

La Jolla Shores Planned District Advisory Board Online Virtual Meeting

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): 670715
- Address and APN(s): 7946 Paseo Del Ocaso, APN: 346-503-11
- Project contact name, phone, e-mail: Joshua Kordasiewicz, Axon Architecture, 619-208-3222, josh@axonarch.com
- Project description: Remodel single family residence, second story master suite addition with 2 story addition at rear of property that includes guest quarters
- In addition, provide the following:
 - lot size: 5,423 SF
 - existing structure square footage and FAR (if applicable): 2,011 SF, .36 FAR
 - proposed square footage and FAR: 3,605 SF, .66 FAR
 - existing and proposed setbacks on all sides:
 - 1. Proposed: South Side Yard: 0'-0", North Side Yard: 4'-6", Front: 15'-2", Rear: 9'-5"
 - 2. Existing: South Side Yard: 0'-0", North Side Yard: 9'-3", Front: 20'-2", Rear: 9'-5"
 - height if greater than 1-story (above ground): 28'-10"

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;

(CONTINUED ON THE NEXT PAGE)

- B. Elevations for all sides;
- C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
- D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation – updated 8/31/20

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to:

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413

San Diego CA 92123

619-235-5293

www.sandiego.gov/planning

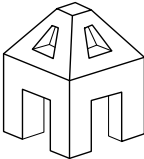
ATTACHMENT 2: Gallagher Residence

| | FRONT SETBACK | REAR SETBACK | LEFT SIDEYARD | RIGHT SIDEYARD | HOUSE SQ FT. | LOT SIZE | FAR |
|-----------------------------|---------------|--------------|---------------|----------------|-------------------|-------------------|-------------|
| 7985 Calle De La Plata | 15'-0" | 10'-0" | 15'-0" | 15'-0" | 1,994 SF | 7,706 SF | 0.26 |
| 7975 Calle De La Plata | 15'-0" | 10'-0" | 5'-0" | 5'-0" | 4,546 SF | 7,206 SF | 0.63 |
| 7935 El Paseo Grande | 18'-0" | 20'-0" | 0'-0" | 4'-0" | 1,538 SF | 6,239 SF | 0.24 |
| 7927 El Paseo Grande | 15'-2" | 4'-0" | 4'-0" | 4'-0" | 3,903 SF | 6,300 SF | 0.62 |
| 7921 El Paseo Grande | 20'-0" | 0'-0" | 3'-0" | 8'-0" | 1,908 SF | 6,334 SF | 0.3 |
| 7911 El Paseo Grande | 17'-0" | 6'-0" | 12'-0" | 6'-0" | 3,283 SF | 6,642 SF | 0.49 |
| 7905 El Paseo Grande | 18'-0" | 3'-0" | 15'-0" | 12'-0" | 2,751 SF | 9,638 SF | 0.28 |
| 7906 Paseo Del Ocaso | 15'-0" | 15'-0" | 3'-0" | 3'-0" | 1,298 SF | 4,983 SF | 0.26 |
| 7916 Paseo Del Ocaso | 15'-0" | 3'-0" | 3'-0" | 3'-0" | 2,688 SF | 5,302 SF | 0.5 |
| 7926 Paseo Del Ocaso | 17'-0" | 5'-0" | 3'-0" | 4'-0" | 1,905 SF | 5,097 SF | 0.37 |
| 7936 Paseo Del Ocaso | 20'-0" | 4'-0" | 4'-0" | 3'-0" | 1,956 SF | 5,046 SF | 0.38 |
| 7946 Paseo Del Ocaso | 15'-0" | 9'-5" | 0'-0" | 4'-6" | 3,606.3 SF | 5,422.5 SF | 0.66 |
| 7956 Paseo Del Ocaso | 15'-0" | 15'-0" | 4'-0" | 4'-0" | 3,268 SF | 6,000 SF | 0.6 |
| 7964 Paseo Del Ocaso | 20'-0" | 4'-0" | 4'-0" | 4'-0" | 2,300 SF | 5,420 SF | 0.42 |
| 7974 Paseo Del Ocaso | 20'-0" | 24'-0" | 4'-0" | 2'-0" | 3,652 SF | 5,492 SF | 0.66 |
| 7975 Paseo Del Ocaso | 18'-0" | 15'-0" | 8'-0" | 4'-0" | 1,986 SF | 7,307 SF | 0.27 |
| 7967 Paseo Del Ocaso | 17'-0" | 10'-0" | 4'-0" | 4'-0" | 1,971 SF | 7,419 SF | 0.26 |
| 7959 Paseo Del Ocaso | 18'-0" | 0'-0" | 2'-0" | 5'-0" | 2,192 SF | 7,697 SF | 0.28 |
| 7951 Paseo Del Ocaso | 15'-0" | 10'-0" | 2'-0" | 3'-0" | 1,799 SF | 7,488 SF | 0.24 |
| 7941 Paseo Del Ocaso | 12'-0" | 2'-0" | 3'-0" | 5'-0" | 1,515 SF | 7,646 SF | 0.19 |
| 7931 Paseo Del Ocaso | 15'-0" | 5'-0" | 2'-0" | 12'-0" | 2,542 SF | 7,303 SF | 0.34 |
| 7921 Paseo Del Ocaso | 20'-0" | 15'-0" | 3'-0" | 3'-0" | 2,258 SF | 7,399 SF | 0.3 |
| 7911 Paseo Del Ocaso | 20'-0" | 15'-0" | 6'-0" | 10'-0" | 1,256 SF | 7,246 SF | 0.17 |
| 7905 Paseo Del Ocaso | 15'-0" | 15'-0" | 5'-0" | 4'-0" | 1,856 SF | 7,293 SF | 0.25 |
| 7964 La Jolla Shores Drive | 40'-0" | 30'-0" | 5'-0" | 3'-0" | 2,470 SF | 7,201 SF | 0.34 |
| 7958 La Jolla Shores Drive | 30'-0" | 30'-0" | 5'-0" | 3'-0" | 2,601 SF | 7,449 SF | 0.35 |
| 7950 La Jolla Shores Drive | 20'-0" | 6'-0" | 4'-0" | 12'-0" | 1,169 SF | 6,960 SF | 0.16 |
| 7944 La Jolla Shores Drive | 20'-0" | 10'-0" | 10'-0" | 3'-0" | 1,437 SF | 7,200 SF | 0.2 |
| 7940 La Jolla Shores Drive | 10'-0" | 5'-0" | 2'-0" | 5'-0" | 2,673 SF | 7,204 SF | 0.37 |
| 7934 La Jolla Shores Drive | 10'-0" | 20'-0" | 4'-0" | 4'-0" | 2,161 SF | 7,238 SF | 0.29 |
| 7928 La Jolla Shores Drive | 20'-0" | 30'-0" | 4'-0" | 4'-0" | 1,631 SF | 7,505 SF | 0.21 |
| 7924 La Jolla Shores Drive | 20'-0" | 30'-0" | 5'-0" | 4'-0" | 1,260 SF | 7,585 SF | 0.16 |
| 7920 La Jolla Shores Drive | 20'-0" | 40'-0" | 6'-0" | 12'-0" | 1,943 SF | 7,745 SF | 0.25 |

GALLAGHER RESIDENCE

7946 PASEO DEL OCASO

LA JOLLA, CA 92037



AXON
ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

CONTACT:
JOSHUA J KORDASIEWICZ

619-208-3222
JOSH@AXONARCH.COM

STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE

CONSTRUCTION DOCS

REVISIONS

2019-08-04 PROJECT START
2019-09-06 OWNER MEETING
2019-12-05 OWNER REVS.
2020-02-12 OWNER MEETING
2020-02-19 OWNER REVS.
2020-05-07 OWNER REVS.
2020-06-19 OWNER REVS.
2020-09-02 CITY SUBMITTAL
2020-11-6 CITY SUBMITTAL
2021-01-18 TO COMM. GRP.

DRAWN BY

AB/JK

CHECKED BY

JK

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PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE

TITLE SHEET

SHEET NO.

A-0.1

SHEET: OF

Cycle Issues

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

11/7/19 8:25 am
Page 1 of 2

64A-003A

Project Information

Project No: 473716 Title: Gallagher Addition
Project Mgr: Valenzuela, Lauren (619) 448-5207 LNValezcuna@sanidiego.gov

Review Information

Cycle Type: 6 mos Site Specific City Orders
Reviewing Discipline: Planning
Reviewer: Stancs, Kelley (619) 236-6545 kstancs@sanidiego.gov
Hours of Review: 0.50
Next Review Method: Mid-Site Specific City Orders

Submitted: 03/06/2016 Deemed Complete on 03/06/2016
Cycle Dispatched: 03/06/2016
Assigned: 03/14/2016
Started: 03/15/2016
Review Due: 03/18/2016
Completed: 03/18/2016 COMPLETED ON TIME
Closed: 03/18/2016

Last month Plan-Historic performed 428 reviews, 67.8% were on-time, and 91.2% were on projects all less than 3 complete submittals.

3/18/2016

| Checked? | Issue Text |
|----------|--|
| 1 | The property located at 7946 Paseo Del Ocaso is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue) |
| 2 | During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: http://www.sandiego.gov/planning/programs/historic/pd02112016targuadinas.pdf (Informational Only, No Response or Action Required) (New Issue) |
| 3 | More information regarding this review process can be found in Information Bulletin 580: http://www.sandiego.gov/development-services/pd/industry/information/b580.pdf (Informational Only, No Response or Action Required) (New Issue) |
| 4 | If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only, No Response or Action Required) (New Issue) |
| 5 | If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...) (New Issue) |
| 6 | (continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only, No Response or Action Required) (New Issue) |
| 7 | Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination: (New Issue) |
| 8 | Due to previous alterations, including additions on the front, sides and rear, the property does not retain integrity and does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. (continued...) (New Issue) |
| 9 | (continued) Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required) (New Issue) |

For questions regarding the "Plan-Historic" review, please call Kelley Stancs at (619) 236-6545. Project No: 473716 / Cycle: 9
11/7/19 v 02.03.38 Emma Haggerty 236-7173

Cycle Issues

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

11/7/19 8:25 am
Page 2 of 2

64A-003A

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3/18/2016

| Checked? | Issue Text |
|----------|---|
| 1 | Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle source report. (Info Only, No Response Required) (New Issue) |

For questions regarding the "Plan-Historic" review, please call Kelley Stancs at (619) 236-6545. Project No: 473716 / Cycle: 9
11/7/19 v 02.03.38 Emma Haggerty 236-7173

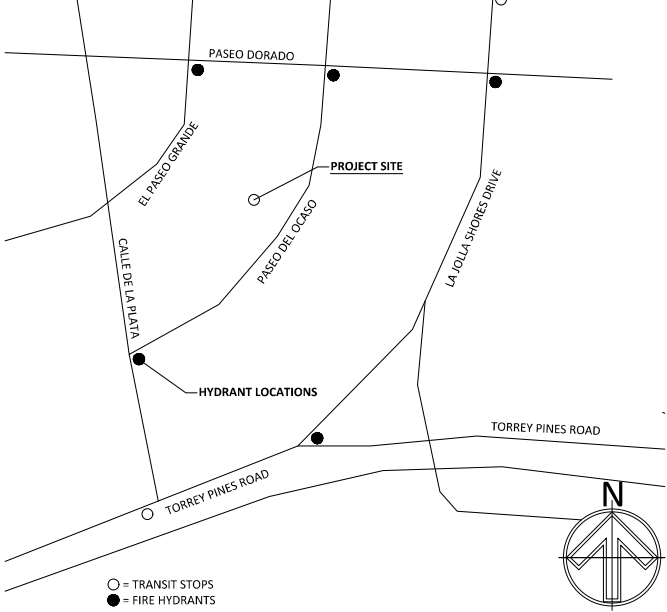
OWNER: GARY GALLAGHER & MARLA BINGHAM
7946 PASEO DEL OCASO
LA JOLLA, CA 92037

ARCHITECT: AXON ARCHITECTURE
4344 ROBBINS STREET
SAN DIEGO, CA 92122
JOSHUA KORDASIEWICZ
JOSH@AXONARCH.COM
619-208-3222

SURVEY: MATT SAWYER
CA LICENSE NO. 8739
8427 HOVENWEEP CT
SAN DIEGO, CA 92129
858-692-6922

LANDSCAPE ARCHITECT: ABOVE IT ALL DESIGN, INC.
6479 DWANE AVENUE
SAN DIEGO, CA 92120
BRIAN KATZ
BKATZ524@HOTMAIL.COM
619-995-9773

| PROJECT TEAM | 04 |
|--------------|----|
| | |

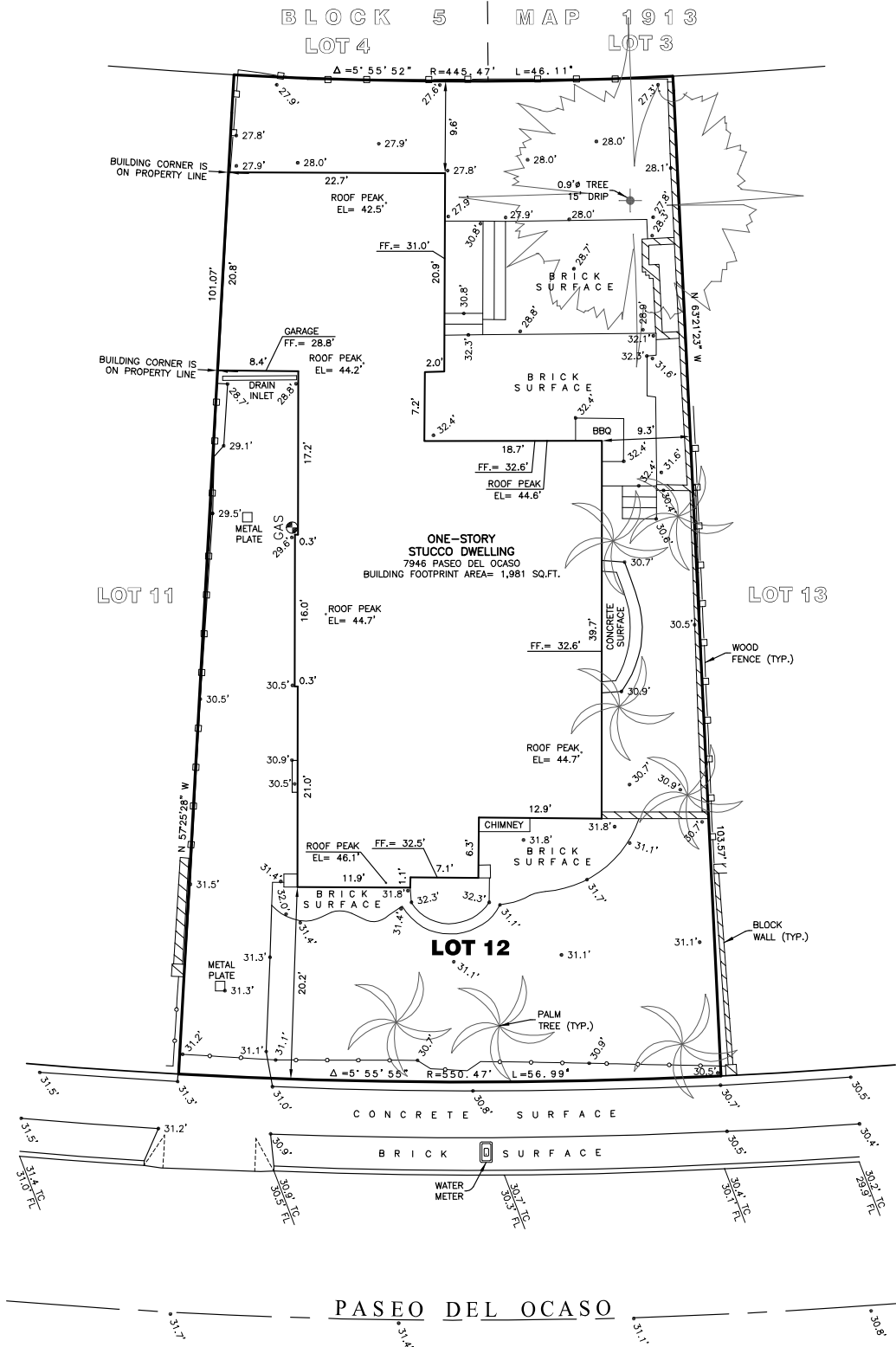
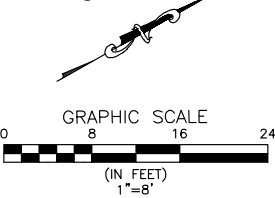


| INFO | A-0.1 | TITLE SHEET |
|---------------|--|---|
| CIVIL | TOPO | SURVEY |
| ARCHITECTURAL | A-1.1 A-2.0 A-2.1 A-2.2 A-4.1 A-5.1 A-5.2 A-5.3 A-5.4 A-5.5 A-5.6 A-6.1 A-6.2 A-6.3 | SITE PLAN DEMOLITION PLAN PROPOSED FIRST FLOOR PLAN PROPOSED SECOND FLOOR PLAN PROPOSED ROOF PLAN PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS |
| LANDSCAPE | LCP-1 LCP-2 | LANDSCAPE CONCEPT PLAN LANDSCAPE NOTES |

- REMODEL OF EXISTING SINGLE FAMILY RESIDENCE TO PROVIDE OPEN FLOOR PLAN FOR KITCHEN, DINING AND LIVING AREA.
- REMODEL OF EXISTING MASTER BEDROOM & BATHROOM, AND EXTENSION OF FRONT BEDROOM.
- ADDITION OF 388 SF ATTACHED GUEST QUARTERS ON FIRST FLOOR.
- SECOND STORY ADDITION INCLUDING MASTER BEDROOM, BATHROOM, CLOSETS, AND DECK.
- REQUEST FOR SITE DEVELOPMENT PERMIT APPROVAL.

SCOPE OF WORK | 01

| | |
|-----------------------|---|
| ADDRESS: | 7946 PASEO DEL OCASO LA JOLLA, CA 92037 |
| LEGAL DESCRIPTION: | LOT 12, IN BLOCK 5 OF THE LA JOLLA SHORES UNIT NO.1 IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, MAP THEREOF NO. 1918 |
| A.P.N.: | 346-503-11 |
| YEAR BUILT: | 1918 |
| TYPE OF CONSTRUCTION: | V-B, NON-SPRINKLERED |
| OCCUPANCY: | R-3/U |
| NUMBER OF STORIES: | SINGLE STORY SINGLE FAMILY RESIDENCE |
| APPLICABLE CODES: | 2019 CALIFORNIA RESIDENTIAL CODE, WHICH ADOPTS THE 2016 IRC, 2016 UMC, 2016 UPC AND THE 2011 NEC, SAN DIEGO MUNICIPAL CODE |
| LOT SIZE: | 5,422.5 SF |
| ZONES: | LISPDO-SF |
| OVERLAY ZONES: | COASTAL HEIGHT LIMIT, COASTAL (CITY), TRANSIT AREA, TRANSIT PRIORITY AREA |
| PLANNED DISTRICT: | LA JOLLA SHORES PLANNED DISTRICT |
| GEO. CATEGORY: | 52 |
| HEIGHT LIMIT: | 30'-0" |
| SETBACKS: | LEFT SIDEYARD: 0'-0" (EXISTING) RIGHT SIDEYARD: 4'-6" FRONT: 15'-2" REAR: 9'-5" (EXISTING) |
| PARKING: | EXISTING 2 PROPOSED 2 |
| PROPOSED FAR: | .66 SF |
| PROPOSED AREA: | 3,606.3 SF |
| AREA: | EXISTING 2,010.2 SF PROPOSED FIRST FLOOR 2,058 SF PROPOSED ADU 388 SF EXISTING GARAGE 229.6 SF PROPOSED DECK 362.3 SF |
| | PROPOSED SECOND FLOOR 1,159 SF TOTAL AREA OF ADDITION 1,547 SF PROPOSED GARAGE 223.5 SF |
| | TOTAL 3,217 SF TOTAL AREA 3,605 SF |
| LOT COVERAGE: | 45.1% (<60% PER SDMC 1510.0304(b)(d)) |



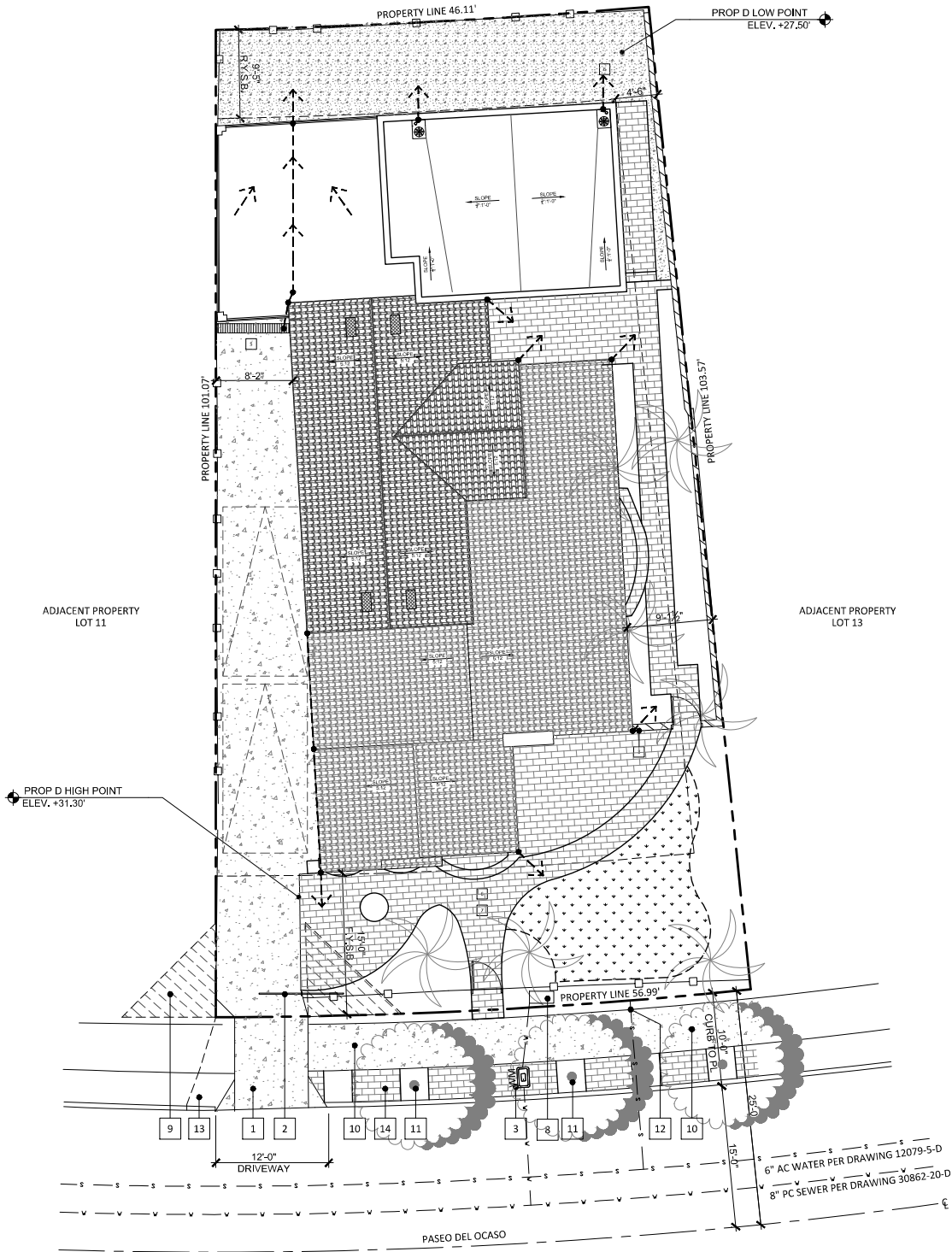
BENCH MARK:
CITY OF SAN DIEGO VERTICAL CONTROL
SOUTHEAST BRASS PLUG
AT PASEO DEL OCASO AND CALLE DE LA PLATA
ELEVATION= 35.851'
DATUM: MEAN SEA LEVEL

LEGAL DESCRIPTION:
LOT 12 OF BLOCK 5 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THERE NO. 1913 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 3, 1926 OF OFFICIAL RECORDS.



Mathew Sawyer
MATHEW S. SAWYER, P.L.S. 8739

| TOPOGRAPHICAL SURVEY | | |
|---|------------------|-----------------------|
| For the exclusive use of ELLEN M. GALLAGHER REVOCABLE TRUST 7-31-06 7946 PASEO DEL OCASO LA JOLLA, CALIFORNIA 92037 | | |
| Sawyer Land Surveying, Inc. 8427 Hovenweep Ct., San Diego, California 92129 (858) 692-6922, EMAIL: msawyerpls@yahoo.com | | |
| Date: 6-25-2020 | Revised: | Revised: |
| Scale: 1"=8' | Drawn by: M.S.S. | Sheet 1 of 1 |
| Drawing: 7946PaseoDelOcasoTS.dwg | | A.P.N.: 346-503-11-00 |



- REFERENCE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
- SITE PLAN IS FOR REFERENCE ONLY. SEE OTHER DRAWINGS FOR ADDITIONAL INFORMATION.
- SURFACE WATER TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES, SITE DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES, ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
- ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
- DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
- LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
- VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
- NO PROPOSED GRADING OR SITE WORK
- NO PROPOSED WORK IN ROW
- NO TRANSIT STOPS ON SITE; SEE TITLE SHEET A-0.1 FOR NEARBY TRANSIT STOPS
- NO EASEMENTS ON SITE
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- NO FIRE HYDRANTS ON SITE, SEE TITLE SHEET FOR NEARBY FIRE HYDRANTS
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED, THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL THE ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
- NO GATES SHALL SWING OPEN IN THE PUBLIC RIGHT OF WAY.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMG SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

NOTES 01

- PROPERTY LINE
- SETBACK
- DRAINAGE DIRECTION
- EXISTING FENCE
- (P) ROOF DRAIN AND DIRECTION

LEGEND 02

CUT QUANTITIES: 0 CUBIC YARDS (UNDER BUILDING)
FILL QUANTITIES: 7.19 CUBIC YARDS (UNDER BUILDING)
IMPORT/EXPORT: 7.19 CUBIC YARDS
MAX. CUT DEPTH: 0
MAX. FILL DEPTH: 1.0'

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THE SITE.

- NOTES:
- ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
 - THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT

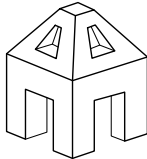
TOTAL DISTURBANCE AREA: 475 S.F.

| | EXISTING | PROPOSED |
|-------------------------------|-------------------|-------------------|
| HARDSCAPE AREA: | 1,521 SF | 1,533 SF |
| DECK AREA: | 132.5 SF | 362 SF |
| ROOF AREA: | 2,132 SF | 2,284.5 SF |
| TOTAL IMPERVIOUS AREA: | 3,785.5 SF | 4,179.5 SF |

CUT/FILL QUANTITIES & DISTURBANCE AREA 03

- | | |
|----|---|
| 1 | (E) 13'-9" DRIVEWAY TO BE RECONSTRUCTED TO 12'-0" WIDE CURRENT CITY STANDARD DRIVEWAY |
| 2 | (E) SITE FENCE GATE AND DRIVEWAY GATE |
| 3 | (E) 3/4" WATER METER |
| 4 | (E) SITE WALL, MAX 6'-0" AND GATE |
| 5 | (E) TRENCH DRAIN |
| 6 | (P) CONCRETE STEPS |
| 7 | (E) CONCRETE WALKWAY |
| 8 | (P) BACKFLOW PREVENTION DEVICE |
| 9 | (P) 10'-0" X 10'-0" VISIBILITY TRIANGLE |
| 10 | (E) SIDEWALK TO REMAIN; RECONSTRUCT SIDEWALK & GUTTER WHERE DAMAGED |
| 11 | (P) STREET TREE, 24" BOX TREE PER CITY STANDARDS |
| 12 | (E) EXISTING SEWER TO REMAIN |
| 13 | (P) CLOSE CURB, GUTTER & SIDEWALK WHERE DRIVEWAY IS BEING RECONSTRUCTED |
| 14 | (P) REPLACE DAMAGED/UNALIGNED PAVERS, TYPICAL |

ATTACHMENT C - Gallagher Residence



AXON
ARCHITECTURE

4344 ROBBINS STREET
SAN DIEGO, CA 92122

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STAMP

GALLAGHER RESIDENCE
7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE
CONSTRUCTION DOCS

REVISIONS

- | |
|---------------------------|
| 2019-08-04 PROJECT START |
| 2019-09-06 OWNER MEETING |
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| 2020-05-07 OWNER REVS. |
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| 2020-09-02 CITY SUBMITTAL |
| 2020-11-6 CITY SUBMITTAL |
| 2021-01-18 TO COMM. GRP. |

| | |
|-------------------|------------------|
| DRAWN BY AB/JK | CHECKED BY JK |
|-------------------|------------------|

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PROJECT NO. 19-05

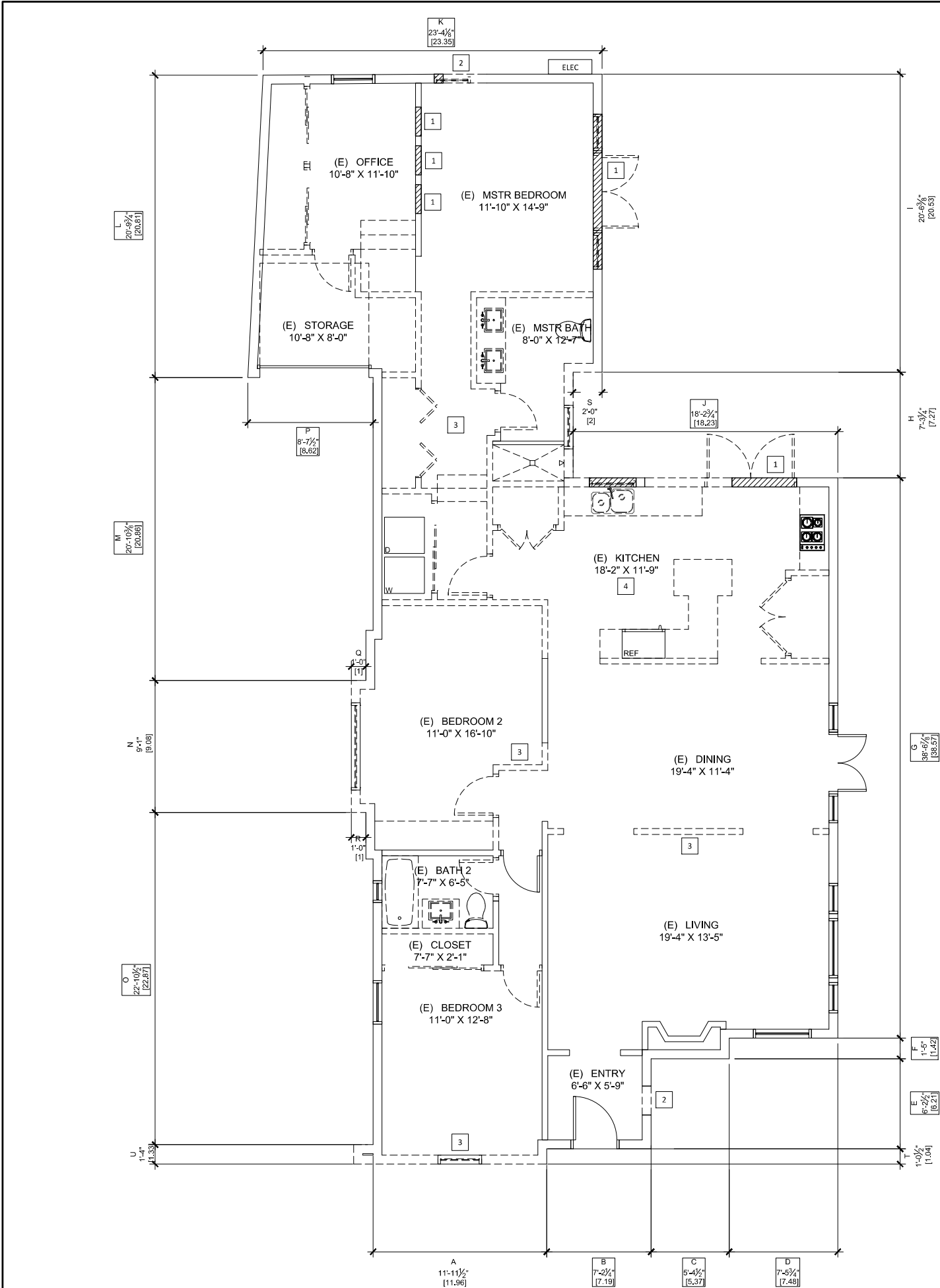
JANUARY 18, 2021

SHEET TITLE
SITE PLAN

SHEET NO.

A-1.1

SHEET: OF



| BUILDING Demo Worksheet | | | | | |
|---|-------|-----------------|------------------|--|----------------|
| Existing Residence Perimeter Lengths | | | | | |
| Direction Existing Wall Faces | | Existing Length | Length Remaining | | Length Removed |
| A- | East | 11.96 | LF | 0.00 | LF 11.96 |
| B- | East | 7.19 | LF | 7.19 | LF 0.00 |
| C- | East | 5.37 | LF | 5.37 | LF 0.00 |
| D- | East | 7.48 | LF | 7.48 | LF 0.00 |
| E- | North | 6.21 | LF | 6.21 | LF 0.00 |
| F- | North | 1.42 | LF | 1.42 | LF 0.00 |
| G- | North | 38.57 | LF | 38.57 | LF 0.00 |
| H- | North | 7.27 | LF | 0.00 | LF 7.27 |
| I- | North | 20.53 | LF | 20.53 | LF 0.00 |
| J- | West | 18.23 | LF | 2.83 | LF 15.40 |
| K- | West | 23.35 | LF | 20.35 | LF 3.00 |
| L- | South | 20.81 | LF | 20.81 | LF 0.00 |
| M- | South | 20.86 | LF | 20.86 | LF 0.00 |
| N- | South | 9.08 | LF | 0.00 | LF 9.08 |
| O- | South | 22.87 | LF | 22.87 | LF 0.00 |
| P- | East | 8.62 | LF | 8.62 | LF 0.00 |
| Q- | West | 1.00 | LF | 0.00 | LF 1.00 |
| R- | East | 1.00 | LF | 0.00 | LF 1.00 |
| S- | East | 2.00 | LF | 0.00 | LF 2.00 |
| T- | North | 1.04 | LF | 1.04 | LF 0.00 |
| U- | South | 1.33 | LF | 0.00 | LF 1.33 |
| Total Exist. Main Level Perimeter Length | | 236.19 | LF | 184.15 | LF 52.04 |
| | | 118.095 | | 66.06 LF above 50% | |
| Existing Perimeter Wall Remaining | | 184.15 | LF | | |
| Total Existing Building Perimeter Length | | 236.19 | LF | | |
| 78% Percentage of Existing Perimeter Wall Which Remains | | | | | |
| 50% of existing wall must remain to qualify for coastal exemption | | | | | |
| | | 0.00% | #REF! | LF above 50% min perimeter wall length to remain | |

- REFERENCE OTHER DRAWINGS FOR DIMENSIONS AND CONDITIONS. MARK LOCATIONS OF PROPERTY LINES, EASEMENTS, UNDERGROUND UTILITIES, ALSO MARK ANY NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT THE CONSTRUCTION OF THE PROPOSED BUILDING.
- ALL DIMENSIONS AND CONDITIONS ON THE PLANS TO BE VERIFIED BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND SITE CONDITIONS.
- DO NOT PROCEED WITH WORK THAT HAS A CONFLICT BETWEEN THE PLANS AND SITE CONDITIONS UNTIL ARCHITECT PROVIDES WRITTEN OR VERBAL INSTRUCTIONS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOUND.
- LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR TO DISPOSE OF ALL REFUSE AT CITY APPROVED LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.
- VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS WHICH WILL NOT BE CHANGED SO THAT AN ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
- NO TRANSIT STOPS LOCATED ON SITE.

DEMOLITION NOTES01

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

EXISTING WALL TO REMAIN, OPENING TO BE INFILLED

3'-9"

[3.75]

DIMENSION OF EXISTING WALL TO REMAIN IN PLACE

3'-9"

DIMENSION OF EXISTING WALL TO BE REMOVED

LEGEND02

1

REMOVE EXISTING WINDOW / DOOR AND PREP OPENING FOR INFILL

2

REMOVE EXISTING WINDOW / DOOR AND PREP FOR NEW WINDOW / DOOR

3

REMOVE EXISTING WALLS PER PROPOSED PLAN

4

REMOVE EXISTING KITCHEN PER PROPOSED PLAN

Gallagher Residence

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DRAWN BY
AB/JK

CHECKED BY
JK

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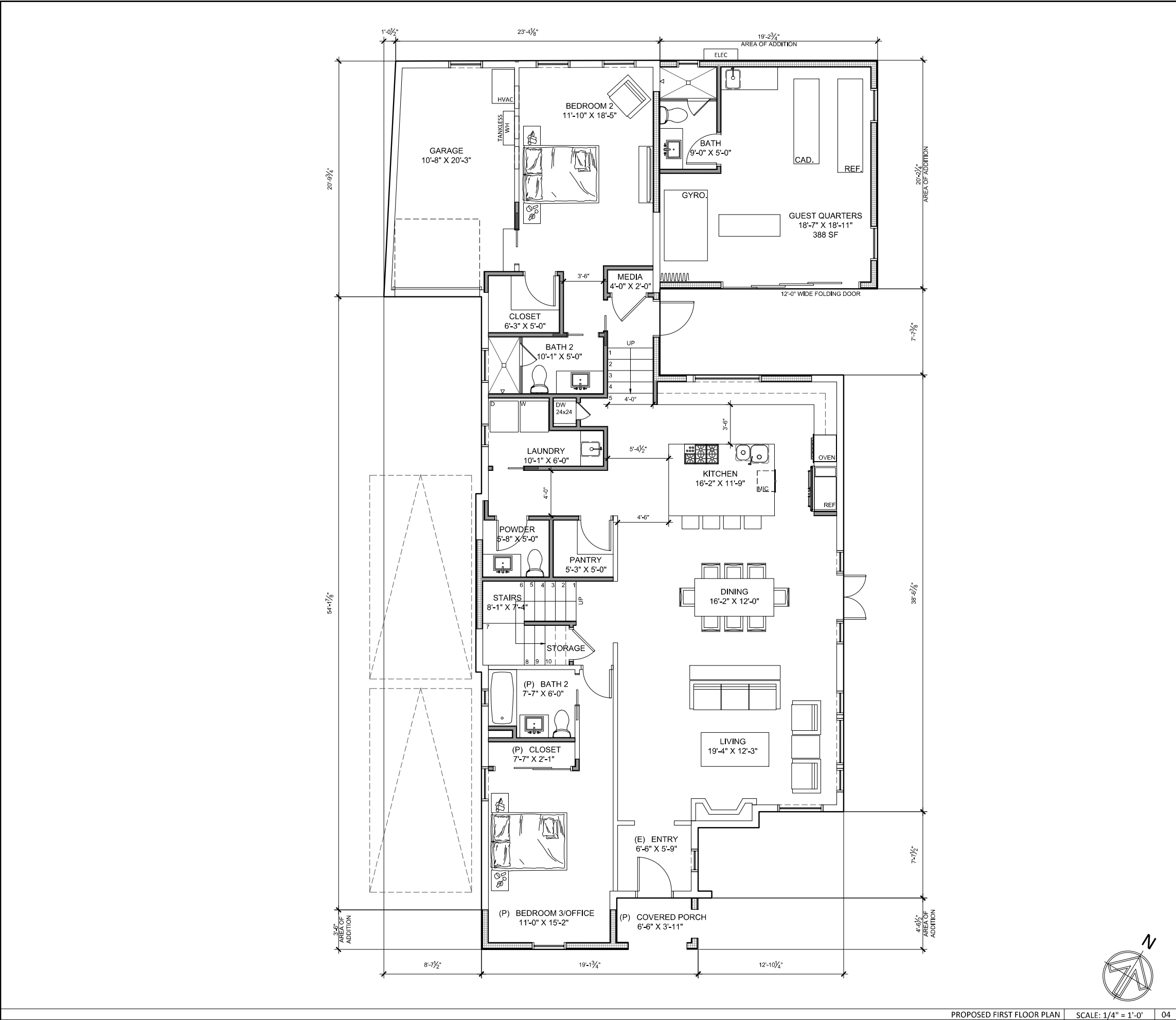
JANUARY 18, 2021

SHEET TITLE
PROPOSED DEMO PLAN

SHEET NO.

A-2.0

SHEET: OF

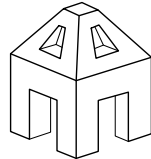


1. ALL DIMENSIONS TO BE FIELD DIMENSIONS UNLESS NOTED OTHERWISE. BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CONSULTING ENGINEER PRIOR TO PROCEEDING WITH AFFECTED WORK.
2. EXTERIOR WALL DIMENSIONS TO FACE OF STUD OR FOUNDATION WALL. INTERIOR WALL DIMENSIONS TO FACE OF STUD.
3. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
4. INSULATION:
- 4.1. R-13 BATT AT PROPOSED EXTERIOR 2x4 WALLS
 - 4.2. R-19 BATT AT PROPOSED EXTERIOR 2x6 WALLS
 - 4.3. R-13 BATT AT INTERIOR WALLS FOR SOUND ATTENUATION
 - 4.4. R-30 BATT AT CEILING AND ROOF
 - 4.5. R-22 BATT AT FLOORS
 - 4.6. R-4.5 BATT AT HOT WATER PIPING AND SUPPLY DUCTS
5. FOR DOOR AND WINDOW SCHEDULES SEE SHEETS
6. FOR INTERIOR FINISH SCHEDULES SEE SHEET
7. FOR APPLIANCE AND FIXTURE SCHEDULE SEE SHEET
8. FOR HVAC EQUIPMENT SEE TITLE 24 CALCULATIONS
9. WATER HEATER:
10. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOMS AND LAUNDRY ROOM VENTILATION
11. PROVIDE EXHAUST FAN WITH VENTILATION RATE OF 120 CFM FOR WHOLE HOUSE VENTILATION
12. SHOWER COMPARTMENT AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2
13. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
14. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
15. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER CBC 907.2.10.3
16. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

- FLOOR PLAN NOTES | 01**
- EXISTING WALL TO REMAIN
 - PROPOSED 2x4 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. EXTERIOR FINISH STUCCO, INTERIOR FINISH $\frac{5}{8}$ " GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
 - PROPOSED 2x6 STUD WALL W/ SHEATHING PER STRUCTURAL ENGINEER. INTERIOR FINISH $\frac{5}{8}$ " GYP BD. PROVIDE TILE BACKER BOARD AT WET LOCATIONS
 - ADHERED STONE VENEER
 - PROPOSED DOOR, INSTALL $4\frac{1}{2}$ " FROM ADJACENT WALL UNLESS NOTED OTHERWISE
 - $4\frac{1}{2}$ " TYP.
 - COMBINATION SMOKE AND CARBON MONOXIDE ALARM
 - DOOR NUMBER, SEE DOOR SCHEDULE ON A-8.1 FOR ADDITIONAL INFORMATION
 - WINDOW NUMBER, SEE WINDOW SCHEDULE ON A-8.2 FOR ADDITIONAL INFORMATION
 - FLOOR OR DECK DRAIN, SLOPE $\frac{1}{4}$ " : 1'-0" MIN. TO LOCATION SEE DETAILS 02/A-10.1.1 AND 04/A-10.2.1
 - PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-BTA
 - NUTONE "QTX" (OR EQUAL) LIGHT/EXHAUST FAN COMBO, MIN 80 CFM, DUCT TO EXTERIOR, INTEGRAL HUMIDISTAT PER CGESC

| FLOOR PLAN LEGEND 02 | |
|---|--|
| DRAWN BY AB/JK | |
| CHECKED BY JK | |
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| PROJECT NO. 19-05 | |
| JANUARY 18, 2021 | |
| SHEET TITLE FIRST FLOOR PLAN | |
| SHEET NO. A-2.1 | |
| SHEET9 OF | |

ATTACHMENT 2 Gallagher Residence



AXON ARCHITECTURE

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STAMP

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La Jolla CA, 92037

PHASE CONSTRUCTION DOCS

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2020-11-6 CITY SUBMITTAL
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DRAWN BY
AB/JK

CHECKED BY
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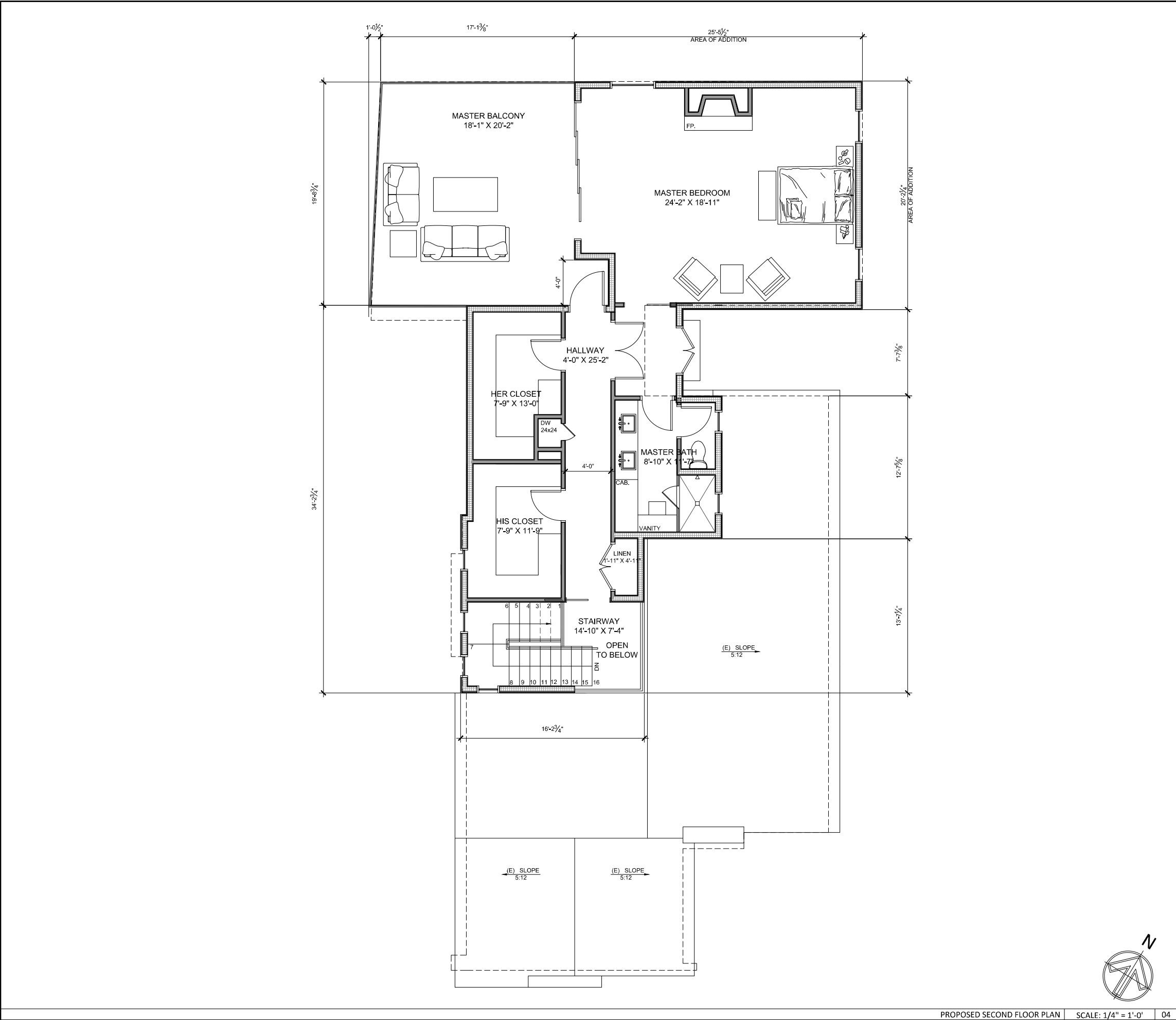
JANUARY 18, 2021

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.

A-2.1

SHEET9 OF



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5. FOR DOOR AND WINDOW SCHEDULES SEE SHEETS
6. FOR INTERIOR FINISH SCHEDULES SEE SHEET
7. FOR APPLIANCE AND FIXTURE SCHEDULE SEE SHEET
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9. WATER HEATER:
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| FLOOR PLAN NOTES | | 01 |
|------------------|--|----|
| | EXISTING WALL TO REMAIN | |
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| | ADHERED STONE VENEER | |
| | PROPOSED DOOR, INSTALL 4 1/2" FROM ADJACENT WALL UNLESS NOTED OTHERWISE | |
| | COMBINATION SMOKE AND CARBON MONOXIDE ALARM | |
| | DOOR NUMBER, SEE DOOR SCHEDULE ON A-8.1 FOR ADDITIONAL INFORMATION | |
| | WINDOW NUMBER, SEE WINDOW SCHEDULE ON A-8.2 FOR ADDITIONAL INFORMATION | |
| | FLOOR OR DECK DRAIN, SLOPE 1/4" : 1'-0" MIN. TO LOCATION SEE DETAILS 02/A-10.1.1 AND 04/A-10.2.1 | |
| | PROPOSED HOSE BIB LOCATION, INSTALL INTO RECESSED VALVE BOX, BEST ACCESS DOORS MODEL #BA-BTA | |
| | NUTONE "QITX" (OR EQUAL) LIGHT/EXHAUST FAN COMBO, MIN 80 CFM, DUCT TO EXTERIOR, INTEGRAL HUMIDISTAT PER CGBSC | |

| FLOOR PLAN LEGEND | | 02 |
|-------------------|--|----|
| | | |

| PHASE | |
|---|----------------|
| CONSTRUCTION DOCS | |
| REVISIONS | |
| 2019-08-04 | PROJECT START |
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| 2020-06-19 | OWNER REVS. |
| 2020-09-02 | CITY SUBMITTAL |
| 2020-11-6 | CITY SUBMITTAL |
| 2021-01-18 | TO COMM. GRP. |
| DRAWN BY | CHECKED BY |
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| PROJECT NO. 19-05 | |
| JANUARY 18, 2021 | |
| SHEET TITLE | |
| FIRST FLOOR PLAN | |
| SHEET NO. | |
| A-2.2 | |
| SHEETS OF | |

ATTACHMENT 2 Gallagher Residence



**AXON
ARCHITECTURE**

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PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE

FIRST FLOOR PLAN

SHEET NO.

A-2.2

SHEETS OF

1. ROOFING UNDERLAYMENT SHALL BE **ATTACHMENT 11** OF THE **2018 Building Code** "SHIELD" BY WR GRACE, ESR-1677, OR "WINTER GUARD II" BY CERTAINTED CORP. ESR-4492. INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF UNDERLAYMENT. SEE DETAIL NOTE #12.
2. COUNTER-SLOPES: 1/2" PER 1'-0" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX-CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. ROOF DRAIN EDGE: MANUFACTURE PANEL CLIPS AND COUNTER FLASHING. ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEAVY EXPOSED EDGES.
4. PLUMBING VENT: ABS PLASTIC TO BE FLASHED PER ROOF MANUFACTURER'S RECOMMENDATION.
5. PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFYF SEAL 140/60 BY PROTECTO TRUFF. ESR-1127. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET. EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING VAPOR.
6. FOR ROOFERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
7. DRIP EDGE FLASHING USED ON THE FREE EDGES OF ROOFING MATERIALS SHALL BE OF THE FOLLOWING:
 - a. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (#26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL
 - b. INSTALLED OVER A MIN. 36"-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
8. ENCLOSED RAFTER ASSEMBLIES NOT REQUIRED TO BE VENTED PER CRC R806.5.
9. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT AT LEAST CLASS "A" WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].
11. ASPHALT SHINGLES TO BE OWENS CORNING "DURATION". COLOR TO BE SANDSTONE. SHINGLES ARE CLASS "A" PER UL REPORT E9-2453-01.
12. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12), UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), UNDERLAYMENT SHALL BE TWO LAYERS OF NO. 72 ASTM CAP SHEET. APPLY A 1/4"-THICK STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUBJACENT SHEETS 19 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.



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| | |
|------------------|----|
| FLOOR PLAN NOTES | 01 |
|------------------|----|

ROOF DRAIN PER ROOF NOTES

REVISIONS

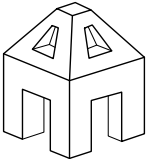
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SHEET NO.

SHEET 1 OF 1





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7946 Paseo Del Ocaso
La Jolla CA, 92037

PHASE
CONSTRUCTION DOCS

REVISIONS

2019-08-04 PROJECT START
2019-09-06 OWNER MEETING
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PROJECT NO. 19-05

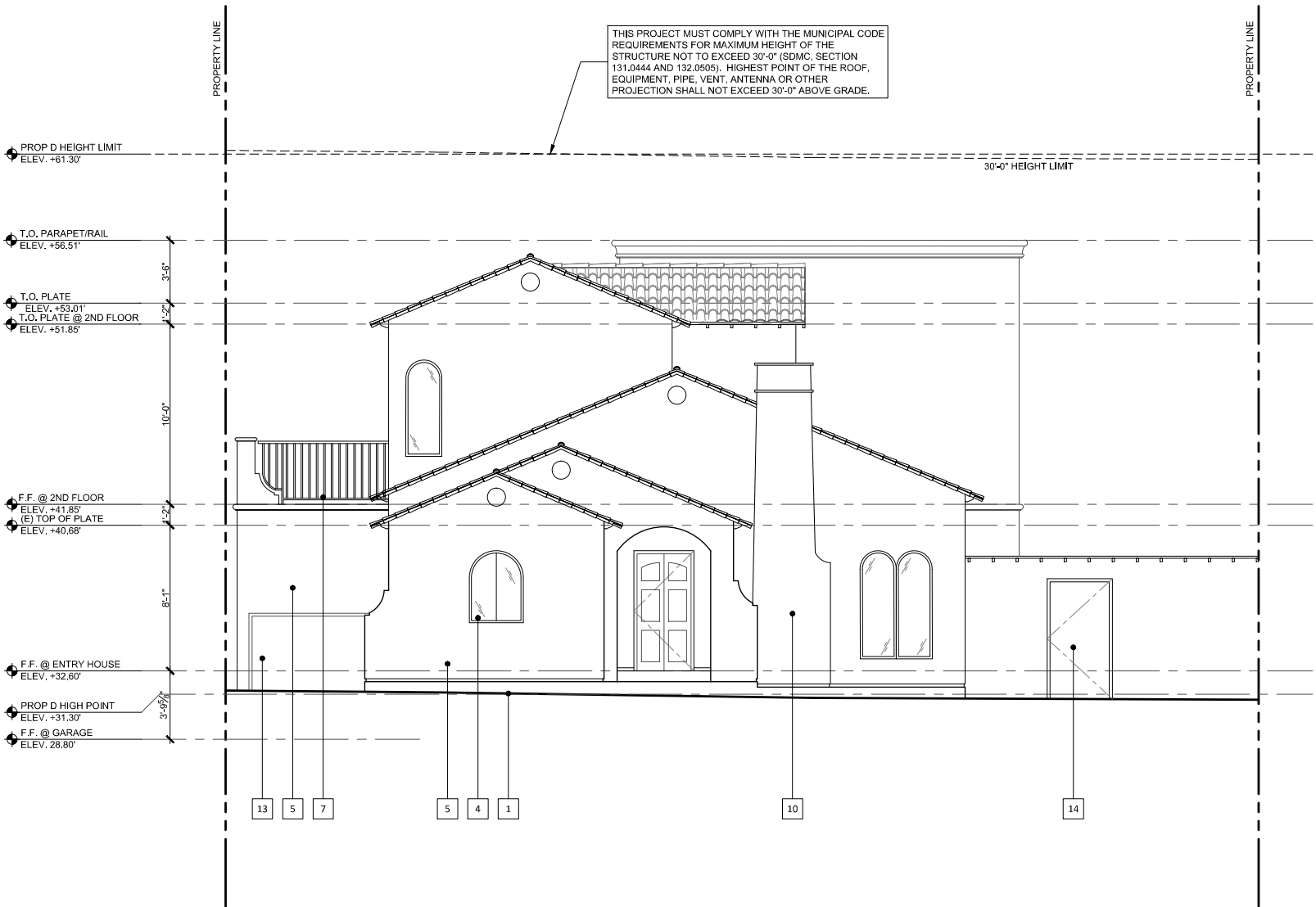
JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

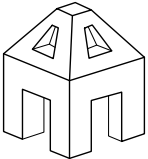
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| 4 | (P) WINDOW PER SCHEDULE | | |
| 5 | (P) EXTERIOR CEMENT PLASTER, MATCH EXISTING FINISH AND COLOR | | |
| 6 | (P) WOOD TRELLIS, DARK BROWN STAIN | | |
| 7 | (P) WROUGHT IRON RAILING | | |
| 8 | (P) CLAY ROOF TILE TO MATCH EXISTING | | |
| 9 | (P) WOOD RAFTER TAIL TO MATCH EXISTING | | |
| 10 | EXTEND EXISTING CHIMNEY UP | | |
| 11 | (P) STUCCO CROWN MOLDING | | |
| 12 | (P) STUCCO MOLDING BAND | | |



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JANUARY 18, 2021

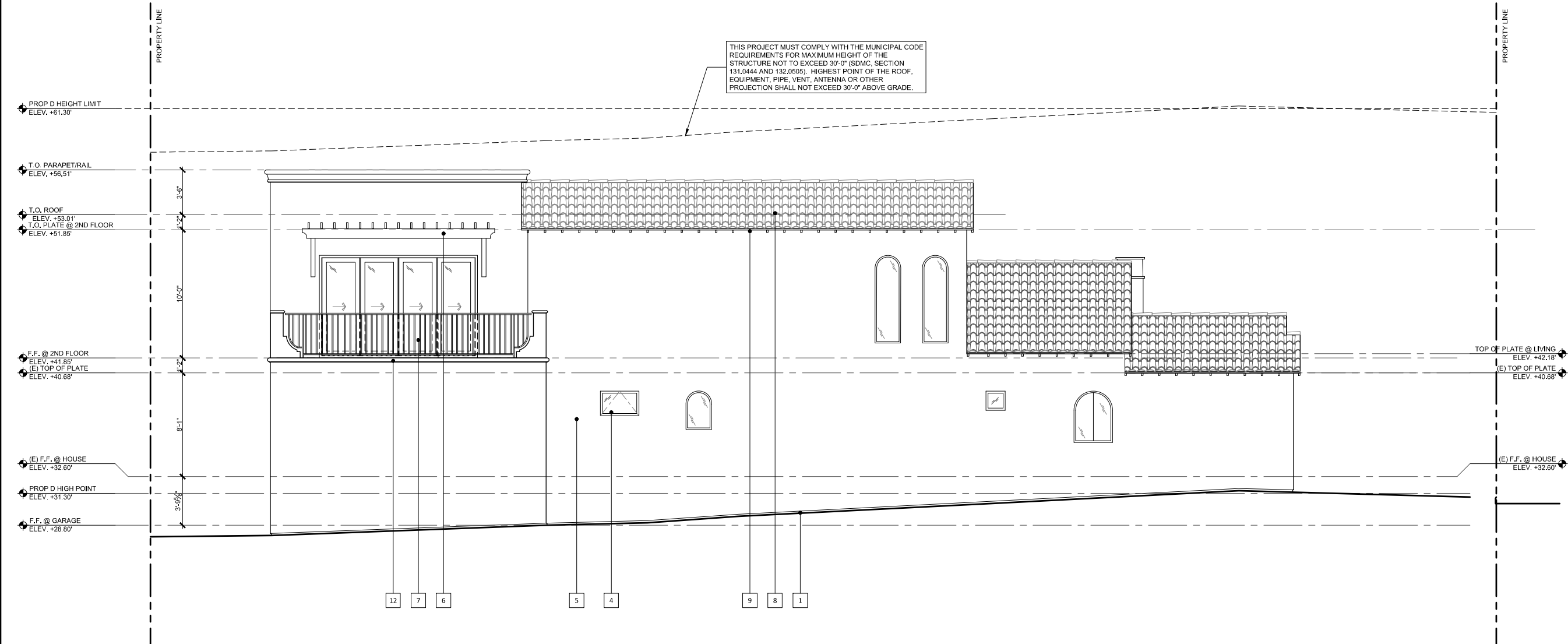
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.2

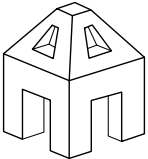
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- | SOUTH ELEVATION | | SCALE: 1/4" = 1'-0" | 04 |
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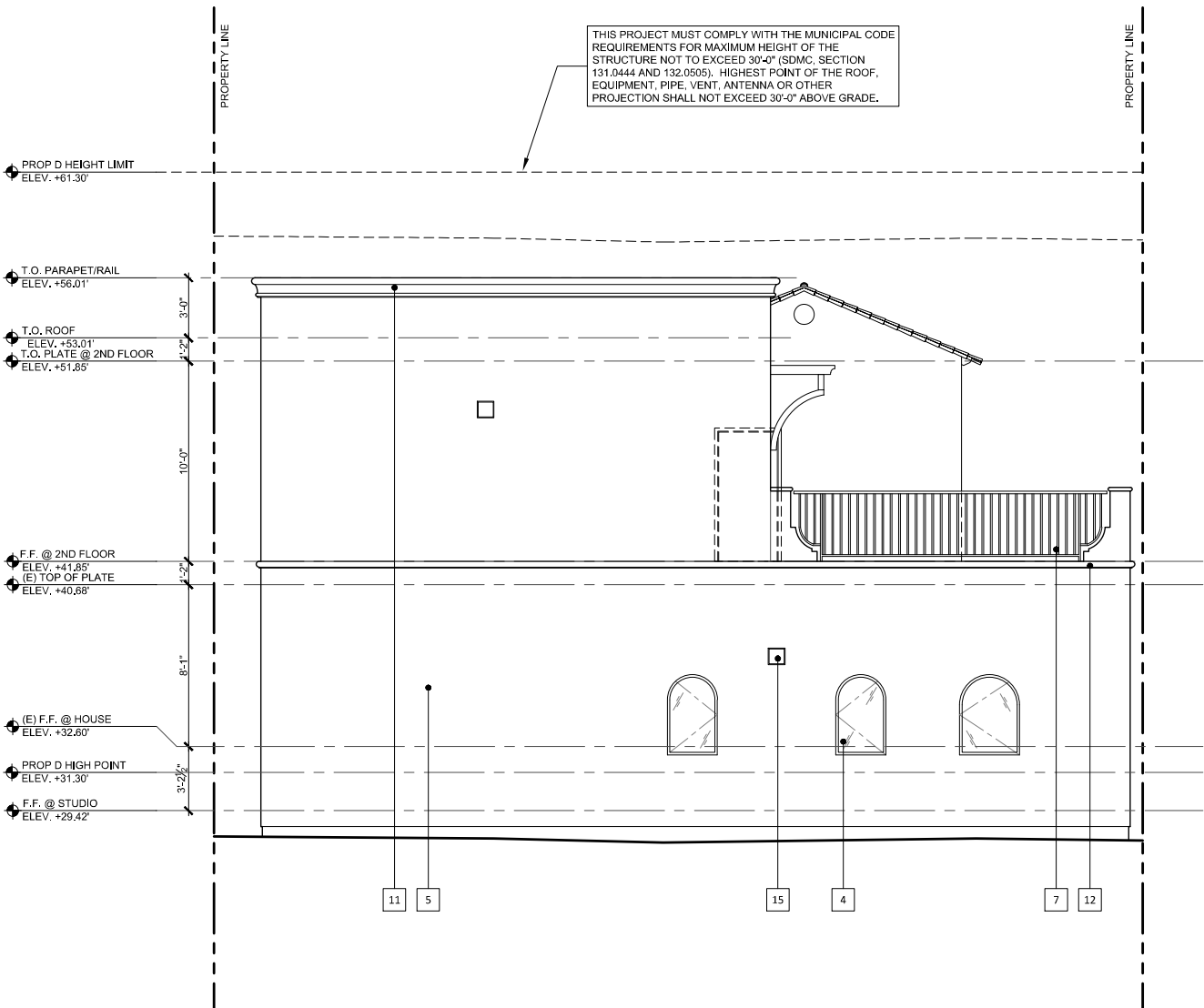
JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

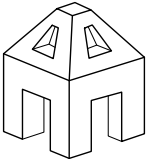
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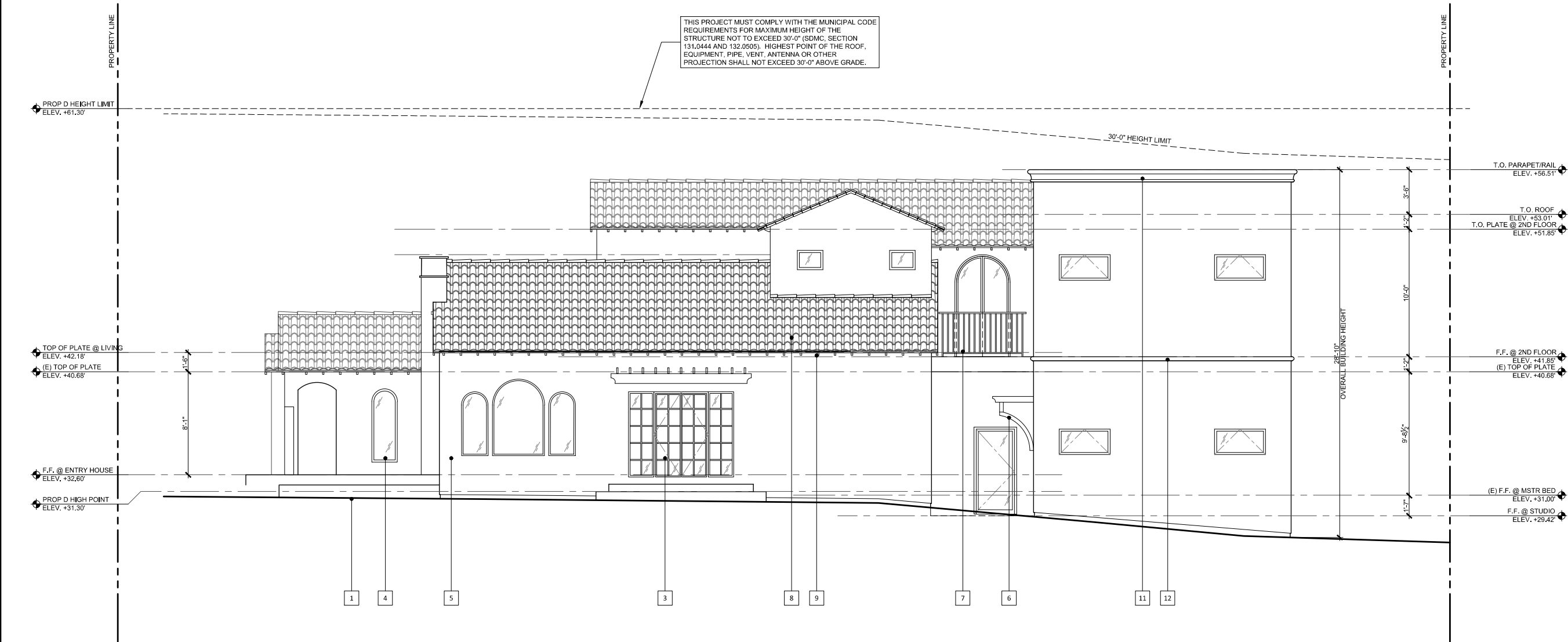
JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-5.4

SHEET: OF



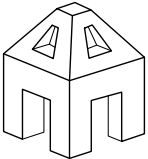
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EXTERIOR ELEVATION NOTES | 01

EXTERIOR ELEVATION LEGEND | 02

- | NORTH ELEVATION | | SCALE: 1/4" = 1'-0" | 04 |
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EXTERIOR ELEVATION KEYNOTES | 03



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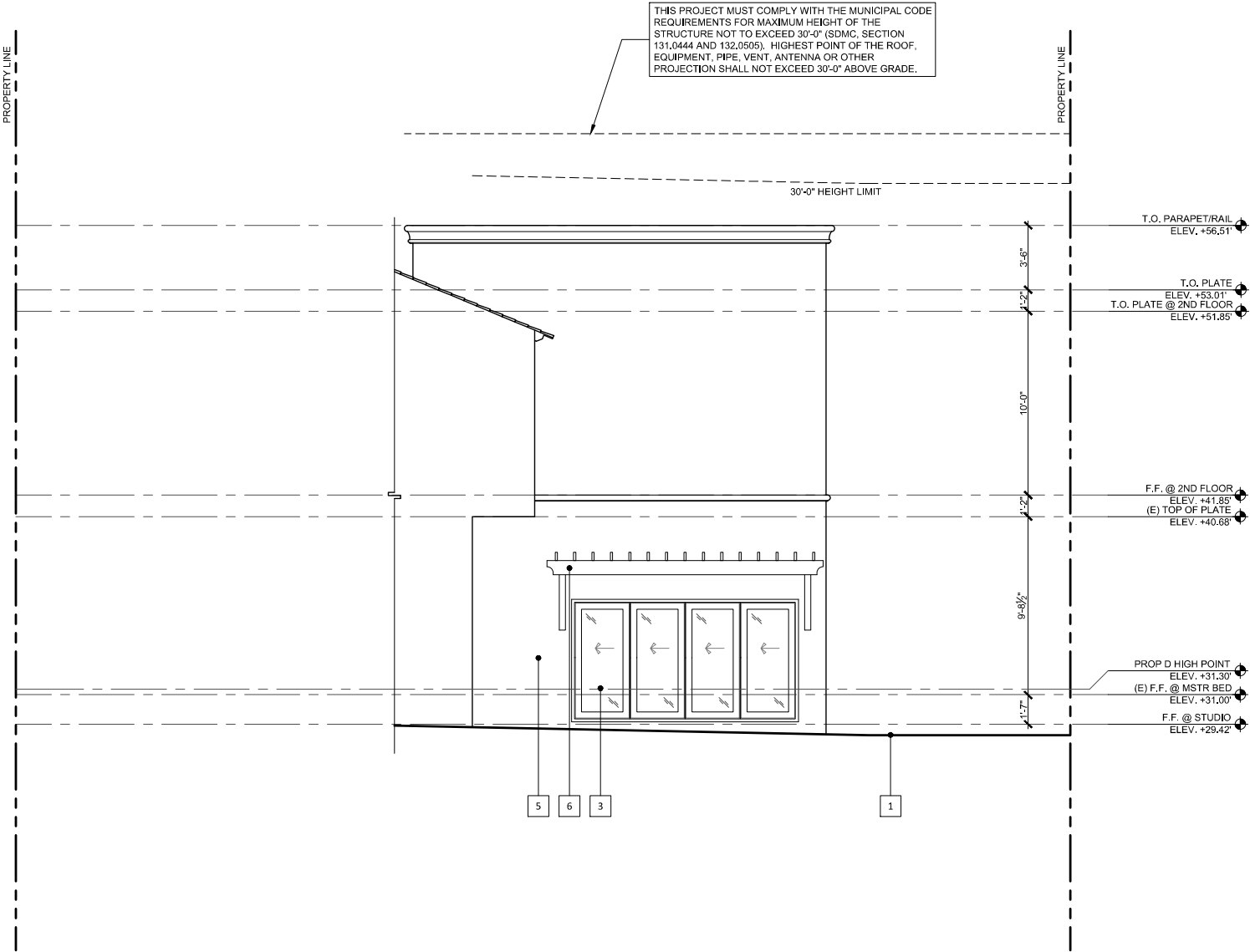
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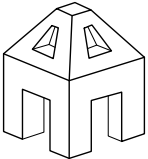
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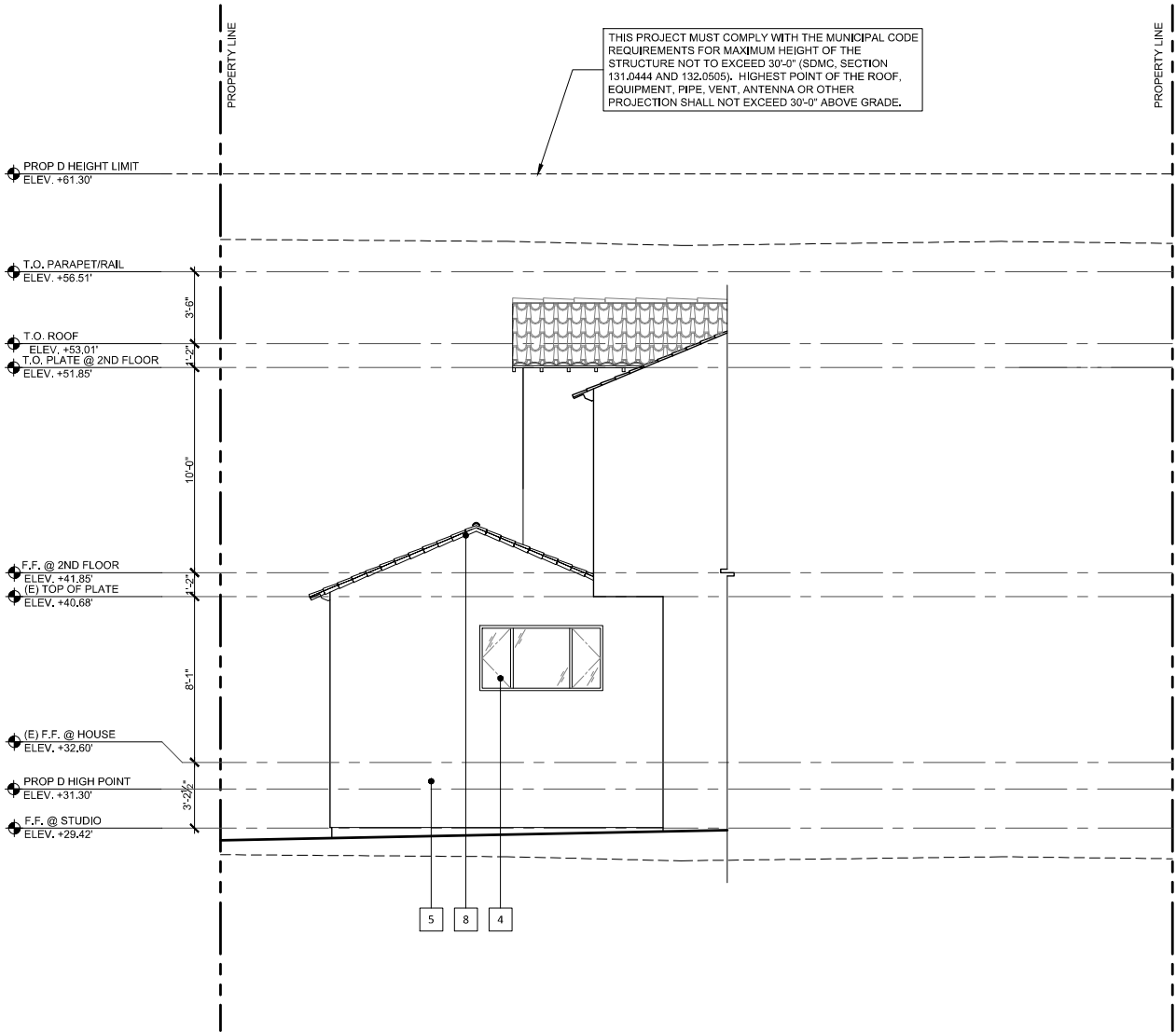
PROJECT NO. 19-05

JANUARY 18, 2021

SHEET TITLE
EXTERIOR ELEVATIONS
SHEET NO.

A-5.6

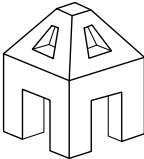
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WEST KITCHEN REAR ELEVATION SCALE: 1/4" = 1'-0' 04

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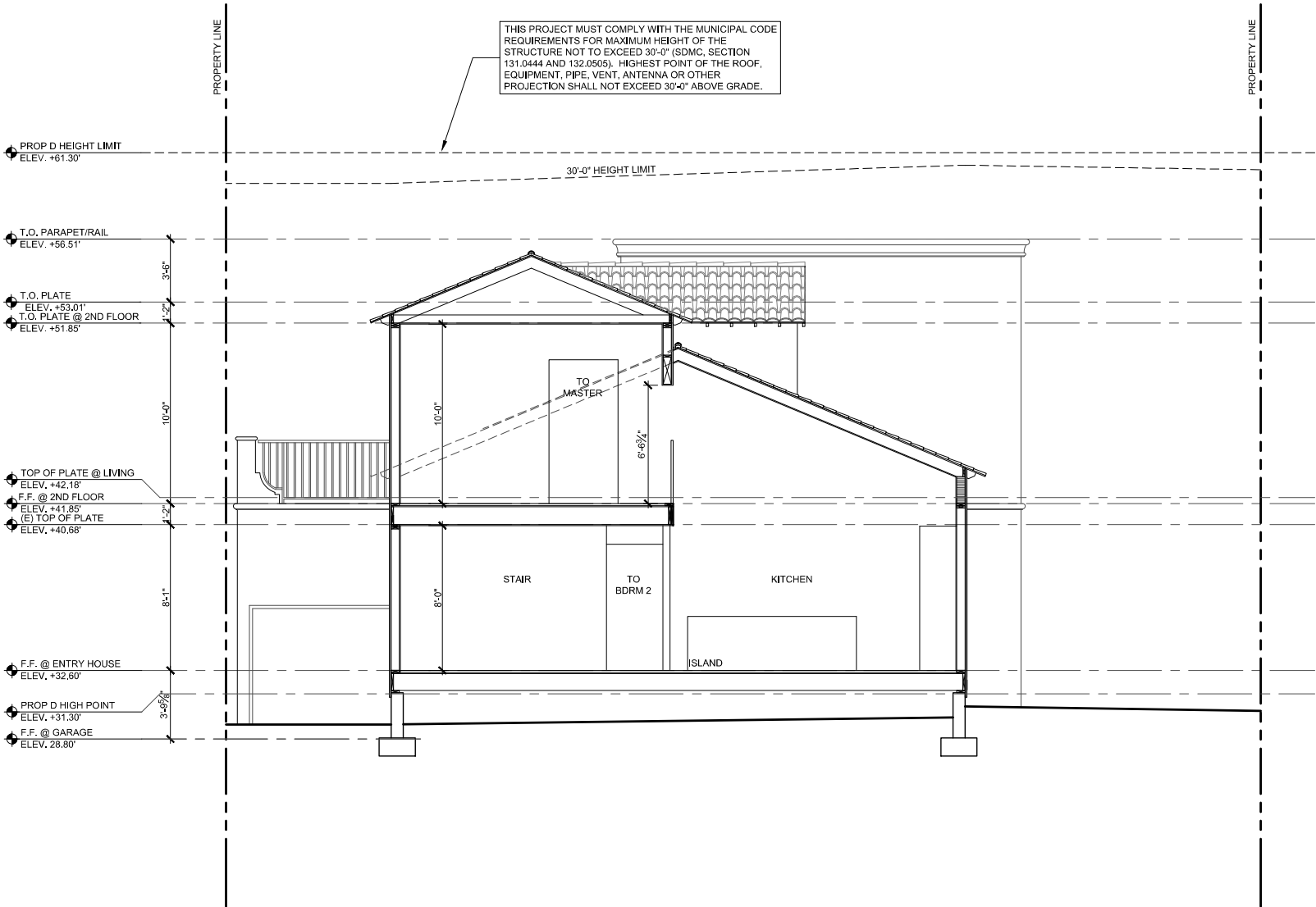
SHEET TITLE

BUILDING SECTIONS

SHEET NO.

A-6.1

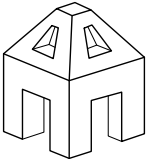
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BUILDING SECTION

SCALE: 1/4" = 1'-0"

04



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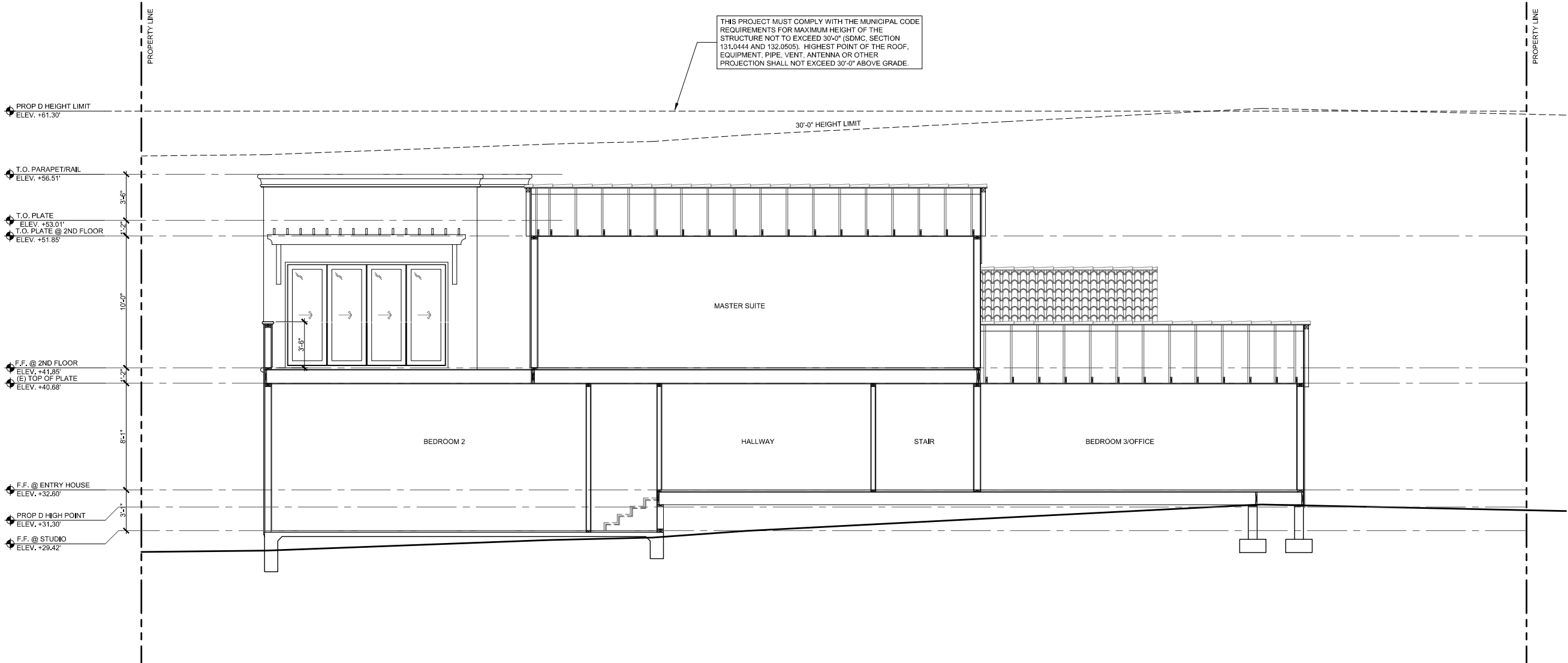
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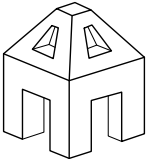
30'-0" HEIGHT LIMIT



BUILDING SECTION

SCALE: 1/4" = 1'-0'

04



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2020-02-12 OWNER MEETING
2020-02-19 OWNER REVS.
2020-05-07 OWNER REVS.
2020-06-19 OWNER REVS.
2020-09-02 CITY SUBMITTAL
2020-11-6 CITY SUBMITTAL
2021-01-18 TO COMM. GRP.

DRAWN BY
AB/JK

CHECKED BY
JK

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PROJECT NO. 19-05

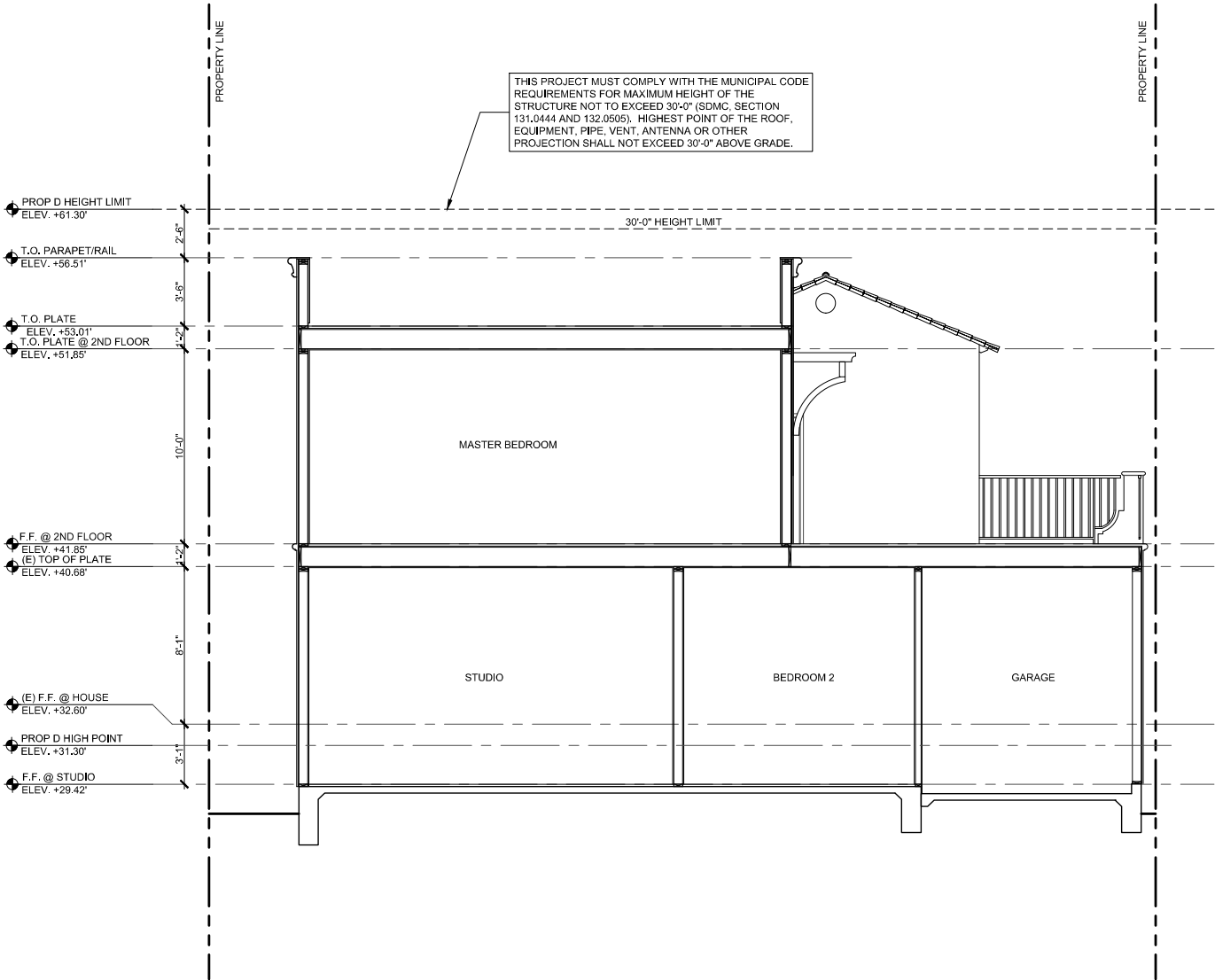
JANUARY 18, 2021

SHEET TITLE
BUILDING SECTIONS

SHEET NO.

A-6.3

SHEET: OF



BUILDING SECTION SCALE: 1/4" = 1'-0" 04