

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
Online Virtual Meeting**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items): Hicks Residence, PTS 560839
- Address and APN(s): 8405 Paseo Del Ocaso La Jolla, CA 92037. APN: 346-082-01-00
- Project contact name, phone, e-mail: Tony Sanshey, 858-459-9291, tsanshey@islandarch.com
- Project description: Demolition of existing 1,771 Sq ft single family dwelling and garage and construction of new 4,561 sq ft two story single family dwelling plus 486 sq ft garage and related site improvements.
- Please indicate the action you are seeking from the Advisory Board:
 - ☐ Recommendation that the Project is minor in scope (Process 1)
 - ☐ Recommendation of approval of a Site Development Permit (SDP)
 - ☒ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☐ Other: _____
- In addition, provide the following:
 - lot size: 6,031 sq ft / 0.138 AC
 - existing structure square footage and FAR (if applicable): 1,771 sq ft and 0.29 FAR
 - proposed square footage and FAR: 4,479 sq ft and 0.74 FAR
 - existing and proposed setbacks on all sides:
 - i. Proposed setbacks: FY: 17'-0" / RY: 6'-6" / SY: 7'-0" / SSY: 4'-0"
 - ii. Existing setbacks: FY: 21'-3" / RY: 5'-0" / SY: 5'-5-1/2" / SSY: 0'-8"
 - height if greater than 1-story (above ground): Ridge: 23'-3" / Chimney: 27'-7" / Roof trellis: 29'-7"

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): _____

ATTACHMENT 3: Hicks Residence

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website: <https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation – updated 8/31/20

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter, so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Senior Planner
mpangilinan@sandiego.gov
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293



PACIFIC OCEAN

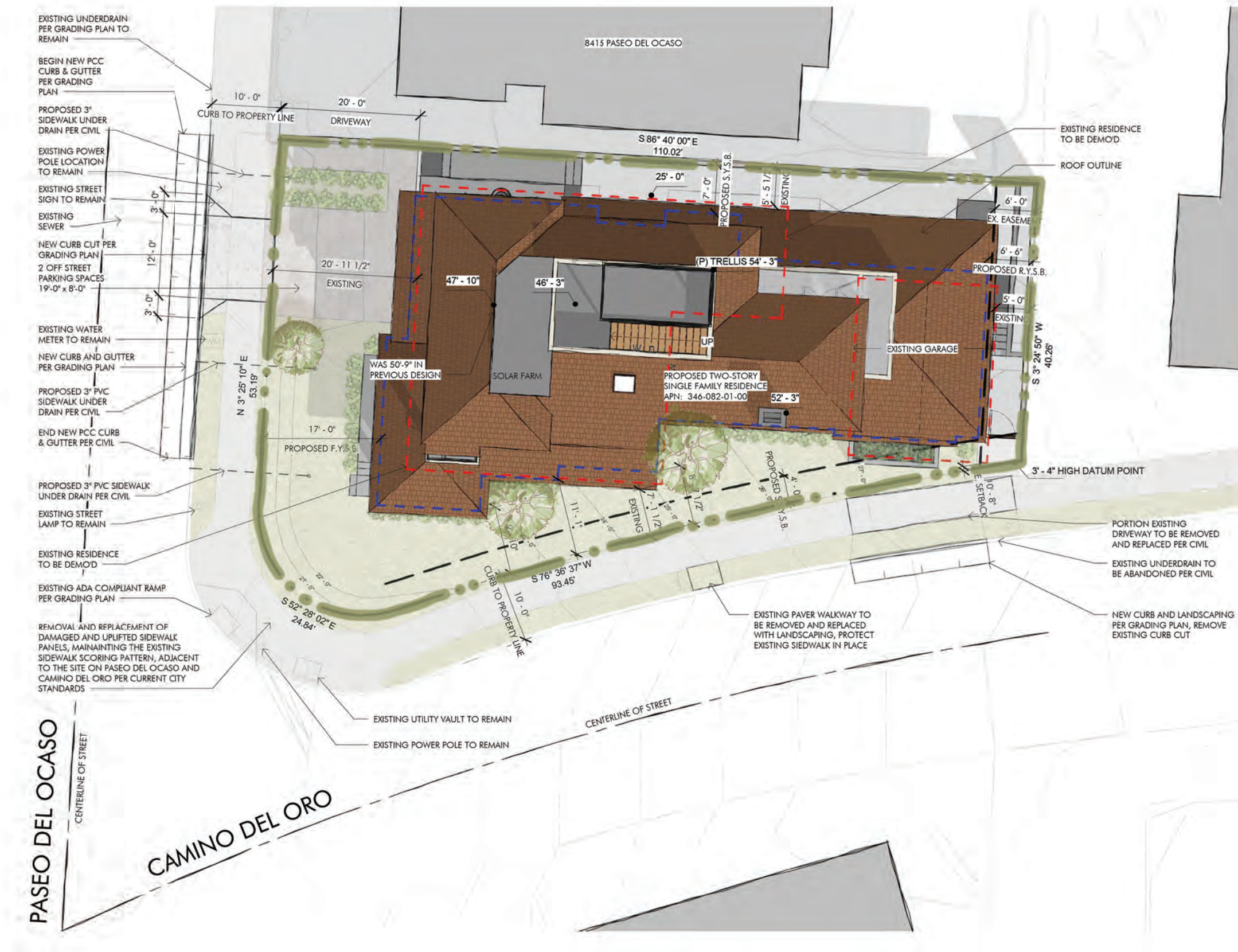
EL PASEO GRANDE

PASEO DEL OCASO

CAMINO DEL ORO

LA JOLLA SHORES DR

AERIAL VIEW



SITE PLAN

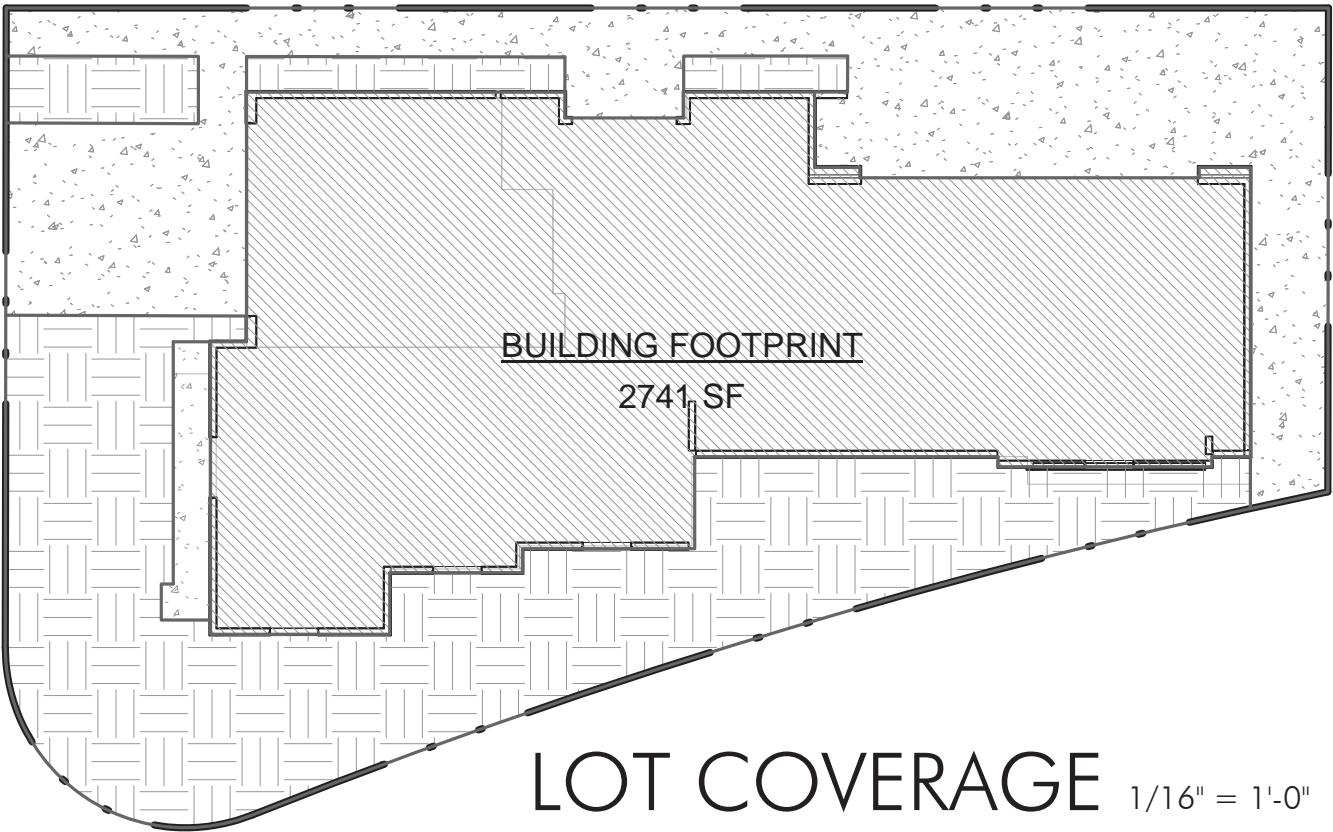
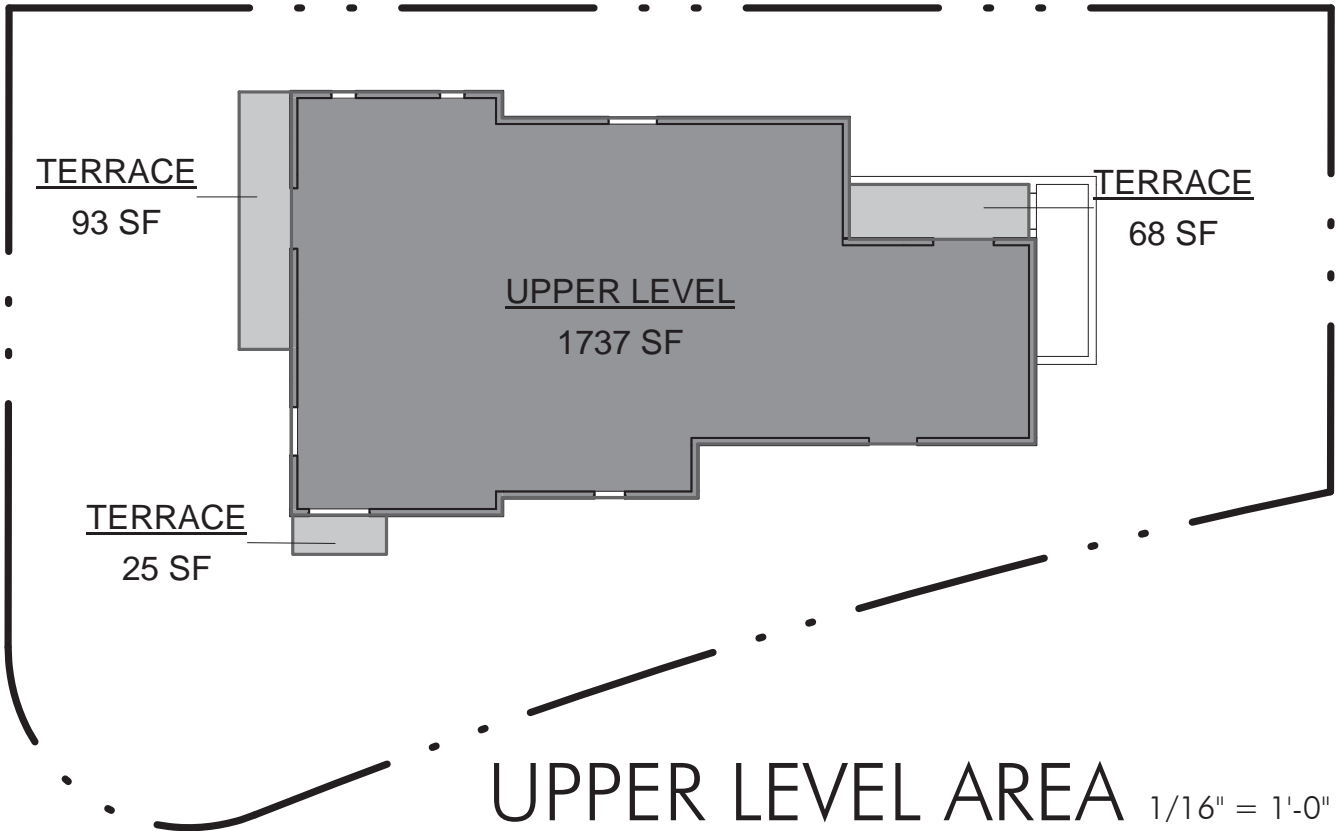
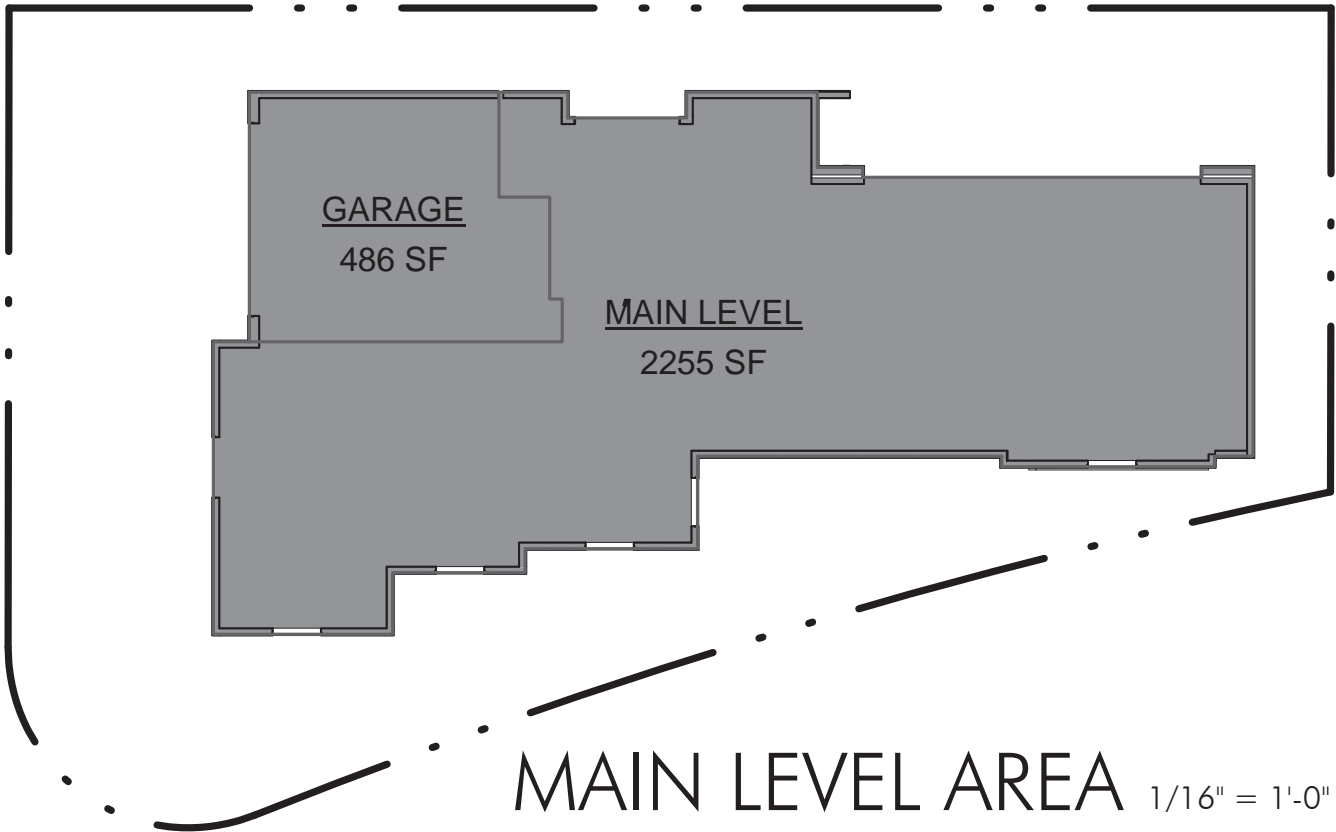
Scale: 1/16" = 1'-0"

2 OF 12

HICKS RESIDENCE

8405 Paseo Del Ocaso, La Jolla, CA 92037

Date: 01/18/2021



SITE COVERAGE LEGEND

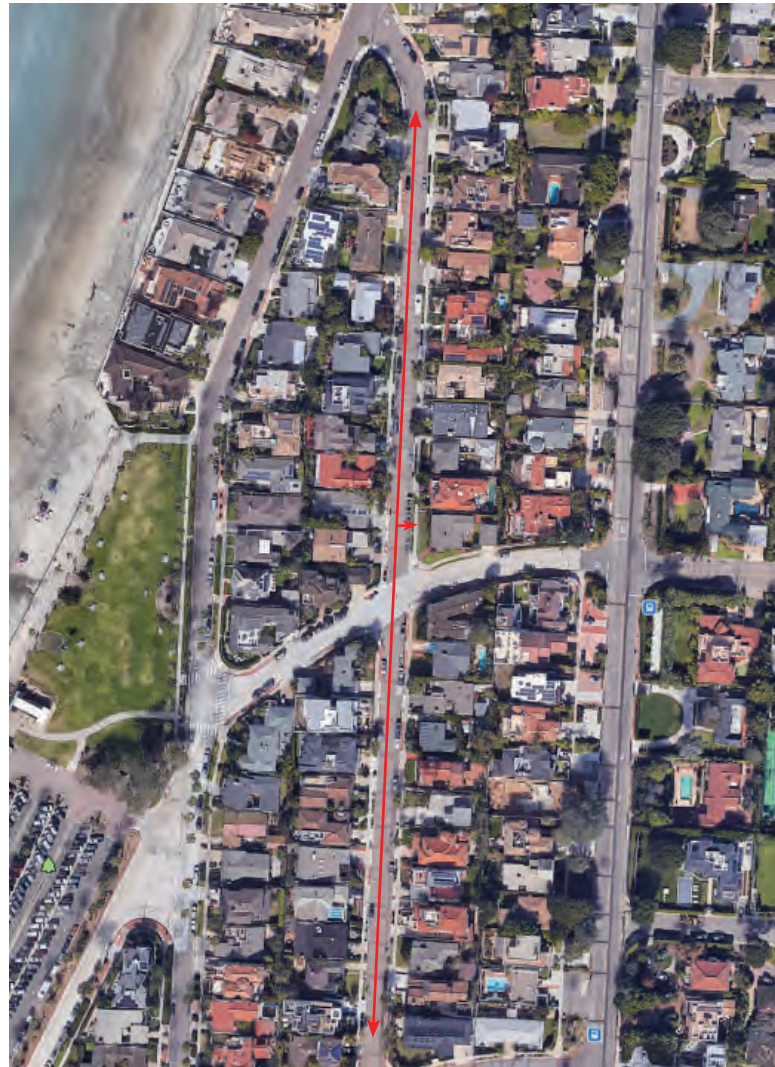
- BUILDING FOOTPRINT
- HARDSCAPE
- LANDSCAPE

AREA SCHEDULE		
BUILDING FOOTPRINT	2,741 SF	45%
LANDSCAPE/ PERVIOUS AREA	1,788 SF	30%
HARDSCAPE	1,502 SF	25%
LOT TOTAL:	6,031 SF	100%

BUILDING AREA CALCULATION

MAIN LEVEL	2,741 SF
LIVING AREA	2,255 SF
GARAGE AREA	486 SF
UPPER LEVEL	1,923 SF
LIVING AREA	1,737 SF
TERRACE	186 SF
EXCLUDED FROM GFA	<186 SF>
TERRACE (SDMC 113.0234)	<186 SF>

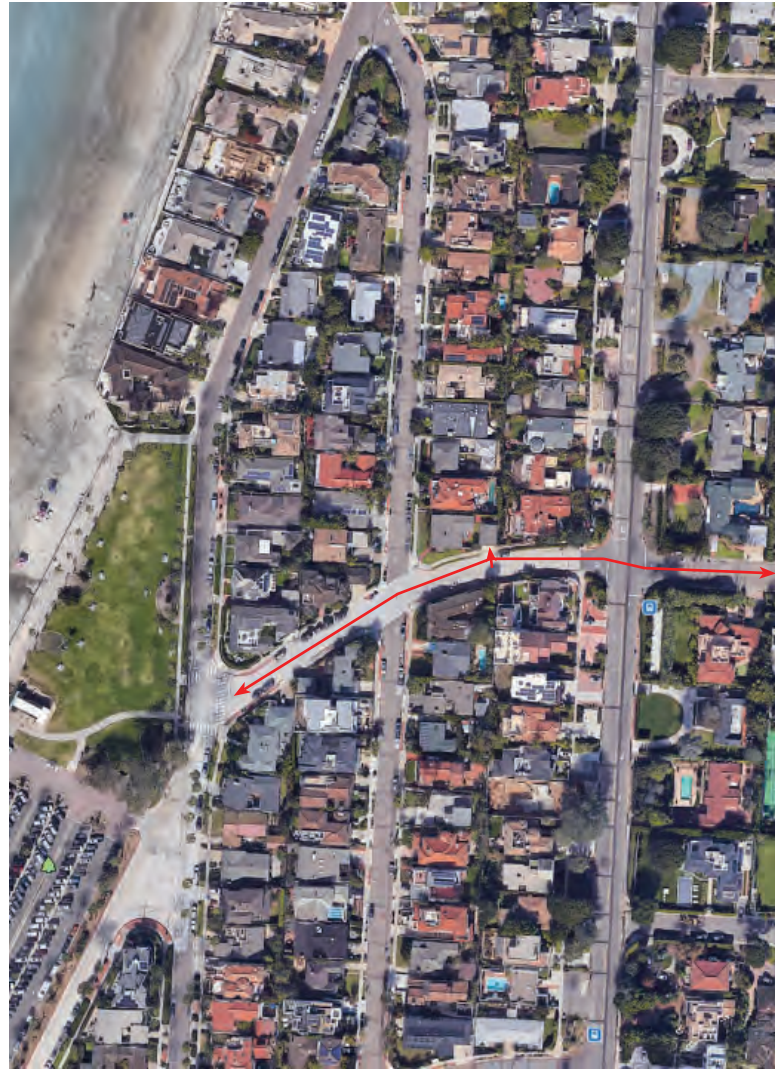
SUBTOTAL	4,478 SF
TOTAL BUILDING AREA COUNTED TOWARDS FAR	4,478 SF
SITE AREA	6,031 SF
FAR	.74



SITE VIEW LEGEND



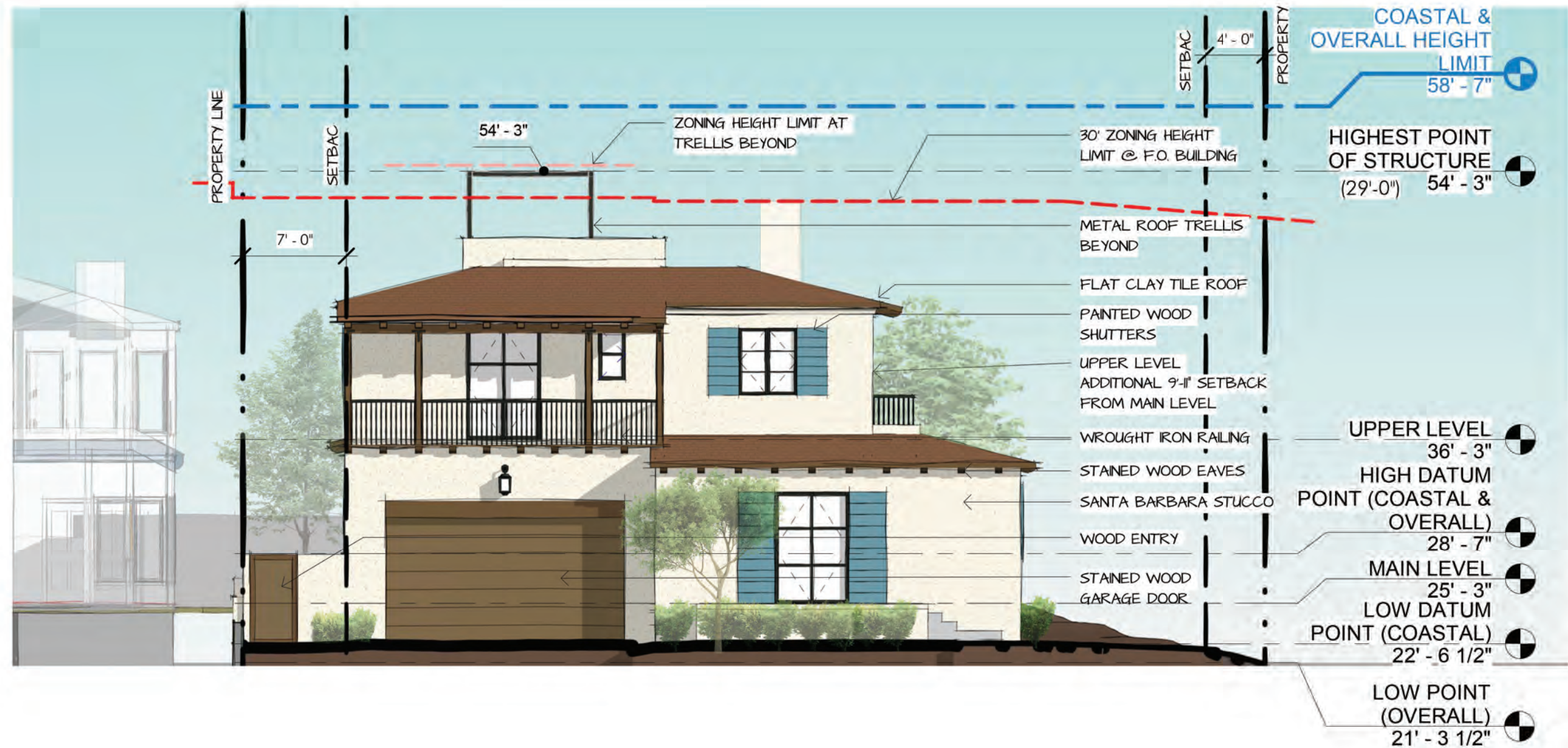
PASEO DEL OCASO LOOKING EAST



SITE VIEW LEGEND



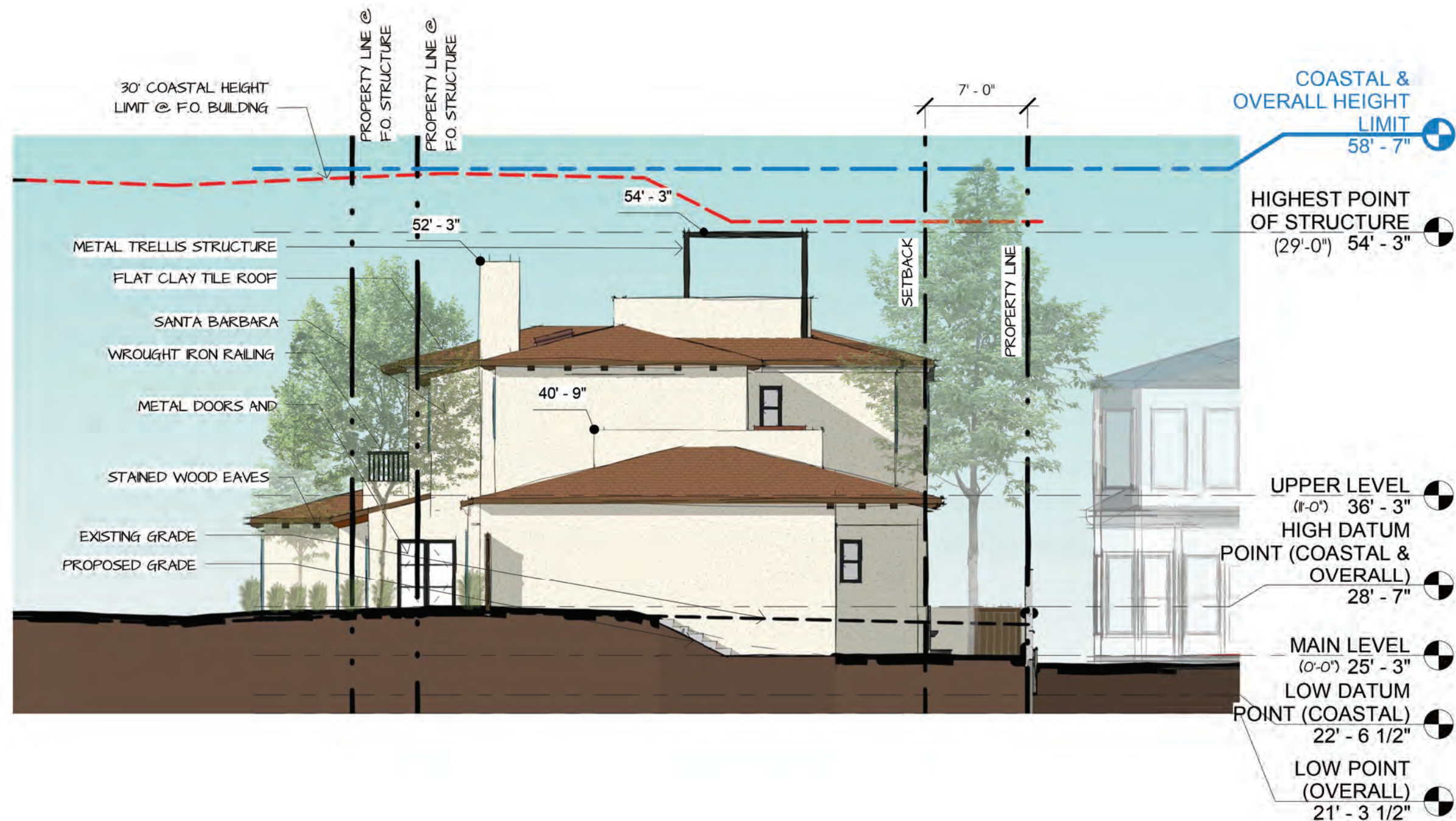
CAMINO DEL ORO LOOKING NORTH



WEST ELEVATION
Scale: 1/8" = 1'-0"



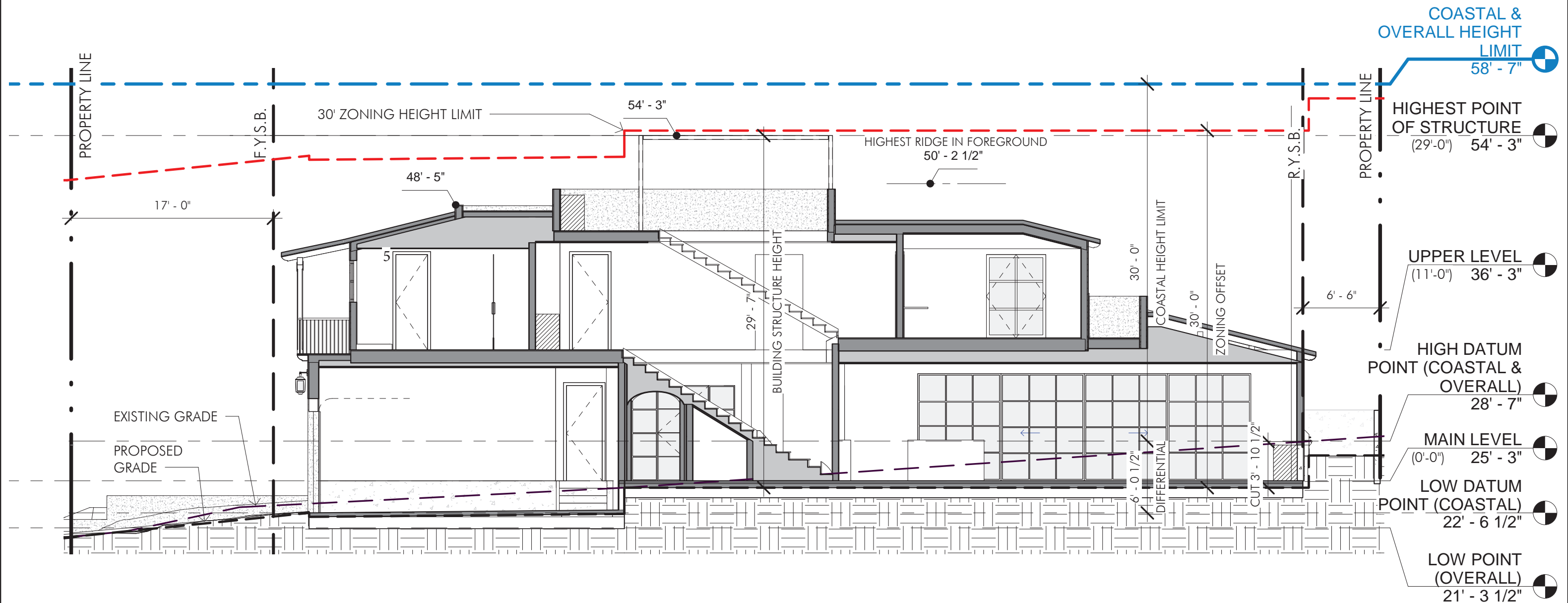
SOUTH ELEVATION
Scale: 1/8" = 1'-0"



EAST ELEVATION
Scale: 1/8" = 1'-0"



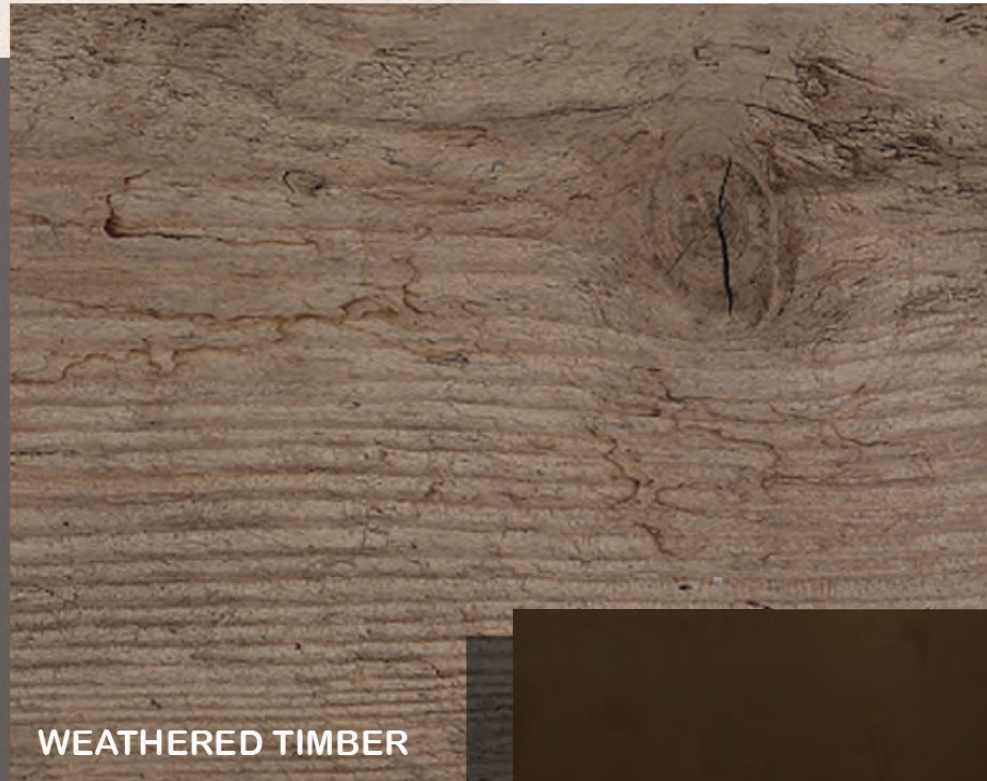
NORTH ELEVATION
Scale: 1/8" = 1'-0"



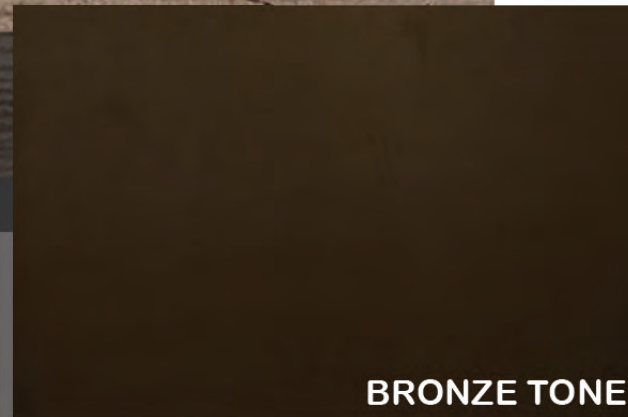
BUILDING SECTION
Scale: 1/8" = 1'-0"



FLAT CLAY TILE ROOF



WEATHERED TIMBER



BRONZE TONE

OFF WHITE SANTA BARBARA STUCCO

MATERIAL SAMPLES



MATERIAL CONCEPT

PROJECT INFORMATION

Address:
8405 Paseo Del Ocaso
La Jolla, CA 92037

Legal: 002061 BLK 29 LOT 18

Year Built: 1950

Zoning: LJSPD-SF

APN: 346-082-01-00

Lot Size: 6,031 SF

Proposed GFA: 4,478 sf

Overlay Zones:
Coastal Height Limit
Parking Impact
Coastal (Non-appealable area)
Residential Tandem Parking
La Jolla Shores Archeological Study Area

Geologic Hazard Category: 52

SQUARE FOOTAGE CALCULATIONS

Level	Habitable (sf)	Non-Habitable (sf)	Total Enclosed (sf)	Unenclosed Space (sf)	Total (sf)
Main Level	2,255	486	2,741	-	2,741
Upper Level	1,737	186	1,923	186	1,923
Total	3,992	672	4,664	186	4,664

COMPLIANCE CHART

Rules/ Regulations	Allowed	Proposed	Status
Height			
Ridge	30'-0"	23'-3"	Complies
Chimney	30'-0"	27'-7"	Complies
Roof Trellis	30'-0"	29'-7"	Complies
Setback			
Front Yard	N/A	17'-0"	Conforms
Street Side Yard	N/A	4'-0"	Increased
Interior Side Yard	N/A	7'-0"	Increased
Rear Yard	N/A	6'-6"	Increased
Lot Coverage			
Building Footprint	max. 3,619 sf / 60%	2,741 sf / 45%	Complies
Landscape	min. 1,809 sf / 30%	1,788 sf / 30%	Complies
Hardscape	N/A	1,502 sf / 25%	
FAR		0.74	

FAR CALCULATIONS

Location	Countable to GFA (sf)	Not Countable to GFA (sf)	Total (sf)
Garage	486	-	486
Habitable	3,992	-	3,992
Terrace	-	186	186
Total	4,478	186	4,664

COMPLIANCE SHEET

HICKS RESIDENCE

CDP, SDP PERMIT SET

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST

DEMOLITION OF EXISTING 1,771 SQ FT SINGLE FAMILY DWELLING AND GARAGE AND CONSTRUCTION OF NEW 4,651 SQ FT TWO STORY SINGLE FAMILY DWELLING PLUG 486 SQ FT GARGE AND RELATED SITE IMPROVEMENTS.

2. STREET ADDRESS

8405 PASEO DEL OCASO, LA JOLLA, CA 92037
(Check one) ☐ N ☐ S ☐ E ☐ W
Between CAMINO DEL ORO and EL PASEO GRANDE

3. SITE AREA

Total Site Area (gross): .138 Ac. 6,031 Sq. Ft.
Net Site Area Ac. Sq. Ft.
(Net site area includes required streets and public dedications)

4. COVERAGE DATA

Total Building Area (ground floor):	.063	Ac.	2,741 SF
Total Landscape/Open Space Area:	.041	Ac.	1,851 SF
Total Hardscape/Paved Area:	.034	Ac.	1,439 SF
Allowed Floor Area Ratio (FAR)	N/A	Gross Floor Area (GFA)	4,479 SF
Proposed Floor Area Ratio (FAR)	.74		

5. DENSITY (Residential)

Maximum no. dwelling units allowed per zone: 1
Number of existing units to remain on site: 0
Number of proposed dwelling units on site: 1
Total number of units provided on the site: 1

6. YARD/SETBACK

Front Yard:	Required	N/A	Proposed	17'-0"
Street Side Yard:	Required	N/A	Proposed	4'-0"
Interior Yard(s):	Required	N/A	Proposed	7'-0"
Rear Yard:	Required	N/A	Proposed	6'-6"

7. PARKING

Parking Criteria: ☒ Residential
(Check one) ☐ Commercial
☐ Industrial
☐ Mixed Use
☐ Other
Total number of spaces required by zone: 2
Total number of spaces provided on-site: 2 spaces

SCOPE OF WORK

DEMOLITION OF EXISTING 1,771 SQ FT SINGLE FAMILY DWELLING AND GARAGE AND CONSTRUCTION OF NEW 4,651 SQ FT TWO STORY SINGLE FAMILY DWELLING PLUG 486 SQ FT GARGE AND RELATED SITE IMPROVEMENTS.

PROJECT INFORMATION

OWNER	GROSS SITE AREA	APPROVAL
TOM O. & CINDA C. HICKS 1918 N. OLIVE STREET #3001 DALLAS, TX 75201	6,031	
SITE ADDRESS	PARKING REQUIREMENTS	
8405 PASEO DEL OCASO, LA JOLLA, CA 92037	2	
A.P.N. 346-082-01-00	YEAR BUILT	
	1950	
ZONE LSPD-SF	MAX BUILDING HEIGHT	
	30'	
LEGAL DESCRIPTION	NUMBER OF STORIES	OCCUPANCY
002061 BLK 29 LOT 18	2	R-3

FAR CALCULATIONS

BUILDING AREA CALCULATION

MAIN LEVEL	2,741 SF
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SUBTOTAL	4,478 SF
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SITE AREA	6,031 SF
FAR	.74

PLAN ANALYSIS

TYPE OF CONSTRUCTION

TYPE VB

APPLICABLE CODES

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE

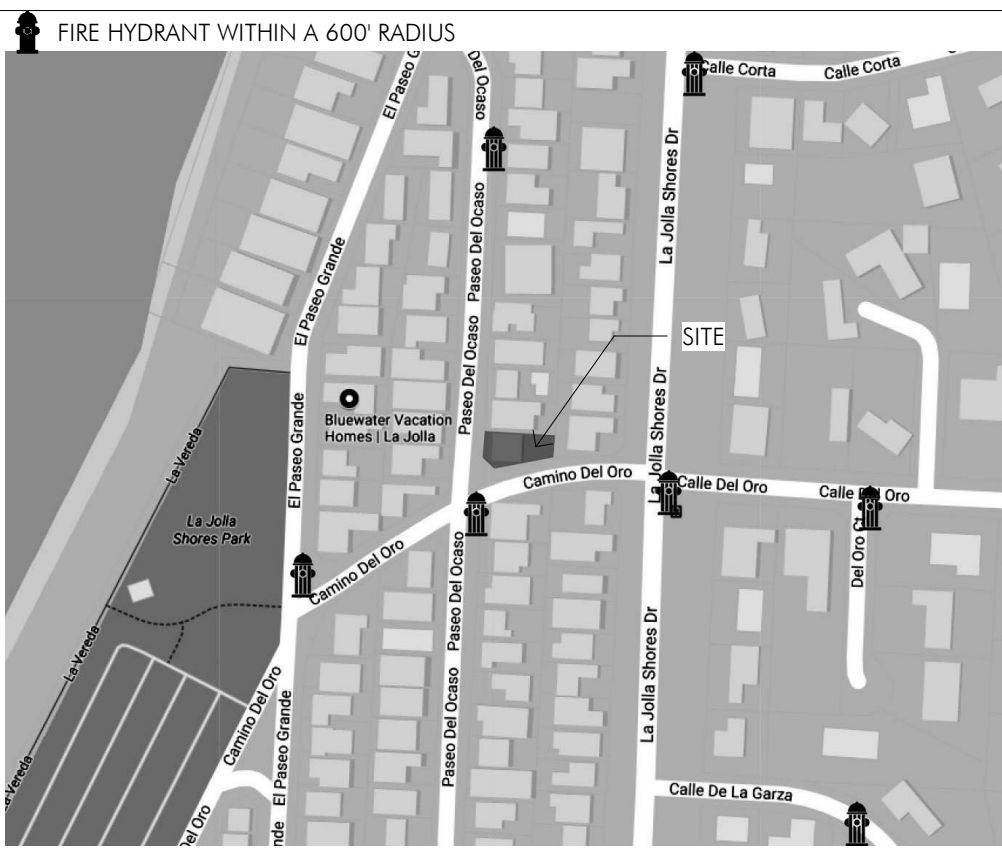
THIS PROJECT SHALL COMPLY WITH THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24), WHICH ADOPTS THE 2012 IBC, 2009 UPC, 2012 UMC, 2011 NEC, 2012 IFC AND IBC

THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE (ORD. 113531S)

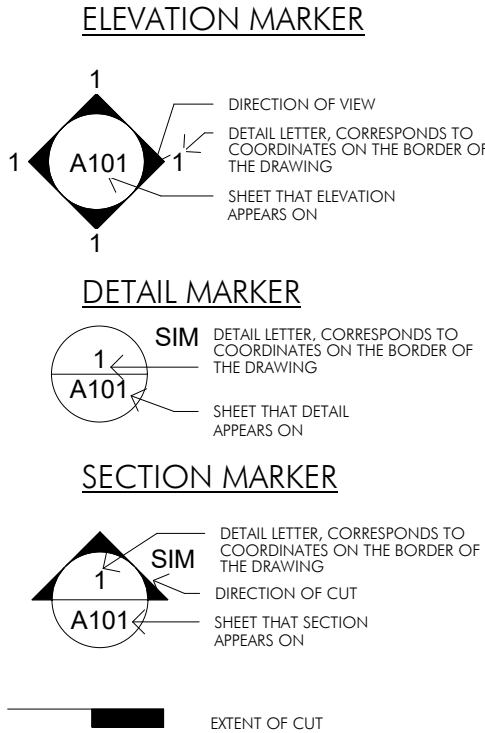
ALL REQ. PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPIED.

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO

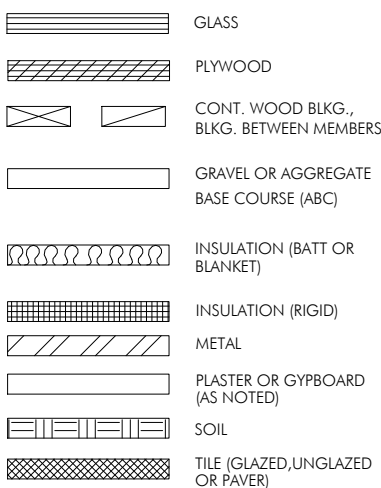
VICINITY MAP



SYMBOLS AND LEGEND



OTHER



WINDOW TYPE INDICATOR



DOOR TYPE INDICATOR



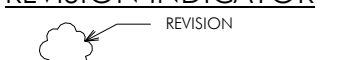
MATCH LINE/DATUM POINT



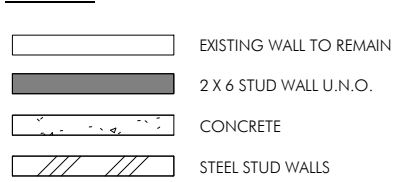
REVISION INDICATOR



REVISION INDICATOR



WALLS



PARCEL INFORMATION

Base Zone: LSPD-SF Planned District (if applicable): LA JOLLA SHORES

Overlays (check all that apply):

Coastal Height Limit ☐ ☐ Coastal (Non-applicable Area) ☐ ☐ Parking Impact
Coastal (Non-applicable Area) ☐ ☐ Residential Tandem Parking
La Jolla Shores Archaeological Study Area ☐ ☐

Environmentally Sensitive Lands: Does the project site contain or is it adjacent to any site that contains any of the Environmentally Sensitive Lands as identified in Municipal Code Section 113.01033?
[] Yes [x] No Sensitive Biologic Resources [] Yes [x] No Sensitive Coastal Bluffs
[] Yes [x] No Steep Hillsides [] Yes [x] No 100-Year Floodplain
[] Yes [x] No Coastal Beaches

Historical District: [] Yes [x] No (if yes) Name: _____

Designated Historic: [] Yes [x] No

Geologic Hazard Categories: 52 Earthquake Fault Buffer? [] Yes [x] No

Airports:

FAR Part 77 Notification Area [] Yes [x] No (If yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)

CONSULTANTS

ARCHITECTS

TONY CRISAFI
ISLAND ARCHITECTS
7626 HERSCHEL AVENUE
LA JOLLA, CALIFORNIA 92037
PH: (858) 459-9291
FAX (858) 456-0351
PROJECT MANAGER: HALEY DUKE

CIVIL ENGINEER/ SURVEYOR

PASCO LARET SUITER & ASSOCIATES
535 HWY 101
SOLANA BEACH, CA 92075
PH: (858) 859-8212
CONTACT:
SURVEYOR: PAUL GOEBEL
CIVIL ENGINEER: JUSTIN SUITER

SOILS ENGINEER

GEOTECHNICAL EXPLORATION INC. (GEI)
7420 TRADE STREET
SAN DIEGO, CA 92121
PH: (858) 549-7222
FAX (858) 549-1604
CONTACT: JAY HEISER

DRAWING INDEX

TITLE SHEETS

T1 TITLE SHEET

CIVIL

C1.1 DRAINAGE & GRADING PLAN
C1.2 STORMWATER BMP FORMS

ARCHITECTURAL

A1.1 SITE PLAN
A1.3 AREA CALCULATIONS
A2.1 MAIN LEVEL PLAN
A2.2 UPPER LEVEL PLAN
A2.3 ROOF PLAN
A4.1 EXTERIOR ELEVATIONS
A4.2 EXTERIOR ELEVATIONS
A5.1 SITE SECTIONS

CITY STANDARD TITLE BLOCK

Prepared By:

Name: Island Architects

Contact: Nick Wilson

7626 Herschel Avenue

La Jolla, CA 92037

Phone: (858) 459-9291

Street Address: 8405 PASEO DEL OCASO

Project Name: HICKS RESIDENCE

Sheet Title: TITLE SHEET

Revision 08: _____

Revision 07: _____

Revision 06: _____

Revision 05: _____

Revision 04: _____

Revision 03: 04/24/2020

Revision 02: 09/13/2019

Revision 01: 08/09/2018

Original Date: 07/19/2017

Sheet: 1 of 11

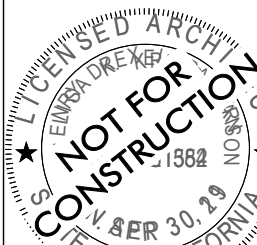
DEP#: _____

HICKS RESIDENCE
8405 PASEO DEL OCASO

T1

TITLE SHEET

01.27.2021



Copyright Island Architects 2019

JOB #: 6070

DRAWN BY: T. SANSHEY

PROJ. MGR: H. DUKE

DATE: 07/19/2017

ISSUE: 08/09/2018

09/13/2019

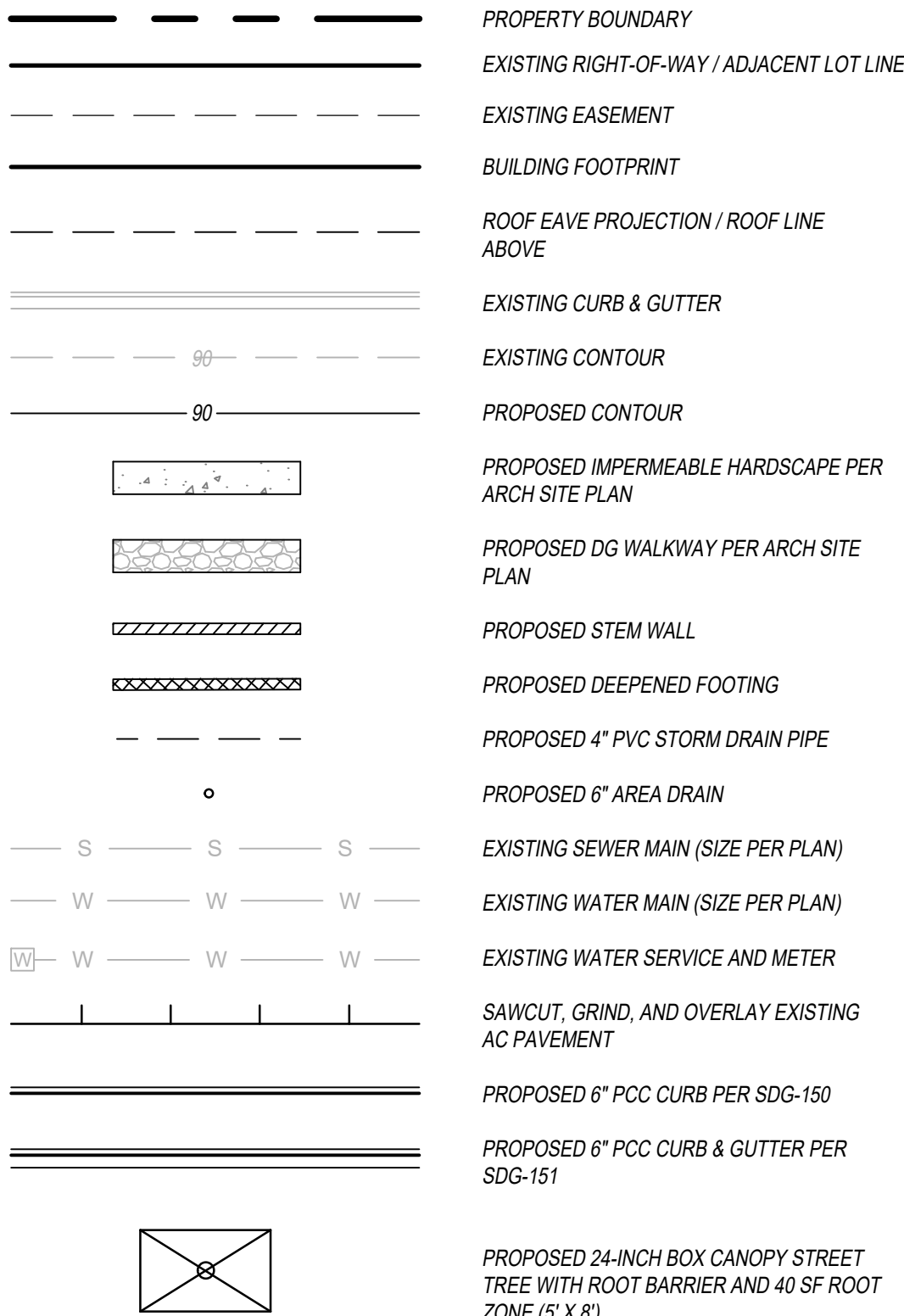
04/24/2020

09/18/2020

REVISIONS

DESCRIPTION DATE

LEGEND



ABBREVIATIONS

FS = FINISHED SURFACE
FG = FINISHED GRADE
FL = FLOWLINE
GF = FACE OF GARAGE ELEVATION
HP = HIGH POINT
IE = INVERT ELEVATION
TG = TOP OF GRATE
TW = TOP OF WALL AT FINISHED GRADE
BW = BOTTOM OF WALL AT FINISHED GRADE
TF = TOP OF FOOTING
WF = WATER FEATURE
LA = LANDSCAPED AREA

IMPERVIOUS AREA SUMMARY

TOTAL SITE AREA: 6,031 SF (0.138 AC)
TOTAL DISTURBED AREA: 6,031 SF (0.138 AC)
PROPOSED IMPERVIOUS AREA: 4,180 SF (0.096 AC)
PROPOSED LANDSCAPE AREA: 1,851 SF (0.042 AC)
% IMPERVIOUS AREA: 69%
% LANDSCAPE AREA: 31%

EASEMENT NOTES

- [5] EXISTING 6' WIDE PRIVATE EASEMENT AS SHOWN ON MAP 2061; ORIGINAL INTENTION OF EASEMENT AND GRANTEE UNKNOWN
- [7] AN EXISTING EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED DECEMBER 28, 1926 AS BOOK 1305, PAGE 79 OF O.R. (PLOTS OFFSITE)
- [8] AN EXISTING EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED MARCH 1, 1930 AS BOOK 1736, PAGE 425 OF O.R. (NOT PLOTTABLE)

EARTHWORK

TOTAL PROJECT SITE: OUTSIDE OF BUILDING FOOTPRINT:
CUT = 200 CY
FILL = 40 CY
EXPORT = 160 CY
CUT = 105 CY
FILL = 35 CY
EXPORT = 70 CY

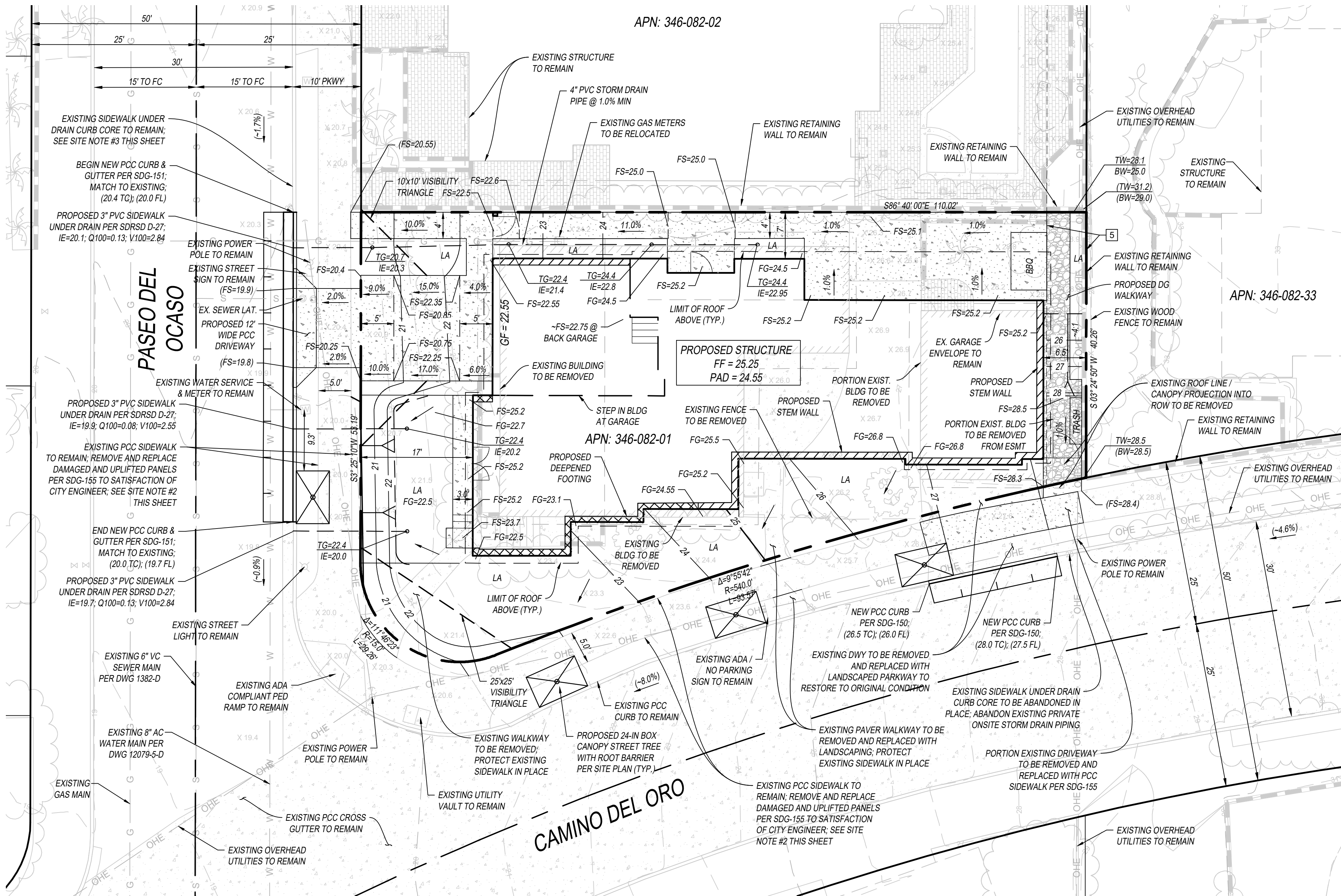
MAX DEPTH OF CUT = 4.0 FT
MAX DEPTH OF FILL = 3.5 FT
MAX DEPTH OF CUT = 4.0 FT
MAX DEPTH OF FILL = 3.5 FT

*EARTHWORK QUANTITIES MAY VARY DUE TO SHRINKAGE AND SWELLING OF SOILS

ALL EXPORT MATERIAL SHALL BE DISCHARGE TO A LEGAL DISPOSAL SITE; THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

DRAINAGE AND GRADES PLAN

8405 PASEO DEL OCASO



PLAN VIEW - DRAINAGE AND GRADES PLAN

SCALE: 1" = 10' HORIZONTAL

AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE NOTE

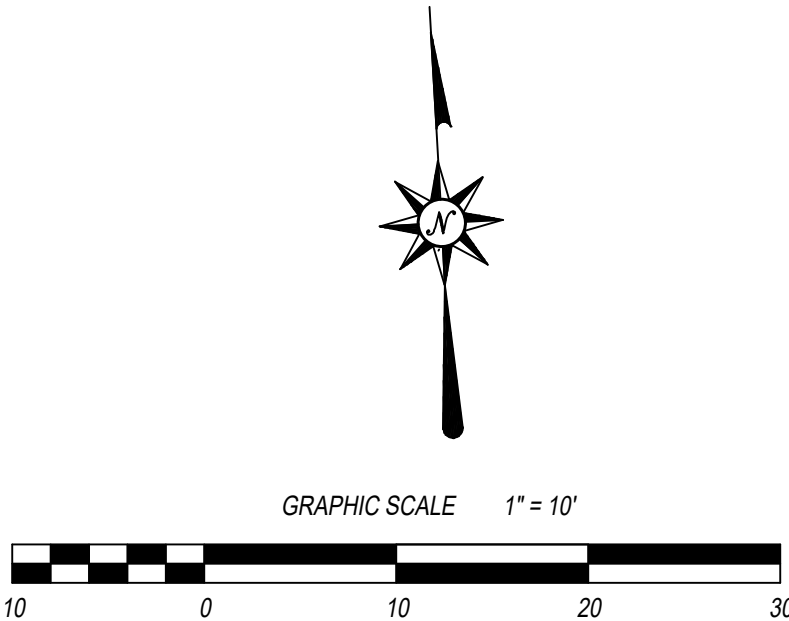
THIS PROJECT IS LOCATED WITHIN THE ASBS AREA. APPLICANT / PERMITEE SHALL COMPLY WITH ALL THE ASBS REQUIREMENTS AND THE MS4, STORM WATER REGULATIONS / REQUIREMENTS

SITE NOTES

- EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY
- REMOVE AND REPLACE EXISTING PCC CURB, GUTTER & SIDEWALK DISTURBED BY PROJECT AND PROPOSED SIDEWALK UNDER DRAIN PIPES PER SDG-151 AND SDG-155; MATCH TO EXISTING IMPROVEMENTS. DISTURBED AREA SHALL BE FROM PCC SIDEWALK JOINT TO JOINT PER SDG-156. REMOVE AND REPLACE ANY DAMAGED / UPLIFTED SIDEWALK PANELS ADJACENT TO SITE IN PUBLIC RIGHT-OF-WAY PER SDG-155, MAINTAINING EXISTING SIDEWALK SCORING PATTERN
- EXISTING SIDEWALK UNDER DRAIN / CURB CORE SHOWN FOR NEIGHBORING PROPERTY TO NORTH ALONG PASEO DEL OCASO AND ADJACENT PRIVATE DRAINAGE SYSTEM FOR APN:346-082-02. SIDEWALK UNDER DRAIN IS NOT CONNECTED TO PROPOSED DRAINAGE SYSTEM OF SUBJECT PROPERTY.

LANDSCAPE / STREET TREE NOTES

- NON-BIODEGRADABLE TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP (SERIES ONLY) AROUND THE ROOT BALL.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 8 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE SECTION 142.0403(B)(11)
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SECTION 142.0403(B)(5).
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE REGULATED CITY AND REGIONAL STANDARDS.
- MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET (5 FEET FOR RESIDENTIAL STREETS < 25 MPH)
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



VISIBILITY AREA NOTE

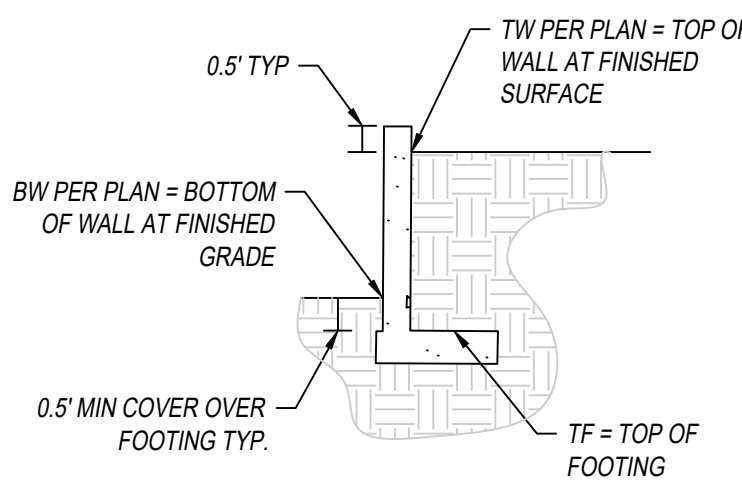
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN THE VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

TOPOGRAPHY / SURVEY NOTE

SURVEY COMPLETED BY: PASCO, LARET, SUTTER & ASSOCIATES
535 N. HIGHWAY 101, SUITE A
SOLANA BEACH, CA 92075
DATE SURVEYED: JUNE 15, 2016

BENCHMARK

BRASS PLUG FOUND IN THE SOUTHEASTERLY CURB OF CAMINO DEL COLLADO AND EL PASEO GRANDE; ELEVATIONS SHOWN HEREON BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BOOK ELEVATION: 37.886;
DATUM: CITY MEAN SEA LEVEL DATUM



TYPICAL DETAIL - RETAINING WALL

NOT TO SCALE

CITY STANDARD TITLE BLOCK

PREPARED BY: Pasco, Laret, Sutter & Assoc.
Contact: Tyler Lawson
535 N. Hwy 101, Suite A
Solana Beach, CA 92075
Phone: (858) 259-8212
Street Address: 8405 Paseo Del Ocaso
La Jolla, CA 92037
Project Name: Hicks Residence
Sheet Title: Drainage and Grades Plan
Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 09: _____
Revision 08: _____
Revision 07: _____
Revision 06: _____
Revision 05: _____
Revision 04: _____
Revision 03: _____
Revision 02: _____
Revision 01: _____
Original Date: 06/29/2017
Sheet: 2 of 11
DEP#: _____

PASCO LARET SUTTER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com



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JOB #: PLSA 2564
DRAWN BY: BAK
PROJ. MGR.: TOL
DATE: ISSUE:

REVISIONS	DATE
#	DESCRIPTION

HICKS RESIDENCE
8405 PASEO DEL OCASO

C1.1
DRAINAGE AND GRADES PLAN

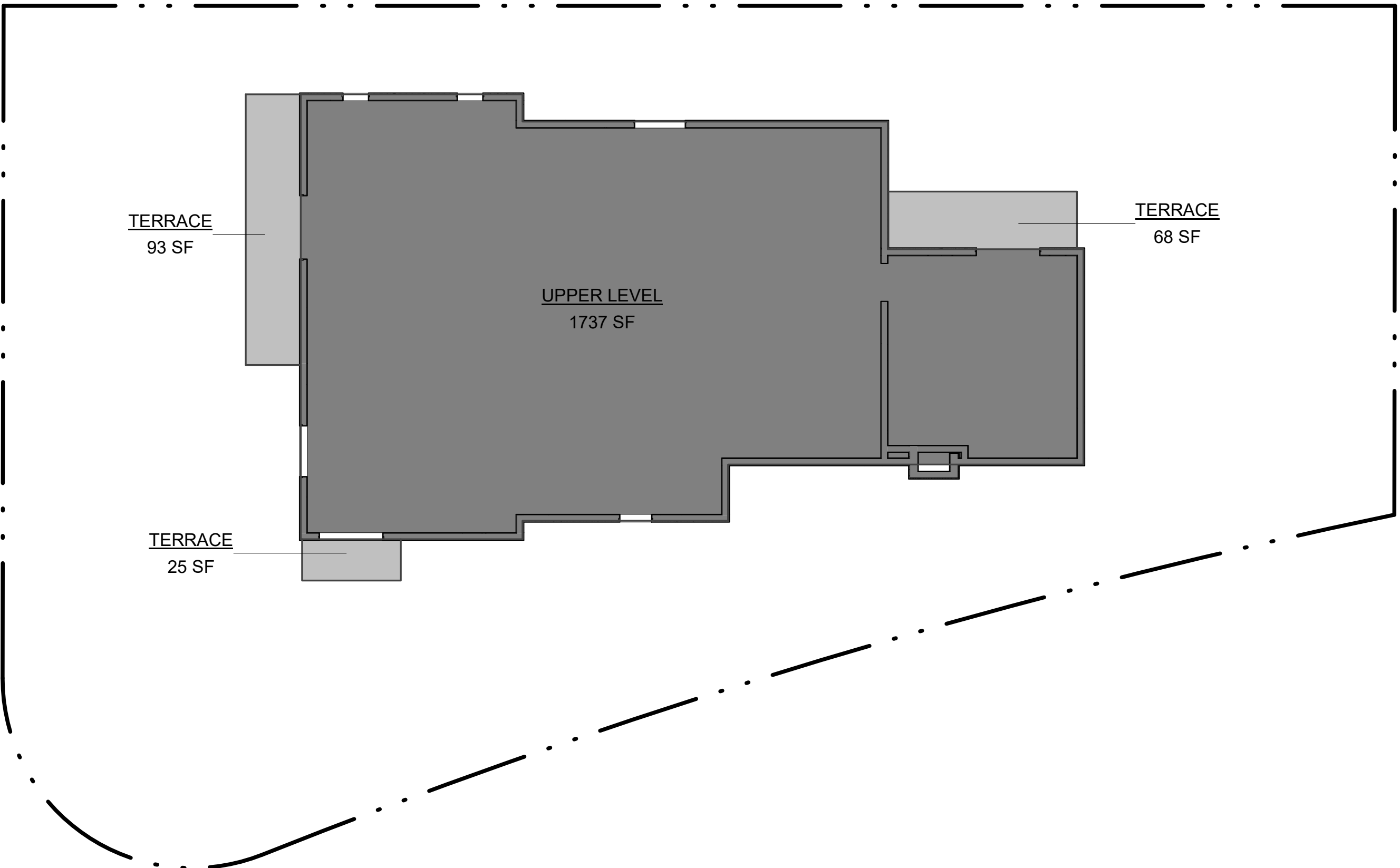


AREA LEGEND

INCLUDED IN GFA

MAIN LEVEL 1/8" = 1'-0"

2

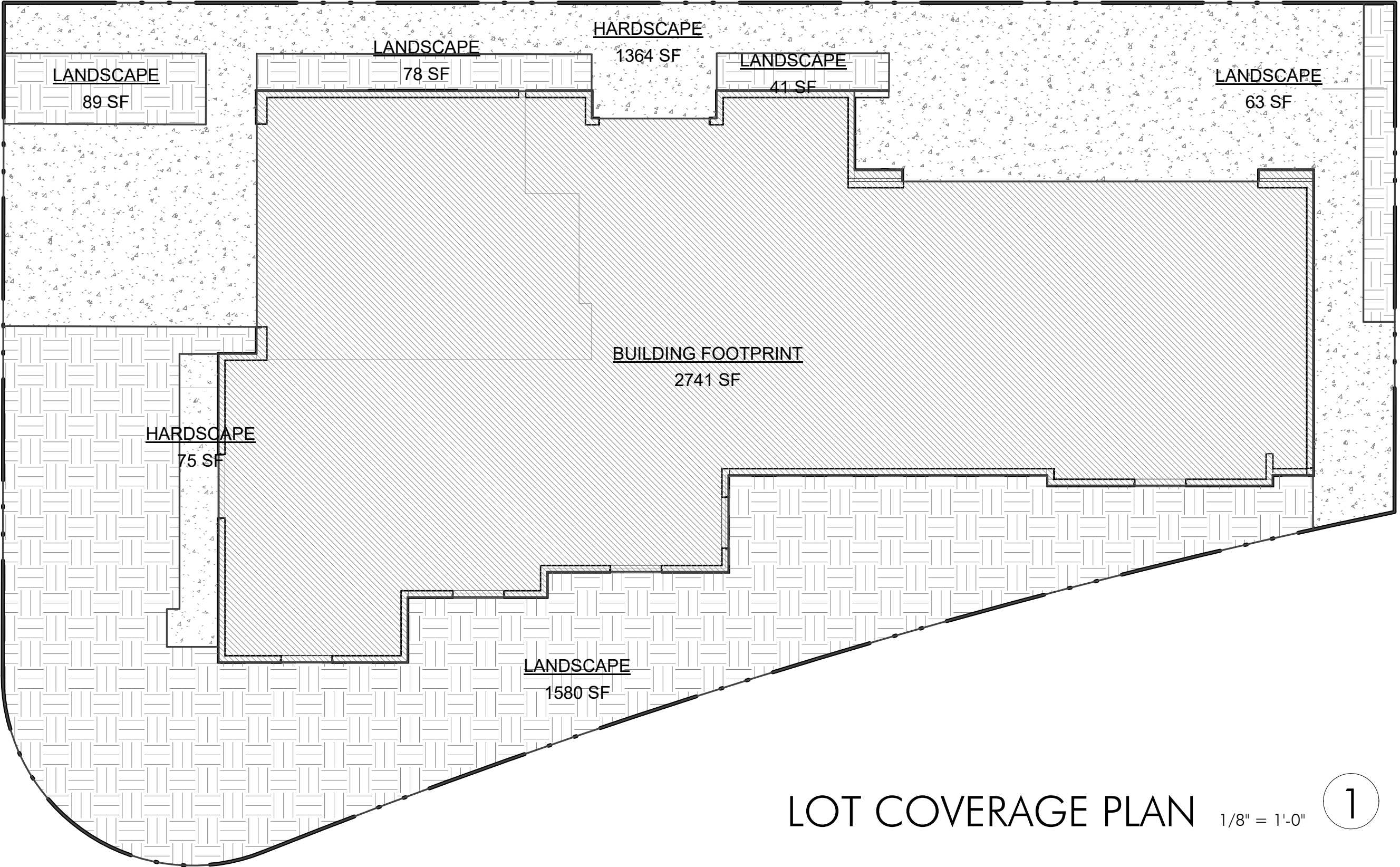


AREA LEGEND

EXCLUDED FROM GFA
INCLUDED IN GFA

UPPER LEVEL 1/8" = 1'-0"

3



SITE COVERAGE LEGEND

BUILDING FOOTPRINT
HARDSCAPE
LANDSCAPE

LOT COVERAGE PLAN 1/8" = 1'-0"

1

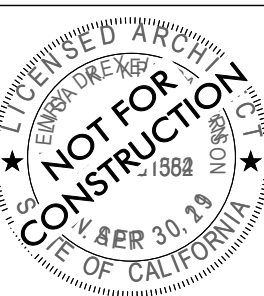
AREA SCHEDULE		
BUILDING FOOTPRINT	2,741 SF	45%
LANDSCAPE/ PERVIOUS AREA	1,851 SF	31%
HARDSCAPE	1,439 SF	24%
LOT TOTAL:	6,031 SF	100%

BUILDING AREA CALCULATION		
MAIN LEVEL		
LIVING AREA	2,255 SF	
GARAGE AREA	486 SF	
UPPER LEVEL		
LIVING AREA	1,737 SF	
TERRACE	186 SF	
EXCLUDED FROM GFA		
TERRACE (SDMC 113.0234)	<186 SF>	
SUBTOTAL	4,478 SF	
TOTAL BUILDING AREA COUNTED TOWARDS FAR	4,478 SF	
SITE AREA	6,031 SF	
FAR		.74

CITY STANDARD TITLE BLOCK

Prepared By:		
Name:	Island Architects	Revision 08: _____
Contact:	Nick Wilson	Revision 07: _____
7626 Herschel Avenue		Revision 06: _____
La Jolla, CA 92037		Revision 05: _____
Phone:	(858) 459-9291	Revision 04: _____
Street Address:	8405 PASEO DEL OCASO	Revision 03: 04/24/2020
		Revision 02: 09/13/2019
Project Name:	HICKS RESIDENCE	Revision 01: 08/09/2018
		Original Date: 07/19/2017
Sheet Title:	AREA CALCULATIONS	Sheet: 5 of 11
		DEP#: _____

ISLAND ARCHITECTS
TONY CRISAFI, LISA KRIEDEMANN, R.A.
7626 HERSCHEL AVENUE
LA JOLLA, CA 92037
TEL: 858-459-9291 FAX: 858-456-0351



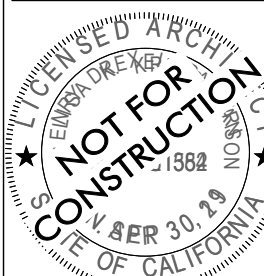
DATE	ISSUE
07/19/2017	
08/09/2018	
09/13/2019	
04/24/2020	
09/18/2020	

#	DESCRIPTION	DATE
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HICKS RESIDENCE
8405 PASEO DEL OCASO

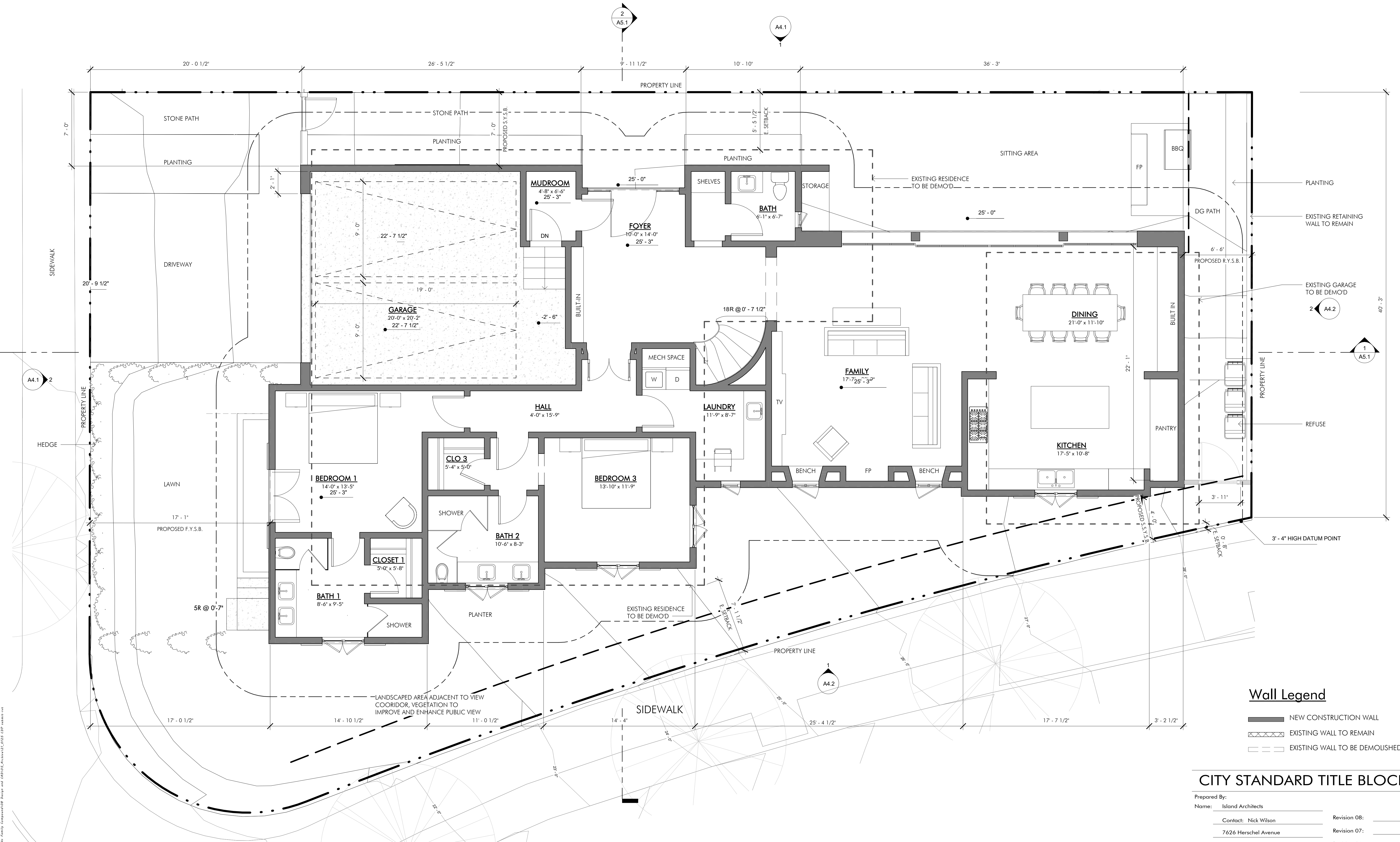
A1.3

AREA CALCULATIONS
01.27.2021



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DATE: 07/19/2017
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04/24/2020
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Wall Legend

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

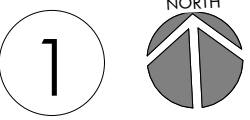
CITY STANDARD TITLE BLOCK

Prepared By: _____
Name: Island Architects
Contact: Nick Wilson
7626 Herschel Avenue
La Jolla, CA 92037
Phone: (858) 459-9291
Street Address: 8405 PASEO DEL OCASO
Project Name: HICKS RESIDENCE
Sheet Title: MAIN LEVEL PLAN

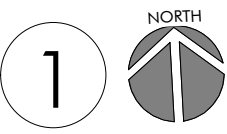
Revision 08: _____
Revision 07: _____
Revision 06: _____
Revision 05: _____
Revision 04: _____
Revision 03: 04/24/2020
Revision 02: 09/13/2019
Revision 01: 08/09/2018
Original Date: 07/19/2017

Sheet: 6 of 11
DEP#:

MAIN LEVEL PLAN 1/4" = 1'-0"



T:\Hicks_Family_Corresponding\02 Drawings and 3D\1050_Hicks_Residence\2018\0218_CSP_Main.mxd
12/22/2021 7:47:19 AM
RUST DMS AND DMS



Prepared By: _____	
Name: _____	Island Architects

Contact: Nick Wilson	Revision 08: _____

7626 Herschel Avenue	Revision 07: _____

La Jolla, CA 92037	Revision 06: _____

Phone: (858) 459-9291	Revision 05: _____

Street Address: _____	Revision 04: _____

8405 PASEO DEL OCASO	Revision 03: <u>04/24/2020</u>

_____	Revision 02: <u>09/13/2019</u>

Project Name: _____	Revision 01: <u>08/09/2018</u>

HICKS RESIDENCE	Original Date: <u>07/19/2017</u>

Sheet Title: _____	

UPPER LEVEL PLAN	Sheet: <u>7</u> of <u>11</u>
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#	DESCRIPTION	DATE

ROOF NOTES:

1. ALL RIDGE DIMENSIONS ARE CALLED OUT TO TOP OF SHEATHING
2. ALL ELEVATIONS LOCATED AT EDGE OF WALLS ARE TO TOP OF PLATE
3. ALL PLATE HTS. ARE TAKEN ABOVE MAIN LEVEL F.F. =0'-0" (EL. + ____')
4. DIMENSIONS SHOWN AT CHIMNEY CAPS ARE TO FINISH MATERIAL
5. ALL SKYLIGHTS TO BE FLAT, TINTED GLAZING & BRONZE FRAME SKYLIGHT.
6. RADIANT BARRIER SHEATHING TO BE USED OVER INTERIOR & ATTIC SPACES

- = DOWN SPOUT LOCATIONS
□ = SCUPPER LOCATIONS

SPECIFICATIONS

ROOFING TILE TO BE: **A COLOR BLEND OF 2-PIECE (PAN & BARREL) CLAY TILE**. (ARCHITECT TO SELECT COLOR). INSTALL OVER A CLASS 'A' ROOFING ASSEMBLY OF 2 LAYERS OF 40# ASPHALT IMPREGNATED FELT WITH HOT MOPPED ASPHALT BETWEEN LAYERS AND ON TOP. BARREL TILES TO BE FASTENED WITH APPROVED WIRE TIES. **ROOFING TILE ICBO# 4300**

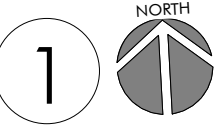
APPLICATION OF ROOFING

1. ROOFING TILE TO BE **2-PIECE, MISSION TILE BY REDLANDS TILE ICC# 538-1482** (ARCHITECT TO SELECT COLOR). INSTALL OVER A CLASS 'A' ROOFING ASSEMBLY OF 2 LAYERS OF 40# ASPHALT IMPREGNATED FELT WITH HOT MOPPED ASPHALT BETWEEN LAYERS AND ON TOP. ROOF TILES TO BE FASTENED WITH APPROVED WIRE TIES.
2. FLAT ROOF TO BE MIN. CLASS 'A' B.U.R.
3. ARCHITECT TO SPECIFY TILE BLEND. ROOFER TO LAY OUT ONE SQUARE 10' X 10' AREA FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.
4. **OHAGIN CLAY 15" VENT TILES (ICBO # 5214)** TO BE USED TO MEET VENTING AREA REQUIREMENTS PER CODE AS CALCULATED BELOW, HALF OF THE REQUIRED VENTS TO BE LOCATED AT LEAST 36" ABOVE THOSE LOCATED NEAR THE EAVES. PRIMARY VENT IS INSTALLED IN ROOF SHEATHING; SECONDARY VENT IS INSTALLED OVER PRIMARY VENT & PAINTED TO MATCH SURROUNDING TILES.

PROPOSED ROOF WILL NOT ENCR OACH INTO PUBLIC RIGHT OF WAY, FINAL OVERHANG DIMENSION FIELD VERIFIED PER MATERIAL SELECTION AND GUTTER TYPE

ROOF PLAN

1/4" = 1'-0"



CITY STANDARD TITLE BLOCK

Prepared By:

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Contact: Nick Wilson

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Street Address: 8405 PASEO DEL OCASO

Project Name: HICKS RESIDENCE

Sheet Title:

ROOF PLAN

Revision 08:

Revision 07:

Revision 06:

Revision 05:

Revision 04:

Revision 03: 04/24/2020

Revision 02: 09/13/2019

Revision 01: 08/09/2018

Original Date: 07/19/2017

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A4.1 2

A4.1 1

A4.2 2

A4.2 1



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09/13/2019
04/24/2020
09/18/2020

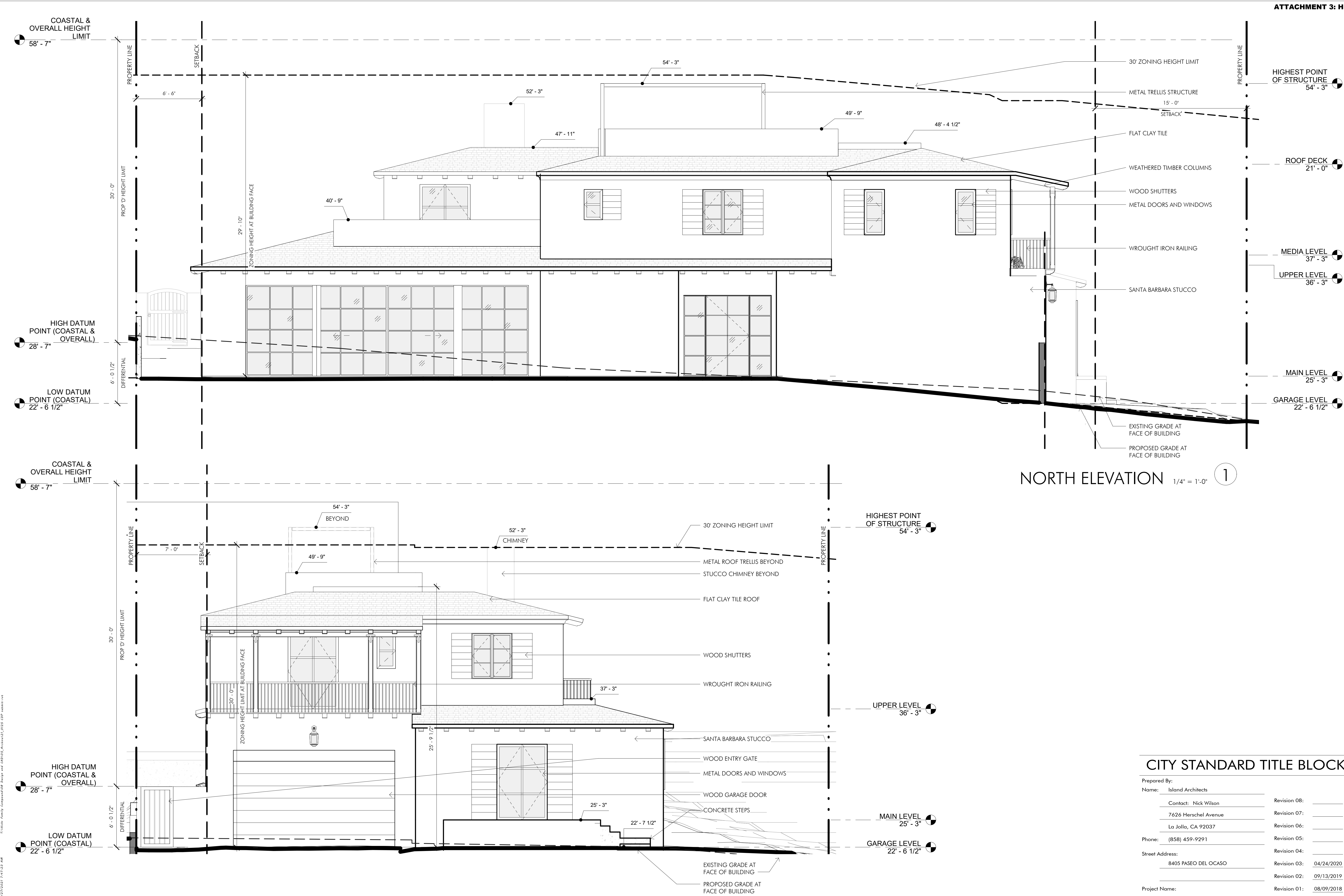
REVISIONS		
#	DESCRIPTION	DATE

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	7626 Herschel Avenue	Revision 06:	
	La Jolla, CA 92037	Revision 05:	
Phone:	(858) 459-9291	Revision 04:	
Street Address:	8405 PASEO DEL OCASO	Revision 03:	04/24/2020
		Revision 02:	09/13/2019
Project Name:	HICKS RESIDENCE	Revision 01:	08/09/2018
		Original Date:	07/19/2017
Sheet Title:	EXTERIOR ELEVATIONS	Sheet:	9 of 11
		DEP#:	

NORTH ELEVATION 1/4" = 1'-0" 1

WEST ELEVATION 1/4" = 1'-0" 2





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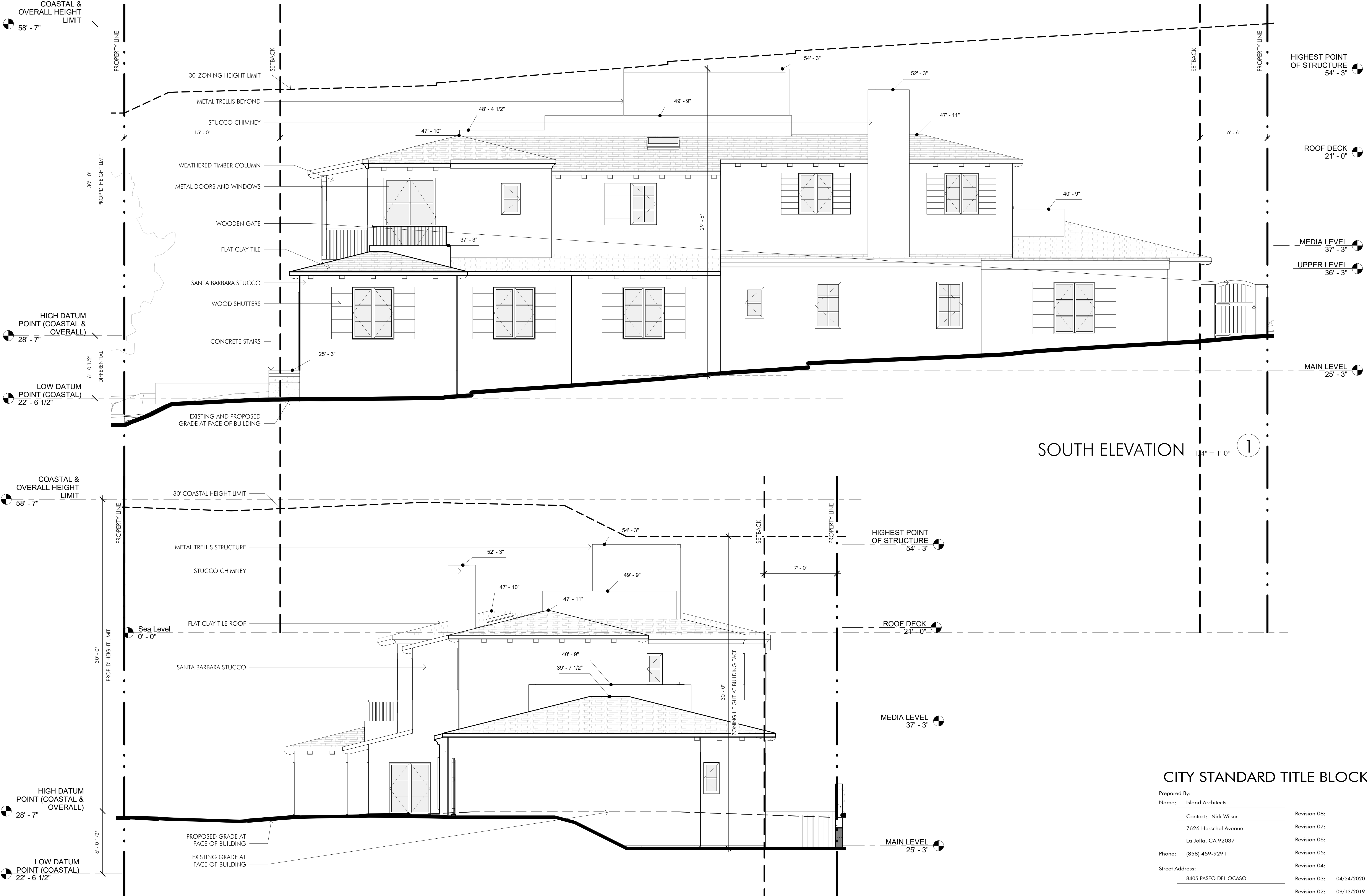
Prepared By:	Island Architects	Revision 08:	
Name:	Contact: Nick Wilson	Revision 07:	
	7626 Herschel Avenue	Revision 06:	
	La Jolla, CA 92037	Revision 05:	
Phone:	(858) 459-9291	Revision 04:	
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Project Name:	HICKS RESIDENCE	Revision 01:	08/09/2018
		Original Date:	07/19/2017
Sheet Title:	EXTERIOR ELEVATIONS	Sheet:	10 of 11
		DEP#:	

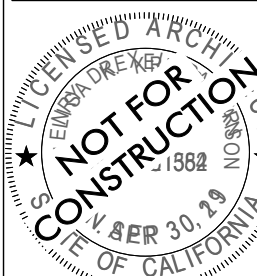
SOUTH ELEVATION

1

EAST ELEVATION

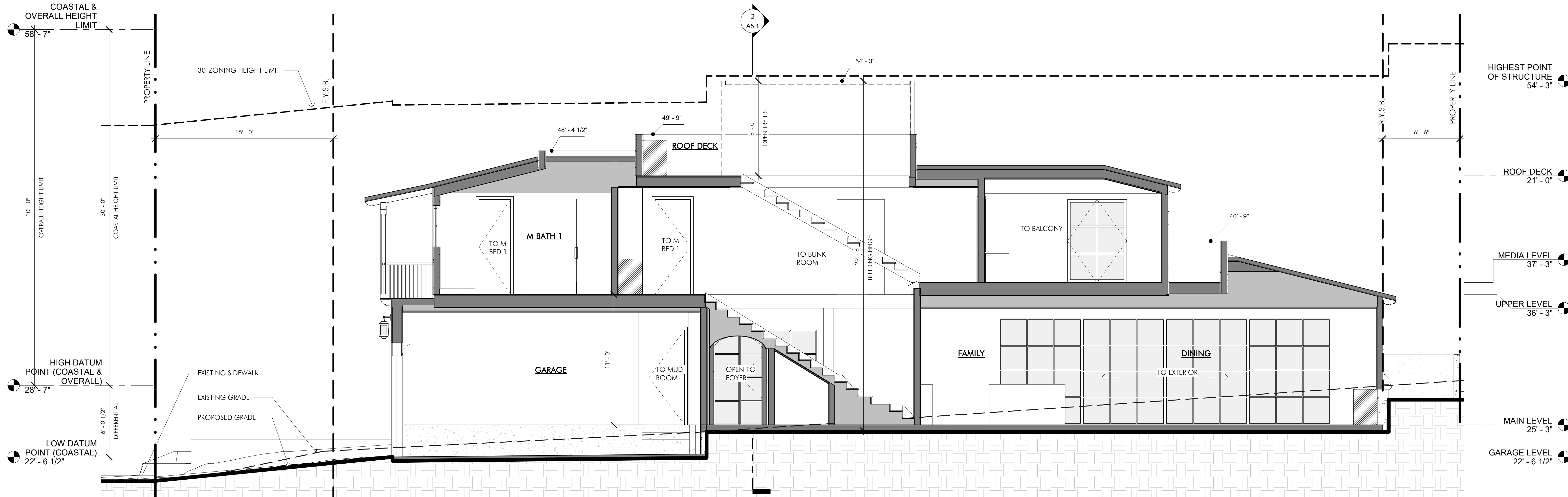
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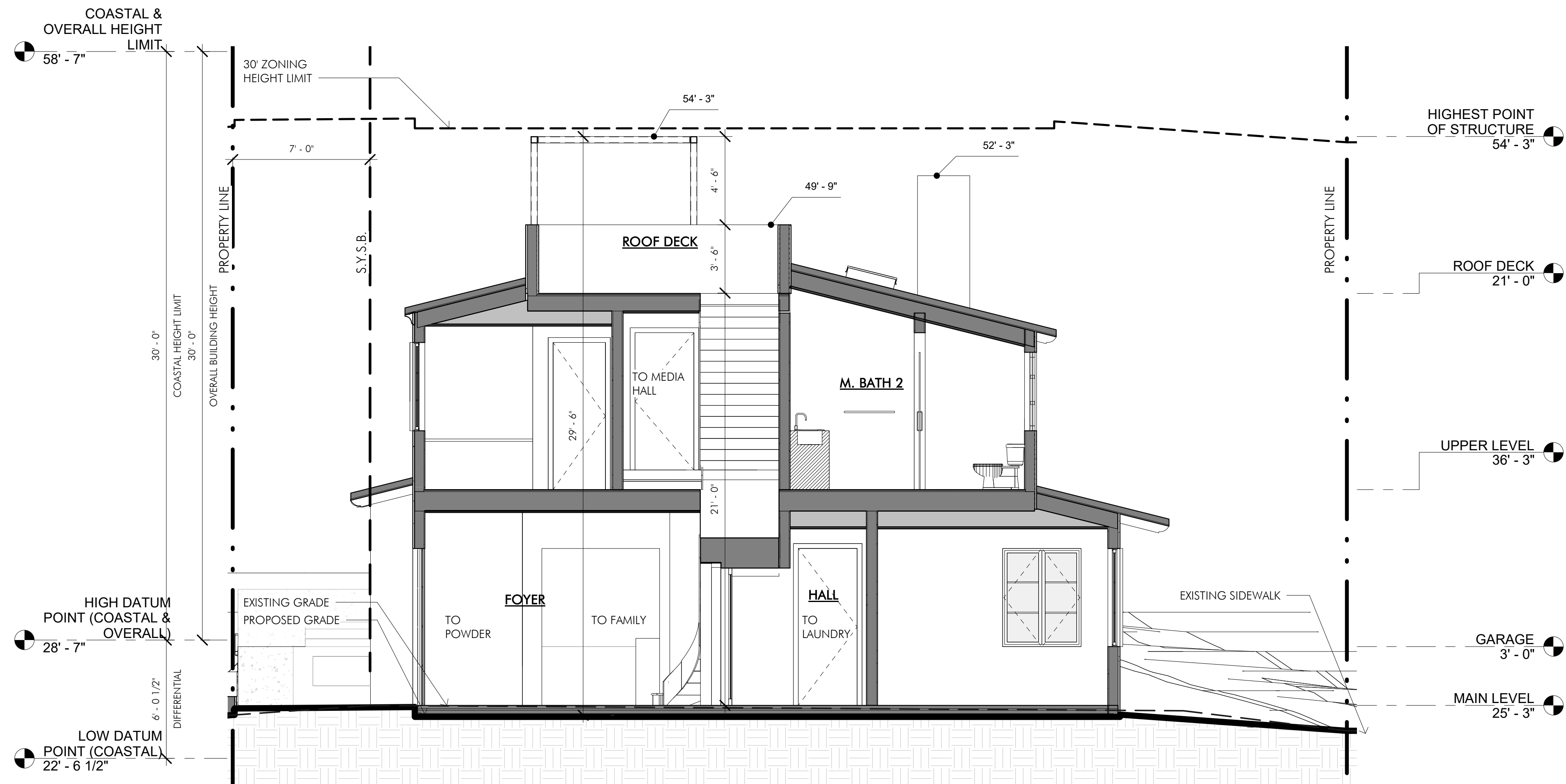
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09/18/2020

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SITE SECTION N-S SCALE: 1/4" = 1'-0"

1



SITE SECTION E-W SCALE: 1/4" = 1'-0"

2

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Sheet Title:	SITE SECTIONS	Original Date:	07/19/2017
		Sheet:	11 of 11
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