

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept):

- Address and APN(s):

- Project contact name, phone, e-mail:

- Project description:

- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): **623331**
- Address and APN(s): **8204 Prestwick Drive APN # 346-333-02-00**
- Project contact name, phone, e-mail: **Matin Taraz / 858-775-0505 / mtaraz@san.rr.com**

Project description: **Remodeling of and addition to an existing one-story single family residence with an attached garage. The project adds a single car garage and a bedroom while rearranging some of the existing spaces and includes a new roof.**

- _____
- In addition, provide the following:
 - lot size: **0.49 acres** _____
 - existing structure square footage and FAR (if applicable): **3,768 SF / 0.18 FAR** _____
 - proposed square footage and FAR: **4,458 SF / 0.21 FAR** _____
 - existing and proposed setbacks on all sides:
EXIST.= 14.5'F/124'R/9'R/10'L PROP.=14.5'F/124'R/9'R/8'L _____
 - height if greater than 1-story (above ground): **One Story 17'-2"** _____

Exhibits and other materials to provide:

Please provide the following which will be attached to the agenda and posted to the City's website for view by the public:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.)
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

(CONTINUED ON THE NEXT PAGE)

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Thank you,

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293
www.sandiego.gov/planning

ARCHITECTURAL COMMITTEE

Prestwick Estates Unit Number 1

8422 Prestwick Drive

La Jolla, California 92037

(858) 551-1651

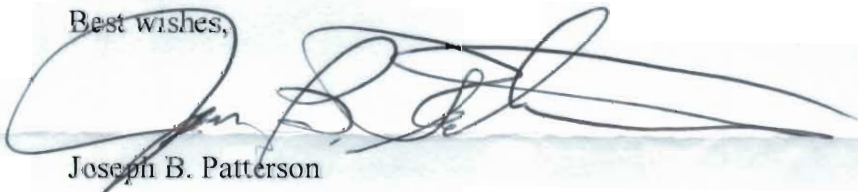
July 10, 2018

Mr. and Mrs. Castagnola
8204 Prestwick Drive
La Jolla, CA 92037

Dear Mr. and Mrs. Castagnola,

We have reviewed your submitted architectural plans. We are able to approve these plans as proposed.

Best wishes,



Joseph B. Patterson

*Mr. and Mrs. Louis Castagnola, Jr.
8204 Prestwick Drive
La Jolla, California 92037
Telephone 858 246-7399
Facsimile 858 246-7366
Email: lcastagnola@att.net*

November 29, 2018

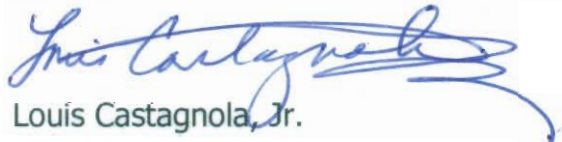
Mr. Joseph B Patterson
Architectural Committee
Prestwick Estates
16740 Monte Hermoso Drive
Pacific Palisades, CA 90272

**RE: Architectural Plans
8204 Prestwick Dr.
La Jolla, CA 92037**

Dear Mr. Patterson:

This letter is to confirm our telephone conversation regarding the height of the project for the above referenced address. You stated that the Prestwick Estates Architectural Committee did not have a problem if the height of the roof as submitted in the architectural plans approved on July 10, 2018 was raised by 8 to 12 inches.

Sincerely yours,

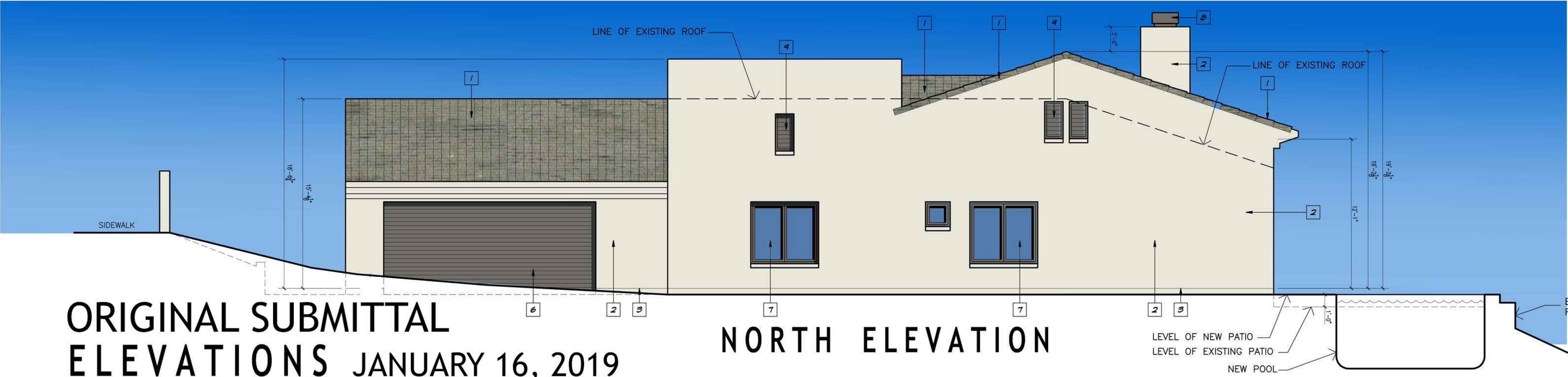

Louis Castagnola, Jr.

Acknowledged and Agreed


Joseph B. Patterson

Dated: 12/6/18

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TARAZ ARCHITECTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TARAZ ARCHITECTURE.



ELEVATION NOTES :

1. CLAY ROOF TILES SHALL BE EQUAL TO, REDLAND CLAY TILE, SANDCAST SERIES- BAJA MISION TWO PIECE, CLAY TILE (ICBO REPORT NO. ER-4300) INSTALLED IN STRICT ACCORDANCE WITH MFR.'S INSTRUCTIONS, AND USG TABLE 525. PROVIDE MINIMUM ONE LAYER, TYPE 30 (SOLD) FELT UNDER LAYMENT, EQUIVALENT PRODUCTS TO HAVE MINIMUM CLASS "A" FIRE RATINGS.
 - A. TYPICAL ROOF PITCH IS 3:12 (EXCEPT WHERE INDICATED OTHERWISE).
 - B. PROVIDE AND INSTALL APPROVED METAL FLASHING AND COUNTER-FLASHING AT ALL ROOF INTERSECTIONS, PITCH BREAKS, ROOF PENETRATIONS, ETC., AS MAY BE REQUIRED TO ENSURE A WEATHER-TIGHT ROOF SYSTEM.
 - C. ROOF TILES SHALL BE 30% BOOSTED AND MUDDED (CONCRETE GROUT).
 - D. EAVE TILES SHALL BE FIRE-STOPPED WITH CONCRETE GROUT (MUD).
2. EXTERIOR PLASTER FINISH:
7/8" STUCCO OVER PAPER BACKED WIRE LATH FINISH TO BE SMOOTH STEEL TROWEL.
3. G1. STUCCO BASE/DROP SCREED.
4. G1. FLASHING.
5. LINE OF G1. GUTTER BEHIND PARAPET WALL. SEE WALL SECTIONS AND DETAILS.
6. SECTIONAL ROLL-UP GARAGE DOOR WITH WOOD TRIM.
7. WOOD WINDOWS, FRENCH DOORS AND SLIDING GLASS DOORS SHALL BE EQUAL TO "MARVIN" WITH PRIME PAINT FINISH IN SIZES AS INDICATED IN THE DOOR AND WINDOW SCHEDULE ON SHEET A-51.
8. PAINTED METAL CHIMNEY CAP.
9. WOOD ATTIC VENTS PER DETAIL WITH SCREENED BACK AS NOTED. OPEN AREA TO BE MIN. 60%.
10. STONE VENEER.
11. 6"x4" SCREENED GARAGE VENTS 6' ABOVE GARAGE FLOOR (MINIMUM OF 2 REQUIRED).
12. DECORATIVE EXTERIOR LIGHT FIXTURE.
13. DECORATIVE WOOD RAFTER TAILS PER DETAIL.
14. DECORATIVE WOOD BEAM PER DETAIL.
15. COPPER GUTTER AND DOWNSPOUT PER DETAIL. ALL GUTTERS TO BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES & DEBRIS.
16. CAST STONE SCUPPERS PER DETAILS.
17. CAST STONE DOOR/WINDOW SURROUND PER DETAIL.
18. DECORATIVE WOOD TRIM PER DETAIL.
19. DECORATIVE WOOD GUARDRAILS PER DETAIL.
20. DECORATIVE WOOD POST.
21. DECORATIVE WOOD SHUTTERS PER DETAIL.
22. G1. ATTIC VENTS PER DETAIL WITH SCREENED BACK AS NOTED. OPEN AREA TO BE MIN. 60%.
23. DECORATIVE WROUST IRON GRILLE PER DETAIL.
24. DECORATIVE WOOD PANELED FRONT DOOR.
25. ALL VENTS SHALL COMPLY WITH THE COUNTY BUILDING CODE 42.1.106A.4 AND BE PROTECTED BY LOUVERS AND 1/8" INCH NON-COMBUSTIBLE CORROSION RESISTANT MESH.
26. EXPOSED VALLEY FLASHING SHALL BE CONSTRUCTED WITH MINIMUM 26-GAUGE CORROSION RESISTANT METAL, INSTALLED OVER MINIMUM 36-INCH WIDE SINGLE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (COUNTY BUILDING CODE 42.1.106A.3).
27. SKYLIGHT "CHIMNEY".
28. GARDEN WALL. HEIGHT PER PLANS AND ELEV. USE NON-COMBUSTIBLE MATERIALS THROUGH OUT. FINISH TO MATCH EXTERIOR BUILDING FINISH. USE FLASHING TO COVER JOINTS BETWEEN BLDG. AND WALL FOR A CONTINUOUS APPEARANCE.

TARAZ
ARCHITECTURE
P.O. BOX 8090
RANCHO SANTA
CITA, CA 92087
(858) 486-1187

CASTAGNOLA RESIDENCE
8204 PRESTWICK, LA JOLLA, CA 92037



DRAWN: **MATIN**
CHECKED: **MATIN**
ISSUED:
SD 03.01.2018
SD 03.16.2018
SD 04.20.2018
CD 10.19.2018
SUBMITTAL 11. 2018

PROJECT NO. **1801**
SHEET TITLE
FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHEET NO.

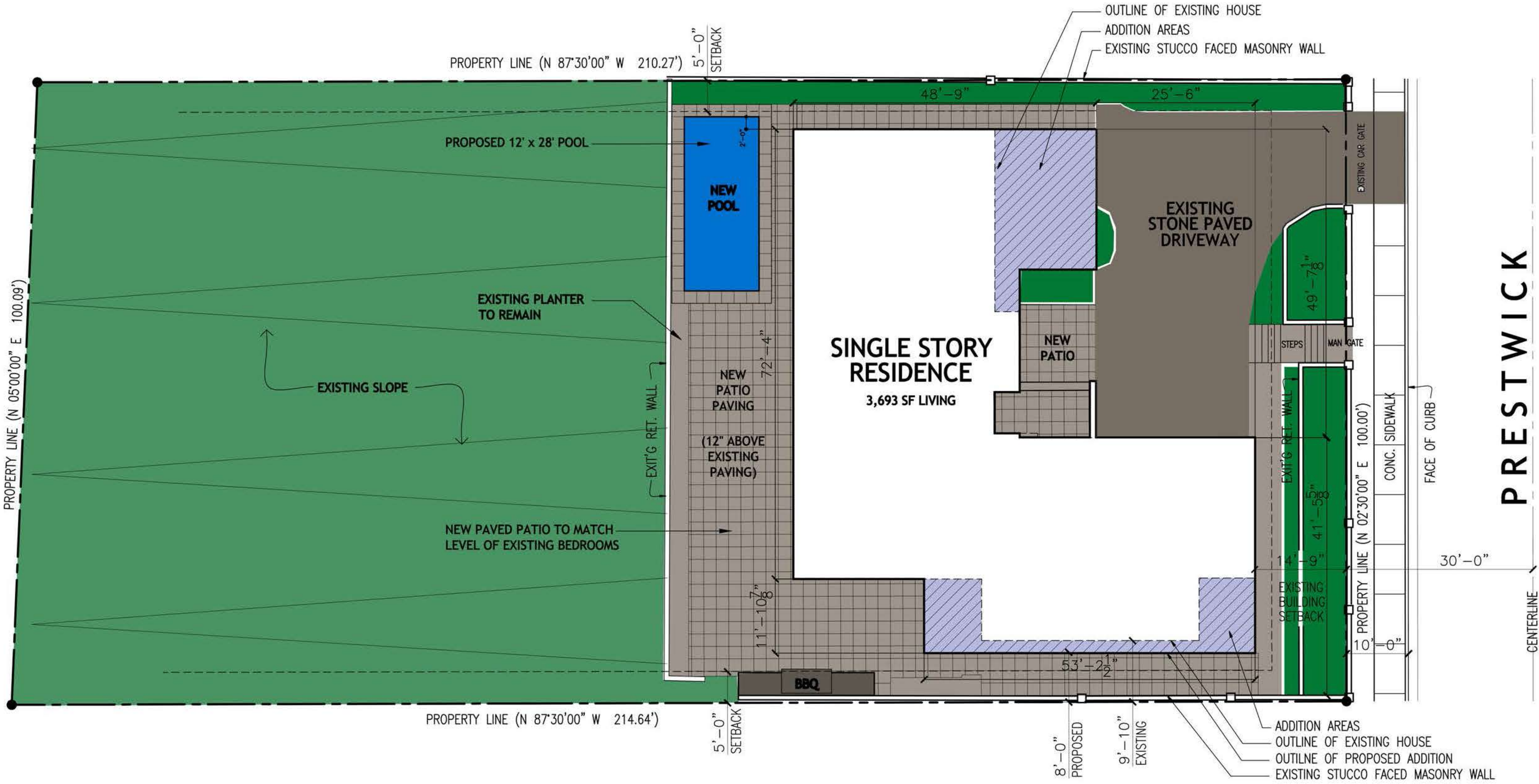
A-5a

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STORM WATER BEST MANAGEMENT PRACTICES

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO, ORDER NO. R8-2007-001, NPDES, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND STORM WATER STANDARDS MANUAL.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION BMPS WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET.
2. ALL STOCKPILES OF SOILS AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF AN CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/CNTRG; DEVICES TO WORKING ORDER AFTER EACH RUN-OFF-PRODUCING RAINFALL OR AFTER ANY MATERIAL BREECH IN EFFECTIVENESS.
5. ALL SLOPES THAT WERE TREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.



SITE PLAN TABULATIONS :
FLOOR AREA SUMMARY

	EXISTING TO REMAIN	PROPOSED ADDED NEW	TOTAL
MAIN HOUSE LIVING AREA	3,288 SF	405 SF	3,693 SF
GARAGE: ATTACHED	480 SF	285 SF	765 SF
TOTALS	3,768 SF	690 SF	4,458 SF



SITE PLAN

ADDRESS

8204 PRESTWICK
LA JOLLA, CALIFORNIA

LOT AREA

0.49 ACRES (21,258 SF)

ASSESSORS PARCEL NO.

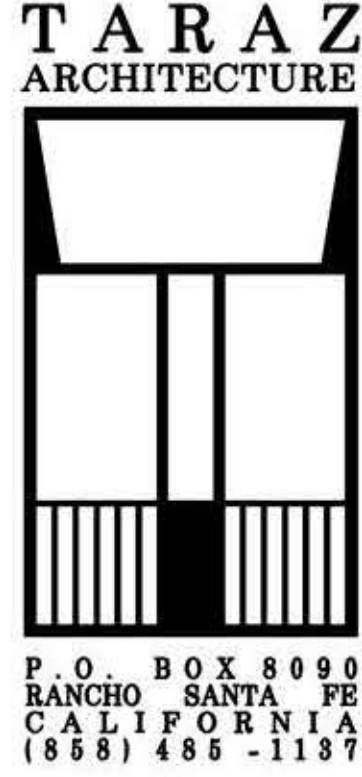
A.P.N NO. 346-333-02-00

OWNER

LOUIS CASTAGNOLA JR. FAMILY TRUST DATED 02/10/94
LOUIS AND MARIA CASTAGNOLA TRUSTEES
8204 PRESTWICK
LA JOLLA, CALIFORNIA 92037

NOTE:

SITE DATA IS BASED ON BOUNDARY SURVEY PERFORMED ON 7/10/2018 BY STEVE WOOD.



CASTAGNOLA RESIDENCE
8204 PRESTWICK, LA JOLLA, CA 92037

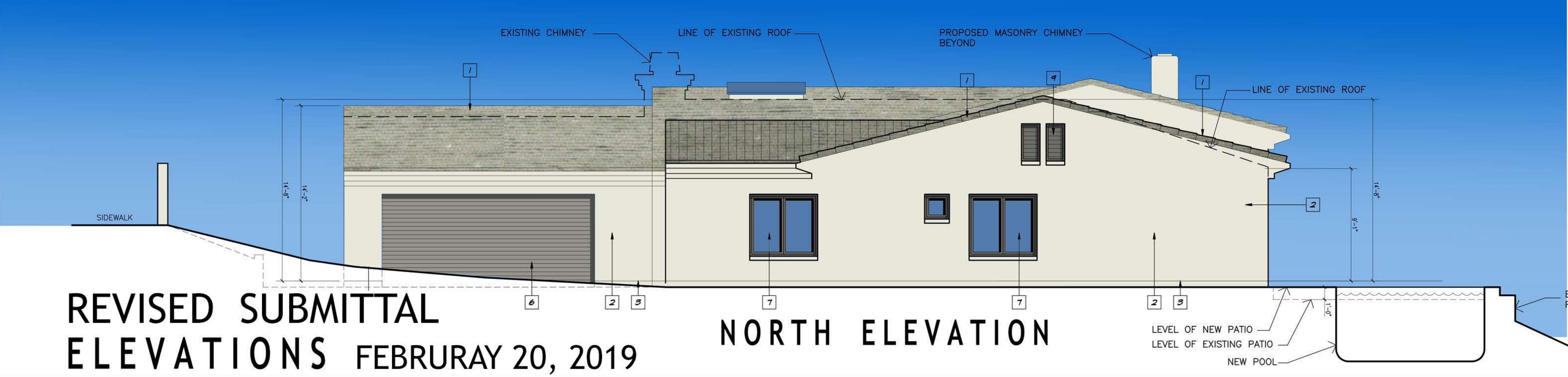
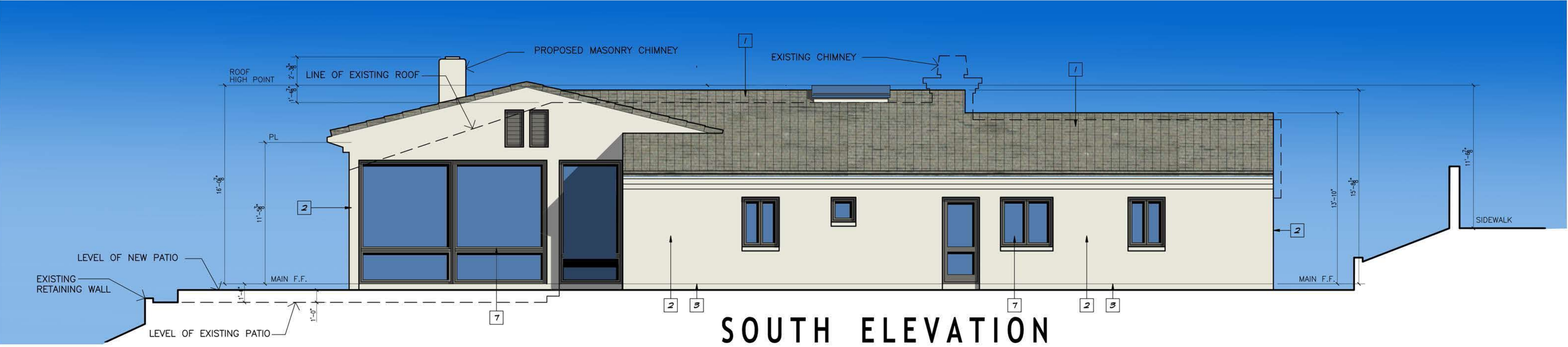
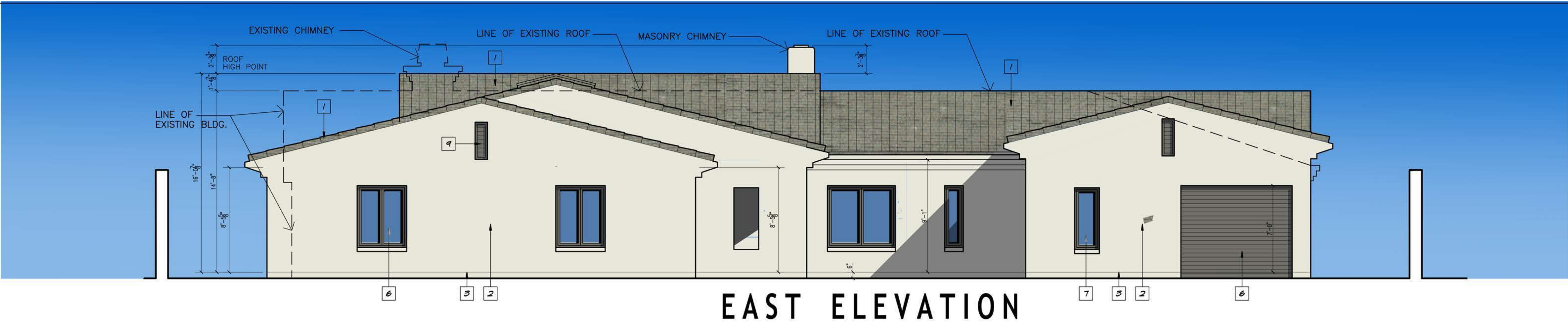


DRAWN: MARTIN
CHECKED: MARTIN
ISSUED: SD 03.01.2018
SD 03.16.2018
SD 04.20.2018
CD 10.19.2018
SUBMITTAL 11. 2018

PROJECT NO. 1801
SHEET TITLE
SITE PLAN
SCALE: 1"= 10'-0"
SHEET NO.

A-0

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ELEVATION NOTES:

- CLAY ROOF TILES SHALL BE EQUAL TO: REDLAND CLAY TILE SANDCAST SERIES- 24"X18" MASON TWO PIECE. CLAY TILE (ICBO REPORT NO. ER-4500) INSTALLED IN STRICT ACCORDANCE WITH MFR'S INSTRUCTIONS, AND 1/2" TABLE 52B. PROVIDE MINIMUM ONE LAYER TYPE 30 (BOLD) FELT UNDER LAYMENT. EQUIVALENT PRODUCTS TO HAVE MINIMUM CLASS "A" FIRE RATINGS.
 - TYPICAL ROOF PITCH IS 3:12 (EXCEPT WHERE INDICATED OTHERWISE).
 - PROVIDE AND INSTALL APPROVED METAL FLASHING AND COUNTER-FLASHING AT ALL ROOF INTERSECTIONS, PITCH BREAKS, ROOF PENETRATIONS, ETC. AS MAY BE REQUIRED TO ENSURE A WEATHER-TIGHT ROOF SYSTEM.
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 - EAVE TILES SHALL BE FIRE-STOPPED WITH CONCRETE GROUT (MUD).
- EXTERIOR PLASTER FINISH: 7/8" STUCCO OVER PAPER BACKED WIRE LATH FINISH TO BE SMOOTH STEEL TROWEL.
61. STUCCO BASE/DROP SCREED.
61. FLASHING.
- LINE OF 61. GUTTER BEHIND PARAPET WALL. SEE WALL SECTIONS AND DETAILS.
- SECTIONAL ROLL-UP GARAGE DOOR WITH WOOD TRIM.
- WOOD WINDOWS, FRENCH DOORS AND SLIDING GLASS DOORS SHALL BE EQUAL TO "MARVIN" WITH PRIMER PAINT FINISH IN SIZES AS INDICATED IN THE DOOR AND WINDOW SCHEDULE ON SHEET A-54.
- PAINTED METAL CHIMNEY CAP.
- WOOD ATTIC VENTS PER DETAIL WITH SCREENED BACK AS NOTED. OPEN AREA TO BE MIN. 60% STONE VENEER.
- 6"X4" SCREENED GARAGE VENTS 6' ABOVE GARAGE FLOOR (MINIMUM OF 2 REQUIRED).
- DECORATIVE EXTERIOR LIGHT FIXTURE.
- DECORATIVE WOOD RAFTER TAILS PER DETAIL.
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61. ATTIC VENTS PER DETAIL WITH SCREENED BACK AS NOTED. OPEN AREA TO BE MIN. 60%.
- DECORATIVE WROUST IRON GRILLE PER DETAIL.
- DECORATIVE WOOD paneled front door.
- ALL VENTS SHALL COMPLY WITH THE COUNTY BUILDING CODE 42.106A.4 AND BE PROTECTED BY LOUVERS AND 1/8" INCH NON-COMBUSTIBLE CORROSION RESISTANT MESH.
- EXPOSED VALLEY FLASHING SHALL BE CONSTRUCTED WITH MINIMUM 26-GAUGE CORROSION RESISTANT METAL. INSTALLED OVER MINIMUM 5/8" HIGH WIDE SINGLE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (COUNTY BUILDING CODE 42.106A.3).
- SKYLIGHT "CHIMNEY"
- GARDEN WALL. HEIGHT PER PLANS AND ELEV. USE NON-COMBUSTIBLE MATERIALS THROUGH OUT. FINISH TO MATCH EXTERIOR BUILDING FINISH. USE FLASHING TO COVER JOINTS BETWEEN BLDG. AND WALL FOR A CONTINUOUS APPEARANCE.

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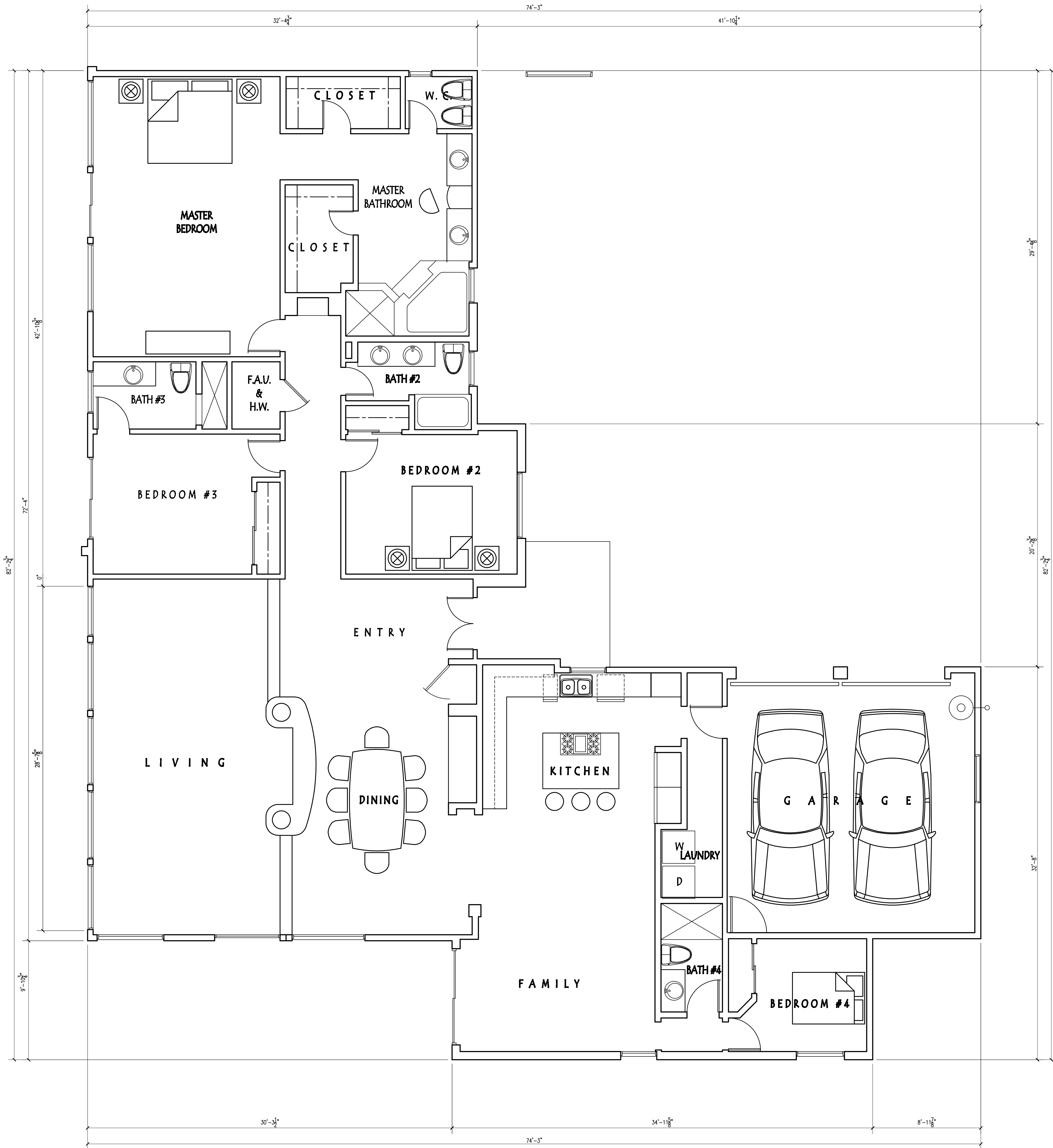
CASTAGNOLA RESIDENCE
8204 PRESTWICK, LA JOLLA, CA 92037



DRAWN: MATIN
CHECKED: MATIN
ISSUED: SD 03.01.2016
SD 03.16.2016
SD 04.20.2016
CD 10.19.2016
SUBMITTAL 11. 2016

PROJECT NO. 1801
SHEET TITLE
ELEVATIONS
SCALE: 1/4" = 1'-0"
SHEET NO.
A-5a

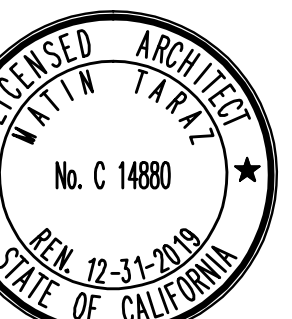
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EXISTING FLOOR PLAN

CASTAGNOLA RESIDENCE

8204 FRESTWICK, LA JOLLA, CA 92037

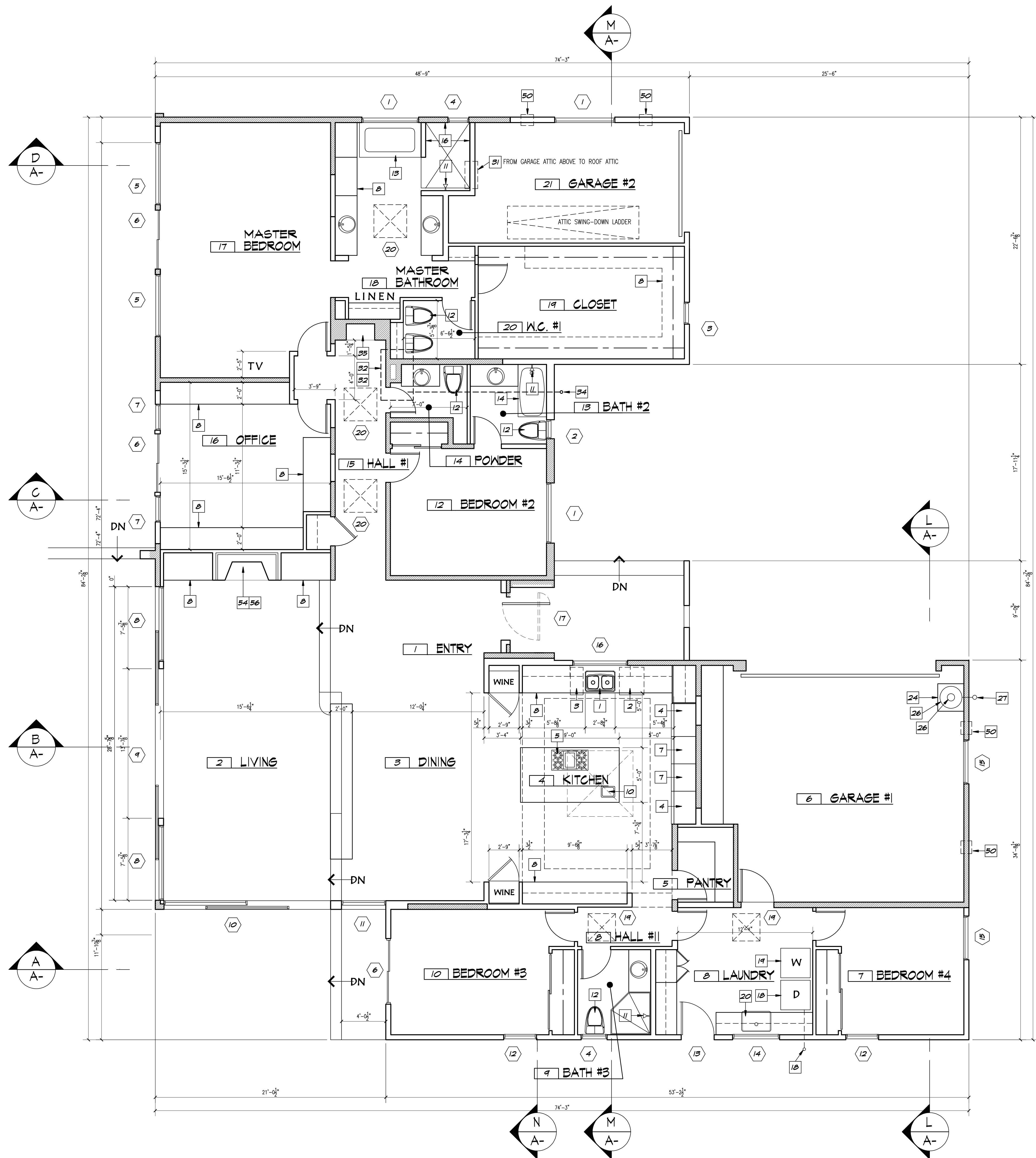


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SUBMITTAL II, 2018

PROJECT NO. 1801
SHEET TITLE
EXIST. FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHEET NO.

A-1a

ALL IDEAS - DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TARAZ ARCHITECTURE AND WERE CREATED EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TARAZ ARCHITECTURE.



FLOOR PLAN NOTES

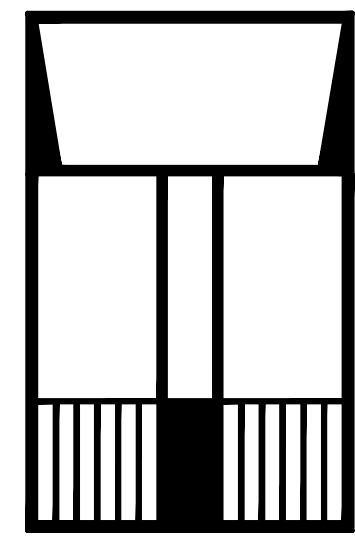
- CONFORMANCE: THESE PLANS AND ALL WORK SHALL COMPLY WITH THE "CALIFORNIA BUILDING STANDARDS CODE" FOUND IN THE STATE OF CALIFORNIA TITLE 24 C.C.R. AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
- KITCHEN SINK: 42" W X 22" D TWO COMPARTMENT ENAMELED CAST IRON MODEL WITH ONE 5/4 H.P. GARAGE DISPOSAL ON SWITCHED 120V OUTLET. FAUCET FLOW SHALL BE 1.80 GALLONS PER MIN. OR LESS.
- DISHWASHER: 24" WIDE X 23" DEEP FISHER & PAYDEL TWO DRAWER MODEL. 1/4" I/OV OUTLET AND SURFACE MOUNT AIR GAP.
- TRASH COMPACTOR: PROVIDE 120V OUTLET.
- REFRIGERATOR: FREEZER 36" W X 24" D (ONE EACH) BUILT-IN UNITS BY "SUB-ZERO" 1/4" I/OV COFFER WATER LINE FOR 1/2" H.P. VALVE. PROVIDE CONNECTION IN RECESSED WALL BOX W/ VALVE.
- GAS COOKTOP & OVEN: 36" WIDE BUILT-IN MODEL BY "Viking" 1/4" I/OV 36" WIDE EXHAUST HOOD & VENT TO THE EXTERIOR.
- UNDER-COUNTER REFRIGERATOR: 24" WIDE UNIT. DOUBLE OVEN COMBINATION: 30" WIDE BUILT-IN ELECTRIC DOUBLE OVEN BY "Viking".
- MICROWAVE OVEN UNIT, BUILT-IN MODEL.
- BUILT-IN CABINETS: PER INTERIOR DESIGN ELEVATIONS.
- "TIEP" SINK: 36" WIDE X 22" DEEP.
- SHOWER HEADS AND FAUCETS: ALL SHALL BE OF "LOW RESTRICTIVE" DESIGN (2.0 GPM MAX. FLOW FOR SHOWER HEADS, 1.5 GPM MAX. FLOW FOR FAUCETS) AS APPROVED BY THE CALIFORNIA ENERGY COMMISSION. SHOWER HEADS TO BE ROUGH-IN 8" & 9" & 10" ABOVE FINISH FLOOR.
- ULTRA LOW FLUSH TOILETS: SHALL USE 1.20 GALLONS PER FLUSH OR LESS. MAINTAIN MINIMUM 30" CLEAR WIDTH (5' FROM CENTER LINE) AND 24" CLEARANCE IN FRONT OF ALL WATER CLOSETS.
- FIBERGLASS WHIRLPOLUTUB UNIT: (INTEGRON 46" LBS X 11X15" U.S.A.) PROVIDE WHIRLPOLUTUB MODEL WITH ROUGH-IN FOR ELECTRICAL CONNECTIONS AS REQUIRED AND EQUIPMENT ACCESS IN CONCEALED HOODS PUBLISHED AS ACCEPTABLE TO OWNER AND ARCHITECT.
- COMBINATION TUB/SHOWER: (SIZE PER PLAN).
- SEPARATE SHOWER PAN: (SIZE PER PLAN) WITH CERAMIC TILE GARAGE INCLUDING WALLS AND POSTS. INTERIOR DESIGN DRAWINGS. PROVIDE "CLEAR" SHATTER-PROOF GLASS ENCLOSURE IN POLISHED BRASS FRAME. CERAMIC TILE SHOWER PAN CONSTRUCTED PER "HANDBOOK FOR CERAMIC TILE INSTALLATION" METHOD NO. 4041 PUBLISHED BY THE TILE COUNCIL OF AMERICA.
- CERAMIC TILE OVER 2 LAYERS "WATER-RESISTANT" GYPSUM HALBOARD OR FULL MORTAR BED W/ BULL-NOSE TRIM EDGES. PROVIDE MATCHING RECESSED SOAP DISH/SHOWER UNIT. CERAMIC TILE TO BE FULL HEIGHT.
- MEDICINE CABINET: 36" HIGH BUILT-IN MODEL W/ MIRROR WALL. MODEL NO. 2648 BY "NITONE". SEE INTERIOR ELEVATIONS.
- CLOTHES DRYER: PROVIDE 120V/220V OUTLETS AND FUEL GAS CONNECTION W/ VALVE. DRYER VENT TO EXTERIOR TO BE 1/4" IN DIAMETER W/ WEATHER-PROOF OUTLET. (NOTE: WHERE VENT EXTENDS VERTICAL THROUGH ROOF PROVIDE ACCESSIBLE SHEET METAL "CLEAN-OUT" DEVICE AT BOTTOM OF VENT).
- CLOTHES WASHER: PROVIDE HOT & COLD WATER SUPPLY AND WASTE IN RECESSED WALL BOX. (NOTE: WHERE WALL BOX IS IN "FIRE-RATED" WALL, BOX MUST BE METAL AND AS APPROVED BY GAS/PLUMBING CONTRACTOR. EACH INSTALLATION) PROVIDE AREA FLOOR DRAIN AS INDICATED.
- LAUNDRY SINK: 32" WIDE X 22" DEEP.
- IRONING BOARD: BUILT-IN FLUSH MOUNTED "NITONE" MODEL NO. AVG-40. SEE INTERIOR ELEVATIONS.
- SHOWER STEAM GENERATOR: PROVIDE P&T VALVE DISCHARGE LINE TO THE EXTERIOR.
- WATER HEATER: AS APPROVED BY THE CALIFORNIA ENERGY COMMISSION: UNIT 1" X 1/2" 50 GAL. GARAGE/SIDE UNIT. EACH UNIT TO HAVE FUEL GAS VALVE. NON-RETURN WATER CONNECTIONS AND PRESSURE/TEMPERATURE RELIEF VALVE W/ DISCHARGE (P&T) LINE ROUTED TO EXTERIOR AND FUEL GAS VENT THROUGH ROOF AND 50 SO. IN EACH COMBUSTION AIR OPENING WITHIN 12" OF CEILING AND FLOOR. WATER HEATER SHALL BE STRAPPED FOR LATERAL SUPPORT TO RESIST LATERAL DISPLACEMENT DUE TO EARTHQUAKE MOTION PER SECTION 1901(a) AND SECTION 1905 OF UBC. USE 2 STRAPS EACH 3/4" X 24 GAUGE WITH 1/4" X 3" LAG BOLTS ATTACHED DIRECTLY TO FRAMING.
- 18" HIGH PLATFORM: PROVIDE 5/8" TYPE "X" GYPSUM WALLBOARD BEHIND PLATFORM PRIOR TO FRAMING THE PLATFORM. ENTIRE PLATFORM IS TO BE WRAPPED 5/8" TYPE "X" GYPSUM WALLBOARD.
- CONCRETE FILLED STEEL PIPE: 3" DIA. (MIN) PIPE 56" HIGH IN 12" DIA. X 18" DEEP FOOTING AT LOCATION INDICATED TO PROTECT GAS FIRED APPLIANCES FROM VEHICULAR IMPACT.
- 1 1/2" APPROVED TYPE "B" FUEL PIPE.
- WATER HEATER P&T VALVE DISCHARGE LINE AND RECEPTOR.
- RETURN AIR GRILLE: SIZE AND LOCATION W/ HVAC CONTRACTOR AND EQUIPMENT MANUFACTURER.
- ELECTRICAL SERVICE METER: PROVIDE 600 AMP. SERVICE METER W/ VENT, GROUND AND GAS SERVICE METER AS APPROVED BY SERVING UTILITY COMPANY. SEE SHEET E-1 FOR GROUNDING AND PANEL TYPE INFORMATION.
- FORCED AIR UNIT: THE COOLING AND HEATING CAPACITY FOR THE PROJECT SHALL BE A MINIMUM OF 140,000 BTU/Hr. IF COOLING-HEATING SYSTEM IS USED. IF HEATING-ONLY SYSTEM IS USED, 200,000 BTU/Hr. MAY BE REQUIRED IN ORDER TO PROVIDE NECESSARY AIR MOVEMENT. THE MINIMUM AMOUNT OF AIR SHALL BE SET AS 5,000 CFM. THE UNIT CAPACITY OF 200,000 BTU/Hr. SHALL BE INCREASED IF NECESSARY TO PROVIDE THE 5,000 CFM. THESE CAPACITIES SHALL BE PROVIDED THRU 2 TO 4 HVAC SYSTEM. THE GIVEN CAPACITIES AND CFMS SHALL BE A TOTAL FOR ALL THE UNITS. ALL DUCTWORK COMPLYING WITH UMC SECT. 10. CONSULT TITLE 24 CALCULATIONS ON SHEET A-1 FOR ENERGY CONSERVATION REQUIREMENTS.
- ATTIC ACCESS PANEL: PROVIDE 30" X 30" (MIN) HINGED HATCH.
- ATTIC INSTALLED H.V.A.C.: MUST COMPLY WITH SECTION 504 & 708 OF UMC. IN ADDITION TO THE FOLLOWING REQUIREMENTS AND CLEARANCES:
 - PROVIDE CONTINUOUS UNOBSTRUCTED PASSAGEWAY ON SOLID HOOD FLOOR NOT LESS THAN 24" IN WIDTH.
 - PROVIDE MINIMUM 30" X 30" CLEAR ACCESS PANEL TO ATTIC PASSAGEWAY.
 - PROVIDE FUEL GAS CONNECTION PERMANENT ELECTRICAL OUTLET AND SWITCHED LIGHT FIXTURE.
 - DISTANCE FROM UNIT TO PASSAGEWAY SHALL NOT EXCEED 20'.
- FORCED AIR UNITS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 6 OF THE UMC:
 - PROVIDE ONE OPENING WITHIN 12" OF THE TOP OF THE ENCLOSURE PER SECTION 602(a).
 - COMBUSTION AIR DUCTS SHALL NOT BE INSTALLED SO AS TO REQUIRE OPENINGS IN OR PENETRATIONS THROUGH CONSTRUCTION WHERE FIRE DAMPERS ARE REQUIRED PER SECTION 602(b).
 - PROVIDE COMBUSTION AIR DUCT FOR ALL INTERIOR FORCED AIR UNITS.
 - THE NET FREE AREA OF OPENINGS, DUCTS OR FLEXIBLES SHALL BE AS SPECIFIED IN TABLE 6-4. WHEN GRILLES, SCREENS OR LOUVES ARE INSTALLED ONLY THE FREE AREA THROUGH GRILLES, SCREENS OR LOUVES SHALL BE USED IN CALCULATING THE SIZE OF THE OPENING PER SEC. 602(a) AND 606(A).
- H.V.A.C. UNIT CONDENSATE WATER LINE: ROUTE PIPING IN CEILING. JOIST SPACE FROM A.C. UNIT TO AN APPROVED PLUMBING FIXTURE. SECONDARY LINE SHOULD EXTEND TO BUILDING EXTERIOR, THEN DOWN THE SIDE WALL AND DISCHARGE AT GROUND LEVEL INTO A DRY HELL.
- GYPSUM WALLBOARD FORMED "NICHE": SEE INTERIOR DESIGN DRAWINGS.
- PARAPET/GUARDRAIL: 42" HIGH (MIN) SHALL HAVE NO OPENINGS NO LARGER THAN 3-1/2".
- SOUND INSULATED WALL: PROVIDE SOUND ATTENUATION INSULATION FOR PLUMBING HALL.
- STEEL FRAMED HALL: PROVIDE NON-COMBUSTIBLE CONSTRUCTION BEHIND BBQ.
- USABLE SPACE UNDER STAIRS: ALL SURFACES SHALL BE COVERED WITH 5/8" TYPE "X" GYPSUM WALLBOARD.
- HOSE BIB: PROVIDE PERMANENT VACUUM BREAKER BIBS.
- GARAGE WALLS AND CEILING ARE REQUIRED TO BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE OF WALLS AND CEILING COMMON TO THE DWELLING, PER TABLE 5-B, SECTION 503(a).
 - PROVIDE ONE LAYER OF TYPE "X" GYP BOARD ON THE GARAGE WALLS AND POST CONTINUOUS FROM FLOOR TO ROOF SHEATHING.
 - PROVIDE TWO LAYERS OF TYPE "X" GYP BOARD ON THE GARAGE CEILING.
- ALL STRUCTURAL ELEMENTS: SUPPORTING FLOOR ABOVE GARAGE INCLUDING WALLS AND POSTS. SUPPORTING FLOOR JOISTS MUST HAVE ONE HOUR FIRE RESISTIVE PROTECTION ON THE GARAGE SIDE PER SECTION 503(b).
- ALL WINDOWS & FRENCH DOORS AND SKYLIGHTS TO COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - BE CERTIFIED AS TO THEIR OVERALL U-VALUES AS TESTED IN ACCORDANCE WITH THE "NRC" PROCEEDURE OR A TEST TABLE CONTAINED IN THE DESIGN MANUAL.
 - HAVE A TEMPORARY LABEL, NOT TO BE REMOVED BEFORE INSPECTION BY THE BUILDING DEPARTMENT LISTING THE CERTIFIED U-VALUE IN THE DESIGN MANUAL. HAVE A PERMANENT LABEL LISTING THE U-VALUE, CERTIFYING ORGANIZATION AND RATING PROCEDURE.
- ALL INSULATION MUST BE CERTIFIED AS COMPLYING WITH THE "CALIFORNIA QUALITY STANDARDS" FOR INSULATING MATERIALS.
- ALL DRAIN LINES TO SLOPE MIN. 1/4" PER FOOT.
- ALL JOINTS AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE GASKETED, GASKETED WEATHERSTRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
- AN INSTALLATION CERTIFICATE IS REQUIRED TO BE POSTED AT THE BUILDING SITE PRIOR TO THE ISSUANCE OF THE OCCUPANCY PERMIT.
- 1-3/8" SOLID CORE SELF-CLOSING DOOR: PROVIDE DOOR W/ THRESHOLD AND FULL WEATHERSTRIPPING AT DOORWAY TO GARAGE. DOOR TO BE 20 MINUTE FIRE PROTECTION RATED.
- CENTRAL VACUUM SYSTEM.
- SCREENED VENTS: SIZE 6" X 14" AT 6' ABOVE GARAGE FLOOR. (MIN. 2 REQUIRED).
- "TYP" - WALL: TO HEIGHT INDICATED ON LOOK PLAN OR INTERIOR DESIGN DRAWINGS. DRYWALL WITH "BULLNOSE" RADIUS" FINISH UNLESS OTHERWISE NOTED OR DETAILED ON INTERIOR DESIGN DRAWINGS.
- BALCONY SCUFFERS: PROVIDE FLOOR DRAINS PER "DEMO-TEXT" DETAILS.
- BALCONY WATERPROOFING: EQUAL TO DEMO-TEXT "ELASTATX 500" PROMENADE ROOF DECK SURFACING AS MANUFACTURED BY GORSEFIELD PRODUCTS CORP. OR EQUAL. INSTALLED OVER FLOOR SHEATHING PER MANUFACTURER'S INSTRUCTIONS. PROVIDE FLASHING AND SUBSTRATE PER MANUFACTURERS APPROVED AND SUPPLIED DETAILS.
- MASONRY FIREPLACE: W/ REMOVABLE GAS KEY. GLOSSABLE TIGHT FITTING GLASS DOORS. OUTSIDE COMBUSTION AIR WHEN LOCATED ON EXTERIOR WALL AND A READY ACCESSIBLE, OPERABLE AND TIGHT FITTING DAMPER. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR REQUIRED BY CODE. PROVIDE APPROVED HEARTH EXTENSION MIN. 18" DEEP AND 12" SECOND FIREPLACE OPENING ON EACH SIDE. SEE INTERIOR DESIGN DRAWINGS FOR INSTALLATION HEIGHT AND SURROUND MATERIAL AND DESIGN.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- ALL FIREPLACES W/GAS LOG LIGHTERS SHALL HAVE THE FUEL DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LP LOG LIGHTERS ARE TO HAVE NO "PIT" OR "SLUMP" CONFIGURATION.
- BARBECUE UNIT: 48" WIDE STAINLESS STEEL GAS MODEL INSTALLED PER MANUFACTURER INSTRUCTIONS AND DETAILS. UNIT TO BE "TSC1" BRAND MODEL NO. 480. MIN. CLEARANCES TO BE 3" TO NON-COMBUSTIBLE AND 12" IN THE REAR AND 36" ABOVE COOKING SURFACE TO COMBUSTIBLE.
- PROVIDE AND INSTALL FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.
- PROVIDE PAINTED LOWERED DOOR WITH MINIMUM 100 SQUARE INCHES OF OPEN AREA.
- PROJECT TO USE LIQUID PROPANE GAS (LPG).
- THIS BUILDING IS TO COMPLY WITH THE COUNTY OF SAN DIEGO OUTDOOR LIGHTING ORDINANCE.



FLOOR PLAN

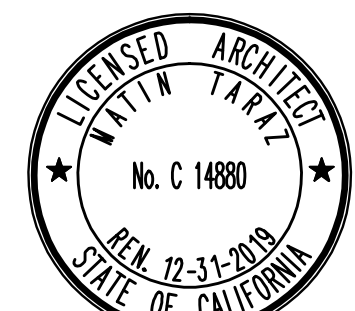
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TARAZ
ARCHITECTURE



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CASTAGNOLA RESIDENCE
8204 PRESTWICK, LA JOLLA, CA 92037



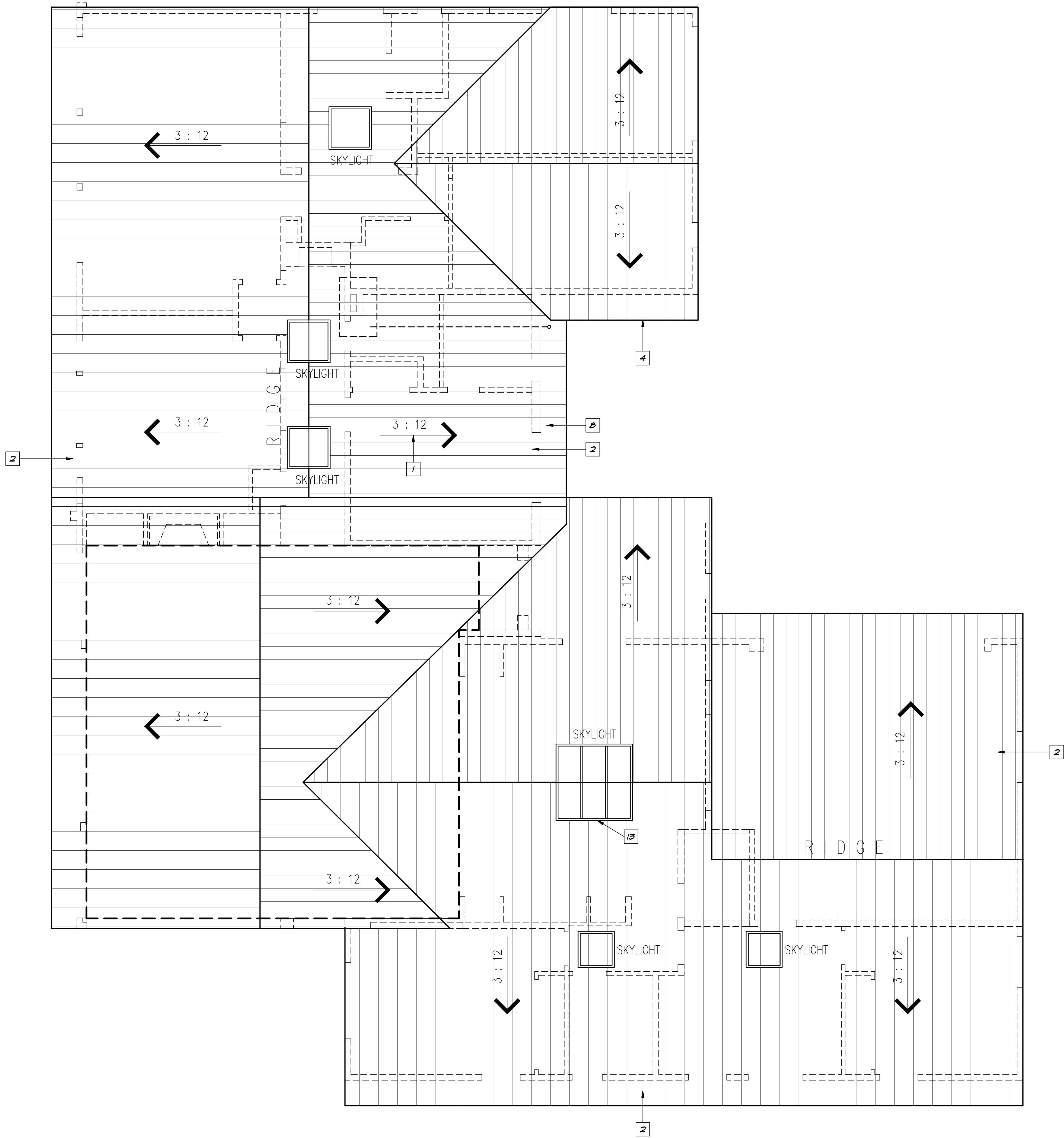
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SD 03.16.2018
SD 04.20.2018
CD 10.19.2018
SUBMITTAL: 11.2018

PROJECT NO.: 1801
SHEET TITLE:
FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHEET NO.

A-2

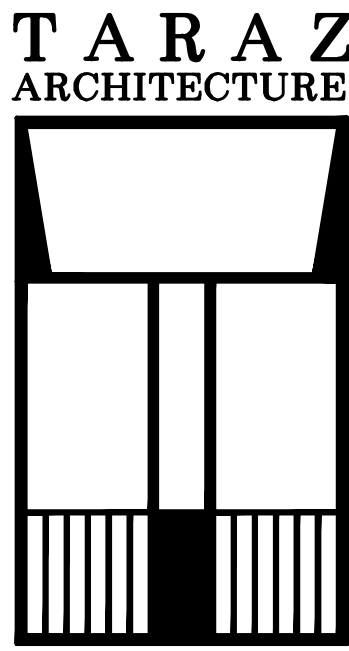
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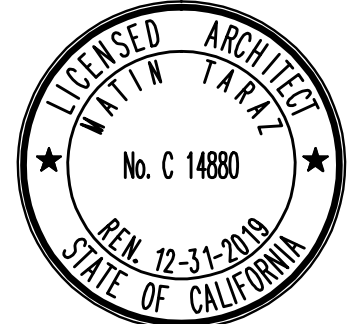
ROOF PLAN NOTES :

1. ROOF SLOPE GRADIENT, 3 : 12 (TYP, U.O.N.)
2. ROOFING MATERIAL PER EXTERIOR ELEVATIONS.
3. EXTERIOR STUCCO FINISH PER EXTERIOR ELEVATIONS.
4. ROOF PARAPET PER EXTERIOR ELEVATIONS.
5. G1. GUTTER AND FLASHING PER DETAIL, SLOPE MINIMUM 1/8" PER FOOT TOWARDS DOWNSPOUT (DS) AND OVERFLOW (OF).
6. CRICKET FRAMED OVER CONTINUOUS ROOF SHEATHING, SLOPE TO BE MINIMUM 1/2."
7. FLAT STUCCO SURFACES TO SLOPE MINIMUM 1/2" PER FOOT IN THE DIRECTION OF ARROW.
8. LINE OF EXTERIOR WALL BELOW SOFFIT OR ROOF.
9. G1. ATTIC VENTS PER DETAIL WITH SCREENED BACK AS NOTED. OPEN AREA TO BE MIN. 60%.
10. CHIMNEY STACK PER EXTERIOR ELEVATIONS.
11. CURB MOUNTED SKYLIGHT. ALSO SEE FLOOR PLAN, SEE ROOF PLAN FOR LOCATION WINDOW SCHEDULE FOR SIZE AND ROOF FRAMING PLAN FOR FRAMING INFORMATION. SKYLIGHTS EQUAL TO BRISTOLITE (1620 K246R) WITH DUAL GLAZED "LOW WHITE" (TL) LOW PROFILE DOME WITH TEMPERED GLASS.
12. ROOF DRAIN & OVERFLOW PER DETAIL. DIRECT PIPING TO EXTERIOR WALL THEN DOWN TO GRADE. CONNECT TO STORM DRAIN SYSTEM. OVERFLOW DRAIN SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT OF FROM THE ROOF DRAIN.
13. ROOF SCUPPER & RAIN WATER LEADER CONNECT LEADER TO STORM DRAIN SYSTEM.
14. ATTIC VENTILATION PREVENT INTRUSION OF FLAME AND SMOKE INTO THE ATTIC/CEILING RESISTANT "EX" APPROVED MODELS ONLY.
15. SKYLIGHT PER WINDOW SCHEDULE.
16. FUTURE SOLAR AREA (MIN. 250 SF)



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CALIFORNIA
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CASTAGNOLA RESIDENCE
8204 PRESTWICK, LA JOLLA, CA 92037



DRAWN: MARTIN
CHECKED: MARTIN
ISSUED: SD 03.01.2018
SD 03.16.2018
SD 04.20.2018
CD 10.19.2018
SUBMITTAL 11. 2018

PROJECT NO. 1801
SHEET TITLE
ROOF PLAN
SCALE : 1/4" = 1'-0"
SHEET NO. A-4



HOUSE ROOF PLAN

*Mr. and Mrs. Louis Castagnola, Jr.
8204 Prestwick Drive
La Jolla, California 92037
Telephone 858 246-7399
Facsimile 858 246-7366
Email: lcastagnola@att.net*

February 11, 2019

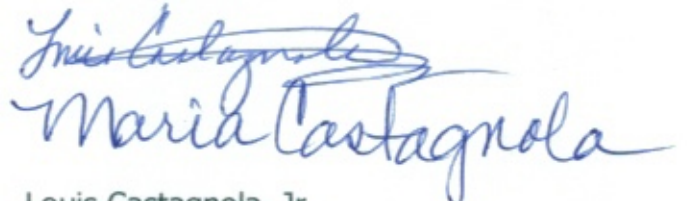
Dear Neighbors:

My wife and I, Louis and Maria Castagnola, residing at 8204 Prestwick Drive, have a remodeling project that will be coming before the La Jolla Shores Planned District Advisory Board on February 20, 2019, at 11:00am at the La Jolla Recreation Center, 615 Prospect St., La Jolla, CA 92037.

It is our opinion that the proposed project should be considered for approval with Minor/Process 1 designation. The east/street elevation of the proposed remodeled house will change very little from the current house.

We would be more than happy to show you our plans prior to the LJSPDAB meeting on February 20, 2019 with the hope that you would lend support for our project. Please do not hesitate to contact us if you would like to see the remodeling plans or if you have any questions or comments about the project.

Sincerely yours,

A handwritten signature in blue ink that reads "Maria Castagnola". The signature is written in a cursive style with a large, stylized "M" and "C".

Louis Castagnola, Jr.
Maria Castagnola

**Distribution List – Property owners within 300 feet of
8204 Prestwick Drive**

Mr. and Mrs. Michael Kagnoff
8244 Prestwick Dr.

Mr. and Mrs. David Groce
8243 Prestwick Dr.

Mr. and Mrs. Larry Herschfield
8230 Prestwick Dr.
P.O. Box 7202
Rancho Santa Fe, CA 92067

Mr. and Mrs. Bill Strum
8229 Prestwick Dr.

Mr. and Mrs. Joseph Patterson
8216 Prestwick Dr.
16740 Monte Hermoso Dr.
Pacific Palisades, CA 90272

Mr. and Mrs. Raymond Beuligmann
8215 Prestwick Dr.

Mrs. Juanita Meyer
8201 Prestwick Dr.

Mr. and Mrs. Ortmann
8195 Prestwick Dr.

Mr. and Mrs. George Hunt
8182 Prestwick Dr.

Berchtold Family Trust
8185 Prestwick Dr.

De Coppel Maria Eugenia Gutierrez
8194 Prestwick Dr.

Dr. and Mrs. Bijan Razi
8172 Prestwick Dr.

Ms. Delores Donavan
2586 Calle del Oro

Neighbor
2572 Calle del Oro

Neighbor
2552 Calle del Oro