

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-1063139
- Address and APN(s): 8011 La Jolla Shores, La Jolla. APN: 346-371-05-00
- Project contact name, phone, e-mail:
Chandra Slaven, AICP, chandraslaven@gmail.com 619-316-7656
- Project description:
A 258-square-foot garage addition and new 773-square-foot second-story addition with a roof deck.
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____
- In addition, provide the following:
 - lot size: 8,990 Sq. Ft.
 - existing structure square footage and FAR (if applicable): 2,274 Sq. Ft.
 - proposed square footage and FAR: 3,165 Sq. Ft. Total (.28 FAR)
 - existing and proposed setbacks on all sides: Refer to Site Plan A101 for variable established and existing setbacks.
 - height if greater than 1-story (above ground): 24 Feet

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Interim Program Coordinator

mpangilinan@sandiego.gov

Planning Department

9485 Aero Drive MS 413

San Diego CA 92123

619-235-5293

GENERAL NOTES

DETAILED SCOPE OF WORK

A. SITE INFORMATION IS TAKEN FROM A CURSORY SITE VISIT AND IS NOT EXTENSIVELY FIELD DOCUMENTED. FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS IN AREA OF WORK PRIOR TO BEGINNING CONSTRUCTION. IF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS EXIST, NOTIFY DESIGNER AND OWNER(S) IMMEDIATELY OF SUCH DISCREPANCIES.

B. CONTRACTOR TO PERFORM A FULL REVIEW OF THESE PLANS AND HAVE A COMPLETE UNDERSTANDING OF ALL ITEMS REPRESENTED. IF ANY DISCREPANCIES OR CONFLICTS OCCUR WITHIN THESE DRAWINGS, CONTRACTOR TO NOTIFY OWNER AND DESIGNER IMMEDIATELY PRIOR TO ORDERING MATERIALS, FABRICATION, INSTALLATION AND ALL OTHER CONSTRUCTION RELATED ACTIVITIES.

C. THE CONTRACTOR / BUILDER SHALL VERIFY WITH THE OWNER AND DESIGNER THE DATE OF THE MOST CURRENT DRAWINGS. (REFER TO LAST REVISION DATE ON ALL APPLICABLE SHEETS).

D. THE CONTRACTOR/BUILDER AND/OR SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS AND APPROVAL STAMPS TO OBTAIN FIRST HAND KNOWLEDGE OF ALL CONDITIONS, ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED TO THE OWNER AND DESIGNER PRIOR TO STARTING ANY WORK AND ORDERING MATERIALS. NO ALLOWANCE SHALL BE GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE CONDITIONS WHICH CAN BE DETERMINED BY CAREFULLY EXAMINING THE SITE, DRAWINGS OR STAMPS.

E. THE CONTRACTOR/BUILDER AND/OR SUBCONTRACTOR'S WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND/OR LOCAL JURISDICTIONS WHICH REGULATE BUILDING PROCEDURES & PRACTICES.

F. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN THEIR RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMITTAL OF BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR, OWNER AND DESIGNER OF ANY WORK CALLED OUT ON THE DRAWINGS, WITH RESPECT TO HIS TRADE WHICH CAN NOT BE FULLY GUARANTEED FOR AT LEAST ONE YEAR.

G. USE OF THESE DRAWINGS FOR OTHER PROJECTS / PROPERTIES OTHER THAN THE ONE SPECIFICALLY INTENDED BY THE DESIGNER IS A VIOLATION OF COMMON-LAW COPYRIGHT AND THE PROFESSIONAL CODE OF THE STATE OF CALIFORNIA.

H. ALL PLUMBING, HVAC, ELEC, AND LIGHTING WORK IS DESIGN / BUILD BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS, SIZING, DIAGRAMS, etc. WHICH MAY BE REQUIRED FOR PERMITS AND CONSTRUCTION. (VERIFY WITH OWNER'S FOR "AS-BUILT" DRAWINGS REQUIREMENTS). CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF EQUIPMENT AND FIXTURES WITH MANUFACTURERS CATALOG NUMBER AND DESCRIPTION PROPOSED FOR A COMPLETE JOB TO OWNER WITH HIS BID.

I. ADEQUACY OF EXISTING HVAC, GAS AND ELECTRICAL SERVICES TO PROVIDE NEW LOADS SHALL BE CONFIRMED BY THE G.C.

J. REPAIR / PATCH ALL SURFACES AFFECTED BY CONSTRUCTION OPERATIONS TO MATCH SURROUNDING MATERIAL UNLESS OTHERWISE NOTED OR SPECIFICALLY REQUESTED BY OWNER AND/OR DESIGNER.

K. UNLESS INDICATED OTHERWISE, ALL DIMENSIONS ARE FROM ROUGH FACE OF STUD TO ROUGH FACE OF STUD AT ALL WALLS.

L. CONTRACTOR/BUILDER TO CONFIRM WITH OWNER AS TO LOCATIONS & TYPE OF LIGHTING, POWER SOURCES, APPLIANCE REQUIREMENTS, DOOR HARDWARE, FINISHES, CABINETRY STYLE, etc. PRIOR TO ORDERING AND INSTALLATION OR FABRICATION OF THESE ITEMS.

M. A MINIMUM OF 50 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CGBSC SECTION 4.400.1 AND CITY ORDINANCE.

N. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE BASE OF MEASUREMENT (REFERENCE DATUM).

O. DURING CONSTRUCTION, AT LEAST (1) ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT.

P. BUILDING UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

THE PROJECT PROPOSES THE REMODEL & ADDITION TO AN (E) ONE-STORY, SINGLE FAMILY RESIDENCE. THESE PLANS WILL COMPLY WITH ALL REGULATIONS, CONDITIONS AND REQUIREMENTS OF S.D.P. APPROVAL # 3192788.

THE FOLLOWING IMPROVEMENTS AS FOLLOWS:

- 250 sq. ft. WILL BE ADDED TO THE EXISTING GARAGE. A NEW INTERIOR STAIRS WILL PROVIDE ACCESS TO THE NEW SECOND FLOOR ABOVE.
- A 113 sq. ft., SECOND STORY ADDITION WILL OCCUR OVER THE EXISTING GARAGE, AND NEW ADDED AREA.
- A ROOF DECK (113 sq. ft.) WILL OCCUR OVER THE NEW SECOND FLOOR.
- A NEW WOOD FENCE AROUND THE PERIMETER OF THE PROPERTY.

THE AFOREMENTIONED SCOPE OF WORK, REQUIRES BOTH THE APPROVAL OF A SITE DEVELOPMENT PERMIT, STANDARD BUILDING PERMIT AS ISSUED BY THE CITY OF SAN DIEGO.

A 'NOTICE OF COMPLETION' CANNOT BE LOCATED.

PROJECT DATA

PROJECT NAME: PIERCE RESIDENCE
 PROJECT TYPE: REMODEL & ADDITION
 PROJECT ADDRESS: 8011 LA JOLLA SHORES DR. LA JOLLA, CA 92037
 APN: 346-371-05-00
 YEAR BUILT: 1952
 LEGAL DESCRIPTION:
 SUBDIVISION: SYCAMORE TERRACE
 LOT: 5
 MAP: 2866

PIERCE RESIDENCE REMODEL & ADDITION (SITE DEVELOPMENT APPROVAL # 3192788)

8011 LA JOLLA SHORES DRIVE LA JOLLA, CALIFORNIA 92037

BUILDING CODE DATA

TYPE OF CONSTRUCTION: SPRINKLERED: YES NO
 TYPE V-B: YES NO
 OCCUPANCY CLASSIFICATION(S): R-3 / U
 GOVERNING JURISDICTION: CITY OF SAN DIEGO
 GOVERNING CODES: CBC-2019
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA GREEN BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA ENERGY CODE
 CITY OF SAN DIEGO ZONING ORDINANCE & MUNICIPAL CODE

ZONING DATA

BASE ZONE:
 • LUSPD-8F (LA JOLLA SHORES PLANNED DISTRICT)
 HISTORICAL / CULTURAL RESOURCES
 • PALEONTOLOGICAL SENSITIVITY AREA (LOW)
 OVERLAY ZONES:
 • COASTAL HEIGHT
 • COASTAL (N-APP-2)
 • PARKING IMPACT (PIOZ-COASTAL / BEACH-IMPACT)
 • TRANSIT AREA
 • TRANSIT PRIORITY
 COMMUNITY PLAN
 • LA JOLLA
 GEOLOGIC CATEGORY
 • 52
 PLANNING AND ZONING DATA
 LOT AREA: 8,930 sq. ft.
 DEVELOPMENT REGULATIONS:
 MAX. FLOOR AREA: 30'
 MAX. STRUCTURE HEIGHT: 056
 MAX. FLOOR AREA RATIO: 056 x 8,930 = 5,034 sq. ft.

ABBREVIATIONS

ABV. ABOVE	FND. FOUNDATION	RAD. RADIUS
AFF. ABOVE FINISHED FLOOR	F.O.C. FACE OF CONCRETE	R. RIBER
AFI. ARC FAULT INTERRUPTER	FACE OF STUD	R 4 S ROD & SHELF
AFS. ABOVE FINISHED SLAB	FIREPLACE	R.D. ROOF DRAIN
ADJ. ADJACENT OR ADJUSTABLE	FRM'G. FRAMING	R.W.L. RAIN WATER LEADER
AVG. AIR CONDITIONING	FOOT OR FEET	R.W.O. REDWOOD
ALT. ALTERNATE	FOOTING	REF. REFRIGERATOR
AB. ANCHOR BOLT	GAL.V. GALVANIZED	REQ'D. REQUIRED
APPROX. APPROXIMATE OR APPROXIMATELY	G.I. GALVANIZED STEEL	RESIL. RESILIENT
ARCH. ARCHITECTURAL	G.S.M. GALVANIZED SHEET METAL	RET. RETAINING
AFN. BIDET	GA. GAUGE	REV. REVISION
BDT. BASEMENT	GL. GLASS OR GLAZING	R.H. RIGHT HAND
BRG. BEARING	GLU-LAM. GLUE-LAMINATED	R.M. ROOM
BTUN. BETWEEN	GRAB BAR	R.O. ROUGH OPENING
BLK. BLOCK	GR. GROUND OR GRADE	RND. ROUND
BLKG. BLOCKING	GROUND FAULT INTERRUPTER	SCHED. SCHEDULE
BD. BOARD	GYP. GYPSUM	SCRN. SCREEN
BOT. BOTTOM	HARDWARE	SECT. SECTION
BLDG. BUILDING	HDR. HEADER	S.E.D. SEE ELECTRICAL DRAWINGS
CAB. CABINET	HANGER	S.M.D. SEE MECHANICAL DRAWINGS
CBC. CALIFORNIA BUILDING CODE	HEAT / VENT / AIR COND.	S.P.D. SEE PLUMBING DRAWINGS
C.I. CAST IRON	HEATER	S.S.D. SEE STRUCTURAL DRAWINGS
CLG. CEILING	HTG. HEATING	SU. SHEAR WALL
CEM. PL.ST. CEMENT PLASTER	HTR. HEIGHT	SHT. SHEET
CTR. CENTER	H.C. HOLLOW CORE	S 4 P SHELF & POLE
CER. CERAMIC	HOR. HORIZONTAL	SH. SINGLE HUNG
C.O. CLEAN OUT	HOB. HOSE BIBB	SHUR. SHOWER
CLR. CLEAR	HOUR	SIM. SIMILAR
COL. COLUMN	INFO. INFORMATION	S.G.D. SLIDING GLASS DOOR
COMB. COMBUSTION OR COMBUSTIBLE	ID. INSIDE DIAMETER	S.C. SOLID CORE
COMP. COMPOSITION	INSUL. INSULATION	SPEC. SPECIFICATIONS
CONC. CONCRETE	INT. INTERIOR	SQ. SQUARE
CMU. CONCRETE MASONRY UNIT	KIT. KITCHEN	S.F. SQUARE FEET (OR FOOT)
CONST. CONSTRUCTION	LAV. LAVATORY	STD. STANDARD
C.J. CONTROL JOINT	LIN. LINEN CLOSET	STL. STEEL
CONT. CONTINUOUS	LNG. LENGTH OR LONG	STOR. STORAGE
CSMT. CASEMENT	LBS. LENGTH OR LONG	STRUC. STRUCTURAL
CSNK. COUNTERSINK	LT. LIGHT	SUSP. SUSPENDED
DH. DOUBLE HUNG	M.B. MACHINE BOLT	SYST. SYSTEM
DT. DETAIL	MFR. MANUFACTURER	TEL. TELEPHONE
DIAG. DIAGONAL	MAS. MASONRY	TV. TELEVISION
DIA. DIAMETER	MAX. MAXIMUM	TEMP. TEMPORARY
DIM. DIMENSION	MECH. MECHANICAL	TMFPRD. TEMPERED
DISP. DISPOSAL	M.C. MECHANICAL	THK. THICK
DR. DOOR	MED. MEDICINE CABINET	TP. TOILET PAPER HOLDER
DBL. DOUBLE	MIN. MINIMUM	T. TREAD
D.F. DOUGLAS FIR	MIR. MIRROR	TLT. TOILET
DN. DOWN	MISC. MISCELLANEOUS	TYP. TYPICAL
D.S. DOWNSPOUT	MOUNT	UNFIN. UNFINISHED
DUG. DRAWING	MTD. MOUNTED	UBC. UNIFORM BUILDING CODE
D. DRYER	NEC. NATIONAL ELECTRICAL CODE	UPC. UNIFORM PLUMBING CODE
D/W. DISH WASHER	NAT. NATURAL	UMC. UNIFORM MECHANICAL CODE
EA. EACH	(N) NEW	UN.O. UNLESS NOTED OTHERWISE
EE. EACH END	N.I.C. NOT IN CONTRACT	VERT. VERTICAL
ELEC. ELECTRICAL OR ELECTRIC	N.T.S. NOT TO SCALE	V.G. VERTICAL GRAIN
ELEV. ELEVATION	OBS. OBSOLETE	V.I.F. VERIFY IN FIELD
EMER. EMERGENCY	O.C. ON CENTER	VIN. VINYL
ENGR. ENGINEER	OPN. OPENING	W. WASHER
EQ. EQUAL	OPP. OPPOSITE	W/ WITH
EQUIP. EQUIPMENT	O.D. OUTSIDE DIAMETER	W/O WITHOUT
EXH. EXHAUST	OH. OVERHEAD	UN&CT. UNUSUAL
EXH. EXHAUST	FR. FAIR	WTR. WATER
EW. EACH WAY	FR. PARTITION	UC. WATER CLOSET
EF. EXHAUST FAN	P.V.M.T. PAVEMENT	UH. WATER HEATER
(E) EXISTING	PL. LAM. PLASTIC LAMINATE	WP. WATER PROOF
EXIST. EXISTING	PL. PLATE	WP GFI. WATER PROOF GFI
E.J. EXPANSION JOINT	PLY. PLYWOOD	WR. WATER RESISTANT
EXT. EXTERIOR	P.F.V. PLYWOOD EDGE NAILING	WT. WEIGHT
FAU. FORCED AIR UNIT	P.F. POUNDS PER SQ. FT.	WIN. WINDOW
FIN. FINISH	P.S.I. POUNDS PER SQ. IN.	WD. WOOD
F.F. FINISHED FLOOR	R.A. RETURN AIR	* AND *
F.S. FINISHED SLAB	P.F.P. Poured in place	o CENTER LINE
F.E. FIRE EXTINGUISHER	P.T. PRESSURE TREATED	o PROPERTY LINE
FLR. FLOOR	P.T.D.F. PRESSURE TREATED DOUGLAS FIR	o DIAMETER
F.D. FLOOR DRAIN		* NUMBER OR FOUND
FLUOR. FLUORESCENT		

PROJECT TEAM

OWNER: JOHN RAMON PIERCE TRUST
 8011 LA JOLLA SHORES DR.
 LA JOLLA, CA 92037
 PHONE: (619) 300-2881
 CONTACT: JOHN PIERCE

DESIGN CONSULTANT: R. VALENTINE CONSULTING, LLC.
 10755 SCRIPPS POWAY PKWY., #226
 SAN DIEGO, CA 92131
 PHONE: (619) 531-5106
 CONTACT: ROB VALENTINE

TITLE 24 CONSULTANT: RE. MINOR & ASSOCIATES ARCHITECTURE
 1281 HANSON WAY
 RAMONA, CA 92065
 PHONE: (619) 865-1231
 CONTACT: ROB MINOR

CONTRACTOR: NOT YET SELECTED

TABULAR DATA

EXISTING CONDITIONS

FIRST FLOOR:	1,110 sq. ft.
GARAGE:	504 sq. ft.
TOTAL:	2,214 sq. ft.

PROPOSED CONDITIONS:

FIRST FLOOR:	0 sq. ft.
SECOND FLOOR:	703 sq. ft.
GARAGE:	188 sq. ft.
ROOF DECK:	113 sq. ft. (GFA EXEMPT)
TOTAL:	891 sq. ft.

PROJECT TOTAL AFTER ADDITION: (NET TOTAL)

FIRST FLOOR:	1,110 sq. ft.
SECOND FLOOR:	703 sq. ft.
GARAGE:	692 sq. ft.
ROOF DECK:	113 sq. ft. (GFA EXEMPT)
TOTAL:	3,165 sq. ft.

3,165 sq. ft. / 8,930 sq. ft. = 35.55 (35 %)

LOT COVERAGE:

FIRST FLOOR:	1,110 sq. ft.
GARAGE:	162 sq. ft.
TOTAL:	2,532 sq. ft.

2,532 sq. ft. / 8,930 sq. ft. = 28.35 (28 %)
 (28% less than 0.60 ALLOWABLE LOT COVERAGE)

LANDSCAPED TABULATION:

STRUCTURE:	2,462 sq. ft.
HARDSCAPE (CONCRETE):	840 sq. ft.
FRONT PORCH:	215 sq. ft.
REAR DECK:	545 sq. ft.
TOTAL:	4,062 sq. ft.

8,930 sq. ft. LOT - 4,062 sq. ft. = 4,828 sq. ft. LANDSCAPE AREA
 4,828 sq. ft. / 8,930 sq. ft. = 54.1% LANDSCAPE

DRAWING SHEET INDEX

A001 TITLE SHEET
 A002 STORY WATER FORMS, BMP NOTES, GREEN BLDG. NOTES
 A003 COASTAL DEMOLITION DOCUMENTATION

A101 SITE PLAN - SUBJECT PROPERTY ENLARGED
 A102 300' SITE PLAN

L1 LANDSCAPE PLAN

A201 EXISTING / DEMO. ROOF & PROPOSED FIRST FLOOR PLAN
 A202 EXISTING / DEMO. ROOF & PROPOSED SECOND FLOOR PLAN

A203 PROPOSED ROOF DECK PLAN

A301 EXTERIOR ELEVATIONS - FRONT & REAR
 A302 EXTERIOR ELEVATIONS - LEFT & RIGHT SIDE

REVISIONS	BY

VALENTINE CONSULTING
 10755 SCRIPPS POWAY PKWY., SUITE 226
 SAN DIEGO, CALIFORNIA 92131
 (619) 531-5106 www.valentineconsulting.com

PIERCE RESIDENCE
 8011 La Jolla Shores Drive
 San Diego, California 92037
REMODEL & ADDITION

TITLE SHEET & PROJECT INFO
 S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN	
CHKD	
DATE	1/22/2023
JOB NUMBER	
	21032
	SHEET

A001

Stormwater Requirements Applicability Checklist

Project Address: 8011 La Jolla Shores Dr., La Jolla, CA 92037 Project Number: PRJ-1063139

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities...
2. Does the project propose construction or demolition activity...
3. Does the project propose routine maintenance to maintain the original line and grade...
4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit...
• If you checked "Yes" for question 1, an SWPPP IS REQUIRED - continue to Part B
• If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP IS REQUIRED...
• If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply...

* More information on the City's construction BMP requirements as well as CGP requirements can be found at http://www.sandiego.gov/stormwater/regulations/index.shtml

CLEAR FORM

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction.

Complete Part B and continue to Section 2

- 1. ASBS
A. Projects located in the ASBS watershed.
2. High Priority
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
3. Medium Priority
A. Projects that are not located in an ASBS watershed or designated as a High priority site.
4. Low Priority
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
• If "no" is checked for all the numbers in Part C: Continue to Part D.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure...
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement...

CLEAR FORM

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

STORMWATER NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRDWRQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING AND IMPROVEMENTS...
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION...
3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES...
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES / EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES...
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN (3) THREE BUSINESS DAYS AFTER EACH RAIN EVENT...
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES...
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES...
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ON AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP / WPCP SHALL BE INSTALLED AND MAINTAINED...
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM...
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED...
17. CONSTRUCTION ENTRANCE AND EXIT AREA, TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC01 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS...

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GREEN BLDG. CODE NOTES

- A. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
B. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
C. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
D. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED...
E. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS...
F. EIGHTY PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST...
G. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS...
H. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED...
I. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS TO BE CHECKED BEFORE ENCLOSURE...
J. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER...
K. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUB-CONTRACTOR...
L. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER...
M. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED...
N. A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR...
O. HARDWOOD FLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE...
P. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
Q. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS...
R. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
S. ALL HEATING & COOLING EQUIPMENT MUST COMPLY WITH ACCA MANUAL 6-2004 EQUIPMENT SIZING REQUIREMENTS...
T. DUCT SYSTEMS SIZING MUST COMPLY WITH ACCA MANUAL D-2019, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
U. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN REASONABLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS OF THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.

Table with 2 columns: REVISIONS, BY

BALENTINE CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
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PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

GREEN BUILDING CODE NOTES & STORM WATER FORMS
S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

Table with 2 columns: DRAWN, DATE, JOB NUMBER, SHEET

A002

PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
• If "no" is checked for all questions in Part D, continue to Part E.

- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
• Are designed and constructed to direct stormwater runoff to adjacent vegetated areas...
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, runoff to adjacent vegetated areas...
3. Does the project ONLY include retrofitting or redeveloping existing paved alleys, runoff to adjacent vegetated areas...

PART E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SQWMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
• If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site...
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces...
3. New development or redevelopment of a restaurant...
4. New development or redevelopment on a hillside...
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface...
6. New development or redevelopment of streets, roads, highways, freeways, and driveways...

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- 7. New development or redevelopment discharging directly to an environmentally sensitive area...
8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface...
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces...
10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land...

PART F - Select the appropriate category based on the outcomes of Part C through Part E

- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance.
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.

R. Balentine Consulting (Robert Balentine) Designer / Agent for Owner
Name of Owner or Agent Title
Robert M. Balentine 02/15/2023
Signature Date

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REVISIONS	BY

BALENTINE
CONSULTING

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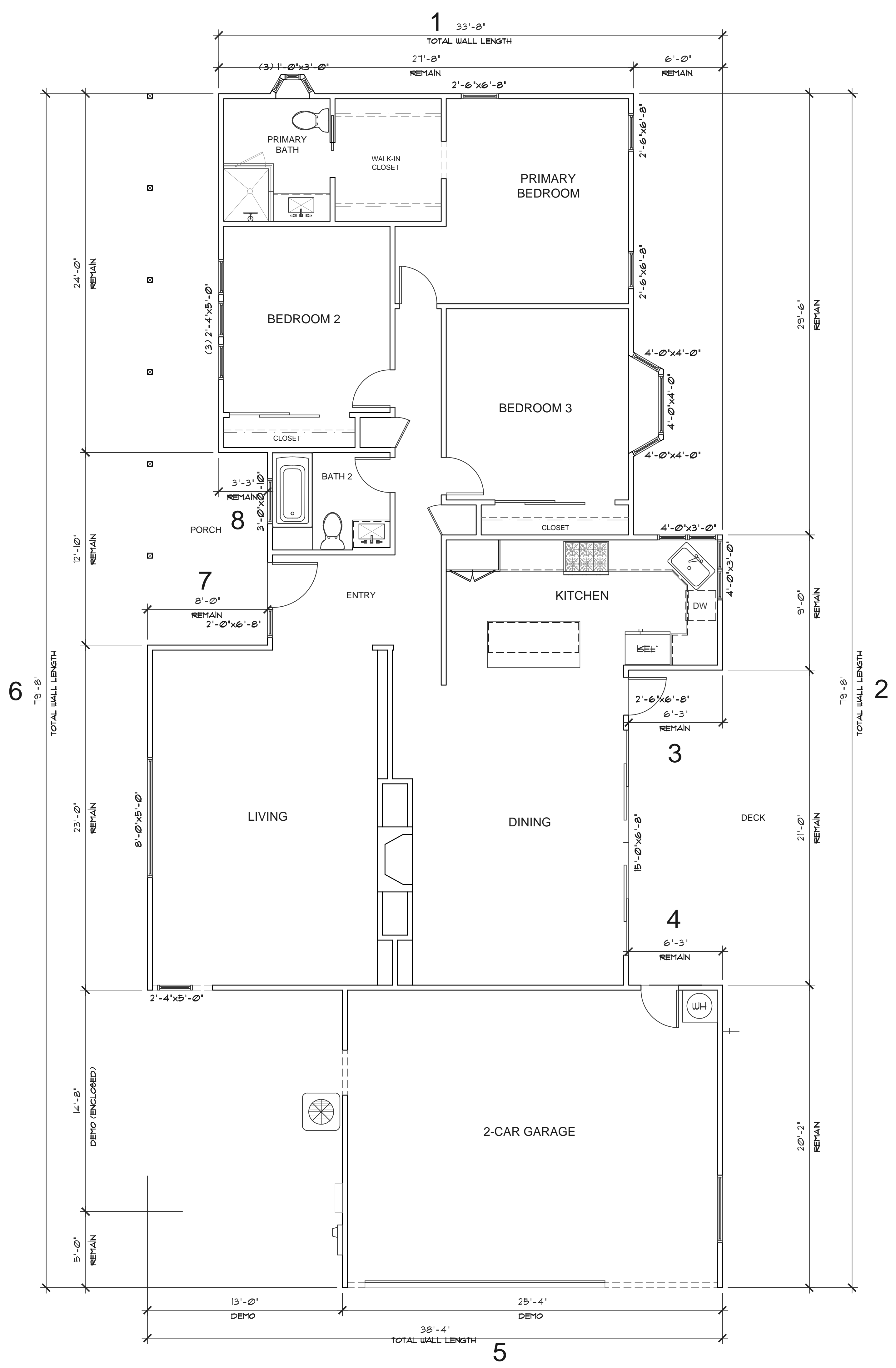
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COASTAL DEMOLITION DOCUMENTATION

S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN	RMB
DATE	1/27/2023
JOB NUMBER	21032
SHEET	

A003



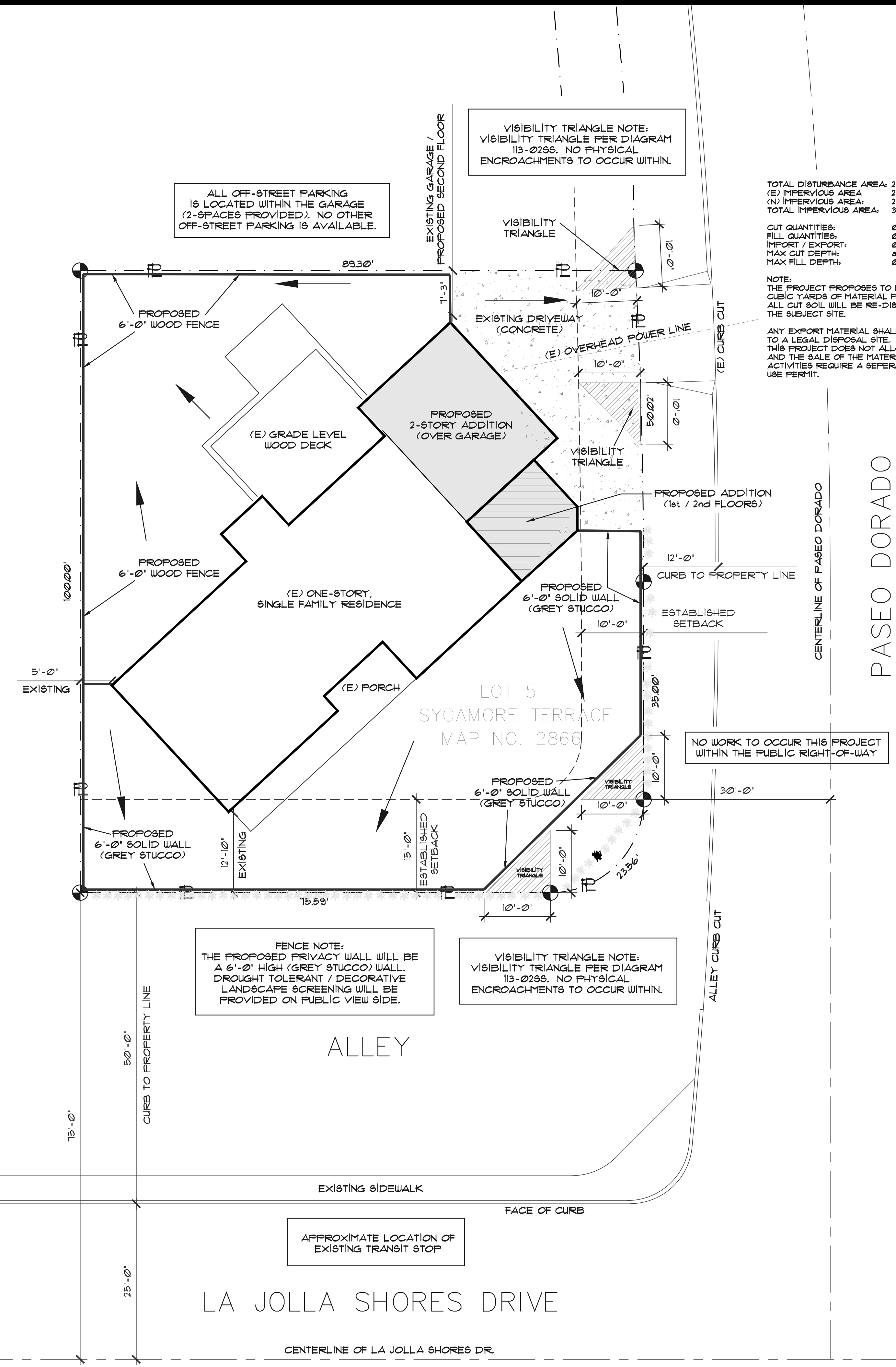
WALL NUMBER	(E) WALL LENGTH	DEMOED WALL LENGTH	REMAINING WALL LENGTH
1	33'-8"	0'-0"	33'-8"
2	19'-8"	0'-0"	19'-8"
3	6'-3"	0'-0"	6'-3"
4	6'-3"	0'-0"	6'-3"
5	38'-4"	38'-4"	0'-0"
6	19'-8"	14'-8"	65'-0"
7	8'-0"	0'-0"	8'-0"
8	3'-3"	0'-0"	3'-3"
TOTAL	255'-1"	53'-0"	202'-1"

18% OF EXISTING WALL LENGTH TO BE REMAIN
(202'-1" / 255'-1" = 18%)

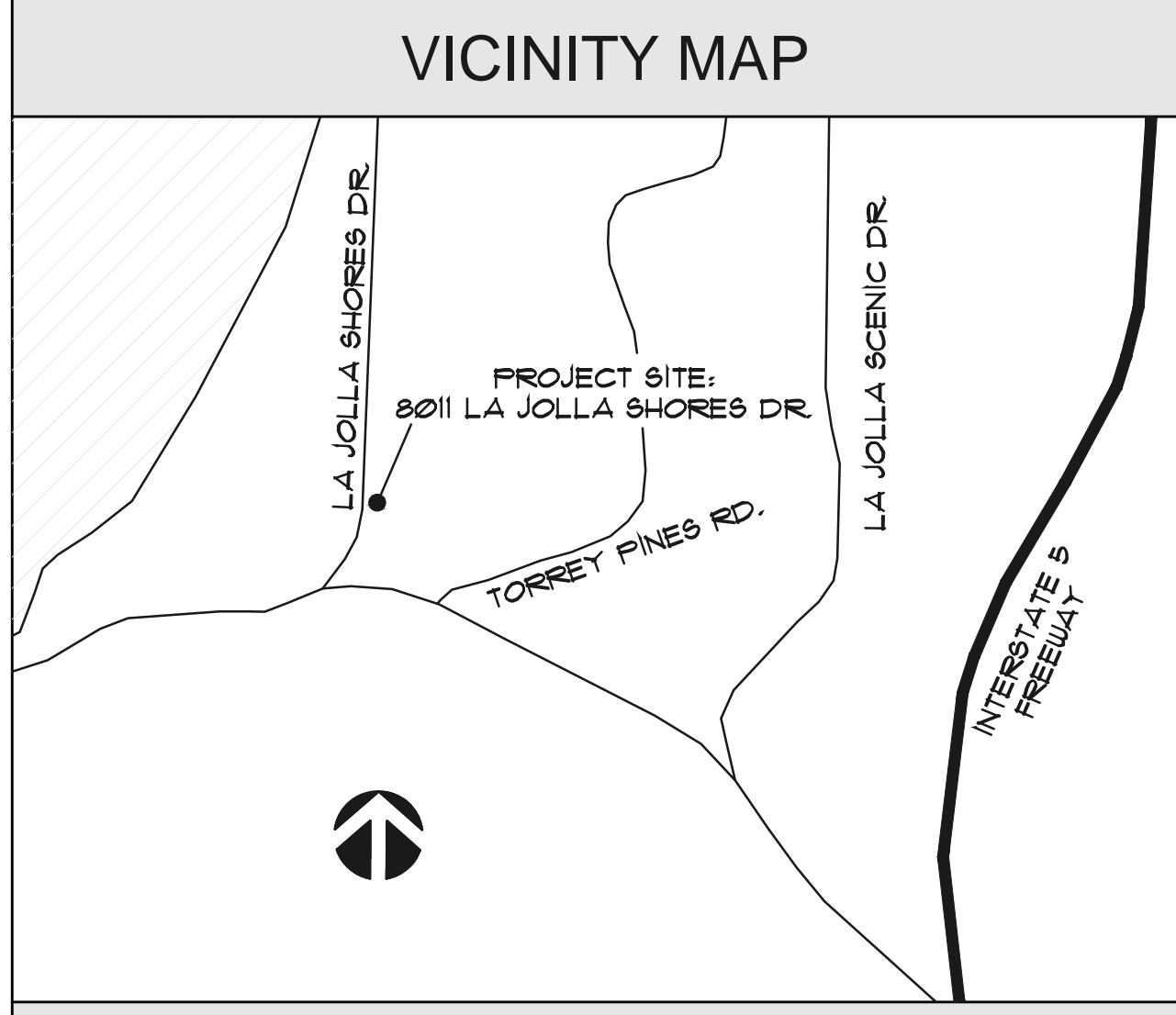
EXISTING & DEMOLITION WALL LEGEND

- WALL REMOVAL PER CITY OF SAN DIEGO
- NO CHANGE TO EXISTING EXTERIOR WALL
- PROPOSED ADDITION

NOTE:
THIS WALL LEGEND PERTAINS ONLY TO SHEET A 22 (THIS SHEET)



SITE PLAN
SCALE: 1" = 10'-0"



SITE PLAN NOTES

1. THIS PROJECT IS LOCATED WITHIN ASB5 23 OF LA JOLLA SHORES COASTAL WATERSHED and OWNER / PERMITTEE IS RESPONSIBLE FOR COMPLIANCE WITH ALL ASB5 REQUIREMENTS.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
3. DESIGNER IS NOT RESPONSIBLE FOR LAND SURVEY OR TOPOGRAPHICAL INFORMATION. FIELD VERIFY ALL INFORMATION.
4. THE CONTRACTOR OR OWNER / BUILDER SHALL BE RESPONSIBLE FOR SITE SURVEY, SETBACKS, ETC. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE MET, NOTIFY THE DESIGNER PRIOR TO TRENCHING OF FOOTINGS, EXCAVATING, ETC.
5. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL WORK TO BE DONE TO PREPARE THE SITE FOR THE NEW OR REMODELED CONSTRUCTION.
6. ALL FINISH GRADES AROUND THE EXTERIOR OF THE STRUCTURE SHALL BE SLOPED TO DRAIN SURFACE WATER AWAY FROM THE STRUCTURE(S). THE GRADE SHALL FALL A MINIMUM OF 6" INCHES (5% percent SLOPE) WITHIN THE FIRST 10'-0".
7. THE CONTRACTOR OR OWNER / BUILDER SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING ANY WORK ON THE PROJECT.
8. PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPART FOR REVIEW PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
10. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40% percent.
11. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSED THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
12. THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACHES ITS EFFECTIVENESS.
13. ALL SLOPS THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
14. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
15. STORM WATER RUN-OFF FROM ALL PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO LANDSCAPING AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

REVISIONS	BY

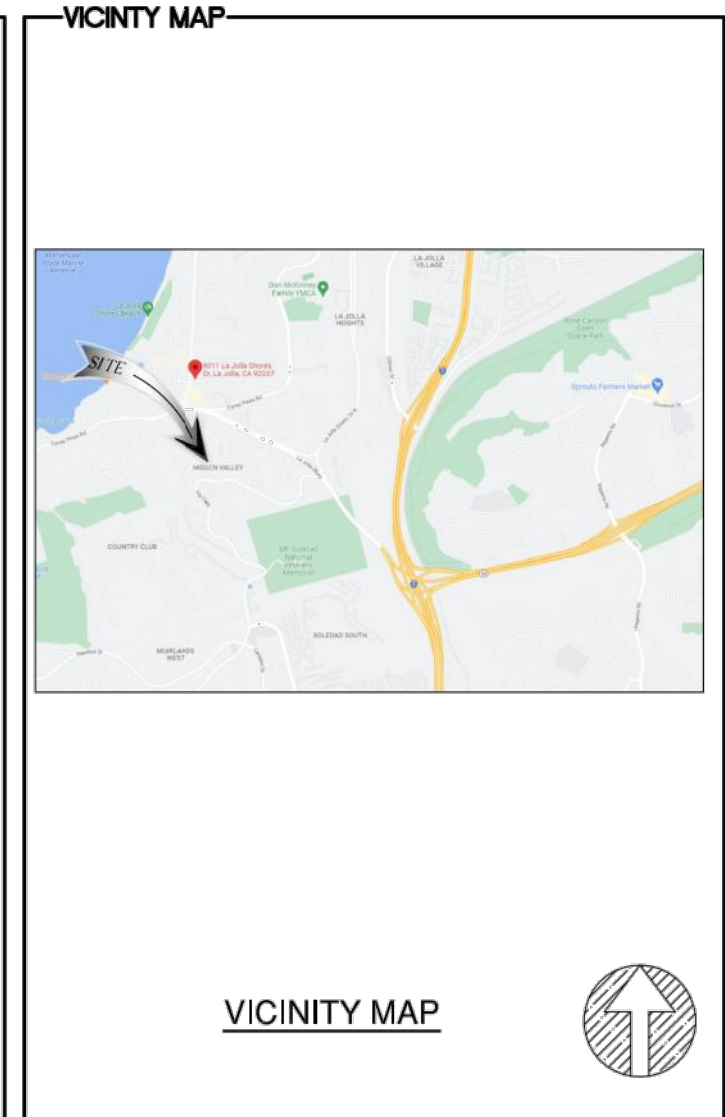
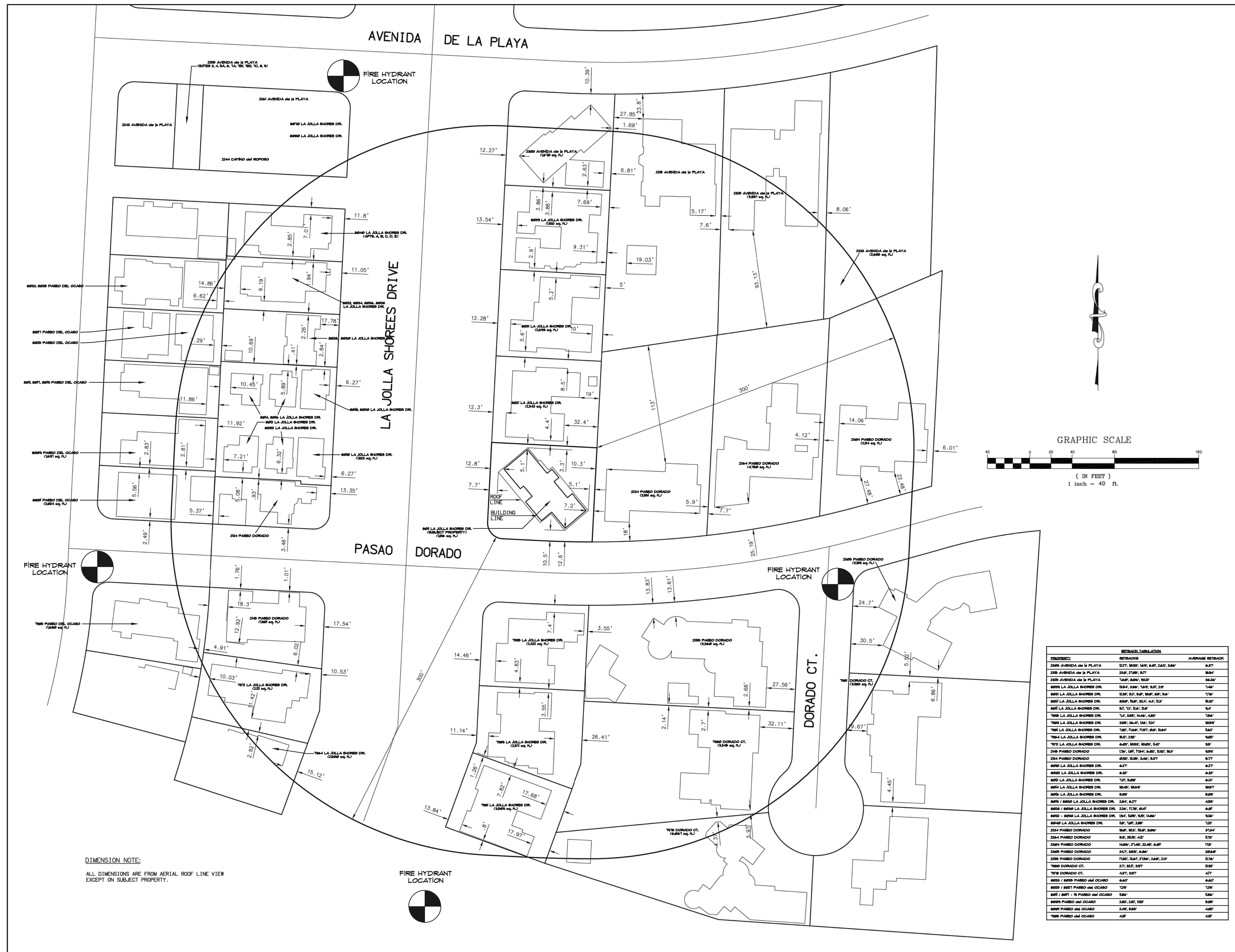
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PIERCE RESIDENCE
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San Diego, California 92037
REMODEL & ADDITION

SITE PLAN
S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN	RMB
DATE	1/12/2023
JOB NUMBER	21032
SHEET	

REVISIONS	BY



SITE INFORMATION

8011 LA JOLLA SHORES DRIVE

LEGAL DESCRIPTION

LOT 5 OF SYCAMORE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2866, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1952, BEING DESCRIBED IN DOCUMENT NO. 2021-0016719, RECORDED JANUARY 8, 2021.

APN: 346-371-05

GROSS AREA - 0.206 ACRES

8,989.23 SQ. FT.

THE PROPERTY LINES, BEARINGS AND DIMENSIONS, SHOWN HEREON, ARE ESTABLISHED FROM AVAILABLE RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A COMPLETE FIELD BOUNDARY RETRACEMENT SURVEY.

PLAN PREPARED BY

ACCURATE LAND SURVEYS
 2514 ALPINE BLVD, SUITE 44, ALPINE, CA 91901
 PH: 619-445-0110

SEAL

Joseph J. Russell

SHEET TITLE

300' RADIUS SITE PLAN

DATE

03/01/2022

SHEET NUMBER

SHEET 1 OF 1

DESCRIPTION	RETRACEMENT	AVERAGE RETRACEMENT
3241 AVENIDA DE LA PLAYA	6.27'	6.27'
3242 AVENIDA DE LA PLAYA	6.27'	6.27'
3243 AVENIDA DE LA PLAYA	6.27'	6.27'
3244 AVENIDA DE LA PLAYA	6.27'	6.27'
3245 AVENIDA DE LA PLAYA	6.27'	6.27'
3246 AVENIDA DE LA PLAYA	6.27'	6.27'
3247 AVENIDA DE LA PLAYA	6.27'	6.27'
3248 AVENIDA DE LA PLAYA	6.27'	6.27'
3249 AVENIDA DE LA PLAYA	6.27'	6.27'
3250 AVENIDA DE LA PLAYA	6.27'	6.27'
3251 AVENIDA DE LA PLAYA	6.27'	6.27'
3252 AVENIDA DE LA PLAYA	6.27'	6.27'
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3271 AVENIDA DE LA PLAYA	6.27'	6.27'
3272 AVENIDA DE LA PLAYA	6.27'	6.27'
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3292 AVENIDA DE LA PLAYA	6.27'	6.27'
3293 AVENIDA DE LA PLAYA	6.27'	6.27'
3294 AVENIDA DE LA PLAYA	6.27'	6.27'
3295 AVENIDA DE LA PLAYA	6.27'	6.27'
3296 AVENIDA DE LA PLAYA	6.27'	6.27'
3297 AVENIDA DE LA PLAYA	6.27'	6.27'
3298 AVENIDA DE LA PLAYA	6.27'	6.27'
3299 AVENIDA DE LA PLAYA	6.27'	6.27'
3300 AVENIDA DE LA PLAYA	6.27'	6.27'

PIERCE RESIDENCE

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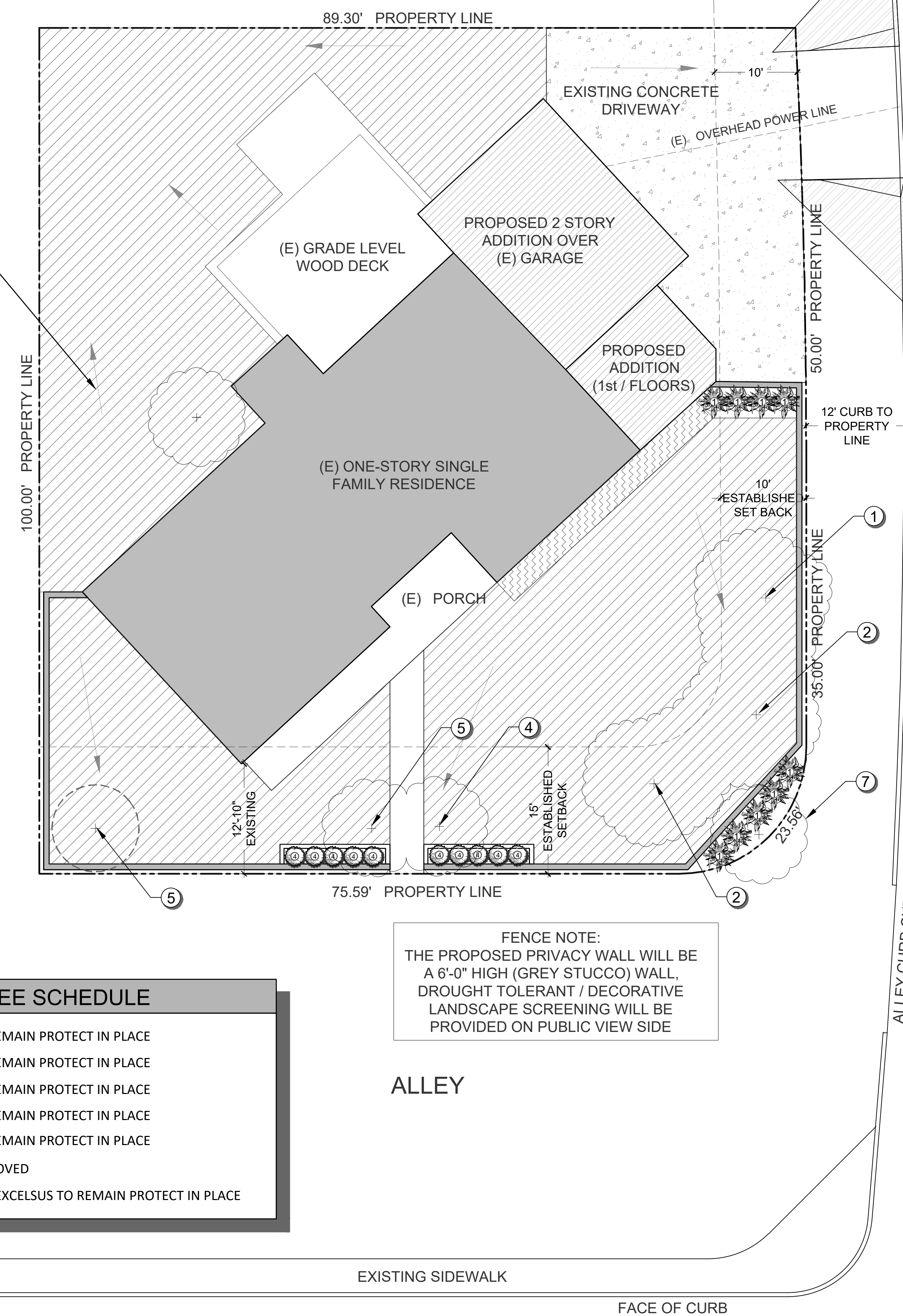
REMODEL & ADDITION

300' NOTICING SITE PLAN

S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

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RMB
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1/12/2023
 JOB NUMBER
21032
 SHEET

A102



NOTE:
MAINTAIN EXISTING SITE
SURFACE DRAINAGE FLOW

NOTE:
REPAIR DISTURBED AREAS BACK TO
PRE-CONSTRUCTION CONDITIONS

NO WORK TO OCCUR THIS PROJECT
WITHIN THE PUBLIC RIGHT-OF-WAY

FENCE NOTE:
THE PROPOSED PRIVACY WALL WILL BE
A 6'-0" HIGH (GREY STUCCO) WALL,
DROUGHT TOLERANT / DECORATIVE
LANDSCAPE SCREENING WILL BE
PROVIDED ON PUBLIC VIEW SIDE

EXISTING TREE SCHEDULE	
①	16" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
②	12" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
③	12" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
④	10" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
⑤	18" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
⑥	METROSIDEROS SP. TO BE REMOVED
⑦	MULTI TRUNK METROSIDEROS EXCELSUS TO REMAIN PROTECT IN PLACE

PLANT LEGEND

SRUBS		COMMON NAME		SIZE	QTY.	WU-	COLS
☼	MUHLENBERGIA CAPILARIS	PINK MUHLY		5 GAL.	9	LOW	
☼	VERBANA LILACINA	CEDROS ISLAND VERBANA		5 GAL.	10	LOW	

GROUND COVERS		COMMON NAME		SIZE	SQ.FT.	WU-	COLS
▨	CEANOTHUS YANKEE POINT	YANKEE POINT CEANOTHUS		1 GAL. 6' O.C.	96	LOW	

MISC.

SYM	DESCRIPTION
▨	EXISTING LANDSCAPE TO REMAIN PROTECT IN PLACE
+	EXISTING TREES TO REMAIN PROTECT IN PLACE

LANDSCAPE GENERAL NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE DESIGN MANUAL AND THE REGIONAL STANDARDS.
- MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION:** AN EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED, THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE.
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED.
- ARCHITECTURAL ELEVATIONS AND FEATURES SHALL BE CONSIDERED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
- ALL PLANTER AREAS SHALL RECEIVE A 3" DEPTH OF SHREDDED BARK MULCH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- NON-BIODIGRADABLE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOT BALL.
- A MINIMUM ROOTZONE OF 40SF. IN AREA SHALL BE PROVIDED FOR ALL TREES THE MINIMUM DIMENSION FOR THIS AREA 5 FEET, PER SDMC 142.0403(b)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE SECTION 142.040(b)(5)(10).
- MINIMUM TREE SEPARATION DISTANCE
TRAFFIC SIGNALS / SIGNAL SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
a) A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES
b) STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
c) A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
d) ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

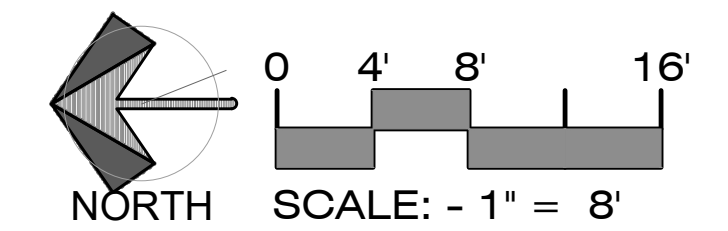
AREA TABULATION

DESCRIPTION	SQFT	%
TOTAL LOT	8,990'	100
EXISTING AND PROPOSED STRUCTURES	2,459.7'	27.36
DRIVEWAY	855.6'	9.52
DECK/PATHS	856.7'	9.53
PROPOSED LANDSCAPE AREA	4,818'	53.59
MIN. ALLOWED LANDSCAPE AREA	2,697'	30.0

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 feet
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 feet
SEWER LINES	10 feet
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 feet
DRIVEWAYS	10 feet
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 feet

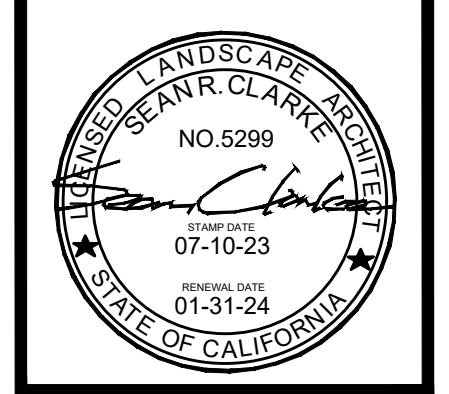
LA JOLLA SHORES DRIVE



CENTER LINE OF LA JOLLA SHORES DRIVE



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
110 COPPERWOOD WAY # 9
OCEANSIDE CA 92058
CA. 760-716-3100
L A # 5299



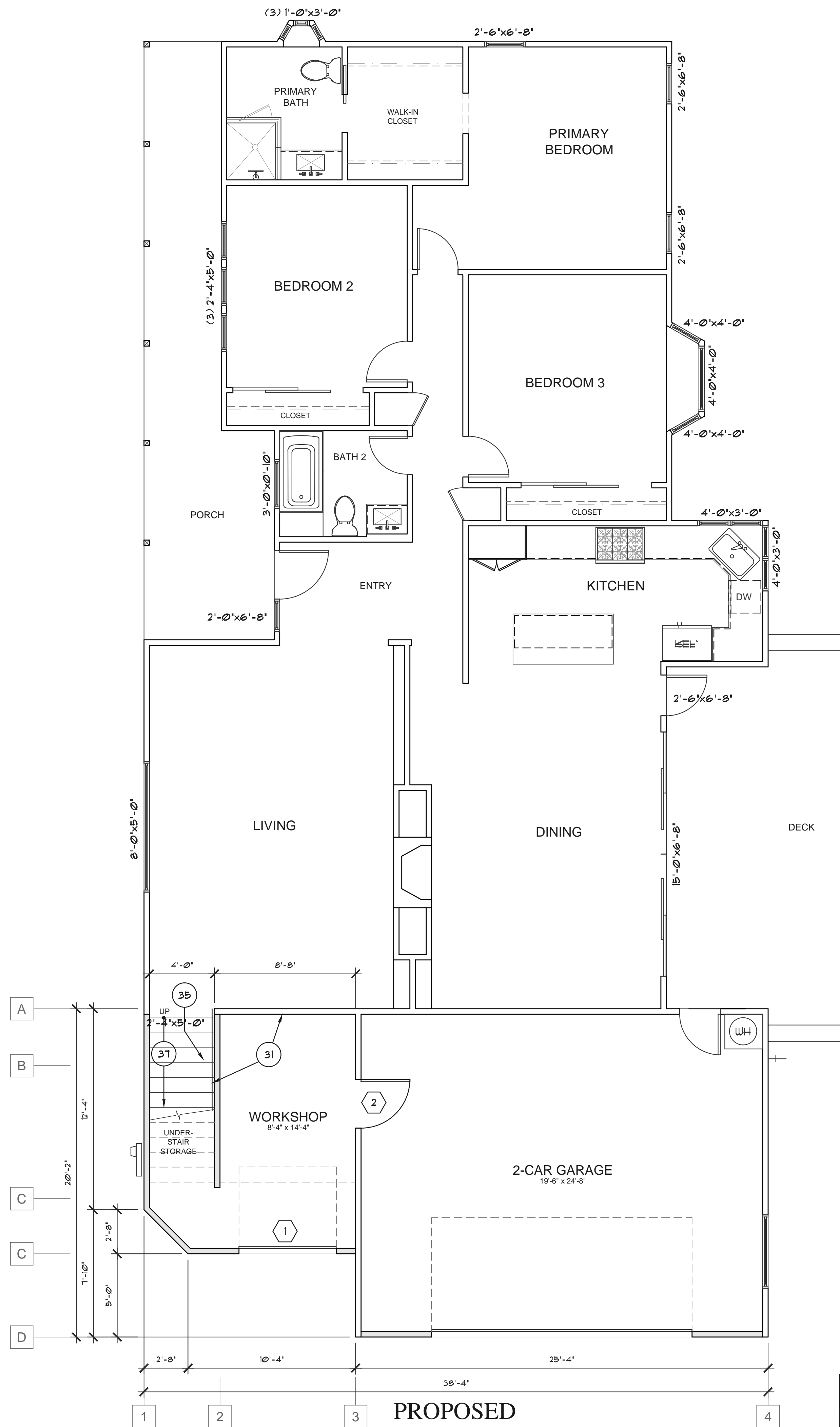
SHEET TITLE:
LANDSCAPE CONCEPT PLAN

PROJECT:
**PIERCE RESIDENCE
REMODEL & ADDITION**
8011 LA JOLLA SHORES DR.
LA JOLLA, CA 92037

REVISIONS

DRAWN JA
APPROVED SC
JOB NO. SRC23150
DATE 07-10-23
SCALE AS SHOWN
SHEET

PLOT DATE: 07-07-23



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS TO REMAIN UNALTERED
	(E) WALLS TO BE DEMOLISHED
	NEW STUD WALLS (PER STRUCTURAL)
	NEW PARTIAL HT. WALL / RAILINGS

EXIST / DEMOLITION KEYNOTES:

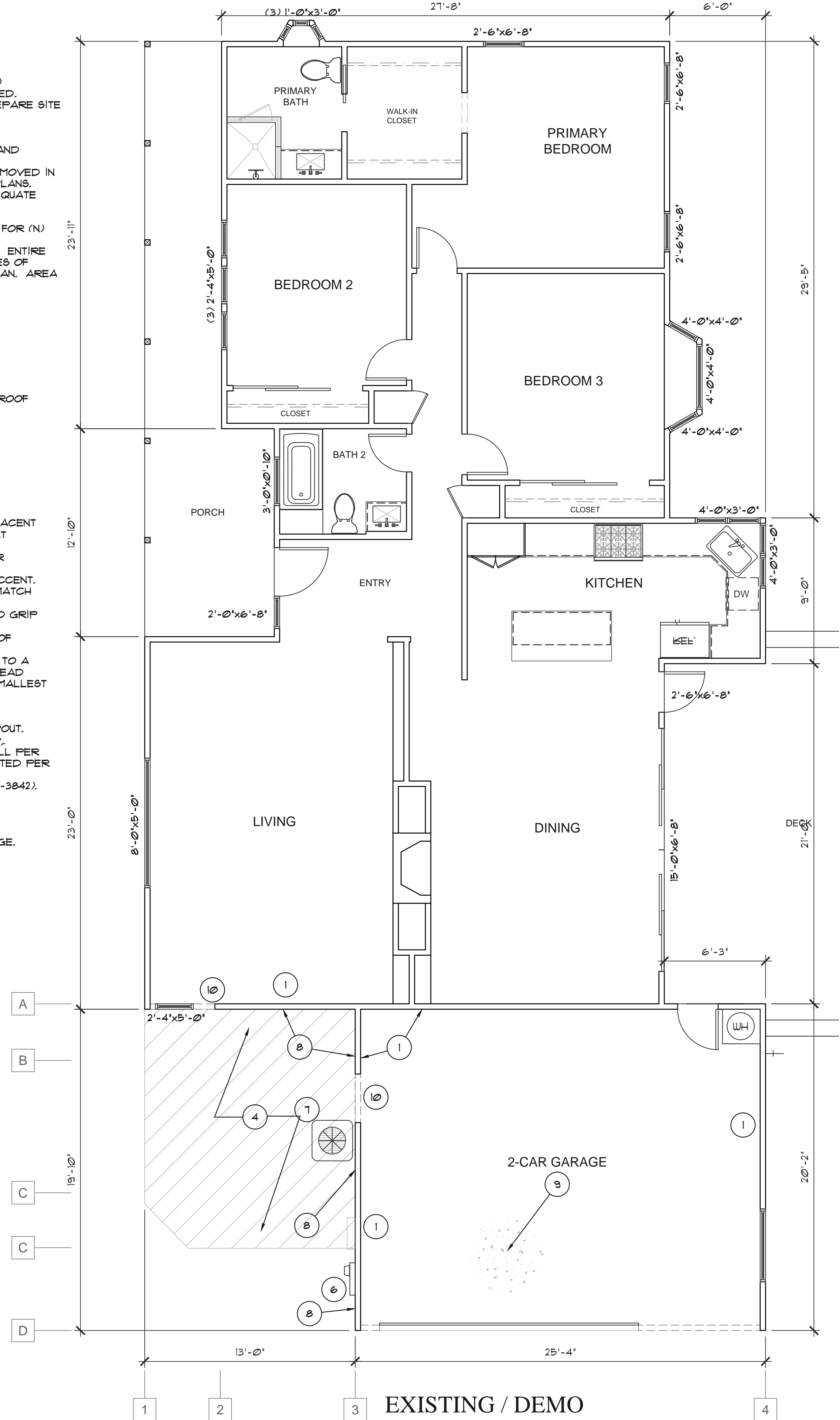
- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N)
- (E) SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- (E) GARAGE SLAB TO REMAIN UNALTERED, UNO.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. R-19 (min.) BATT INSULATION AT CEILING RAFTERS, UNDER ROOF SHEATHING.
- DD. MIN. 1/2" INCH GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" INCH MIN. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" INCH MIN. TYPE 'X' GWB TYP. AT CEILINGS.
- (N) BATHROOM FIXTURES, CABINETRY & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 "HARDPLANK" TRIM, PAINTED DARK BROWN AS AN ACCENT.
- "HARD-PLANK" FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (EGR-2230). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" INCH GYP. BD. AT ALL WALLS & SOFFITS OF ENCLOSED SIDE OF ALL UNDER-STAIR LOCATIONS.
- STAIR RISERS TO BE A MAXIMUM OF 1-3/4" INCHES, TREADS TO A MINIMUM OF 11" INCHES - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" INCH.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI ROOF FRAMING PER STRUCTURAL.
- DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE, SLOPED 1/4" / FT. TO DRAIN, TYP.
- WATERPROOF DECKING BY 'WESTCOAT', ESR # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- (N) GLASS GUARDRAIL BY 'C.R. LAURENCE CO., INC.' (EGR-3842).
- NOT USED.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.



EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	BY

BALENTINE CONSULTING
 10755 SCRIPES POWAY PKWY., SUITE 226
 SAN DIEGO, CALIFORNIA 92131
 (858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
 8011 La Jolla Shores Drive
 San Diego, California 92037
 REMODEL & ADDITION

EXISTING / DEMOLITION AND PROPOSED FIRST FLOOR PLAN
 S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN	
DATE	1/27/2023
JOB NUMBER	21032
SHEET	

A201

REVISIONS	BY

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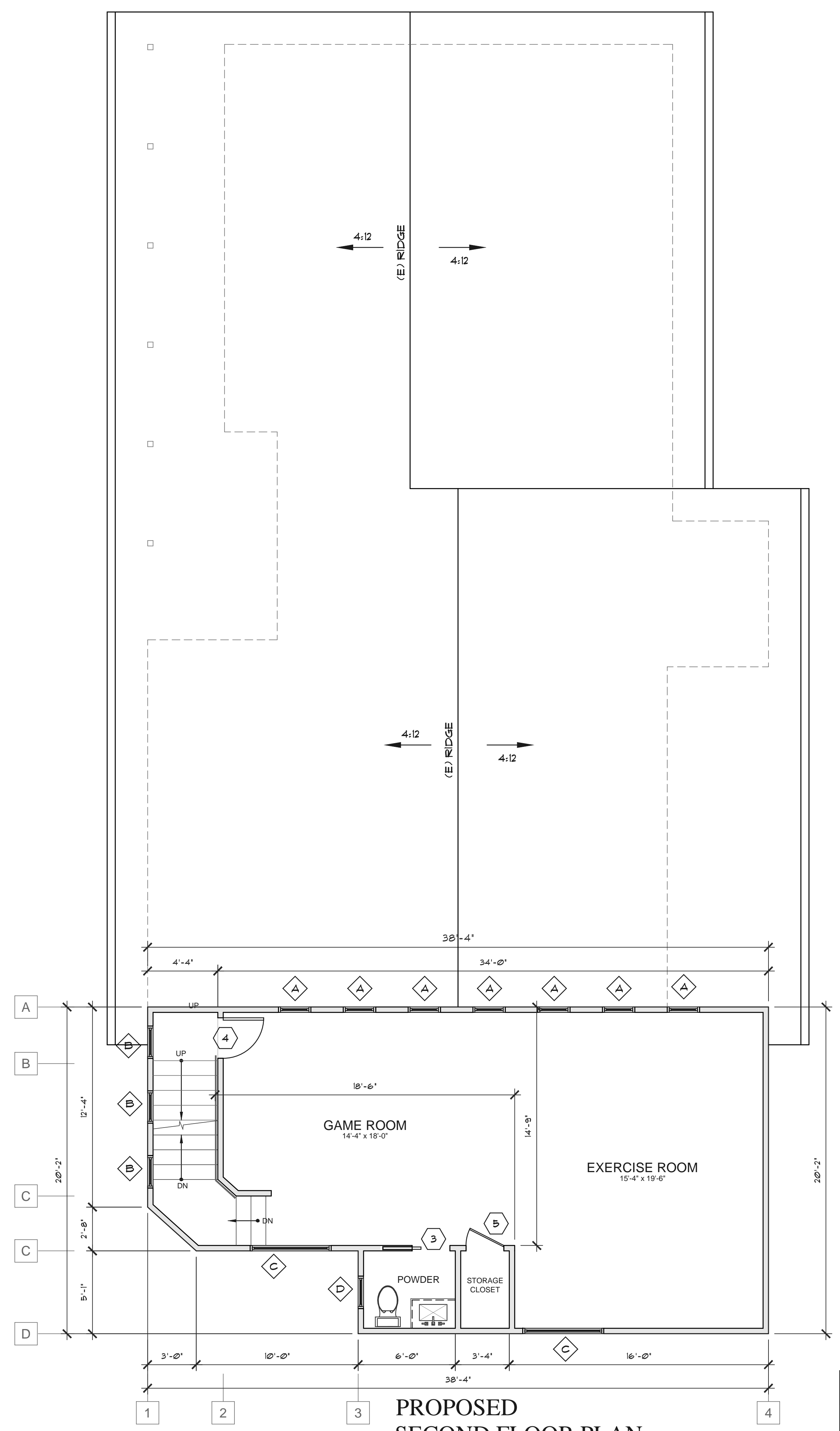
REMODEL & ADDITION

EXISTING / DEMOLITION AND PROPOSED FLOOR PLAN

S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN	
DATE	1/12/2023
JOB NUMBER	21032
SHEET	

A202



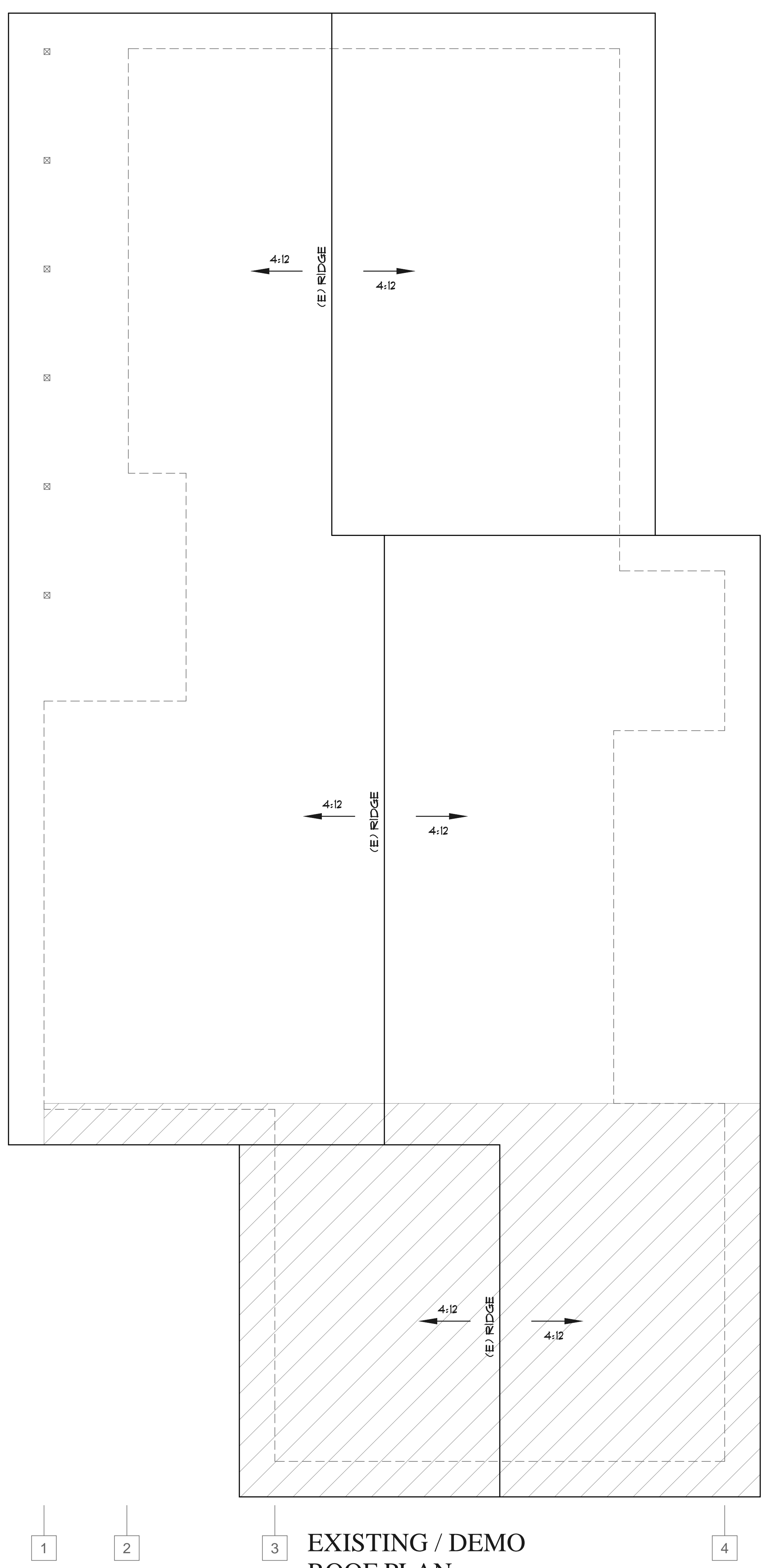
- EXIST / DEMOLITION KEYNOTES:**
- (E) WALL TO REMAIN UNALTERED, TYP.
 - (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
 - (E) SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
 - AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
 - (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
 - (E) ELECTRIC METER TO REMAIN UNALTERED.
 - (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
 - PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
 - (E) GARAGE SLAB TO REMAIN UNALTERED, UNO.
 - PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
 - PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

- NEW CONSTRUCTION GENERAL NOTES:**
- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
 - BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
 - CC. R-19 (min.) BATT INSULATION AT CEILING RAFTERS, UNDER ROOF SHEATHING.
 - DD. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

- NEW CONSTRUCTION KEYNOTES:**
- (N) 2x STUD WALLS PER STRUCTURAL.
 - (N) 1/2" inch min. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GWB TYP. AT CEILINGS.
 - (N) BATHROOM FIXTURES, CABINETRY & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
 - 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
 - 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2230). COLOR TO BE 'LIGHT BEIGE'.
 - PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
 - PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS OF ENCLOSED SIDE OF ALL UNDER-STAIR LOCATIONS.
 - STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches, TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
 - (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
 - (N) TJI ROOF FRAMING PER STRUCTURAL.
 - DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
 - WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP.
 - WATERPROOF DECKING BY 'WESTCOAT', E9R # 220, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
 - (N) GLASS GUARDRAIL BY 'C.R. LAURENCE CO., INC.' (E9R-3842).
 - NOT USED.
 - GAS STUB OUT.
 - (N) SUPPORT POST PER STRUCTURAL.
 - CEDAR GARAGE DOOR.
 - WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.

WALL LEGEND

	EXISTING WALLS TO REMAIN UNALTERED
	(E) WALLS TO BE DEMOLISHED
	NEW STUD WALLS (PER STRUCTURAL)
	NEW PARTIAL HT. WALL / RAILINGS



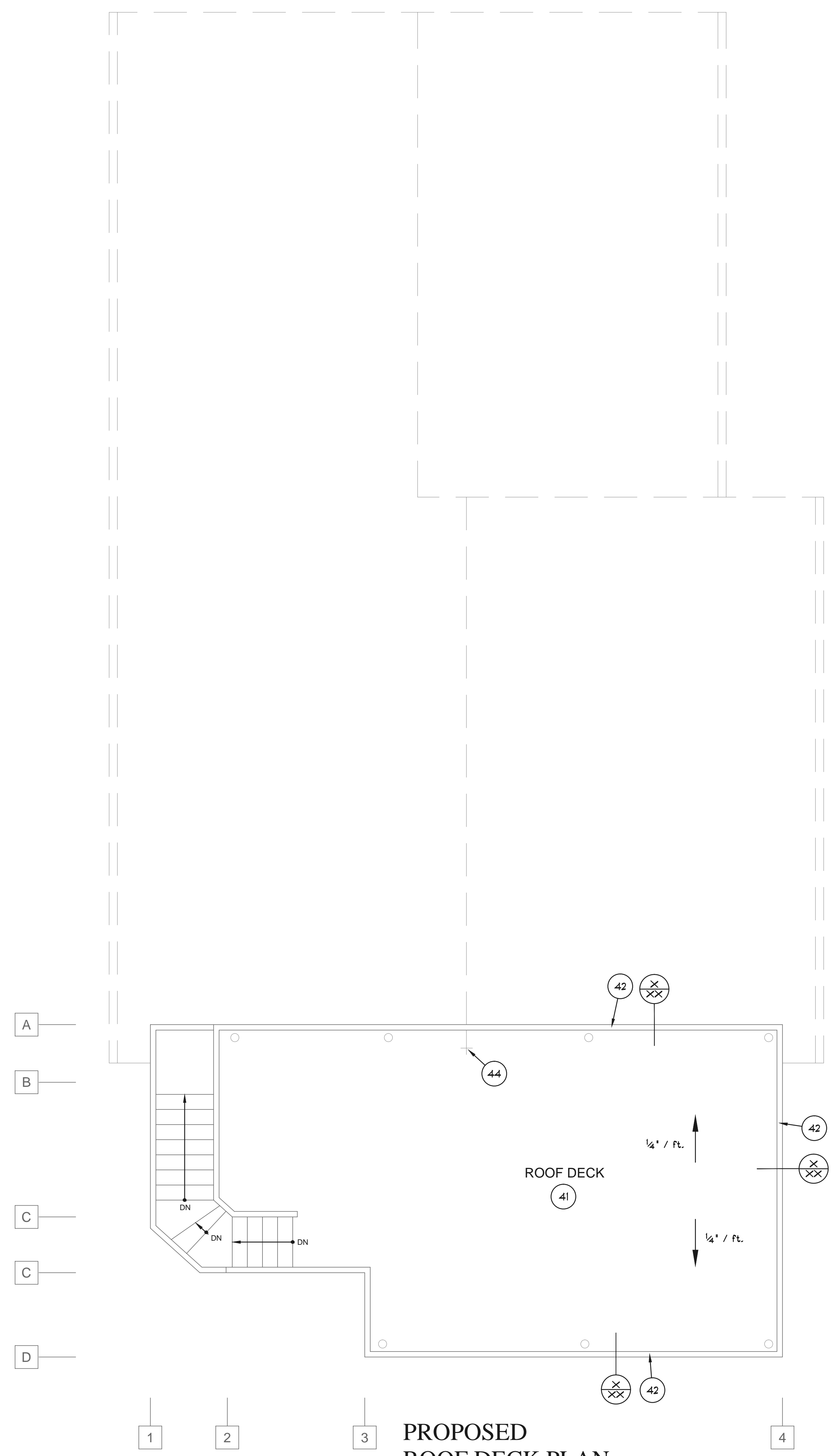
REVISIONS	BY

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PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

PROPOSED ROOF DECK PLAN
S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PR-J-1063139)

DRAWN
RMB
DATE
1/27/23
JOB NUMBER
21032
SHEET
A203



PROPOSED ROOF DECK PLAN

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

1. (E) WALL TO REMAIN UNALTERED, TYP.
2. (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
3. (E) SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
4. AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
5. (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
6. (E) ELECTRIC METER TO REMAIN UNALTERED.
7. (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
8. PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
9. (E) GARAGE SLAB TO REMAIN UNALTERED, U.O.N.
10. PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
11. PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. R-19 (min.) BATT INSULATION AT CEILING RAFTERS, UNDER ROOF SHEATHING.
- DD. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

30. (N) 2x STUD WALLS PER STRUCTURAL.
31. (N) 1/2" inch min. TYPE 'X' GUB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GUB TYP. AT CEILING.
32. (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
33. 2x4 'HARDIPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
34. 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (ESR-2230). COLOR TO BE 'LIGHT BEIGE'.
35. PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
36. PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS OF ENCLOSED SIDE OF ALL UNDER-STAIR LOCATIONS.
37. STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches. TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
38. (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
39. (N) TJI ROOF FRAMING PER STRUCTURAL.
40. DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
41. WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP. WATERPROOF DECKING BY 'WESTCOAT', ESR # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
42. (N) GLASS GUARDRAIL BY 'C.R. LAURENCE CO., INC.' (ESR-3842).
43. NOT USED.
44. GAS STUB OUT.
45. (N) SUPPORT POST PER STRUCTURAL.
46. CEDAR GARAGE DOOR.
47. WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.

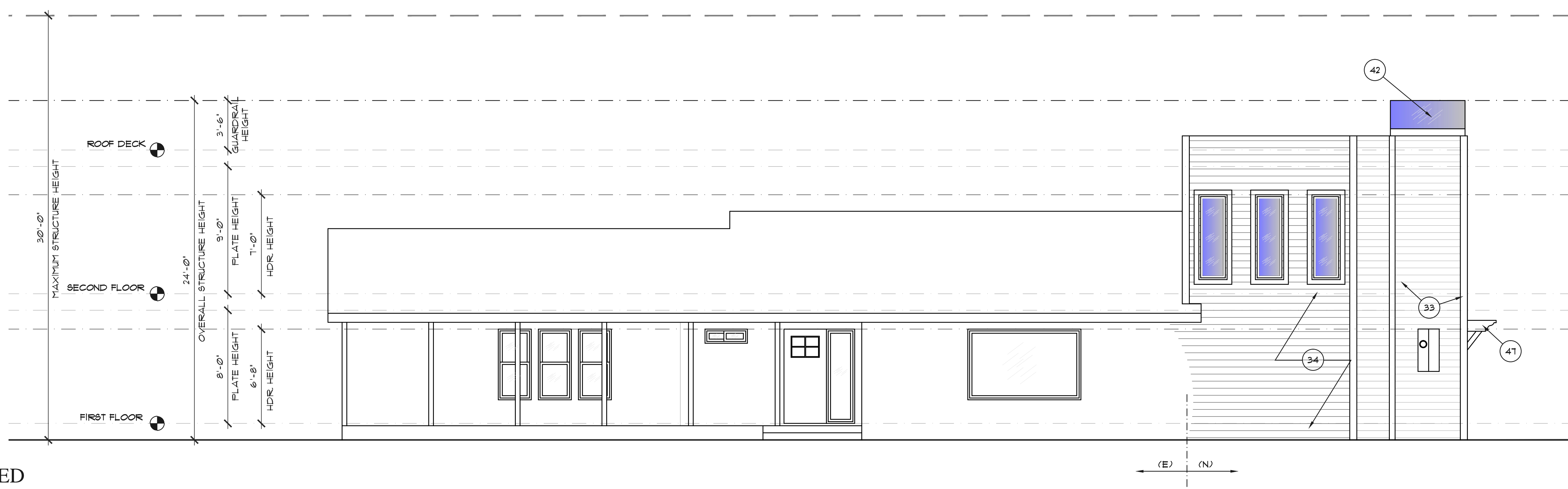
REVISIONS	BY

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REMODEL & ADDITION

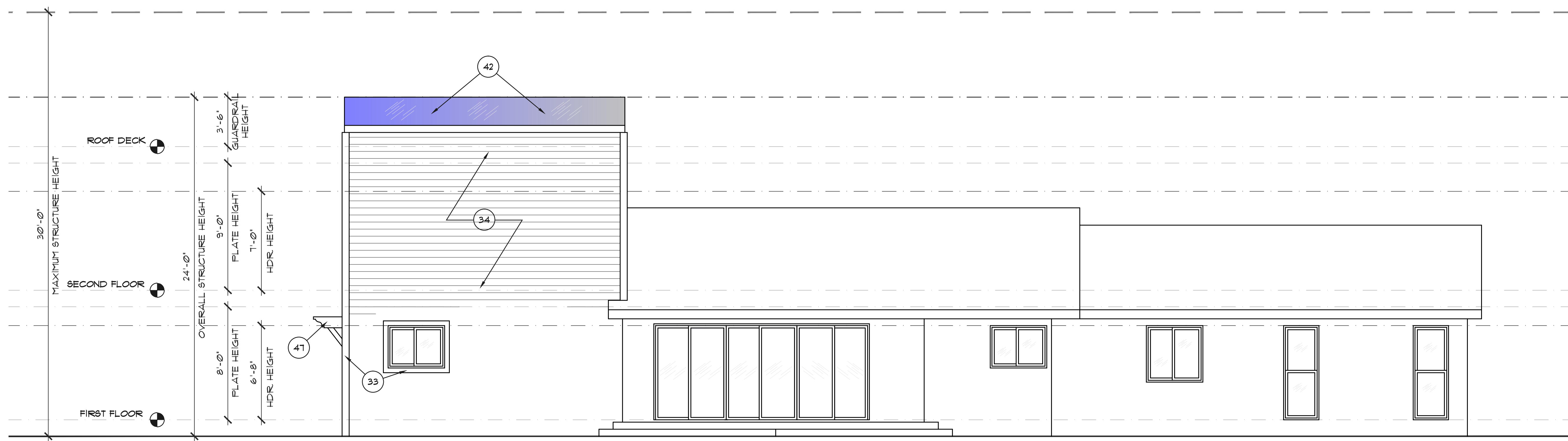
EXTERIOR ELEVATIONS
S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-1063139)

DRAWN
RFB
DATE
1/12/2023
JOB NUMBER
21032
SHEET
A301



PROPOSED FRONT ELEVATION - WEST -

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION - EAST -

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEM WALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
- (E) SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- (E) GARAGE SLAB TO REMAIN UNALTERED, U.O.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

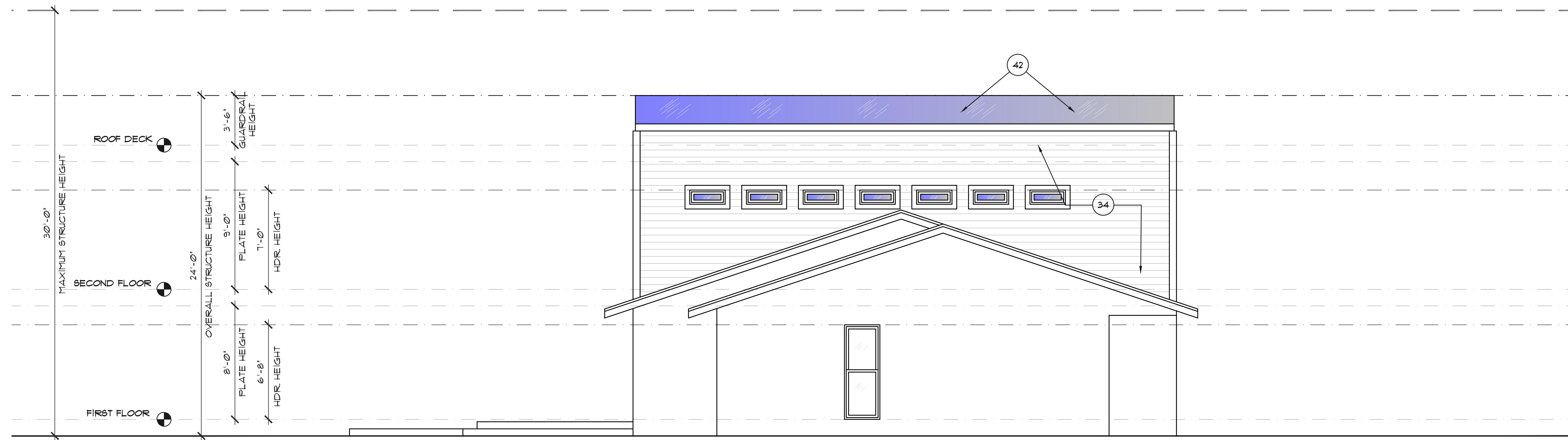
NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. R-19 (min.) BATT INSULATION AT CEILING RAFTERS, UNDER ROOF SHEATHING.
- DD. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

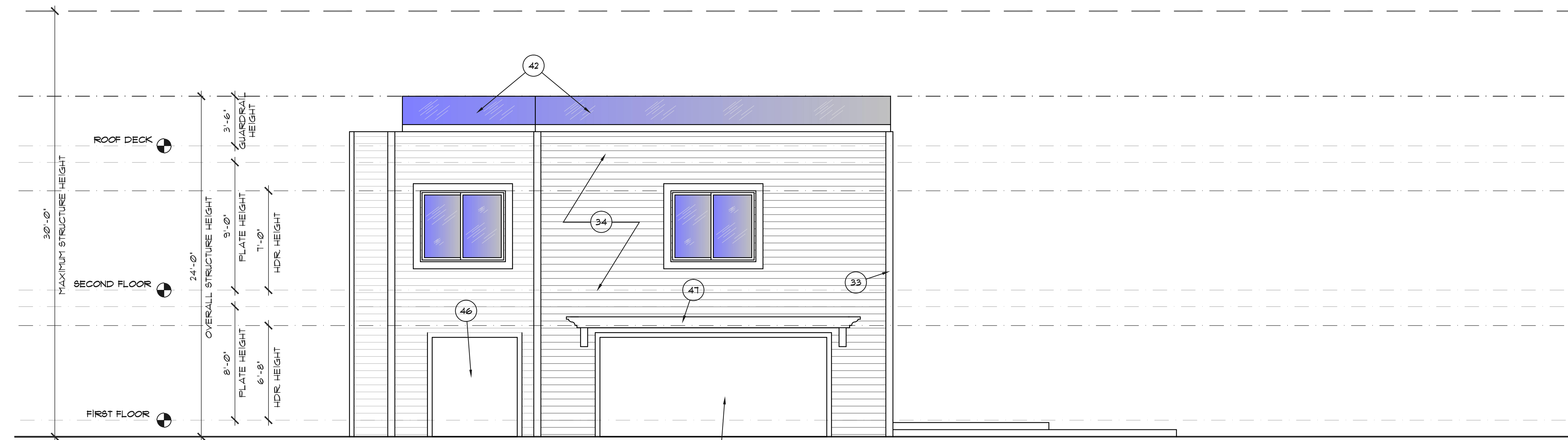
- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" inch min. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GWB TYP. AT CEILING.
- (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
- 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E6R-2290). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS OF ENCLOSED SIDE OF ALL UNDER-STAIR LOCATIONS.
- STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches, TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI ROOF FRAMING PER STRUCTURAL.
- DECK DRAINS, PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP.

- WATERPROOF DECKING BY 'WESTCOAT', E6R # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- (N) GLASS GUARDRAIL BY 'C.R. LAURENCE CO., INC.' (E6R-3842).
- NOT USED.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.



PROPOSED
LEFT SIDE ELEVATION - NORTH -

SCALE: 1/4" = 1'-0"



PROPOSED
RIGHT SIDE ELEVATION - SOUTH -

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

1. (E) WALL TO REMAIN UNALTERED, TYP.
2. (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
3. (E) SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
4. AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
5. (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
6. (E) ELECTRIC METER TO REMAIN UNALTERED.
7. (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
8. PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
9. (E) GARAGE SLAB TO REMAIN UNALTERED, U.O.
10. PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
11. PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. R-19 (min.) BATT INSULATION AT CEILING RAFTERS, UNDER ROOF SHEATHING.
- DD. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

30. (N) 2x STUD WALLS PER STRUCTURAL.
31. (N) 1/2" inch min. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GWB TYP. AT CEILING.
32. (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
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34. 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2290). COLOR TO BE 'LIGHT BEIGE'.
35. PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF), 1-1/2" HAND GRIP REQ'D.
36. PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS OF ENCLOSED SIDE OF ALL UNDER-STAIR LOCATIONS.
37. STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches, TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
38. (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
39. (N) TJ ROOF FRAMING PER STRUCTURAL.
40. DECK DRAINS, PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
41. WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP.

- 42. WATERPROOF DECKING BY 'WESTCOAT', E9R # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- 43. NOT USED.
- 44. GAS STUB OUT.
- 45. (N) SUPPORT POST PER STRUCTURAL.
- 46. CEDAR GARAGE DOOR.
- 47. WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.

REVISIONS	BY

BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

EXTERIOR ELEVATIONS
S.D.P. RESUBMITTAL SET - NOT FOR CONSTRUCTION (PRJ-10663139)

DRAWN	
DATE	
JOB NUMBER	
SHEET	

A302

June 13, 2023

VIA EMAIL: chandraslaven@gmail.com

Chandra Slaven
2620 2nd Avenue, 4A
San Diego, CA 92103

Subject: 8011 La Jolla Shores – 2nd Assessment Letter; Project No. PRJ-1063139
Internal Order No. 24009288

Dear Chandra Slaven:

Your project is processing one or more [discretionary permits](#). As your Development Project Manager, I will coordinate all communications and schedule meetings directly with you. Please notify me if a different Point of Contact should be assigned while I am managing this project.

The Development Services Department has completed the **second review** of the project as described below:

- 8011 La Jolla Shores (0.21-acre site) in the LJSPD-SF (La Jolla Shores Planned District – Single Family) within the Coastal Overlay Zone (Non-Appealable-2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Beach & Coastal Impact), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone (TAOZ), Transit Priority Area (TPA) within the La Jolla Community Plan, Council District 1, for a 258-square-foot garage addition and new 773-square-foot second-story addition with a roof deck.
- Process 3 – Site Development Permit (SDP) pursuant to San Diego Municipal Code (SDMC) [Section 1510.0201](#) for the addition/remodel to an existing single dwelling unit within the La Jolla Shores Planned District that exceeds more than 10% minor addition threshold.

NOTE: If major modifications to the project scope, submittal requirements, or questions regarding any of the above, please contact me as soon as possible.

Consolidation of Processing regulations ([SDMC 112.0103](#)) mandates that all actions be consolidated and processed at the highest decision level. At this time, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer, with appeal rights to the Planning Commission.

At a minimum, a formal recommendation to the Hearing Officer will be prepared for your project only after the completion of the following milestones:

- All City staff review comments have been adequately addressed;

- A City Council recognized Community Planning Group has provided a formal project recommendation;
- An environmental determination has been made and that determination is in its final stages.

SIGNIFICANT PROJECT ISSUES: Carefully review the attached Project Issues Report, which contains review comments from staff representing various City reviewing disciplines, outside agencies, and the community planning group. All issues in the report must be addressed to move forward to a decision; however, I have identified the following significant issues that are critical for your project:

LDR-Planning:

- To exempt the project from a Coastal Development Permit (CDP) please provide a coastal demo matrix to review the percentage of existing walls to remain. In order to determine if 50% of the exterior walls remain, a demolition sheet/plan must be prepared and submitted (*2nd request*)

LDR-Landscape:

- Please provide a concept landscape plan in conformance with SDMC [1510.0304\(h\)\(1\)](#) (*2nd request*)

TIMELINE: How Long Will It Take to Process My Discretionary Approval? The Development Services Department processes a wide variety of discretionary approvals as applicants look to change land use entitlements. Approvals include everything from small single-family home additions to master planned communities of several hundred acres. There is no reliable way to forecast exactly how long an application will take to process as time frames vary dependent upon a large number of unpredictable factors such as project complexity, quality of information received, and demand set by market conditions. However, on average, discretionary approvals require 10-12 months to process. Simple small-scale projects with no environmental or land use issues, positive community support, and a responsive applicant can be processed in as little as 4-6 months; on the other hand, projects with significant environmental impacts, land use issues, neighborhood opposition, and/or a non-responsive applicant or consultant team can take multiple years to complete

RESUBMITTAL REQUIREMENTS: Incomplete submittals will result in review delays. At this time, additional documents and information are required.

Note: SDMC Section [126.0115](#) requires that a development permit application be closed if the applicant fails to submit or resubmit requested materials, information, fees, or deposits within 90 calendar days of receiving this letter, or **September 13, 2023**. Closed projects cannot be "reactivated". Once closed, the applicant shall be required to submit a new development permit application with required submittal materials and shall be subject to all applicable fees and regulations in effect on the date the new application is deemed complete.

- **COVID-19 Update** - To ensure the health, safety, and well-being of customers and department staff, the Development Services Department has implemented operational

service changes that will be in effect until further notice. Please visit our webpage for the latest updates, [Public Notice | Development Services | City of San Diego Official Website](#)

- **Accessing Digital Comments** - At this time, additional documents and information are required to continue the review process. Please visit Accela Citizen Access, log into your account and check both the Project Issues Report and the Submittal Requirements Report for the next time documents identified by each review discipline. If you have questions, please refer to the [DSD Online Permit Application Help Guide](#) for support or contact your Development Project Manager. Please keep track of any review comments that are marked as 'Conditions,' as these will become conditions of approval for your discretionary permit.
- **Uploading Resubmittal Documents** – Accela puts resubmittals into review automatically, but only if ALL required resubmittal documents are uploaded as individual files and at the same submittal session. **Incomplete resubmittals do not go into review until everything on the submittal report is uploaded.** It is your responsibility to upload everything that is required. I am not alerted of incomplete submittals and I am not responsible for project delays caused by improper submittals. Once you have uploaded all your documents, please email me to confirm that you are in review. Failure to do so may result in additional delays.

Please refer to the

- ✓ DSD and Online Permit [Application Help Guide](#).
 - ✓ DSD [Training Videos](#) on Rechecks Required and Submitting Plans and Sheet Numbering Resubmitted.
 - ✓ For support contact the Development Services Department Help line at 619-446-5000.
- **Applicant Response to Project Issues Report:** Please prepare a cover letter or matrix/spreadsheet that specifically describes how you have addressed each of the comments. Please reference the plan, sheet number, report, or page number as appropriate to assist staff in providing the fastest review possible. If it is not feasible to address a particular issue, please indicate the reason. A response to each comment from the reviewers is necessary for staff to complete their review and greatly reduces the amount of work necessary to evaluate resubmittals as we tackle rising demands and workloads in our department.
 - **Draft Findings:** Findings are written statements of factual evidence that are used as the criteria for making a land use decision and is part of the discretionary permit resolution. In order for staff to make a decision or recommend approval of your project to a decision maker, certain findings must be documented. See SDMC [Section 126.0505](#) for the Site Development Permit findings. Please provide a draft of the findings in your resubmittal.
 - **Community Planning Group:** The proposed project is located within the La Jolla Community Planning Area. The La Jolla Community Planning Group (CPG) is the officially recognized community group for the area to provide recommendations to the City.

If you have not already done so, please contact the Chairperson of the La Jolla CPG via this [link](#) to schedule your project for a presentation before the group at their next available meeting. If you have already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting (including the vote count) to me, copying the CPG chair on your email.

Development Services Department (DSD) Information Bulletin [#620](#), "Coordination of Project Management with Community Planning Committees," provides additional information about the advisory role the Community Planning Groups. For additional resources please see [Community Planning Group Resources | Planning Department | City of San Diego Official Website](#).

FINANCIAL INFORMATION:

- Our most recent records show that there is a balance of \$6,381 in the deposit account for your project. However, please be advised that the cost of this review has not been posted to your account and it may take four to six weeks to post these charges to the account. Deposit Account statements are mailed to the Financially Responsible Party on file with the breakdown of staff charges. Please contact me for assistance if you have not received your statement for the previous two months.

Please be advised that the [minimum required balance](#) for [each approval type](#) must be maintained throughout the process. If you wish to make a payment towards the deposit account, please let me know and an invoice can be provided; payments can be made in person at 1222 First Avenue on the third floor by scheduling an appointment using the following [link](#) or on the [Accela Citizen Access portal](#). Please note that **reviews will be immediately halted on any deposit account that is in deficit or goes into collections.**

- Environmental Document Filing Fees:
 - A California Environmental Quality Act (CEQA) Notice of Determination/Exemption (NOD/NOE) must be filed with the County of San Diego after the project's approval and after all appeal periods have been exhausted. This filing must be accompanied by a \$50 document handling fee. Provide a check for \$50 made out to "San Diego County Clerk." Please mail to: DSD Attn: Jose Bautista, MS-501, 1222 First Avenue, San Diego CA 92101. Please include your project number: PRJ-1063139 in the memo section of the check.
 - California Department of Fish and Wildlife (CDFW) Filing Fee: The amount of the fee is dependent on the final environmental determination and would be a minimum of \$50 if the project is exempt. Please see the [CDFW](#) webpage for their fee schedule. If these fees are required, I will notify you.
- Records Fee: Prior to scheduling your project for a decision you must pay the Records Fee to cover the cost of digitizing and archiving your complete project (see Information Bulletin [503](#)).

ATTACHMENT: 8011 La Jolla Shores

Meetings with Staff: Upon your review of the attached Project Issues Report, you may wish to schedule a meeting with staff and your consultants prior to resubmitting the project. Please contact me if you wish to schedule a meeting with staff. During the meeting, we will also focus on key milestones that must be met to facilitate the review of your proposal and to project a potential timeline for a hearing date, if needed.

PROJECT ISSUE RESOLUTION CONFERENCE: For more information see this [link](#).

SECOND OPINION GUARANTEE: For more information, see this [link](#).

I look forward to working with you and your team. I may be reached at (619) 557-7983 or JABautista@sandiego.gov.

Sincerely,



Jose Bautista
Development Project Manager

Enclosures:

1. Project Issues Report
2. Submittal Requirements Report

cc: File

Harry Bubbins, Chair of the La Jolla Planning Group
Review Staff



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 8011 La Jolla Shores Dr
San Diego, CA 92037

Project Type Discretionary Project

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Other

Community Planning Group

Jose Bautista
jabautista@sandiego.gov

[Comment 00026 | Page]

The proposed project is located within the La Jolla Community Planning Area. The La Jolla Community Planning Group is the officially recognized community group for the area to provide recommendations to the City.

If you have not already done so, please contact Harry Bubbins, Chairperson of the La Jolla Community Planning Group at (858) 459-9490 or by email at info@lajollacpg.org to schedule your project for a presentation before the group at their next available meeting. If you have already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting which includes the vote count to Jose Bautista, Development Project Manager via email at JABautista@sandiego.gov.

Development Services Department (DSD) Information Bulletin #620, "Coordination of Project Management with Community Planning Committees" (available at <https://www.sandiego.gov/development-services>), provides additional information about the advisory role of the Community Planning Groups. Council Policy 600-24 provides guidance to the Community Planning Groups and is available at https://docs.sandiego.gov/councilpolicies/cpd_600-24.pdf

DSD-Engineering Review

Hoss Florezabihi
FlorezabihiH@sandiego.gov
(619) 446-5348

[Comment 00047 | Page]

Permit Conditions :

1. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private improvements such as Landscaping/irrigations in the Paseo Dorado Right-of-Way.

[Comment 00048 | Page]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Conditions continued :

2. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

DSD-Environmental

Courtney Holowach
Cholowach@sandiego.gov

[Comment 00016 | Page]

INFORMATION: These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[Comment 00022 | Page]

LAND USE: EAS defers to LDR-Planning with regard to compatibility with land use and zoning regulations and policies, including the Local Coastal Plan. Please see the discipline's issues for further direction.

[Comment 00025 | Page]

CEQA DETERMINATION: EAS review of CEQA compliance for the project will remain in extended environmental initial study status. The project processing timeline requirements under CEQA will be held in abeyance until the issues of all reviewers are adequately addressed.

[Comment 00053 | Page]

CEQA Determination: At the time of this review there are outstanding discipline issues that must be addressed prior to EAS make a determination.

Site Development Plans PRJ-1063139.pdf

DSD-Landscape Review

Rey Rebolledo
RRebolledo@sandiego.gov
619-446-5140

[Comment 00027 | Sheet A001]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

The following comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updated outside the full cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

[Comment 00028 | Sheet A001]

Scope of Work(Info Only): LA JOLLA (Process 3) Site Development Permit for a 258 square foot garage addition and new 773 square foot second story addition with a roof deck at 8011 La Jolla Shores Drive. The 0.21-acre site is located in the LJSPD-SF zone and the Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan and council district 1.

[Comment 00029 | Sheet A001]

The project site is located within the La Jolla Shores Planned District SF Zone and subject to the Landscape Regulations per SDMC 1510.0304(h)(1). In the Single-Family zone, all of the property not used or occupied by the structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscape area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual. A full landscape plan is not required for review, however, upon your next submittal, please demonstrate on the plans how the above requirement is being met.

[Comment 00054 | Sheet A001]

In addition to the Landscape Tabulation, please provide a concept landscape plan in conformance with SDMC 1510.0304(h)(1). Second request for issue 029.

DSD-Planning Review

Grecia Aceves
GAceves@sandiego.gov
(619) 446-5455

[Comment 00030 | Sheet A001]

Information

These comments are drafts and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions

[Comment 00032 | Sheet A001]

Permits and Actions

The project includes the addition/remodel to an existing single dwelling unit within the La Jolla Shores Planned District and exceeds more than the 10% minor addition threshold. The project is triggering a major addition/remodel within the La Jolla Shores Planned District and therefore, requires a Site Development Permit (SDP) Process three.

§126.0505 Findings for **Site Development Permit Approval**

A Site Development Permit may be approved or conditionally approved only if the decision maker makes all of the findings in Section 126.0505(a) and the supplemental findings in Section 126.0505(b).



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

(a) Findings for all Site Development Permits

- (1) The proposed development will not adversely affect the applicable land use plan;
- (2) The proposed development will not be detrimental to the public health, safety, and welfare; and (3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The decision may be appealed to the Planning Commission per SDMC 112.0504.

Please note additional processes may change upon further information received during the initial review of this project.

[Comment 00034 | Sheet A001]

Community Plan

The La Jolla Community Plan designates the site and surrounding area as Very Low Density Residential (0-5 dwelling units/acre). The project is proposing remodeling/addition to an existing SDU. The proposal meets the density allowance within the La Jolla Community Plan.

A recommendation in the La Jolla Community Plan says in order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment, and variations within front yard setback requirements (LJCP, 76.)

A primary goal in the LJCP is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (LJCP. 67)

Does the structure present materials, and color schemes as those in the surrounding community or existing single-family residences and new SDU?

This project does not contain a view corridor within the Figures of the La Jolla Community Plan. The project abuts La Jolla Shores Drive, which is considered a "scenic roadway that is partially obstructed views over private properties and down public ROW" as shown in Subarea C: La Jolla Shores – Visual Access Figure C [Informational Only – No Action Required]

Please include a response on how the project's development complies with the goals, policies, and objectives, bulk and scale, of the La Jolla community plan and local coastal program

[Comment 00035 | Sheet A001]

LJCPA

After the notice of application and first assessment letter has been distributed. The applicant would need to present the proposed project to the La Jolla Community Planning Association. Please contact Dianne Kane, Chair at (858) 459-9490 or by email at info@lajollacpa.org. Please provide the minutes and any recommendations.

[Comment 00036 | Sheet A001]

La Jolla Shores Advisory Board

This project must be reviewed by the La Jolla Shores Advisory Board to determine if this project is consistent with the requirements of the planned district (SDMC 1510.0201(d)).

Please contact Senior Planner Marlon I. Pangilinan of the City Planning and Community Investment Department at (619)235.5293 (mpangilinan@sandiego.gov) to be placed on a future agenda of the La Jolla Shores Advisory Board.

Marlon I. Pangilinan
Senior Planner
Planning Department



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

619.235.5293
mpangilinan@sandiego.gov

[Comment 00044 | Sheet A201]

Demo Matrix

To exempt the project from a Coastal Development Permit please provide a coastal demo matrix to review the percentage of existing walls to remain. In order to determine if 50% of the exterior walls remain, a demolition sheet/plan must be prepared and submitted. A demolition sheet requires a fully dimensioned sheet for each floor that shows all walls, windows, and doors changed, exterior walls enclosed by new construction, areas where top/bottom plates and studs have been removed, changed and/or modified. Include a wall matrix listing all walls in linear feet and percentages of walls removed and retained

Please note any additions that infill an existing exterior wall is considered a "coastal demo".

[Comment 00045 | Sheet A101]

Visibility Areas

Pursuant to 113.0273(a) The City Engineer shall determine whether proposed development provides adequate sight distance based on the context of the development and the typical distance guidelines set forth in Section 113.0273(b) and shall require visibility areas accordingly. No structures may be located within a visibility area unless otherwise provided by the applicable zone or the regulations in Chapter 14, Article 2 (General Development Regulations).

Refer to 113.0273(b)(1) and illustration diagram 113-02SS.

[Comment 00055 | Sheet A101]

Planning staff is unclear on the visibility triangle since the project site is located between two public right-of-ways and must comply with the following.

§113.0273 (b)(1) (1) For visibility areas at the intersection of streets, two sides of the triangle extend along the intersecting property lines for 25 feet, and the third side is a diagonal line that connects the two.

The 6' fence is located within this triangle.

Staff understands that the site is unique and has three public access right-of-ways to the property Paseo Dorado, "alley," and La Jolla Shores Drive. Planning staff has reached out to the city engineer on their determination.

[Comment 00056 | Sheet A201]

Please provide the demo matrix table as stated in the previous comments. Please refer to Coastal Demolition Bulletin 402 to review the example.

<https://www.sandiego.gov/development-services/forms-publications/information-bulletins/402>

[Comment 00057 | Sheet A001]

Before planning staff can determination, please provide your recommendation from La Jolla Shores Advisory Board and the La Jolla Community Group. Please note this is only a recommendation, not a recommendation of approval.

In addition, planning staff must review the SDP findings before fully completing this discretionary review.

Required Submittal

PRJ-1063139

THE CITY OF SAN DIEGO
Development Service Department
1222 1st Avenue, San Diego,CA 92101

Project Address: 8011 La Jolla Shores Dr, San Diego, CA 92037

Project Type: Discretionary Project

Primary Contact:
chandraslaven@gmail.com

Upload any additional/optional documents prior to submitting the required documents.

Do not use documents with volume #'s unless specifically requested below, volume #'s should only be used for multi volume plan submittals not for use with single volume sets.

Required Documents:

- | | |
|---|--------------------------|
| Applicant Response to Issues | DSD-Landscape Review |
| Applicant Response to Issues | DSD-Planning Review |
| Community Planning Group Recommendation | Community Planning Group |
| Draft Findings | DSD-Planning Review |
| Site Development Plans | DSD-Landscape Review |
| Site Development Plans | DSD-Planning Review |

PRJ-1063139 – 8011 La Jolla Shores Dr. (Site Development Permit)

Community Planning Group (Jose Bautista)

26. Understood. We will schedule to get on the agenda at the appropriate time.

Engineering (Hoss Florezabibi)

47. Understood, this will be processed with the Bldg. Permit application.

48. Understood, this will be processed with the Bldg. Permit application.

Environmental (Courtney Holowach)

16. Understood.

22. Understood. Full compliance will be observed per the Planning review.

25. Understood.

53. Understood.

Historic (Alvin Lin)

49. Understood, and thank you.

Landscape (Rey Rebolledo)

27. Sheet L1, please refer to “Tabulation Table.”

28. Information only, thank you.

29. Sheet L1, “Landscape Plan,” added to the resubmittal set.

54. Please refer to the response to item 29 above.

Planning (Grecia Aceves)

30. Understood.

32. Draft Findings for SDP submitted as a separate submittal via Accela.

34.

- a. The proposed project is a minor addition. The minor addition will match the existing residence in terms of the same color of stucco (light grey). Please refer to sheets A301, A302; keynotes 33, 34, 42, 46, and 47 for specific colors, materials, and articulation.

- b. Consistency with La Jolla Community Plan** - The La Jolla Community Plan designates the site and surrounding area as Very Low Density Residential (0-5 dwelling units/acre). The project is proposing remodeling/addition to an existing SDU. The proposal meets the density allowance within the La Jolla Community Plan. A primary goal in the LJCP is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (LJCP. 67). This project does not contain a view corridor within the Figures of the La Jolla Community Plan. The project abuts La Jolla Shores Drive, which is considered a “scenic roadway that is partially obstructed views over private properties and down public ROW,” as shown in Subarea C La Jolla Shores – Visual Access Figure C.
 - c.** The proposed addition’s materials and color schemes are consistent with those in the surrounding community or existing single-family residences. The proposed project is reminiscent of a classic, modern California bungalow. Seemingly contradictory to the bungalow theme, the small bungalow features more intricate design work, detailed doorways, and wall cladding. This type of architectural style is conducive to a more articulated design in which different sections of the house are set back in a concerted effort to reduce the feeling of bulk and scale. One will notice that the immediate surrounding neighborhood along La Jolla Shores consists of one- and two-story residences. Typical to La Jolla, the single-story homes are originally from the 1940s and are being replaced with more modern homes such as the proposed project. In summary, the architectural design, bulk, and scale are consistent with the surrounding neighborhood.
 - d.** Please refer to the “Representative Neighborhood Photos” on the next page.
35. Understood. We will coordinate with the La Jolla Shores Community Planning Group. We were waiting to receive comments from Planning prior to scheduling the community meeting. We are currently refining the proposed renderings to include the landscape design for us to present to both the La Jolla Shores Advisory Board and the La Jolla Community Planning Group.
36. Understood. We will coordinate with the La Jolla Shores Advisory Board (see response for Comment #35)
44. Sheet A003 added to plan set; Coastal Demolition documentation provided.
45. Sheet A101; “Site Plan,” visibility triangle depicted. The proposed fence does not interfere with the visibility triangle per guidance from Engineering. Please refer to the “Representative Neighborhood Photos” on the next page.

55. Sheet A101, "Site Plan," all fences have been revised to not be within both visibility triangles. Notes have been added to communicate further that there are no encroachments within the visibility triangles.

56. Please refer to the response to item Comment #44 above.

57. Understood, full compliance will be observed.

Three (3) Representative Neighborhood Photos:



