La Jolla Shores Planned District Advisory Board
Online Virtual Meeting

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): 670715
- Address and APN(s): 7946 Paseo Del Ocaso, APN: 346-503-11
- Project contact name, phone, e-mail: Joshua Kordasiewicz, Axon Architecture, 619-208-3222, josh@axonarch.com
- Project description: Remodel single family residence, second story master suite addition with 2 story addition at rear of property that includes guest quarters
- In addition, provide the following:
    - lot size: 5,423 SF
    - existing structure square footage and FAR (if applicable): 2,011 SF, .36 FAR
    - proposed square footage and FAR: 3,605 SF, .66 FAR
    - existing and proposed setbacks on all sides:
        1. Proposed: South Side Yard: 0′-0″, North Side Yard: 4′-6″, Front: 15′-2″, Rear: 9′-5″
        2. Existing: South Side Yard: 0′-0″, North Side Yard: 9′-3″, Front: 20′-2″, Rear: 9′-5″
    - height if greater than 1-story (above ground): 28′-10″

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
    - lot size: _____
    - existing structure square footage and FAR (if applicable): _____
    - proposed square footage and FAR: _____
    - existing and proposed setbacks on all sides: _____
    - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website for view by the public:

- All exhibits should be sized to 8 ½″ X 11″ format
- Exhibits, which can contain the following:
    A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;

(CONTINUED ON THE NEXT PAGE)

B. Elevations for all sides;
C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction

D. If the proposal is for a building with more than one story, show:
   - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
   - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
   - the height of neighboring buildings compared to the proposed structure's height.

- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood

- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation – *updated 8/31/20*
Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to:

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413

San Diego CA 92123
619-235-5293
www.sandiego.gov/planning

GALLAGHER RESIDENCE

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

Cycle Issues

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

11/7/19 8:25 am
Page 1 of 2

L64A-003A

Project Information

Project Nbr: 473716 **Title:** Gallagher Addition
Project Mgr: Valenzuela, Lauren (619) 446-5297 LNValenzuela@sandiego.gov

Review Information

Cycle Type:	9 Hist.Site Specific Stdy Determ	**Submitted:**	03/04/2016 Deemed Complete on 03/04/2016
Reviewing Discipline:	Plan-Historic	**Cycle Distributed:**	03/04/2016
Reviewer:	Stanco, Kelley	**Assigned:**	03/14/2016
	(619) 236-6545	**Started:**	03/18/2016
	Kstanco@sandiego.gov	**Review Due:**	03/18/2016
Hours of Review:	0.50	**Completed:**	03/18/2016 COMPLETED ON TIME
Next Review Method:	Hist.Site Specific Stdy Determ	**Closed:**	03/18/2016

. Last month Plan-Historic performed 436 reviews, 87.8% were on-time, and 91.3% were on projects at less than < 3 complete submittals.

3/18/2016

Cleared?	Issue Num	Issue Text
☒	1	The property located at 7946 Paseo Del Ocaso is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue)
☒	2	During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf (Informational Only; No Response or Action Required) (New Issue)
☒	3	More information regarding this review process can be found in Information Bulletin 580. http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf (Informational Only; No Response or Action Required) (New Issue)
☒	4	If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required) (New Issue)
☒	5	If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...) (New Issue)
☒	6	(...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required) (New Issue)
☒	7	Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination: (New Issue)
☒	8	Due to previous alterations, including additions on the front, sides and rear, the property does not retain integrity and does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. (continued...) (New Issue)
☒	9	(...continued) Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required) (New Issue)

For questions regarding the 'Plan-Historic' review, please call Kelley Stanco at (619) 236-6545. Project Nbr: 473716 / Cycle: 9

p2k v 02.03.38 Emma Haggerty 236-7173

Cycle Issues

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

11/7/19 8:25 am
Page 2 of 2

L64A-003A

Cleared?	Issue Num	Issue Text
☒	10	Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle issues report. (Info Only, No Response Required) (New Issue)

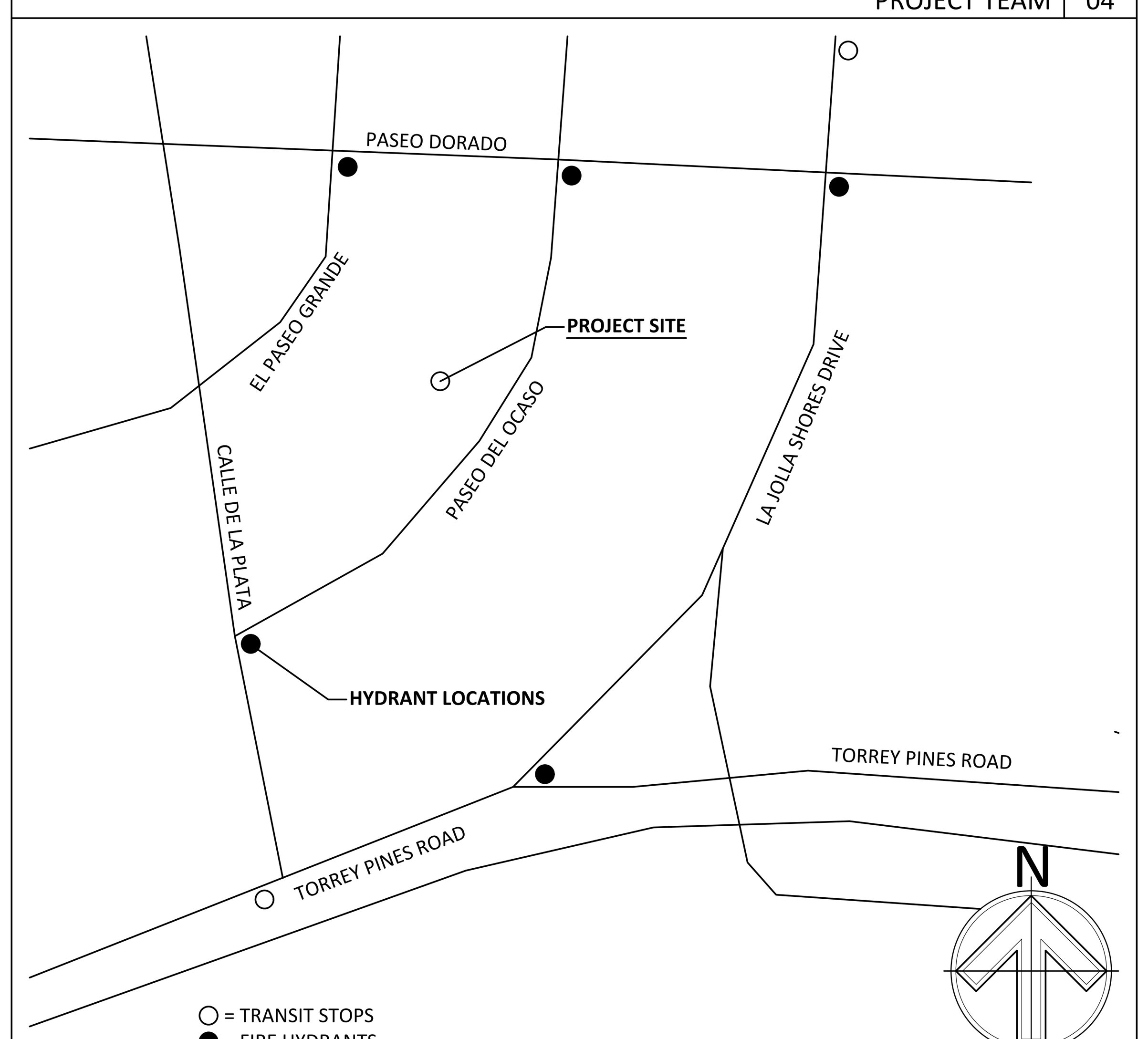
For questions regarding the 'Plan-Historic' review, please call Kelley Stanco at (619) 236-6545. Project Nbr: 473716 / Cycle: 9

p2k v 02.03.38 Emma Haggerty 236-7173

HISTORICAL CLEARANCE | 06

OWNER:	GARY GALLAGHER & MARLA BINGHAM 7946 PASEO DEL OCASO LA JOLLA, CA 92037
ARCHITECT:	AXON ARCHITECTURE 4344 ROBBINS STREET SAN DIEGO, CA 92122 JOSHUA KORDASIEWICZ JOSH@AXONARCH.COM 619-208-3222
SURVEY:	MATT SAWYER CA LICENSE NO. 8739 8427 HOVENWEEP CT SAN DIEGO, CA 92129 858-692-6922
LANDSCAPE ARCHITECT:	ABOVE IT ALL DESIGN, INC. 6479 DWANE AVENUE SAN DIEGO, CA 92120 BRIAN KATZ BKATZ524@HOTMAIL.COM 619-995-9773

PROJECT TEAM | 04



VICINITY MAP | 05

INFO

A-0.1	TITLE SHEET

CIVIL

TOPO	SURVEY

ARCHITECTURAL

A-1.1	SITE PLAN
A-2.0	DEMOLITION PLAN
A-2.1	PROPOSED FIRST FLOOR PLAN
A-2.2	PROPOSED SECOND FLOOR PLAN
A-4.1	PROPOSED ROOF PLAN
A-5.1	PROPOSED ELEVATIONS
A-5.2	PROPOSED ELEVATIONS
A-5.3	PROPOSED ELEVATIONS
A-5.4	PROPOSED ELEVATIONS
A-5.5	PROPOSED ELEVATIONS
A-5.6	PROPOSED ELEVATIONS
A-6.1	PROPOSED SECTIONS
A-6.2	PROPOSED SECTIONS
A-6.3	PROPOSED SECTIONS

LANDSCAPE

LCP-1	LANDSCAPE CONCEPT PLAN
LCP-2	LANDSCAPE NOTES
LCP-3	LANDSCAPE AREA DIAGRAM
LCP-4	HYDROZONE AREA DIAGRAM/CALCS.

SHEET INDEX | 03

- REMODEL OF EXISTING SINGLE FAMILY RESIDENCE TO PROVIDE OPEN FLOOR PLAN FOR KITCHEN, DINING AND LIVING AREA.
- REMODEL OF EXISTING MASTER BEDROOM & BATHROOM, AND EXTENSION OF FRONT BEDROOM.
- ADDITION OF 388 SF ATTACHED GUEST QUARTERS ON FIRST FLOOR.
- SECOND STORY ADDITION INCLUDING MASTER BEDROOM, BATHROOM, CLOSETS, AND DECK.
- REQUEST FOR SITE DEVELOPMENT PERMIT APPROVAL.

SCOPE OF WORK | 01

ADDRESS:	7946 PASEO DEL OCASO LA JOLLA, CA 92037		
LEGAL DESCRIPTION:	LOT 12, IN BLOCK 5 OF THE LA JOLLA SHORES UNIT NO.1 IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, MAP THEREOF NO. 1918		
A.P.N.:	346-503-11		
YEAR BUILT:	1918		
TYPE OF CONSTRUCTION:	V-B, NON-SPRINKLERED		
OCCUPANCY:	R-3/U		
NUMBER OF STORIES:	SINGLE STORY SINGLE FAMILY RESIDENCE		
APPLICABLE CODES:	2019 CALIFORNIA RESIDENTIAL CODE, WHICH ADOPTS THE 2016 IRC, 2016 UMC, 2016 UPC AND THE 2011 NEC, SAN DIEGO MUNICIPAL CODE		
LOT SIZE:	5,422.5 SF		
ZONES:	LJSPDO-SF		
OVERLAY ZONES:	COASTAL HEIGHT LIMIT, COASTAL (CITY), TRANSIT AREA, TRANSIT PRIORITY AREA		
PLANNED DISTRICT:	LA JOLLA SHORES PLANNED DISTRICT		
GEO. CATEGORY:	52		
HEIGHT LIMIT:	30'-0"		
SETBACKS:	LEFT SIDEYARD: 0'-0" (EXISTING) RIGHT SIDEYARD: 4'-6" FRONT: 15'-2" REAR: 9'-5" (EXISTING)		
PARKING:	EXISTING 2	PROPOSED 2	
PROPOSED FAR:	.65 SF		
PROPOSED AREA:	3,524 SF		
AREA:	EXISTING 2,010.2 SF		
	PROPOSED FIRST FLOOR 2,058 SF	PROPOSED SECOND FLOOR 1,078 SF	TOTAL 3,136 SF
	PROPOSED ADU 388 SF	TOTAL AREA OF ADDITION 1,466 SF	TOTAL AREA 3,524 SF
	EXISTING GARAGE 229.6 SF	PROPOSED GARAGE 223.5 SF	
	PROPOSED DECK 362.3 SF		
LOT COVERAGE:	45.1% (<60% PER SDMC 1510.0304(b)(d)		

PROJECT INFORMATION | 02

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE
CONSTRUCTION DOCS

REVISIONS

- 2019-09-06 OWNER MEETING
- 2019-12-05 OWNER REVS.
- 2020-02-12 OWNER MEETING
- 2020-02-19 OWNER REVS.
- 2020-05-07 OWNER REVS.
- 2020-06-19 OWNER REVS.
- 2020-09-02 CITY SUBMITTAL
- 2020-11-6 CITY SUBMITTAL
- 2021-01-18 TO COMM. GRP.
- 2021-02-02 SDP RESUBMIT

DRAWN BY	CHECKED BY
AB/JK	JK

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PROJECT NO. 19-05

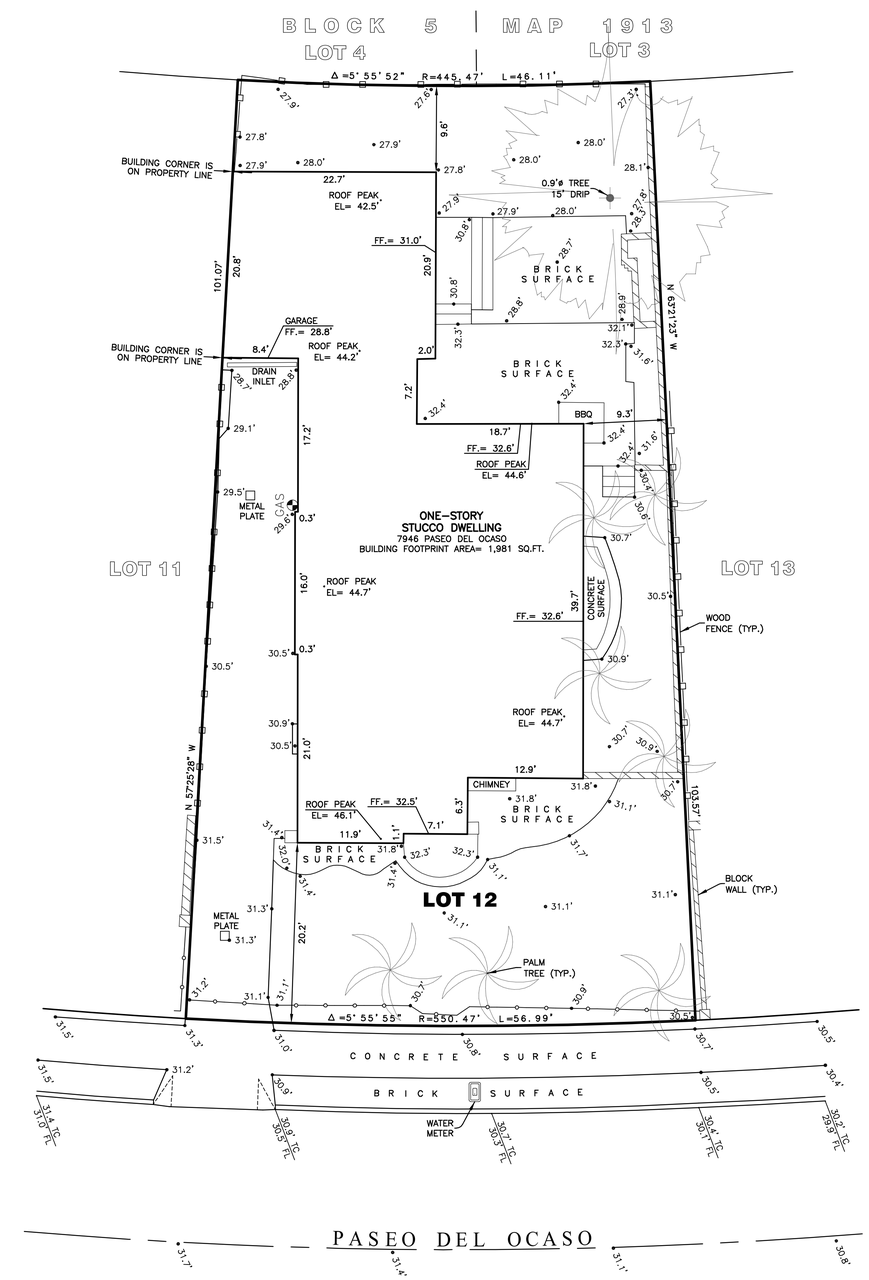
FEBRUARY 2, 2021

SHEET TITLE
TITLE SHEET

SHEET NO.
A-0.1

SHEET: OF

REVISED PLANS



BENCH MARK:
CITY OF SAN DIEGO VERTICAL CONTROL
SOUTHEAST BRASS PLUG
AT PASEO DEL OCASO AND CALLE DE LA PLATA
ELEVATION= 35.851'
DATUM: MEAN SEA LEVEL

LEGAL DESCRIPTION:
LOT 12 OF BLOCK 5 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THERE NO. 1913 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 3, 1926 OF OFFICIAL RECORDS.

LICENSED LAND SURVEYOR
MATHEW S. SAWYER
No. 8739
STATE OF CALIFORNIA

MATHEW S. SAWYER, P.L.S. 8739

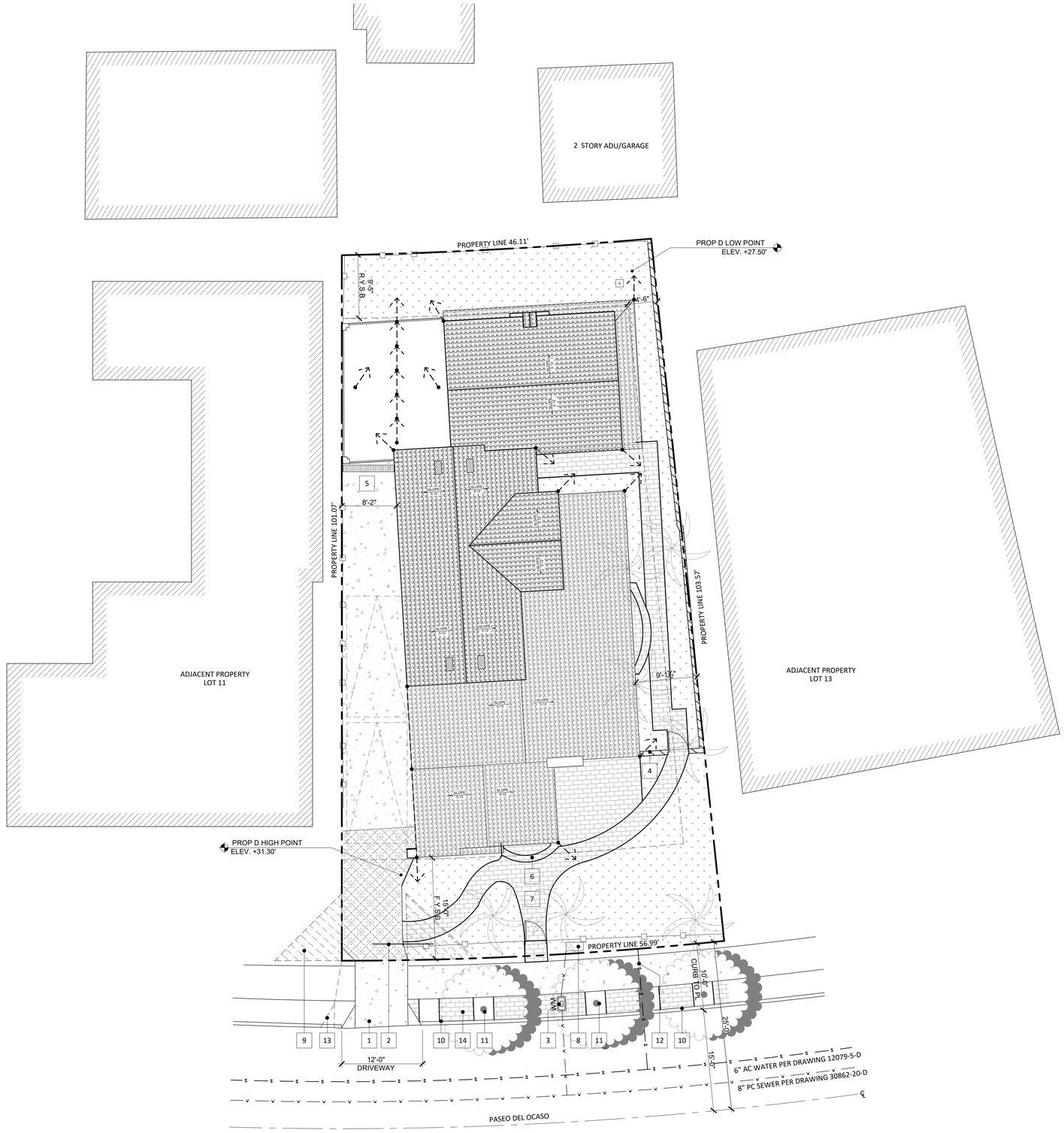
TOPOGRAPHICAL SURVEY

For the exclusive use of
ELLEN M. GALLAGHER REVOCABLE TRUST 7-31-06
7946 PASEO DEL OCASO
LA JOLLA, CALIFORNIA 92037

Sawyer Land Surveying, Inc.
8427 Hovenweep Ct., San Diego, California 92129
(858) 692-6922, EMAIL: msawyerpls@yahoo.com

Date: 6-25-2020	Revised:	Revised:
Scale: 1"=8'	Drawn by: M.S.S.	Sheet 1 of 1
Drawing: 7946PaseoDelOcasoTS.dwg		A.P.N.: 346-503-11-00

REVISED PLANS



SITE PLAN | SCALE: 1/8" = 1'-0" | 05

1. REFERENCE OTHER DRAWINGS FOR ADDITIONAL GENERAL NOTES.
2. SITE PLAN IS FOR REFERENCE ONLY. SEE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
3. SURFACE WATER TO DRAIN AWAY FROM BUILDING.
4. CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES, SITE DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES. ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
5. ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
6. DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
7. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
8. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
9. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
10. NO PROPOSED GRADING OR SITE WORK
11. NO PROPOSED WORK IN ROW
12. NO TRANSIT STOPS ON SITE; SEE TITLE SHEET A-0.1 FOR NEARBY TRANSIT STOPS
13. NO EASEMENTS ON SITE
14. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
15. NO FIRE HYDRANTS ON SITE, SEE TITLE SHEET FOR NEARBY FIRE HYDRANTS
16. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL THE ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
17. NO GATES SHALL SWING OPEN IN THE PUBLIC RIGHT OF WAY.
18. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

NOTES | 01

- PROPERTY LINE
- SETBACK
- DRAINAGE DIRECTION
- EXISTING FENCE
- (P) ROOF DRAIN AND DIRECTION

LEGEND | 02

CUT QUANTITIES:	0 CUBIC YARDS (UNDER BUILDING)
FILL QUANTITIES:	7.19 CUBIC YARDS (UNDER BUILDING)
IMPORT/EXPORT:	7.19 CUBIC YARDS
MAX.	CUT DEPTH: 0
MAY.	FILL DEPTH: 1.0'

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THE SITE.

NOTES:
1. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
2. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT

TOTAL DISTURBANCE AREA: 475 S.F.

	EXISTING	PROPOSED
HARDSCAPE AREA:	1,627 SF	1,297 SF
DECK AREA:	132.5 SF	362 SF
ROOF AREA:	1,981 SF	2,284.5 SF
TOTAL IMPERVIOUS AREA:	**3,740.5 SF**	**3,943.5 SF**

CUT/FILL QUANTITIES & DISTURBANCE AREA | 03

1	(E) 13'-9" DRIVEWAY TO BE RECONSTRUCTED TO 12'-0" WIDE CURRENT CITY STANDARD DRIVEWAY
2	(E) SITE FENCE GATE AND DRIVEWAY GATE
3	(E) ¾" WATER METER
4	(E) SITE WALL, MAX 6'-0" AND GATE
5	(E) TRENCH DRAIN
6	(P) CONCRETE STEPS
7	(E) CONCRETE WALKWAY
8	(P) BACKFLOW PREVENTION DEVICE
9	(P) 10'-0" X 10'-0" VISIBILITY TRIANGLE
10	(E) SIDEWALK TO REMAIN; RECONSTRUCT SIDEWALK & GUTTER WHERE DAMAGED
11	(P) STREET TREE, 24" BOX TREE PER CITY STANDARDS
12	(E) EXISTING SEWER TO REMAIN
13	(P) CLOSE CURB, GUTTER & SIDEWALK WHERE DRIVEWAY IS BEING RECONSTRUCTED
14	(P) REPLACE DAMAGED/UNALIGNED PAVERS, TYPICAL

KEYNOTES | 04

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

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2021-01-18 TO COMM. GRP.
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DRAWN BY	CHECKED BY
AB/JK	JK

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PROJECT NO. 19-05

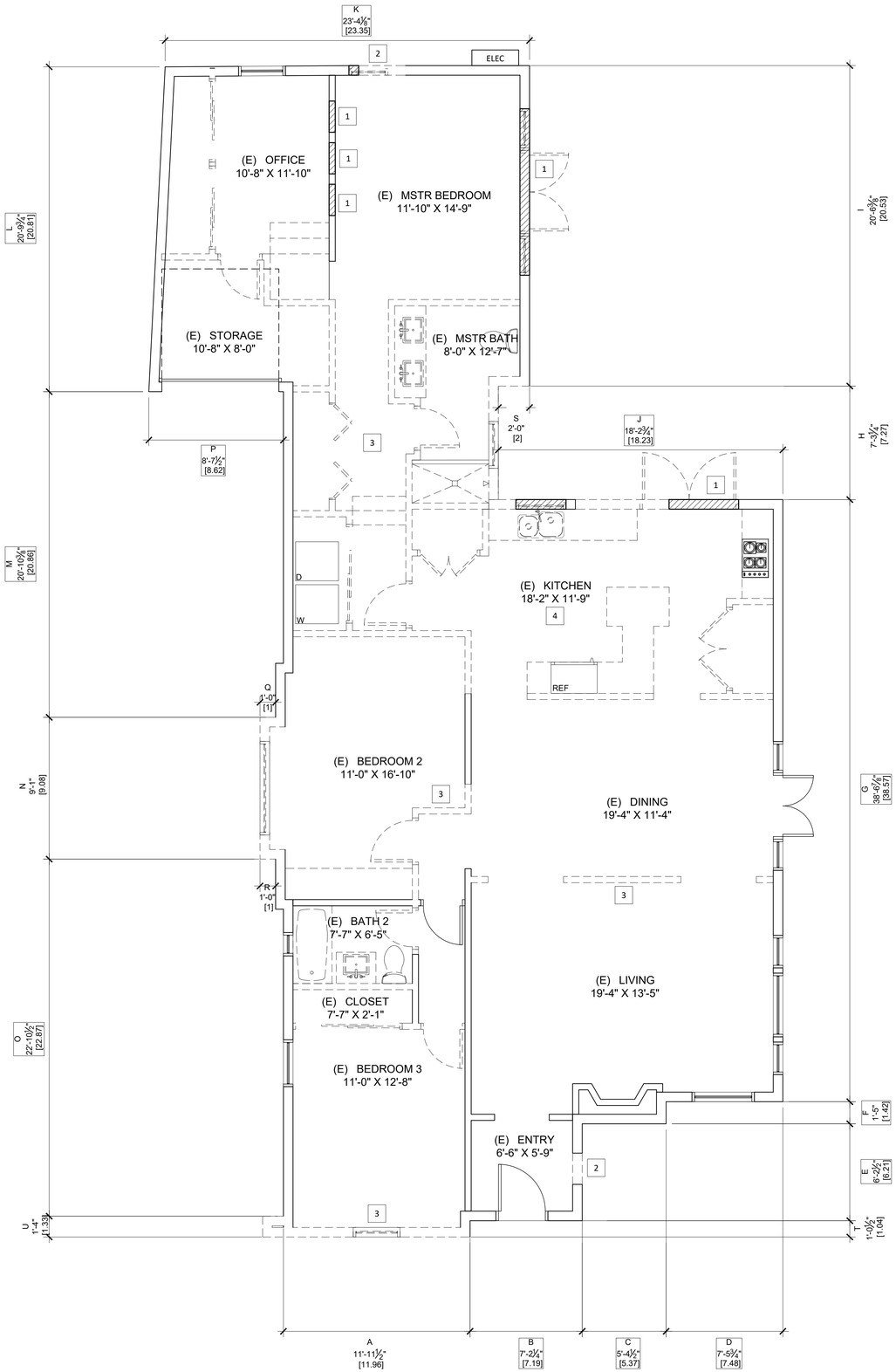
FEBRUARY 2, 2021

SHEET TITLE
SITE PLAN

SHEET NO.
A-1.1

SHEET: OF

REVISED PLANS



BUILDING Demo Worksheet

Existing Residence Perimeter Lengths						
Direction Existing Wall Faces	**Existing Length**		**Length Remaining**		**Length Removed**	
A- East	11.96	LF	0.00	LF	11.96	LF
B- East	7.19	LF	7.19	LF	0.00	LF
C- East	5.37	LF	5.37	LF	0.00	LF
D- East	7.48	LF	7.48	LF	0.00	LF
E- North	6.21	LF	6.21	LF	0.00	LF
F- North	1.42	LF	1.42	LF	0.00	LF
G- North	38.57	LF	38.57	LF	0.00	LF
H- North	7.27	LF	0.00	LF	7.27	LF
I- North	20.53	LF	20.53	LF	0.00	LF
J- West	18.23	LF	2.83	LF	15.40	LF
K- West	23.35	LF	20.35	LF	3.00	LF
L- South	20.81	LF	20.81	LF	0.00	LF
M- South	20.86	LF	20.86	LF	0.00	LF
N- South	9.08	LF	0.00	LF	9.08	LF
O- South	22.87	LF	22.87	LF	0.00	LF
P- East	8.62	LF	8.62	LF	0.00	LF
Q- West	1.00	LF	0.00	LF	1.00	LF
R- East	1.00	LF	0.00	LF	1.00	LF
S- East	2.00	LF	0.00	LF	2.00	LF
T- North	1.04	LF	1.04	LF	0.00	LF
U- South	1.33	LF	0.00	LF	1.33	LF
Total Exist. Main Level Perimeter Length	**236.19**	**LF**	**184.15**	**LF**	**52.04**	**LF**
	118.095		*66.06*	*LF above 50%*		
Existing Perimeter Wall Remaining	**184.15**	**LF**				
Total Existing Building Perimeter Length	**236.19**	**LF**				
78% Percentage of Existing Perimeter Wall Which Remains						
50% of existing wall must remain to qualify for coastal exemption						
0.00%	*#REF!*	*LF*	*above 50% min perimeter wall length to remain*			

1. REFERENCE OTHER DRAWINGS FOR ADDITIONAL GENERAL NOTES.
2. SITE PLAN IS FOR REFERENCE ONLY. SEE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
3. SURFACE WATER TO DRAIN AWAY FROM BUILDING.
4. CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES, SITE DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES. ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
5. ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
6. DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
7. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
8. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
9. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
10. NO TRANSIT STOPS LOCATED ON SITE.

DEMOLITION NOTES 01

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN, OPENING TO BE INFILLED
- 3'-9" [3.75] — DIMENSION OF EXISTING WALL TO REMAIN IN PLACE
- 3'-9" — DIMENSION OF EXISTING WALL TO BE REMOVED

LEGEND 02

1	REMOVE EXISTING WINDOW / DOOR AND PREP OPENING FOR INFILL
2	REMOVE EXISTING WINDOW / DOOR AND PREP FOR NEW WINDOW / DOOR
3	REMOVE EXISTING WALLS PER PROPOSED PLAN
4	REMOVE EXISTING KITCHEN PER PROPOSED PLAN

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
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PROJECT NO. 19-05

FEBRUARY 2, 2021

SHEET TITLE
PROPOSED DEMO PLAN

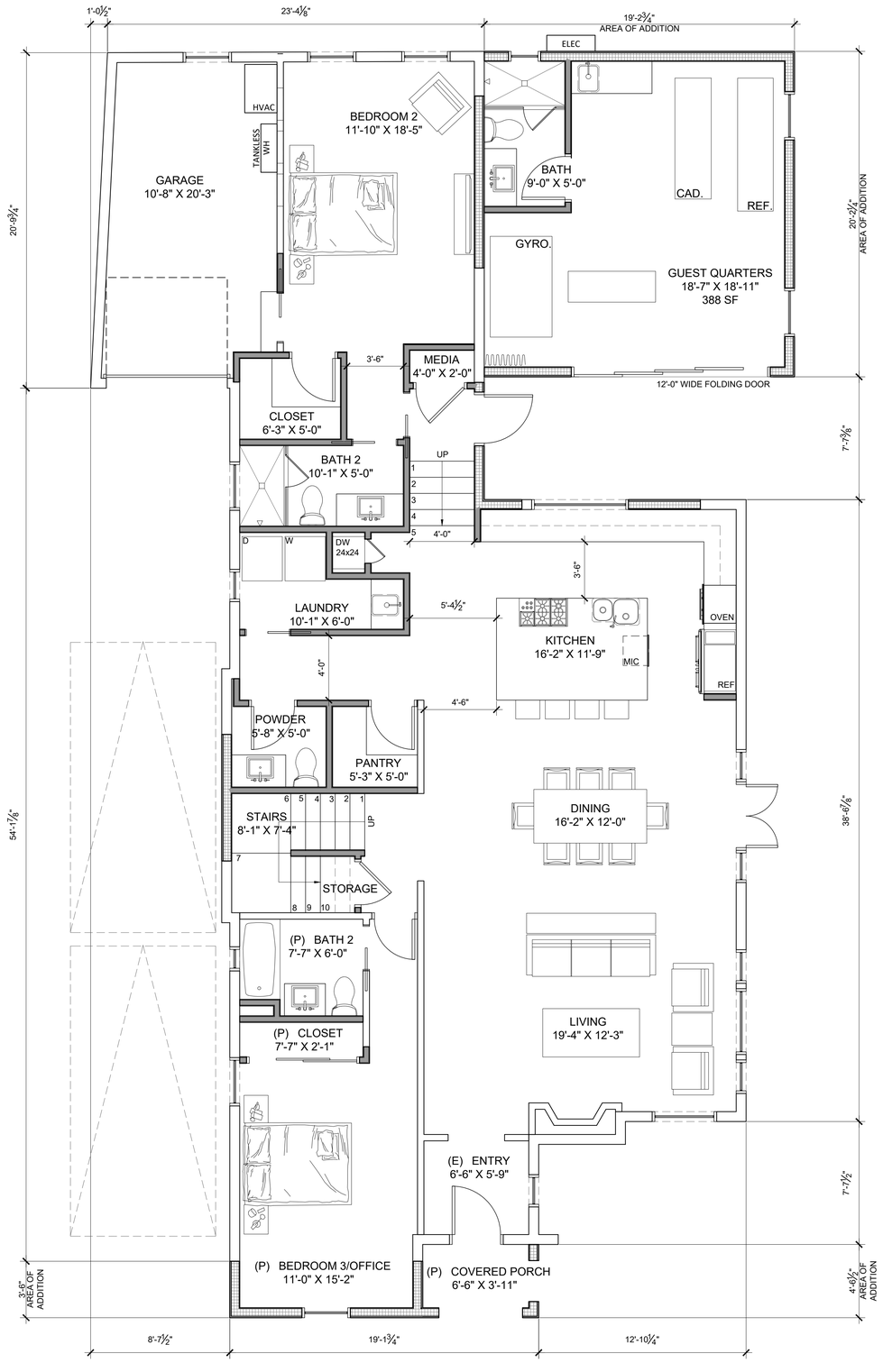
SHEET NO.
A-2.0

SHEET: OF

SECOND FLOOR DEMO PLAN | SCALE: 1/4" = 1'-0" | 04

KEYNOTES | 03

REVISED PLANS



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2. EXTERIOR WALL DIMENSIONS TO FACE OF STUD OR FOUNDATION WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD
3. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION
4. INSULATION:
   - 4.1. R-13 BATT AT PROPOSED EXTERIOR 2x4 WALLS
   - 4.2. R-19 BATT AT PROPOSED EXTERIOR 2x6 WALLS
   - 4.3. R-13 BATT AT INTERIOR WALLS FOR SOUND ATTENUATION
   - 4.4. R-30 BATT AT CEILING AND ROOF
   - 4.5. R-22 BATT AT FLOORS
   - 4.6. R-4.5 BATT AT HOT WATER PIPING AND SUPPLY DUCTS
5. FOR DOOR AND WINDOW SCHEDULES SEE SHEETS
6. FOR INTERIOR FINISH SCHEDULES SEE SHEET
7. FOR APPLIANCE AND FIXTURE SCHEDULE SEE SHEET
8. FOR HVAC EQUIPMENT SEE TITLE 24 CALCULATIONS
9. WATER HEATER:
10. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOMS AND LAUNDRY ROOM VENTILATION
11. PROVIDE EXHAUST FAN WITH VENTILATION RATE OF 120 CFM FOR WHOLE HOUSE VENTILATION
12. SHOWER COMPARTMENT AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2
13. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
14. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
15. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER CBC 907.2.10.3
16. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

FLOOR PLAN NOTES | 01

- EXISTING WALL TO REMAIN
- PROPOSED 2x4 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. EXTERIOR FINISH STUCCO, INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- PROPOSED 2x6 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- ADHERED STONE VENEER
- PROPOSED DOOR, INSTALL 4½" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
- 4½" TYP.
- S — COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- 101 — DOOR NUMBER, SEE DOOR SCHEDULE ON A-8.1 FOR ADDITIONAL INFORMATION
- 101 — WINDOW NUMBER, SEE WINDOW SCHEDULE ON A-8.2 FOR ADDITIONAL INFORMATION
- FLOOR OR DECK DRAIN, SLOPE ¼" : 1'-0" MIN. TO LOCATION SEE DETAILS 02/A-10.1.1 AND 04/A-10.2.1
- HB — PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-BTA
- NUTONE "QTX" (OR EQUAL) LIGHT/EXHAUST FAN COMBO, MIN 80 CFM, DUCT TO EXTERIOR, INTEGRAL HUMIDISTAT PER CGBSC

FLOOR PLAN LEGEND | 02

FLOOR PLAN KEYNOTES | 03

PROPOSED FIRST FLOOR PLAN | SCALE: 1/4" = 1'-0' | 04

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

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PROJECT NO. 19-05

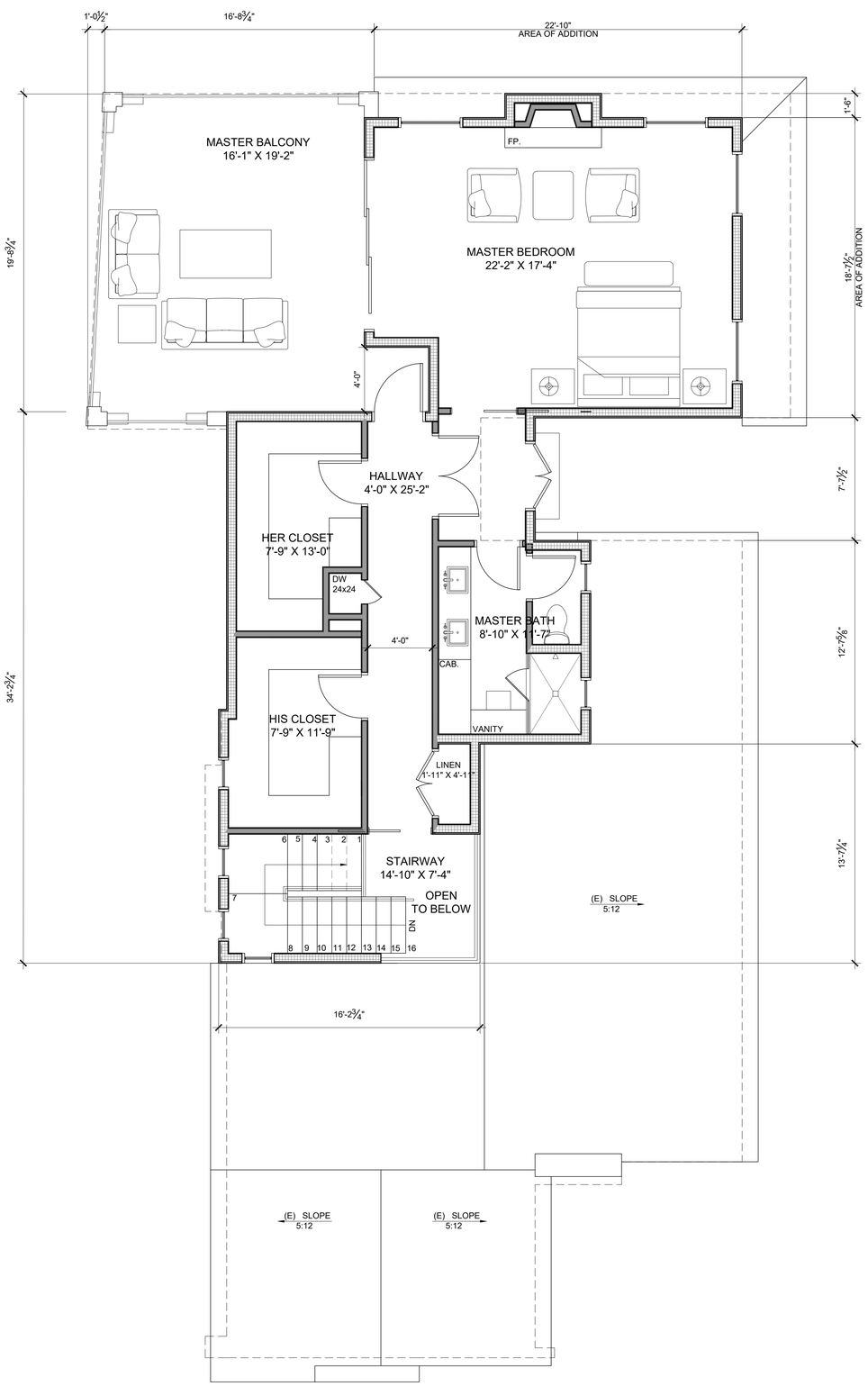
FEBRUARY 2, 2021

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A-2.1

SHEET9 OF

REVISED PLANS



PROPOSED SECOND FLOOR PLAN | SCALE: 1/4" = 1'-0' | 04

1. ALL DIMENSIONS TO BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONFLICT RESOLVED PRIOR TO PROCEEDING WITH AFFECTED WORK
2. EXTERIOR WALL DIMENSIONS TO FACE OF STUD OR FOUNDATION WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD
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4. INSULATION:
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   - 4.3. R-13 BATT AT INTERIOR WALLS FOR SOUND ATTENUATION
   - 4.4. R-30 BATT AT CEILING AND ROOF
   - 4.5. R-22 BATT AT FLOORS
   - 4.6. R-4.5 BATT AT HOT WATER PIPING AND SUPPLY DUCTS
5. FOR DOOR AND WINDOW SCHEDULES SEE SHEETS
6. FOR INTERIOR FINISH SCHEDULES SEE SHEET
7. FOR APPLIANCE AND FIXTURE SCHEDULE SEE SHEET
8. FOR HVAC EQUIPMENT SEE TITLE 24 CALCULATIONS
9. WATER HEATER:
10. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOMS AND LAUNDRY ROOM VENTILATION
11. PROVIDE EXHAUST FAN WITH VENTILATION RATE OF 120 CFM FOR WHOLE HOUSE VENTILATION
12. SHOWER COMPARTMENT AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2
13. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
14. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
15. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER CBC 907.2.10.3
16. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

FLOOR PLAN NOTES | 01

- EXISTING WALL TO REMAIN
- PROPOSED 2x4 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. EXTERIOR FINISH STUCCO, INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- PROPOSED 2x6 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- ADHERED STONE VENEER
- PROPOSED DOOR, INSTALL 4¾" FROM ADJACENT WALL UNLESS NOTED OTHERWISE (4½" TYP.)
- (S) COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- (101) DOOR NUMBER, SEE DOOR SCHEDULE ON A-8.1 FOR ADDITIONAL INFORMATION
- (101) WINDOW NUMBER, SEE WINDOW SCHEDULE ON A-8.2 FOR ADDITIONAL INFORMATION
- FLOOR OR DECK DRAIN, SLOPE ¼" : 1'-0" MIN. TO LOCATION SEE DETAILS 02/A-10.1.1 AND 04/A-10.2.1
- HB PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-BTA
- NUTONE "QTX" (OR EQUAL) LIGHT/EXHAUST FAN COMBO, MIN 80 CFM, DUCT TO EXTERIOR, INTEGRAL HUMIDISTAT PER CGBSC

FLOOR PLAN LEGEND | 02

FLOOR PLAN KEYNOTES | 03

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
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PROJECT NO. 19-05

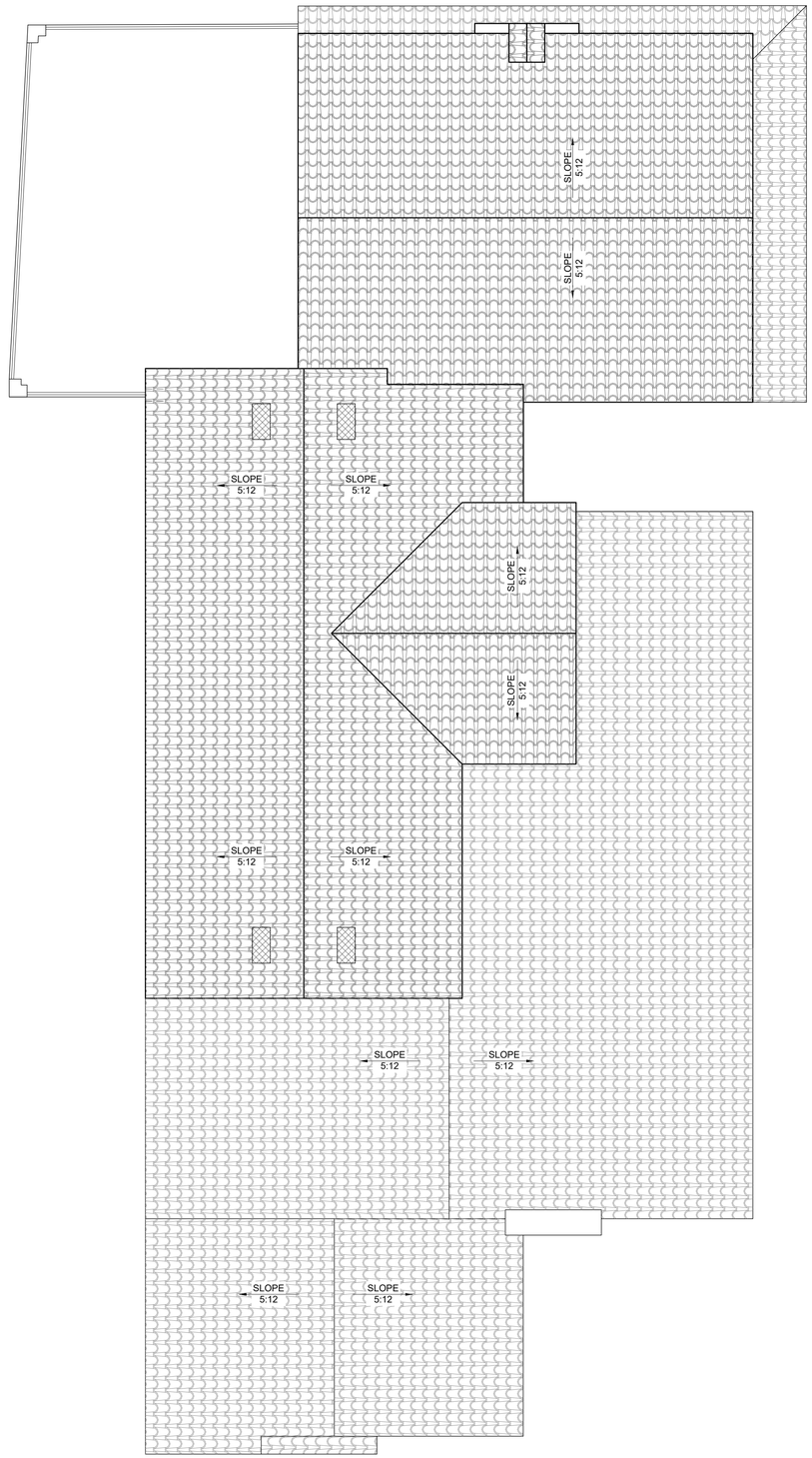
FEBRUARY 2, 2021

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A-2.2

SHEET 9 OF

REVISED PLANS



PROPOSED ROOF PLAN | SCALE: 1/4" = 1'-0' | 04

1. ROOFING UNDERLAYMENT SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD" BY WR GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAINTEED CORP, ESR-1492. INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE. ALSO SEE NOTE #12.
2. COUNTER-SLOPES: ¼" PER 1'-0" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX -CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. ROOF DRIP EDGE, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING: ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. PLUMBING VENT: ABS PLASTIC TO BE FLASHED PER ROOF MANUFACTURER RECOMMENDATIONS.
5. PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTO WRAP, ESR-1127. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET, EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP.
6. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
7. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
8. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019' (#26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MIN. 36"-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
9. ENCLOSED RAFTER ASSEMBLIES NOT REQUIRED TO BE VENTED PER CRC R806.5.
10. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].
11. ASPHALT SHINGLES TO BE OWENS CORNING "DURATION", COLOR TO BE SANDSTONE. SHINGLES ARE CLASS 'A' PER UL REPORT ER-2453-01.
12. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12), UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19-INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

FLOOR PLAN NOTES | 01

SLOPE ¼" = 1'-0" — DIRECTION OF ROOF SLOPE FOR DRAINAGE

ROOF DRAIN PER ROOF NOTES

DECK DRAIN, SLOPE TOWARD 2% MIN.

FLOOR PLAN LEGEND | 02

ROOF PLAN KEYNOTES | 03

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
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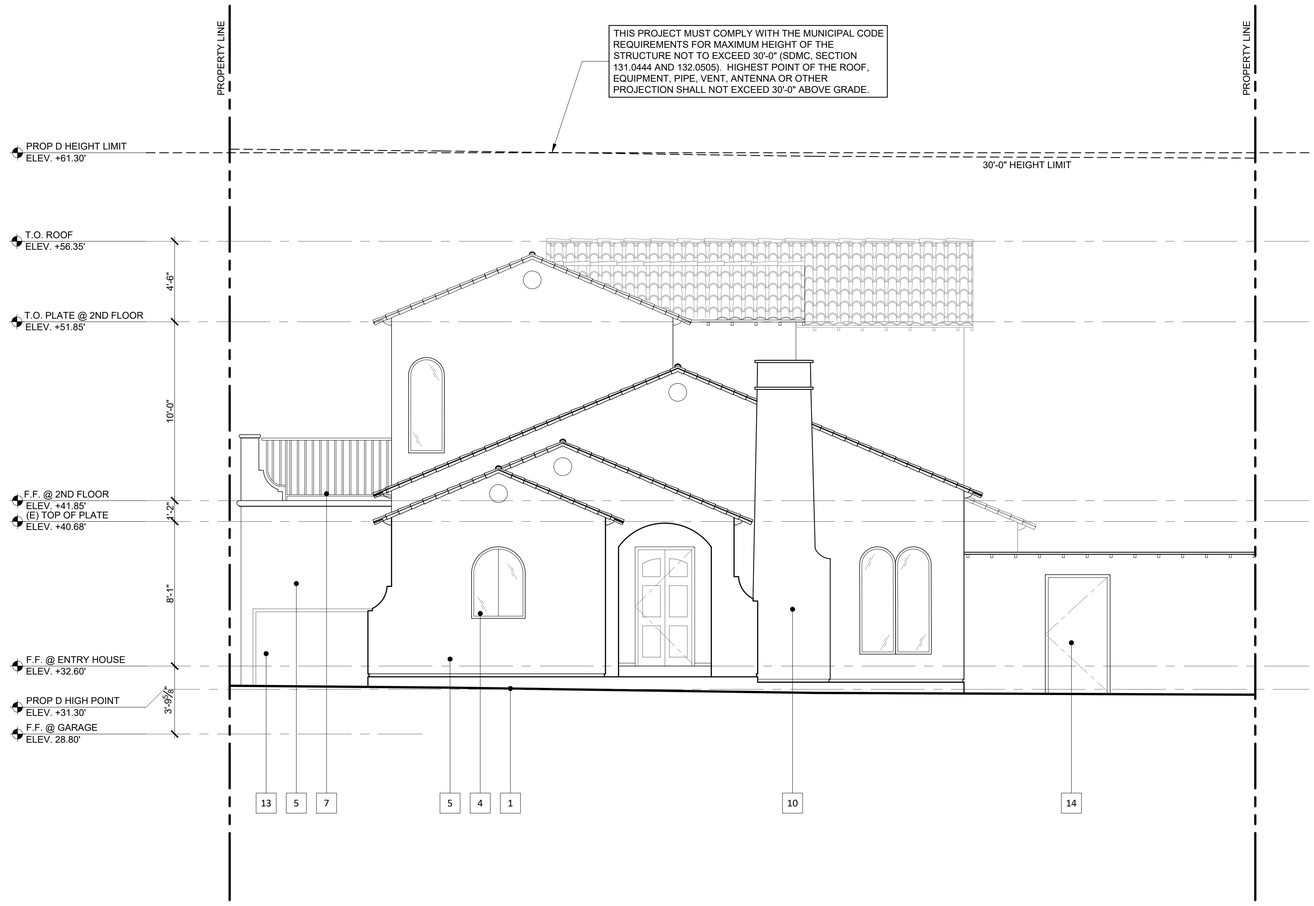
PROJECT NO. 19-05

FEBRUARY 2, 2021

SHEET TITLE
ROOF PLAN

SHEET NO.
A-4.1

REVISED PLANS



EAST ELEVATION | SCALE: 1/4" = 1'-0' | 04

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2. REFER TO OTHER DRAWINGS FOR ADDITIONAL INFORMATION

EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

1	(E) GRADE NOT TO BE MODIFIED
2	(P) GRADE
3	(P) DOOR PER SCHEDULE
4	(P) WINDOW PER SCHEDULE
5	(P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR
6	(P) WOOD TRELLIS, DARK BROWN STAIN
7	(P) WROUGHT IRON RAILING
8	(P) CLAY ROOF TILE TO MATCH EXISTING
9	(P) WOOD RAFTER TAIL TO MATCH EXISTING
10	EXTEND EXISTING CHIMNEY UP
11	(P) STUCCO CROWN MOLDING
12	(P) STUCCO MOLDING BAND
13	(E) GARAGE DOOR TO BE REPLACED
14	(E) SITE WALL AND GATE TO REMAIN
15	(P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

AXON ARCHITECTURE

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SAN DIEGO, CA 92122

CONTACT:
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PROJECT NO. 19-05

FEBRUARY 2, 2021

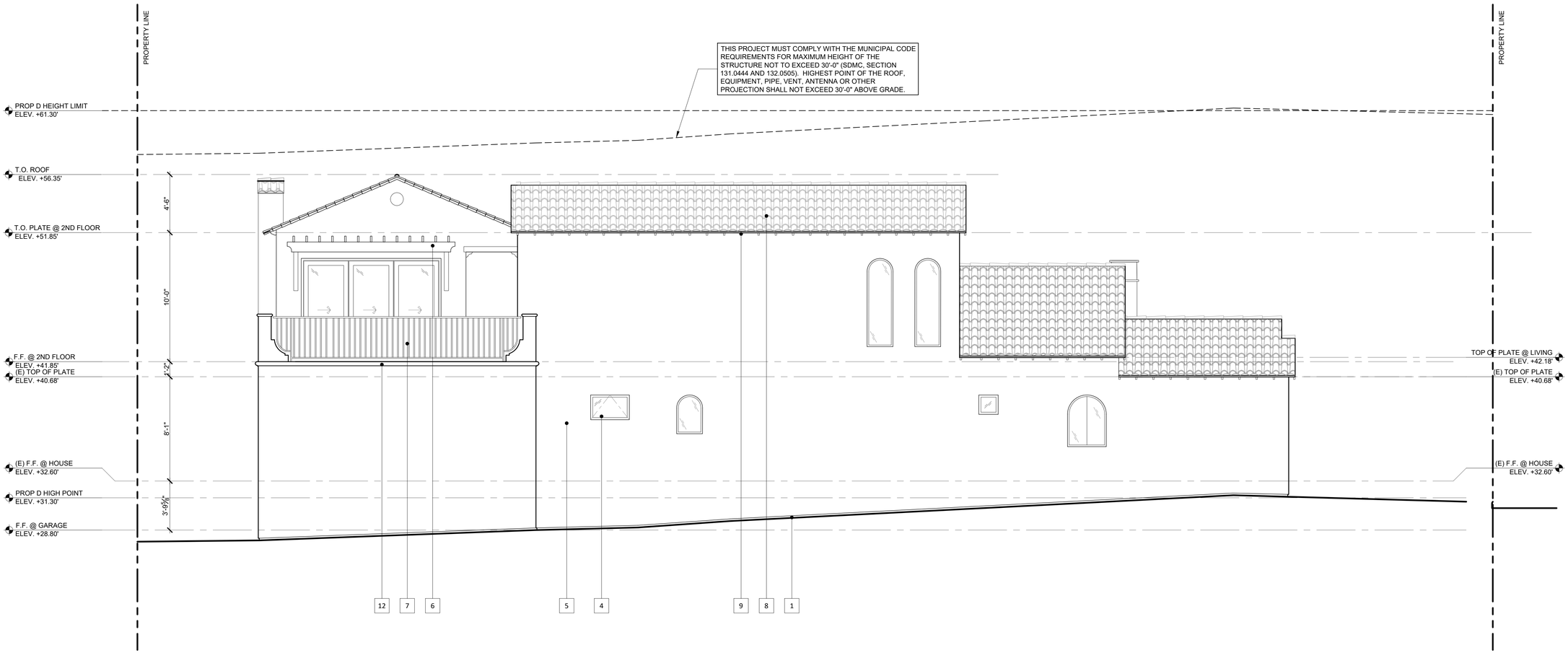
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.1

SHEET: OF

REVISED PLANS



SOUTH ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

1 (E) GRADE NOT TO BE MODIFIED
2 (P) GRADE
3 (P) DOOR PER SCHEDULE
4 (P) WINDOW PER SCHEDULE
5 (P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR
6 (P) WOOD TRELLIS, DARK BROWN STAIN
7 (P) WROUGHT IRON RAILING
8 (P) CLAY ROOF TILE TO MATCH EXISTING
9 (P) WOOD RAFTER TAIL TO MATCH EXISTING
10 EXTEND EXISTING CHIMNEY UP
11 (P) STUCCO CROWN MOLDING
12 (P) STUCCO MOLDING BAND
13 (E) GARAGE DOOR TO BE REPLACED
14 (E) SITE WALL AND GATE TO REMAIN
15 (P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

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2021-01-18 TO COMM. GRP.
2021-02-02 SDP RESUBMIT

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PROJECT NO. 19-05

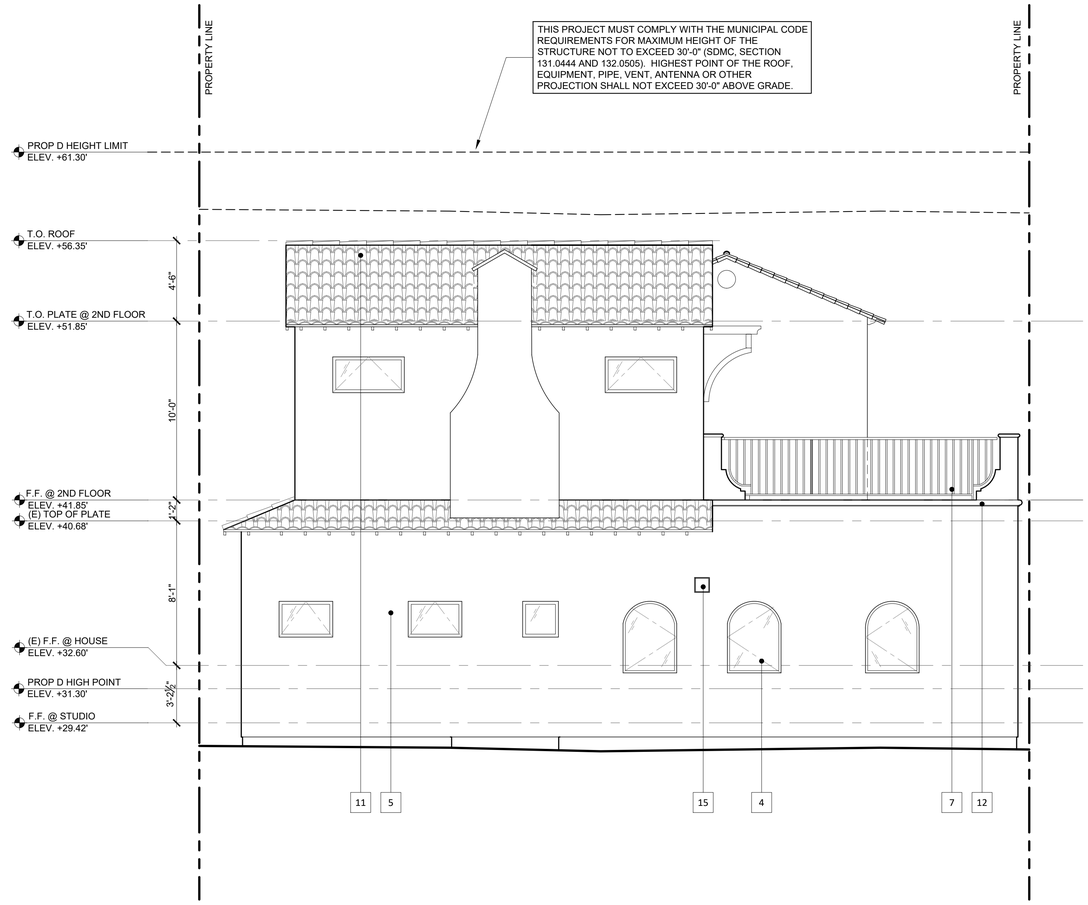
FEBRUARY 2, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.2

SHEET: OF

REVISED PLANS



WEST ELEVATION | SCALE: 1/4" = 1'-0' | 04

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2. REFER TO OTHER DRAWINGS FOR ADDITIONAL INFORMATION

EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

1	(E) GRADE NOT TO BE MODIFIED
2	(P) GRADE
3	(P) DOOR PER SCHEDULE
4	(P) WINDOW PER SCHEDULE
5	(P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR
6	(P) WOOD TRELLIS, DARK BROWN STAIN
7	(P) WROUGHT IRON RAILING
8	(P) CLAY ROOF TILE TO MATCH EXISTING
9	(P) WOOD RAFTER TAIL TO MATCH EXISTING
10	EXTEND EXISTING CHIMNEY UP
11	(P) STUCCO CROWN MOLDING
12	(P) STUCCO MOLDING BAND
13	(E) GARAGE DOOR TO BE REPLACED
14	(E) SITE WALL AND GATE TO REMAIN
15	(P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

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PROJECT NO. 19-05

FEBRUARY 2, 2021

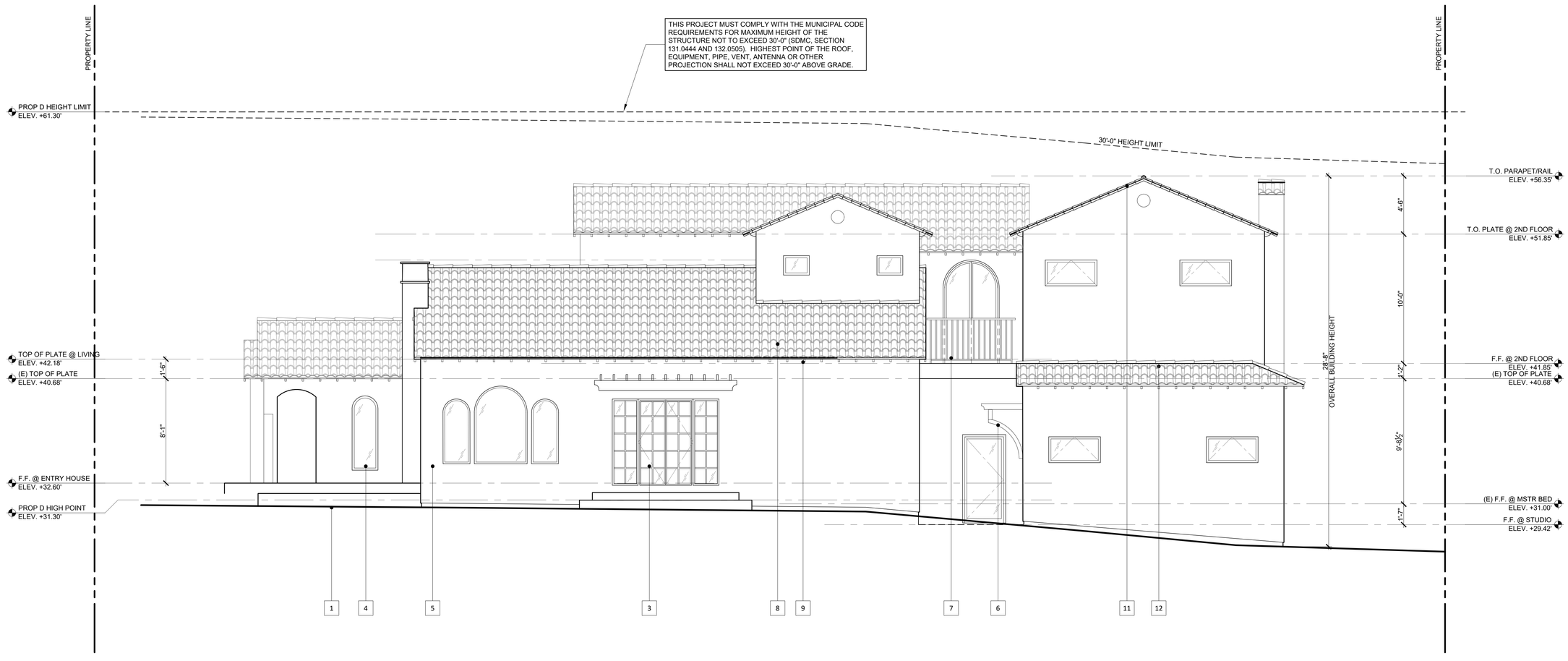
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.3

SHEET: OF

REVISED PLANS

ATTACHMENT 2: Gallagher Residence



NORTH ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION KEYNOTES | 03

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4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

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PROJECT NO. 19-05

FEBRUARY 2, 2021

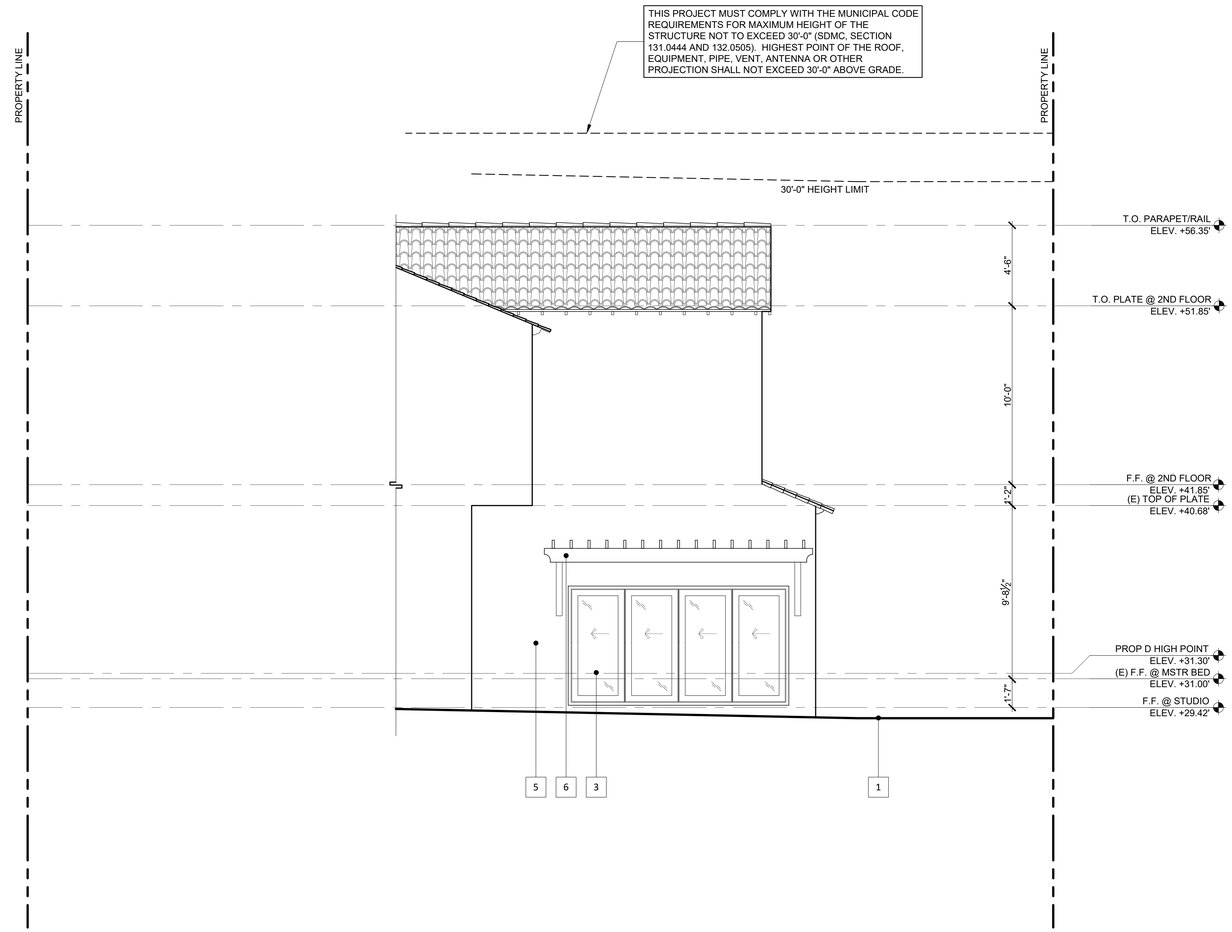
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.4

SHEET: OF

REVISED PLANS



EAST STUDIO FRONT ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

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EXTERIOR ELEVATION KEYNOTES | 03

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
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PROJECT NO. 19-05

FEBRUARY 2, 2021

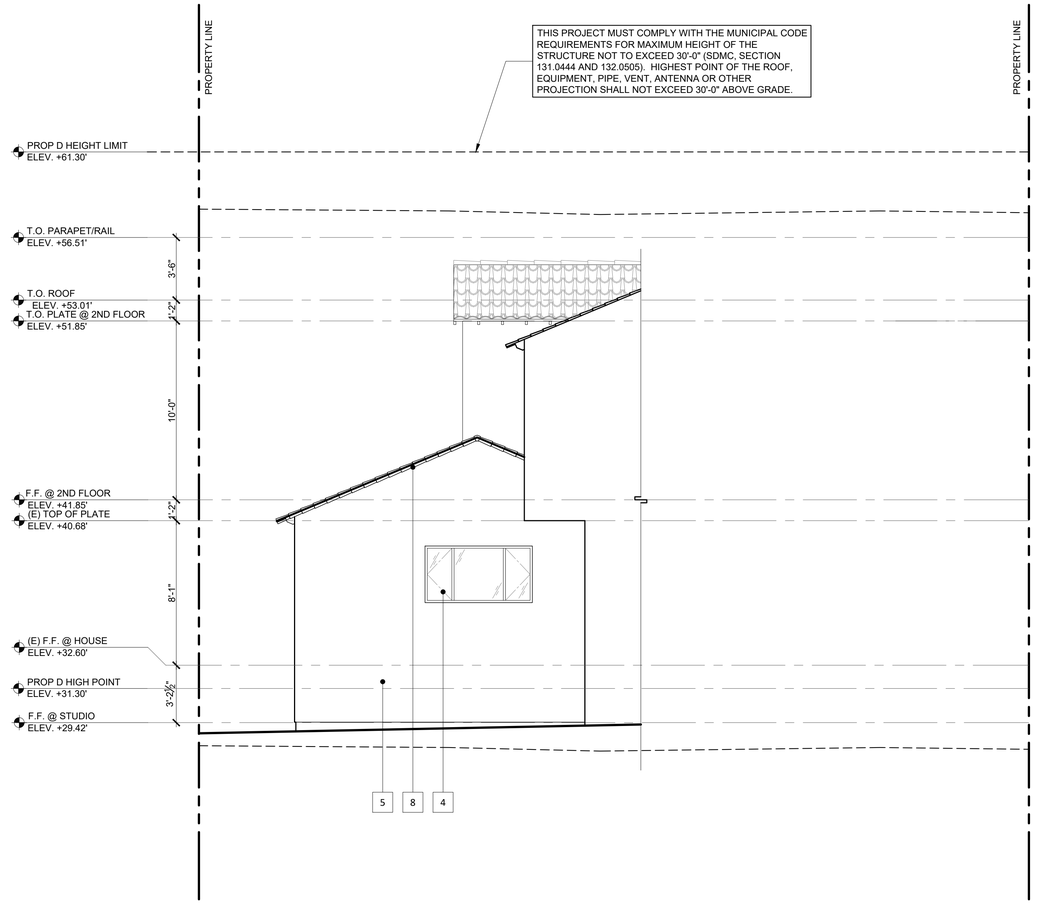
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.5

SHEET: OF

REVISED PLANS



WEST KITCHEN REAR ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION KEYNOTES | 03

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SAN DIEGO, CA 92122

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JOSHUA J KORDASIEWICZ

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PROJECT NO. 19-05

FEBRUARY 2, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.6

SHEET: OF

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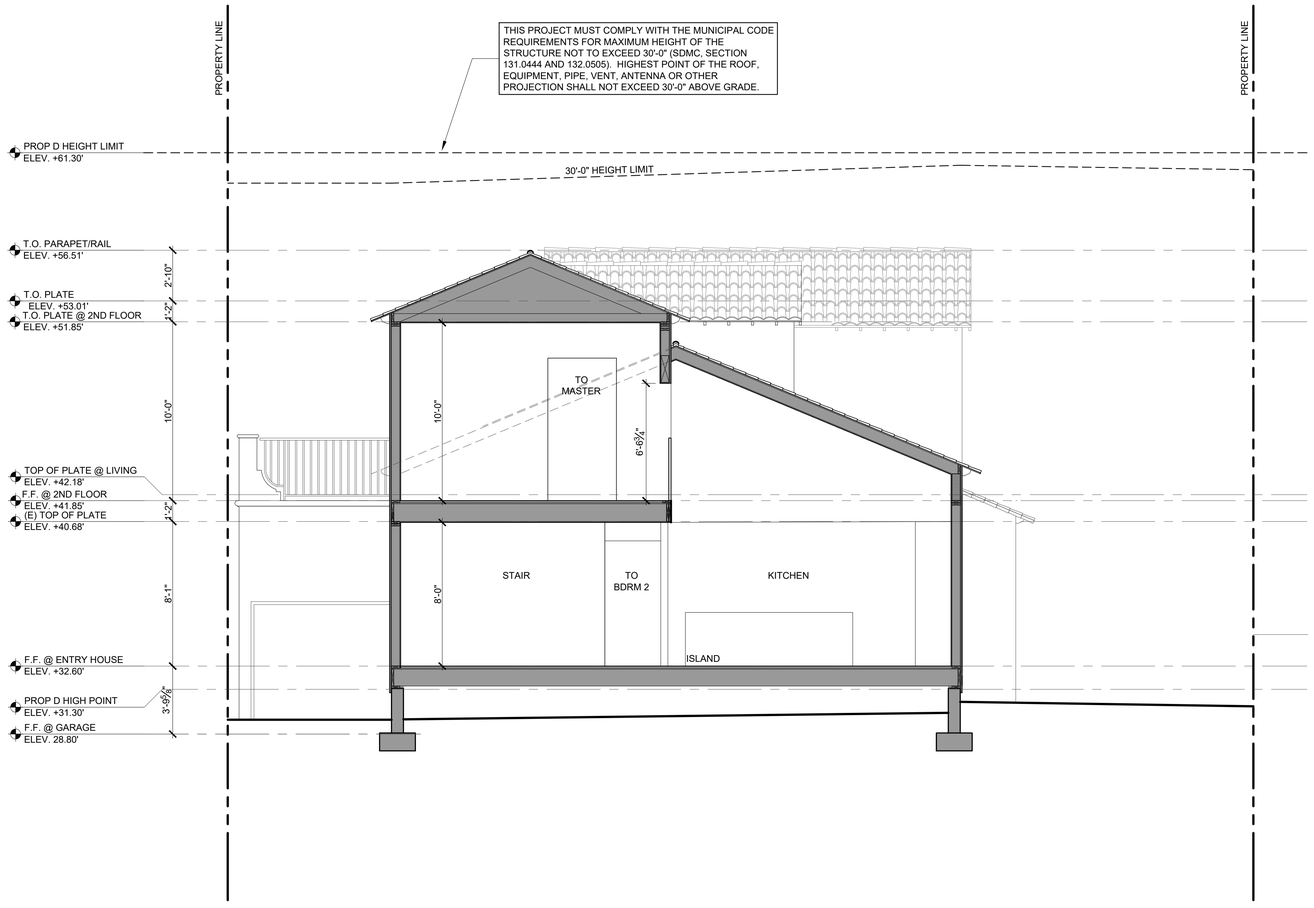

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

BUILDING SECTION NOTES | 01

BUILDING SECTION LEGEND | 02

BUILDING SECTION KEYNOTES | 03

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SHEET TITLE
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SHEET NO.
A-6.1

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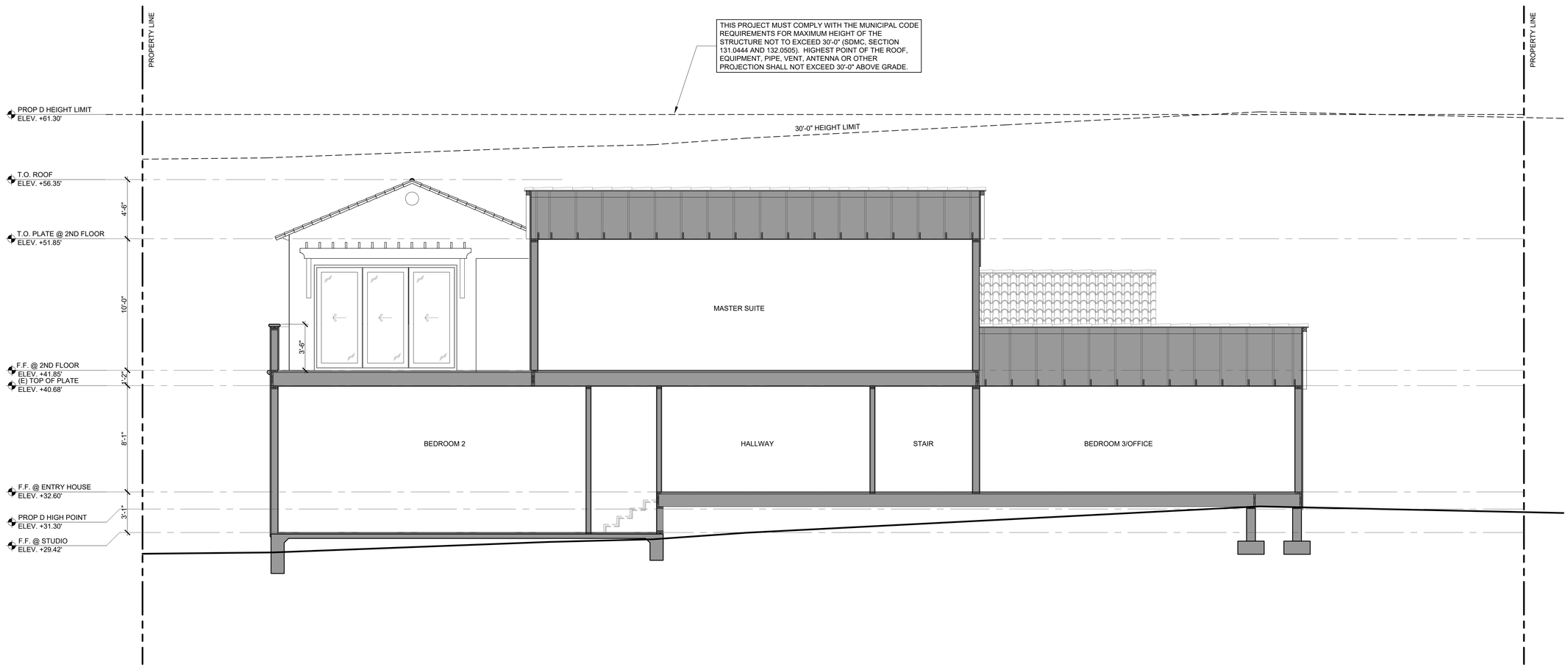

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

BUILDING SECTION NOTES | 01

BUILDING SECTION LEGEND | 02

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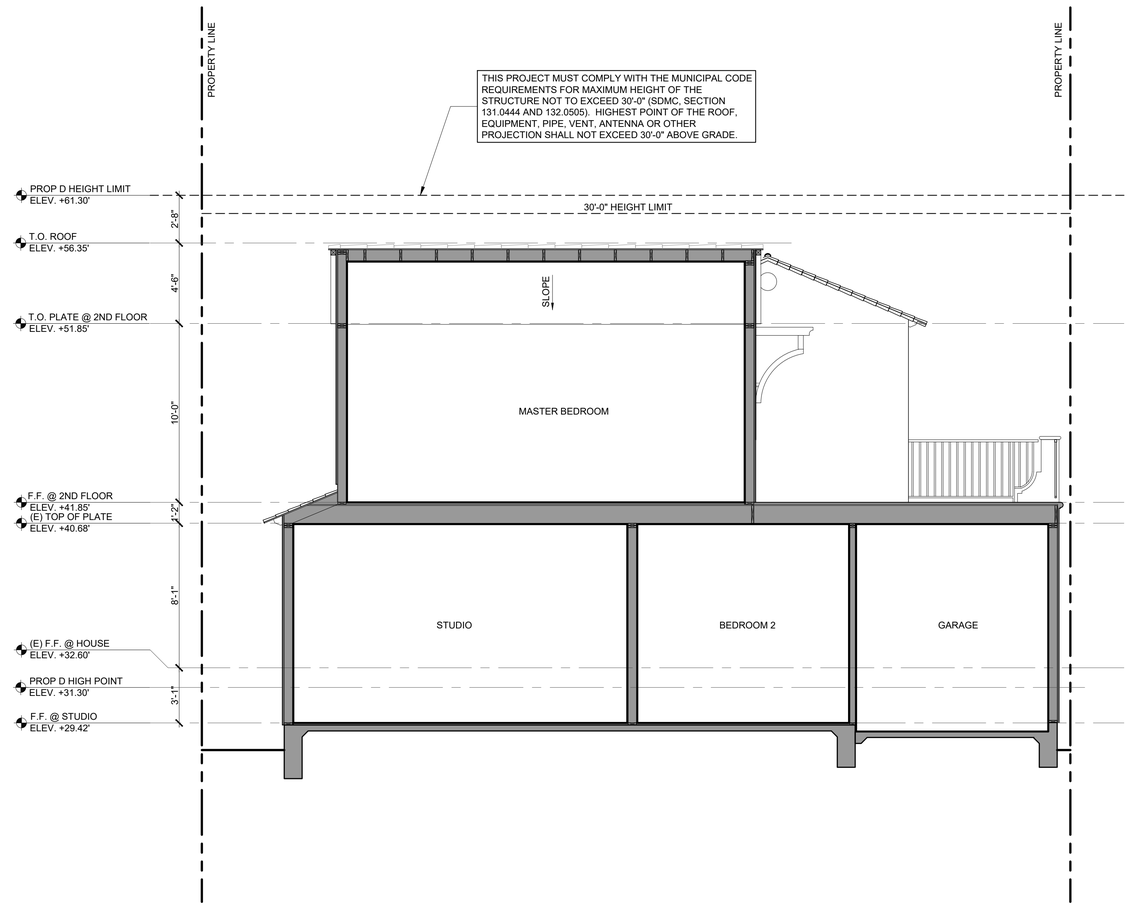

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

BUILDING SECTION NOTES | 01

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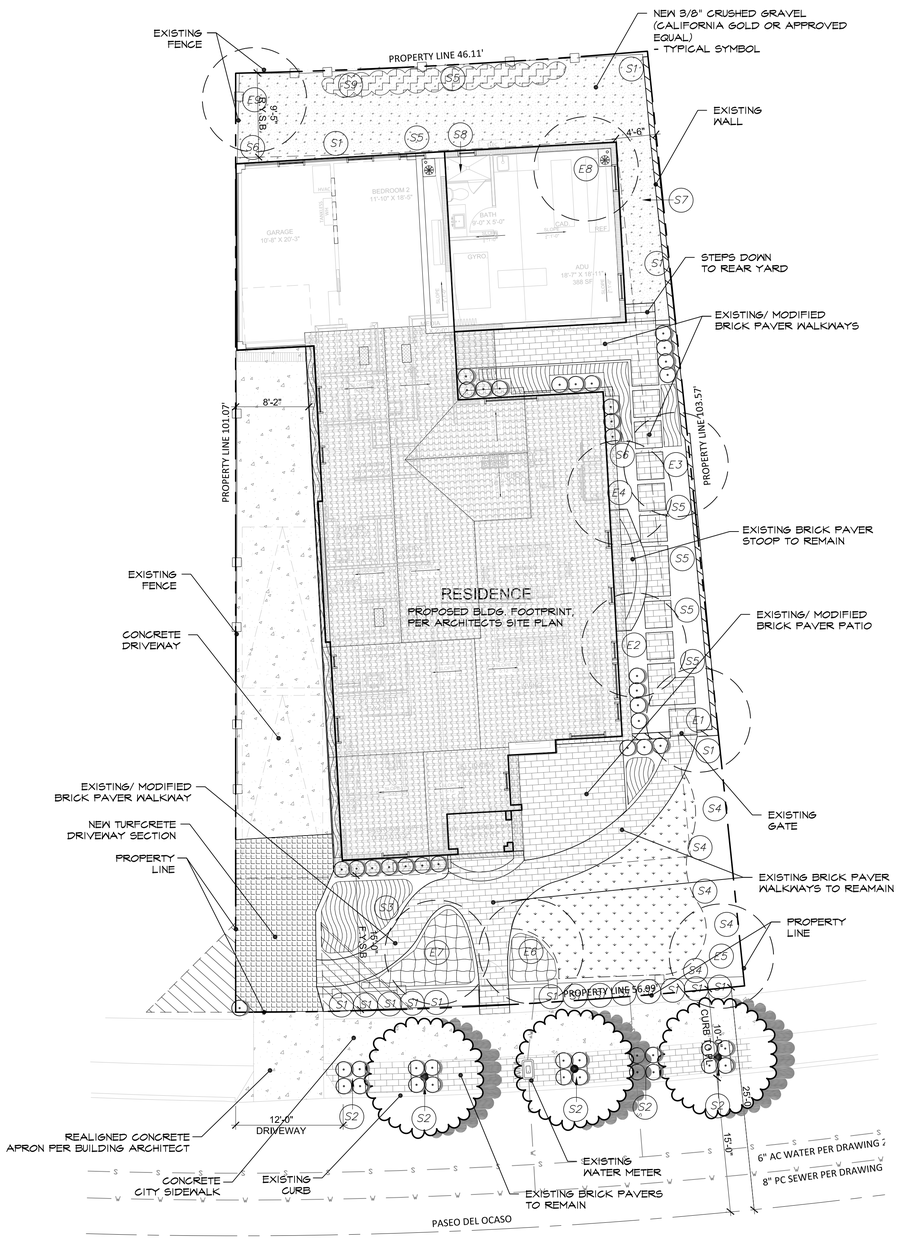

PROPOSED CONCEPTUAL PLANT LEGEND

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE/ CONT	MATURE H X S	QTY.	WUCOLS (Kc)
STREET TREES					
	- LAGERSTROEMIA INDICA / CRAPE MYRTLE (STANDARD)	100%/ 24"BOX	20' X 18'	3	MOD (.4)
	- CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE (STANDARD)	100%/ 24"BOX	18' X 16'		MOD (.4)
	- AGONIS FLEXUOSA/ PEPPERMINT TREE (STANDARD)	100%/ 24"BOX	20' X 18'		LOW (.2)
SHRUBS	BOTANICAL NAME/ COMMON NAME	SIZE/ CONT	MATURE H X S	QTY.	WUCOLS (Kc)
	- DIANELLA C. 'CASSA BLUE'/ CASSA BLUE DIANELLA	100%/ 1 GAL	2' X 3'	49	MOD (.4)
	- LANTANA MONTEVIDENSIS 'YELLOW'/ YELLOW TRAILING LANTANA	100%/ 1 GAL	2' X 6'		LOW (.2)
	- ROSA X 'FLOWER CARPET RED'/ RED CARPET ROSE	100%/ 1 GAL	2' X 4'		LOW (.2)
GROUNDCOVERS	BOTANICAL NAME/ COMMON NAME	SIZE/ CONT	MATURE H X S	QTY.	WUCOLS (Kc)
	- ROSMARINUS O. 'PROSTRATUS'/ DWARF ROSEMARY	100%/ 1 GAL@24" O.C.	2' X 6'	160 S.F.	LOW (.2)
	- CUPHEA HYSSOPIFOLIA/ FALSE MEXICAN HEATHER	100%/ 1 GAL@24" O.C.	1.5' X 2'		LOW (.2)
	- CAREX TUMILICOLA/ BERKELEY SEDGE	100%/ 1 GAL @24" O.C.	1.5' X 2'		LOW (.2)
	- DYMONDIA MARGARETAE/ DYMONDIA SILVER CARPET (AS TURFCRETE GROUNDCOVER)	100%/ FLATS@2" O.C.	6" X 6"	100 S.F.	LOW (.2)
	PLATINUM PASPALUM/ SEASHORE PASPALUM (WARM SEASON SOD)	100%/ ROLLS	N/A	260 S.F.	MOD (.4) (WARM SEASON SOD)

EXISTING/ ESTABLISHED PLANT MATERIAL ON SUBJECT PROPERTY

NOTES: TR=TO REMAIN; TBR=TO BE REMOVED; O= TO BE RELOCATED ONSITE

	BOTANICAL NAME	COMMON NAME	HT./ DIA. / CALIPER		WUCOLS (Kc)
TREES					
E#	TYP. SYMBOL				
E1	HOWEA FORSTERIANA	KENTIA PALM (DOUBLE TRUNK)	10' BTH/ 15'/ 8"	TR	MOD (.4)
E2	HOWEA FORSTERIANA	KENTIA PALM (DOUBLE TRUNK)	6' BTH/ 8'/ 8"	TR	MOD (.4)
E3	HOWEA FORSTERIANA	KENTIA PALM (SINGLE TRUNK)	18' BTH/ 15'/ 8"	TR	MOD (.4)
E4	HOWEA FORSTERIANA	KENTIA PALM (DOUBLE TRUNK)	6' BTH/ 6'/ 8"	TR	MOD (.4)
E5	BEAUCARNEA RECURVATA	PONYTAIL PALM (SINGLE TRUNK)	10' BTH/ 6'/ 24"	TR	LOW (.2)
E6	TRACHYCARPUS FORTUNEI	WINDMILL PALM	18' BTH/ 5'/ 8"	TR	LOW (.2)
E7	TRACHYCARPUS FORTUNEI	WINDMILL PALM	18' BTH/ 5'/ 8"	TR	LOW (.2)
E8	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	30' / 18'/ 12"	TBR	MOD (.4)
E9	MUSA X PARADISIACA	BANANA TREE	6' BTH/ 8'/ 8"	TR	HIGH (.7)
SHRUBS					
S1	ABELIA GRANDIFLORA	GLOSSY ABELIA	3' / 4'	TR	MOD (.4)
S2	NERIUM OLEANDER 'PINK'	PINK OLEANDER	3' / 4'	TBR	MOD (.4)
S3	POLYGALA GRANDIFLORA	SWEAT PEA	3' / 4'	TR	MOD (.4)
S4	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	6' / 5'	TR	MOD (.4)
S5	PENNISETUM S. 'RUBRUM'	PURPLE FOUNTAIN GRASS	3' / 3'	TR	LOW (.2)
S6	CAMELIA JAPONICA	CAMELIA	4' / 2'	TR	MOD (.4)
S7	CITRUS SINENSIS 'DWARF'	DWARF ORANGE	6' / 6'	O	MOD (.4)
S8	CITRUS LIMON 'DWARF'	DWARF LEMON	6' / 6'	O	MOD (.4)
S9	BUXUS M. 'JAPONICA'	BOXWOOD	4' / 4'	TR	MOD (.4)
GROUNDCOVERS					
	FESTUCA GLAUCA	BLUE FESCUE	18" / 18"	TR	LOW (.2)
	MIXED ANNUAL PLANTINGS	MIXED ANNUAL PLANTINGS	12" / 12"	TR	MOD (.4)

SEE SHEET LCP-2 FOR PROPOSED CONCEPTUAL PROJECT NOTES

NOTES:

BUILDINGS, HARDSCAPE, EASEMENT INFORMATION SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. SEE BUILDING ARCHITECTS SITE PLANS FOR ADDITIONAL INFORMATION.

Above It All Design, Inc.
LANDSCAPE ARCHITECTURE
6479 DIWANE AVENUE
SAN DIEGO, CA 92120
(619) 995-9773
bkatz524@hotmail.com

LICENSED LANDSCAPE ARCHITECT
BRIAN L. KATZ
No. 2568
SIGNATURE
2/1/21
DATE
05/31/22
EXP. DATE
STATE OF CALIFORNIA

	DATE:
CONCEPT PLAN	10/28/20
STUDIES	1/19/21
CITY 2 REVS.	2/1/21

LANDSCAPE CONCEPT PLAN

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

LCP-1

STANDARD NOTES

CONSTRUCTION NOTES:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT LOCAL UNDERGROUND SERVICE ALERT.
2. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO ALL APPLICABLE CITY AND REGIONAL STANDARDS FOR LANDSCAPE AND IRRIGATION INSTALLATION AND MAINTENANCE. IF ANY EXISTING HARDSCAPE OR LANDSCAPE IDENTIFIED TO REMAIN ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE ORIGINALLY APPROVED PLANS FOR THE PROJECT.
3. CONTRACTOR SHALL VERIFY HARDSCAPE LAYOUT (ING. BUILDING/WALL FOOTPRINTS, PAVING, MONSTRIPS, FENCING, UTILITIES, ETC.) AND NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE (OAR) OF ANY DISCREPANCIES FOUND PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY THE OAR PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE OAR, OTHER CONSTRUCTION TRADES, AND GOVERNING AGENCIES.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK AS INDICATED ON THE PLANS PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL ARRANGE FOR PAYMENT OF ANY PERMIT FEES, AND RELATED EXPENSES, WITH THE OAR.
7. ALL LOCAL, MUNICIPAL, COUNTY, AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THE WORK DEPICTED ON THESE PLANS SHALL BE CARRIED OUT BY THE CONTRACTOR.
8. ALL WORKMANSHIP SHALL COMPLY WITH INDUSTRY STANDARDS EXCEPT WHEN MORE RESTRICTIVE TOLERANCES OR SPECIFIED REQUIREMENTS INDICATE MORE RIGID STANDARDS OR MORE PRECISE WORKMANSHIP.
9. CONTRACTOR SHALL ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, SIDEWALKS AND ADJACENT FACILITES.
10. CONTRACTOR SHALL POST SIGNS AS REQUIRED TO ALERT TRAFFIC TO CONSTRUCTION ACTIVITIES, AND TO DIRECT TRAFFIC THROUGH AND AROUND THE CONSTRUCTION AREAS.
11. CONTRACTOR SHALL REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES, AND CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION BY THE OAR.
12. CONTRACTOR SHALL CONTROL THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH ON THE PROJECT SITE AND SHALL PERIODICALLY DISPOSE OF ALL WASTE MATERIAL OFF-SITE AT AN APPROVED LEGAL DISPOSAL FACILITY. ALL CLEANING AND DISPOSAL OPERATIONS COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND ANTI-POLLUTION LAWS.
13. CONTRACTOR SHALL USE ONLY THOSE CLEANING MATERIALS WHICH WILL NOT CREATE HAZARDS TO HEALTH OR PROPERTY AND WHICH WILL NOT DAMAGE SURFACES.
14. CONTRACTOR SHALL USE CLEANING MATERIALS ONLY ON SURFACES RECOMMENDED BY THE CLEANING MATERIAL MANUFACTURER.
15. DURING CONSTRUCTION, CONTRACTOR SHALL CLEAN SPACES ADJACENT TO CONSTRUCTION AREAS AS CONSTRUCTION PROGRESSES, AND SHALL CONTINUE CLEANING ON A DAILY BASIS UNTIL CONSTRUCTION IS FINISHED.
16. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN PROJECT ROADWAYS AND WALKWAYS FREE FROM CONSTRUCTION OR EXCAVTED MATERIALS, EXCEPT IN DESIGNATED STORAGE OR STOCKPILING AREAS.
17. CONTRACTOR SHALL EXECUTE FINAL CLEANING PRIOR TO FINAL INSPECTION BY THE OAR.
18. CONTRACTOR SHALL REMOVE ALL TOOLS, UNINSTALLED MATERIALS, AND CONSTRUCTION DEBRIS, ETC. FROM THE PROJECT SITE.
19. CONTRACTOR SHALL REMOVE GREASE, MASTIC, ADHESIVES, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM SIGHT-EXPOSED SURFACES.
20. PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL CONDUCT AN INSPECTION OF SITE-EXPOSED SURFACES, AND ALL WORK AREAS, TO VERIFY THAT THE ENTIRE WORK AREA IS CLEAN.

GENERAL PLANTING NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF SAN DIEGO PLANNED DISTRICT ORDINANCE, THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION OF THIS AREA SHALL BE 5', PER SDMC 142.0403(b)(5).
3. ALL REQUIRED LANDSCAPE AREAS SHALL BE PERMANENTLY IRRIGATED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY SDMC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTY, DISEASE RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
5. ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
6. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0A AT MATURITY SHALL BE INSTALLED WITHIN 5'-0A OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10'-0A OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
7. ALL LEVEL PLANTED AREAS SHALL RECEIVE A 3A LAYER OF BARK MULCH. LEAVE A 12A DIAMETER AREA AROUND EACH TREE AND SHRUB MAINSTEM FREE OF BARK MULCH.
8. ALL PLANTED AREAS SHALL BE RAKED CLEAN OF ALL EXTRANEOUS MATERIALS.
9. ALL PLANT MATERIAL SHALL CONFORM TO NURSERYMAN'S STANDARDS FOR SIZE AND HEALTH AND SHALL BE APPROVED BY THE OAR PRIOR TO PLANTING. THE CONTRACTOR SHALL SUBMIT PHOTOS OF ALL BOX SIZE TREES FOR APPROVAL BY THE OAR.
10. ALL LANDSCAPE CONSTRUCTION INSTALLATION AND PRACTICE'S SHALL COMPLY WITH ALL LOCAL AND REGIONAL STANDARDS AND IF APPLICABLE, THE CLCA'S STANDARDS FOR LANDSCAPE CONSTRUCTION AND MAINTENANCE.
11. ANY PLANT MATERIAL DELETIONS OR SUBSTITUTIONS SHALL BE APPROVED BY THE OAR.
12. ALL TREES SHALL BE LOCATED MIN. 6' (FEET) FROM PROPERTY LINE FENCING AND WALLS, HARDSCAPE SURFACES, BUILDING FOUNDATIONS, BUILDING EAVES AND SUBSURFACE UTILITIES INCLUDING DRAINAGE LINES, DOMESTIC SUPPLY LINES AND SEWER LINES WHEREVER POSSIBLE/ APPLICABLE. ANY TREE PLANTED WITHIN 5' (FEET) OF HARDSCAPE SURFACES AND BULDING SHALL FOUNDATIONS SAHLL RECEIVE A ROOT BARRIER (BIO-BARRIER) INSTALLED PER MANUFACTURER'S DETAILS AND SPECIFICATIONS, ADJACENT AND PARALLEL TO THE HARDSCAPE, FOUNDATION, AND/OR UTILITY AND 8' BEYOND THE TREE TRUNK IN BOTH DIRECTIONS. IN CASE OF DISCREPANCIES, IMMEDIATELY NOTIFY THE OAR. IN ADDITION, TREES SHALL BE LOCATED MIN. 3' (FEET) FROM ALL FIRE HYDRANTS, MAIL BOXES, WATER METERS, AND SUBSURFACE UTILITIES INCLUDING TELEPHONE, ELECTRICAL AND CABLE TV, MIN. 8' (FEET) FROM THE DOOR SIDE OF ALL TRANSFOR-MER BOXES, MIN. 10' (FEET) FROM ALL EASEMENT BOUNDARIES, MIN. 10' (FEET) FROM ALL STREET LIGHTS, SIGNS AND POWER POLES. CONTRACTOR SAHLL VERIFY ALL UTILITIES, EASEMENTS, HARDSCAPE AND EQUIPMENT PRIOR TO THE INSTALLATION OF TREES.
13. ALL PLANT BASINS SHALL RECEIVE SARVON SOIL PENETRANT. APPLY PER MANUFACTURER'S SPECIFICATIONS, OR AS DIRECTED IN THE AGRICULTURAL SOILS REPORT OBTAINED BY THE CONTRACTOR.
14. PRIOR TO ANY CONTRACTOR, CONTRACTOR SHALL CONTACT LOCAL UNDERGROUND SERVICE ALERT.
15. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OF CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS.
16. ALL BUILDING AND HARDSCAPE SHOWN ON THESE PLANS IS BASED UPONS THE MOST CURRENT CIVIL ENGINEERING SURVEY PLAN RECEIVED FROM THE CIVIL ENGINEER. LANDSCAPE CONTRACTOR SHALL VERIFY HARDSCAPE LAYOUT INCLUDING BUILDING FOOTPRINTS, WALKWAYS, STAIRWAYS, FENCING, UTILITIES, ETC. PRIOR TO CONSTRUCTION.

GENERAL IRRIGATION NOTES:

1. ALL PIPE, VALVES, ETC. SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
2. CONTRACTOR SHALL NOT INSTALL ANY ITEMS WHERE IT IS OBVIOUS THAT THEY ARE IN DIRECT CONFLICT WITH UNDERGROUND UTILITIES, STRUCTURES, PERMANENT IMPROVEMENTS OR PEDESTRIAN AND VEHICULAR SAFETY CONSIDERATIONS. SPRAY HEADS SHALL NOT BE SCALED OFF THE PLANS, BUT LOCATED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALKS, AND STRUCTURES. DO NOT LOCATE TREES OR TALLER SHRUBS IN LOCATIONS WHERE THEY WILL BLOCK IRRIGATION HEADS AND PREVENT ADEQUATE COVERAGE.
3. CONTRACTOR SHALL MAINTAIN THE LATEST EDITION OF THE LOCAL GUIDELINES AND SPECIFICATIONS FOR LANDSCAPE DEVELOPMENTS AT THE SITE AT ALL TIMES.
4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WILL ALL GRADE DIFFERENCES, LOCATION OF WALLS, BUILDINGS, RETAINING WALLS, PAVING, WALKS, CURBS, FENCES, WOOD STRUCTURES, CONCRETE STRUCTURES, ETC. IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND ANY OTHER SUBCONTRACTORS FOR LOCATION OF PIPE SLEEVES THROUH WALLS, UNDER PAVING AND OTHER STRUCTURES.
5. CONTRACTOR SHALL VERIFY ALL PRESSURES AND POINTS OF CONNECTION ON SITE PRIOR TO CONSTRUCTION AND PROVIDE THESE TO THE OAR IN WRITING. IF AVAILABLE STATIC PSI EXCEEDS 75 P.S.I., THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF A PRESSURE REGULATOR, AND IF INADEQUATE OR NONE INSTALL A WILKINS PRESSURE REGULATOR (OR APPROVED EQ) DOWNSTREAM OF BACKFLOW ASSEMBLY AND WYE FILTER.
6. MAINLINE FEEDER BETWEEN POINT OF CONNECTION, METER, AND BACKFLOW PREVENTER TO BE OF MATERIAL AS REQUIRED BY THE GOVERNING WATER DISTRICT.
7. CONTRACTOR SHALL FIELD VERIFY WITH THE OAR AND THE LOCAL GOVERNING AGENCY REPRESENTATIVE, ALL LOCATIONS OF POINTS OF CONNECTION, WATER METERS, MAIN WATER SUPPLY LINE, BACKFLOW PREVENTERS, AUTOMATIC CONTROLLER RAIN SWITCH, AND VALVES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL PAVED AREAS PRIOR TO PAVING INSTALLATION. SLEEVING SHALL BE SCHEDULE 40 PVC PIPE, TWICE THE LINE OR WIRE BUNDLE CARRIED, GROUPED TOGETHER WHERE FEASIBLE AND BURIED MIN. 18A OR PER LOCAL GOVERNING CODES AND REGULATIONS BELOW PAVEMENT, WHICHEVER IS MORE STRINGENT.
9. CONTRACTOR SHALL THROUGHLY FLUSH ALL LINES AND ADJUST ALL HEADS FOR OPTIMUM SYSTEM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO ALL FIXED OBJECTS IE. WALKS, STREETS, CURBS, WALLS, FENCING, STRUCTURES, ETC. THIS SHALL INCLUDE SELECTING THE BEST NOZZLE RADIUS/PATTERN TO ACCOMMODATE UNUSUAL SITE CONDITIONS.
10. ALL CONTROL VALVES, BALL VALVES, AND QUICK COUPLER VALVES SHALL BE LOCATED IN SHRUB PLANTED AREAS WHEREVER POSSIBLE.
11. CONTRACTOR SHALL COORDINATE THE LOCATION OF IRRIGATION PIPING WITH THE LOCATION OF TREES (REFER TO PLAN) AND SHALL MAINTAIN A MIN. OF 5 FEET CLEARANCE BETWEEN PIPING AND TRUNKS OF TREES WHEREVER POSSIBLE. CONTRACTOR SHALL NOTIFY THE OAR OF ANY DISCREPANCIES BETWEEN PIPING AND TREE LOCATIONS PRIOR TO CONSTRUCTION.
12. CONTRACTOR SHALL INSTALL BELOW HEAD CHECK VALVES AND/OR IN-LINE CHECK VALVES (SIZE AS REQ'D) TO IRRIGATION LATERALS, AS REQUIRED, TO ELIMINATE ANY LOW HEAD DRAINAGE.
13. POINT OF CONNECTION TO BE AT THE SERVICE LINE DOWNSTREAM OF WATER METER. VERIFY LOCATION, SIZE, TYPE AND AVAILABLE STATIC P.S.I. OF SERVICE LINE AND WATER METER PRIOR TO CONSTRUCTION.
14. ALL IRRIGATION CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND REGIONAL GOVERNING CODES.
15. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
16. LOCATE ALL IRRIGATION HEADS AND LINES 8' FROM SIDEYARD PL'S WHERE FEASIBLE.
17. CONTRACTOR/OPERATOR SHALL ONLY APPLY SUFFICIENT WATER TO PROMOTE HEALTHY GROWTH OF THE PLANT MATERIAL. AT NO TIME SHALL THE CONTRACTOR/OPERATOR APPLY WATER AT A RATE OR FREQUENCY WHICH CAUSES RUNOFF OR SOIL SATURATION.
18. IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
19. CONTRACTOR SHALL INSTALL IN-LINE CHECK VALVES TO IRRIGATION LATERALS, AS REQUIRED, TO PREVENT ANY LOW HEAD DRAINAGE.
20. MINIMUM DIAMETER LATERAL PIPE FOR ALL MP-ROTATER ZONES WHERE OCCURS SHALL BE 3/4" SIZE.

IRRIGATION SYSTEM NOTES:

CONTRACTOR TO INSTALL LOW VOLUME, DRIP TYPE AUTOMATIC IRRIGATION SYSTEMS FOR ALL LEVEL LANDSCAPE PLANTED AREAS. REGOMMENDED SYSTEM EQUIPMENT INCLUDES RAIN BIRD XERI-BIRD 8 MULTI-OUTLET EMITTER MOUNTED ON SCH. 80 RISER AND DOUBLE SWING JOINT ASSEMBLY WITHIN RAINBIRD SUBTERRANEAN DRIP EMITTER BOX, RAINBIRD XFS SUBSURFACE INLINE DRIP TUBING (WHERE NEEDED 4" BELOW FINISH GRADE), FEBCO REDUCED PRESSURE VACUUM BREAKERS (1" SIZE), RAIN BIRD CONTROL ZONE KIT (XCZ-075-PRF) AND RAIN BIRD DV SERIES REMOTE CONTROL VALVES INSTALLED WITHIN STD. SIZE RECTANGULAR VALVE BOXES, WILKINS MODEL 850 FULL PORT BRASS BALL VALVES INSTALLED WITHIN STD. 10" DIA. VALVE BOXES AND HUNTER WEATHER-BASED CONTROLLERS (OR EQ.), CLASS 200 PVC LATERAL LINE BURIED 12" BELOW FINISH GRADE. SCHEDULE 40 PVC PRESSURE MAINLINE BURIED 18" BELOW FINISH GRADE. SCHEDULE 40 PVC SLEEVING TWICE LINE SIZE FOR WIRES UNDER PAVING (1" MIN. SIZE). CONTRACTOR SHALL VERIFY TYPE, SIZE AND LOCATION OF EXISTING WATER SERVICE LINE AND AVAILABLE PSI PRIOR TO CONSTRUCTION. CONTACTOR SHALL VERIFY AVAILABLE CONTROLLER POWER SOURCES AND FINAL LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

LANDSCAPE CONDITIONS:

1. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL ALL REQUIRED LANDSCAPE AND OBTAIN ALL REQUIRED INSPECTIONS. A NO FEE STREET TREE PERMIT SHALL BE OBTAINED FOR THE INSTALLATION, ESTABLISHMENT, AND ON-GOING MAINTENANCE OF ALL STREET TREES.
2. THE OWNER SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR TOPPING OF NEW OR EXISTING TREES IS NOT PERMITTED. ALL TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO IT'S MATURE HEIGHT AND SPREAD.
3. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
4. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE PERMITTEE OR SUBSEQUENT OWNER IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY LANDSCAPE IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR PRIOR TO A CERTIFICATE OF OCCUPANCY.

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET
ABOVE GROUND STRUCTURES - 10 FEET
DRIVEWAYS (ENTRIES/EXITS) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
SEWER LINES - 10 FEET
EACH TREE LOCATED ALONG A STREET SHALL HAVE A MINIMUM OF 40 SQUARE FEET OF AIR AND WATER PERMEABLE AREA WITH A MINIMUM DIMENSION OF 5 FEET, MEASURED FROM THE INSIDE FACE OF A CURB.

SPECIAL NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. EACH TREE LOCATED IN A VEHICULAR USE AREA OR ALONG A STREET SHALL HAVE A MINIMUM OF 40 SQUARE FEET OF AIR AND WATER PERMEABLE AREA WITH A MIN. DIMENSION OF 5 FEET, MEASURED FROM THE INSIDE FACE OF A CURB WHERE APPLICABLE.
3. A MINIMUM OF 40 S.F. WITH A MINIMUM DIMENSION OF 5 FEET, SHALL BE PROVIDED FOR ALL TREES. ALL OTHER REQUIRED PLANTING AREAS SHALL BE GREATER THAN 30 S.F. IN SIZE WITH A MINIMM DIMENSION OF 3 FEET.
4. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. EQUIPMENT FOR THIS PROJECT SHALL INCLUDE A WEATHER BASED CONTROLLER WITH RAIN SHUT-OFF DEVICE, REDUCED PRESSURE BACKFLOW PREVENTER, GATE VALVES, REMOTE CONTROL VALVES, QUICK COUPLER VALVE, INLINE DRIP TUBING, ADJUSTABLE BUBBLER HEADS, SCHEDULE 40 MAINLINE AND SLEEVING, AND CLASS 200 LATERAL LINE PIPING.
5. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

A. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND THE DRIP LINE.
B. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
C. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
D. THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
E. ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINTAS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL.
F. A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6-IN OR GREATER IN DIAMETER.
G. MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
H. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

MAINTENANCE NOTES:

ALL REQUIRED LANDSCAPE AREAS INCLUDING STREET R.O.W. SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORELY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL LANDSCAPE AND IRRIGATION IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE MAINTAINED BY THE OWNER.

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LANDSCAPE ARCHITECTURE
6479 DIWANE AVENUE
SAN DIEGO, CA 92120
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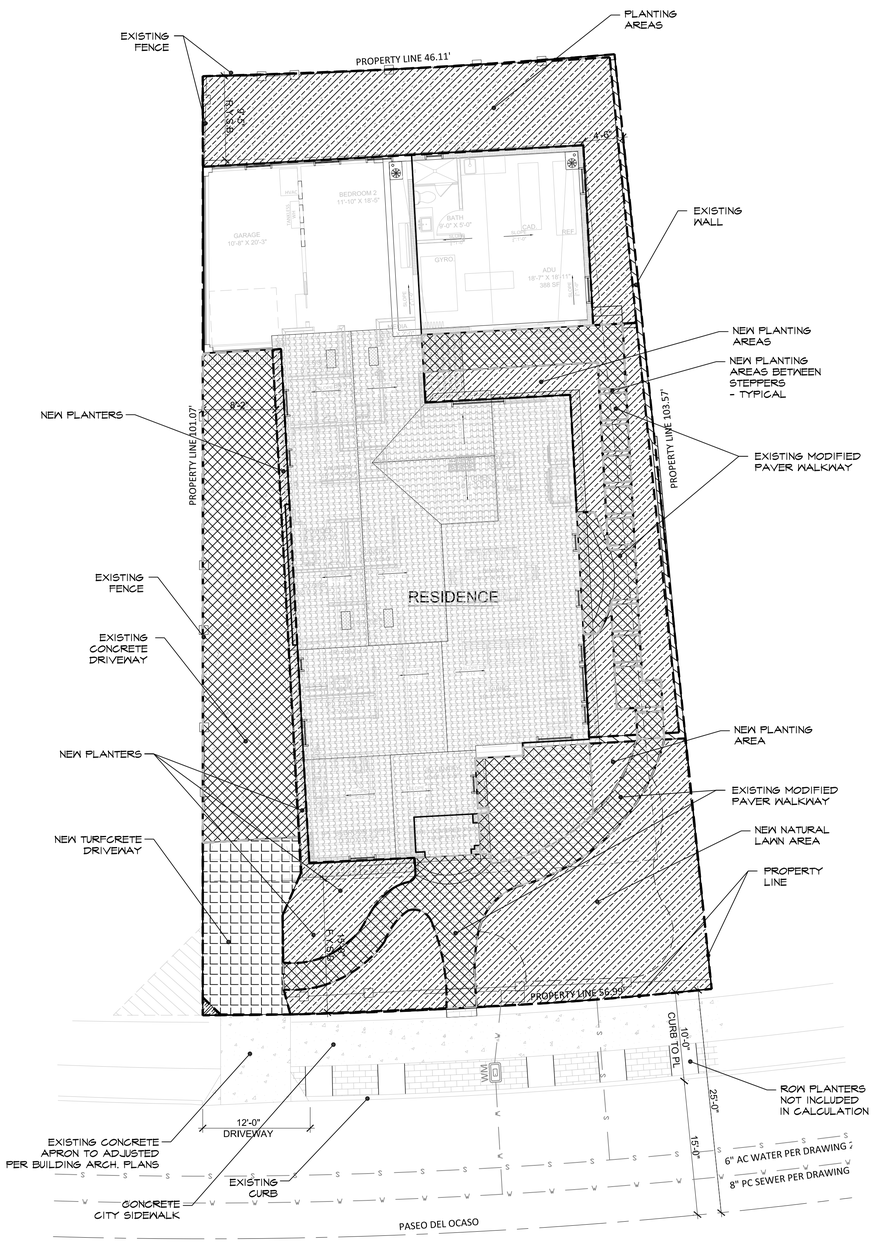
CITY STANDARD NOTES

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

LCP-2



LEGEND	LANDSCAPE DIAGRAM CALCS
N/A SEE PLAN	PROPERTY/ SITE AREA 5,422.5 S.F.
	PLANTING AREA 1,585 S.F. + 43.2 (50% TURFCRETE S.F.) = 1,628.2 S.F.
	HARDSCAPE AREA 1,203.7 S.F. + 43.2 (50% TURFCRETE S.F.) = 1,246.9 S.F.
	TURFCRETE DRIVEWAY 186.4 S.F.

CALCULATION: $\frac{1{,}628.2 \text{ S.F. (P.A.)}}{5{,}422.5 \text{ S.F. (SITE AREA)}} = 30\%$

CALCULATION DOES NOT INCLUDE PLANTING AREAS IN R.O.W.

SEE SHEET LCP-1 FOR LANDSCAPE CONCEPT PLAN & ADDITIONAL SITE INFORMATION

NOTES:

BUILDINGS, HARDSCAPE, EASEMENT INFORMATION SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. SEE BUILDING ARCHITECTS SITE PLANS FOR ADDITIONAL INFORMATION.

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LANDSCAPE AREA DIAGRAM

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

LCP-3

CITY OF SAN DIEGO WATER BUDGET CALCULATIONS:

WATER BUDGET
LANDSCAPE WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: GALLAGHER RESIDENCE **Project #:**

Project Address: 7946 PASEO DEL OCASO LA JOLLA, CA 92037

Individual/Business Completing the Worksheet BRIAN L. KATZ

Phone Number 619-995-9773

I. DEFINITIONS:

Estimated Total Water Use (ETWU): The total water used for the landscape based on the plants used and irrigation method selected for the landscape design. The ETWU shall not exceed the MAWA.

Evapotranspiration: The quantity of water as measured in average inches per year that evaporated from adjacent soil surfaces and transpired by plants during a specific time period. [Evapotranspiration data may be found at www.cimis.water.ca.gov. You may obtain a free password from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.]

Evapotranspiration Adjustment Factor (ETAF): A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

Hydrozone: A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For the purpose of the calculation, the surface area of manmade water features (see LDM Section I.8) are included in the high water use hydrozone, and the surface area of artificial turf and temporary irrigation is included in the low water use hydrozone.

Irrigation Audit: An in-depth evaluation of the performance of an irrigation system conducted by a professional authorized by the State to perform such work. An irrigation audit includes,

49

Legend for MAWA Water Budget Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year); see Table 6 or ETo Map
0.62	Conversion factor to gallons
ETAF 0.55 for residential landscape areas; 0.45 for non-residential landscape areas	Evapotranspiration Adjustment Factor
LA	Landscape Area (square feet)
1- ETAF 0.45 for residential landscape areas; 0.55 for non-residential landscape areas	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water
SLA	Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

ETO=40.0 (LA JOLLA)

MAWA Water Budget calculation = $(ET_0)(0.62)$ [(ETAF)(LA) + (1-ETAF)(SLA)] = gallons per year

MAWA = 40.0 (.62) ((.55)(1,689)+(1-.55)(0))
MAWA = (24.8)((928.95)+0))
MAWA = 23,038 GAL/YR

51

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area"-(square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1	TBD	.2	104	DRIP	.81	6.2%
1	2	TBD	.4	1,230	DRIP	.81	72.8%
1	3	TBD	.7	15	DRIP	.81	0.9%
1	4	TBD	.1	340	NONE	1.0	20.1%
						Total	100%

NOTE: HYDROZONE AREA S.F. INCLUDES PLANTERS IN R.O.W.

54

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. **The total ETWU cannot exceed the total Water Budget-MAWA.**

Controller No.	ETWU $[(ETo)(0.62)][(\frac{PF \times HA(ft^2)}{IE}) + SLA]$	Result in Gallons per Year
1	(40.0)(.62) ((.2 X 104)/.81) + 0)	636.8
1	(40.0)(.62) ((.4 X 1,230)/.81) + 0)	15,063.7
1	(40.0)(.62) ((.7 X 15)/.81) + 0)	321.5
1	(40.0)(.62) ((1 X 340)/1.0) + 0)	843.2
	Total ETWU gallons per year	16,865.2

55

HYDROZONE KEY
(POC 1)

HYDROZONE #	VALVES	PLANTING DESCRIPTION	HYDROZONE CATEGORY	HYDROZONE PLANT FACTOR	HYDROZONE S.F.	IRRIGATION METHOD	IRRIGATION EFFICIENCY
1	TBD	TURFCRETE (50%) & BETWEEN STEPPERS (DYMONDIA G.C.)	LOW WATER USE	.2	104	DRIP	.81
2	TBD	TREES, SHRUBS, & G.C. (INCLUDES R.O.W.)	MOD WATER USE	.4	1,230	DRIP	.81
3	TBD	BANANA TREE	HIGH WATER USE	.7	15	DRIP	.81
4	TBD	NON-IRRIGATED G.C. (GRAVEL, D.G. ETC)	LOW WATER USE	.1	340	NONE	1.0

HYDROZONE NUMBER SEE KEY

SEE SHEET LCP-1 FOR LANDSCAPE CONCEPT PLAN & ADDITIONAL SITE INFORMATION

NOTES:

BUILDINGS, HARDSCAPE, EASEMENT INFORMATION SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. SEE BUILDING ARCHITECTS SITE PLANS FOR ADDITIONAL INFORMATION.

Above It All Design, Inc.
LANDSCAPE ARCHITECTURE
6479 DIWANE AVENUE
SAN DIEGO, CA 92120
(619) 995-9773
bkatz524@hotmail.com

LICENSED LANDSCAPE ARCHITECT
BRIAN L. KATZ
No. 2568
SIGNATURE
2/1/21
DATE
05/31/22
EXP. DATE
STATE OF CALIFORNIA

	DATE:
CONCEPT PLAN	10/28/20
STUDIES	1/19/21
CITY 2 REVS.	2/1/21

HYDROZONE AREA DIAGRAM/ CALCS.

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

LCP-4

MATERIALS PROVIDED PREVIOUSLY AT THE JANUARY 2021 MEETING

	FRONT SETBACK	REAR SETBACK	LEFT SIDEYARD	RIGHT SIDEYARD	HOUSE SQ FT.	LOT SIZE	FAR
7985 Calle De La Plata	15'-0"	10'-0"	15'-0"	15'-0"	1,994 SF	7,706 SF	0.26
7975 Calle De La Plata	15'-0"	10'-0"	5'-0"	5'-0"	4,546 SF	7,206 SF	0.63
7935 El Paseo Grande	18'-0"	20'-0"	0'-0"	4'-0"	1,538 SF	6,239 SF	0.24
7927 El Paseo Grande	15'-2"	4'-0"	4'-0"	4'-0"	3,903 SF	6,300 SF	0.62
7921 El Paseo Grande	20'-0"	0'-0"	3'-0"	8'-0"	1,908 SF	6,334 SF	0.3
7911 El Paseo Grande	17'-0"	6'-0"	12'-0"	6'-0"	3,283 SF	6,642 SF	0.49
7905 El Paseo Grande	18'-0"	3'-0"	15'-0"	12'-0"	2,751 SF	9,638 SF	0.28
7906 Paseo Del Ocaso	15'-0"	15'-0"	3'-0"	3'-0"	1,298 SF	4,983 SF	0.26
7916 Paseo Del Ocaso	15'-0"	3'-0"	3'-0"	3'-0"	2,688 SF	5,302 SF	0.5
7926 Paseo Del Ocaso	17'-0"	5'-0"	3'-0"	4'-0"	1,905 SF	5,097 SF	0.37
7936 Paseo Del Ocaso	20'-0"	4'-0"	4'-0"	3'-0"	1,956 SF	5,046 SF	0.38
7946 Paseo Del Ocaso	15'-0"	9'-5"	0'-0"	4'-6"	3,606.3 SF	5,422.5 SF	0.66
7956 Paseo Del Ocaso	15'-0"	15'-0"	4'-0"	4'-0"	3,268 SF	6,000 SF	0.6
7964 Paseo Del Ocaso	20'-0'	4'-0"	4'-0"	4'-0"	2,300 SF	5,420 SF	0.42
7974 Paseo Del Ocaso	20'-0"	24'-0"	4'-0"	2'-0"	3,652 SF	5,492 SF	0.66
7975 Paseo Del Ocaso	18'-0"	15'-0"	8'-0"	4'-0"	1,986 SF	7,307 SF	0.27
7967 Paseo Del Ocaso	17'-0"	10'-0"	4'-0"	4'-0"	1,971 SF	7,419 SF	0.26
7959 Paseo Del Ocaso	18'-0"	0'-0"	2'-0"	5'-0"	2,192 SF	7,697 SF	0.28
7951 Paseo Del Ocaso	15'-0"	10'-0"	2'-0"	3'-0"	1,799 SF	7,488 SF	0.24
7941 Paseo Del Ocaso	12'-0"	2'-0"	3'-0"	5'-0"	1,515 SF	7,646 SF	0.19
7931 Paseo Del Ocaso	15'-0"	5'-0"	2'-0"	12'-0"	2,542 SF	7,303 SF	0.34
7921 Paseo Del Ocaso	20'-0"	15'-0"	3'-0"	3'-0"	2,258 SF	7,399 SF	0.3
7911 Paseo Del Ocaso	20'-0"	15'-0"	6'-0"	10'-0"	1,256 SF	7,246 SF	0.17
7905 Paseo Del Ocaso	15'-0"	15'-0"	5'-0"	4'-0"	1,856 SF	7,293 SF	0.25
7964 La Jolla Shores Drive	40'-0"	30'-0"	5'-0"	3'-0"	2,470 SF	7,201 SF	0.34
7958 La Jolla Shores Drive	30'-0"	30'-0"	5'-0"	3'-0"	2,601 SF	7,449 SF	0.35
7950 La Jolla Shores Drive	20'-0"	6'-0"	4'-0"	12'-0"	1,169 SF	6,960 SF	0.16
7944 La Jolla Shores Drive	20'-0"	10'-0"	10'-0"	3'-0"	1,437 SF	7,200 SF	0.2
7940 La Jolla Shores Drive	10'-0"	5'-0"	2'-0"	5'-0"	2,673 SF	7,204 SF	0.37
7934 La Jolla Shores Drive	10'-0"	20'-0"	4'-0"	4'-0"	2,161 SF	7,238 SF	0.29
7928 La Jolla Shores Drive	20'-0"	30'-0"	4'-0"	4'-0"	1,631 SF	7,505 SF	0.21
7924 La Jolla Shores Drive	20'-0"	30'-0"	5'-0"	4'-0"	1,260 SF	7,585 SF	0.16
7920 La Jolla Shores Drive	20'-0"	40'-0"	6'-0"	12'-0"	1,943 SF	7,745 SF	0.25

JANUARY 2021 Gallagher Residence

GALLAGHER RESIDENCE

7946 PASEO DEL OCASO
LA JOLLA, CA 92037

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE
CONSTRUCTION DOCS

REVISIONS

2019-08-04 PROJECT START
2019-09-06 OWNER MEETING
2019-12-05 OWNER REVS.
2020-02-12 OWNER MEETING
2020-02-19 OWNER REVS.
2020-05-07 OWNER REVS.
2020-06-19 OWNER REVS.
2020-09-02 CITY SUBMITTAL
2020-11-6 CITY SUBMITTAL
2021-01-18 TO COMM. GRP.

DRAWN BY	CHECKED BY
AB/JK	JK

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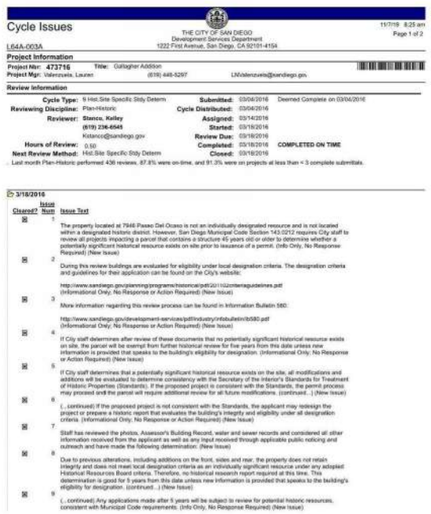
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
TITLE SHEET

SHEET NO.
A-0.1

SHEET: OF



Cycle Issues
THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154
11/7/19 8:25 am
Page 1 of 2
L64A-003A

Project Information
Project Nbr: 473716 Title: Gallagher Addition
Project Mgr: Valenzuela, Lauren (619) 446-5297 LMvalenzuela@sandiego.gov

Review Information
Cycle Type: 9 Hist.Site Specific Stdy Determ
Reviewing Discipline: Plan-Historic
Reviewer: Stanco, Kelley (619) 236-6545 Kstanco@sandiego.gov
Hours of Review: 0.50
Next Review Method: Hist.Site Specific Stdy Determ
Submitted: 03/04/2016 Deemed Complete on 03/04/2016
Cycle Distributed: 03/04/2016
Assigned: 03/14/2016
Started: 03/18/2016
Review Due: 03/18/2016
Completed: 03/18/2016 COMPLETED ON TIME
Closed: 03/18/2016
Last month Plan-Historic performed 436 reviews, 87.8% were on-time, and 91.3% were on projects at less than = 3 complete submittals.

3/18/2016

Cleared?	Issue Num	Issue Text
☒	1	The property located at 7946 Paseo Del Ocaso is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue)
☒	2	During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: http://www.sandiego.gov/planning/programs/historical/pdf/2011/120criteraguidelines.pdf (Informational Only; No Response or Action Required) (New Issue)
☒	3	More information regarding this review process can be found in Information Bulletin 580: http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf (Informational Only; No Response or Action Required) (New Issue)
☒	4	If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required) (New Issue)
☒	5	If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...) (New Issue)
☒	6	(...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required) (New Issue)
☒	7	Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination. (New Issue)
☒	8	Due to previous alterations, including additions on the front, sides and rear, the property does not retain integrity and does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. (continued...) (New Issue)
☒	9	(...continued) Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only; No Response Required) (New Issue)

For questions regarding the 'Plan-Historic' review, please call Kelley Stanco at (619) 236-6545. Project Nbr: 473716 / Cycle: 9
sdk v 02.03.38 Emma Haggerty 236-7173

Cycle Issues
THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154
11/7/19 8:25 am
Page 2 of 2
L64A-003A

Cleared?	Issue Num	Issue Text
☒	10	Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle issues report. (Info Only, No Response Required) (New Issue)

For questions regarding the 'Plan-Historic' review, please call Kelley Stanco at (619) 236-6545. Project Nbr: 473716 / Cycle: 9
sdk v 02.03.38 Emma Haggerty 236-7173

HISTORICAL CLEARANCE | 06

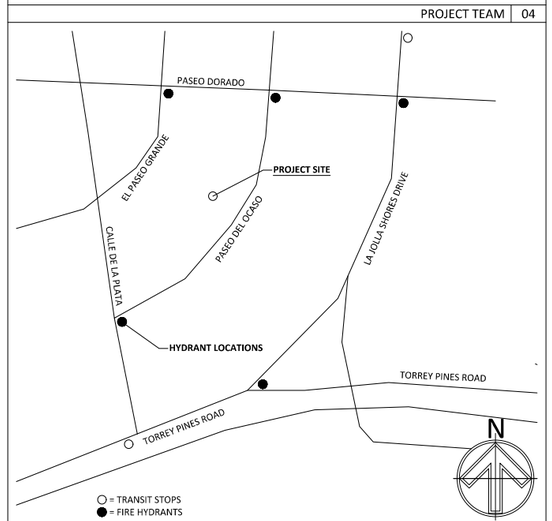
OWNER: GARY GALLAGHER & MARLA BINGHAM
7946 PASEO DEL OCASO
LA JOLLA, CA 92037

ARCHITECT: AXON ARCHITECTURE
4344 ROBBINS STREET
SAN DIEGO, CA 92122
JOSHUA KORDASIEWICZ
JOSH@AXONARCH.COM
619-208-3222

SURVEY: MATT SAWYER
CA LICENSE NO. 8739
8427 HOVENWEEP CT
SAN DIEGO, CA 92129
858-692-6922

LANDSCAPE ARCHITECT: ABOVE IT ALL DESIGN, INC.
6479 DWANE AVENUE
SAN DIEGO, CA 92120
BRIAN KATZ
BKATZ524@HOTMAIL.COM
619-995-9773

PROJECT TEAM | 04



VICINITY MAP | 05

INFO
A-0.1 TITLE SHEET

CIVIL
TOPO SURVEY

ARCHITECTURAL
A-1.1 SITE PLAN
A-2.0 DEMOLITION PLAN
A-2.1 PROPOSED FIRST FLOOR PLAN
A-2.2 PROPOSED SECOND FLOOR PLAN
A-4.1 PROPOSED ROOF PLAN
A-5.1 PROPOSED ELEVATIONS
A-5.2 PROPOSED ELEVATIONS
A-5.3 PROPOSED ELEVATIONS
A-5.4 PROPOSED ELEVATIONS
A-5.5 PROPOSED ELEVATIONS
A-5.6 PROPOSED ELEVATIONS
A-6.1 PROPOSED SECTIONS
A-6.2 PROPOSED SECTIONS
A-6.3 PROPOSED SECTIONS

LANDSCAPE
LCP-1 LANDSCAPE CONCEPT PLAN
LCP-2 LANDSCAPE NOTES

SHEET INDEX | 03

- REMODEL OF EXISTING SINGLE FAMILY RESIDENCE TO PROVIDE OPEN FLOOR PLAN FOR KITCHEN, DINING AND LIVING AREA.
- REMODEL OF EXISTING MASTER BEDROOM & BATHROOM, AND EXTENSION OF FRONT BEDROOM.
- ADDITION OF 388 SF ATTACHED GUEST QUARTERS ON FIRST FLOOR.
- SECOND STORY ADDITION INCLUDING MASTER BEDROOM, BATHROOM, CLOSETS, AND DECK.
- REQUEST FOR SITE DEVELOPMENT PERMIT APPROVAL.

SCOPE OF WORK | 01

ADDRESS: 7946 PASEO DEL OCASO
LA JOLLA, CA 92037

LEGAL DESCRIPTION: LOT 12, IN BLOCK 5 OF THE LA JOLLA SHORES UNIT NO.1 IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, MAP THEREOF NO. 1918

A.P.N.: 346-503-11
YEAR BUILT: 1918
TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED
OCCUPANCY: R-3/U
NUMBER OF STORIES: SINGLE STORY SINGLE FAMILY RESIDENCE

APPLICABLE CODES: 2019 CALIFORNIA RESIDENTIAL CODE, WHICH ADOPTS THE 2016 IRC, 2016 UMC, 2016 UPC AND THE 2011 NEC, SAN DIEGO MUNICIPAL CODE

LOT SIZE: 5,422.5 SF

ZONES: LJSPDO-SF
OVERLAY ZONES: COASTAL HEIGHT LIMIT, COASTAL (CITY), TRANSIT AREA, TRANSIT PRIORITY AREA
PLANNED DISTRICT: LA JOLLA SHORES PLANNED DISTRICT
GEO. CATEGORY: 52

HEIGHT LIMIT: 30'-0"

SETBACKS: LEFT SIDEYARD: 0'-0" (EXISTING)
RIGHT SIDEYARD: 4'-6"
FRONT: 15'-2"
REAR: 9'-5" (EXISTING)

PARKING: EXISTING 2 PROPOSED 2

PROPOSED FAR: .66 SF
PROPOSED AREA: 3,606.3 SF

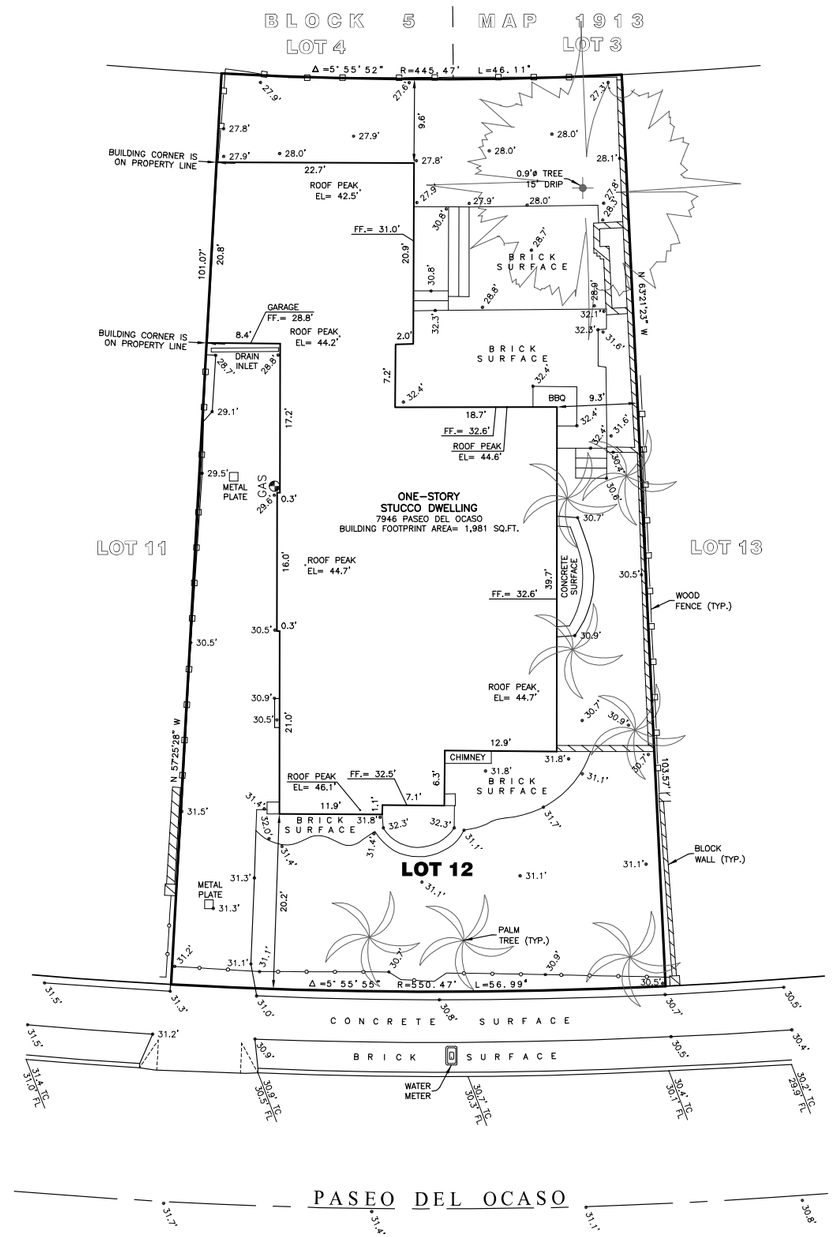
AREA: EXISTING
2,010.2 SF

PROPOSED FIRST FLOOR	PROPOSED SECOND FLOOR	TOTAL
2,058 SF	1,159 SF	3,217 SF
PROPOSED ADU	TOTAL AREA OF ADDITION	TOTAL AREA
388 SF	1,547 SF	3,605 SF
EXISTING GARAGE	PROPOSED GARAGE	
229.6 SF	223.5 SF	
PROPOSED DECK		
362.3 SF		

LOT COVERAGE: 45.1% (<60% PER SDMC 1510.0304(b)(d)

PROJECT INFORMATION | 02

GRAPHIC SCALE
0 8 16 24
(IN FEET)
1"=8'



BENCH MARK:

CITY OF SAN DIEGO VERTICAL CONTROL
SOUTHEAST BRASS PLUG
AT PASEO DEL OCASO AND CALLE DE LA PLATA
ELEVATION= 35.851'
DATUM: MEAN SEA LEVEL

LEGAL DESCRIPTION:

LOT 12 OF BLOCK 5 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THERE NO. 1913 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 3, 1926 OF OFFICIAL RECORDS.

LICENSED LAND SURVEYOR
MATHEW S. SAWYER No. 8739
STATE OF CALIFORNIA

Mathew Sawyer
MATHEW S. SAWYER, P.L.S. 8739

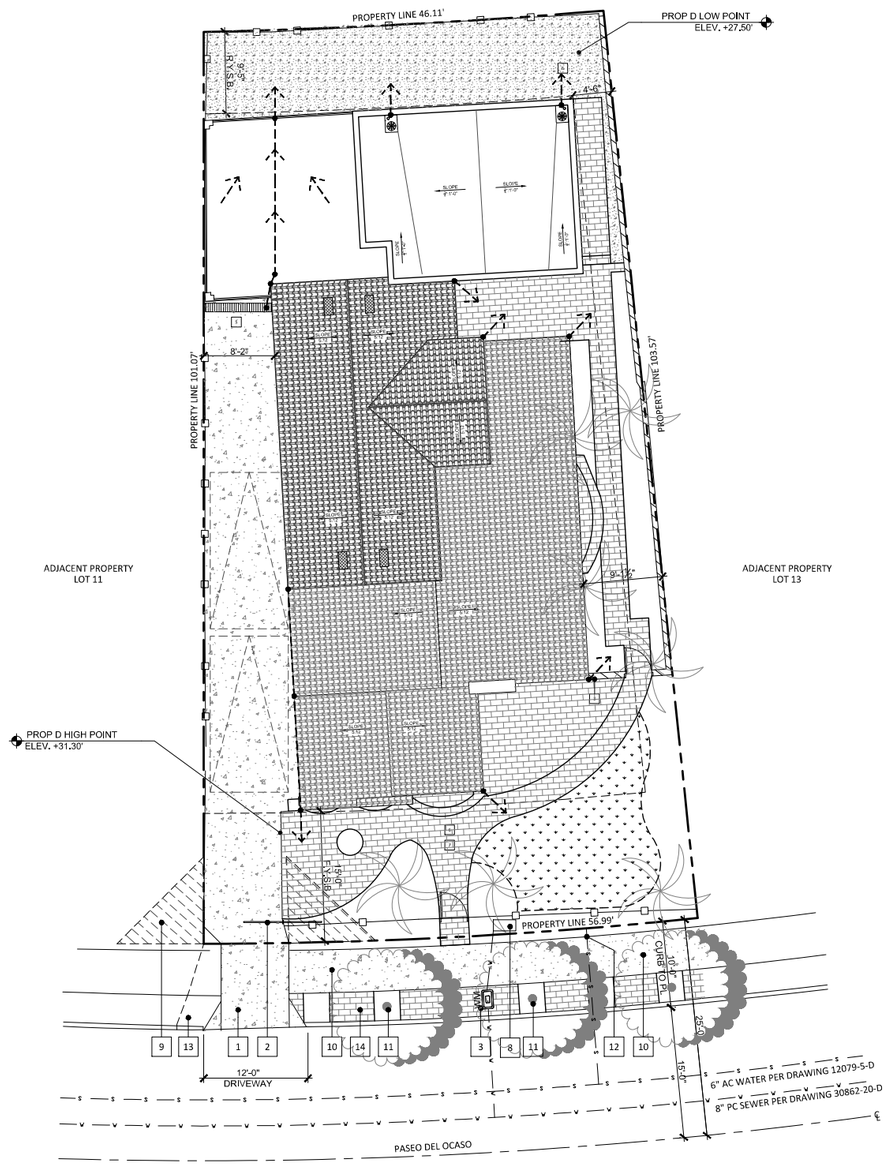
TOPOGRAPHICAL SURVEY

For the exclusive use of
ELLEN M. GALLAGHER REVOCABLE TRUST 7-31-06
7946 PASEO DEL OCASO
LA JOLLA, CALIFORNIA 92037

Sawyer Land Surveying, Inc.
8427 Hovenweep Ct., San Diego, California 92129
(858) 692-6922, EMAIL: msawyerpls@yahoo.com

Date: 6-25-2020	Revised:	Revised:
Scale: 1"=8'	Drawn by: M.S.S.	Sheet 1 of 1
Drawing: 7946PaseoDelOcasoTS.dwg		A.P.N.: 346-503-11-00

MATERIALS PROVIDED PREVIOUSLY AT THE JANUARY 2021 MEETING ATTACHMENT 2: Gallagher Residence



SITE PLAN | SCALE: 1/8" = 1'-0" | 05

1. THE PLANS AND SITE DRAWINGS ARE NOT TO SCALE UNLESS NOTED.
2. SITE PLAN IS FOR REFERENCE ONLY. SEE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
3. SURFACE WATER TO DRAIN AWAY FROM BUILDING.
4. CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES, SITE DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES. ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
5. ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
6. DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
7. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
8. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
9. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
10. NO PROPOSED GRADING OR SITE WORK
11. NO PROPOSED WORK IN ROW
12. NO TRANSIT STOPS ON SITE; SEE TITLE SHEET A-0.1 FOR NEARBY TRANSIT STOPS
13. NO EASEMENTS ON SITE
14. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
15. NO FIRE HYDRANTS ON SITE, SEE TITLE SHEET FOR NEARBY FIRE HYDRANTS
16. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL THE ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
17. NO GATES SHALL SWING OPEN IN THE PUBLIC RIGHT OF WAY.
18. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

NOTES | 01

- PROPERTY LINE
- SETBACK
- DRAINAGE DIRECTION
- EXISTING FENCE
- (P) ROOF DRAIN AND DIRECTION

LEGEND | 02

CUT QUANTITIES:	0 CUBIC YARDS (UNDER BUILDING)
FILL QUANTITIES:	7.19 CUBIC YARDS (UNDER BUILDING)
IMPORT/EXPORT:	7.19 CUBIC YARDS
MAX.	CUT DEPTH: 0
MAY.	FILL DEPTH: 1.0'

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THE SITE.

NOTES:
1. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
2. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT

TOTAL DISTURBANCE AREA: 475 S.F.

	EXISTING	PROPOSED
HARDSCAPE AREA:	1,521 SF	1,533 SF
DECK AREA:	132.5 SF	362 SF
ROOF AREA:	2,132 SF	2,284.5 SF
TOTAL IMPERVIOUS AREA:	**3,785.5 SF**	**4,179.5 SF**

CUT/FILL QUANTITIES & DISTURBANCE AREA | 03

1. (E) 13'-9" DRIVEWAY TO BE RECONSTRUCTED TO 12'-0" WIDE CURRENT CITY STANDARD DRIVEWAY
2. (E) SITE FENCE GATE AND DRIVEWAY GATE
3. (E) ¾" WATER METER
4. (E) SITE WALL, MAX 6'-0" AND GATE
5. (E) TRENCH DRAIN
6. (P) CONCRETE STEPS
7. (E) CONCRETE WALKWAY
8. (P) BACKFLOW PREVENTION DEVICE
9. (P) 10'-0" X 10'-0" VISIBILITY TRIANGLE
10. (E) SIDEWALK TO REMAIN; RECONSTRUCT SIDEWALK & GUTTER WHERE DAMAGED
11. (P) STREET TREE, 24" BOX TREE PER CITY STANDARDS
12. (E) EXISTING SEWER TO REMAIN
13. (P) CLOSE CURB, GUTTER & SIDEWALK WHERE DRIVEWAY IS BEING RECONSTRUCTED
14. (P) REPLACE DAMAGED/UNALIGNED PAVERS, TYPICAL

KEYNOTES | 04

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE
CONSTRUCTION DOCS

REVISIONS

2019-08-04 PROJECT START
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2020-05-07 OWNER REVS.
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2020-09-02 CITY SUBMITTAL
2020-11-6 CITY SUBMITTAL
2021-01-18 TO COMM. GRP.

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AB/JK	JK

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PROJECT NO. 19-05

JANUARY 18, 2021

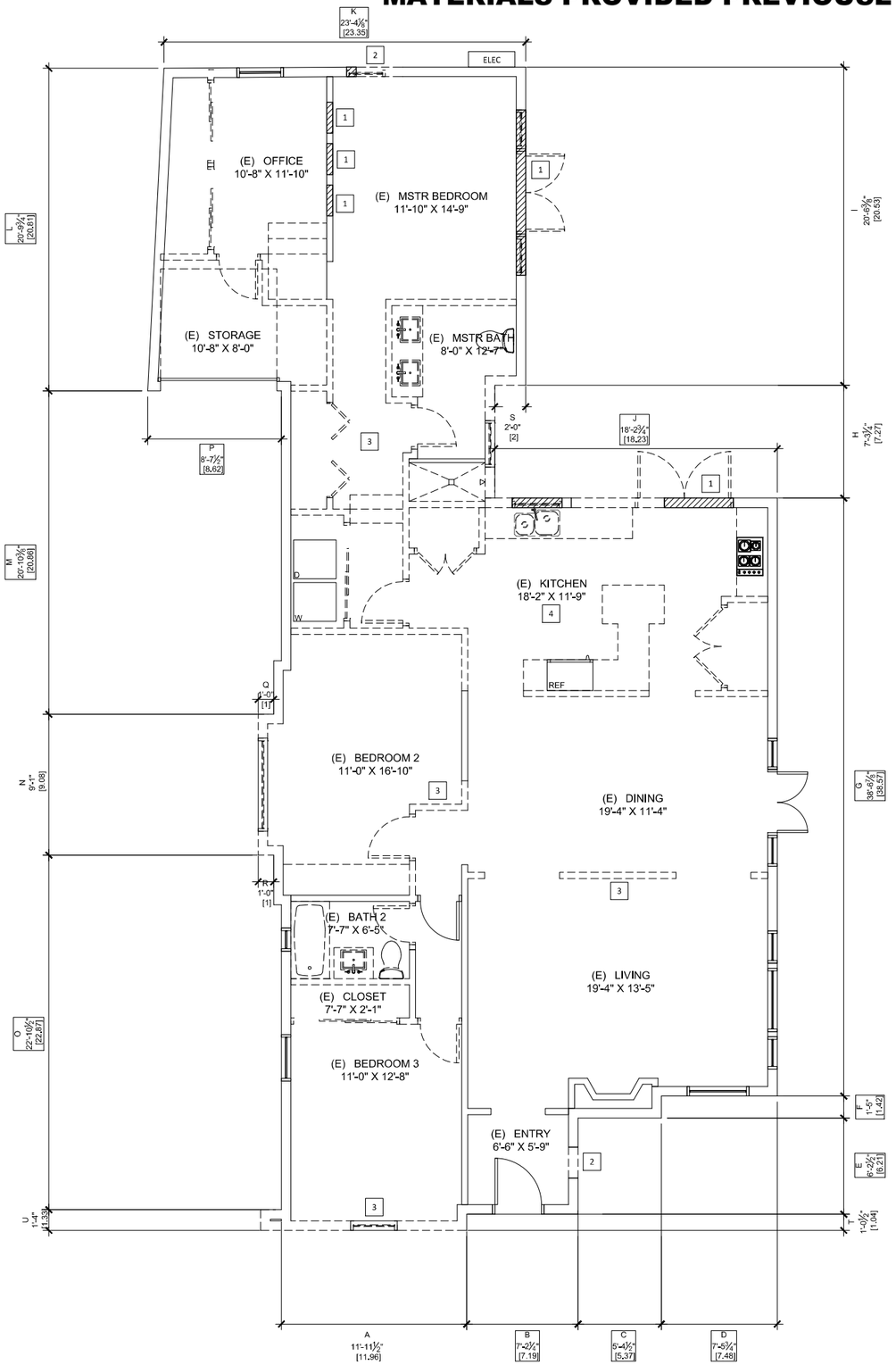
SHEET TITLE
SITE PLAN

SHEET NO.
A-1.1

SHEET: OF

MATERIALS PROVIDED PREVIOUSLY AT THE JANUARY 2021 MEETING

ATTACHMENT 2 Gallagher Residence



SECOND FLOOR DEMO PLAN | SCALE: 1/4" = 1'-0" | 04

BUILDING Demo Worksheet

Existing Residence Perimeter Lengths						
Direction Existing Wall Faces	Existing Length		Length Remaining		Length Removed	
A- East	11.96	LF	0.00	LF	11.96	LF
B- East	7.19	LF	7.19	LF	0.00	LF
C- East	5.37	LF	5.37	LF	0.00	LF
D- East	7.48	LF	7.48	LF	0.00	LF
E- North	6.21	LF	6.21	LF	0.00	LF
F- North	1.42	LF	1.42	LF	0.00	LF
G- North	18.57	LF	18.57	LF	0.00	LF
H- North	7.27	LF	0.00	LF	7.27	LF
I- North	20.53	LF	20.53	LF	0.00	LF
J- West	18.23	LF	2.83	LF	15.40	LF
K- West	23.35	LF	20.35	LF	3.00	LF
L- South	20.81	LF	20.81	LF	0.00	LF
M- South	20.86	LF	20.86	LF	0.00	LF
N- South	9.08	LF	0.00	LF	9.08	LF
O- South	22.87	LF	22.87	LF	0.00	LF
P- East	8.62	LF	8.62	LF	0.00	LF
Q- West	1.00	LF	0.00	LF	1.00	LF
R- East	1.00	LF	0.00	LF	1.00	LF
S- East	2.00	LF	0.00	LF	2.00	LF
T- North	1.04	LF	1.04	LF	0.00	LF
U- South	1.33	LF	0.00	LF	1.33	LF
Total Exist. Main Level Perimeter Length	**236.19**	**LF**	**184.15**	**LF**	**52.04**	**LF**
	118.095		*66.06*	*LF above 50%*		
Existing Perimeter Wall Remaining	**184.15**	**LF**				
Total Existing Building Perimeter Length	**236.19**	**LF**				
78% Percentage of Existing Perimeter Wall Which Remains						
50% of existing wall must remain to qualify for coastal exemption						
0.00%	*#REF!*	*LF*	*above 50% min perimeter wall length to remain*			

KEYNOTES | 03

1. REFER TO ALL DRAWINGS FOR ADDITIONAL INFORMATION.
2. SITE PLAN IS FOR REFERENCE ONLY. SEE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
3. SURFACE WATER TO DRAIN AWAY FROM BUILDING.
4. CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES, SITE DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES. ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
5. ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
6. DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
7. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
8. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
9. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
10. NO TRANSIT STOPS LOCATED ON SITE.

DEMOLITION NOTES | 01

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN, OPENING TO BE INFILLED
- 3'-9" [3.75] DIMENSION OF EXISTING WALL TO REMAIN IN PLACE
- 3'-9" DIMENSION OF EXISTING WALL TO BE REMOVED

LEGEND | 02

1. REMOVE EXISTING WINDOW / DOOR AND PREP OPENING FOR INFILL
2. REMOVE EXISTING WINDOW / DOOR AND PREP FOR NEW WINDOW / DOOR
3. REMOVE EXISTING WALLS PER PROPOSED PLAN
4. REMOVE EXISTING KITCHEN PER PROPOSED PLAN

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

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PROJECT NO. 19-05

JANUARY 18, 2021

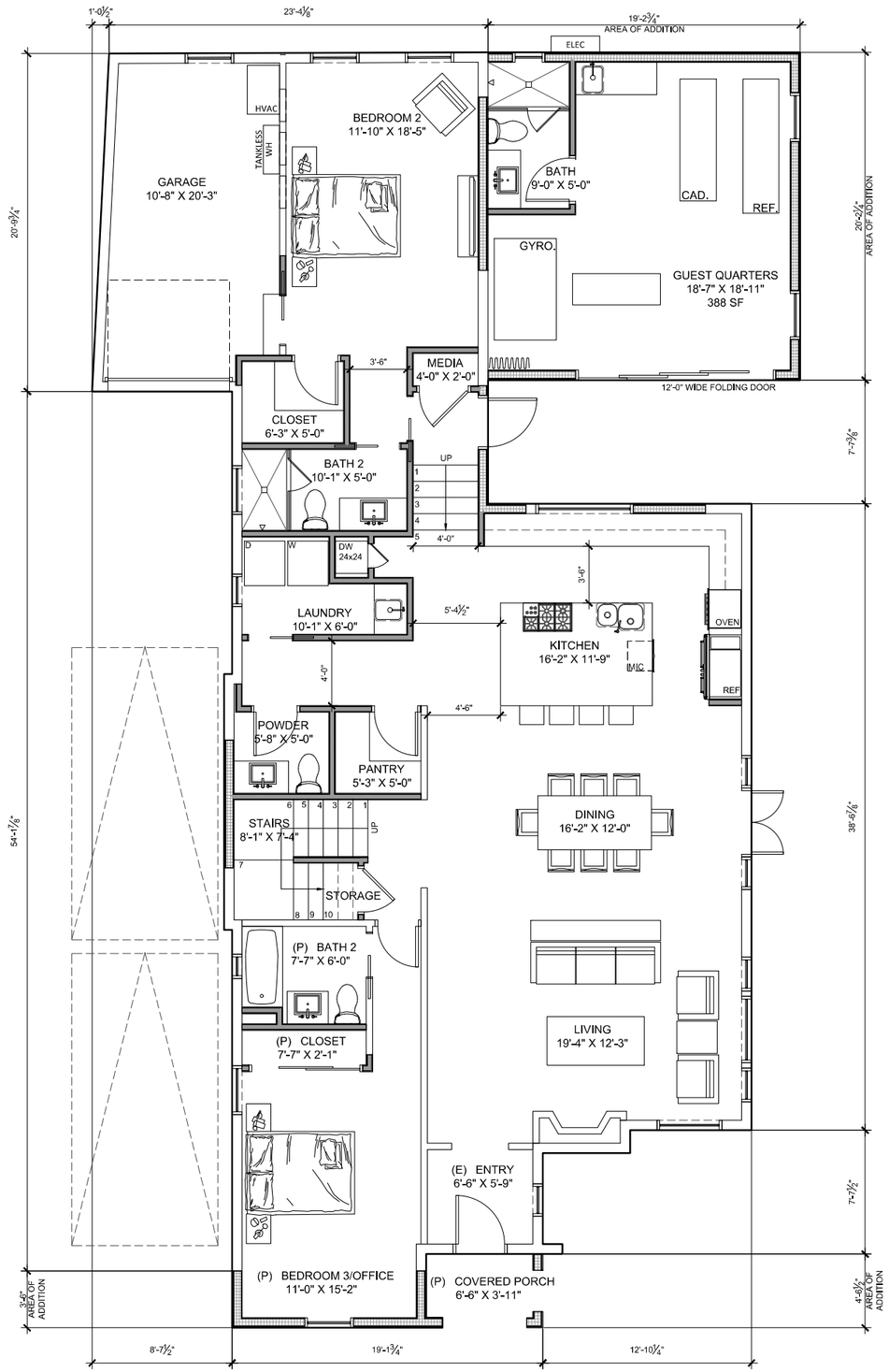
SHEET TITLE
PROPOSED DEMO PLAN

SHEET NO.
A-2.0

SHEET: OF

MATERIALS PROVIDED PREVIOUSLY AT THE JANUARY 2021 MEETING

ATTACHMENT 2: Gallagher Residence



PROPOSED FIRST FLOOR PLAN | SCALE: 1/4" = 1'-0' | 04

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES NOT CONFORMING TO CODE FIELD VERIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONFLICT RESOLVED PRIOR TO PROCEEDING WITH AFFECTED WORK
2. EXTERIOR WALL DIMENSIONS TO FACE OF STUD OR FOUNDATION WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD
3. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION
4. INSULATION:
   - 4.1. R-13 BATT AT PROPOSED EXTERIOR 2x4 WALLS
   - 4.2. R-19 BATT AT PROPOSED EXTERIOR 2x6 WALLS
   - 4.3. R-13 BATT AT INTERIOR WALLS FOR SOUND ATTENUATION
   - 4.4. R-30 BATT AT CEILING AND ROOF
   - 4.5. R-22 BATT AT FLOORS
   - 4.6. R-4.5 BATT AT HOT WATER PIPING AND SUPPLY DUCTS
5. FOR DOOR AND WINDOW SCHEDULES SEE SHEETS
6. FOR INTERIOR FINISH SCHEDULES SEE SHEET
7. FOR APPLIANCE AND FIXTURE SCHEDULE SEE SHEET
8. FOR HVAC EQUIPMENT SEE TITLE 24 CALCULATIONS
9. WATER HEATER:
10. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOMS AND LAUNDRY ROOM VENTILATION
11. PROVIDE EXHAUST FAN WITH VENTILATION RATE OF 120 CFM FOR WHOLE HOUSE VENTILATION
12. SHOWER COMPARTMENT AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2
13. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
14. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
15. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER CBC 907.2.10.3
16. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

FLOOR PLAN NOTES | 01

- EXISTING WALL TO REMAIN
- PROPOSED 2x4 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. EXTERIOR FINISH STUCCO, INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- PROPOSED 2x6 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
- ADHERED STONE VENEER
- PROPOSED DOOR, INSTALL 4½" FROM ADJACENT WALL UNLESS NOTED OTHERWISE (4½" TYP.)
- (S) COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- (101) DOOR NUMBER, SEE DOOR SCHEDULE ON A-8.1 FOR ADDITIONAL INFORMATION
- (101) WINDOW NUMBER, SEE WINDOW SCHEDULE ON A-8.2 FOR ADDITIONAL INFORMATION
- FLOOR OR DECK DRAIN, SLOPE ¼" : 1'-0" MIN. TO LOCATION SEE DETAILS 02/A-10.1.1 AND 04/A-10.2.1
- HB PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-B1A
- NUTONE "QTX" (OR EQUAL) LIGHT/EXHAUST FAN COMBO, MIN 80 CFM, DUCT TO EXTERIOR, INTEGRAL HUMIDISTAT PER CGBSC

FLOOR PLAN LEGEND | 02

FLOOR PLAN KEYNOTES | 03

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

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PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A-2.1

SHEET9 OF

MATERIALS PROVIDED PREVIOUSLY AT THE JANUARY 2021 MEETING

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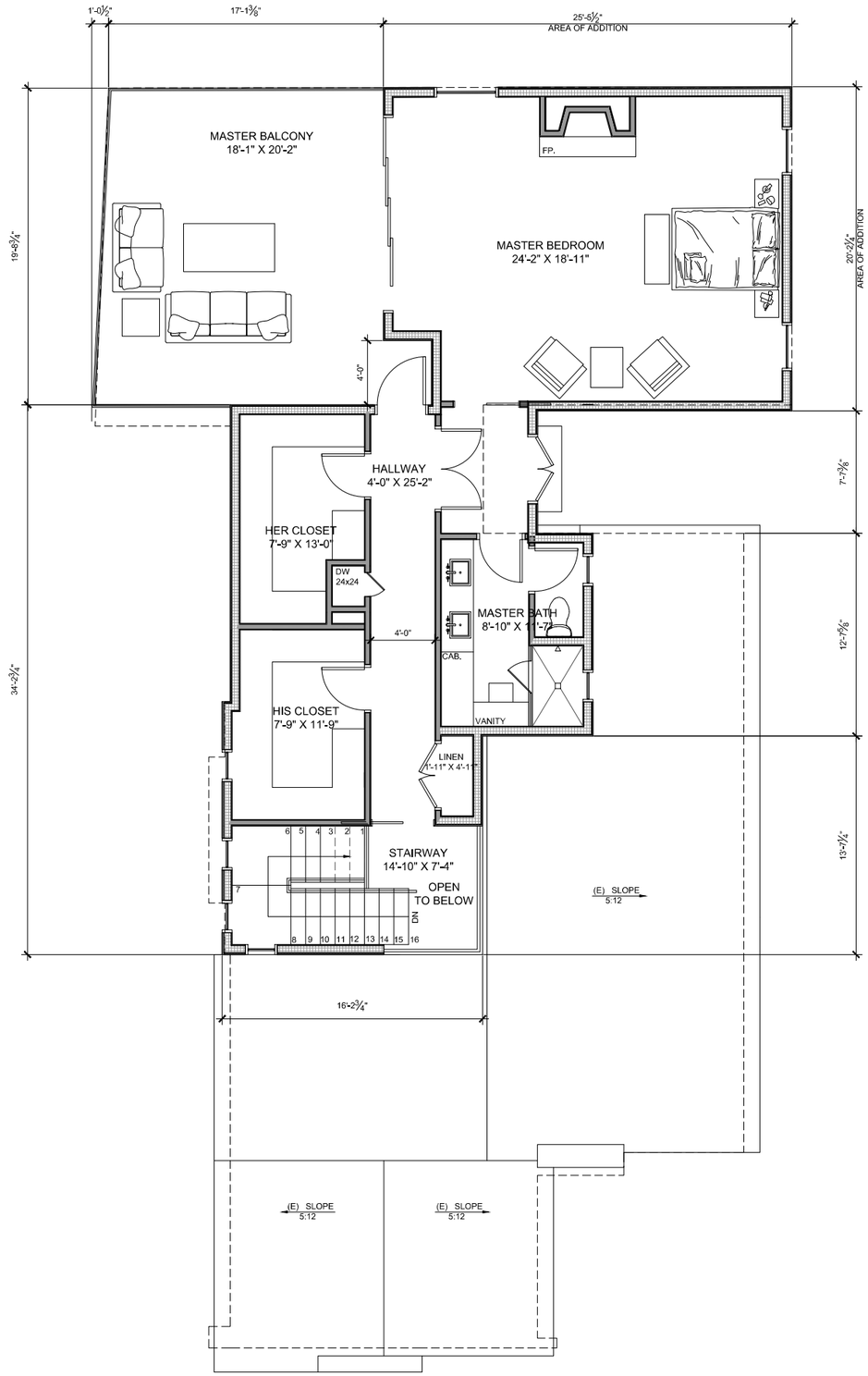

1. ALL DIMENSIONS OF CABINETS, FIXTURES AND EQUIPMENT TO BE INSTALLED MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONFLICT RESOLVED PRIOR TO PROCEEDING WITH AFFECTED WORK
2. EXTERIOR WALL DIMENSIONS TO FACE OF STUD OR FOUNDATION WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD
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13. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
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16. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

FLOOR PLAN NOTES | 01

- EXISTING WALL TO REMAIN
- PROPOSED 2x4 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. EXTERIOR FINISH STUCCO, INTERIOR FINISH ⅝" GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
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- HB PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-BTA
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FLOOR PLAN LEGEND | 02

FLOOR PLAN KEYNOTES | 03

PROPOSED SECOND FLOOR PLAN | SCALE: 1/4" = 1'-0' | 04

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

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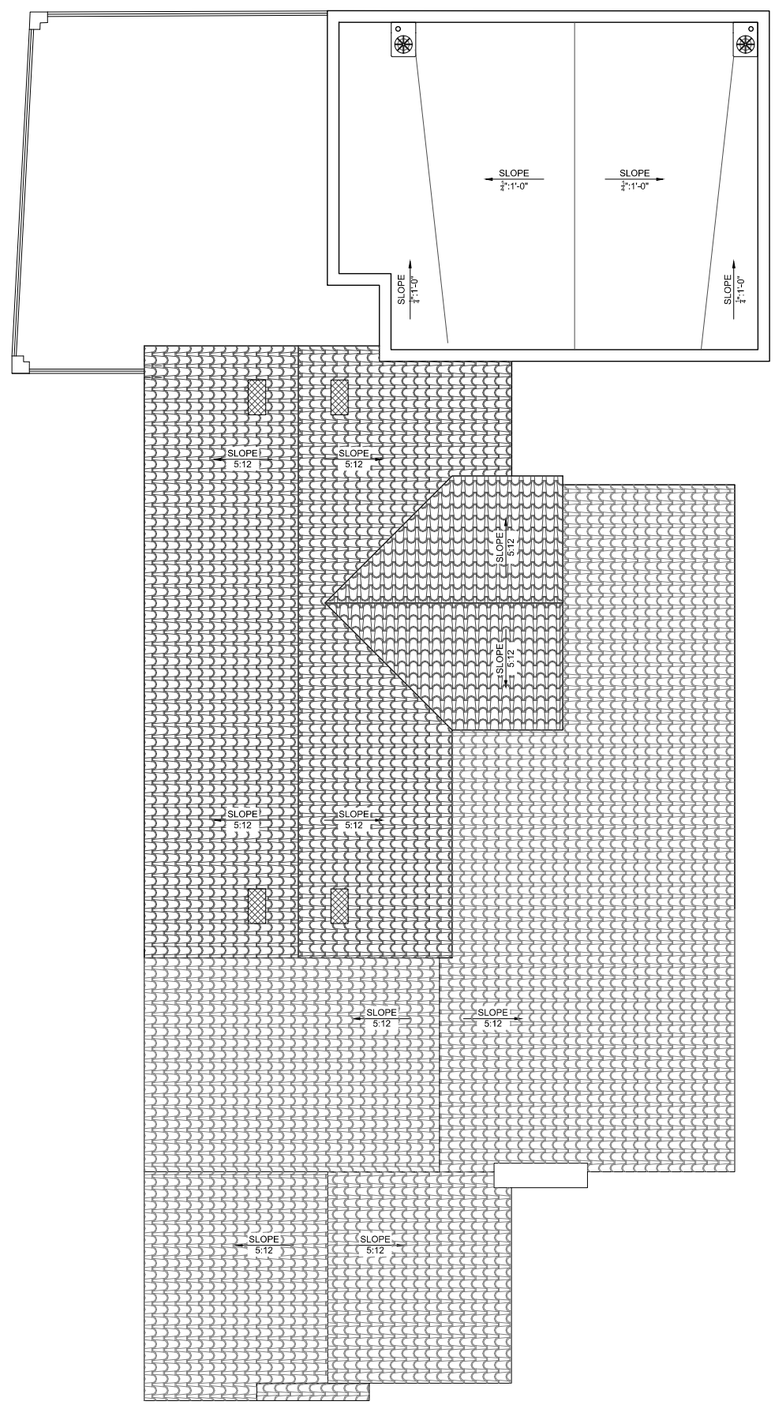
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A-2.2

SHEET9 OF



PROPOSED ROOF PLAN | SCALE: 1/4" = 1'-0' | 04

1. ROOF MEMBRANE: ASPHALT PRIMER, SELF ADHESIVE MODIFIED BITUMEN MEMBRANE "ICE AND WATER SHIELD" BY WR GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAINTEED CORP, ESR-1492. INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE. ALSO SEE NOTE #12.
2. COUNTER-SLOPES: ¼" PER 1'-0" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX-CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. ROOF DRIP EDGE, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING: ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. PLUMBING VENT: ABS PLASTIC TO BE FLASHED PER ROOF MANUFACTURER RECOMMENDATIONS.
5. PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTO WRAP, ESR-1127. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET. EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP.
6. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
7. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
8. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (#26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MIN. 36"-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
9. ENCLOSED RAFTER ASSEMBLIES NOT REQUIRED TO BE VENTED PER CRC R806.5.
10. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].
11. ASPHALT SHINGLES TO BE OWENS CORNING "DURATION". COLOR TO BE SANDSTONE. SHINGLES ARE CLASS 'A' PER UL REPORT ER-2453-01.
12. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12), UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19-INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

ROOF PLAN KEYNOTES | 03

FLOOR PLAN NOTES | 01

SLOPE ¼" = 1'-0" — DIRECTION OF ROOF SLOPE FOR DRAINAGE

ROOF DRAIN PER ROOF NOTES

DECK DRAIN, SLOPE TOWARD 2% MIN.

FLOOR PLAN LEGEND | 02

AXON ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

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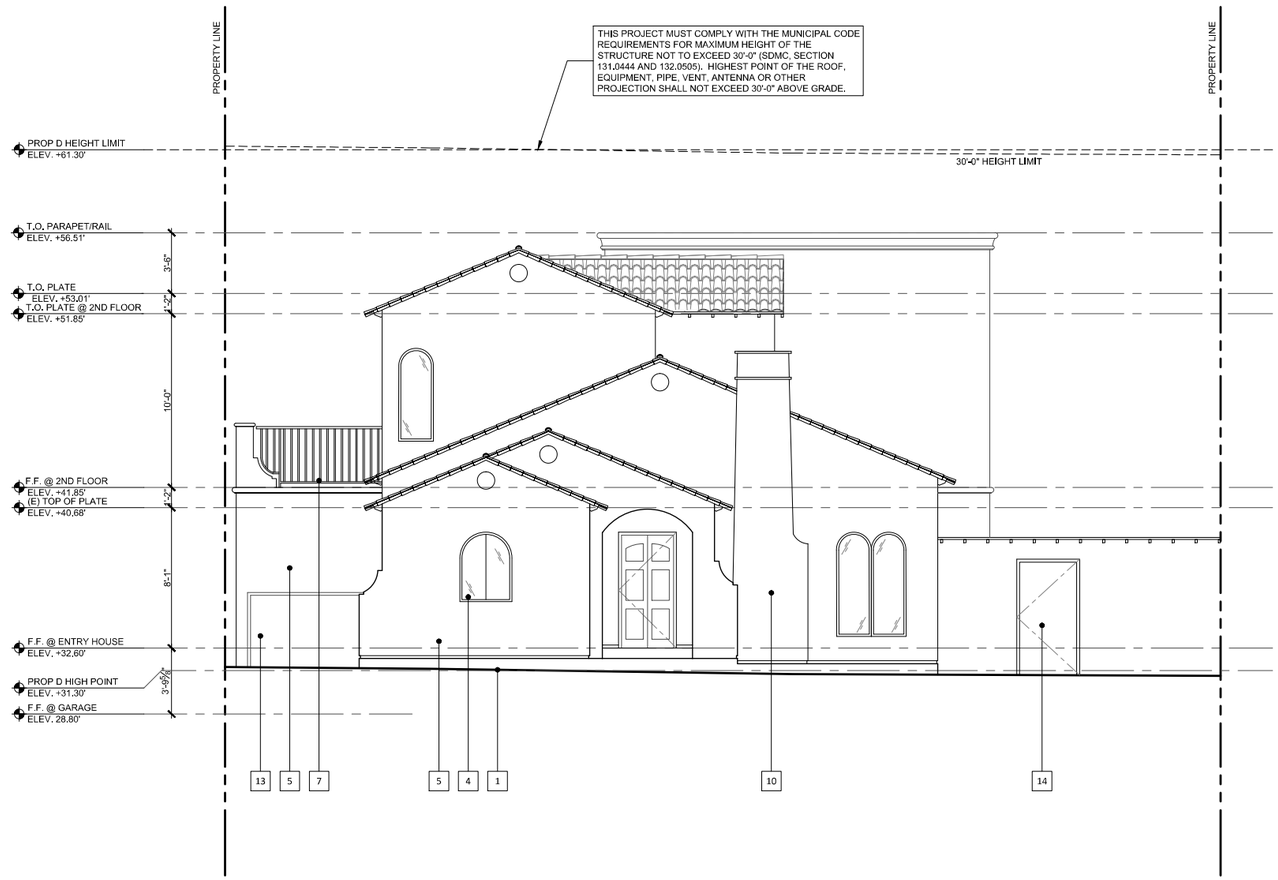
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
ROOF PLAN

SHEET NO.
A-4.1

SHEET 1 OF



EAST ELEVATION | SCALE: 1/4" = 1'-0' | 04

1. ALL DIMENSIONS TO BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONFLICT RESOLVED PRIOR TO PROCEEDING WITH AFFECTED WORK
2. REFER TO OTHER DRAWINGS FOR ADDITIONAL INFORMATION

EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

1 (E) GRADE NOT TO BE MODIFIED
2 (P) GRADE
3 (P) DOOR PER SCHEDULE
4 (P) WINDOW PER SCHEDULE
5 (P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR
6 (P) WOOD TRELLIS, DARK BROWN STAIN
7 (P) WROUGHT IRON RAILING
8 (P) CLAY ROOF TILE TO MATCH EXISTING
9 (P) WOOD RAFTER TAIL TO MATCH EXISTING
10 EXTEND EXISTING CHIMNEY UP
11 (P) STUCCO CROWN MOLDING
12 (P) STUCCO MOLDING BAND
13 (E) GARAGE DOOR TO BE REPLACED
14 (E) SITE WALL AND GATE TO REMAIN
15 (P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

AXON ARCHITECTURE
4344 ROBBINS STREET
SAN DIEGO, CA 92122
CONTACT:
JOSHUA J KORDASIEWICZ
619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

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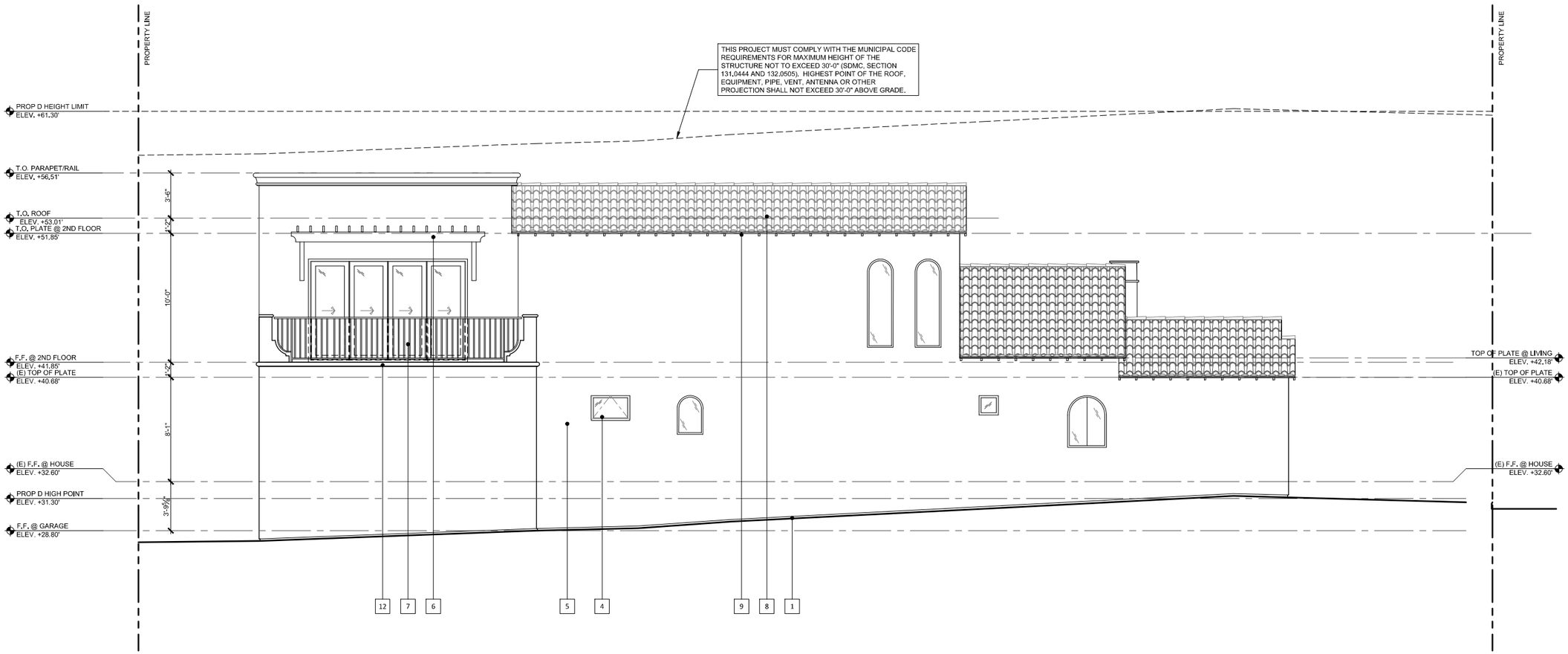
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.1

SHEET: OF



SOUTH ELEVATION | SCALE: 1/4" = 1'-0' | 04

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2. REFER TO OTHER DRAWINGS FOR ADDITIONAL INFORMATION

EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

1	(E) GRADE NOT TO BE MODIFIED
2	(P) GRADE
3	(P) DOOR PER SCHEDULE
4	(P) WINDOW PER SCHEDULE
5	(P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR
6	(P) WOOD TRELLIS, DARK BROWN STAIN
7	(P) WROUGHT IRON RAILING
8	(P) CLAY ROOF TILE TO MATCH EXISTING
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14	(E) SITE WALL AND GATE TO REMAIN
15	(P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

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AB/JK	JK

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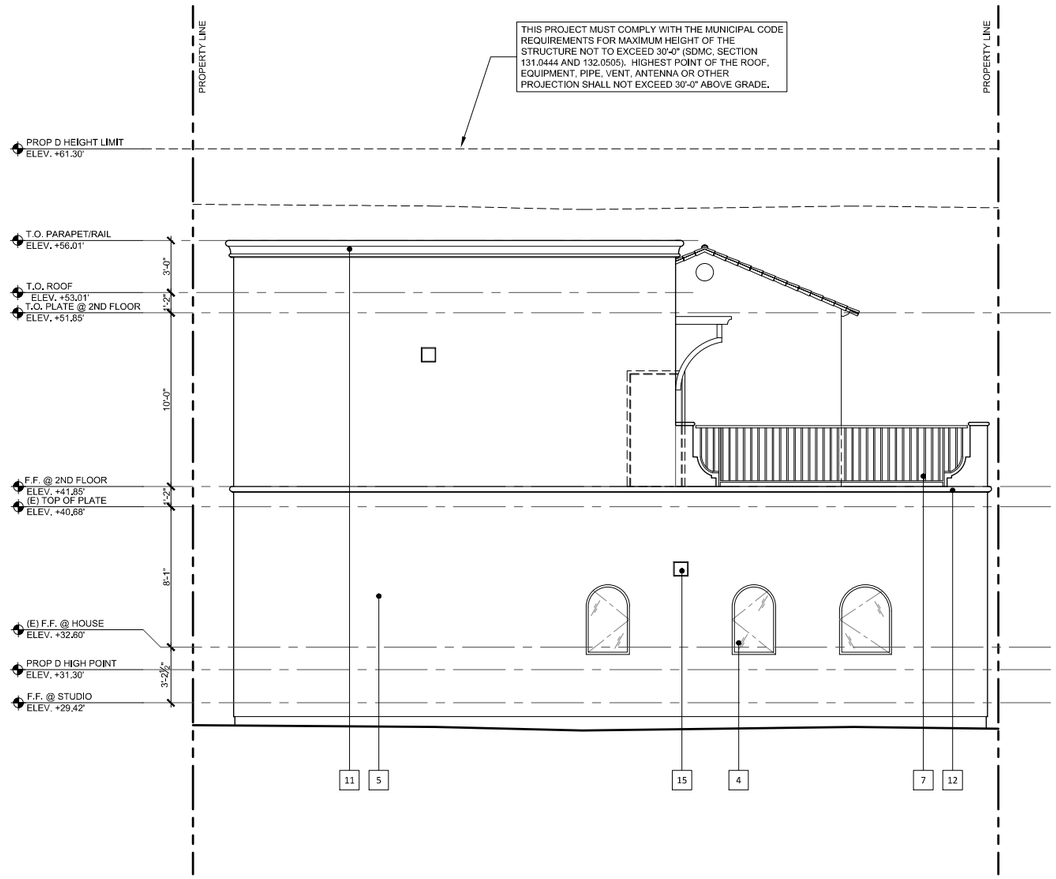
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.2

SHEET: OF



WEST ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

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EXTERIOR ELEVATION KEYNOTES | 03

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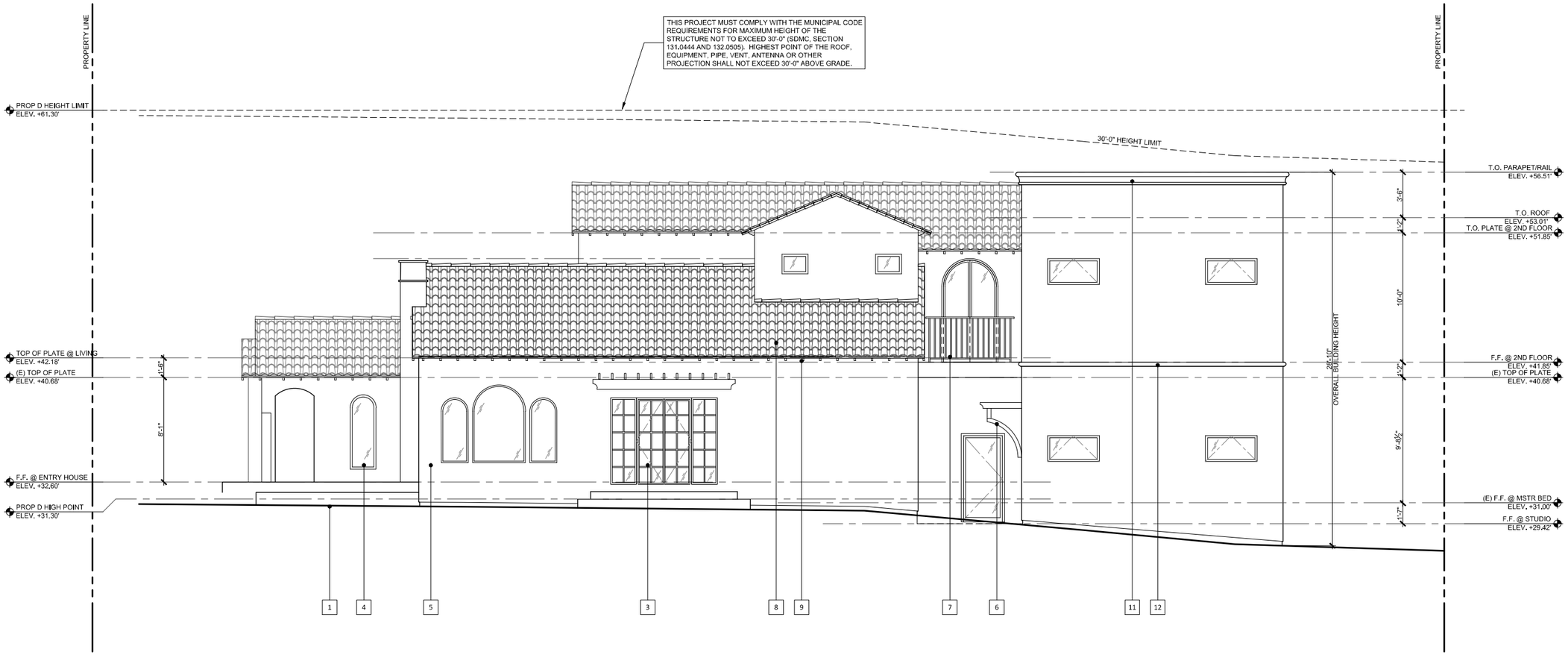
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.3

SHEET: OF



NORTH ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

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4	(P) WINDOW PER SCHEDULE
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8	(P) CLAY ROOF TILE TO MATCH EXISTING
9	(P) WOOD RAFTER TAIL TO MATCH EXISTING
10	EXTEND EXISTING CHIMNEY UP
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14	(E) SITE WALL AND GATE TO REMAIN
15	(P) FIREPLACE SIDEWALL EXHAUST

EXTERIOR ELEVATION KEYNOTES | 03

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4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

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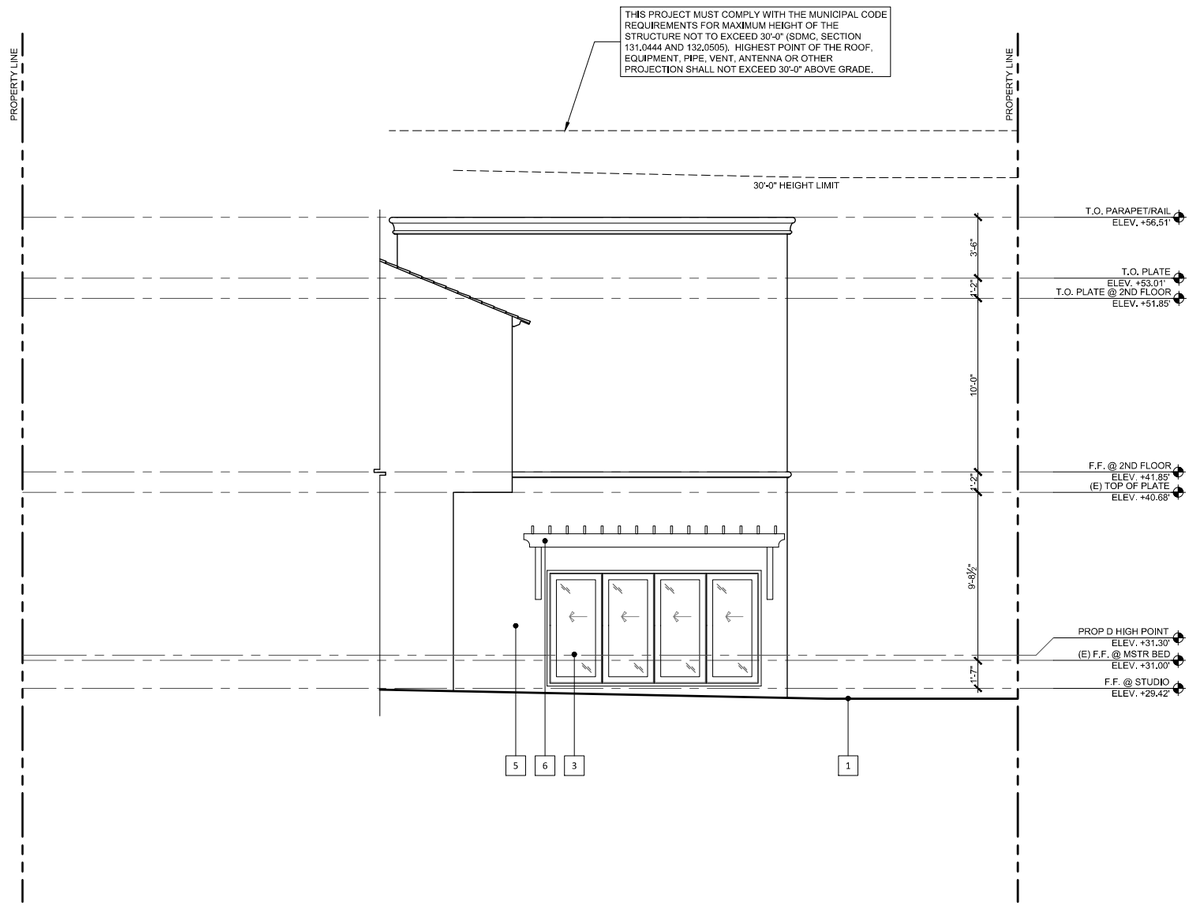
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.4

SHEET: OF



EAST STUDIO FRONT ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

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4 (P) WINDOW PER SCHEDULE
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EXTERIOR ELEVATION KEYNOTES | 03

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4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

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GALLAGHER RESIDENCE
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PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A-5.5

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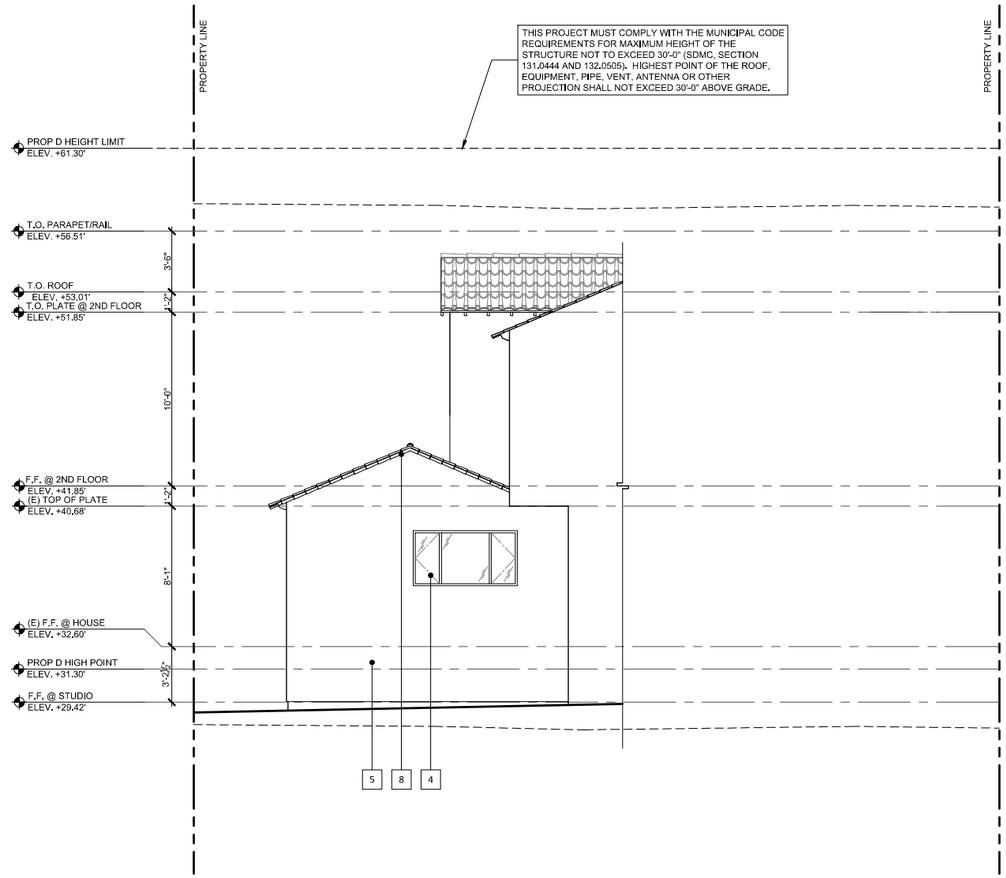

WEST KITCHEN REAR ELEVATION | SCALE: 1/4" = 1'-0' | 04

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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

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EXTERIOR ELEVATION KEYNOTES | 03

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SAN DIEGO, CA 92122

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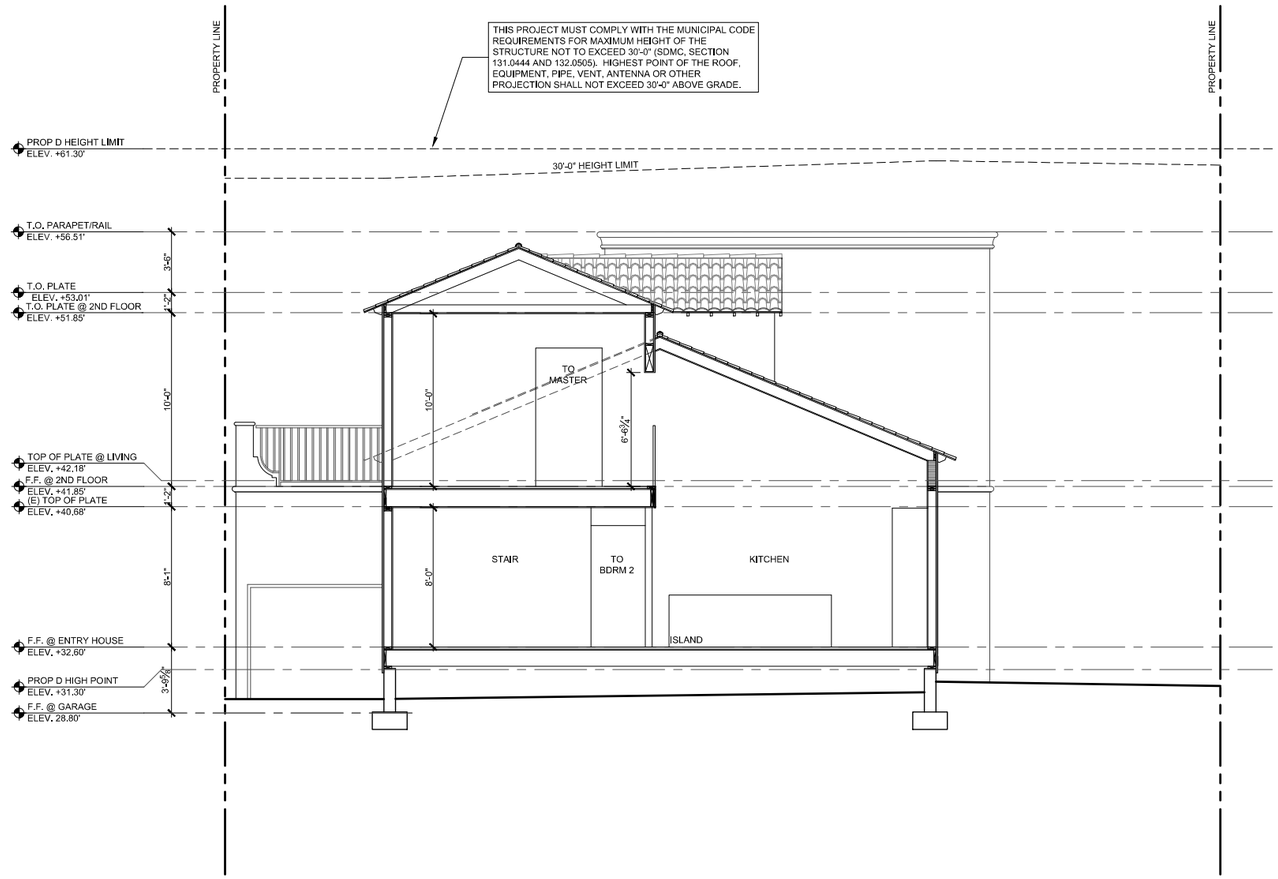

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

BUILDING SECTION NOTES | 01

BUILDING SECTION LEGEND | 02

BUILDING SECTION KEYNOTES | 03

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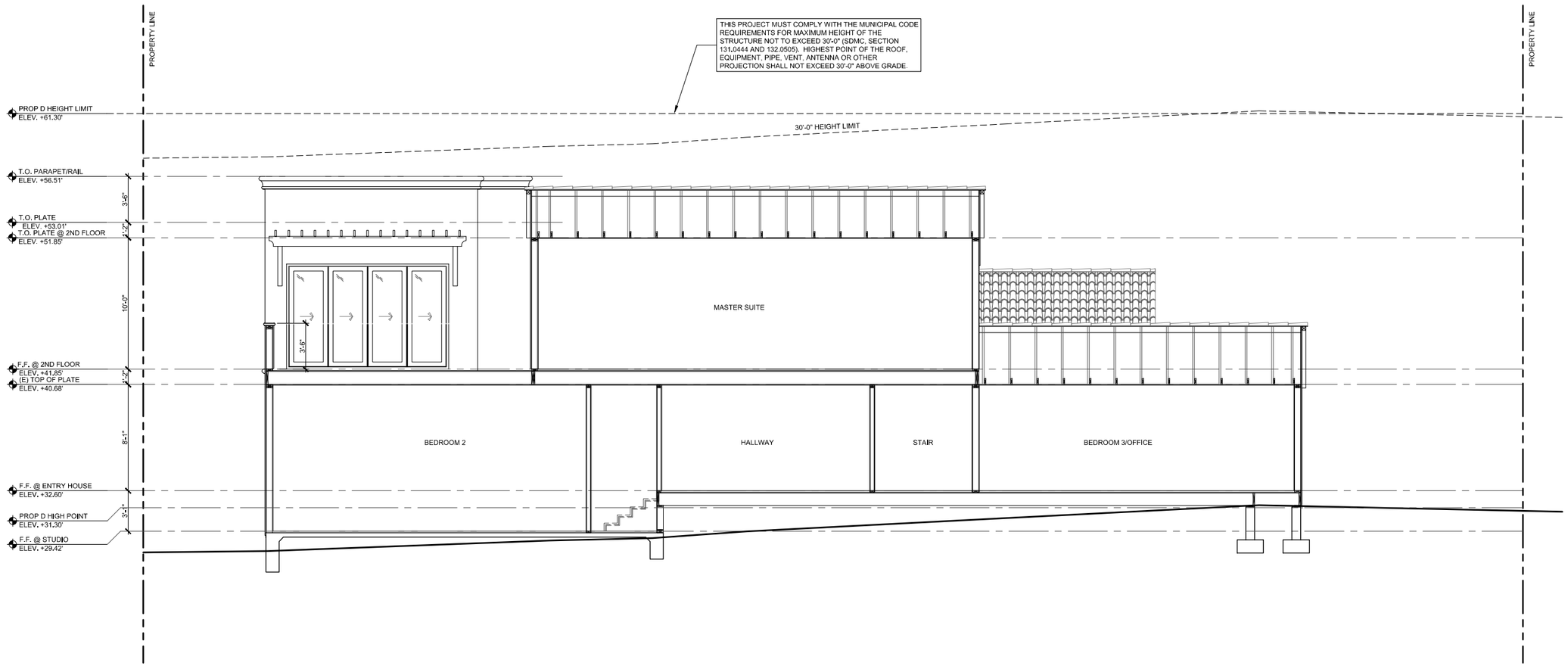

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

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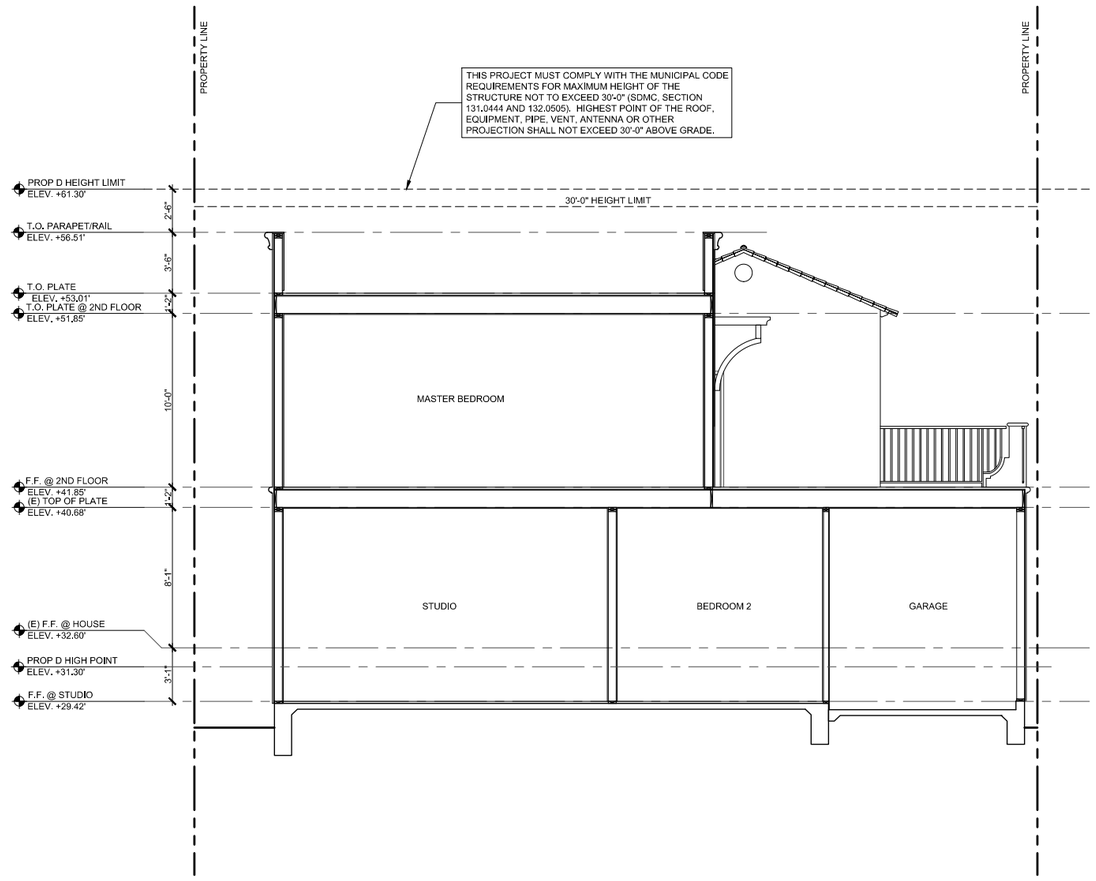

BUILDING SECTION | SCALE: 1/4" = 1'-0' | 04

BUILDING SECTION NOTES | 01

BUILDING SECTION LEGEND | 02

BUILDING SECTION KEYNOTES | 03

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