

La Jolla Shores Planned District Advisory Board (LJSPDAB) Online Virtual Meeting

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items): PTS # 695191 Astalos Residence
- Address and APN(s): **346-820-20-00** **Address: 2989 Woodford Drive, La Jolla, Ca 92037**
- Project contact name, phone, e-mail:
- **Leticia Bonnet, 858-459-6114, leticia@designlead.com**

Project description: **Site development permit for construction of a new 5,924.40 square feet, two-story, single family residence.**

- Please indicate the action you are seeking from the Advisory Board:
 - ☐ Recommendation that the Project is minor in scope (Process 1)
 - ☐ Recommendation of approval of a Site Development Permit (SDP)
 - ☒ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☐ Other: _____
- In addition, provide the following:
 - lot size: **20,396.26 SQ. FT.** _____
 - existing structure square footage and FAR (if applicable): NA
 - proposed square footage and FAR: **5,924.40 SQ. FT. / 20,396.26 SQ. FT. = 0.29**
 - existing setbacks on all sides: **28' Front, 38' Rear, 14' Right, 19' Left**
 - proposed setbacks on all sides: **58' Front, 75' Rear, 14' Right, 19' Left**
 - height if greater than 1-story (above ground): **Varies, Maximum 29'** _____

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab>

for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation - updated 8/31/20

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter, so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

ATTACHMENT 1: Astalos Residence

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Senior Planner

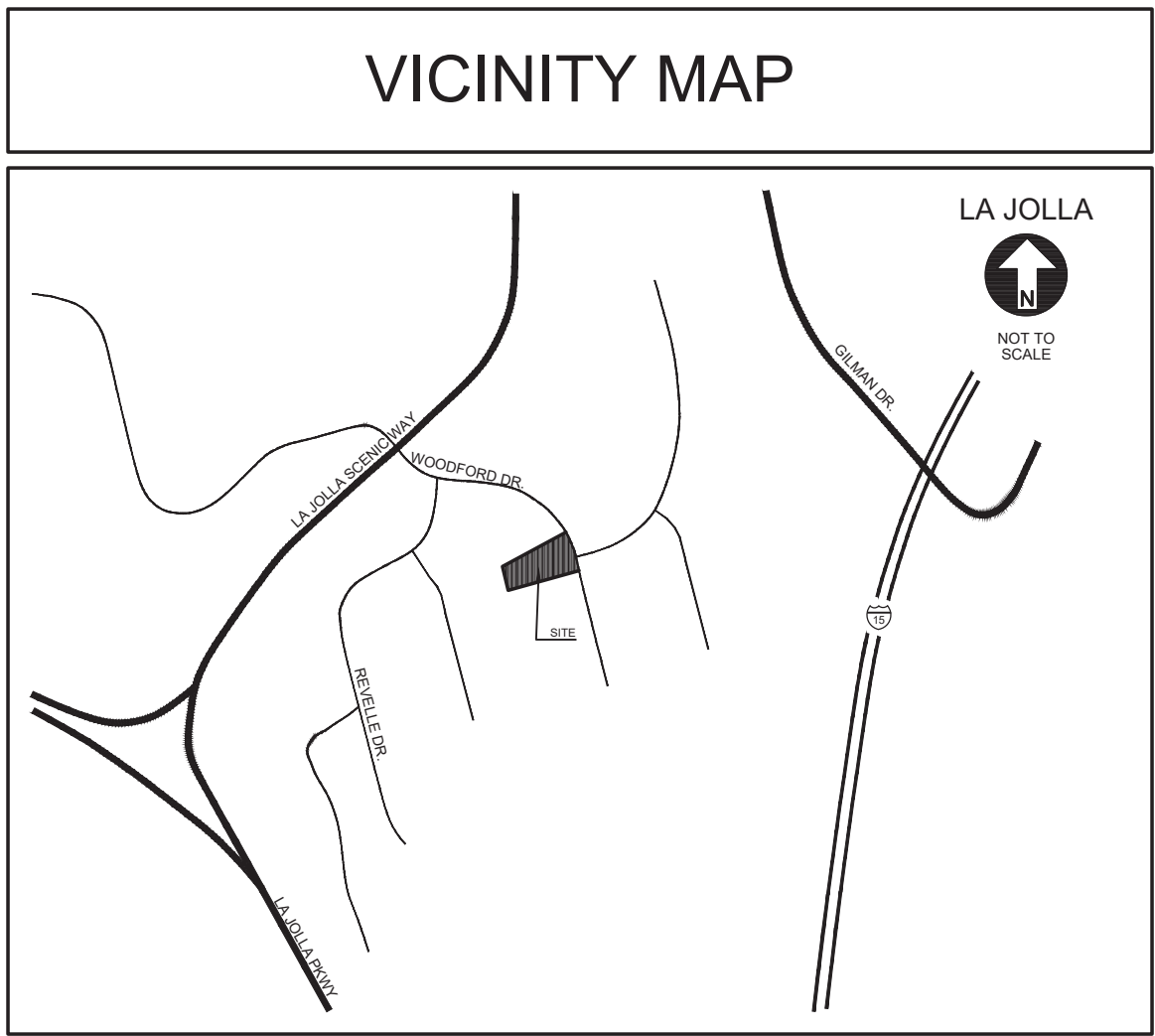
mpangilinan@san Diego.gov

Planning Department

9485 Aero Drive MS 413

San Diego CA 92123

619-235-5293



DEVELOPMENT SUMMARY

SCOPE OF WORK	
SITE DEVELOPMENT PERMIT FOR CONSTRUCTION OF A NEW 5,924.40 SQUARE FEET, TWO- STORY, SINGLE FAMILY RESIDENCE.	
PROJECT ADDRESS	
2989 WOODFORD DRIVE LA JOLLA, CALIFORNIA 92037	
PROJECT TEAM	
ARCHITECT: DESIGN LEAD, ARCHITECTS 7661 GIRARD AVENUE, SUITE "200" LA JOLLA, CA 92037 (858) 459-6114 CONTACT: Siavash Khajezadeh	LANDSCAPE ARCHITECT: URBAN ARENA LLC 11772 SORRENTO VALLEY RD, SUITE 212 SAN DIEGO, CA 92121 (858) 625-0112 CONTACT: Jordan Lall
CIVIL ENGINEER: LEPPERT ENGINEERING 5190 GOVERNOR DR., SUITE 205 SAN DIEGO, CA 92122 (858) 597-2001 CONTACT: John Leppert	

LEGAL DESCRIPTION													
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LA JOLLA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 1 OF LA JOLLA KERUAH PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 8192, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.													
ASSESSOR PARCEL NO.													
346-820-20-00													
OWNER													
ARI ASTALOS 9155 JUDICIAL DRIVE #5512 LA JOLLA, CA 92037													
SITE INFORMATION													
TYPE OF CONSTRUCTION	TYPE "VB"												
GROUP OCCUPANCY	R-3 (SINGLE FAMILY)												
ZONING	LJSPD-SF												
OVERLAY ZONES	AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (ALUCOZ); MCAS MIRAMAR COASTAL HEIGHT LIMIT OVERLAY ZONE (CHLOZ)												
HISTORIC	NO (NO EXISTING STRUCTURES ON THE SITE)												
GROSS SITE AREA:	20,396.26 SQ. FT.												
SETBACKS	ALL SETBACKS MUST BE IN CONFORMANCE WITH THE VICINITY PER 300 FEET RADIUS SURVEY. SEE SHEET A-4 FOR SURVEY.												
BUILDING HEIGHT:	NO BUILDING SHALL BE CONSTRUCTED, ALTERED OR ENLARGED TO A HEIGHT GREATER THAN 30'-0"												
FAR (FLOOR AREA RATIO)	PROPOSED FAR: 5,924.40 SQ. FT. / 20,396.26 SQ. FT. = 0.29												
LOT COVERAGE	ALLOWED: 60% (20,396.26 * 0.60 = 12,237.75 ALLOWED) PROPOSED: 3,350.64 SQ. FT. = 16.43% (SEE SHEET A-7 FOR GFA CALCULATION)												
GEOLOGIC HAZARD CATEGORY	52												
PROPOSED BUILDING AREAS	<table><tr><td colspan="2">GROSS FLOOR AREA:</td></tr><tr><td>RESIDENCE FIRST FLOOR AREA:</td><td>2,835.16 SQ. FT.</td></tr><tr><td>GARAGE:</td><td>515.48 SQ. FT.</td></tr><tr><td>SECOND FLOOR AREA:</td><td>2,573.76 SQ. FT.</td></tr><tr><td colspan="2">TOTAL:</td></tr><tr><td colspan="2">5,924.40 SQ. FT.</td></tr></table>	GROSS FLOOR AREA:		RESIDENCE FIRST FLOOR AREA:	2,835.16 SQ. FT.	GARAGE:	515.48 SQ. FT.	SECOND FLOOR AREA:	2,573.76 SQ. FT.	TOTAL:		5,924.40 SQ. FT.	
GROSS FLOOR AREA:													
RESIDENCE FIRST FLOOR AREA:	2,835.16 SQ. FT.												
GARAGE:	515.48 SQ. FT.												
SECOND FLOOR AREA:	2,573.76 SQ. FT.												
TOTAL:													
5,924.40 SQ. FT.													

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	Landscape
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PROJECT TITLE

Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT

Design Lead Architects

7661 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE

PROJECT INFORMATION

JOB #
2021-111

DATE
Jul 08, 2021

CITY PROJECT NUMBER
PTS-0665191

SCALE
1/8" = 1'-0"

ORIGINAL DRAWING PREPARATION DATE
JULY 08, 2021

SHEET #
A-1
1 OF 13

DESIGN LEAD ARCHITECTS

ARCHITECTS

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REVISION

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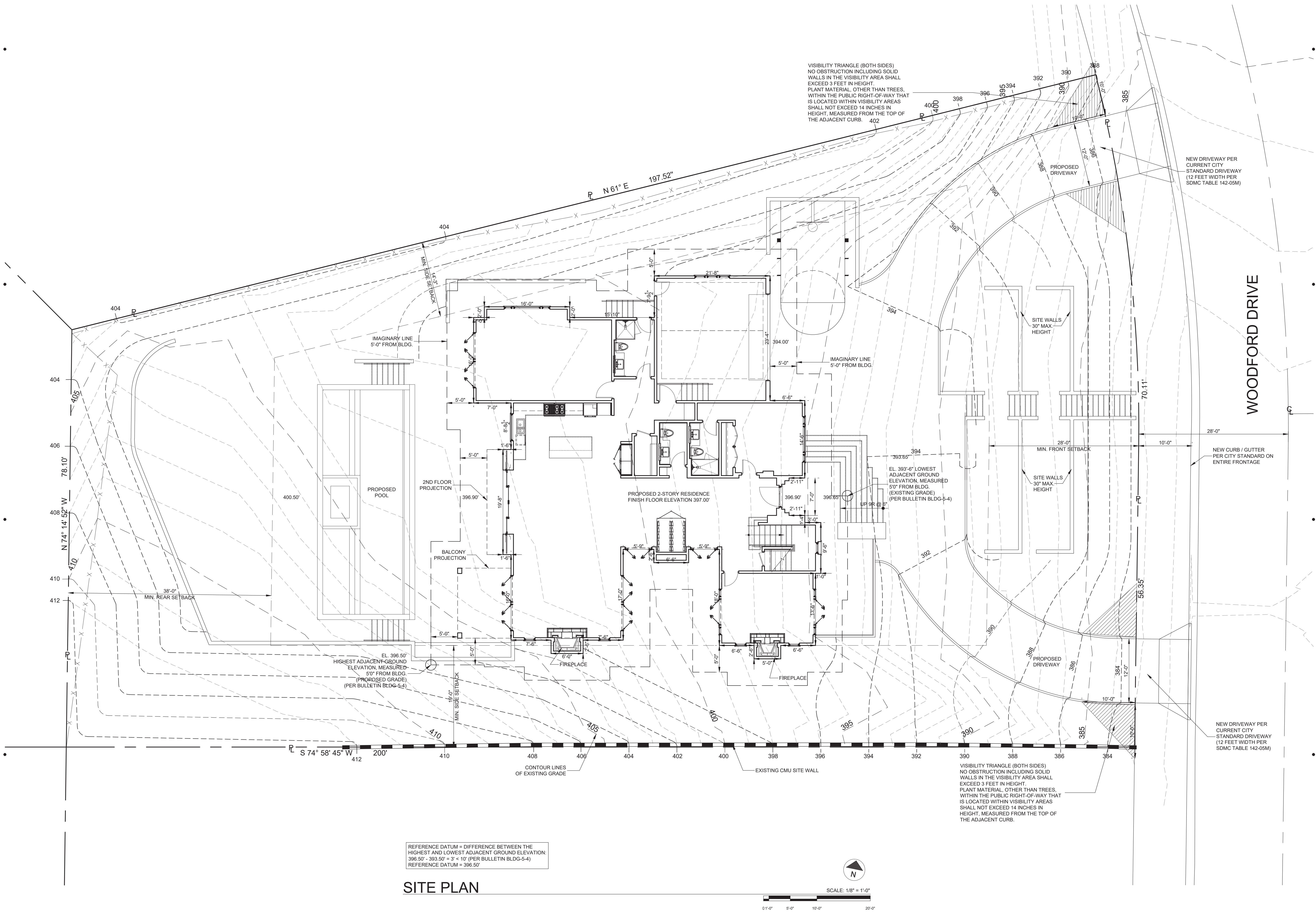
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X:\Projects\2021-111 Astalos Residence\Drawings\PLANNING PACKAGE\Ast-A1-Info-PL-1.dwg Jul 08, 2021 - 9:13am DLA-kath



PROJECT TITLE
Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7661 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
SITE PLAN

JOB #
2021-111

DATE
Jul 08, 2021

ORIGINAL DRAWING PREPARATION DATE
JULY 08, 2021

CITY PROJECT NUMBER
PT15-0950191

SCALE
1/8" = 1'-0"

REVISION

SHEET #
A-2

2 OF 13

DESIGN LEAD
ARCHITECTS

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LOT 1, MAP 8192 - TOPOGRAPHIC SURVEY

LA JOLLA, CA 92073

CLIENT INFORMATION:

ARI ASTALOS
9155 JUDICIAL DR., APT. 5512
SAN DIEGO, CA 92122

OWNER INFORMATION:

JUSTIN P.A. CLEARY, DOUGLAS A. CLEARY, & OLIVER P. CLEARY
P.O. BOX 2064
PALM SPRINGS, CA 92263

SITE INFORMATION:

SITE ADDRESS: VACANT LOT, WOODFORD DR.
LA JOLLA, 92037
APN: 346-820-20
SITE AREA: 20,396 SQ.FT. / 0.47 ACRES

LEGAL DESCRIPTION:

LOT 1 OF LA JOLLA KERJAH PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP HEREOF NO. 8192, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

SURVEY NOTE:

SURVEY COMPLETED BY: VAN RYN ENGINEERING, INC.
16786 BERNARDO CENTER DR., STE. 213
SAN DIEGO, CA 92128
858.367.3504
DATE COMPLETED: 03/11/2021

BASIS OF BEARINGS:

THE BASIS OF BEARINGS OF THIS SURVEY IS THE TANGENT CENTERLINE OF WOODFORD DRIVE BEARING S 14°14'52" E AS SHOWN ON MAP NO. 8192

BASIS OF ELEVATIONS:

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
LOCATION: SOUTHWEST CURB RETURN OF LA JOLLA SCENIC DRIVE NORTH & WOODRIDGE DR
TYPE: BRASS PLUG IN TOP OF CURB
ELEVATION: 378.787' NGVD29 (M.S.L.)

SURVEY NOTES:

1. THE BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FIELD DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
3. NO TITLE COMMITMENT PROVIDED AT THE TIME OF THIS SURVEY.

REFERENCE MAPS:

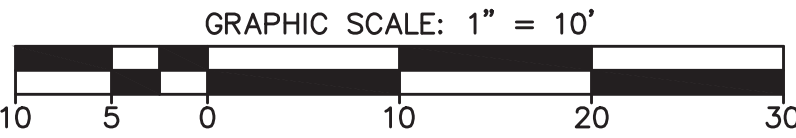
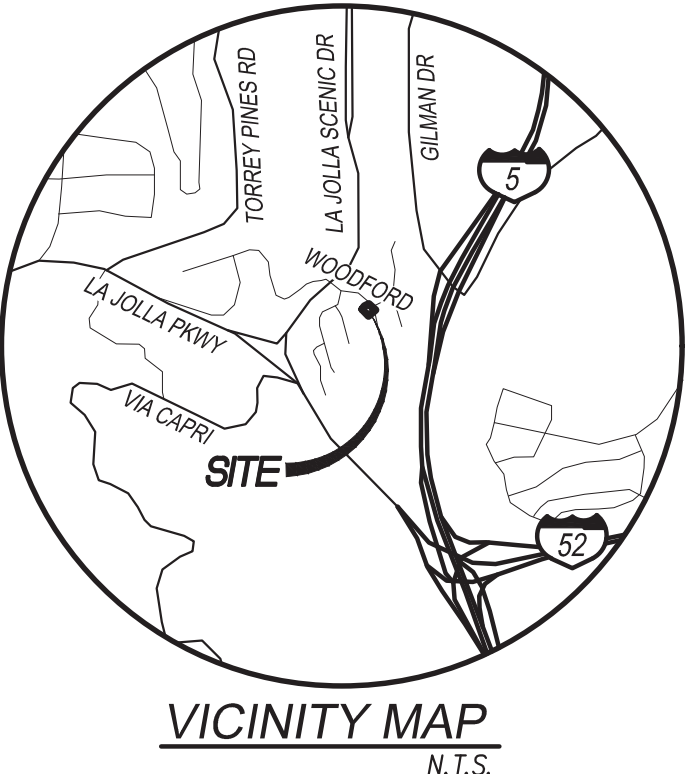
1. LA JOLLA KERJAH PARK, MAP NO. 8192
2. PARCEL MAP NO. 8399
3. LA JOLLA VISTA ESTATES, MAP NO. 6016

LEGEND:

FOUND LEAD & TACK AS NOTED	■
PROPERTY LINE	— — — — —
RIGHT OF WAY	— — — — —
ROAD CENTERLINE	— — — — —
ADJOINING PROPERTY LINE	— — — — —
EXISTING CONTOUR	--- 100 --- + 98.4
SPOT ELEVATION	+
CURB & GUTTER	— — — — —
EX. CONCRETE	▬
EX. ASPHALT PAVEMENT	▬
EX. SITE WALL	▬
EX. TREE	⊗
EX. FENCE	— x — x —
EX. WATER MAIN	— w — w —
EX. WATER VALVE	⊗
EX. FIRE HYDRANT	⊗
EX. SEWER MAIN	— s — s —
EX. SEWER MANHOLE	⊗
EX. STREET LIGHT	⊗

ABBREVIATIONS:

EX.....EXISTING
FF.....FINISH FLOOR
FS.....FINISH SURFACE
TW.....TOP OF WALL
BW.....BOTTOM OF WALL
CO.....CLEANOUT
MH.....MANHOLE
SMH.....SEWER MANHOLE
FH.....FIRE HYDRANT
SD.....STORM DRAIN
SS.....SANITARY SEWER
WM.....WATER METER
WV.....WATER VALVE
TC.....TOP OF CURB
FL.....FLOW LINE
CMU.....CONCRETE MASONRY UNIT
CONC.....CONCRETE
AC.....ASPHALT CONCRETE
BLDG.....BUILDING
APN.....ASSESSOR PARCEL NUMBER
NO.....NUMBER



MAP NO. 6016

MAP NO. 8192

PM 8399



PROJECT SITE	SITE	PROPERTY ADDRESS	SETBACK SURVEY 300' RADIUS			
			SETBACKS (IN FEET)			
			FRONT	REAR	RIGHT SIDE	LEFT SIDE
	1	OPEN LOT				
	2	2975 WOODFORD DRIVE	20	25.75	6.5	7
	3	OPEN LOT				
	4	7887 REVELLE DRIVE	24.25	27.5	10	16
	5	7867 LA JOLLA VISTA DRIVE	27.25	7.5	8	36
	6	7855 LA JOLLA VISTA DRIVE	11	55.5	7	17
	7	7845 LA JOLLA VISTA DRIVE	19.5	31.25	5	20
	8	7835 LA JOLLA VISTA DRIVE	11.25	53.75	8	6
	9	7819 LA JOLLA VISTA DRIVE	27	34.75	8	38
	10	OPEN LOT				
	11	3013 WOODFORD DRIVE	103	6	3	35
	12	OPEN LOT				
	13	3010 WOODFORD DRIVE	17	71.25	8	17
	14	7871 AVENIDA KIRJAH	35	36	30	23
	15	7870 AVENIDA KIRJAH	30.75	95.5	6	17
	16	2994 WOODFORD DRIVE	17.75	30	32	4
	17	2974 WOODFORD DRIVE	29.5	27.5	33	4
	18	2940 WOODFORD DRIVE	20	32.75	35	26
		TOTALS	393.25	535	199.5	266
		AVERAGE	28.09	38.21	14.25	19.00

PROJECT TITLE
Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7861 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
SETBACK SURVEY

JOB #

2021-111

DATE

Jul 08, 2021

ORIGINAL DRAWING PREPARATION DATE

JULY 08, 2021

CITY PROJECT NUMBER

P15-090191

SCALE

1/8" = 1'-0"

REVISION

SHEET #

A-4

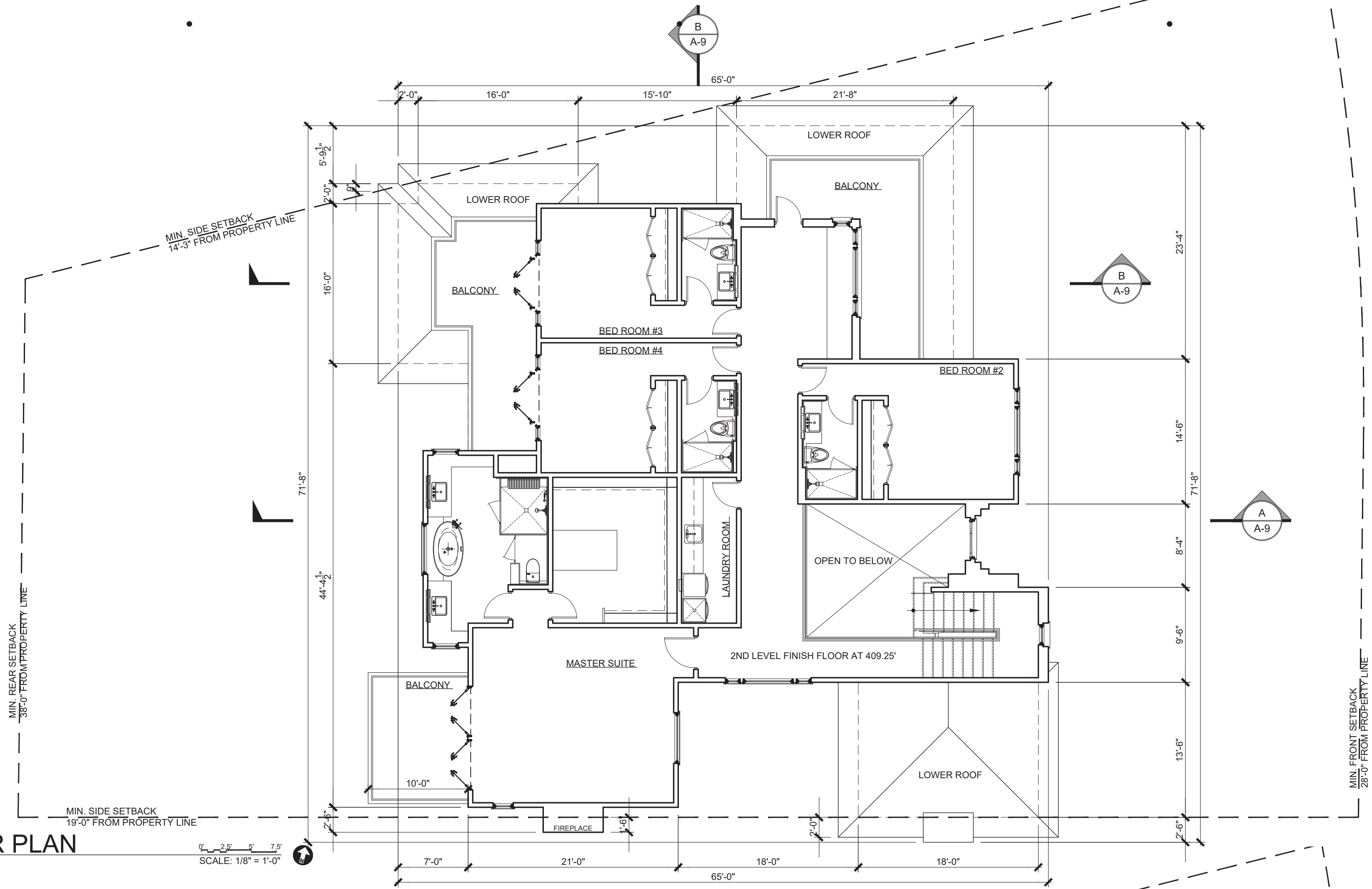
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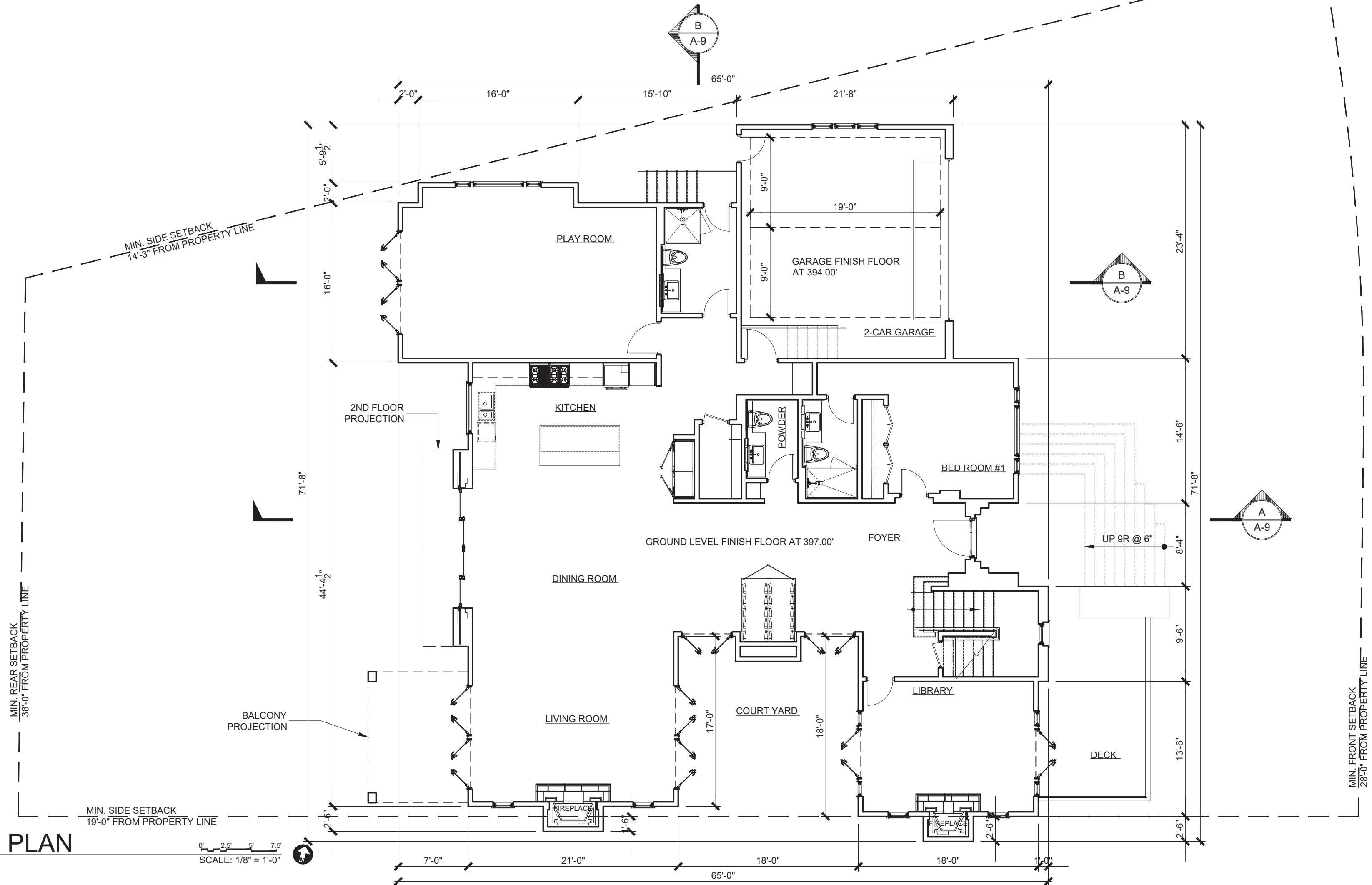
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2ND FLOOR PLAN



1ST FLOOR PLAN



PROJECT TITLE
Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7661 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
**FIRST FLOOR AND
SECOND FLOOR PLAN**

JOB #

2021-111

DATE

Jul 08, 2021

ORIGINAL DRAWING PREPARATION DATE

JULY 08, 2021

CITY PROJECT NUMBER

PTS-0665191

SCALE

1/8" = 1'-0"

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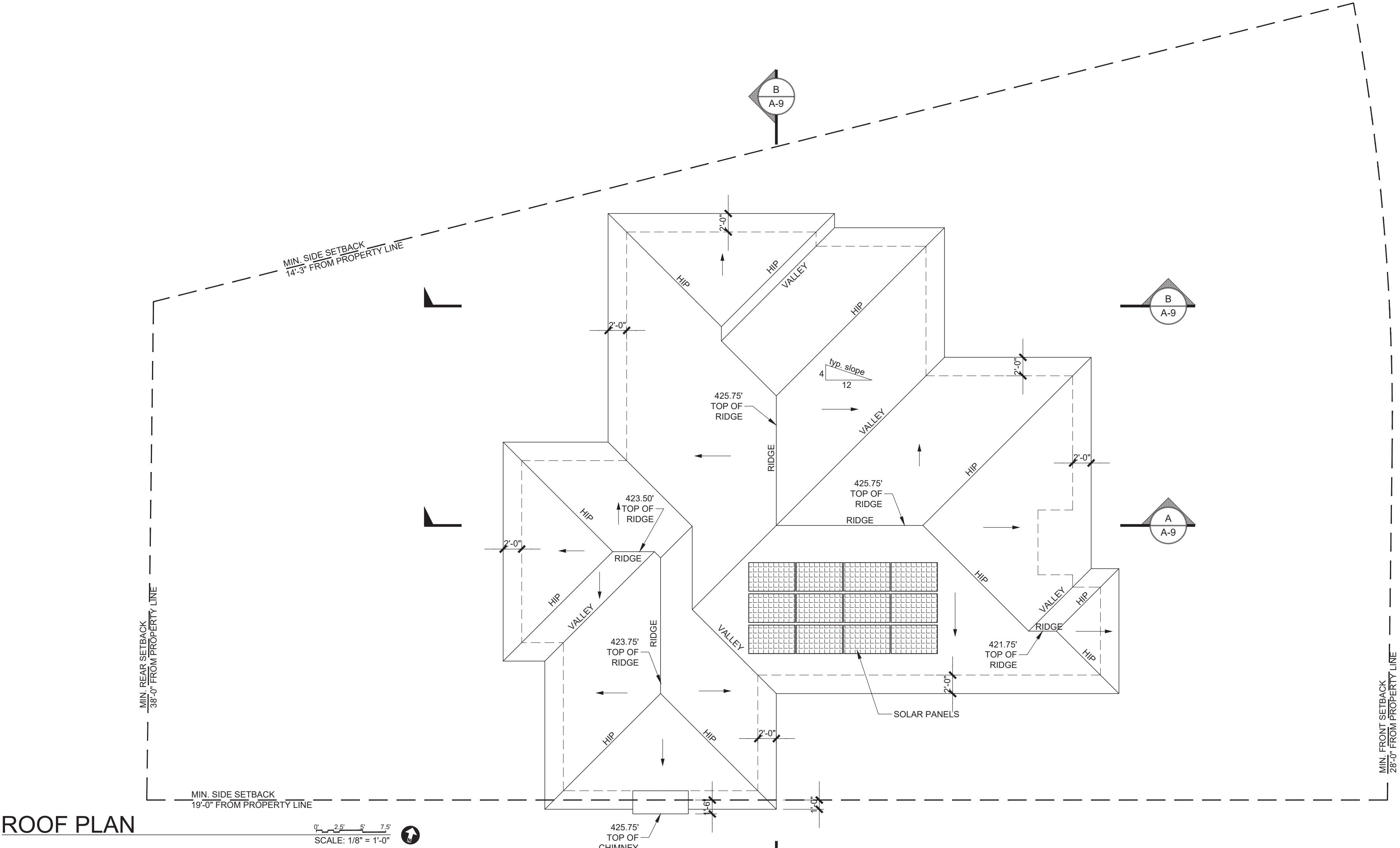
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ARCHITECTURE
INTERIOR DESIGN

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PROJECT TITLE

Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT

Design Lead Architects

7601 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE

ROOF PLAN

JOB #
2021-111

CITY PROJECT NUMBER
PTS-0665191

DATE
Jul 08, 2021

SCALE
1/8" = 1'-0"

ORIGINAL DRAWING PREPARATION DATE
JULY 08, 2021

REVISION

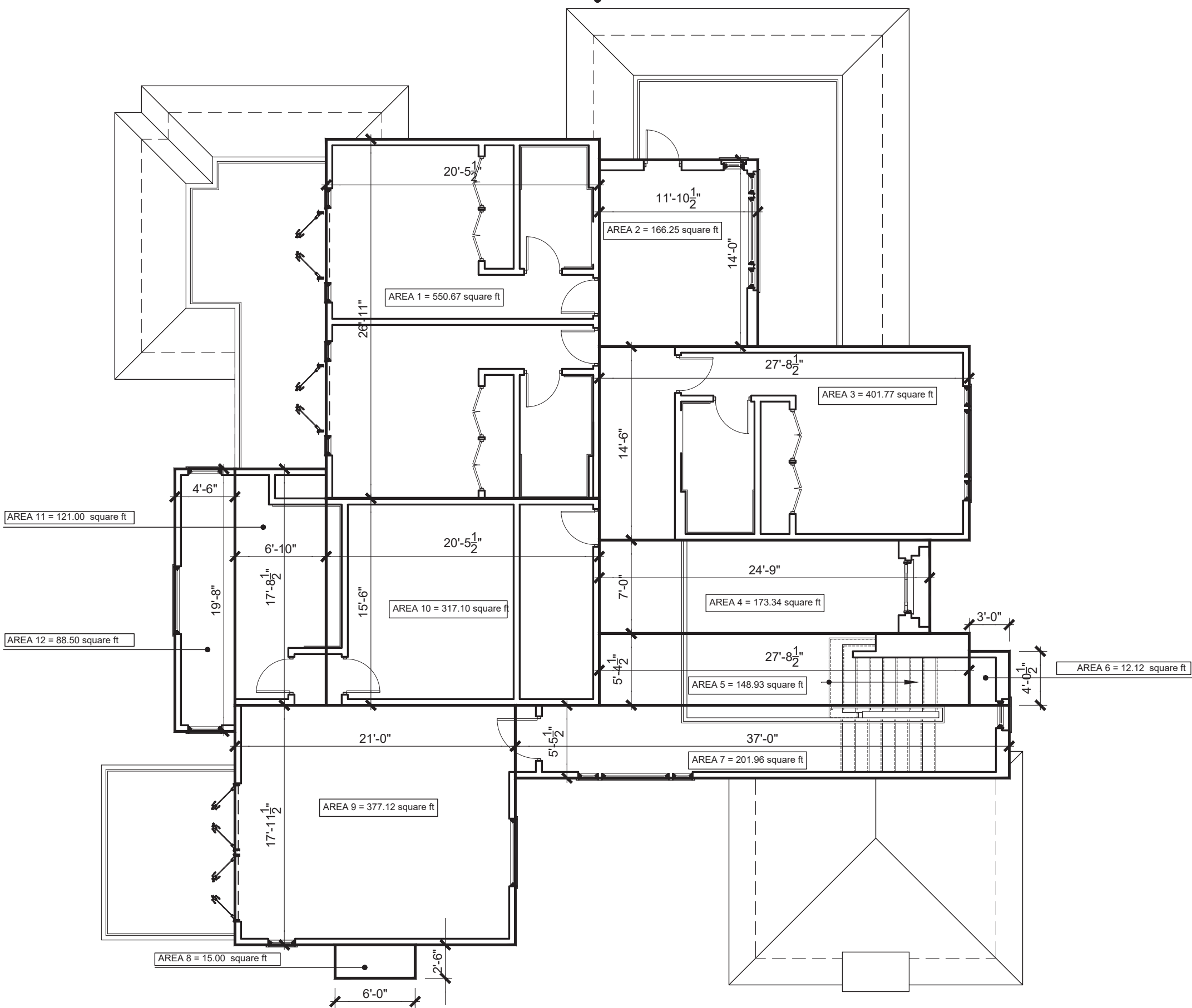
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DESIGN
LEAD
ARCHITECTS

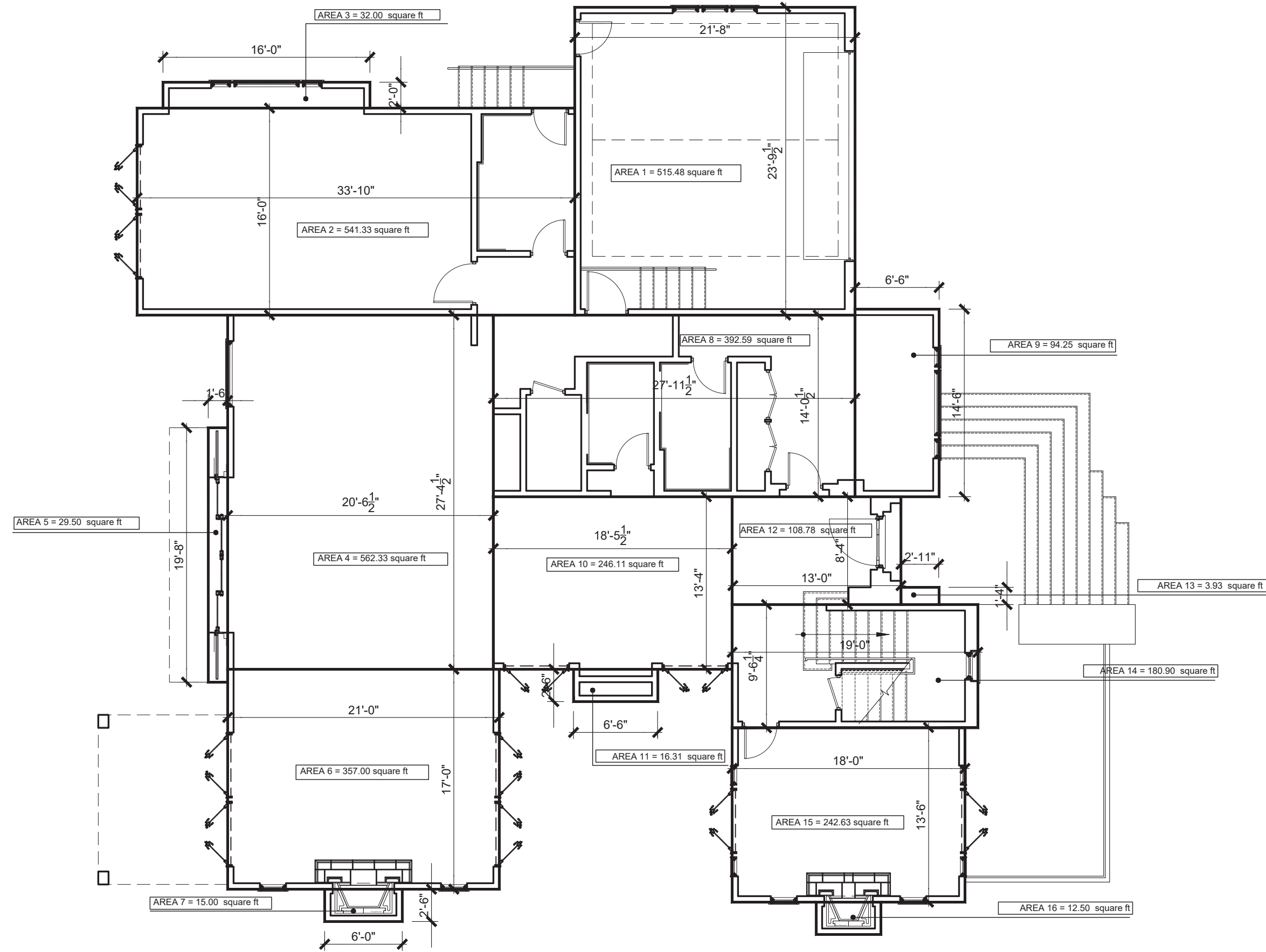
ARCHITECTURE & ENGINEERING

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SECOND LEVEL GROSS FLOOR AREA CALCULATION:
550.67 + 166.25 + 401.77 + 173.34 + 148.93 + 12.12 + 201.96 + 15.00 + 377.12 + 317.10 + 121.00 +
88.50 = 2,573.76 SQ. FT.



GROUND LEVEL GROSS FLOOR AREA CALCULATION:
515.48 + 541.33 + 32.00 + 562.33 + 29.50 + 357.00 + 15.00 + 392.59 + 94.25 + 245.11 + 16.31 + 108.78
+ 3.93 + 180.90 + 242.63 + 12.50 = 3,350.64 SQ. FT.

LOT COVERAGE AREA = 3,350.64 / 20,396.26 SQ. FT. (LOT AREA) = 16.43%

PROJECT TITLE
Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7601 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
GROSS FLOOR AREA CALCULATION

JOB #

2021-111

DATE

Jul 08, 2021

ORIGINAL DRAWING PREPARATION DATE

JULY 08, 2021

CITY PROJECT NUMBER

PTS-0695191

SCALE

1/8" = 1'-0"

REVISION

SHEET #

A-7

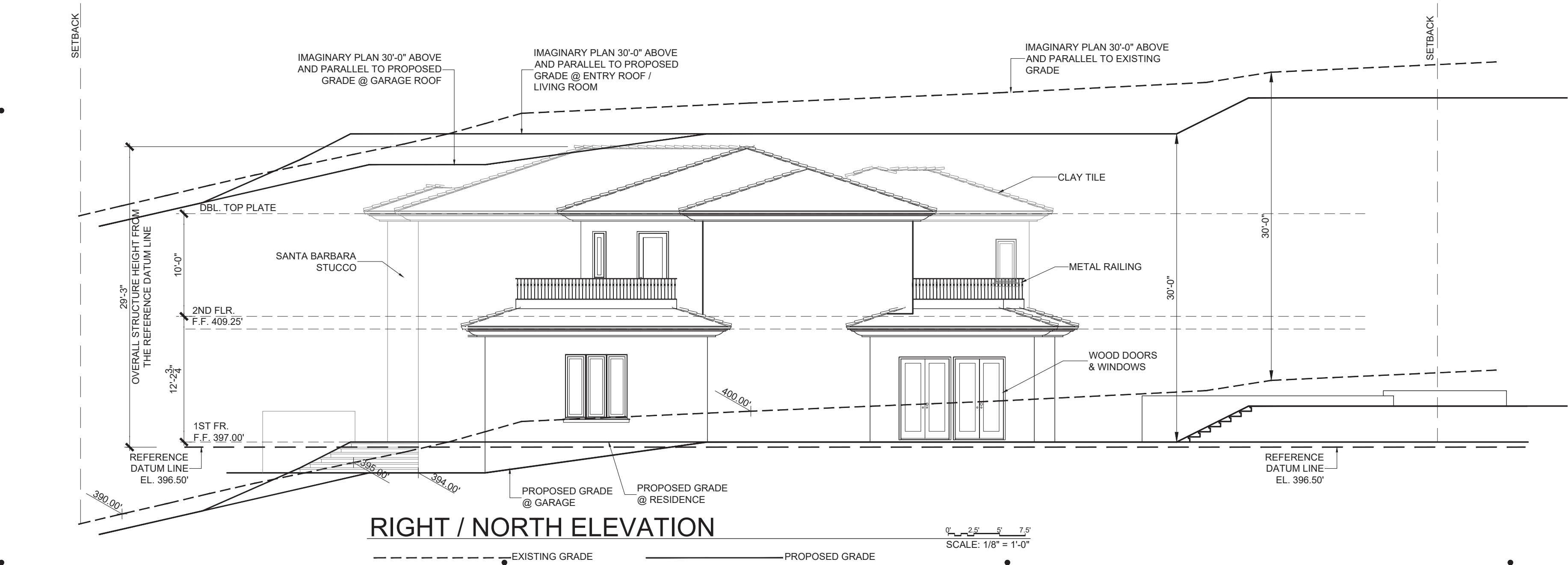
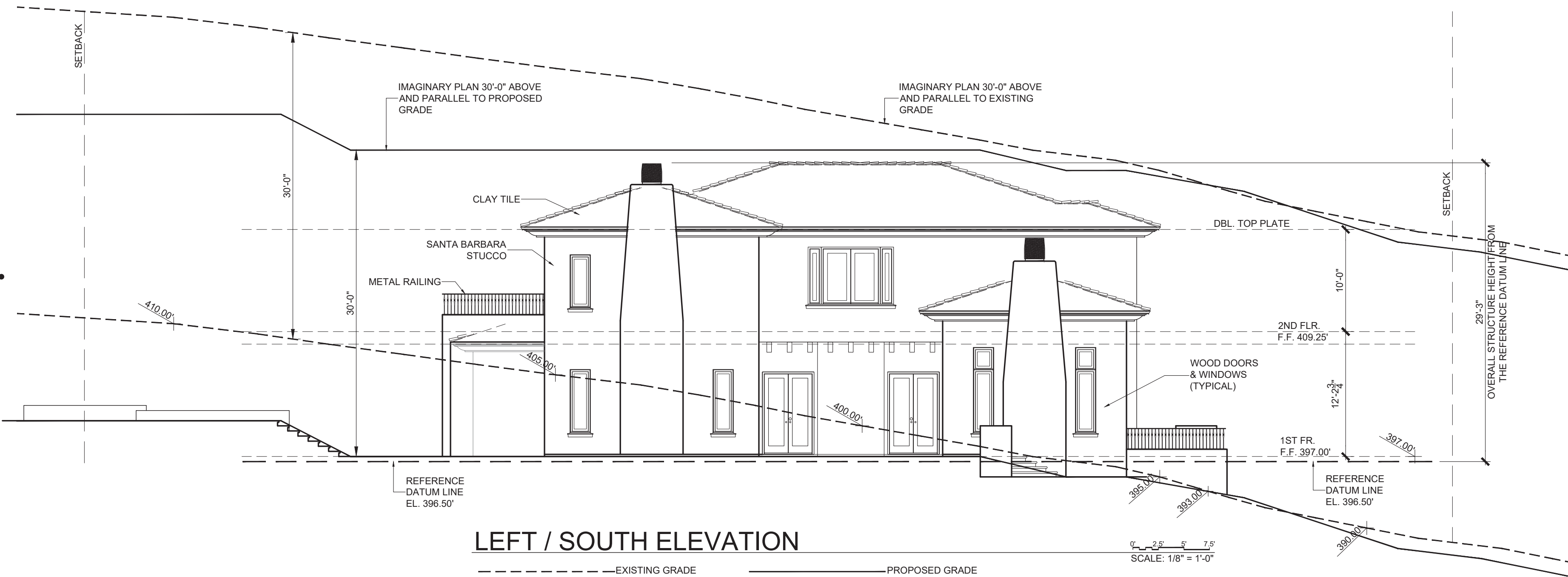
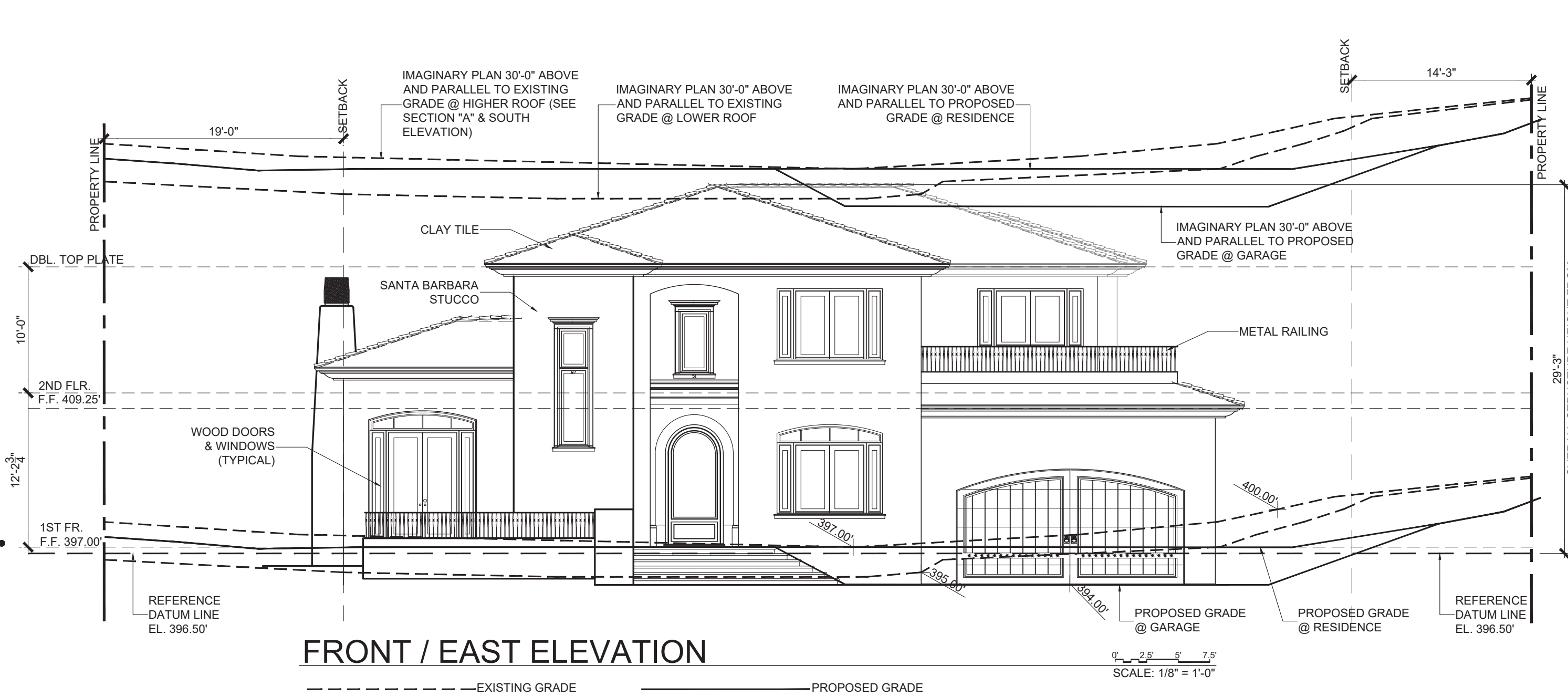
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**DESIGN
LEAD**
ARCHITECTS

ARCHITECTURAL DRAFTING

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APN# 346-820-20-00

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Design Lead Architects

7601 Girard Avenue, Suite 200
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DRAWING TITLE
ELEVATIONS

JOB #

2021-111

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CITY PROJECT NUMBER

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SCALE

1/8" = 1'-0"

REVISION

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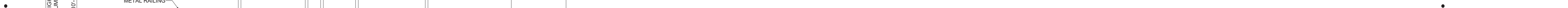
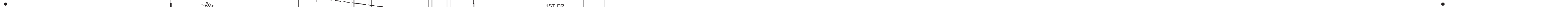
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SD CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- The Checklist is required only for projects subject to CEQA review.
- If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in **Chapter 11: Land Development Procedures** of the City's Municipal Code.
- The requirements in the Checklist will be included in the project's conditions of approval.
- The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application information	
Contact information	
Project No./Name:	Astalos Residence
Property Address:	2989 Woodford Drive, La Jolla, CA 92037
Contact Person:	Design Lead Architects
Contact Phone:	858-459-6114
Contact Email:	leticia@designlead.com
Was a consultant retained to complete this checklist?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, complete the following:
Consultant Name:	Contact Phone:
Company Name:	Contact Email:
Project information	
1. What is the size of the project (acres)?	0.47
2. Identify all applicable proposed land uses:	One Single Family Residence
<input checked="" type="checkbox"/> Residential (indicate # of single-family units: <input type="checkbox"/> residential (indicate # of multi-family units: <input type="checkbox"/> Commercial (total square footages: <input type="checkbox"/> Industrial (total square footages: <input type="checkbox"/> Other (describe):	
3. Is the project or a portion of the project located in a Transit Priority Area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. Provide a brief description of the project proposed:	Site Development Permit for construction of a new 5,924.40 sq. ft. two-story single family residence.

* Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to complete the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

City Council Approved July 12, 2016
Revised June 2017

SD CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency	Yes	No
Checklist item (Check the appropriate box and provide explanation and supporting documentation for your answer)		
Strategy 1: Energy & Water Efficient Buildings		
1. Cool/Green Roofs		
<ul style="list-style-type: none"> Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)? Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated green roof, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code? Would the project include a combination of the above two options? 	<input type="checkbox"/>	<input type="checkbox"/>
<p>If "Yes" proceed to Step 2 of the Checklist. For question 8 above, complete Step 3. For question C above, provide estimated project emissions under both existing and proposed designations for comparison. Compare the maximum buildout of the existing designation and the maximum buildout of the proposed designation.</p> <p>If "No," in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts within the decision maker finds that a measure is infeasible as identified with CEQA Guidelines Section 15209. Proceed and complete Step 2 of the Checklist.</p>		
The proposed project is consistent with the existing general plan and community plan land use and zoning designations.		

* This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

* This category applies to all projects that answered in the affirmative to question 3 on the previous page. Is the project a portion of the project located in a transit priority area.

City Council Approved July 12, 2016
Revised June 2017

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures. All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the Greenbook (for public projects).

Step 2: CAP Strategies Consistency	Yes	No	N/A
Checklist item (Check the appropriate box and provide explanation for your answer)			
Strategy 1: Energy & Water Efficient Buildings			
1. Cool/Green Roofs			
<ul style="list-style-type: none"> Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)? Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated green roof, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code? Would the project include a combination of the above two options? 	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>The project will include roofing material with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal or greater than the values specified in the voluntary measures under California Green Building Standards Code. See attachment "A" Table 1: low-rise residential with roof slope >2:12.</p>			

* Actions that are not subject to Step 2 would include, for example 1) discretionary map actions that do not require specific development, 2) permits allowing wireless communication facilities, 3) special events permits, 4) use permits or other permits that do not result in the expansion or enlargement of building footprint, 5) other permits, and 6) non-building related projects such as trails and bridges. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

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Revised June 2017

2. Plumbing fixtures and fittings

With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following:

Residential buildings:

- Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi.
- Standard dishwashers: 4.25 gallons per cycle.
- Compact dishwashers: 3.5 gallons per cycle and
- Clothes washers: water factor of 1.5 gallons per cubic feet of drum capacity?

Nonresidential buildings:

- Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table AS 303.2.1.1, voluntary measures of the California Green Building Standards Code (See Attachment A), and
- Appliances and fixtures for commercial applications that meet the provisions of Section AS 303.1, voluntary measures of the California Green Building Standards Code (See Attachment A)?

Check "N/A" only if the project does not include any plumbing fixtures or fittings.

The project low-flow fixtures/appliances will be consistent with the following:

- Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi
- Standard dishwasher: 4.25 gallons per cycle
- Clothes washers: water factor of 6 gallons per cubic feet of drum capacity.

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Revised June 2017

Strategy 3: Bicycling, Walking, Transit & Land Use

3. Electric Vehicle Charging

- Multiple-family projects of 17 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents?
- Multiple-family projects of more than 17 dwelling units: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents?
- Non-residential projects: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use?

Check "N/A" only if the project is a single-family project or would not require the provision of listed cabinets, boxes, or enclosures connected to a conduit linking the parking spaces with electrical service, e.g., projects requiring fewer than 10 parking spaces.

N/A

Strategy 3: Bicycling, Walking, Transit & Land Use
(Complete this section if project includes non-residential or mixed uses)

4. Bicycle Parking Spaces

Would the project provide more short- and long-term bicycle parking spaces than required in the City's Municipal Code (Chapter 16, Article 2, Division 3)?

Check "N/A" only if the project is a residential project.

N/A

* Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

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Revised June 2017

Step 3: Project CAP Conformance Evaluation (if applicable)

The third step of the CAP consistency review only applies if Step 1 is answered in the affirmative under option B. The purpose of this step is to determine whether a project that is located in a TPA but that includes a land use plan and/or zoning designation amendment is nevertheless consistent with the assumptions in the CAP because it would implement CAP Strategy 3 actions. In general, a project that would result in a reduction in density inside a TPA would not be consistent with Strategy 3. The following questions must each be answered in the affirmative and fully explained.

- Would the proposed project implement the General Plan's City of Villages strategy in an identified Transit Priority Area (TPA) that will result in an increase in the capacity for transit-supportive residential and/or employment densities?**
 Considerations for this question:
 - Does the proposed land use and zoning designation associated with the project provide capacity for transit-supportive residential densities within the TPA?
 - Is the project site suitable to accommodate mixed-use village development, as defined in the General Plan, within the TPA?
 - Does the land use and zoning associated with the project increase the capacity for transit-supportive employment densities within the TPA?
- Would the proposed project implement the General Plan's Mobility Element in Transit Priority Areas to increase the use of transit?**
 Considerations for this question:
 - Does the proposed project support/incorporate identified transit routes and stop/stations?
 - Does the project include transit priority measures?
- Would the proposed project implement pedestrian improvements in Transit Priority Areas to increase walking opportunities?**
 Considerations for this question:
 - Does the proposed project circulation system provide multiple and direct pedestrian connections and accessibility to local activity centers (such as transit stations, schools, shopping centers, and libraries)?
 - Does the proposed project urban design include features for walkability to promote a transit-supportive environment?
- Would the proposed project implement the City of San Diego's Bicycle Master Plan to increase bicycling opportunities?**
 Considerations for this question:
 - Does the proposed project circulation system include bicycle improvements consistent with the Bicycle Master Plan?
 - Does the overall project circulation system provide a balanced, multimodal, "complete streets" approach to accommodate mobility needs of all users?
- Would the proposed project incorporate implementation mechanisms that support Transit Oriented Development?**
 Considerations for this question:
 - Does the proposed project include new or expanded urban public spaces such as plazas, pocket parks, or urban greens in the TPA?
 - Does the land use and zoning associated with the proposed project increase the potential for jobs within the TPA?
 - Do the zoning/implementing regulations associated with the proposed project support the efficient use of parking through mechanisms such as shared parking, parking discounts, unattended parking, reduced parking paid or time-limited parking, etc.?
- Would the proposed project implement the Urban Forest Management Plan to increase urban tree canopy coverage?**
 Considerations for this question:
 - Does the proposed project provide at least three different species for the primary, secondary and accent trees in order to accommodate varying pathway widths?
 - Does the proposed project include policies or strategies for preserving existing trees?
 - Does the proposed project incorporate tree planting that will contribute to the City's 20% urban canopy tree coverage goal?

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Revised June 2017

5. Shower facilities

If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the California Green Building Standards Code as shown in the table below?

Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (17' x 19' x 72") Personal Effect Lockers Required
0-10	0	0
11-50	1 shower stall	2
51-100	1 shower stall	3
101-200	1 shower stall	4
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant occupants

Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).

N/A

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Revised June 2017

6. Designated Parking Spaces

If the project includes a nonresidential use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?

Number of Required Parking Spaces	Number of Designated Parking Spaces
0-9	0
10-25	2
26-50	4
51-75	6
76-100	9
101-150	11
151-200	18
201 and over	At least 10% of total

This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.

Note: Vehicles bearing Clean Air Vehicle stickers from registered HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spots are to be provided within the overall minimum parking requirement, not in addition to it.

Check "N/A" only if the project is a residential project, or if it does not include nonresidential use in a TPA.

N/A

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7. Transportation Demand Management Program

If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:

At least one of the following components:

- Parking cash out program
- Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools
- Unattended parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development.

And at least three of the following components:

- Commitment to maintaining an employer network in the SANDAG Commute program and promoting its RideMaster service to tenant/employees
- On-site carsharing (vehicles) or bikesharing
- Flexible or alternative work hours
- Telework program
- Transit, carpool, and vanpool subsidies
- Pre-tax deduction for transit or vanpool fares and bicycle commute costs
- Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1,500 feet (1/4 mile) of the structure(s)?

Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).

N/A

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SD CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A

This attachment provides performance standards for applicable Climate Action Plan (CAP) Consistency Checklist measures.

Table 1: Roof Design Values for Questions 1: Cool / Green Roofs supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan				
Land Use Type	Roof Slope	Minimum 3-Year Aged Solar Reflectance	Thermal Emittance	Solar-Reflective Index
Low-Rise Residential	> 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	36
High-Rise Residential Buildings, Hotels and Motels	> 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	36
Non-Residential	> 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	36

Sources: Adapted from the California Green Building Standards Code (CALGreen) Tier 1 residential and non-residential voluntary measures shown in Tables AS 303.2.1.1 and AS 303.2.1.2, respectively. Roof installation and reflective index shall comply with the California Code of Regulations, Title 24, Part 01, Chapter 3.2.2, and the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Tables AS 303.2.1.1 and AS 303.2.1.2, respectively. See the California Plumbing Code for definitions of each fixture type.

When comparing fixtures are unavailable, fixtures rated at 0.25 gpm or other means may be used to achieve reduction.

Aspen: gpm = gallons per minute; gpm = gallons per minute (both of pressure)

h = inch

CALGreen does not include recommended values for low-rise residential buildings with roof slopes of 2:12 for San Diego's climate zones 7 and 10D. Therefore, the values for climate zone 15 that cover Imperial County are adopted here.

Solar Reflectance Index (SRI) equals or greater than the values specified in this table may be used as an alternative to compliance with the solar reflectance values and thermal emittance.

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Revised June 2017

Table 2: Fixture Flow Rates for Non-Residential Buildings related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Fixture Type	Maximum Flow Rate
Showerheads	1.8 gpm @ 80 psi
Lavatory Faucets	0.55 gpm @ 80 psi
Wash Basins	1.8 gpm @ 80 psi
Wash Fountains	1.6 (1 min) maximum / 1.20 gpm @ 80 psi
Misting Faucets	0.18 gallons/cycle
Misting Faucets for Wash Fountains	0.18 (1 min) maximum / 1.20 gpm @ 80 psi
Gravel Tank-type Water Closets	1.2 gallons/flush
Flushometer Valve Water Closets	1.2 gallons/flush
Flushometer Valve Water Closets	1.2 gallons/flush
Electromechanical Hydraulic Water Closets	1.2 gallons/flush
Urinals	0.5 gallons/flush

Sources: Adapted from the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Tables AS 303.2.1.1 and AS 303.2.1.2, respectively. See the California Plumbing Code for definitions of each fixture type.

When comparing fixtures are unavailable, fixtures rated at 0.25 gpm or other means may be used to achieve reduction.

Aspen: gpm = gallons per minute; gpm = gallons per minute (both of pressure)

h = inch

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Revised June 2017

Table 3: Standards for Appliances and Fixtures for Commercial Application related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Appliance/Fixture Type	Standard
Clothes Washers	Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commission's WF standards for commercial clothes washers located in Title 24 of the California Code of Regulations.
Conveyor-type Dishwashers	0.70 maximum gallons per rack (2.6 L) (High-Temperature) 0.62 maximum gallons per rack (4.4 L) (Chemical)
Door-type Dishwashers	0.95 maximum gallons per rack (3.6 L) (High-Temperature) 1.16 maximum gallons per rack (2.6 L) (Chemical)
Undercounter-type Dishwashers	0.60 maximum gallons per rack (2.4 L) (High-Temperature) 0.64 maximum gallons per rack (2.7 L) (Chemical)
Combination Ovens	Consume no more than 10 gallons per hour (38 L/h) in the full operational mode.
Commercial Pre-rinse Spray Valves (manufactured on or after January 1, 2006)	Function at equal to or less than 1.6 gallons per minute (0.20 L/s) at 60 psi (4.14 MPa) and: <ul style="list-style-type: none"> Be capable of cleaning 60 plates in an average time of not more than 30 seconds per plate. Be equipped with an integral automatic shut-off. Operate at static pressure of at least 30 psi (207 kPa) when designed for a flow rate of 1.6 gallons per minute (0.20 L/s) or less.

Sources: Adapted from the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Section AS 303.3.3. See the California Plumbing Code for definitions of each appliance fixture type.

Aspen: gpm = gallons per minute; gpm = gallons per minute (both of pressure)

L/s = liters per second

psi = pounds per square inch (both of pressure)

MPa = Megapascal (both of pressure)

City Council Approved July 12, 2016
Revised June 2017

PROJECT TITLE

Astalos Residence

2989 WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7061 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
CAP CONSISTENCY CHECK LIST

JOB #

2021-111

DATE

Jul 08, 2021

ORIGINAL DRAWING PREPARATION DATE

JULY 08, 2021

CITY PROJECT NUMBER

PTS-0696-191

SCALE

NTS

REVISION

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 <div>City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000</div>	Storm Water Requirements Applicability Checklist	FORM DS-560 November 2018
Project Address: 2989 Woodford Drive, La Jolla, CA 92037		Project Number:
SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual . Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.		
For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.		
PART A: Determine Construction Phase Storm Water Requirements.		
1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.) <input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question		
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water? <input checked="" type="checkbox"/> Yes; WPCP required, skip questions 3-4 <input type="checkbox"/> No; next question		
3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement) <input type="checkbox"/> Yes; WPCP required, skip question 4 <input checked="" type="checkbox"/> No; next question		
4. Does the project only include the following Permit types listed below? <ul style="list-style-type: none">• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. <input type="checkbox"/> Yes; no document required		
Check one of the boxes below, and continue to PART B: <input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B <input checked="" type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B. <input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.		
1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml <small>Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (11-18)</small>		

PG 1

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.	
Complete PART B and continued to Section 2	
1. <input type="checkbox"/> ASBS a. Projects located in the ASBS watershed.	
2. <input type="checkbox"/> High Priority a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed. b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.	
3. <input type="checkbox"/> Medium Priority a. Projects that are not located in an ASBS watershed or designated as a High priority site. b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed. c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.	
4. <input checked="" type="checkbox"/> Low Priority a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.	
SECTION 2. Permanent Storm Water BMP Requirements. Additional information for determining the requirements is found in the Storm Water Standards Manual . PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs. If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements". If "no" is checked for all of the numbers in Part C continue to Part D.	
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	


PG 2

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
PART D: PDP Exempt Requirements. PDP Exempt projects are required to implement site design and source control BMPs. If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt." If "no" was checked for all questions in Part D, continue to Part E.	
1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: <ul style="list-style-type: none">• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;• Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; next question	
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual ? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; project not exempt.	
PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP). If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project". If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".	
1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	



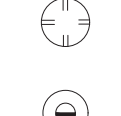
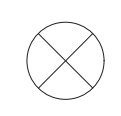
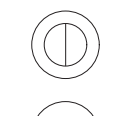
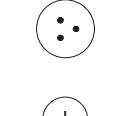
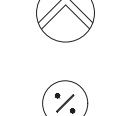
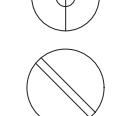

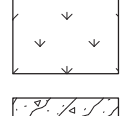
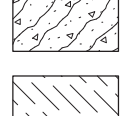
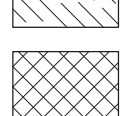



PG 3

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532, 7534, or 7536-7539. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
PART F: Select the appropriate category based on the outcomes of PART C through PART E.	
1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS. <input type="checkbox"/>	
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input checked="" type="checkbox"/>	
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input type="checkbox"/>	
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management <input type="checkbox"/>	
Leticia Bonnet Name of Owner or Agent (Please Print)	Agent Title 07/06/2021 Date
Signature	

PG 4

PROJECT TITLE Astalos Residence		
2989 WOODFORD DRIVE LA JOLLA, CALIFORNIA 92037		
APN# 346-820-20-00		
APPLICANT Design Lead Architects 7601 Girard Avenue, Suite 200 La Jolla, California 92037		
DRAWING TITLE STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST (DS-560)		
JOB # 2021-111	DATE Jul 08, 2021	ORIGINAL DRAWING PREPARATION DATE JULY 08, 2021
CITY PROJECT NUMBER PTS-0695191	SCALE NTS	REVISION Δ 1 . Δ 2 . Δ 3 . Δ 4 . Δ 5 . Δ 6 . Δ 7 . Δ 8 . Δ 9 . Δ 10 .
SHEET # A-11 11 OF 13		 ARCHITECTS www.designlead.com
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, DESIGN LEAD ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS OR ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.		

PLANT SCHEDULE

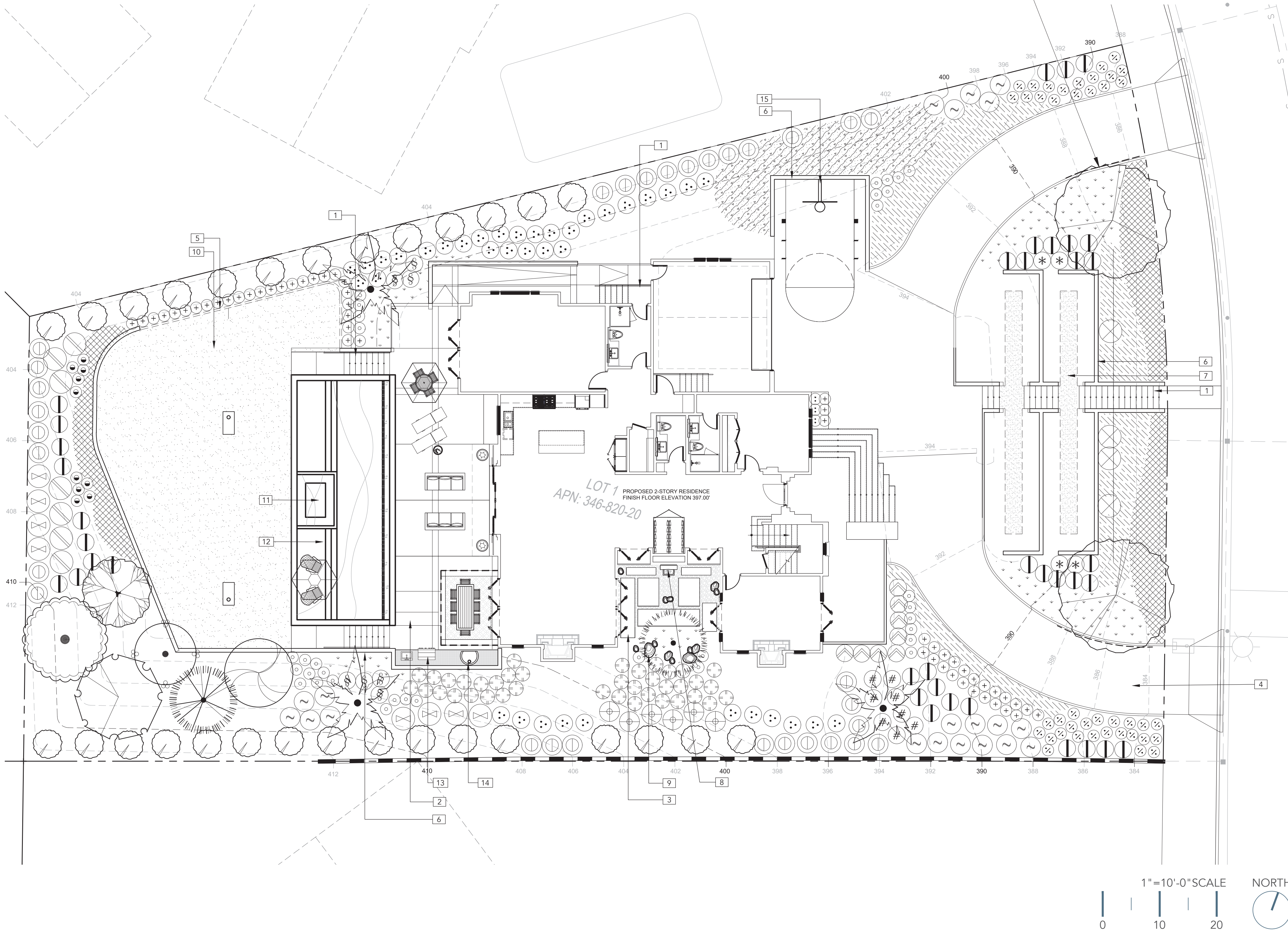
TREES	BOTANICAL NAME	COMMON NAME	SIZE
	ACER PALMATUM 'FJELLHEIM'	FJELLHEIM JAPANESE MAPLE	24" BOX
	CITRUS X SPP	GRAFTED MULTI FRUIT	15 GAL
	ERIOBOTRYA JAPONICA	LOQUAT	15 GAL
	FICUS CARICA 'BLACK MISSION'	BLACK MISSION FIG	15 GAL
	FICUS NITIDA	WEeping FIG	15 GAL
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	36" BOX
	MALLUS X DOMESTICA 'ANNA'	ANNA APPLE	15 GAL
	PERSEA AMERICANA 'HASS'	HASS AVOCADO	15 GAL
	PUNICA GRANATUM	POMEGRANATE	15 GAL
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	24" BOX
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	ACACIA COGNATA 'ACCOG01'	COUSIN ITT LITTLE RIVER WATTLE	1 GAL
	AGASTACHE X 'FIREBIRD'	FIREBIRD ANISE HYSSOP	1 GAL
	AGAVE AMERICANA	CENTURY PLANT	5 GAL
	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL
	ANIGOZANTHOS FLAVIDUS	KANGAROO PAW	1 GAL
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL
	BOUGAINVILLEA X 'LA JOLLA'	LA JOLLA BOUGAINVILLEA	5 GAL
	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD	1 GAL
	DIETES GRANDIFLORA	FORTNIGHT LILY	5 GAL
	LAVANDULA STOECHAS	SPANISH LAVENDER	1 GAL
	LEUCADENDRON X 'JESTER'	JESTER CONEBUSH	5 GAL
	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	15 GAL
	LIMONIUM PEREZII	STATICE	1 GAL
	PHORMIUM X 'BLACK ADDER'	NEW ZEALAND FLAX	5 GAL
	RHODODENDRON X 'RUBICON'	RUBICON RHODODENDRON	1 GAL
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL
	STRELTZIA REGINAE	BIRD OF PARADISE	5 GAL
	TAGETES LEMMONII	COPPER CANYON DAISY	5 GAL
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE
	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL
	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENT JUNIPER	1 GAL
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL
	SENECIO MANDRAUSCAE	BLUE FINGERS	FLAT

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	CONCRETE STEPS
2	CONCRETE PATIO
3	CONCRETE STEPPERS
4	CONCRETE DRIVEWAY
5	4" CONCRETE HEADER
6	RETAINING WALL
7	D.G. WALKWAY
8	DECORATIVE FOUNTAIN
9	LANDSCAPE BOULDERS
10	LAWN AREA
11	SPA
12	POOL WITH BAJA SHELF AND INFINITY EDGE
13	OUTDOOR KITCHEN WITH BARBEQUE AND SINK
14	OUTDOOR PIZZA OVEN
15	BASKETBALL HOOP

LANDSCAPE CALCULATIONS

STREET YARD	QTY.
TOTAL AREA:	6,794 S.F.
PLANTING AREA:	REQUIRED (50% T.A.): 3,397 S.F. PROVIDED: 3,570 S.F. EXCESS: 173 S.F.
PLANT POINTS:	REQUIRED (0.05 x T.A.): 340 PTS. SHRUB PTS (5 15 GAL SHRUBS @ 10 PTS): 150 PTS. SHRUB PTS (59 5 GAL SHRUBS @ 2 PTS): 118 PTS. SHRUB PTS (636 1 GAL SHRUBS @ 1 PTS): 636 PTS. TREE PTS (2 36 BOX TREES @ 50 PTS) PROVIDED: 100 PTS. TOTAL: 1,004 PTS. EXCESS: 664 PTS.
NOTE: 40 SQ. FT. MIN. SHALL BE PROVIDED FOR EACH TREE	
REMAINING YARD	QTY.
TOTAL AREA:	1,770 S.F.
PLANT POINTS:	REQUIRED (60 PTS): 60 PTS. SHRUB PTS (29 15 GAL SHRUBS @ 10 PTS): 290 PTS. SHRUB PTS (29 5 GAL SHRUBS @ 2 PTS): 58 PTS. SHRUB PTS (0 1 GAL SHRUBS @ 1 PTS): 0 PTS.
TOTAL EXCESS:	348 PTS. 288 PTS.
V.U.A. INSIDE STREET YARD	QTY.
TOTAL AREA:	4,247 S.F.
PLANT POINTS:	REQUIRED (0.05 x T.A.): 212 PTS. SHRUB PTS (2 15 GAL SHRUBS @ 10 PTS): 20 PTS. SHRUB PTS (1 5 GAL SHRUBS @ 2 PTS): 2 PTS. SHRUB PTS (459 1 GAL SHRUBS @ 1 PTS): 459 PTS.
TOTAL EXCESS:	481 PTS. 269 PTS.



PLANTING NOTES
1. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
2. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOLAR EXPOSURE, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. DRIP AND LOW PRECIPITATION RATE SPRINKLER HEADS SHALL BE USED WHERE APPLICABLE TO ENCOURAGE WATER INFILTRATION INTO THE SOIL AND DECREASE WATER RUN-OFF. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
3. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC-RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
4. NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA, AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS.
5. LANDSCAPE AND IRRIGATION WITHIN THE STREET RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY DIRECTLY BEHIND THE R.O.W. LINE
6. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET X 8 FEET ~ 40 S.F., PER SDMC 142.04.03(B)(5).
7. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/ PERMITTEE SHALL REPAIR AND OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATE OF OCCUPANCY.

MINIMUM TREE SEPARATION DISTANCE
- TRAFFIC SIGNALS/STOP SIGNS - 20 FEET - UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER) - ABOVE GROUND UTILITY STRUCTURES - 10 FEET - DRIVEWAY (ENTRIES) - 10 FEET - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

PROJECT TITLE
Astalos Residence

WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT
Design Lead Architects

7661 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
LANDSCAPE PLAN

JOB #

2021-111

DATE

05/20/2021

ORIGINAL DRAWING PREPARATION DATE

05/20/2021

DRAWN

UA

SCALE

1" = 10'-0"

REVISION

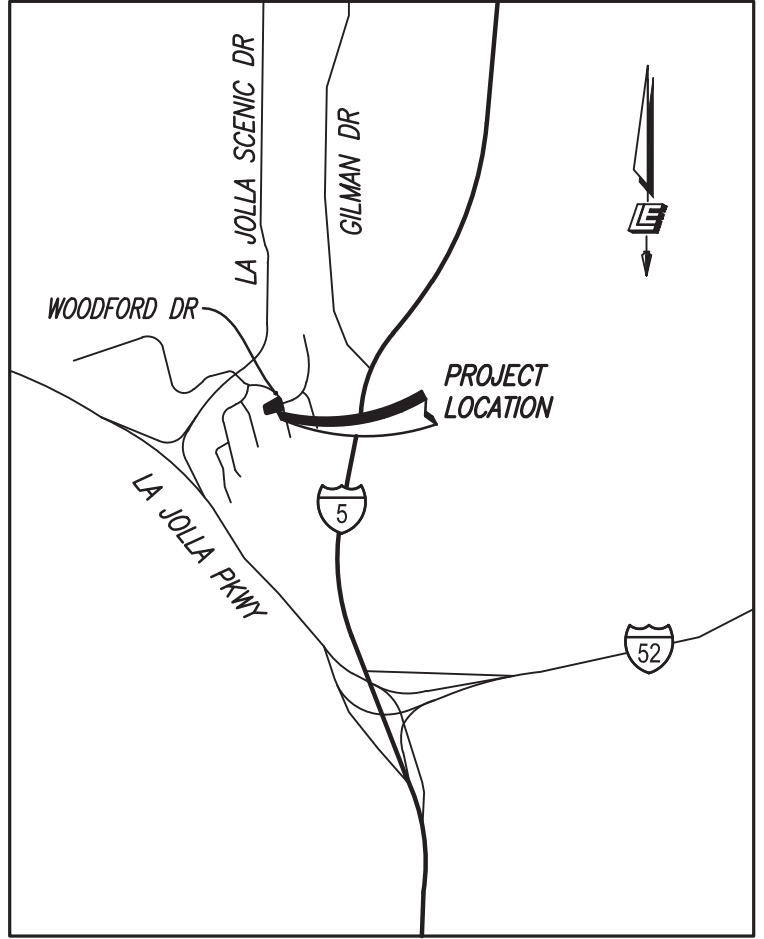
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SHEET #
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OC SD OAK

11300 Sorrento Valley Road, Suite 230
San Diego, CA 92121
858 625 0112



VICINITY MAP

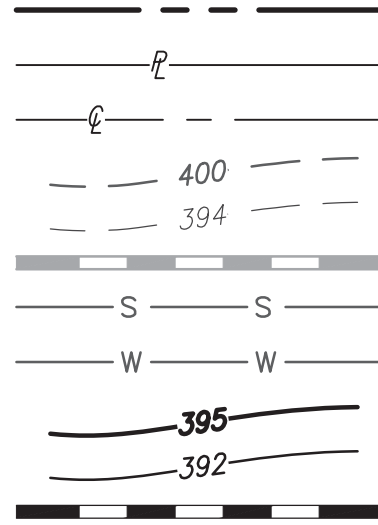
NO SCALE

IMPROVEMENT

- BOUNDARY LINE
- PROPERTY LINE
- CENTER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING RETAINING WALL
- EXISTING SEWER
- EXISTING WATER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED RETAINING WALL

STANDARD DWGS.

SYMBOL



APPROXIMATE EARTHWORK

EXCAVATION: 1,883 C.Y.
FILL: 303 C.Y.
EXPORT: 1,580 C.Y.
IMPORT: 0 C.Y.

PROJECT TITLE

Astalos Residence

WOODFORD DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 346-820-20-00

APPLICANT

Design Lead Architects

7991 Gerard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE

GRADING PLAN FOR:
ARI ASTALOS RESIDENCE
WOODFORD DRIVE, LA JOLLA CA

JOB #

LA 80-02-05-21

DATE

Jan 29, 2021

ORIGINAL DRAWING PREPARATION DATE

DRAWN

LEC

SCALE

1" = 10'

REVISION

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SHEET #

