

La Jolla Shores Planned District Advisory Board (LJSPDAB)

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items):

- Address and APN(s):

- Project contact name, phone, e-mail:

- Project description:

- Please indicate the action you are seeking from the Advisory Board:

- Recommendation that the Project is minor in scope (Process 1)
- Recommendation of approval of a Site Development Permit (SDP)
- Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
- Other: _____

- In addition, provide the following:

- lot size: _____
- existing structure square footage and FAR (if applicable): _____
- proposed square footage and FAR: _____
- existing and proposed setbacks on all sides: _____
- height if greater than 1-story (above ground): _____

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): 8171 Prestwick Dr
- Address and APN(s): 8171 Prestwick Drive / 346-334-0600
- Project contact name, phone, e-mail: Mark Morris, 858-273-5632, mark@oasis-ad.com
- Project description: First floor remodel / addition and second floor addition to an existing one-story residence.
- In addition to the project description, please provide the following:
 - lot size: 21,392 sf
 - existing structure square footage and FAR (if applicable): 2,737 sf / .128 FAR
 - proposed square footage and FAR: 5,447 sf / .254 FAR
 - existing and proposed setbacks on all sides: approx. 15' front, 10' sides, 122' rear, see presentation.
 - height if greater than 1-story (above ground): 27'-0"
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): Design conforming to community, Minor vs Major addition.

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab>

for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation - updated 8/31/20

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter, so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Senior Planner
mpangilinan@sandiego.gov
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293

La Jolla Shores Planned District Advisory Board (LJSPDAB) Presentation

PROJECT NAME:

SALEM RESIDENCE

PROJECT CONTACT NAME: MARK C. MORRIS

PHONE: (858) 442-0870

E-MAIL: mark@oasis-ad.com

PROJECT DESCRIPTION:

FIRST FLOOR REMODEL AND ADDITION AND SECOND FLOOR ADDITION TO AN EXISTING SINGLE STORY 2,737 SF. RESIDENCE.

LOT SIZE: 21,392 SF

EXISTING STRUCTURE SQUARE FOOTAGE AND FAR:

FAR: 0.45

21,392 SF SITE AREA X 0.45 = 9,626 SF ALLOWED

LOT COVERAGE: SECTION 1510.0304 (D) - 60% MAX.

MAX COVERAGE: 21,392 X .60 = 12,835 SF MAX.

EXISTING COVERAGE = 2,737 SF / 21,392 SF = .1279 = 13%

PROPOSED SQUARE FOOTAGE AND FAR:

PROPOSED AREA= 5,447 SF (50% INCREASED)

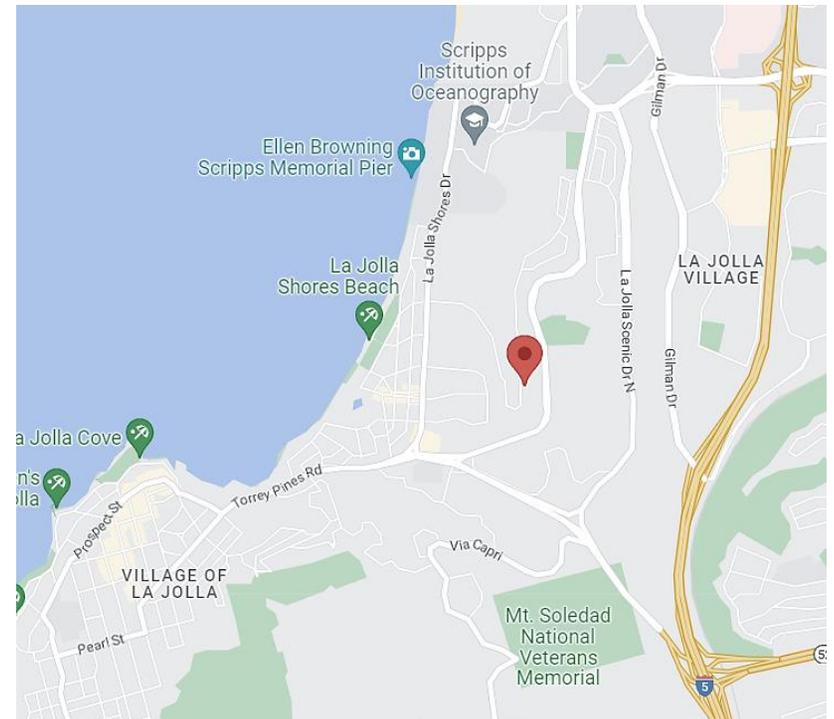
PROPOSED COVERAGE= 5,447 SF / 21,392 SF = .2546 = 25%

EXISTING AND PROPOSED SETBACKS ON ALL SIDES:

FRONT SETBACK – EXISTING 15' – PROPOSED 15'

ESTABLISHED SIDE YARD SETBACKS – 10' (EXT. 13' – PROP. 10')

REAR YARD SETBACK– 10' (EXT.122'-3" -- PROP. 124'-8")



BUILDING ADDRESS

8171 PRESTWICK DRIVE
LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER

346-334-0600

HEIGHT IF GREATER THAN 1-STORY (ABOVE GROUND):

SECTION 1510.0304(C) - 30' MAX.

EXISTING: 19'-6"

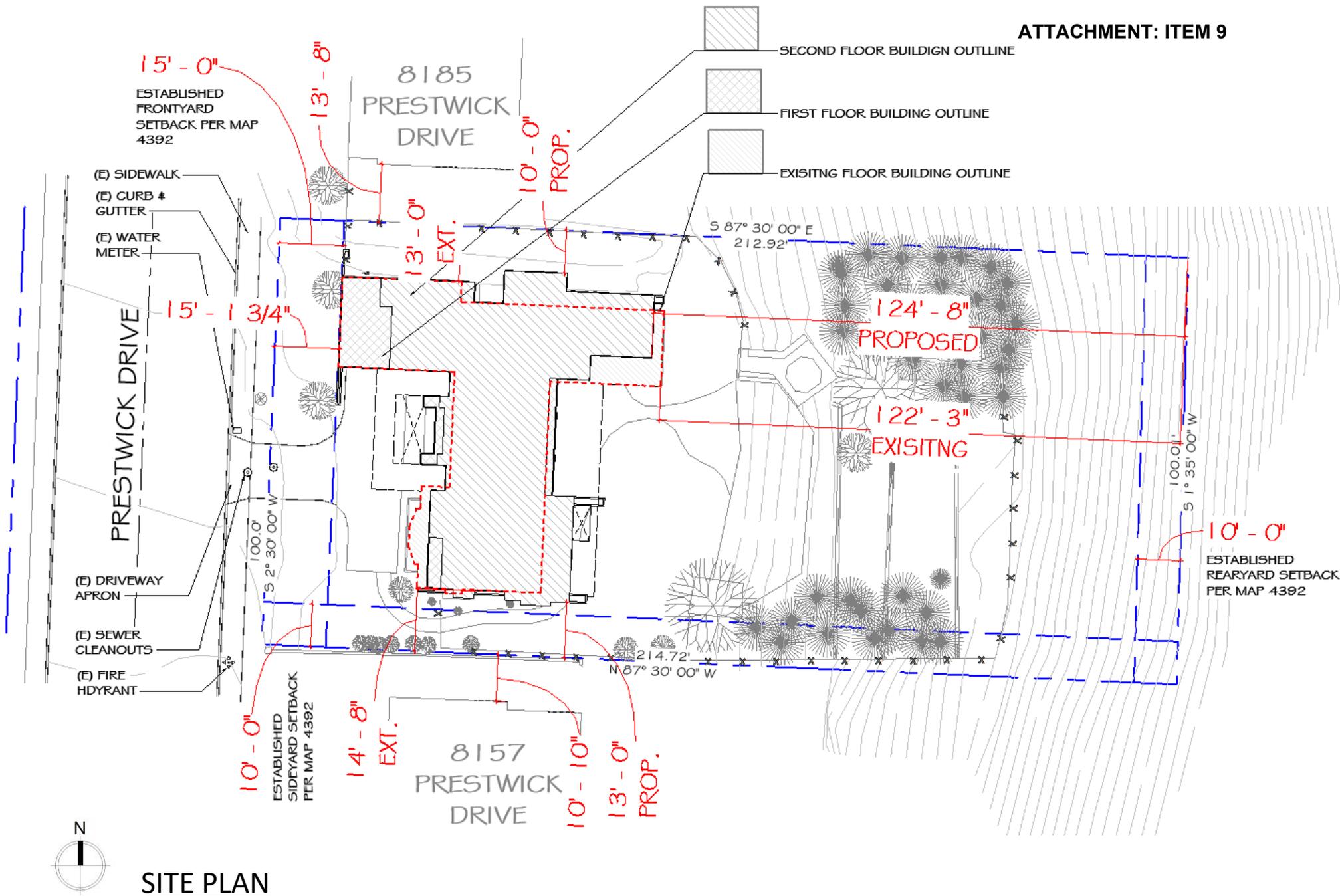
PROPOSED: 25'- 27' (38% INCREASED)



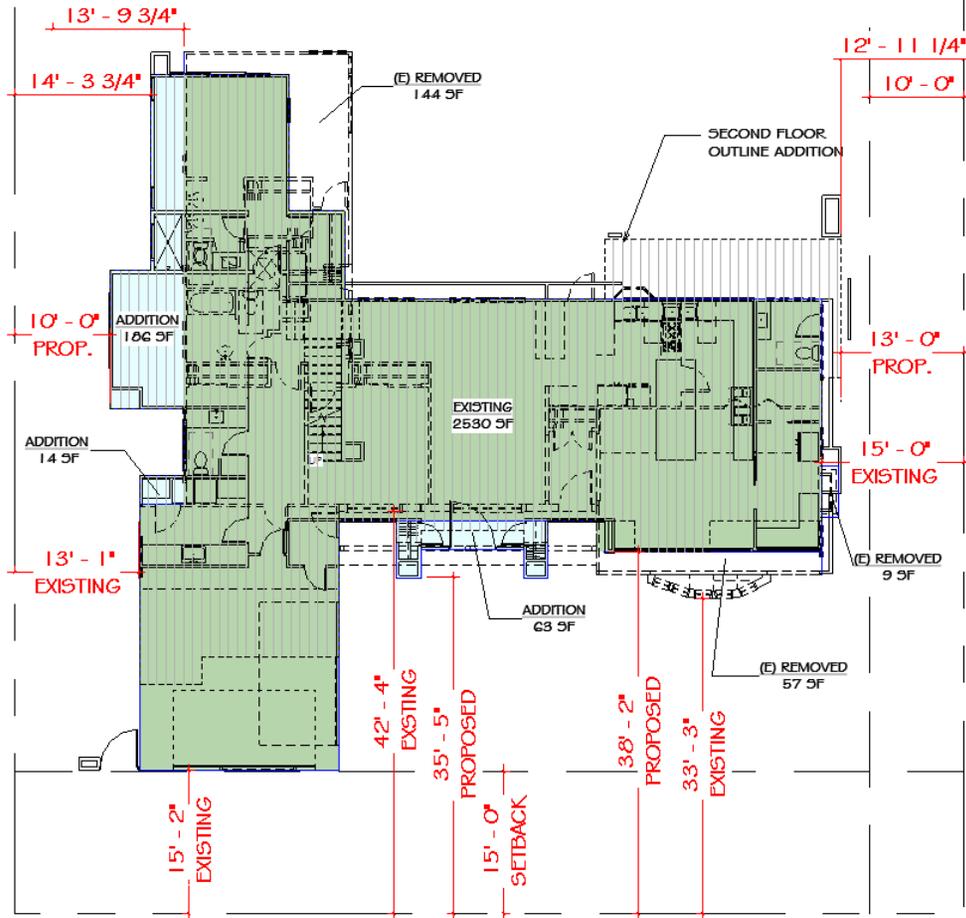
OASIS ARCHITECTURE & DESIGN, INC.

TITLE: PROJECT INFORMATION
DATE: 3/7/2023

8171 PRESTWICK DRIVE
LA JOLLA, CA 92037



SITE PLAN

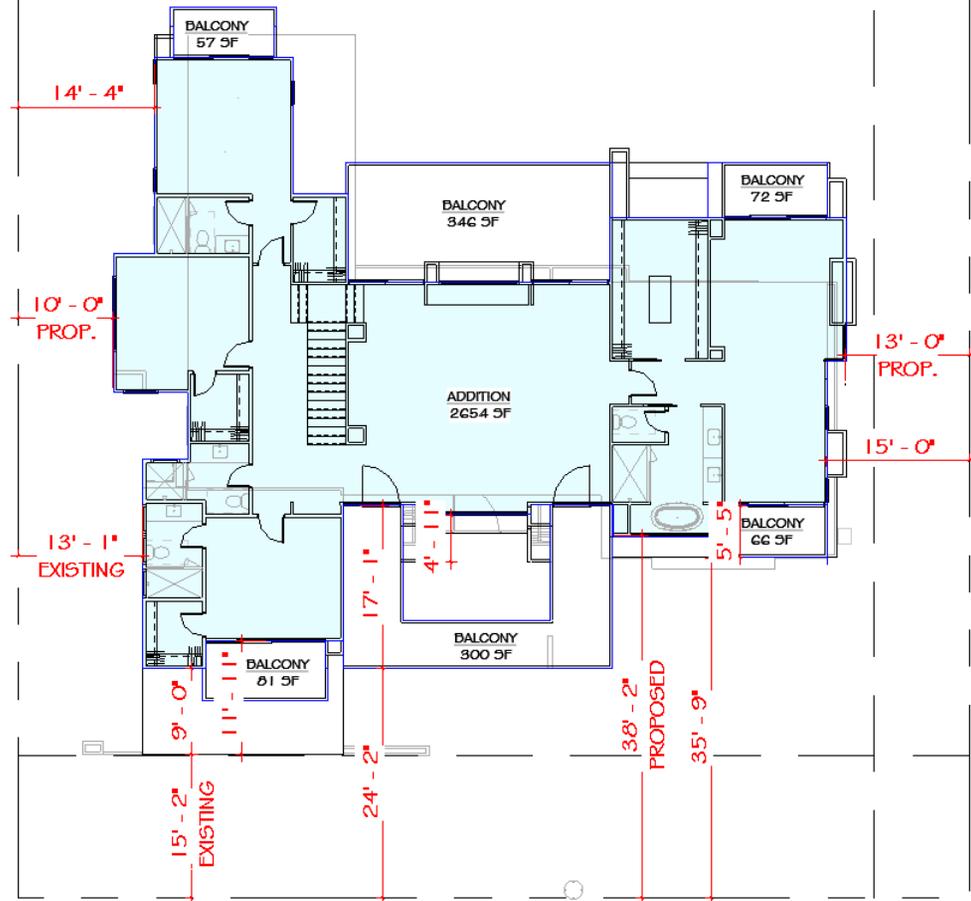


Building Area Legend

- (E) REMOVED
- ADDITION
- EXISTING

FIRST FLOOR AREA DIAGRAM

TOTAL AREA= 2,793 SF



Building Area Legend

- ADDITION
- BALCONY

SECOND FLOOR AREA DIAGRAM

TOTAL AREA= 2,654 SF





WEST ELEVATION - FRONT



OASIS ARCHITECTURE & DESIGN, INC.

TITLE: ELEVATIONS
DATE: 3/7/2023

8171 PRESTWICK DRIVE
LA JOLLA, CA 92037



SOUTH ELEVATION - SIDE





EAST ELEVATION - BACK



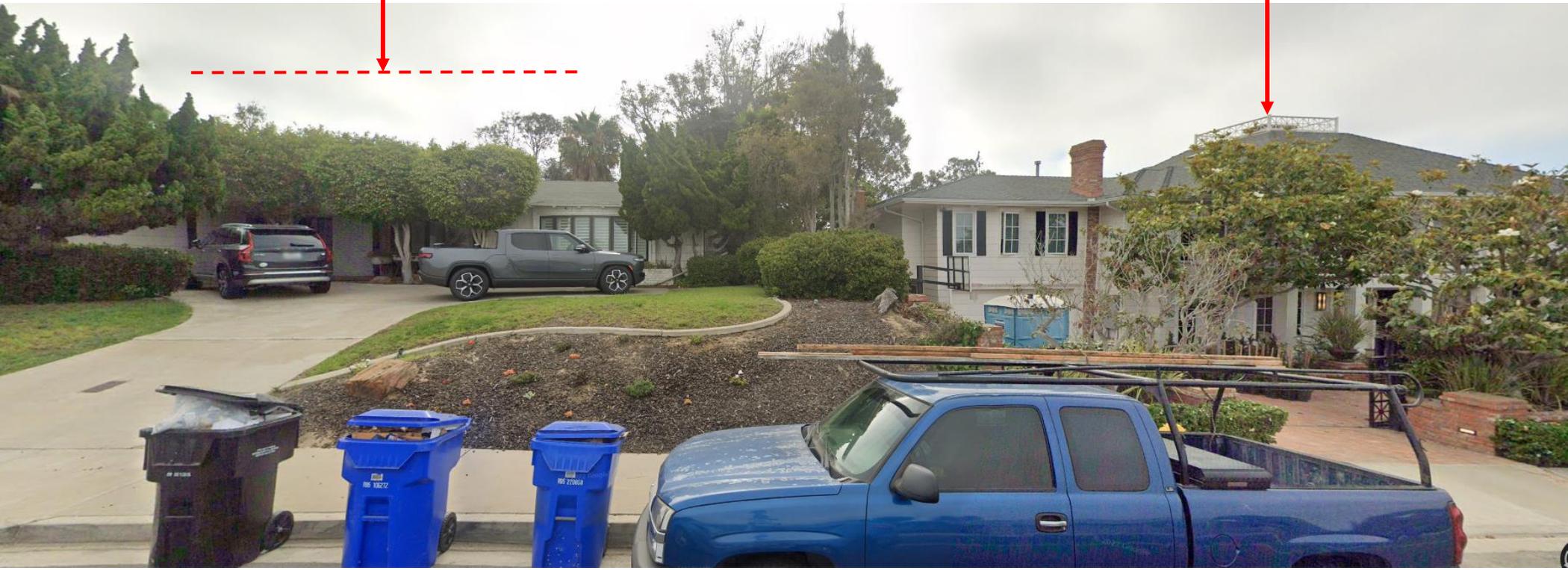


NORTH ELEVATION - SIDE



8171 PRESTWICK DR.
PROPOSED BUILDING HEIGHT: 25' - 27'

8157 PRESTWICK DR.
ATTACHMENT: ITEM 9
ASSUMED BUILDING HEIGHT : 28'



8185 PRESTWICK DR.
ASSUMED BUILDING HEIGHT: 27'

ATTACHMENT: ITEM 9
8171 PRESTWICK DR.
PROPOSED BUILDING HEIGHT: 25'-27'



OASIS ARCHITECTURE & DESIGN, INC.

TITLE: NIEGHBORING ELEVATIONS
DATE: 3/7/2023

8171 PRESTWICK DRIVE
LA JOLLA, CA 92037



8295 PRESTWICK DR.



8268 PRESTWICK DR.



OASIS ARCHITECTURE & DESIGN, INC.

TITLE: ARCHITECTURAL STYLE
DATE: 3/7/2023

8171 PRESTWICK DRIVE
LA JOLLA, CA 92037



8156 PRESTWICK DR.



8244 PRESTWICK DR.



8295 PRESTWICK DR.

LOT – 26,571 SF
LIVING – 6,000 SF
FRONT SETBACK – 25'
SIDE SETBACK – 9'

8257 PRESTWICK DR.

LOT – 22,651 SF
LIVING – 3,000 SF
FRONT SETBACK – 25'
SIDE SETBACK – 9'

8185 PRESTWICK DR.

LOT – 20,263 SF
LIVING – 3,000 SF
FRONT SETBACK – 10'
SIDE SETBACK – 11'

8157 PRESTWICK DR.

LOT – 21,795 SF
LIVING – 6,000 SF
FRONT SETBACK – 15'
SIDE SETBACK – 7'

ATTACHMENT: ITEM 9

8143 PRESTWICK DR.

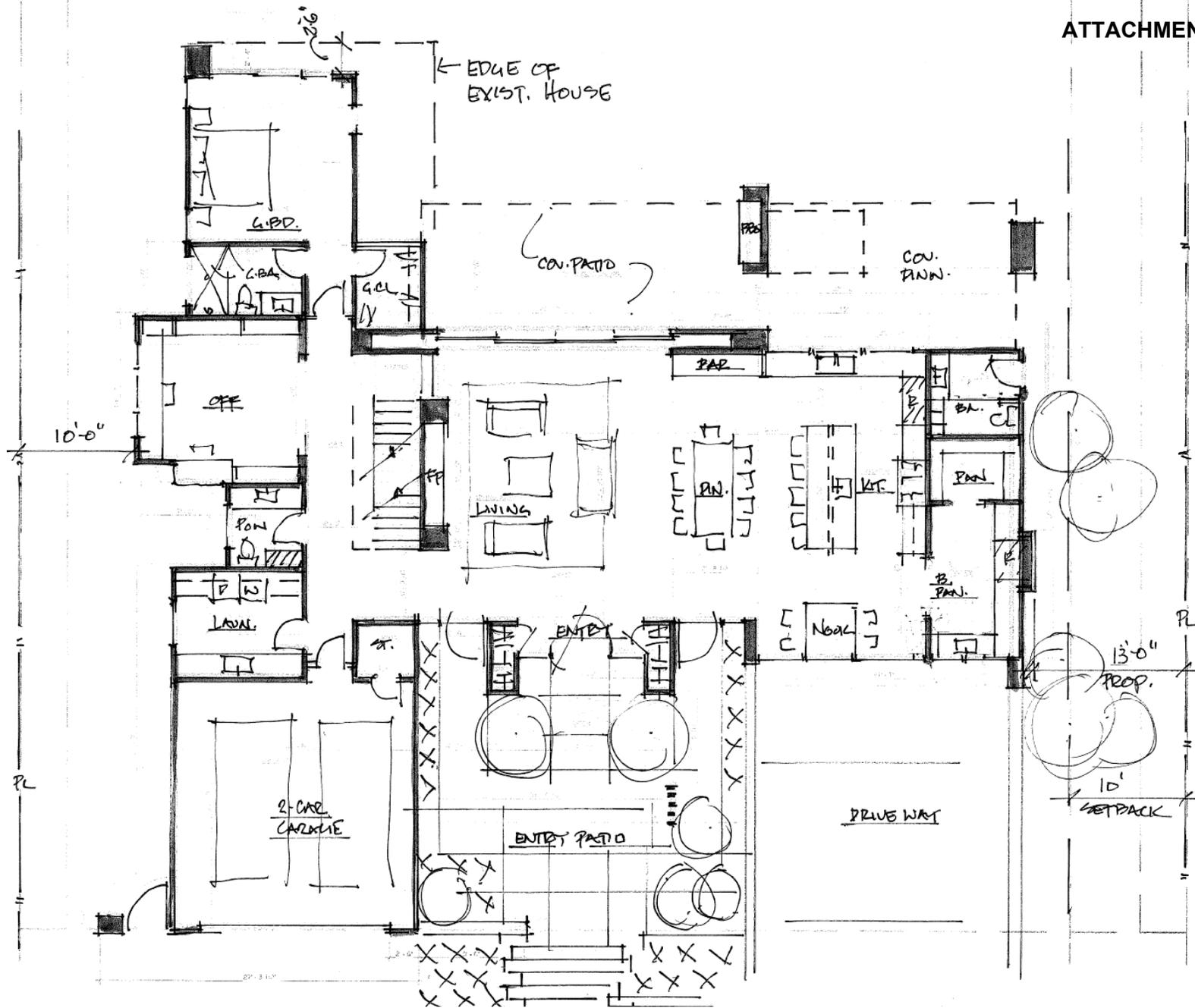
LOT – 21,458 SF
LIVING – 6,000 SF
FRONT SETBACK – 15'
SIDE SETBACK – 8'



PROJECT SITE: 8171 PRESTWICK DR.

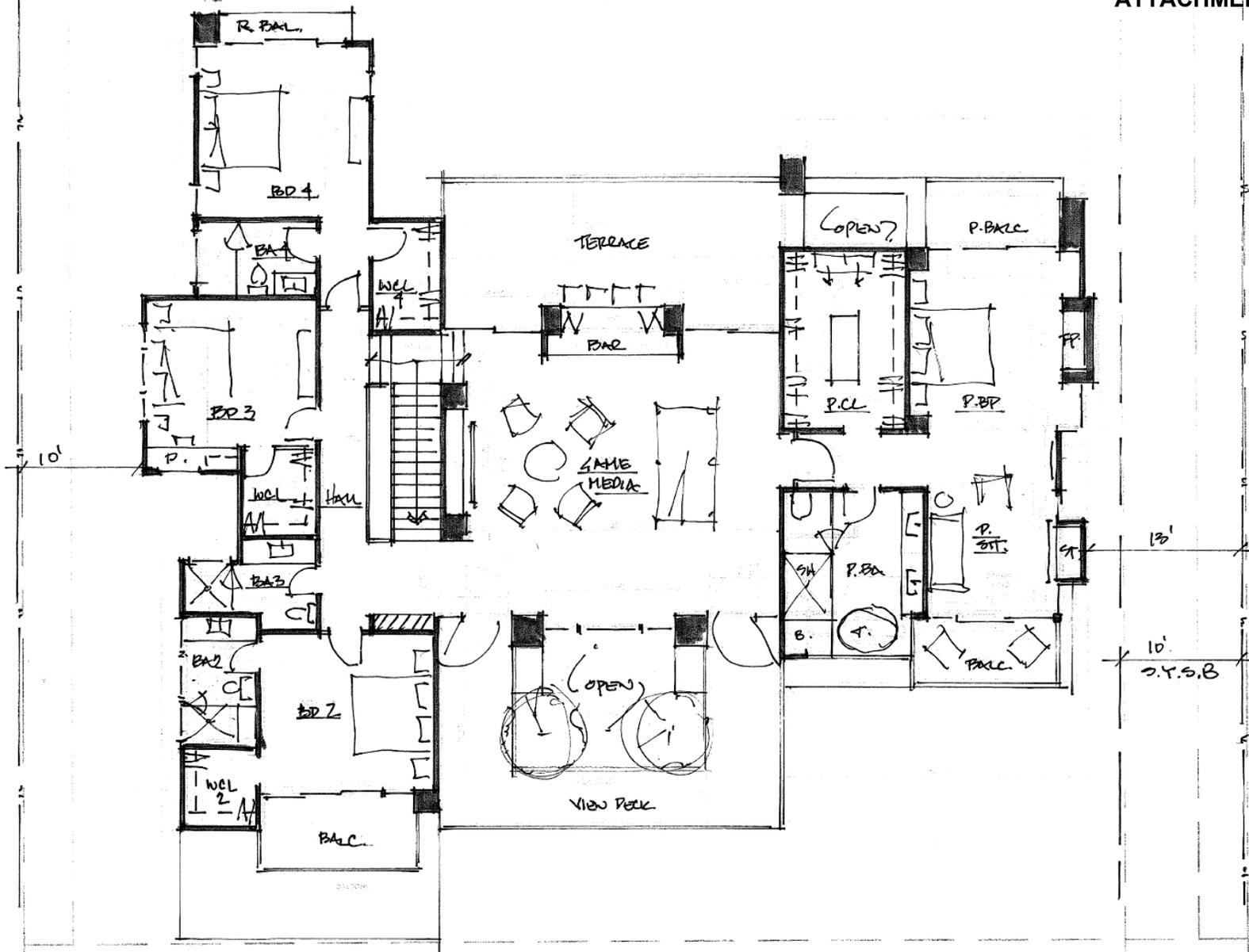
LOT – 21,392 SF
PROPOSED LIVING – 5,447 SF
FRONT SETBACK – 15'
SIDE SETBACK – 10'





PROPOSED FIRST FLOOR PLAN





PROPOSED SECOND FLOOR PLAN





ENTRY PERSPECTIVE



FRONT PERSPECTIVE-NORTH





REAR YARD PERSPECTIVE



FRONT PERSPECTIVE-SOUTH





SIDE YARD SOUTH



SIDE YARD NORTH





WEST ELEVATION FRONT



PROPOSED ADDITION IS NOT ENCRANCHING ON HILLSIDE

MINIMAL IMPACT ON BUILDING FOOTPRINT

CONSISTENT BULK AND SCALE

EXISTING COVERAGE = 2,737 SF / 21,392SF = .1279 = 13%
PROPOSED COVERAGE = 5,447 SF / 21,392 SF = .2546 = 25%

