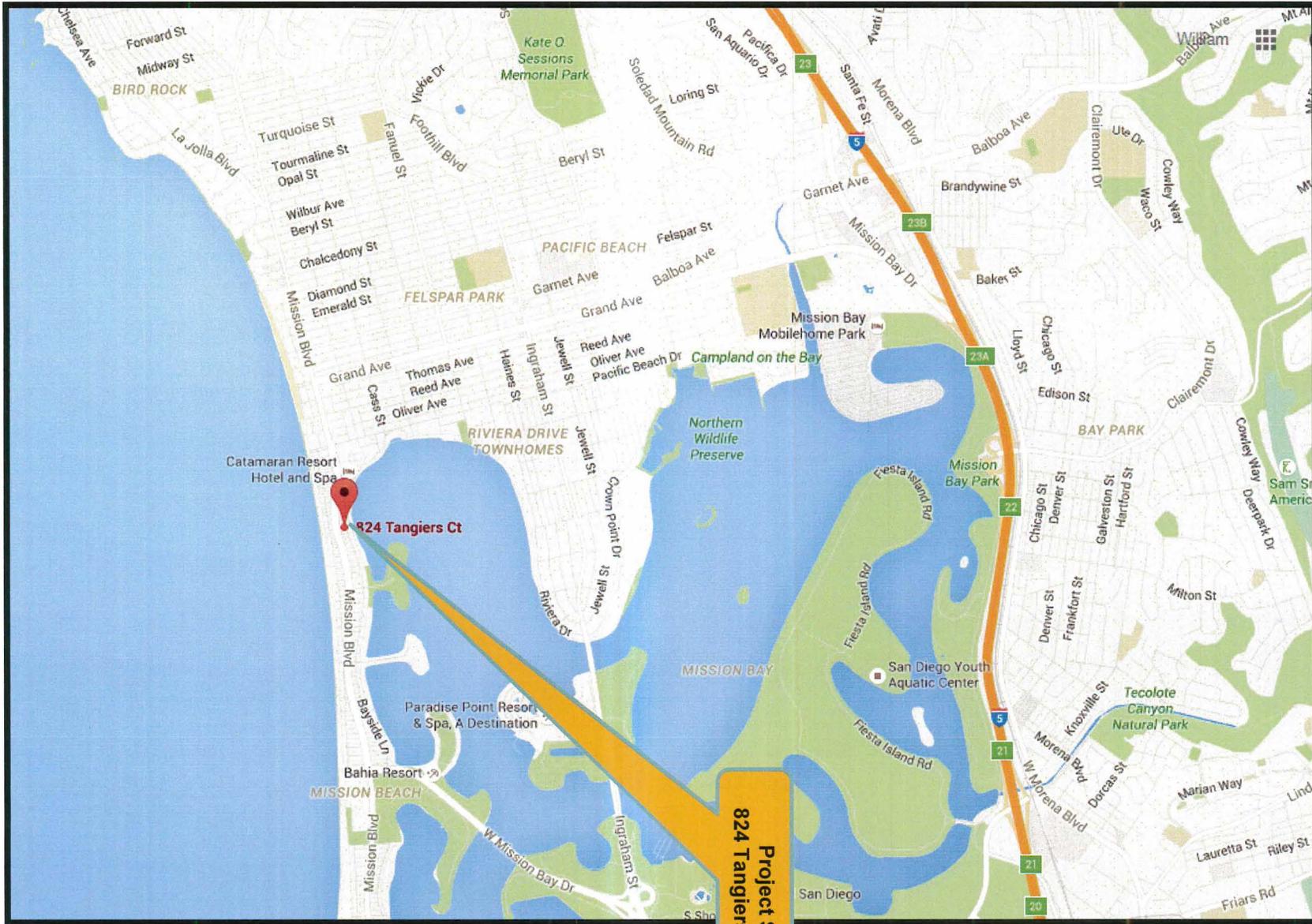
-  residential (36 units per acre)
-  neighborhood commercial
-  commercial recreation
-  public facilities
-  parking
-  belmont amusement park
-  school

Land Use Plan
Tangiers Court SDU CDP Project No. 430486
824 Tangiers Court



Mission Beach Land Use Plan
Mission Beach Precise Plan





Project Site
824 Tangiers Court

Project Location Map

Tangiers Court SDU CDP Project No. 430486
 824 Tangiers Court



Attachment 3
Project Location Map

PROJECT DATA SHEET

| | | |
|---|---|--------------------------|
| PROJECT NAME: | Tangiers Court SDU CDP | |
| PROJECT DESCRIPTION: | Coastal Development Permit to demolish an existing single family home and development of a new, 1,470-square-foot, three story single family home with attached garage. | |
| COMMUNITY PLAN AREA: | Mission Beach | |
| DISCRETIONARY ACTIONS: | Coastal Development Permit | |
| COMMUNITY PLAN LAND USE DESIGNATION: | Residential | |
| <u>ZONING INFORMATION:</u> | | |
| ZONE: RN | | |
| HEIGHT LIMIT: 30 feet | | |
| LOT SIZE: 1,350 square feet | | |
| FLOOR AREA RATIO: 0.99 maximum. | | |
| FRONT SETBACK: 10 feet. | | |
| SIDE SETBACK: 3/5 feet | | |
| STREETSIDE SETBACK: 0 feet. | | |
| REAR SETBACK: 0 feet | | |
| PARKING: 2 spaces required | | |
| <u>ADJACENT PROPERTIES:</u> | LAND USE DESIGNATION & ZONE | EXISTING LAND USE |
| NORTH: | Residential; RN | Residential dwellings |
| SOUTH: | Residential; RN | Residential Development |
| EAST: | Residential; RN | Mission Bay |
| WEST: | Residential; RN | Residential Development |
| DEVIATIONS OR VARIANCES REQUESTED: | None | |
| COMMUNITY PLANNING GROUP RECOMMENDATION: | On February 16, 2016, the Mission Beach Precise Planning Board voted 10-0-0 to recommend approval of the project without conditions. | |

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1510517
TANGIERS COURT CDP PROJECT NO. 430486
HEARING OFFICER

This Coastal Development Permit No. 1510517 is granted by the Hearing Officer of the City of San Diego to MARLA SCHMITTER, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.03 -acre site is located at 824 Tangiers Court in the R-N zone of the Mission Beach Planned District within the Mission Beach Precise Plan (Community Plan) area. The project site is legally described as Lot G, Block 216, Map 1809 of Mission Beach Altered Map;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single family residence and construct a new single family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 23, 2016 on file in the Development Services Department.

The project shall include:

- a. The demolition of a 733 square-foot, single family home and construction of a 1,470 square-foot, three-story single family home with attached two-car garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 7, 2019.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard

Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A", satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of construction permits for buildings, the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Mission Beach Planned District Ordinance [LDC 1513.0402] and the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

19. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Final Landscape Inspection.

21. The Permittee or Subsequent Owner shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in Section 132.0403(e) of the Land Development Code [LDC], Coastal Overlay Zone Regulations.

Landscaping materials shall not encroach or overhang into the Courts and Places rights-of-way below a height of 8 feet above the finish surface or finish grade, as measured at the trunk [LDC 1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

22. A minimum of two off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 23, 2016.

**Attachment 5
Draft Permit with Conditions**

Permit Type/PTS Approval No.: CDP No. 1510517
Date of Approval: March 23, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
MARLA SCHMITTER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. XXXXXX
COASTAL DEVELOPMENT PERMIT NO. 1510517
TANGIERS COURT CDP PROJECT NO. 430486

WHEREAS, MARLA SCHMITTER, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single family residence and construct a new single family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1510517), on portions of a 0.03-acre site;

WHEREAS, the project site is located at 824 Tangiers Court in the R-N zone of Mission Beach Planned District within the Mission Beach Precise Plan (Community Plan) area;

WHEREAS, the project site is legally described as Lot G, Block 216, Map 1809 of the Mission Beach Altered Map;

WHEREAS, on March 23, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1510517 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 9, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15302 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 23, 2016.

FINDINGS:

Coastal Development Permit Findings SDMC section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

All of the proposed development will be contained within the existing disturbed, previously developed and graded site. The project site has no existing physical coastal access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program (LCP) land use plan. The proposed building would conform to the maximum 30-foot Coastal Height Limit allowed by the zone. The subject property is not identified in the LCP land use plan as a public accessway. The project site is bounded by single family and multi-family residential development. The project is completely contained within the private property, and as

such, the project would not encroach upon any existing physical access way. The nearest public access to Mission Bay is from Tangier Court adjacent to the project.

The Mission Beach Precise Plan does not identify a public view corridor along Tangier Court adjacent to the project. The proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan by not encroaching into any scenic coastal area or public views.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located in a built, urban environment, and does not contain any environmentally sensitive lands. The project is not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). Across Bayside Walk is Mission Bay with an associated sandy beach. As such, the project is conditioned to provide a Water Pollution Control Plan (WPCP) prior to the issuance of a building permit to ensure possible runoff during construction is being collected and not deposited into Mission Bay. Therefore the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project is consistent with the land use designations of the Mission Beach Precise Plan by continuing to maintain an existing single family home use without increasing the density range of 36 dwelling units per acre as identified within the Mission Beach Precise Plan. The addition would meet the goals of the Mission Beach Precise Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed addition will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, parking, landscape and floor area ratio. Therefore, the proposed development is in conformity with the Mission Beach Precise Plan and Local Coastal Program and complies with the regulations of the certified Land Development Code.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The site does not contain a physical public access way and is not located between the sea and the nearest public road. The project does not propose to encroach into any public access way to the ocean and all improvements and additions will be contained on site. The project is a private development on privately owned land. The project would conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act which indicates projects will not impede an any water oriented activity, interfere with coastal dependent aquaculture uses, interfere with coastal access, and not interfere with Coastal areas suited for water-oriented recreational activities that cannot readily be provided at inland water areas. Therefore, the coastal

development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

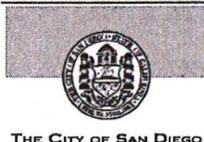
BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1510517 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1510517, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: March 23, 2016

SAP Number: 24004990

Attachment 7
Community Planning Group Recommendation

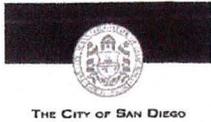


City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

**Community Planning
Committee
Distribution Form Part 2**

| | | | |
|--|--|---|---|
| Project Name: Tangiers Ct. SDU CDP | | Project Number: 430486 | Distribution Date: 07/24/2015 |
| Project Scope/Location: MISSION BEACH *SUSTAINABLE EXPEDITE PRG* (Process 3) Coastal Development Permit to demolish an existing residence and construct a new 3-story 1,839 sq ft residence with attached garage and roof deck at 824 Tangiers Ct. The 0.045 acre site is in the R-N zone of the Mission Beach Planned District, Coastal (Appealable) overlay zone within the Mission Beach Community Plan Area. Council District 2. | | | |
| Applicant Name: | | Applicant Phone Number: | |
| Project Manager: Alexander Hempton | Phone Number: (619) 446-5349 | Fax Number: (619) 446-5245 | E-mail Address: |
| Committee Recommendations (To be completed for Initial Review): | | | |
| <input checked="" type="checkbox"/> Vote to Approve | Members Yes 10 | Members No 0 | Members Abstain — |
| <input type="checkbox"/> Vote to Approve With Conditions Listed Below | Members Yes | Members No | Members Abstain |
| <input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below | Members Yes | Members No | Members Abstain |
| <input type="checkbox"/> Vote to Deny | Members Yes | Members No | Members Abstain |
| <input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.) | | | <input type="checkbox"/> Continued |
| CONDITIONS: | | | |
| NAME: MIKE MEYER | | TITLE: PLAN REVIEWER | |
| SIGNATURE: <i>Mike Meyer</i> | | DATE: 2-21-16 | |
| <i>Attach Additional Pages If Necessary.</i> | | Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101 | |
| Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities. | | | |

Attachment 8
Ownership Disclosure Statment



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Tangiers Residence 430486

Project Address:
 824 Tangiers Court, San Diego, CA 92109

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Marla Schmitter
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
 PO Box 8621
City/State/Zip:
 La Jolla, CA, 92038
Phone No: _____ **Fax No:** _____
Signature: **Date:** _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
Street Address:

City/State/Zip:

Phone No: _____ **Fax No:** _____
Signature : _____ **Date:** _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
Street Address:

City/State/Zip:

Phone No: _____ **Fax No:** _____
Signature : _____ **Date:** _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
Street Address:

City/State/Zip:

Phone No: _____ **Fax No:** _____
Signature : _____ **Date:** _____

NOTICE OF EXEMPTION

Attachment 9
Environmental Exemption

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT TITLE/ No.: **TANGIERS COURT / 430486**

PROJECT LOCATION-SPECIFIC: **824 Tangiers Court, San Diego, California 92109**

PROJECT LOCATION-CITY/COUNTY: **San Diego/San Diego**

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A COASTAL DEVELOPMENT PERMIT to demolish an existing 773-square-foot, one-story single-dwelling residence, and construct a three-story, 1,839-square-foot single-dwelling residence with roof deck and attached two-car garage. Various site improvements would also be constructed that include associated hardscape and landscape. The proposed project would conform to the Council Policy 900-14 criteria by generating 50 percent or more of the projected total energy consumption on site through renewable energy resources (i.e. photovoltaic). The 0.031 acre project site is located at 824 Tangiers Court. The project site is designated Residential (maximum density of 36 dwelling units per acres) and within the R-N zone of the Mission Beach Planned District. Additionally, the project site is within the Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Mission Beach Precise Plan. (LEGAL DESCRIPTION: Lot G, Block 216 according to Map No. 1809 of Mission Beach Altered Map.)

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Marla Schmitter, PO Box 8621, La Jolla, California 92038, (858) 837-2078

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15302 (REPLACEMENT OR RECONSTRUCTION)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15302 that consists of replacement or reconstruction of existing facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Furthermore, the exceptions listed in 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: LINDSEY H. SEBASTIAN

TELEPHONE: 619-236-5993

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.



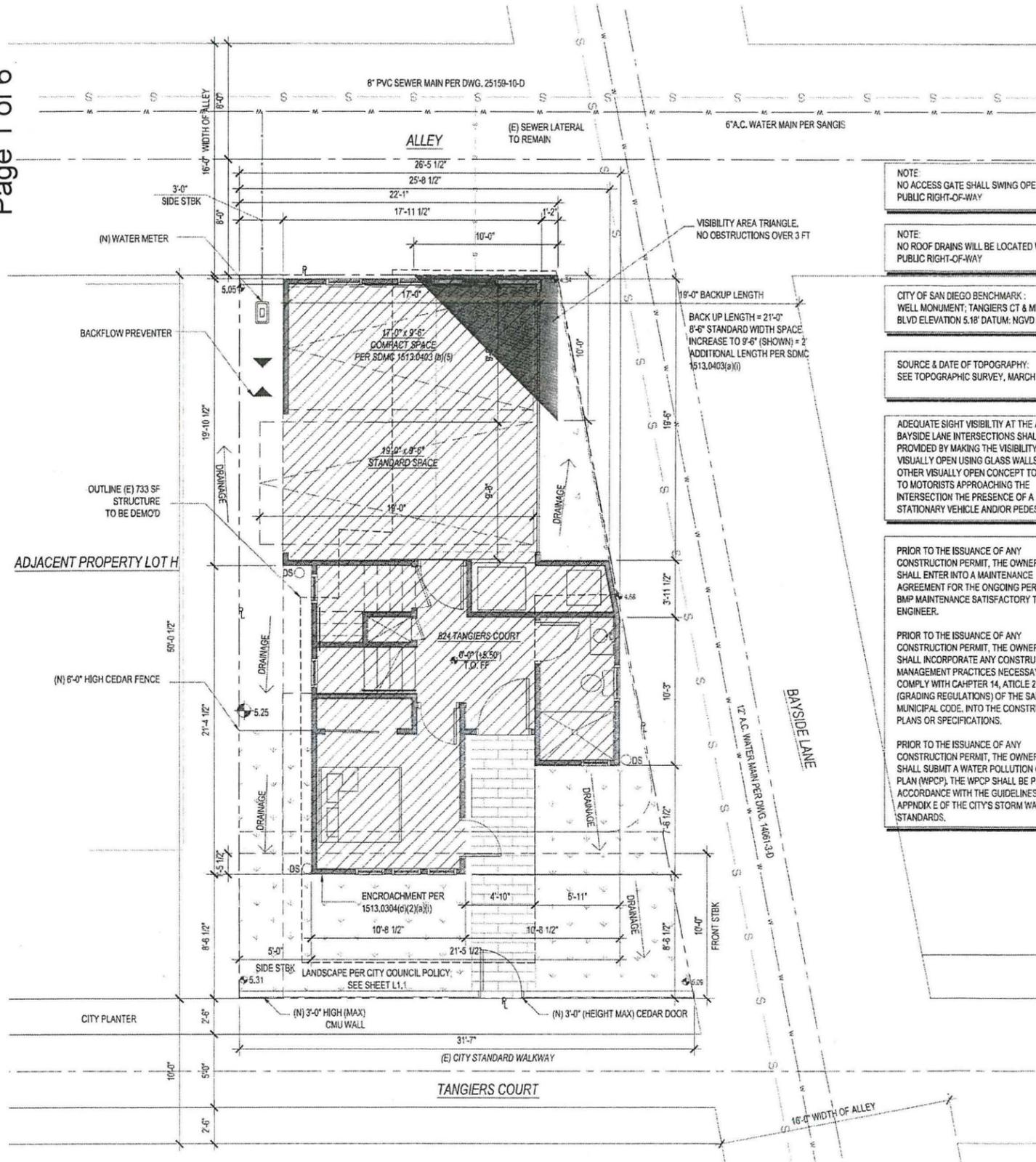
SIGNATURE/TITLE

February 9, 2016

DATE

CHECK ONE:
 SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



| GRADING TABLE | |
|------------------|--------------|
| 824 TANGIERS CT. | |
| CUT | FILL |
| 14 CU. YARDS | 14 CU. YARDS |
| 12\"/> | |

PROPOSED SITE PLAN
1/4" = 1'-0"

NOTE:
NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY

NOTE:
NO ROOF DRAINS WILL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY

CITY OF SAN DIEGO BENCHMARK:
WELL MONUMENT, TANGIERS CT & MISSION BLVD ELEVATION 5.18' DATUM: NGVD 29 (MSL)

SOURCE & DATE OF TOPOGRAPHY:
SEE TOPOGRAPHIC SURVEY, MARCH 18, 2014

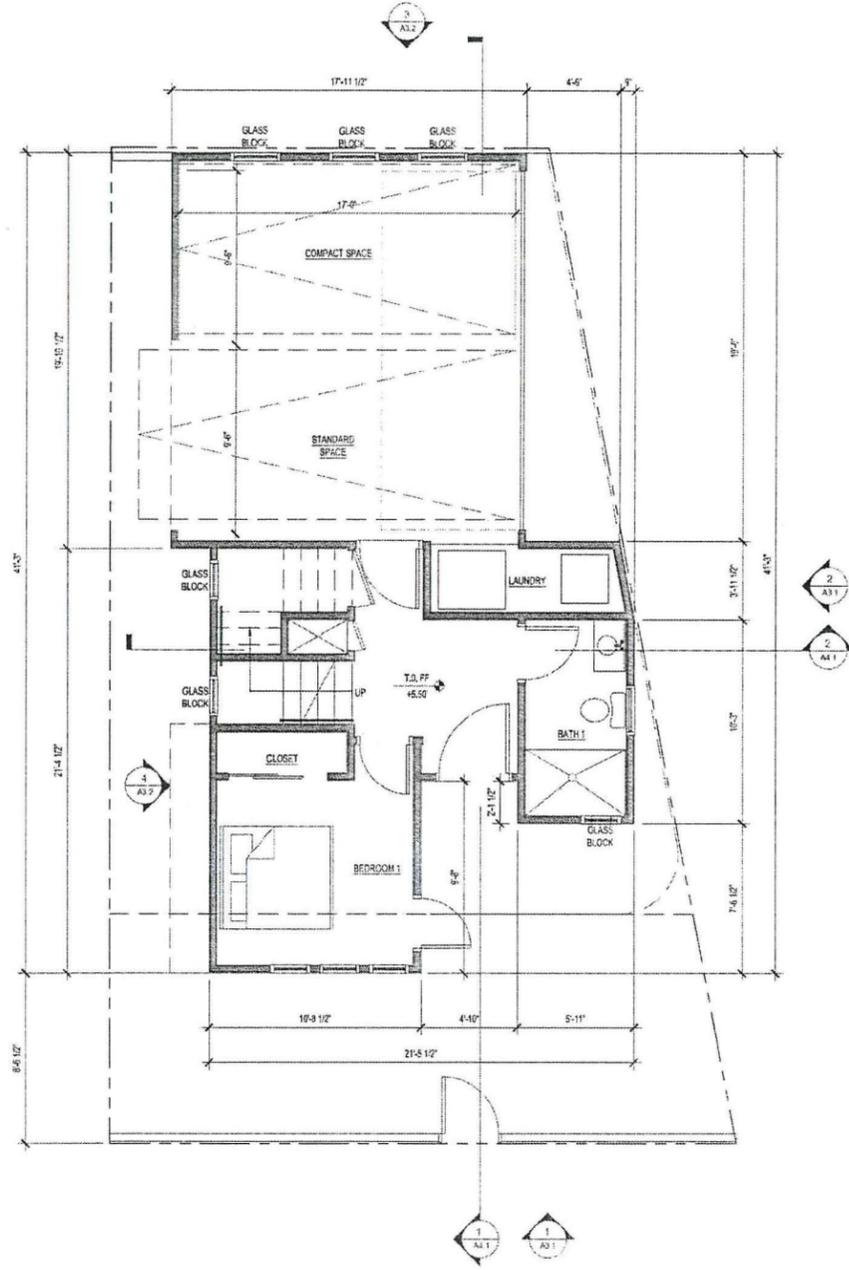
ADEQUATE SIGHT VISIBILITY AT THE ALLEY & BAYSIDE LANE INTERSECTIONS SHALL BE PROVIDED BY MAKING THE VISIBILITY AREAS VISUALLY OPEN USING GLASS WALLS OR SOME OTHER VISUALLY OPEN CONCEPT TO INDICATE TO MOTORISTS APPROACHING THE INTERSECTION THE PRESENCE OF A MOVING OR STATIONARY VEHICLE AND/OR PEDESTRIAN

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.

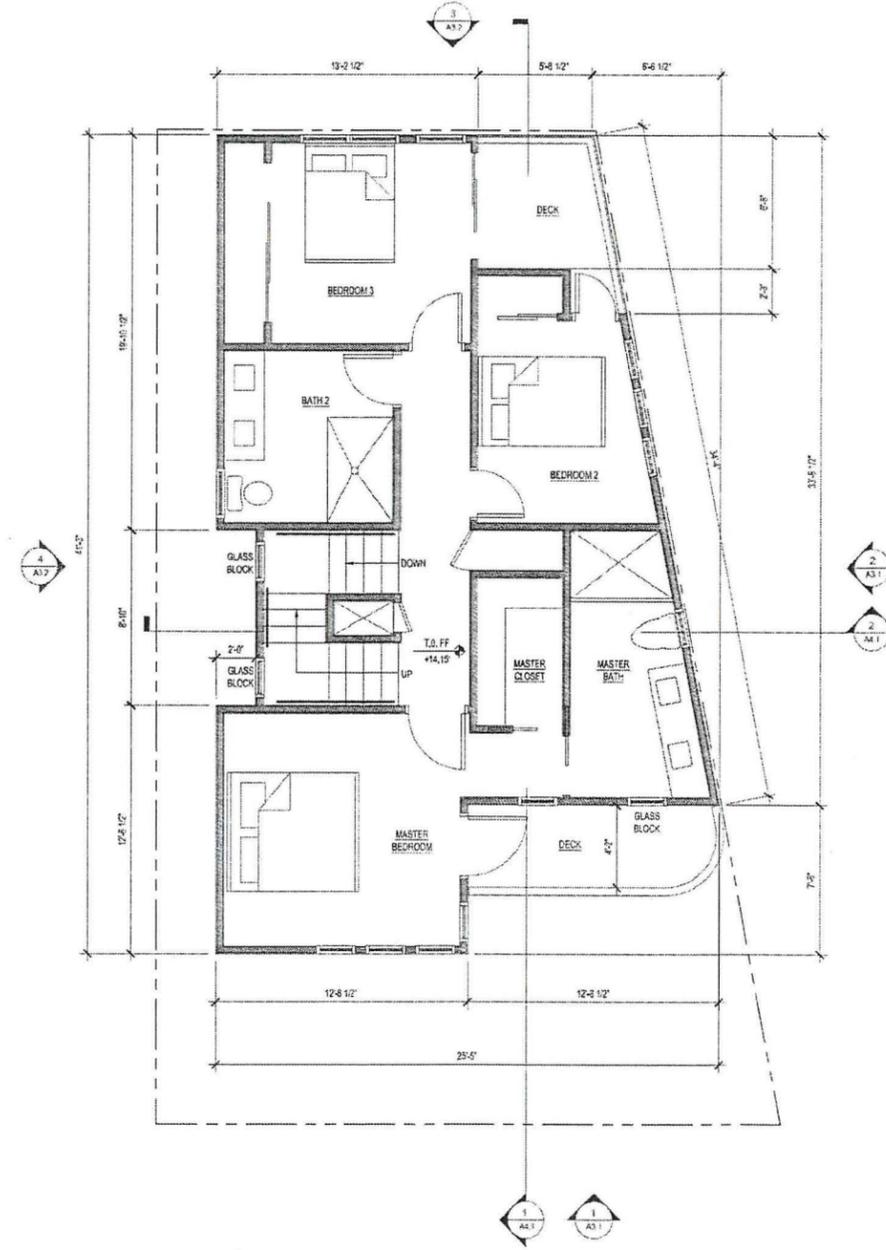
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIV 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

| PROJECT SCOPE | | PROJECT DATA | | | | | | | | | | | | | | | | | | | |
|---|----------------------------|---|-------------|------|-------------------------|----|--------------------|------|---------------------------|------|-------------------------|------|---------------------|------|---------------------|------|-------------------|------|----------------------------|--|--|
| <p>REQUEST COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF EXISTING ONE-STORY, SINGLE FAMILY, 733 SF RESIDENCE, CONSTRUCTION OF THREE-STORY SINGLE FAMILY RESIDENCE WITH ROOF DECK AND TWO-CAR GARAGE</p> <p>PROJECT TO INTEGRATE PHOTOVOLTAIC PANELS CONSISTENT WITH COUNCIL POLICY 950-14. OTHER GREEN BUILDING TECHNIQUES INCLUDE THE PLANTING OF NATIVE DROUGHT TOLERANT LANDSCAPING, EFFICIENT IRRIGATION TECHNOLOGY.</p> | | <p>PROJECT INFORMATION:</p> <p>PROJECT ADDRESS: 824 TANGIERS COURT, SAN DIEGO, CA 92109 (425-572-1630)</p> <p>LEGAL DESCRIPTION: LOT G, BLOCK 216, MAP 1809 OF MISSION BEACH ALTERED MAP</p> <p>EXISTING USE: RESIDENTIAL</p> <p>YEAR CONSTRUCTED: 1941</p> <p>BUILDING CODE: CALIFORNIA BUILDING CODE (CBC) 2013</p> <p>OCCUPANCY TYPE: RESIDENTIAL</p> <p>CONSTRUCTION TYPE: TYPE 1B</p> <p>NUMBER OF STORES: 3 STORES PROPOSED</p> <p>BUILDING HEIGHT: 28'-0"</p> | | | | | | | | | | | | | | | | | | | |
| <p>GENERAL NOTES</p> <ol style="list-style-type: none"> NEAREST EXISTING BUS STOP TO PROJECT SITE IS LOCATED AT MISSION BLVD AND SUNSET CT. PROVIDE BUILDING ADDRESS THAT IS VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FAPS POLICY P-004 (LUC C 951-4.1) ALL OUTDOOR LIGHTING SHALL BE SHADOWED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED. DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE CITY OF SAN DIEGO MUNICIPAL CODE. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE PLAN SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY OF ENGINEERS. | | <p>ZONING INFORMATION:</p> <p>ZONE: MRPD-R1</p> <p>NUMBER OF DWELLINGS: 1</p> <p>MAXIMUM ALLOWABLE HEIGHT: 30'-0"</p> <p>SETBACKS:</p> <p>FRONT: 12'-0"</p> <p>INT. YARD: 3'-0" / 5'-0"</p> <p>ALLEY: 0'-0"</p> <p>REAR: 0'-0"</p> <p>ACTUAL BLDG HEIGHT: 28'-0"</p> <p>LOT AREA: 1,342 SF</p> <p>PROPOSED BUILDING FOOTPRINT: 748 SF</p> <p>GARAGE: 398 SF (EXCLUDED FROM GFA)</p> <p>MAX LOT COVERAGE: 65%</p> <p>PROPOSED LOT COVERAGE: 55.7% (748 / 1,342)</p> <p>FAR: 1.1</p> <p>MAX ALLOWABLE AREA: (1.1 X 1,342) = 1,476.2</p> <p>PROPOSED FAR: .99 (1,470 / 1,476.2)</p> <p>ACTUAL GFA:</p> <p>FIRST FLOOR AREA: 340 SF</p> <p>SECOND FLOOR AREA: 790 SF</p> <p>THIRD FLOOR AREA: 430 SF</p> <p>TOTAL AREA PROPOSED: 1,470 SF</p> <p>PARKING: 2 ENCLOSED SPACES PROVIDED</p> | | | | | | | | | | | | | | | | | | | |
| <p>VICINITY MAP</p> | | <p>SITE PLAN LEGEND</p> <ul style="list-style-type: none"> RESIDENCE AREA ASPHALTIC CONCRETE DRIVEWAY STONE ENTRYWAY PAVERS LANDSCAPE SITE DRAINAGE PATTERN EXISTING & PROPOSED CONTOURS CDS DOWNSPOUT LOCATION - TO BE DISCHARGED INTO LANDSCAPED PLANTERS | | | | | | | | | | | | | | | | | | | |
| <p>CONSTRUCTION BMP'S</p> <p>STORM WATER QUALITY NOTES CONSTRUCTION BMP'S</p> <p>This project shall comply with all requirements of the state permit, California Regional Water Quality Control Board, San Diego Region, order: 180, 2001.01 NPDES NO. CAS10079 (http://www.sandagwater.com/npdes/cas10079)</p> <p>Notes 1-6 below represent key minimum requirements for construction BMP's.</p> <ol style="list-style-type: none"> Sufficient BMP's must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction activities. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's. All stock piles of uncompact soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be protected with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site. All erosion/sediment control devices shall be maintained in working order at all times. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment. | | <p>STORM WATER BMP'S</p> <p>SITE DESIGN BMP'S</p> <ol style="list-style-type: none"> Minimize landscape proposed to reduce impervious surfaces. Previous concrete pavers shall be used. Draining sidewalks & impervious surfaces shall drain into adjacent landscaping. Natural areas shall be conserved with natural drainage into landscaping areas. Rooftop runoff shall drain to pervious areas such as yards, or vegetated areas, and avoid routing rooftop runoff to the roadway or the storm water conveyance system. Maximize canopy interception and water conservation by preserving existing native trees and shrubs. PROTECT SLOPES & CHANNELS Runoff shall safely drain from slopes. Slopes shall have vegetation with native or drought tolerant vegetation. Channel crossings shall be stabilized. Energy dissipaters shall be installed at outlets of new storm drains. SOURCE CONTROL BMP'S Hazardous materials shall be enclosed & protected to prevent runoff or spillage to storm water conveyance system. Trash storage shall be provided with an impervious surface, and shall be screened to minimize direct precipitation. EMPLOY INTEGRATED PEST MANAGEMENT PRACTICES Each landscape area shall be designed for its specific water requirements. Water loss shall be controlled using flow reducers or shut off valves in the event of broken water lines. PROVIDE STORM WATER SYSTEM STENCILING & SIGNAGE All storm water conveyance systems shall be protected with concrete stamping, satisfactory to the City Engineer. Signs which prohibit illegal dumping at public access points shall be posted. | | | | | | | | | | | | | | | | | | | |
| <p>SHEET INDEX</p> <table border="1"> <thead> <tr> <th>SHEET#</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr> <td>A1.1</td> <td>TITLE SHEET / SITE PLAN</td> </tr> <tr> <td>C1</td> <td>TOPOGRAPHIC SURVEY</td> </tr> <tr> <td>A2.1</td> <td>FIRST & SECOND FLOOR PLAN</td> </tr> <tr> <td>A2.2</td> <td>THIRD FLOOR & ROOF PLAN</td> </tr> <tr> <td>A3.1</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A3.2</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A4.1</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td>L1.1</td> <td>LANDSCAPE DEVELOPMENT PLAN</td> </tr> </tbody> </table> | | SHEET# | SHEET TITLE | A1.1 | TITLE SHEET / SITE PLAN | C1 | TOPOGRAPHIC SURVEY | A2.1 | FIRST & SECOND FLOOR PLAN | A2.2 | THIRD FLOOR & ROOF PLAN | A3.1 | EXTERIOR ELEVATIONS | A3.2 | EXTERIOR ELEVATIONS | A4.1 | BUILDING SECTIONS | L1.1 | LANDSCAPE DEVELOPMENT PLAN | <p>ADDITIONAL INFORMATION</p> <p>CHECK EACH APPLICABLE OVERLAY ZONE</p> <ul style="list-style-type: none"> <input type="checkbox"/> AIRPORT APPROACH <input type="checkbox"/> AIRPORT ENVIRONMENT <input type="checkbox"/> COASTAL APPEALABLE <input type="checkbox"/> COASTAL HEIGHT LIMIT <input type="checkbox"/> SENSITIVE COASTAL <input type="checkbox"/> MOBILE HOME PARK <input checked="" type="checkbox"/> PARKING IMPACT <input checked="" type="checkbox"/> RESIDENTIAL TANDEM PARKING <input type="checkbox"/> TRANSIT AREA <input type="checkbox"/> URBAN VILLAGE <input type="checkbox"/> MISSION TRAILS DESIGN DISTRICT <input type="checkbox"/> BIOLOGIC HAZARD 52 <input type="checkbox"/> COMMUNITY PLAN IMPLEMENTATION <p>CHECK IF PROPOSED SITE IS ON OR ADJACENT TO</p> <ul style="list-style-type: none"> <input type="checkbox"/> SENSITIVE BIOLOGICAL RESOURCES <input type="checkbox"/> STEEP HILLSIDES <input type="checkbox"/> COASTAL BEACHES <input type="checkbox"/> SENSITIVE COASTAL BLUFFS <input type="checkbox"/> 500 YEAR FLOODPLAIN | |
| SHEET# | SHEET TITLE | | | | | | | | | | | | | | | | | | | | |
| A1.1 | TITLE SHEET / SITE PLAN | | | | | | | | | | | | | | | | | | | | |
| C1 | TOPOGRAPHIC SURVEY | | | | | | | | | | | | | | | | | | | | |
| A2.1 | FIRST & SECOND FLOOR PLAN | | | | | | | | | | | | | | | | | | | | |
| A2.2 | THIRD FLOOR & ROOF PLAN | | | | | | | | | | | | | | | | | | | | |
| A3.1 | EXTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | |
| A3.2 | EXTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | |
| A4.1 | BUILDING SECTIONS | | | | | | | | | | | | | | | | | | | | |
| L1.1 | LANDSCAPE DEVELOPMENT PLAN | | | | | | | | | | | | | | | | | | | | |
| <p>PROJECT TEAM</p> <p>OWNER: MARLA SCHMITTER 824 TANGIERS COURT SAN DIEGO, CA 92109 PH:</p> <p>DESIGNER: FRONTIS STUDIO 830 MISSOURI ST #2 SAN DIEGO CA 92109 CONTACT: SCOTT FRONTIS PH: 619.537.2075 EMAIL: scott@frontis.com</p> | | <p>TITLE SHEET / SITE PLAN</p> <p>PREPARED BY: FRONTIS STUDIO 830 MISSOURI ST. #2 SAN DIEGO CA 92109 P: 619.537.2075</p> <p>LEGAL DESCRIPTION: LOT G, BLOCK 216, MAP 1809 OF MISSION BEACH ALTERED MAP</p> <p>PROJECT NAME: TANGIERS RESIDENCE</p> <p>SHEET TITLE: SITE PLAN</p> <p>SHEET COUNT: 1 OF 8</p> <p>PTS ±: -</p> <p>SUBMITTAL: 05.27.15</p> <p>REVISION 1:</p> <p>REVISION 2:</p> <p>REVISION 3:</p> | | | | | | | | | | | | | | | | | | | |



FIRST LEVEL
1/4" = 1'-0"



SECOND LEVEL
1/4" = 1'-0"



FIRST/SECOND LEVELS

PREPARED BY:
FRONTIS STUDIO
830 MISSOURI ST. #2
SAN DIEGO CA 92109
P: 858.837.2078

LEGAL DESCRIPTION:
LOT G, BLOCK 214, MAP 1809 OF
MISSION BEACH ALTERED MAP

PROJECT NAME:
TANGIERS RESIDENCE
SHEET TITLE:
FIRST LEVEL PLAN
SHEET COUNT:
2 OF 7
PTS #:

SUBMITTAL:
05.27.15
REVISION 1:
REVISION 2:
REVISION 3:

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Date: 03.11.15
Job: 1443
Title:

FIRST & SECOND
FLOOR PLANS

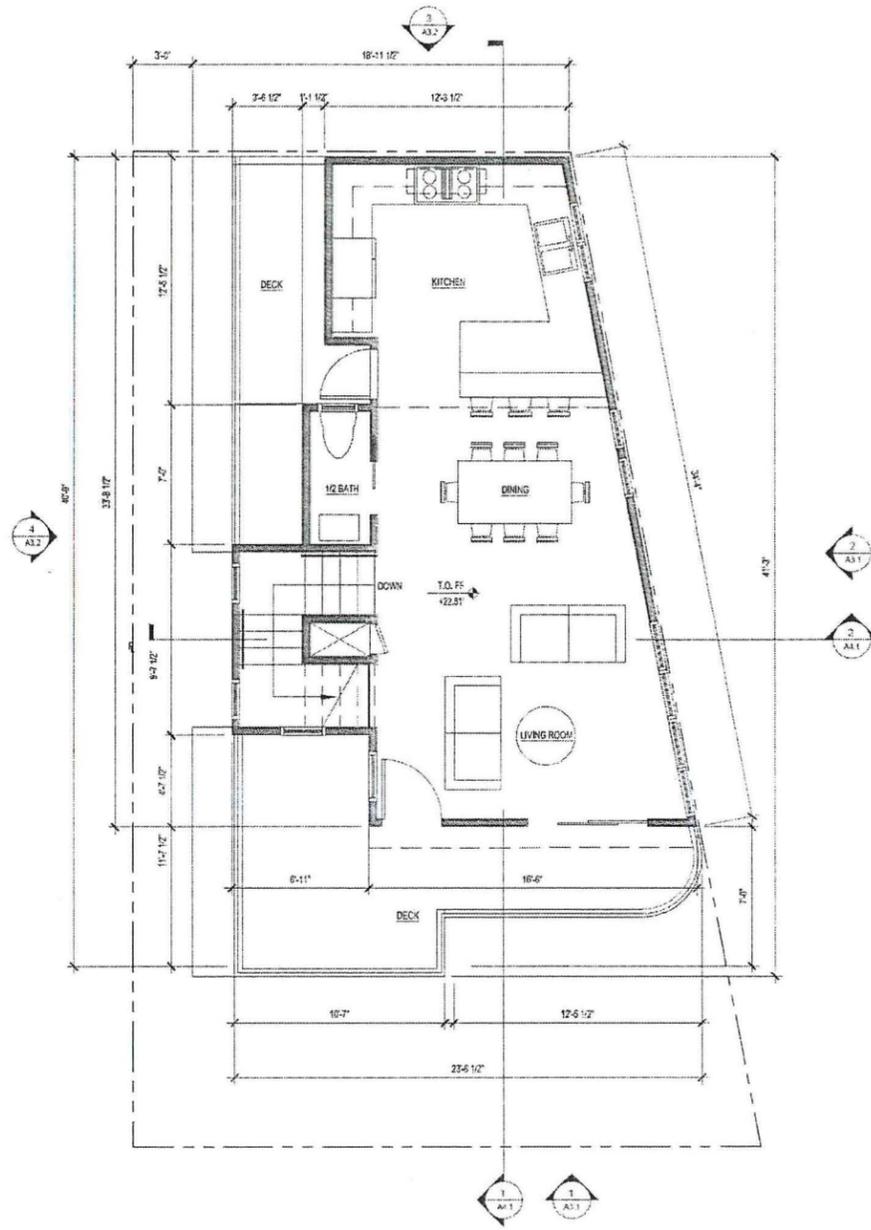
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A2.1

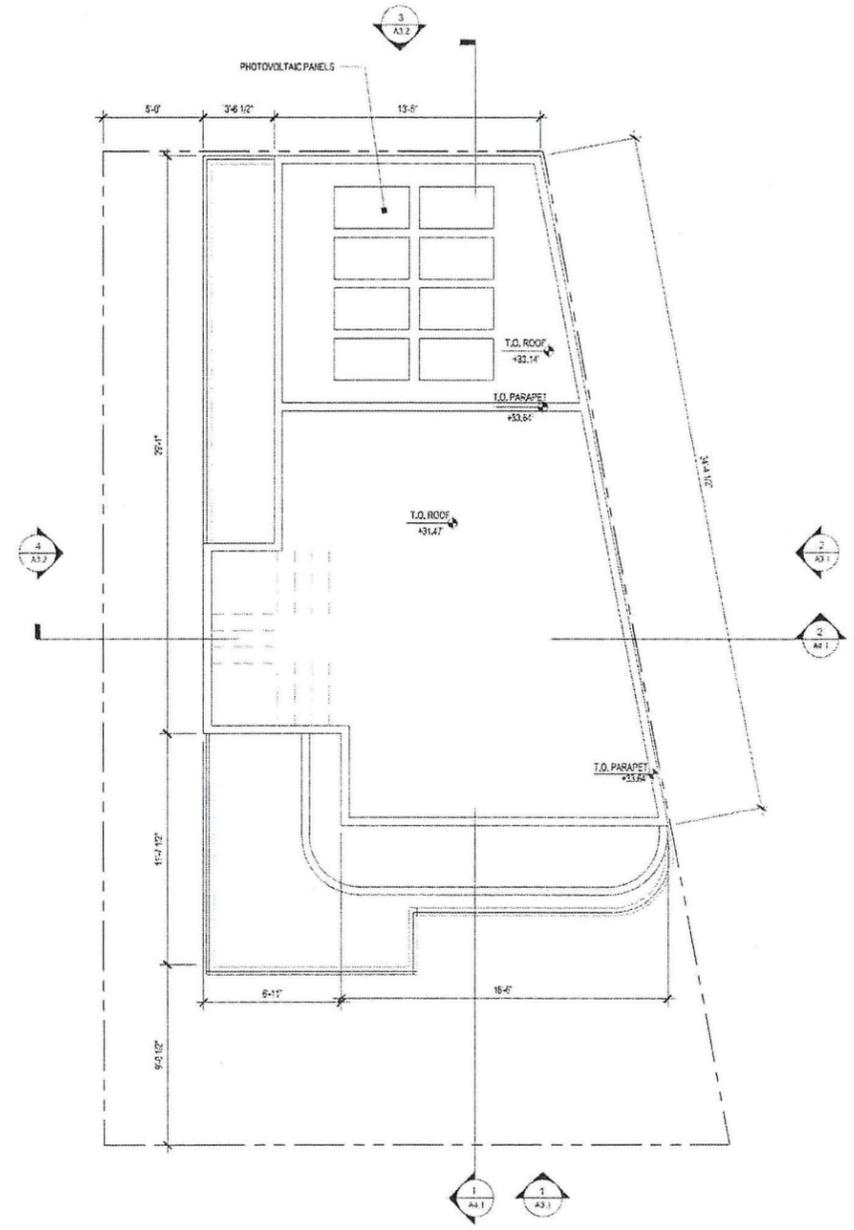
FRONTIS
STUDIO

830 MISSOURI ST., SUITE B
SAN DIEGO, CA 92109
PHONE: 858.837.2078
EMAIL: INFO@FRONTISSTUDIO.COM

TANGIERS RESIDENCE



THIRD LEVEL
1/4" = 1'-0"



ROOF LEVEL
1/4" = 1'-0"

FLOOR PLAN / ROOF PLAN

PREPARED BY:
FRONTIS STUDIO
830 MISSOURI ST., #2
SAN DIEGO CA 92109
p: 858.837.2078

LEGAL DESCRIPTION:
LOT 6, BLOCK 216, MAP 1809 OF
MISSION BEACH ALTERED MAP

PROJECT NAME:
TANGIERS RESIDENCE
SHEET TITLE:
SHEET COUNT:
PTS # -

SUBMITTAL:
06.07.15
REVISION 1:
REVISION 2:
REVISION 3:

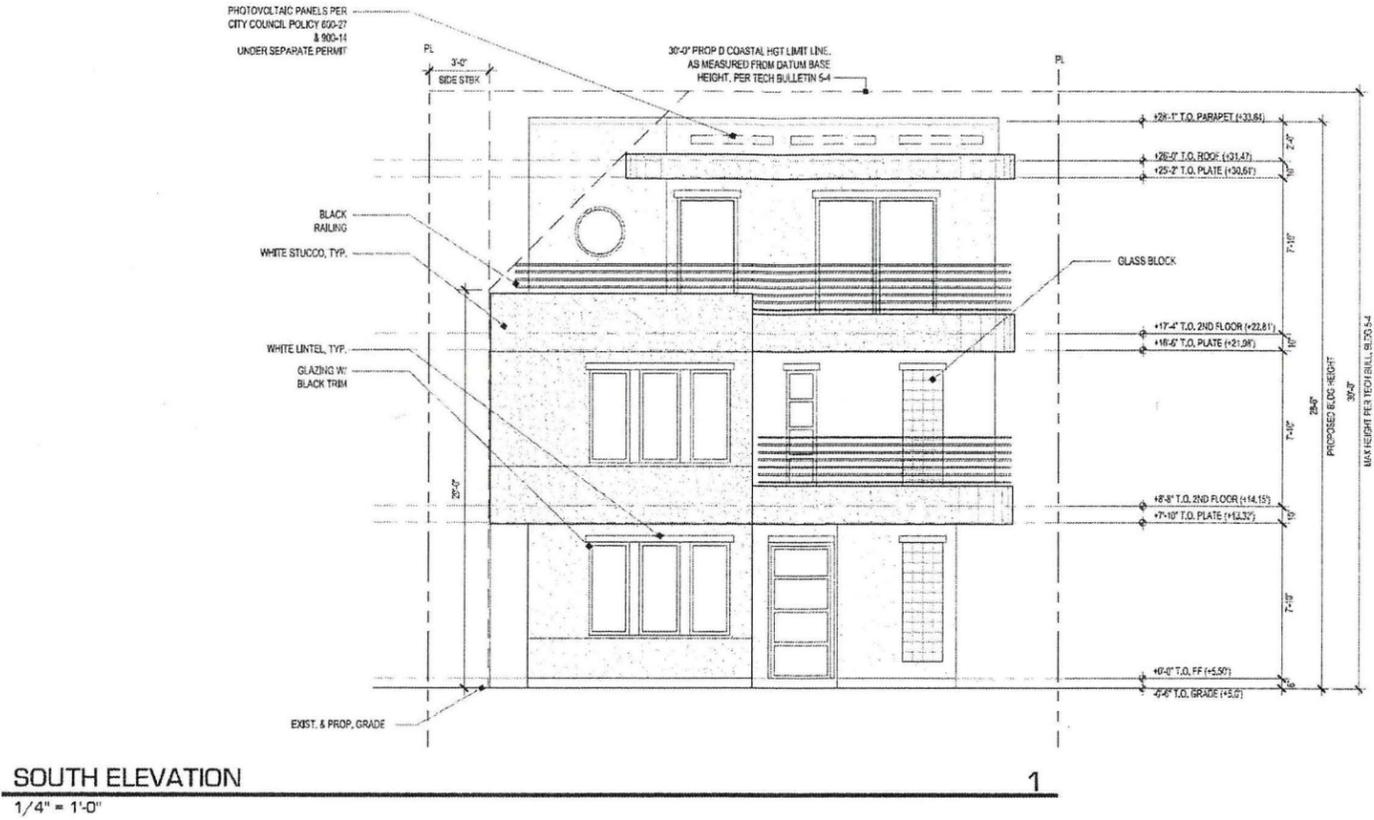
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Date: 06.11.15
Job: 1642
Title:

SECOND AND ROOF
LEVELS
Sheet:

A2.2

FRONTIS STUDIO
830 MISSOURI ST., #2
SAN DIEGO CA 92109
P: 858.837.2078
E: INFO@FRONTISSTUDIO.COM



| DATE | REVISION |
|------|----------|
| | |

FRONTIS STUDIO
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San Diego, CA 92109
Email: info@frontisstudio.com

TANGIERS RESIDENCE

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| | |
|--------|----------|
| Date: | 03/11/15 |
| Job: | 1515 |
| Title: | |

ELEVATIONS

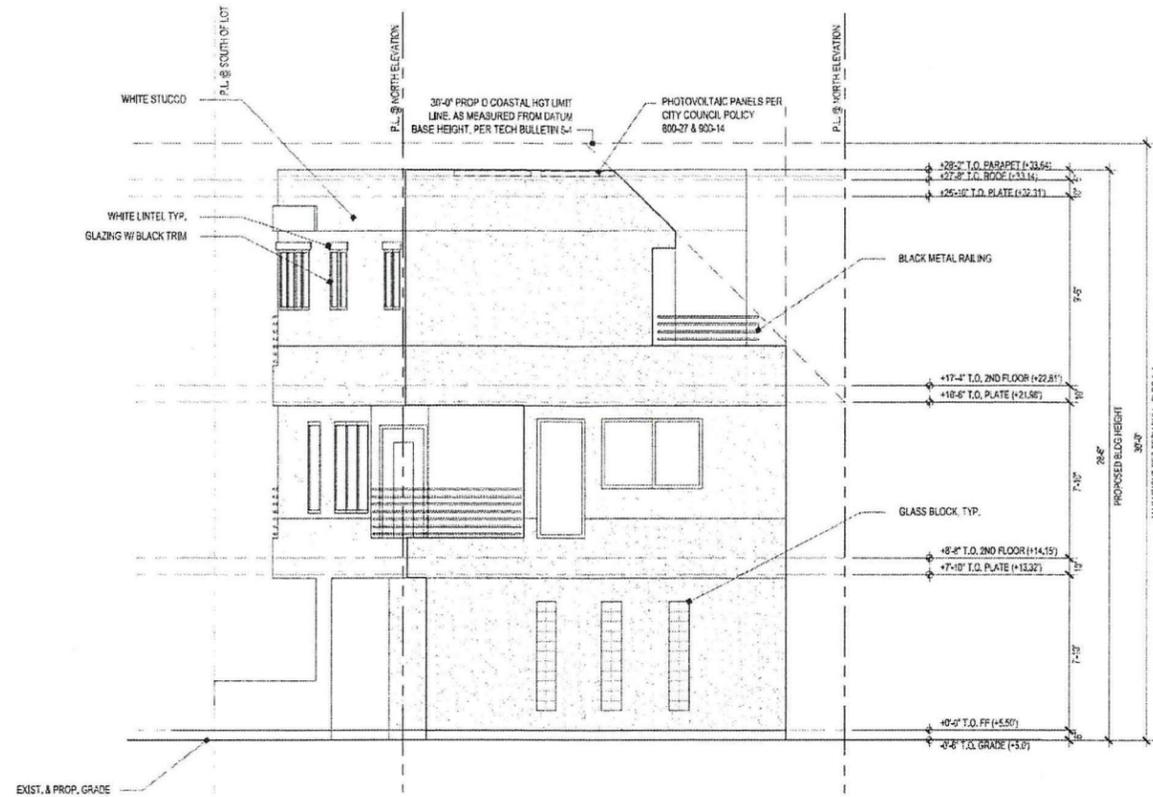
PREPARED BY:
FRONTIS STUDIO
830 MISSOURI ST., #2
SAN DIEGO CA 92109
p: 619.537.2078

LEGAL DESCRIPTION:
LOT 6, BLOCK 216, MAP 1909 OF
MISSION BEACH ALTERED MAP

| | | | |
|---------------|-------------------------|-------------|----------|
| PROJECT NAME: | TANGIERS RESIDENCE | SUBMITTAL: | 03/27/15 |
| SHEET TITLE: | SOUTH + EAST ELEVATIONS | REVISION 1: | |
| SHEET COUNT: | 4 OF 7 | REVISION 2: | |
| PTS #: | | REVISION 3: | |

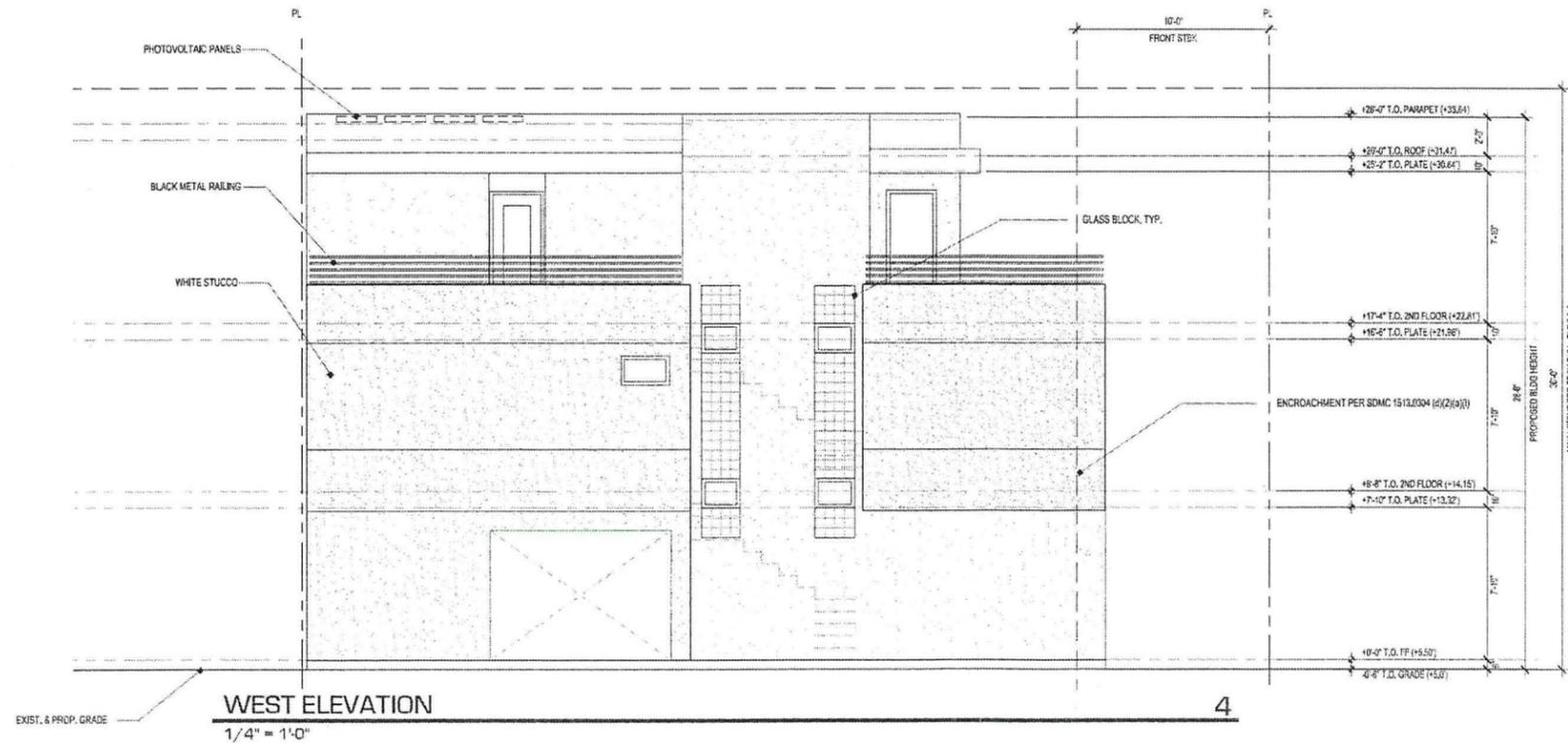
Sheet: EAST + SOUTH ELEVATIONS

A3.1



NORTH ELEVATION
1/4" = 1'-0"

3



WEST ELEVATION
1/4" = 1'-0"

4

DATE: _____
REVISION: _____
FRONTIS STUDIO
300 Missouri St., Suite 2
San Diego, CA 92102
P: 619.237.2078
E: info@frontisstudio.com

TANGIERS RESIDENCE

ELEVATIONS

PREPARED BY:
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SAN DIEGO CA 92102
P: 619.237.2078

LEGAL DESCRIPTION:
LOT G, BLOCK 216, MAP 1903 OF
MISSION BEACH ALTERED MAP

PROJECT NAME:
TANGIERS RESIDENCE

SHEET TITLE:
NORTH + WEST ELEVATIONS

SHEET COUNT:
5 OF 7
PTS #. -

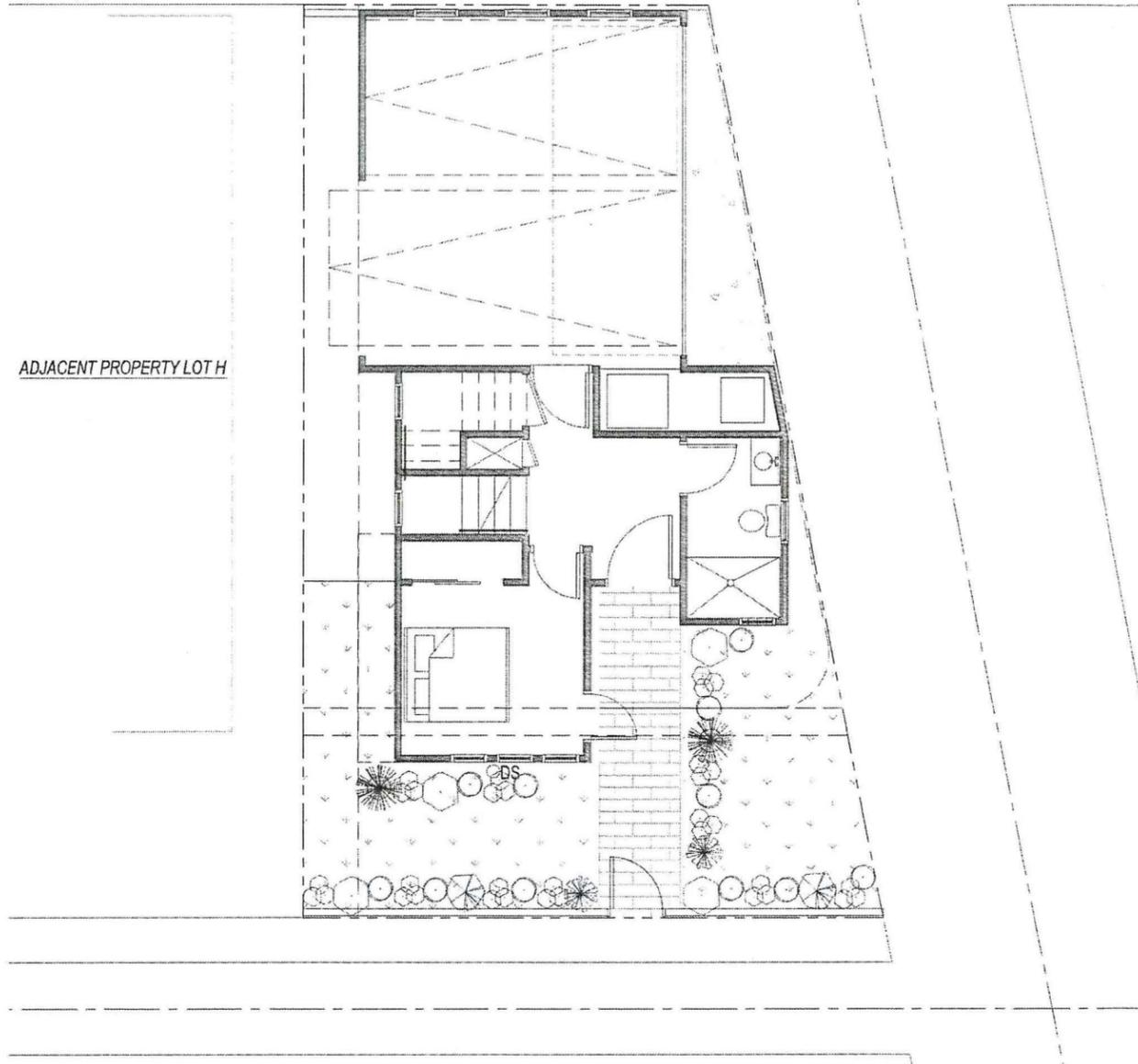
SUBMITTAL:
05.27.15

REVISION 1:
REVISION 2:
REVISION 3:

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Date: 05.17.15
Job: 1448
Title:
ELEVATIONS
Sheet:
A3.2

ADJACENT PROPERTY LOT H



LANDSCAPE DEVELOPMENT PLAN

1/4" = 1'-0"



LANDSCAPE NOTES:

ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SDMC SECTION 142.0411. ALL REQUIRED VEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE

A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER SDMC 142.0403(B)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL PER THE SDMC, SECTION 142.0403(B)(10).

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

| LANDSCAPE TABLE | AREA | % |
|-----------------|------------------------------------|-------|
| LOT AREA | 1342 SF | |
| IMPERVIOUS AREA | 748 (BLDG) + 79 (IMPERVIOUS) = 827 | 62.0% |
| LANDSCAPED AREA | 328 SF | 38.0% |

| LANDSCAPE TABLE | AREA | % |
|-----------------|--------|-------|
| TOTAL YARD AREA | 426 SF | |
| LANDSCAPED YARD | 270 SF | 63.0% |

PLANT MATERIAL LEGEND

SITE LEGEND:

CONCRETE DRIVEWAY - CITY STANDARD

BRICK ENTRYWAY PAVERS

LANDSCAPE LEGEND

TYPE: QTY, /% / SIZE

MEDIUM GROWING PERENNIAL
MEDIUM - LARGE SHRUBS: 100% / 5 GAL. / 2.0 points each

- WHITE SAGE
Silvia Alpina
mature height: 3'; mature spread: 3'
- PONYTAIL PALM
Beaucarnea recurvata
mature height: 3'; mature spread: 3'
- LOW GROWING MASSING SUCCULENTS**
SMALL - MED. SHRUBS: 100% / 1 GAL. / 1.0 point each
- JOHNSONS HYBRID
Aloe
mature height: 1'; mature spread: 3'
- OSCULARIA
Oscularia Deltoidea
mature height: 1'; mature spread: 2'
- AURORA
Sedum Rubrotinctum
mature height: 6"; mature spread: 2'
- CAPE BLANCO
Sedum Spatulifolium
mature height: 6"; mature spread: 2'
- GRASSY GROUND COVER:** — / 100% / SOD
- TURF GRASS

DATE: _____
REVISION: _____

FRONTIS STUDIO

800 Mission St., Suite 2
San Diego, CA 92109
Phone: 619.591.1888
Email: info@frontisstudio.com

TANGIERS RESIDENCE

| WATER CONSERVATION STATEMENT | MAINTENANCE RESPONSIBILITY | GENERAL NOTES | LANDSCAPE DEV. PLAN |
|---|--|--|--|
| <p>IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO REDUCE THIS PROJECT'S DEMAND ON THE CITY OF SAN DIEGO'S AVAILABLE WATER SUPPLY:</p> <ol style="list-style-type: none"> AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. TURF WILL BE RESTRICTED TO HIGHLY VISIBLE STREET FRONT AREAS AND/OR AREAS WHICH MAY RECEIVE SIGNIFICANT AMOUNTS OF USE AND ENJOYMENT BY THE HOME OWNER. THE SPECIFIED TURF WILL HAVE RELATIVELY LOW WATER AND MAINTENANCE REQUIREMENTS. PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST, AND WEST EXPOSURES. SOIL WILL BE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AND TO PROVIDE FOR MAXIMUM MOISTURE RETENTION AND PERCOLATION. PLANTER BEDS WILL BE MULCHED TO RETAIN SOIL MOISTURE AND REDUCE EVAPOTRANSPIRATION FROM THE ROOT ZONES. IRRIGATION: AN AUTOMATIC ELECTRICALLY CONTROLLED DRIP IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403 (c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. | <p>ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THIS PERMIT.</p> <p>MINIMUM TREE SEPARATION DISTANCE</p> <p>IMPROVEMENT: MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS (STOP SIGN)- 20 FEET UNDERGROUND UTILITY LINES- 5 FEET (10' FOR SEWER) ABOVE GROUND UTILITY STRUCTURES- 10 FEET DRIVEWAY (ENTRIES)- 10 FEET INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)- 25 FEET</p> | <ol style="list-style-type: none"> ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS. PROVIDE BUILDING ADDRESS THAT ARE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4). ALL OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED. DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND THE ROOT BALL. | <p>PREPARED BY: FRONTIS STUDIO 630 MISSOURI ST. #2 SAN DIEGO CA 92109 p: 658.837.2078</p> <p>LEGAL DESCRIPTION: LOT G, BLOCK 216, MAP 1808 OF MISSION BEACH ALTERED MAP</p> <p>PROJECT NAME: TANGIERS RESIDENCE</p> <p>SHEET TITLE: LANDSCAPE DEVELOPMENT PLAN</p> <p>SHEET COUNT: 7 OF 7 PTS # -</p> <p>SUBMITTAL: 06.27.15</p> <p>REVISION 1: REVISION 2: REVISION 3:</p> <p>DATE: 03.11.15 JOB: 1643 TITLE: LANDSCAPE DEVELOPMENT PLAN SHEET: L-1.1</p> |

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