



THE CITY OF SAN DIEGO

NOTICE OF PUBLIC MEETING

This is to inform you that the **La Jolla Shores Planned District Advisory Board** will be conducting a public meeting to consider recommending approval, conditional approval, or denial of the development project(s) listed below:

DATE OF MEETING: Monday, June 19th, 2017
TIME OF MEETING: 11:00am
LOCATION OF MEETING: 615 Prospect Street, Room 2, La Jolla, CA 92037

1. CALL TO ORDER
2. APPROVAL OF THE AGENDA
3. APPROVAL OF THE MINUTES from April 26th, 2017 and May 15th, 2017.
4. PUBLIC COMMENT
5. PROJECT REVIEW:

Action Items		
A	Project	PTS 479729 – Nelson Remodel
	Location	2687 Caminito Prado APN: 346-560-4400
	Description	Proposal for a 770 sf addition to an existing 2,624 sf single-story residence with a 585 sf garage on a 10,798 sf lot. <i>See ATTACHMENT 1 for additional project details.</i>
	Applicant/ Project Contact	Arnold Garza, arnold@jacksondesignandremodeling.com , (619) 916-1488
B	Project	PTS 543541 – Amir Residence Addition & Remodel
	Location	7972 La Jolla Scenic Drive North APN: 346-732-2000
	Description	Proposal for a 715 sf addition to the second story of an existing 5,323 sf two-story home on a 19,950 sf lot. <i>See ATTACHMENT 2 for additional details.</i>
	Applicant/P Project Contact	Mark Lyon, mark@mdla.net , (858) 459-1171

This information will be made available in alternative formats upon request. To request an agenda in alternative format, request a sign language or oral interpreter, or an Assistive Listening Devices (ALD's) for the meeting, call the Community Services Program at 236-6077 at least five working days prior to the meeting to ensure availability.

Action Items (Continued)		
C	Project	PTS 556415 – 8247 Paseo del Ocaso - CDP
	Location	8247 Paseo del Ocaso APN: 346-232-0600
	Description	Proposal to demolish existing 1,897 sf single-story, single-family residence and rebuild a new 3,245 sf, two-story home on a 5,497 sf lot. <i>See ATTACHMENT 3 for additional details.</i>
	Applicant/ Project Contact	Mike Lake, mike@mlakedevelopment.com , (760) 840-7731
Information Item Only		
A	Project	DRAFT Incentive-based Zoning Proposal for Coastal Development (Discussion continued from May 15 th , 2107 meeting)
	Location	La Jolla Community
	Description	Community-initiated zoning proposal to: <ol style="list-style-type: none"> 1. Implement the La Jolla Community & Local Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur. 2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns. 3. Provide for ministerial review of most development proposals. 4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review. <i>See ATTACHMENT 4 for additional details.</i>
	Presenters	Diane Kane and Angeles Leira

6. NEXT SCHEDULED MEETING: July 17th, 2017.

7. ADJOURNMENT

The meeting of the La Jolla Shores Advisory Board is to hear presentations and public testimony on development projects and provide recommendations to the City's decision maker. The final project decision is made by Staff, Hearing Officer, Planning Commission, or City Council to approve, approve with conditions or deny the projects listed above. If you wish to be notified of this public hearing you must submit a request in writing to the Project Manager (City Contact listed above) at the following address: City of San Diego, Development Services Department, 1222 First Avenue, MS 501, San Diego, CA 92101.

The agenda and minutes distributions are via email and will additionally be posted to the LJSPDAB webpage at <http://www.sandiego.gov/planning/community/profiles/lajolla/pddoab.shtml> . To request inclusion or removal from the distribution list please email the City Planner at mpangilinan@sandiego.gov with your request.

Marlon I. Pangilinan, Senior Planner
 Planning Department
 1010 Second Avenue Suite 1100 MS-413
 San Diego CA 92101
 619-235-5293 www.sandiego.gov/planning

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Pangilinan, Marlon

To: Arnold Garza
Subject: RE: LJSCPG Meeting - Project #479729

Hi Marlon, the information that you requested is listed below.

Project Name: Nelson Remodel

Address/APN: 2687 Caminito Prado, La Jolla, CA 92037 APN 346-560-44-00

Project Contact: Arnold J. Garza (Jackson Design and Remodeling)
arnold@jacksondesignandremodeling.com (619) 916-1488

Project Description: Proposed 770 sq. ft. 1 story addition to existing 1 story 2,624 sq. ft. 1 story home with a 585 sq. ft. garage.
Project includes interior remodeling to entire 1 story residence.

Lot Size: 10,798 sq. ft.

Existing Structure: 2,624 sq. ft. plus 585 sq. ft. garage (FAR = 29.7%)

Proposed Sq. Footage: 3,394 sq. ft. plus existing 585 sq. ft. garage (FAR = 37%)

Setbacks: attached setback survey

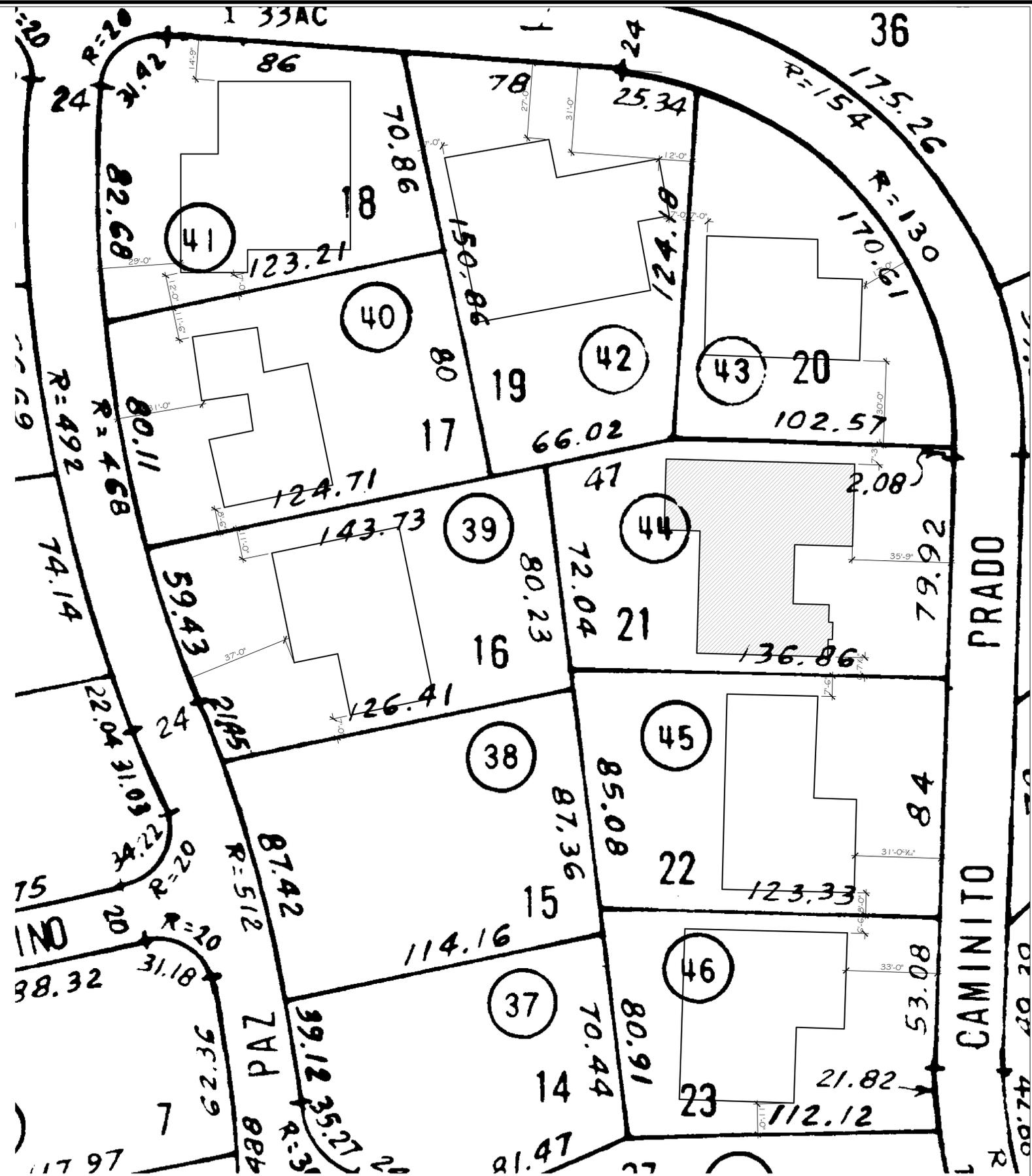
Height: 17'-3" Max. Building Height

Project Aspects Needing Review: General design conforming to LJSCPG

PTS Number: 479729

Arnold Garza, Residential Designer
Jackson Design & Remodeling
4797 Mercury Street
San Diego, CA 92111
Email: Arnold@JacksonDesignandRemodeling.com
Phone: 619.442.6125 Ext. 336 Toll Free: 1.800.675.9548
Cell: 619.916.1488 Fax: 858.292.6250
www.JacksonDesignandRemodeling.com

"Transforming Homes and Building Clients for Life!"



AREA PLAN

SCALE: 1" = 10' - 0"



REVISIONS	BY

JACKSON
 DESIGN & REMODELING
 Lic. #6609339
 Additions • Kitchens • Master Bathroom
 4797 Mercury St.
 San Diego, CA 92111
 www.jacksondesignandremodeling.com
 (619) 442-8125
 Fax: (619) 232-6250
 1-800-571-5516

A Home Remodel for:
Trevor and Catharine Nelson
 2667 Caminito Prado, La Jolla, CA 92037
 Sheet Title:
AREA PLAN
 Plan Check
 04/03/2017

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DRAWN	A. J. Garza
CHECKED	Garza
DATE	09/10/15
SCALE	as noted
JOB NAME	Nelson
SHEET	

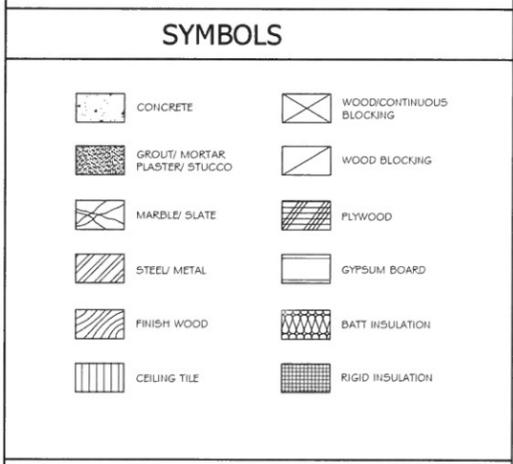
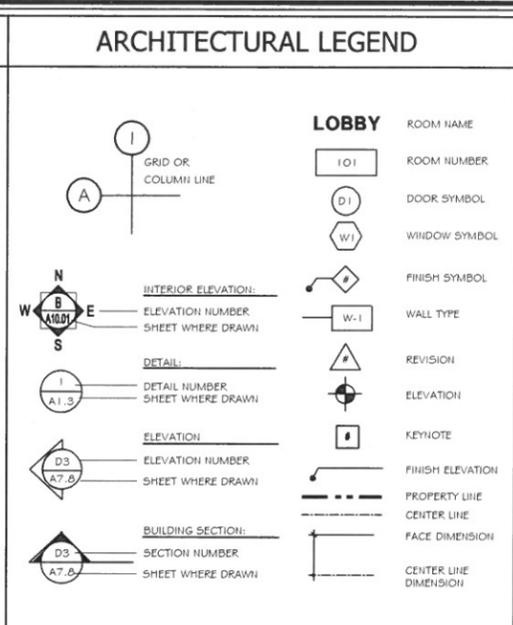
A-1.2
 OF Xx SHEETS

HIGH FIRE SEVERITY NOTES

- ROOF GUTTERS, IF PROVIDED, SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. (SDMC SEC. 145.0704(a))
- WHEN DROP EDGE FLASHING IS USED AT THE EDGES OF ROOFING MATERIALS, IT SHALL BE NON-COMBUSTIBLE. (SDMC SEC. 145.0704(b))
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSIA/MANWDA 101/1.5.2 STRUCTURAL REQUIREMENTS. (SDMC SEC. 145.0705(a))
- VENTILATION OPENING LOCATED IN EXTERIOR WALLS OF BUILDINGS, PROVIDING VENTILATION TO UNDER-FLOOR AND ATTIC SPACES, SHALL COMPLY WITH SEC. 704A.2 AND SDMC SEC. 145.0706(a).
- THE SIZE OF EACH INDIVIDUAL VENTILATION OPENING SHALL NOT EXCEED 144 SQ. INCHES. (SDMC SEC. 145.0706(a))
- ALL VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH. MESH OPENINGS SHALL BE 1/4" (SDMC SEC. 145.0706(a))
- VENTILATION OPENINGS ON STRUCTURES LOCATED IMMEDIATELY ADJACENT TO BRUSH MANAGEMENT ZONE 1 SHALL NOT BE DIRECTED TOWARD HAZARDOUS AREAS OF NATIVE OR NATURALIZED VEGETATION. (SDMC SEC. 145.0706(a))
- ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREAS. (SDMC SEC. 145.0504)
- ROOF VENTS, DORMER VENTS, GABLE VENTS, FOUNDATION VENTILATION OPENINGS, VENTILATION OPENINGS IN VERTICAL WALLS, OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOCATED AND COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION-RESISTANT METAL MESH, OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
- TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW, ONE-WAY DIRECTION ROTATION ONLY; THEY SHALL NOT FREE SPIN IN BOTH DIRECTIONS. (SDMC SEC. 145.0706(a))
- VENTILATION OPENINGS PROTECTED WITH OPENING THAT RESIST THE INTRUSION OF FLAME AND EMBERS, AND WHICH ARE LISTED BY THE STATE FIRE MARSHAL, ARE EXEMPT FROM COMPLYING WITH SUBSECTION 1 AND 3 OF SECTION 145.0706(b) (SDMC SEC. 145.0706(b)). ALL STRUCTURES HAVING ANY CHIMNEY, FLUE, OR STOVEPIPE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER IF THE CHIMNEY, FLUE, OR STOVEPIPE IS ATTACHED TO ANY FIREPLACE, STOVE, BARBECUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE. (SDMC SEC. 145.0706(b))
- GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS ON BUILDINGS LOCATED WITHIN 300 FEET, IN ANY DIRECTION, OF THE BOUNDARY OF A BRUSH MANAGEMENT ZONE ONE AND TWO AS DEFINED IN SECTION 142.04.12 OF THE LAND DEVELOPMENT CODE, SHALL BE TEMPERED OR MULTI-LAYERED GLASS. (SDMC SEC. 145.0706(c))
- WHEN REQUIRED BY CHAPTER 15, ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" INCH (6MM) OPENINGS OR ITS EQUIVALENT. (CBC SEC. 704A.2.1)
- VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES UNLESS LISTED EAVE AND CORNICE VENTS THAT ARE TESTED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE. (CBC SEC. 704A.2.2)
- UNLESS OTHERWISE PROHIBITED BY OTHER PROVISIONS OF THIS CODE, VENT OPENINGS IN EXTERIOR WALLS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENTS SHALL BE SCREENED WITH A CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" (6mm) OPENINGS OR ITS EQUIVALENT. (CBC SEC. 704A.3.2.1)
- EXTERIOR WINDOWS, WINDOWS WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2. (CBC SEC. 704A.3.2.2)
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS OF NOT LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257 SURFACES REGULATED IN SECTION 704A.4.1.1. SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS AND PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4, PARTS A (UNDER-FLAME TEST) AND B (BURNING BRAND EXPOSURE); OR (CBC SEC. 704A.4.1)
- THE SURFACES REGULATED IN SECTION 704A.4.1 SHALL BE CONSTRUCTED WITH HEAVY TIMBER DECKING PER CBC SECTION 602.4 OR EXTERIOR FIRE-RETARDANT-TREATED WOOD OR APPROVED NON-COMBUSTIBLE MATERIALS; OR (CBC SEC. 704A.4.1)
- THE USE OF PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION AS REQUIRED IN THIS CHAPTER. (CBC SEC. 704A.4.1)
- THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. (CBC SEC. 704A.4.2.1)

ABBREVIATIONS

AB	ANCHOR BOLTS	MISC	MISCELLANEOUS
APF	ABOVE FINISH FLOOR	MO	MASONRY OPENING
ALT	ALTERNATE	MTL	METAL
ALUM	ALUMINUM	N	NORTH
ANOD	ANODIZED	NIC	NOT IN CONTRACT
ARCH	ARCHITECT	NOM	NOMINAL
AT	ACOUSTIC TILE	NON COM	NON-COMBUSTIBLE
BD	BOARD	NTS	NOT TO SCALE
BFC	BELOW FINISHED CEILING	OC	ON CENTER
BLDG	BUILDING	OD	OVERFLOW DRAIN
BLK	BLOCK	OH	OPPOSITE HAND
BL/G	BLOCKING	OPNG	OPENING
BOT	BOTTOM	OPP	OPPOSITE
BTWN	BETWEEN	OVHD	OVERHEAD
BUR	BUILT-UP ROOF	PART	PARTITION
CB	CONCRETE BLOCK	PART BD	PARTICLE BOARD
CHAN	CHANNEL	PC	PRECAST CONCRETE
CI	CAST IRON	PIF	POURED IN PLACE
CLG	CEILING	PL	PLATE
CMP	CORRUGATED METAL PIPE	P LAM	PLAST LAMINATE
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PR	PAIR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CONTR	CONTRACTOR	PT	POST TENSIONED
CFT/C	CARPET	QT	QUARRY TILE
CT	CERAMIC TILE	R	RISER OR RADIUS
DDL	DOUBLE	RA	RETURN AIR
DET	DETAIL	RB	RUBBER BASE
DIM	DIMENSION	RD	ROOF DRAIN
DI	DOWN	RE	REFER/REFERENCE
DR	DOOR	REFL	REFLECTIVE OR REFLECTIVE
DWG	DRAWING	REINP	REINFORCING
E	EXISTING	REQ'D	REQUIRED
EA	EACH	RET	RETAINING
EJ	EXPANSION JOINT	REV	REVISE, REVISED
EL	ELEVATION	RF	RAISED FLOOR
ELEC	ELECTRICAL	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	ROW	RIGHT OF WAY
EXP	EXPANSION	RT DPL	RECESSED TRASH DISPOSAL
EXT	EXTERIOR	R.TOW D	RECESSED TOWEL DISPENSER
FD	FLOOR DRAIN	SAC	SUSPENDED ACOUSTIC CEILING
FDN	FOUNDATION	SAT	SUSPENDED ACOUSTIC TILE
FIN	FINISH	SB	SPLASH BLOCK
FLR	FLOOR	SC	SOLID CORE
FLUOR	FLUORESCENT	S CONC	SEALED CONCRETE
FRP	FIREPROOF	SD	STORM DRAIN
FRP	FIBERGLASS REIN. PLASTIC	SECT	SECTION
FURR	FURRING	SIM	
GA	GAUGE	SHD	SANITARY NAPKIN DISPENSER
GAL	GALVANIZED	SH DPL	SANITARY NAPKIN DISPOSAL
GYP BD	GYPSPUM BOARD	SPECS	SPECIFICATIONS
GC	GENERAL CONTRACTOR	SS	STAINLESS STEEL
GI	GALVANIZED IRON	S/S	SERVICE SHIK
GL	GLASS	STD	STANDARD
GR	GRADE	STL	STEEL
GMMU	GLASS MESH MORTAR UNIT	STRUCT	STRUCTURE
HDCP	HANDICAPPED	SUSP	SUSPENDED
HDWR	HARDWARE	T	TREAD
HORIZ	HORIZONTAL	T&G	TONGUE AND GROOVE
HR	HOUR	TEL	TELEPHONE
HT	HEIGHT	TEMP	TEMPERED
HVAC	HEATING, VENT, AIR COND.	TD	TRASH DISPOSAL
HWH	HOT WATER HEATER	TJ	TOOLED JOINT
ID	INSIDE DIAMETER	TLT	TOILET



PROJECT SPECIFIC NOTES

REMODEL DOES NOT REQUIRE FIRE SPRINKLERS.

CITY OF SAN DIEGO PTS

479729

GENERAL INFORMATION

SCOPE OF WORK

- NEW 770 SQ. FT. OF MASTER SUITE & DINING ROOM ADDITIONS
- REMODEL 2,624 SQ. FT. OF EXISTING INTERIOR

PROJECT DATA

PROJECT ADDRESS:
2687 CAMINITO PRADO
LA JOLLA, CA. 92037

SITE DATA:
APN #: 346-560-44-00
LEGAL DESCRIPTION: LOT 21 TRACT 6662
LOT AREA: 10,798 SQ FT / 0.24 ACRES
YEAR BUILT: 1972

ZONING DATA:
ZONE = L15P-SF
SETBACKS =
FRONT = MIN. 15' FT.
SIDES = MIN. 4'-0"
REAR = 15' FT

HEIGHT LIMIT = 30 FEET FROM EXISTING GRADE
FAR ALLOWED = 0.60

BUILDING DATA

AREA ANALYSIS

EXISTING MAIN HOUSE	=	2,624 SQ FT
PROPOSED FIRST FLOOR ADDITION	=	770 SQ FT
PROPOSED SECOND FLOOR ADDITION	=	0 SQ FT
TOTAL HABITABLE FLOOR AREA	=	3,394 SQ FT
EXISTING GARAGE	=	585 SQ FT

FLOOR AREA RATIO

LOT SIZE	=	10,798 SQ FT
1.0 GO (MAX. F.A.R.)	=	10.60
TOTAL	=	6,478 SQ FT (MAX. ALLOWED)

TOTAL HABITABLE = 3,394 SQ FT
GARAGE = 585 SQ FT
TOTAL FLOOR AREA = 3,979 SQ FT

FAR ALLOWED: 0.60 x 10,798 SQ. FT. = 6,478 SQ. FT.
FAR PROPOSED: 3,979 SQ FT / 10,798 SQ. FT. = 37% (OKAY)

STRUCTURE SIZE:

EXISTING STRUCTURE SIZE:	3,209 SQ FT
PROPOSED STRUCTURE SIZE:	770 SQ FT
PERCENTAGE OF INCREASE:	24%

OCCUPANCY:

DWELLING = R3
GARAGE = U-1

CONSTRUCTION TYPE:

TYPE V-B - DWELLING
TYPE V-B - GARAGE
NO SPRINKLERS

GOVERNING CODE:

GOVERNING CODES	2016 EDITION
C.B.C.	2016 EDITION
C.G.B.S.C	2016 EDITION
C.P.C.	2016 EDITION
C.M.C.	2016 EDITION
C.E.C.	2016 EDITION
C.B.E.E.S.	2016 EDITION

LANDSCAPING DATA

AREA ANALYSIS

RESIDENCE FOOTPRINT AREA	=	2,661 SQ FT
EXISTING GARAGE FOOTPRINT	=	585 SQ FT
PATIO FOOTPRINT AREA	=	659 SQ FT
EXISTING DRIVEWAY AND HARDSCAPE	=	1,335 SQ FT
TOTAL	=	5,460 SQ FT

LANDSCAPE REQUIRED: 30% x 10,798 SQ. FT. = 3,239 SQ. FT.
LANDSCAPE PROVIDED: 5,338 SQ FT / 10,798 SQ. FT. = 49% (OKAY)

PROJECT DIRECTORY

OWNER:
TREVOR & CATHARINE NELSON
2687 CAMINITO PRADO
LA JOLLA, CA. 92037

DESIGNER:
JACKSON DESIGN AND REMODELING
4797 MERCURY STREET
SAN DIEGO, CA. 92111
CONTACT: ARNOLD J. GARZA
619.916.1488
arnold@jacksondesignandremodeling.com

CONTRACTOR:
JACKSON DESIGN AND REMODELING
4797 MERCURY STREET
SAN DIEGO, CA. 92111
619.442.6125
LIC # 880939

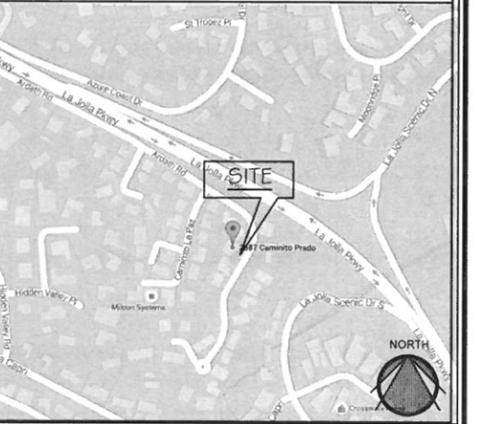
SOILS ENGINEER:
N/A

STRUCTURAL ENGINEER:
MIKE SUPRENTAN AND ASSOCIATES
9975 BUSINESS PARK AVE. SUITE 'A'
SAN DIEGO, CALIFORNIA 92131

TITLE 24:
D & R CALCS
DIANE MENDOZA
14107 IPAVA DRIVE
POWAY, CA. 92064
PHONE: (656) 486-9506

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GREEN CODE NOTE

AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED AND APPROVED.

AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF3R IS REVIEWED AND APPROVED.

HERS NOTES

- PROPERLY COMPLETED AND SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATE OF VERIFICATION (CF3R) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR THE ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- CF1R REGISTRATION FORMS ARE LOCATED ON THE PLANS. IF REGISTRATION IS REQUIRED, A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE.
- HERS TESTS REQUIRED FOR THIS PROJECT ARE:
DUCT SEALING 5%
MINIMUM AIRFLOW
FAN EFFICIENCY WATTS/CFM
REFRIGERANT CHARGE
IAQ MECHANICAL VENTILATION EXHAUST FAN
- FOR IAQ FAN-75 CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN, PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 STONE. THIS FAN TO PROVIDE WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- RADIANT BARRIER ROOF SHEATHING IS REQUIRED AT NEW ATTIC AREAS.

GREEN CODE NOTE

AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED AND APPROVED.

AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF3R IS REVIEWED AND APPROVED.

GREEN CODE NOTE

AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF3R IS REVIEWED AND APPROVED.

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A Home Remodel for:
Trevor and Catharine Nelson
2687 Camino Prado, La Jolla, CA 92037

Sheet Title:
GENERAL NOTES

Plan Check
04/03/2017

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DATE	09/10/15
SCALE	as noted
JOB NAME	Nelson
SHEET	T-1.1
OF XX SHEETS	

STORM WATER REQUIREMENTS

SD Storm Water Requirements DS-560 Applicability Checklist Form 09/15/2014. Project Address: 2687 Camino Prado, La Jolla, California 92037. Section 1: Construction Storm Water BMP Requirements. Section 2: Storm Water Pollution Prevention Plan (SWPPP) Requirements.

Page 2 of 4 City of San Diego - Development Services - Storm Water Requirements Applicability Checklist. PART B: Determine Construction Site Priority. Complete PART B and continue to Section 2. Section 2: Permanent Storm Water BMP Requirements.

City of San Diego - Development Services - Storm Water Requirements Applicability Checklist Page 3 of 4. PART D: PDP Exempt Requirements. PART E: Determine if Project is a Priority Development Project (PDP).

Page 4 of 4 City of San Diego - Development Services - Storm Water Requirements Applicability Checklist. Section 3: New development or redevelopment projects of a retail general use (RGU) that creates and/or replaces 5,000 square feet or more of impervious surface. Section 4: Other Pollution Generating Project.

BMP and NOTES

PLANNING AND ORGANIZATION. 1. JACKSON DESIGN AND REMODELING SHALL BE THE RESPONSIBLE TEAM WHO WILL MAINTAIN AND IMPLEMENT THE SWPPP DURING CONSTRUCTION.

SCOPE OF WORK:

NEW 757 SQ. FT. SINGLE STORY ROOM ADDITION TO CONSIST OF NEW MASTER BEDROOM, MASTER BATHROOM, ENLARGE EXISTING DINING ROOM, NEW LAUNDRY ROOM, AND NEW RECREATION ROOM.

SITE STORM WATER REQUIREMENTS APPLICABILITY NOTES:

- 1. THERE ARE NO EXISTING OR PAST HAZARDOUS OR TOXIC MATERIAL SPILLS.
2. LOT IS RELATIVELY FLAT DRAINING TOWARD REAR OF LOT. SEE PLAN FOR FLOW PATTERNS.
3. SINCE THE LOT IS FLAT THERE WILL BE NO ANTICIPATED EROSION ON THE SITE.

THE FOLLOWING IS A NARRATIVE OF POTENTIAL POLLUTANTS AND HOW THEY ARE TO BE HANDLED:

- 1. SEDIMENTS - POTENTIAL SEDIMENT SHALL BE CONTAINED THROUGH THE USE OF A CATCH BASIN WITH BIO-FILTER PROVIDED TOWARDS THE FRONT AND REAR OF THE PROJECT AS SHOWN ON THE PROVIDED SITE PLAN.
2. NUTRIENTS - POTENTIAL NUTRIENTS SHALL ALSO BE CONTAINED THROUGH USE OF CATCH BASINS WITH BIO-FILTER PROVIDED TOWARDS THE FRONT OF THE PROJECT SHOWN ON THE PROVIDED SITE PLAN.

SITE DESIGN BMP MEASURES

THE FOLLOWING IS A DETAILED ACCOUNT OF PROPOSED SITE DESIGN MEASURES TO BE IMPLEMENTED INTO THE DEVELOPMENT OF THIS PROJECT:

- 1. THE STRUCTURE ITSELF SHALL BE PROVIDED WITH GUTTERS AND DOWNSPOUTS. THESE DOWNSPOUTS SHALL DRAIN DIRECTLY INTO ADJACENT LANDSCAPING AREA SO AS TO ALLOW THE SOIL AND POSSIBLE PLANT MATERIAL THE ABILITY TO ABSORB ANY POSSIBLE SPILLAGE OR LEAKAGE THAT MIGHT OCCUR DURING NORMAL USE BY THE FUTURE OWNER(S).
2. POTENTIAL LANDSCAPING SHALL BE OF NATIVE AND/OR DROUGHT-TOLERANT NATURE AS TO THRIVE IN THE LOCAL AREA WITHOUT THE NEED FOR ANY SPECIAL CHEMICAL INTERVENTION.

SOURCE CONTROL BMP MEASURES

THE FOLLOWING IS A DETAILED ACCOUNT OF PROPOSED SOURCE CONTROL MEASURES TO BE IMPLEMENTED INTO THE DEVELOPMENT OF THIS PROJECT:

- 1. THERE SHALL BE PAVED SURFACE, SEPARATE FROM THE OFF-STREET PARKING AREA, (EXISTING DRIVE)
2. THIS TRASH AND DEBRIS CONTAINMENT STRUCTURE SHALL NOT BE CONSTRUCTED AS A HABITAT STRUCTURE AND SHALL NOT BE MORE THAN 120 SQUARE FEET OF PROJECTED ROOF AREA AS TO ELIMINATE THE NEED FOR A BUILDING PERMIT. THERE SHALL ALSO BE AN EARTHEN-BERM SURROUNDING THE SOLID STRUCTURE AS TO CONTAIN ANY POSSIBLE SPILLAGE OR LEAKAGE THAT MIGHT OCCUR DURING NORMAL USE BY THE FUTURE OWNER(S).

BMP and NOTES CONT.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs:

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit. The City of San Diego Land Development Code, and the Storm Water Standards Manual.

- 1. The contractor shall be responsible for cleanup of all silt & mud on adjacent streets), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMPs which may compromise Storm Water Quality within any street(s).
2. All stock piles of soil and / or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when 5 day run probability forecast exceeds 40%.
3. A concrete washout shall be provided on all projects which require the construction of any concrete improvements which are to be poured in place on site.

WPCP report

- 1. CONTACT INFORMATION
a. CONTRACTOR - Trevor Nelson - 2687 Camino Prado, La Jolla, California 92037 Phone: (658) 531-8907
2. PROJECT INFORMATION
a. PROJECT SUMMARY: ADDITION OF LIVING ROOM EXTENSION, REMODEL KITCHEN, BATHS AND BEDROOMS.
b. PROJECT SCHEDULE: 2-20-17 DEMOLITION, 3-10-17 FRAMING, 3-30-17 EXTERIOR WRAP AND FINISH, 4-20-17 INTERIOR FINISH, 5-21-17 COMPLETION OF PROJECT.

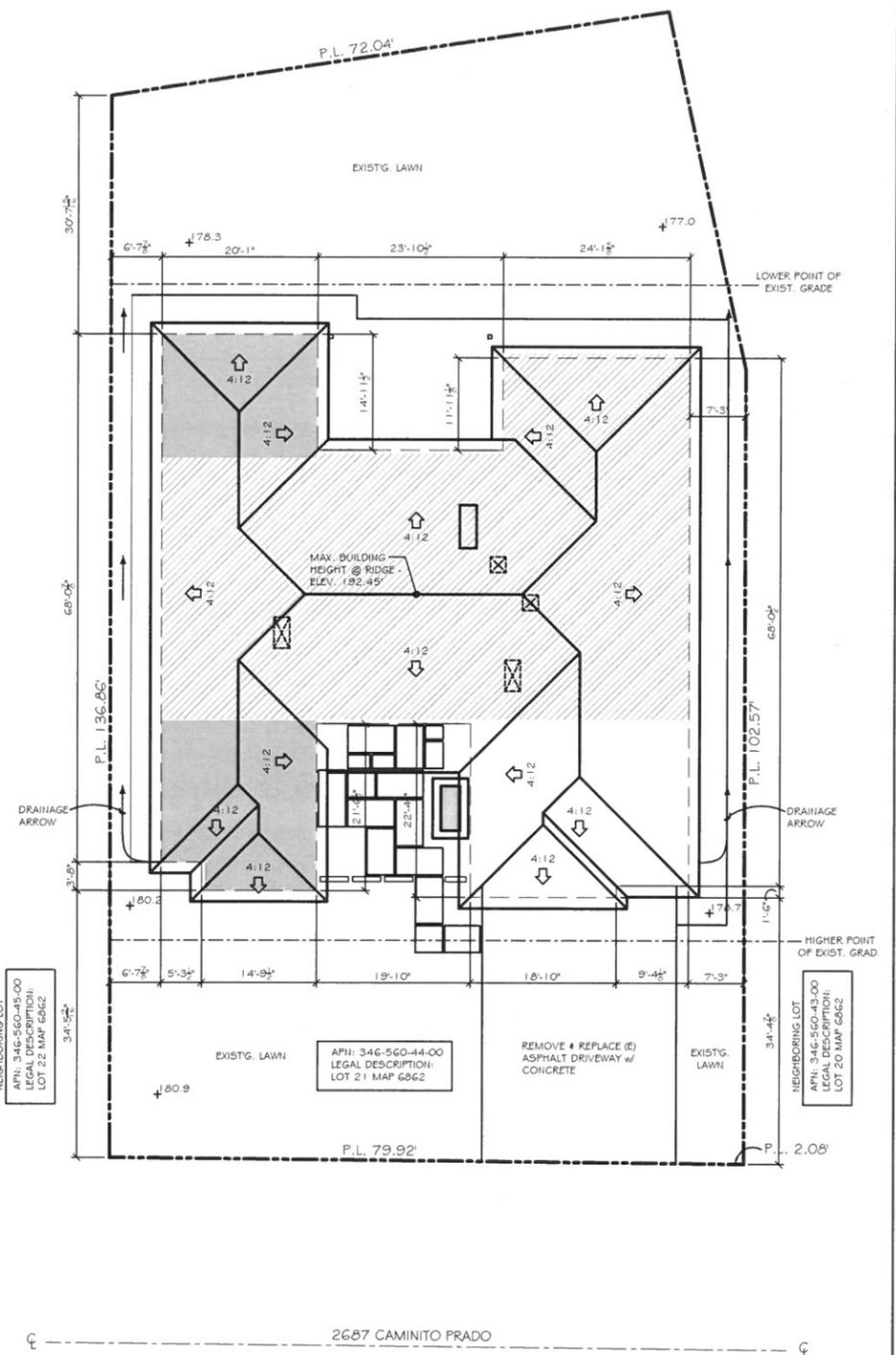
POLLUTION SOURCES AND CONTROL MEASURES:

- 1. DEMO
ii. FOUNDATION PREPARATION AND CONCRETE SLAB POUR
iii. WOOD STUDS AND FRAMING
iv. STUCCO AND ITS APPLICATION
v. ROOFING MATERIAL INSTALLATION
vi. FINISH GRADING
vii. SOIL STABILIZATION AND SEDIMENT CONTROL
viii. SOIL SHALL BE SLOPED TOWARD A SWALE FROM TO SIDE OF THE LOT FOR SEDIMENT CONTROL. BUILDING PAD IS RELATIVELY FLAT AND SHALL NOT HAVE EROSION CONTROL MEASURES. PROVIDE GRAVEL BAGS AT SITE PERIMETER.
ix. SOIL STABILIZATION
x. THE LOT IS FLAT AND DOES NOT REQUIRE SOIL STABILIZATION BMPs
xi. SEDIMENT CONTROL BMPs
xii. THE LOT WILL BE SLOPED TOWARD THE SITE SWALE. NO RUNOFF WILL HIT THE STREET. PROVIDE GRAVEL BAGS AT SITE PERIMETER.
xiii. TRACKING CONTROL BMPs
xiv. CONTRACTOR TO MAINTAIN GOOD HOUSEKEEPING ON THE SITE TO LIMIT MATERIAL AND DEBRIS INTO THE STORM WATER RUN OFF
xv. WIND CONTROL
xvi. SITE FENCING SHALL BE PLACED AT THE FRONT OF THE LOT WITH A WIND SCREEN TO LIMIT AND CONTROL WIND BLOW DEBRIS
xvii. SWEEP AREA OF ALL DEBRIS AT THE END OF EACH DAY AND PLACE WASTE IN DUMPSTER
xviii. DUMP ALL WASTE IN DUMPSTER NOT ON THE GROUND TO CONTROL WASTE ENTERING THE STORM WATER.
xix. WHEN WASHING EQUIPMENT ON SITE MAKE SURE NO WATER RUNOFF EXISTS THE SITE.
xx. NON-STORM WATER MANAGEMENT BMPs
xxi. COVER BUILDING MATERIALS TO KEEP DRY ON SITE
xxii. WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs
xxiii. CREATE AN AREA TO STORE MATERIALS AT THE FRONT OF THE LOT. PLACE COVERING ON DOWN AND GRAVEL BAG AROUND TO CONTROL GROUND WATER.
xxiv. STOCKPILES SHALL BE COVERED AND PLACED ON GROUND COVERING
xxv. WASHOUTS SHALL BE LOCATED AT THE FRONT OF THE LOT. NO RUN OFF IS ALLOWED OFF THE SITE.
xxvi. PORT-A-POTTY SHALL BE LOCATED AT THE FRONT OF THE LOT AND SET ON GROUND COVERING SURROUNDED BY GRAVEL BAGS.

- 1. THE LOT IS FLAT AND WILL SLOPE TOWARD SWALE AT THE FRONTSIDE OF THE LOT FOR SEDIMENT CONTROL.
2. GOOD HOUSEKEEPING WILL BE MAINTAINED DURING LIFE OF CONSTRUCTION. MATERIALS WILL BE COVERED. SITE AND SITE AREA WILL BE SWEEP EACH DAY.

GENERAL SOILS NOTES

THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. ARCHITECT: Trevor Nelson, OWNER/ LICENSED ENGINEER OR. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK, TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.



NOTE: THERE IS NO WORK TO BE PERFORMED WITHIN THE PUBLIC RIGHT OF WAY.

SITE PLAN SCALE: 1" = 10' - 0"



GREEN NOTES:

AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED C.F.R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.

REVISIONS BY table with columns for revision number and author.

JACKSON DESIGN & REMODELING logo and contact information including address, phone, and website.

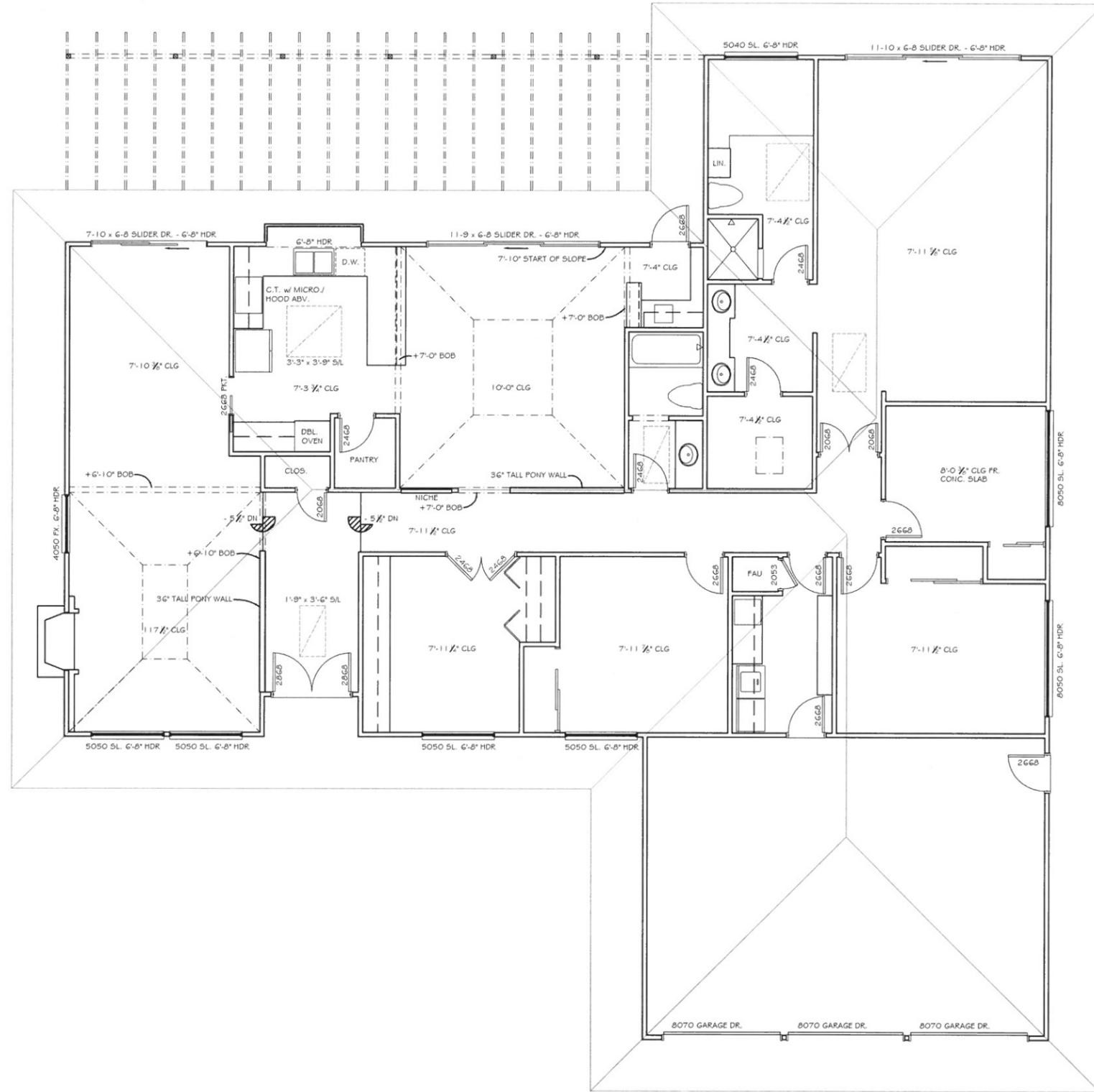
Plan Check 04/03/2017

A Home Remodel for: Trevor and Catharine Nelson, 2687 Camino Prado, La Jolla, CA 92037. Sheet Title: SITE PLAN AND STORM WATER/BMP PLAN.

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Table with columns for DRAWN (A. J. Garza), CHECKED, DATE (09/10/15), SCALE (as noted), JOB NAME (Nelson), and SHEET.

A-1.1 OF XX SHEETS



EXISTING FLOOR PLAN
SCALE: 1/4" = 1' - 0"



WALL LEGEND
 EXISTING TO REMAIN
 TO BE REMOVED
 NEW WALLS



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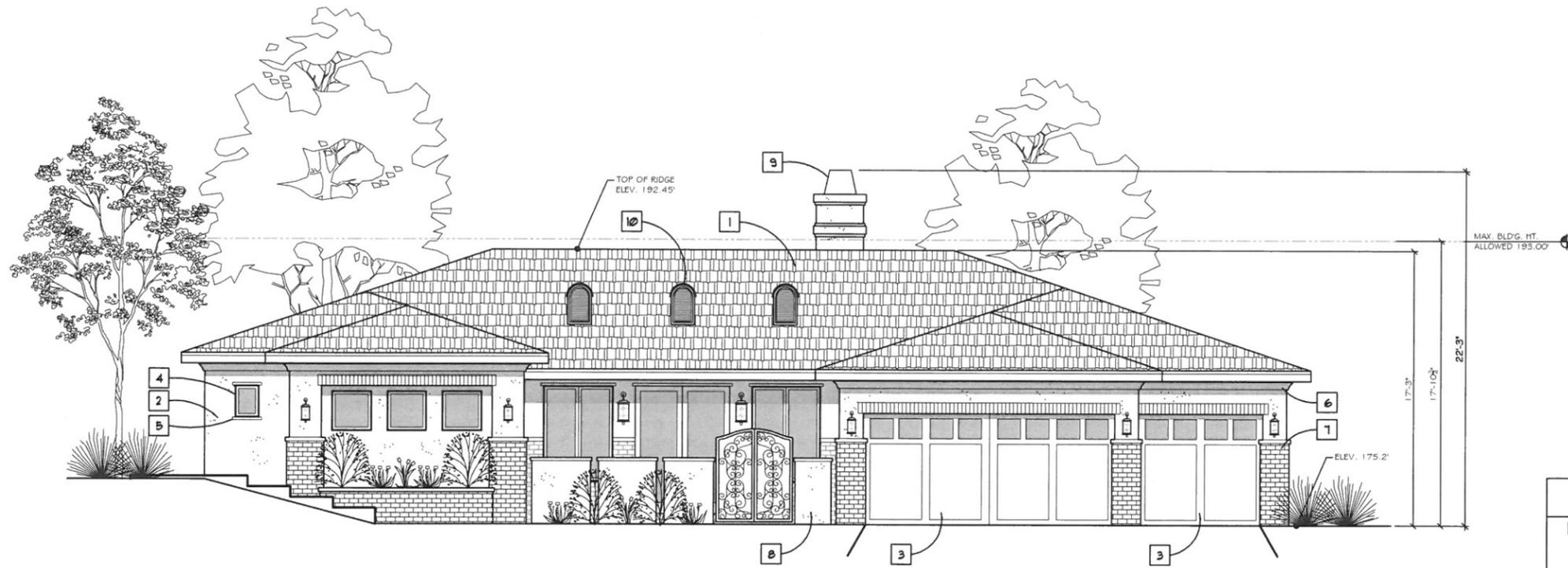
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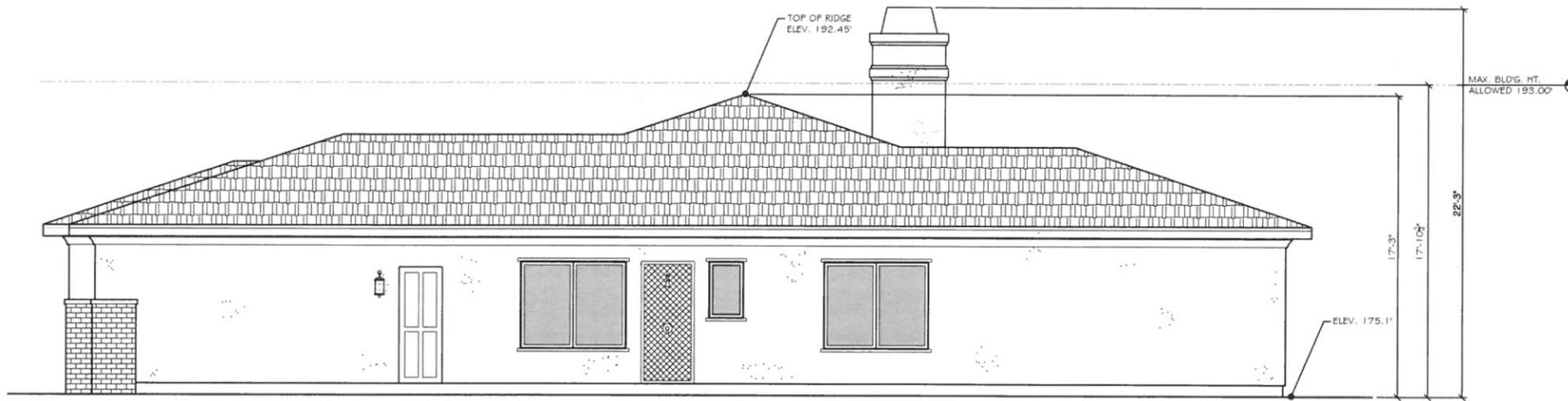
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A-2.1
OF Xx SHEETS



FRONT ELEVATION
SCALE: 1/2" = 1'-0"

ELEVATION KEY NOTES:

- 1. CONC. SHAKE SHINGLES - CLASS 'A' FIRE RATING
- 2. STUCCO FINISH
- 3. DOOR PER PLAN # SCHEDULE
- 4. WINDOW PER PLAN # SCHEDULE
- 5. PLASTER COATED FOAM TRIM
- 6. PLASTER COATED FOAM CORNICE
- 7. BRICK VENEER
- 8. COLOR COATED C.M.U. COURTYARD WALL
- 9. PRE-MANUF. CHIMNEY CAP w/ SPARK ARRESTOR
- 10. HALF ROUND (DORMER TYPE) SCREENED ATTIC VENT



R. SIDE ELEVATION
SCALE: 1/2" = 1'-0"

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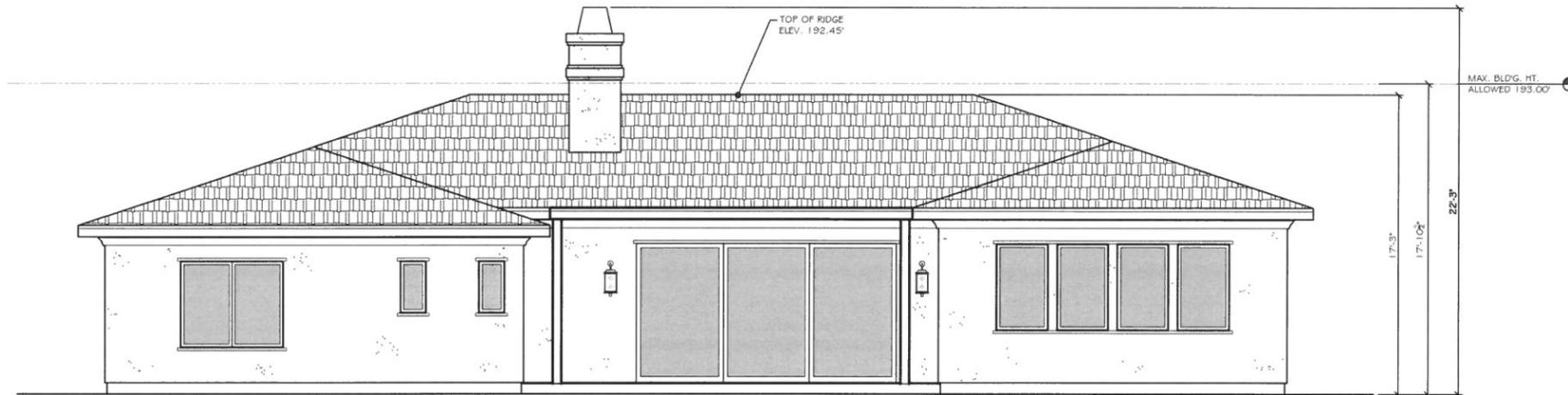
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Sheet Title:
EXTERIOR ELEVATIONS

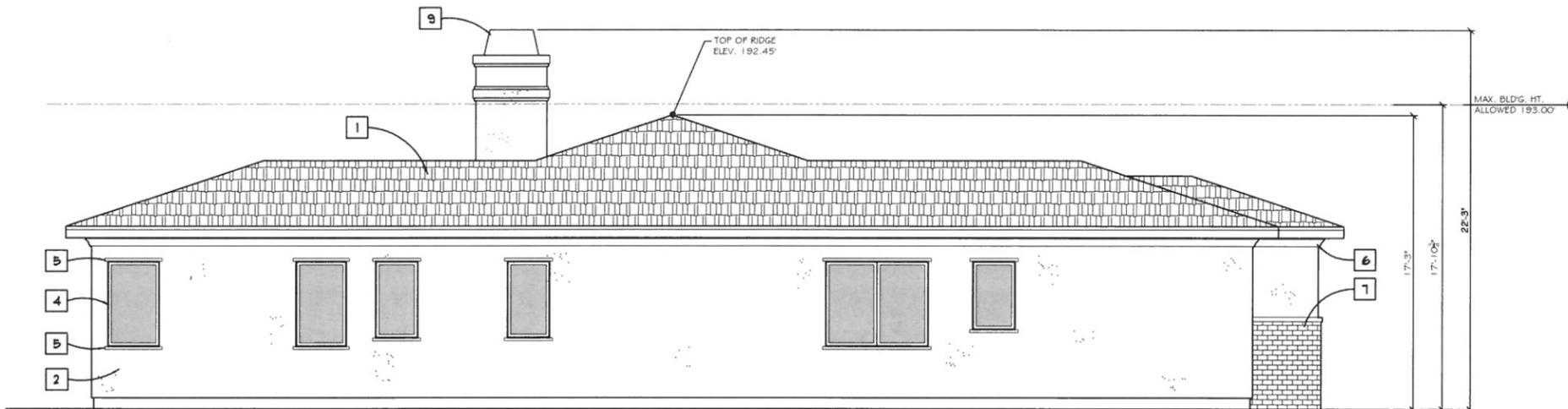
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JOB NAME	Nelson
SHEET	



REAR ELEVATION
SCALE: 3/4" = 1' - 0"



L. SIDE ELEVATION
SCALE: 3/4" = 1' - 0"

ELEVATION KEY NOTES:

1. CONC. SHAKE SHINGLES - CLASS 'A' FIRE RATING
2. STUCCO FINISH
3. DOOR PER PLAN # SCHEDULE
4. WINDOW PER PLAN # SCHEDULE
5. PLASTER COATED FOAM TRIM
6. PLASTER COATED FOAM CORNICE
7. BRICK VENEER
8. COLOR COATED C.M.U. COURTYARD WALL
9. PRE-MANUF. CHIMNEY CAP w SPARK ARRESTOR
10. HALF ROUND (DORMER TYPE) SCREENED ATTIC VENT

ELEVATION GENERAL NOTES:

1. FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH NEW CONSTRUCTION
2. GRADE AT NEW FOUNDATION SHALL BE MIN OF 8" BELOW SILL PLATE
3. NEW WALLS AND FINISHES SHALL MATCH EXISTING
4. FIELD VERIFY EXISTING ROOF PITCH AND SEAT CUT AND COORDINATE TRUSSES MFR AND FRAMER, MATCH WITH NEW CONSTRUCTION
5. ENTIRE ROOF SHALL BE A CLASS 'A' ROOF ASSEMBLY WERE MORE THEN 25% OF THE ROOF AREA IS REPLACED, ALTERED OR REPAIRED WITHIN A 12 MONTH PERIOD

FIRE NOTES:

1. ROOF GUTTERS, IF PROVIDED, SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. (SDMC SEC. 145.0704a)
2. WHEN DRIP EDGE FLASHING IS USED AT THE EDGES OF ROOFING MATERIALS, IT SHALL BE NON-COMBUSTIBLE. (SDMC SEC. 145.0704b)
3. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSIA/MANNINGDA 1011.5.2 STRUCTURAL REQUIREMENTS. (SDMC SEC. 145.0705a1)
4. VENTILATION OPENING LOCATED IN EXTERIOR WALLS OF BUILDINGS, PROVIDING VENTILATION TO UNDERFLOOR AND ATTIC SPACES, SHALL COMPLY WITH SEC. 704A.2 AND SDMC SEC. 145.0706 (a).
5. THE SIZE OF EACH INDIVIDUAL VENTILATION OPENING SHALL NOT EXCEED 144 SQ. INCHES. (SDMC SEC. 145.0706a)
6. ALL VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH. MESH OPENINGS SHALL BE 1/4" (SDMC SEC. 145.0706a).
7. VENTILATION OPENINGS ON STRUCTURES LOCATED IMMEDIATELY ADJACENT TO BRUSH MANAGEMENT ZONE 1 SHALL NOT BE DIRECTED TOWARD HAZARDOUS AREAS OF NATIVE OR NATURALIZED VEGETATION. (SDMC SEC. 145.0706a)
8. ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREAS. (SDMC SEC. 145.0504)
9. ROOF VENTS, DORMER VENTS, GABLE VENTS, FOUNDATION VENTILATION OPENINGS, VENTILATION OPENINGS IN VERTICAL WALLS, OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOUVERED AND COVERED WITH 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH, OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
10. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW, ONE-WAY DIRECTION ROTATION ONLY; THEY SHALL NOT FREE SPIN IN BOTH DIRECTIONS. (SDMC SEC. 145.0706a)
11. VENTILATION OPENINGS PROTECTED WITH OPENING THAT RESIST THE INTRUSION OF FLAME AND EMBERS, AND WHICH ARE LISTED BY THE STATE FIRE MARSHAL, ARE EXEMPT FROM COMPLYING WITH SUBSECTION 1 AND 3 OF SECTION 145.0706(b) (SDMC SEC. 145.0706a). ALL STRUCTURES HAVING ANY CHIMNEY, FLUE, OR STOVEPIPE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR IF THE CHIMNEY, FLUE, OR STOVEPIPE IS ATTACHED TO ANY FIREPLACE, STOVE, BARBECUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE. (SDMC SEC. 145.0706b)
12. GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS ON BUILDINGS LOCATED WITHIN 300 FEET, IN ANY DIRECTION, OF THE BOUNDARY BETWEEN BRUSH MANAGEMENT ZONES ONE AND TWO AS DEFINED IN SECTION 142.0412 OF THE LAND DEVELOPMENT CODE, SHALL BE TEMPERED OR MULTILAYERED GLASS. (SDMC SEC. 145.0706c)
13. WHEN REQUIRED BY CHAPTER 15, ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" INCH (GMM) OPENINGS OR ITS EQUIVALENT. (CBC SEC. 704A.2.1)
14. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES UNLESS LISTED EAVE AND CORNICE VENTS THAT ARE TESTED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE. (CBC SEC. 704A.2.2)
15. UNLESS OTHERWISE PROHIBITED BY OTHER PROVISIONS OF THIS CODE, VENT OPENINGS IN EXTERIOR WALLS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENTS SHALL BE SCREENED WITH A CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" (6mm) OPENINGS OR ITS EQUIVALENT. (CBC SEC. 704A.3.2.1)
16. EXTERIOR WINDOWS, WINDOWS WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (CBC SEC. 704A.3.2.2)
17. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS OF NOT LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257 SURFACES REGULATED IN SECTION 704A.4.1.1 SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS AND PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4, PARTS UNDER-FLAME TEST) AND B (BURNING BRAND EXPOSURE); OR (CBC SEC. 704A.4.1)
18. THE SURFACES REGULATED IN SECTION 704A.4.1.1 SHALL BE CONSTRUCTED WITH HEAVY TIMBER DECKING PER CBC SECTION 602.4 OR EXTERIOR FIRE-RETARDANT-TREATED WOOD OR APPROVED NON-COMBUSTIBLE MATERIALS. OR (CBC SEC. 704A.4.1)
19. THE USE OF PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION AS REQUIRED IN THIS CHAPTER. (CBC SEC. 704A.4.1)
20. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. (CBC SEC. 704A.4.2.1)

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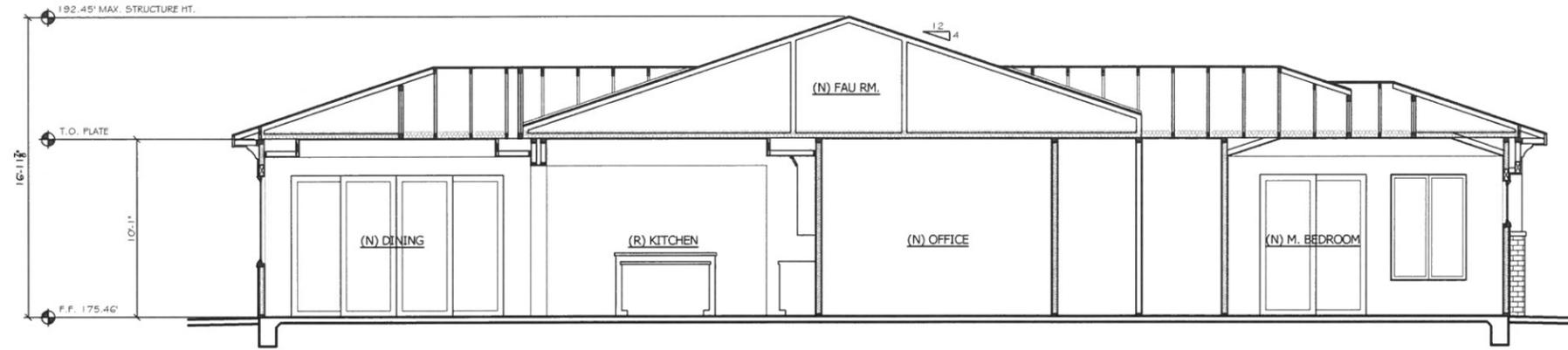
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Sheet Title:
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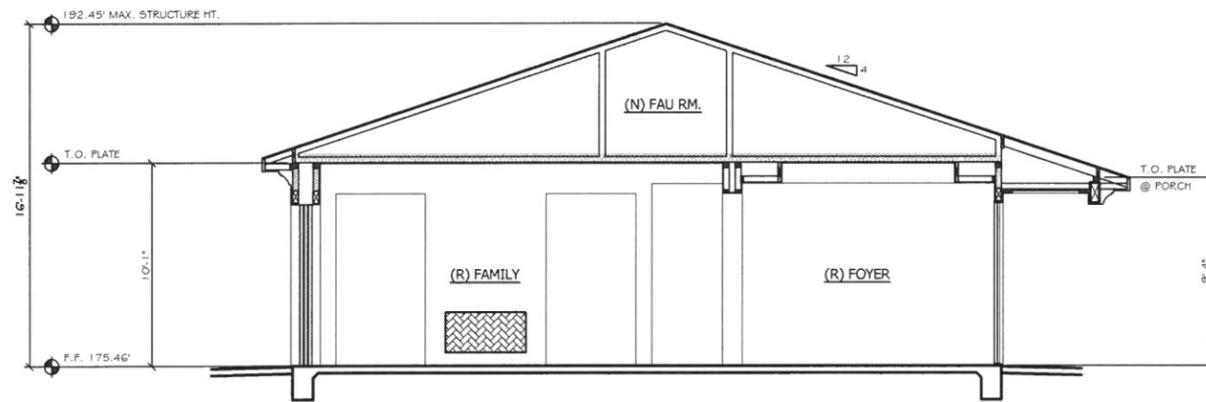
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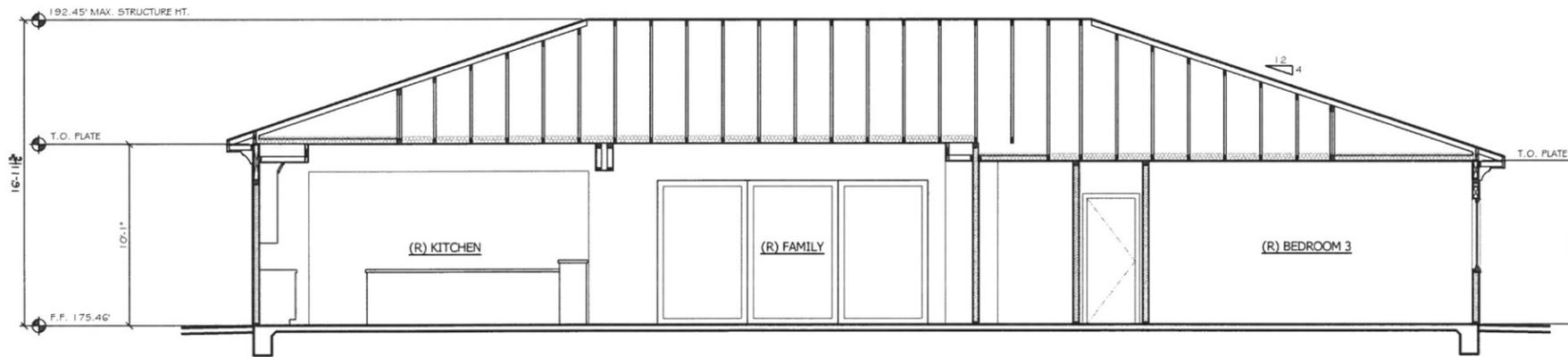
A-4.2
OF XX SHEETS



SECTION "A"
SCALE: 1/4" = 1'-0"



SECTION "B"
SCALE: 1/4" = 1'-0"



SECTION "C"
SCALE: 1/4" = 1'-0"

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(619) 442-6125
Fax: (619) 292-6290
1-800-675-5648

A Home Remodel for:
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Sheet Title:
BUILDING SECTIONS
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Nelson
SHEET

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OF XX SHEETS



Pangilinan, Marlon

To: Mark Lyon
Subject: RE: Amir Res Info

From: Mark Lyon [mailto:mark@mdla.net]
Sent: Monday, February 06, 2017 3:09 PM
To: Pangilinan, Marlon <MPangilinan@sandiego.gov>
Cc: On Amir <oamir@ucsd.edu>; Shani Moro <info@mdla.net>
Subject: Amir Residence, L.J.S.A.C. Submittal 1, Plans. 02/21/17 Hearing

Hello Marlon,

Attached, please find PDF's of the plans you requested for the Amir Residence, located at 7972 La Jolla Scenic Drive La Jolla, Ca.

In your email you requested the elevation that was visible from the Street. That elevation is the East Elevation. As you can see on the Site Plan, the existing House and front addition is well back from the street and down slope.

In addition, the project includes a 715 square foot second story addition, to an existing 5,323 square foot, two story Home. This represents only a 13.4% increase. There is no increase to the existing height of 21'-11". There is also no decrease of the existing side and rear setbacks. Although there are no set standards, they are as follows: 6'-0" South Side yard; 4'-0" North Side Yard; and 50'-0" West Rear Yard. The existing East Front Yard is 116'-0". The new setback will be 113'-0". An encroachment of only 3 feet or 2.6%.

I am in the process of gathering the neighbor support information you requested. Obviously this will take a little time, but Mr. Amir is working on this. I will also be sending some photographs, to assist in demonstrating the improvements in context of the surrounding street and properties. I will have all this information to you prior to the Hearing, but I wanted to get the plans and specifics to you now.

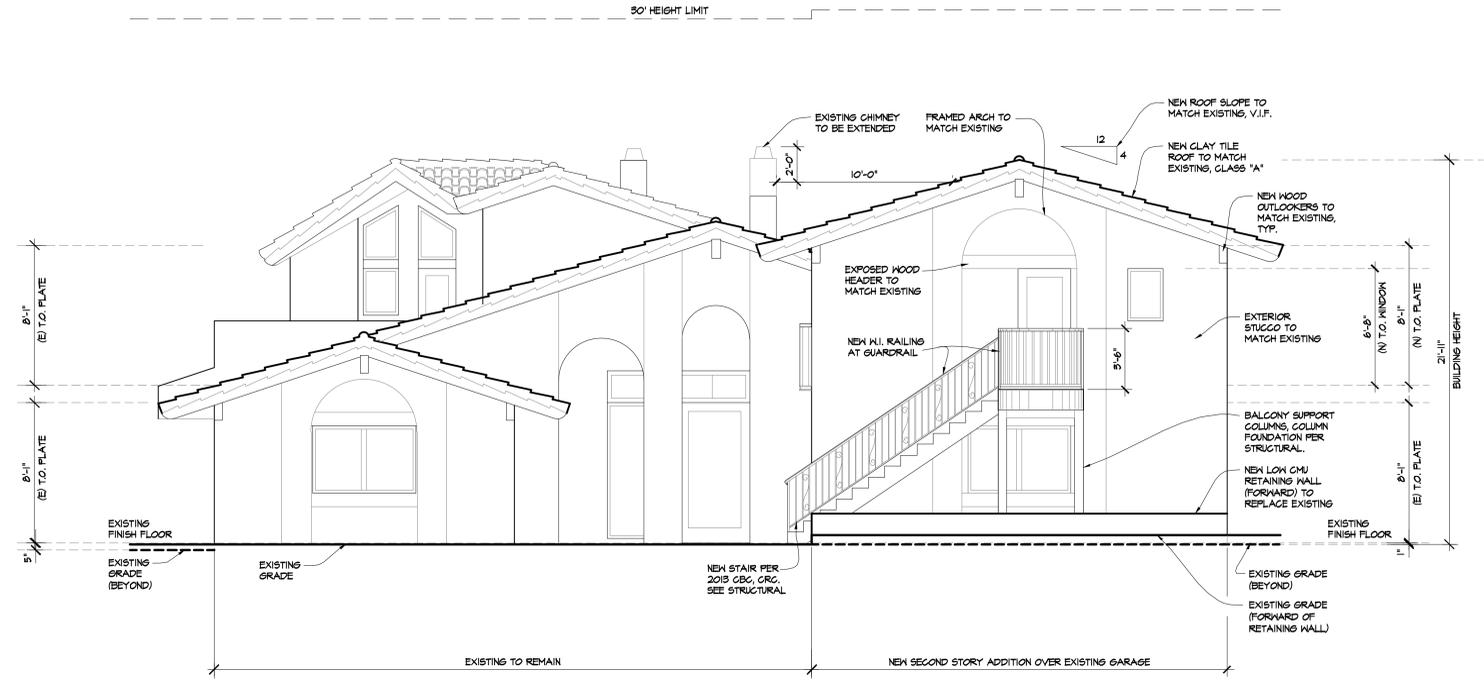
Please get back to me at your earliest convenience, to confirm your receipt. Please do not hesitate to let us know if there is any additional information that will be helpful in your review.

Also, Could you tell me when the Committee Hearing starts and the location.

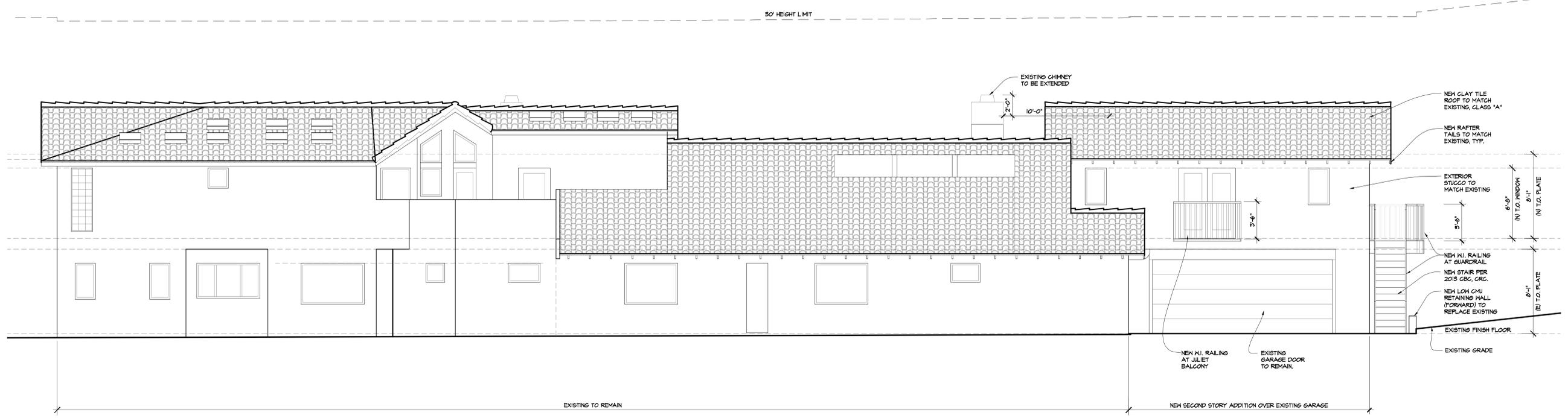
Thank you for your assistance,
Mark.

<A1.1 - Site Plan-A1.1.pdf><A2.0 - Existing 1st Floor Plan-A2.0.pdf><A2.1 - Existing 2nd Floor Plan-A2.1.pdf><A2.2 - Proposed 1st Floor Plan-A2.2.pdf><A2.3 - Proposed 2nd Floor Plan-A2.3.pdf><A2.6 - Proposed Roof Plan-Layout1.pdf><A3.1,A3.2 - Elevations-A3.1.pdf><A3.1,A3.2 - Elevations-A3.2.pdf><A4.1 - Sections-Layout1.pdf><LJSPDAB Applicant Information.docx>

NOTE
 THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.



EAST ELEVATION
 SCALE: 1/4"=1'-0"



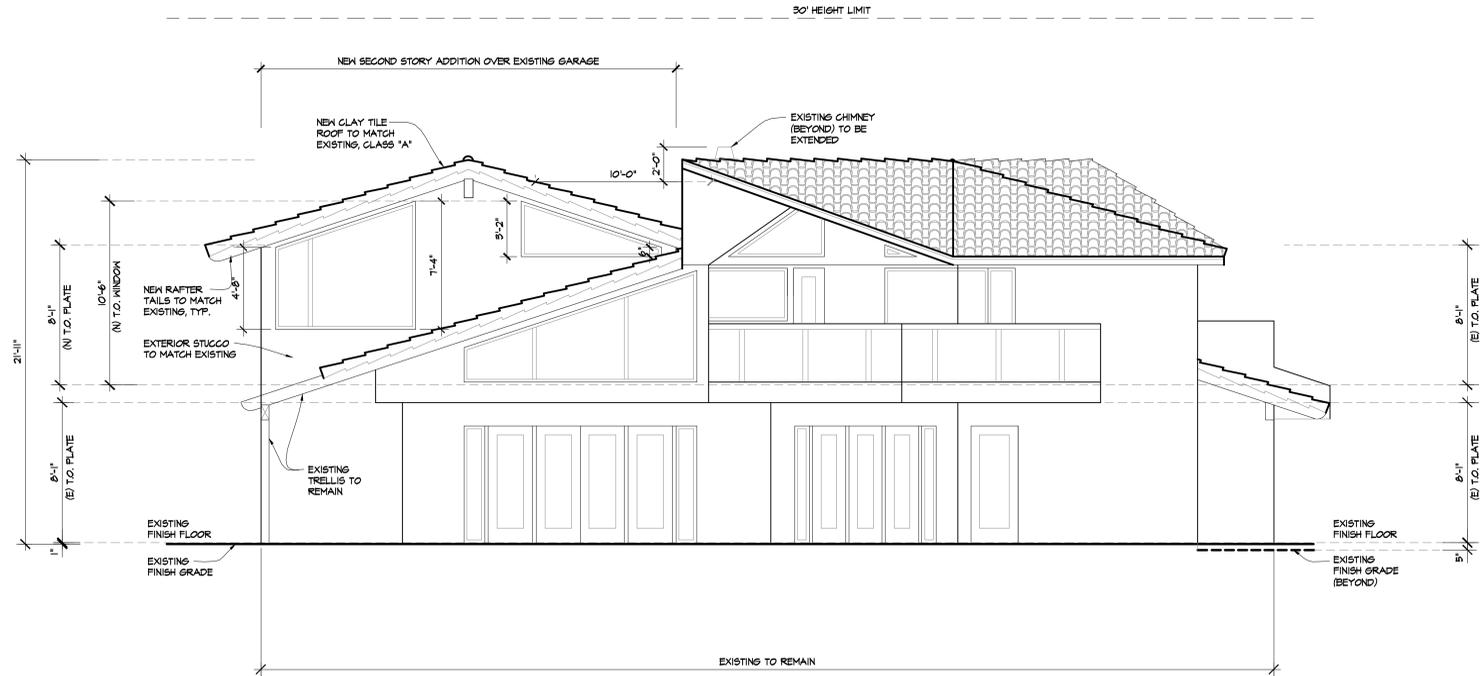
SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET

AMIR RESIDENCE
 7972 LA JOLLA SCENIC DR.
 LA JOLLA, CA 92037

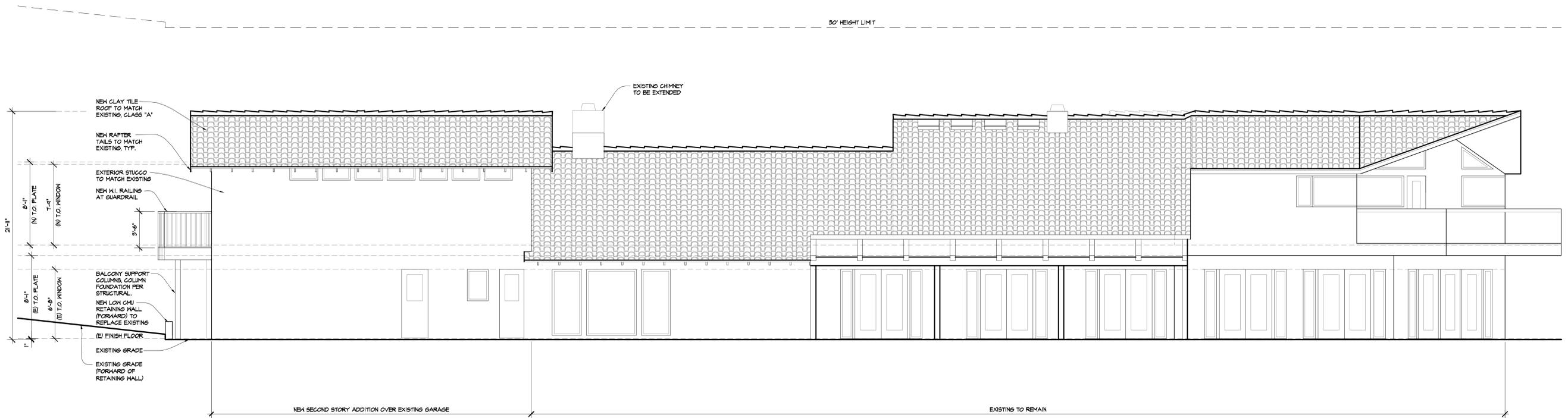
REVISIONS:
SUBMITTAL DATE:
PHASE: CONSTRUCTION DOCUMENTS
PROJECT NUMBER: 1620
REVIEWED BY: MDL
DRAWN BY: MD/RBB/K/L
DATE: 02/06/2017
SHEET TITLE: EXTERIOR ELEVATIONS
SHEET NO.:
A3.1

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WEST ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"

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La Jolla Shores Planned District Advisory Board

La Jolla Recreation Center

615 Prospect Street, La Jolla CA 92037

Please provide the following information for calendaring on an upcoming La Jolla Shores Planned District Advisory Board meeting.

Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept)
[8247 Paseo Del Ocaso](#)
[Seeking approval on our plan. We have met with the surrounding neighbors. Proposed project is to demolish existing single story building and rebuild two story home.](#)
- Address and APN(s)
- [8247 Paseo Del Ocaso](#)
[APN 346-232-06](#)
- Project contact name, phone, e-mail
[Mike Lake](#)
[760-840-7731](#)
Mike@mlakedevelopment.com
- Project description, plus
 - lot size
[5,497](#)
 - existing structure square footage and FAR (if applicable)
[1,897 square feet , 2 bed 2 bath, Single story](#)
[FAR 35%](#)
 - proposed square footage and FAR
[3,245, adding a second story, and basement](#)
[FAR 59%](#)
 - existing and proposed setbacks on all sides

	<u>Existing</u>	<u>Proposed</u>
Front	17'-2" to garage, 30'-6" to house	Same
Side	4'-9" North side, 4'-3" south side	Same
Rear	25'-10"	29'
 - height if greater than 1-story (above ground) [29'](#)
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.)
[Seeking approval for a CDP, and process 3.](#)

Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items)
[Project # 556415](#)
[Development #305673](#)

- Address and APN(s)
- [8247 Paseo Del Ocaso](#)
[APN 346-232-06](#)

- Project contact name, phone, e-mail
[above](#)
- Project description, plus [All above](#)
 - lot size
 - existing structure square footage and FAR (if applicable)
 - proposed square footage and FAR
 - existing and proposed setbacks on all sides
 - height if greater than 1-story (above ground)

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk& scale, and articulation are key discussion points on all projects.

[We have noticed the neighbors surrounding the project and had a meeting on site to present and answer questions.](#)

Marlon I. Pangilinan
Senior Planner
Planning Department
1010 Second Avenue, Ste 1100 MS 413
San Diego CA 92101
619-235-5293
www.sandiego.gov/planning



FRONTAL ELEVATION





3rd FLOOR
UPPER DECK



Barbara
BRY
City Council



VERTICAL NATURAL
FENCE ON
PROPERTY LINE



4' 9"

15' 7/16"

13' 5 3/16"

12' 6 1/2"

4' 3"

2' 4 1/2"

5' 5 1/2"

8' 5 1/2"

7' 2 1/2"

5' 6"

3'

15' 7 1/2"

30'

5' 10 1/2"

5' 6"

H=23' 6"

H=12' 10"

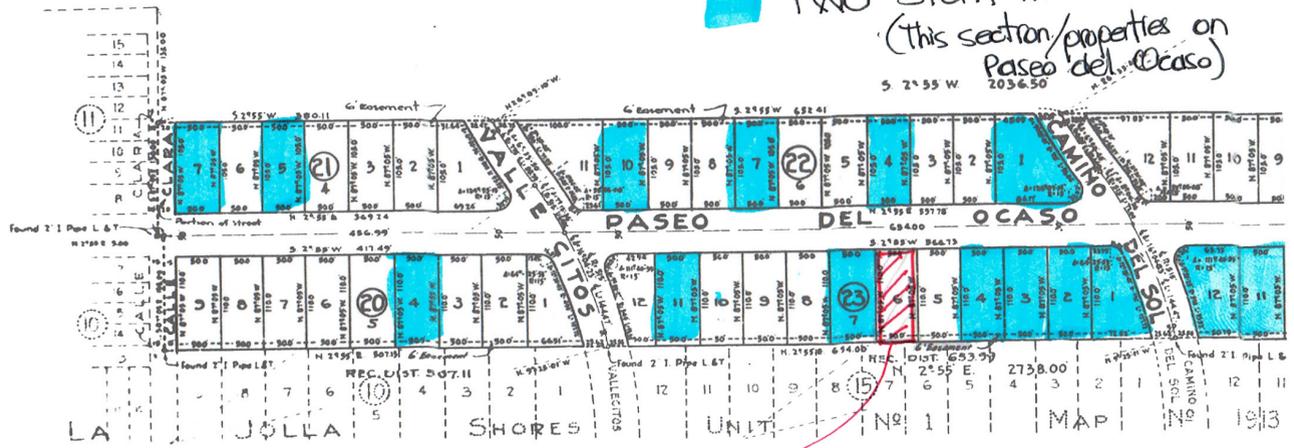
8247

EXISTING PINE TREE

EXISTING PINE TREE



300' STUDY



TWO STORY HOMES
(this section/properties on
Paseo del Ocaso)



8247 Paseo del Ocaso



20-4



21-5



21-7



22-1



23-2



23-3



22-4



22-7



23-4



23-11



22-10



23-1



DRAFT DRAFT DRAFT DRAFT DRAFT

INCENTIVE-BASED ZONING FOR COASTAL DEVELOPMENT
New Language for SD LDC Sec. 126.0704
Exemptions from a Coastal Development Permit
Version 5, April 17, 2017

PURPOSE: These revisions are proposed to:

1. Implement the La Jolla Community & Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur.
2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns.
3. Provide for ministerial review of most development proposals.
4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review.

Definition: For the purposes of this Section, **Floor Area Ratio (FAR)** includes all built portions of a structure, including interior uninhabitable space such as storage, closets, halls, basements*, garages and “phantom” air space over 10 feet floor to ceiling in height, as well as exterior roofed areas like porches, balconies, loggias and carports.

Test Case: A standard lot size of 4001-5000 square feet (50x100 feet) with maximum FAR of 0.6 per SD Municipal Code 131.0446. This is a common lot size in many La Jolla neighborhoods. For lots with smaller or larger maximum FAR, the total project base FAR be scaled appropriately. Starting base FAR is 2/3 (67%) the maximum FAR allowed equaling 0.4 FAR.

I. A ministerial building permit shall be granted for new construction in the Coastal Zone when the following conditions, as detailed on project plans, are met:

Base Condition: Total project FAR does not exceed 0.4** AND:	
1.	Front setbacks meet or exceed allowable by zone, or that of existing street wall in adjacent properties, whichever is larger. Applicant will submit a plan showing the established setback lines of the two lots abutting on each side of property under review.
2.	Height does not exceed 21 feet for a flat roof or 24 ft for pitched roof (minimum pitch of 3-12).

3.	Side walls or windows in new addition do not align with opposite windows or openings of abutting properties, or consist of small utility windows with translucent material.
4.	Mature healthy trees with a breast height (4 ft.) caliper of 8 inches or more are preserved. If any tree has to be removed, it shall be replaced by a similar species in a 24 inch box. (See requirements of Climate Action Plan & Urban Forestry Plan.)
5.	New landscaping and fencing in front yard setback, including trees and lawns, follows the established neighborhood pattern specifically reflected by the four properties abutting the site on both sides and observes city tree palette. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
6.	Existing public views, where noted in the Community Plan, are preserved or strengthened by vegetation removal in setbacks and setback fences that are 50% open and no more than 42" in height.
7.	No below grade parking is proposed. Parking is to the rear of lot, or off the alley.
8.	Driveways and paved areas are permeable, with a combination of decorative blocks and vegetation in a 60/40% ratio, respectively.
9.	*Basements are fully underground, below natural or finished grade (whichever is lower) and are within building footprint. Windows do not exceed 18" in height; light wells do not exceed 4 ft. in width. All other basement conditions count towards allowable FAR.
10.	Sidewalk, parkway and street trees are preserved and enhanced.
11.	30 % of front façade features windows, glazed doors, balconies, porches or terraces that open to the street.

(**This FAR may be lower or higher for some neighborhoods or lots, depending on underlying zoning. For a higher FAR, see Bonus Points Program below.)

II. Additional project FAR, to a maximum 0.6 (or the maximum allowed by the underlying zone.) An additional maximum allowable height of 25-30 feet for pitched roofs and 27 feet for flat roofs, may be gained by adding the following features to the project, **in addition to those noted in Section 1**, via the following point system:

Bonus FAR	Incentives to Reduce Building Bulk and Provide Compatible Neighborhood Scale and Character (Maximum of 0.1 FAR)
.10	a. Design is for a single story.
.02	b. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on both sides at 19' above grade.
.01	c. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on ONE side at 19' above grade.
.01	d. Project design will incorporate a front yard 45 degree setback vertical angled plane at a height of 14' for 70% of the front façade.
.02	e. Building mass is broken up with H, I, L, or U shaped floor plans.
.02	f. 70% of second story is set back on primary façade by minimum of 15 ft.
.02	g. Second story is set back from first story by minimum 8 ft. on one or more secondary facades.
.05	h. Exterior walls offset from side yard setback by a minimum addition of 4 ft for cumulative linear distance of at least 20 ft.

Bonus FAR	Incentives to Enhance Neighborhood Scale & Character (Maximum of 0.1 FAR)
.02	i. A proposed roof deck is placed central to the proposed building design with parapets or railings not viewable from the street; or, deck is incorporated into the roof design.
.02	j. Garage door is turned 90 degrees from street or accessed from rear of property.
.02	k. Garage door is integrated into architectural design to minimize prominence. Strategies may include but are not limited to: use of overhead trellis or free standing pergola; garage door with windows or enhanced materials, small scale patterns, or 3-D relief; door mass minimized by staggered or separated openings.
.03	l. Distant views recognized in LJ Community Plan or LJ Cultural Landscape Survey are enhanced with an additional side yard setback of 10% of lot frontage, accommodated by new project design and/or removal of existing structure.

.03	m. A minimum of 30% of air space and distant view protection or enhancement (includes coastal, canyon, hillside views) across subject property are preserved at upper floor levels of immediately adjacent properties.
.03	n. 30% of lot is covered with vegetation (excluding required driveway vegetation). An additional 0.02 bonus is given for preserving existing mature vegetation. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
.02	o. Project proposes a covered entry level porch of at least 100 square feet with a minimum dimension of 8' in depth.
0.2	p. Preservation of a site's historic or potentially historic (eg. meets HRB designation criteria) architecture and cultural landscape with development consistent with the Secretary of Interior's Standards.
0.1	q. Preservation of the site's historic or potentially historic (eg. meets HRB designation criteria) architecture, with development consistent with the Secretary of Interiors Standards.

III. FAR shall be subtracted for the following project features:

Penalty FAR	Disincentives to Reduce Bulk, Preserve, Strengthen and Enhance Neighborhood Scale and Character
.03	r. Using standardized plans.
.2	s. Demolishing a potentially historic structure (eg. meets HRB designation criteria) for new construction.
.03	t. Repeating architect or builder prepared plans in the same block.

IV. Any project not adhering to the above criteria must apply for a Coastal Development Permit and be subject to community review.