

## La Jolla Shores Planned District Advisory Board (LJSPDAB) Online Virtual Meeting

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

### For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items): C70093/PTS 670093\_\_\_\_\_
- Address and APN(s): \_8561 El Paseo Grande, La Jolla/346-090-20-00\_\_\_\_\_
- Project contact name, phone, e-mail: \_Claude-Anthony Marengo, 619-417-1111  
CAMarengo@M2A.io\_\_\_\_\_
- Project description: \_Demolition of 3,044 sf house and construction of 5,530 sf 2-story family dwelling unit\_\_\_\_\_
- Please indicate the action you are seeking from the Advisory Board:
  - ☐ Recommendation that the Project is minor in scope (Process 1)
  - ☐ Recommendation of approval of a Site Development Permit (SDP)
  - ☒ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
- Other: \_\_\_\_\_
- In addition, provide the following:
  - lot size: 6,330 sf\_\_\_\_\_
  - existing structure square footage and FAR (if applicable): 3,044 sf/
  - existing and proposed setbacks on all sides: front: 21.3"/15'-0" Side North 7'-10"/5'-0"-11'-6" Side South 8'-8"/5'-0" – 7'-0" Rear 21'-0"/4'-0" – 5'-10"\_\_\_\_\_
  - height if greater than 1-story (above ground): \_29'-9"\_\_\_\_\_

### For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): \_Barlow Capital Investments, LLC\_\_\_\_\_
- Address and APN(s): \_\_same as above\_\_\_\_\_
- Project contact name, phone, e-mail: \_same as above\_\_\_\_\_
- Project description: same as above\_\_\_\_\_
- In addition to the project description, please provide the following:
  - lot size: same\_\_\_\_\_
  - existing structure square footage and FAR (if applicable): \_same\_\_\_\_\_
  - proposed square footage and FAR: \_same\_\_\_\_\_
  - existing and proposed setbacks on all sides: \_same\_\_\_\_\_
  - height if greater than 1-story (above ground): \_same\_\_\_\_\_
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): seek groups approval that building conforms to the surrounding houses\_\_\_\_\_

**Exhibits and other materials to provide:**

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab>  
for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
  - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
  - B. Elevations for all sides;
  - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
  - D. If the proposal is for a building with more than one story, show:
    - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
    - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
    - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

**Meeting Presentation – updated 8/31/20**

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter, so that they may share their screen and run their presentation.

**PLEASE DO NOT PROVIDE THE FOLLOWING:**

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Senior Planner  
[mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov)  
Planning Department  
9485 Aero Drive MS 413  
San Diego CA 92123  
619-235-5293

# BARLOW CAPITAL INVESTMENTS LLC

8561 EL PASEO GRANDE, LA JOLLA, CA 92037



SHEET INDEX		PROJECT TEAM		SCOPE OF WORK	PROJECT DATA			
NAME	CONTENT	<b>OWNERS</b> Barlow Capital Investments LLC Ms. Sasha Lowther 8561 El Paseo Grande La Jolla, CA 92037 Telephone: (619) 770-4036		<b>GEOTECHNICAL ENGINEER</b> Accutech Engineering Systems, Inc. 3435 Carleton St. San Diego, CA 92106 Telephone: (619) 261-2619 Fax: (619) 224-6888 info@accutechengineering.com		<ul style="list-style-type: none"><li>THE PROPOSED DEVELOPMENT SHALL REQUIRE A PROCESS THREE: A SITE DEVELOPMENT PERMIT AND COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF 3,044 SQ.FT. HOUSE.</li><li>CONSTRUCTION OF A 5,530 SQ FT 2-STORY SINGLE FAMILY DWELLING UNIT OVER BASEMENT WITHIN LA JOLLA SHORES PLANNED DISTRICT.</li><li>REQUEST A NEIGHBORHOOD DEVELOPMENT PERMIT.</li></ul>		
T-1	TITLE SHEET	<b>ARCHITECT</b> Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo CAMarengo@m2a.io Cell: (619) 417-1111		<b>SURVEYOR</b> Spencer-Luey Inc. 220 Linda Mar Dr. Solana Beach, CA 92075 Telephone: (858) 792-9242				
CIVIL		<b>DESIGNER</b> Gracia Studio Calle Coahuila 8206 Int. 201, Zona Centro C.P. 22100 Tijuana, BC, Mexico Contact: Benjamin Huerta Telephone: (664) 638-4663						
TOPO	TOPOGRAPHICAL SURVEY	4492 Camino de la Plaza, Suite 281 San Ysidro, CA 92173 Telephone: (619) 795-7864						
LANDSCAPE								
L-1.1	LANDSCAPE							
ARCHITECTURAL								
A-1.1	PROPOSED SITE PLAN							
A-1.1.1	PROPOSED LOT COVERAGE PLAN							
A-1.2	SITE DEMOLITION PLAN							
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A-1.3.1	PROPOSED BMP FORMS							
A-2.1	PROPOSED BASEMENT FLOOR PLAN							
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A-5.1	PROPOSED WEST ELEVATION							
A-5.2	PROPOSED NORTH ELEVATION							
A-5.3	PROPOSED EAST ELEVATION							
A-5.4	PROPOSED SOUTH ELEVATION							
A-6.1	PROPOSED SECTION A							
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A-6.3	PROPOSED SECTION C							
A-6.4	PROPOSED SECTION D							
A-6.5	PROPOSED SECTION E							



## Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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BARLOW CAPITAL INVESTMENTS LLC  
8561 EL PASEO GRANDE  
LA JOLLA, CA 92037

REVISIONS  
06/18/2020 START OF PROJECT  
12/21/2020 COMMUNITY SUBMITTAL  
1/18/21 2nd COMMUNITY SUBMITTAL



PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

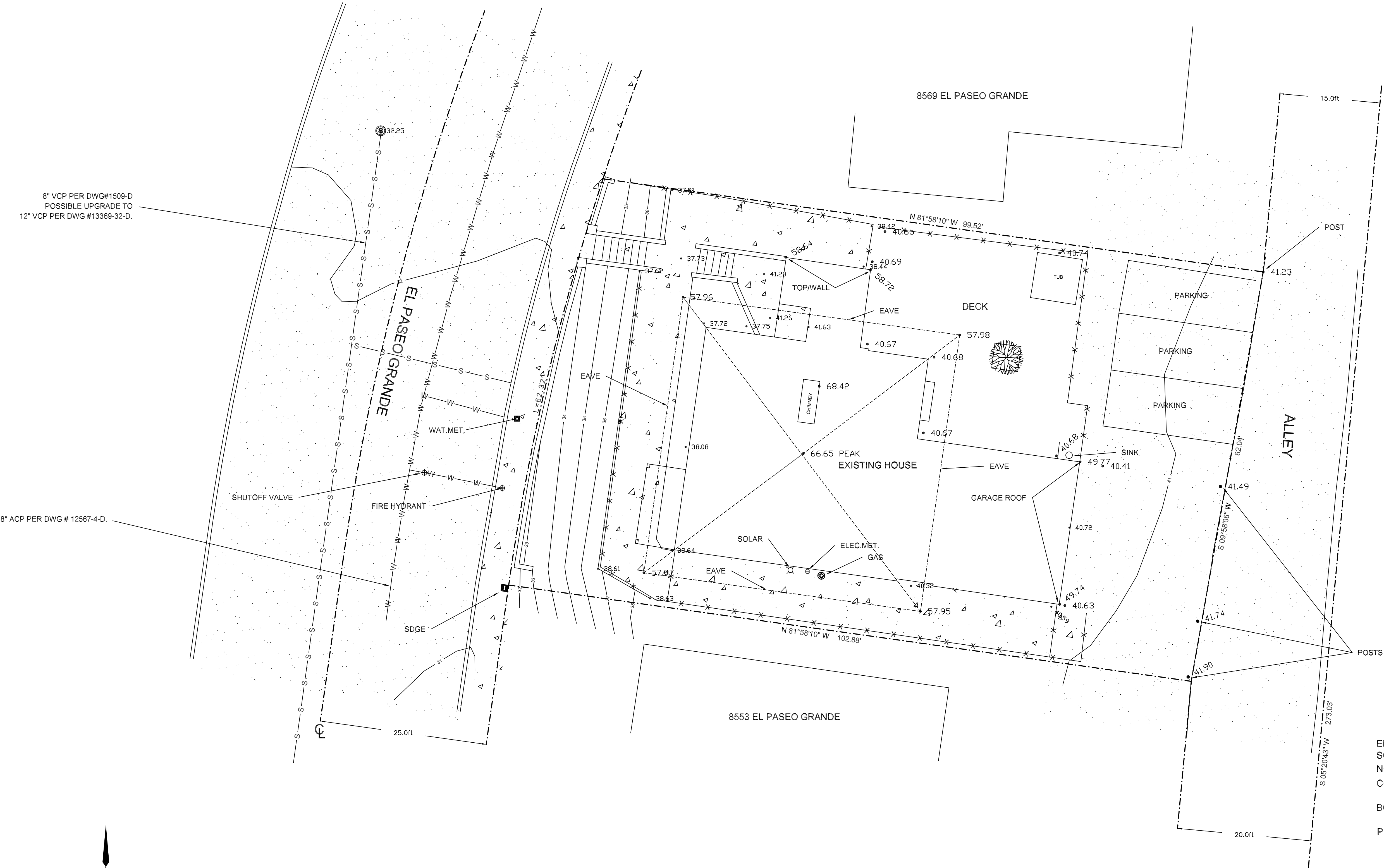
DATE 06/09/2021

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SHEET TITLE  
TITLE SHEET

T-1

8561 EL PASEO GRANDE

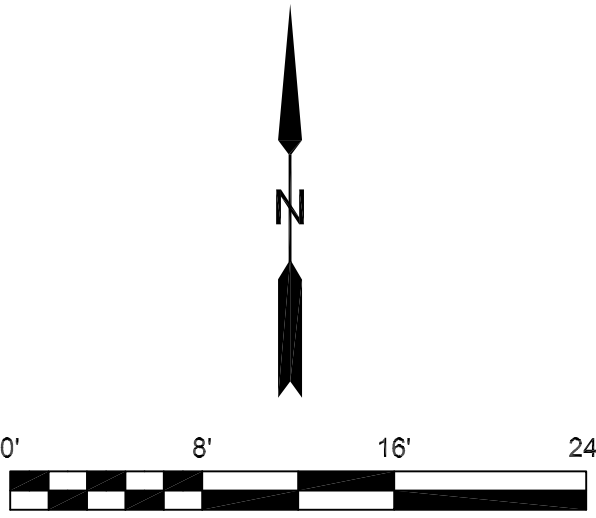


ELEVATIONS TIED TO BRASS PLUG LOCATED AT THE  
SOUTHEAST CORNER OF CAMINO DEL COLLADO & EL PASEO GRANDE.  
NGVD29 ELEVATION=37.88 FEET PER CITY OF SAN DIEGO VERTICAL  
CONTROL BOOK PAGE 228.

BOUNDARY TIED TO MAP NO. 6087.

PLOT BY SPENCER-LUEY SURVEY. 858-792-9242

ROBERT SUKUP  
RCE 28302-EXP: 3/31/22



11/5/20

M<sup>2</sup>

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Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA

LICENSED ARCHITECT  
MICHAEL RENE MORTON  
C-19371  
RENEWAL  
04/30/2021  
STATE OF CALIFORNIA

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INVESTMENTS LLC

8561 EL PASEO GRANDE  
LA JOLLA, CA 92037

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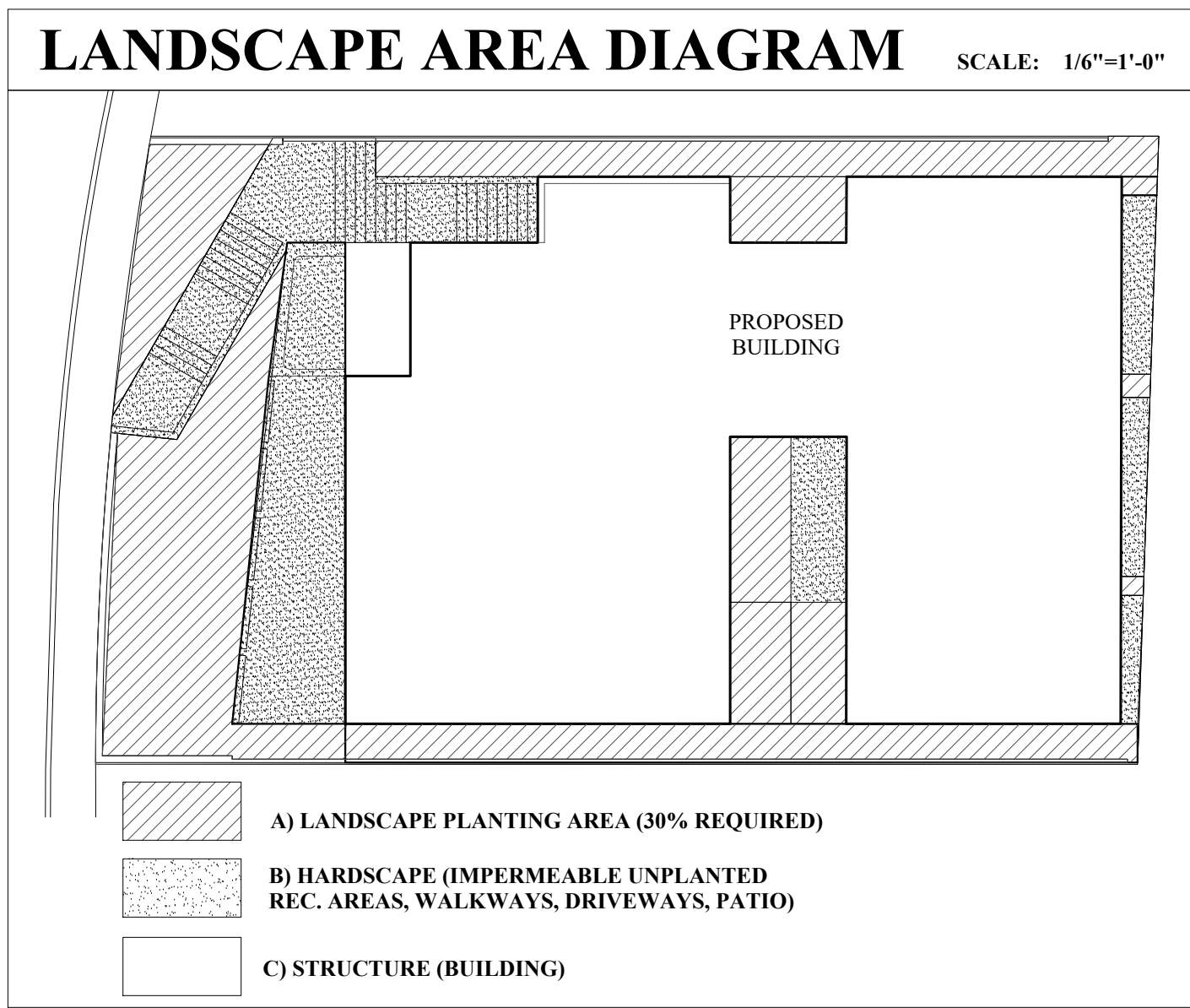
△ △ △
PHASE COASTAL
PROJECT NO.    2020-17
REVIEWED BY    CAM
DRAWN BY    PC
DATE    06/09/2021

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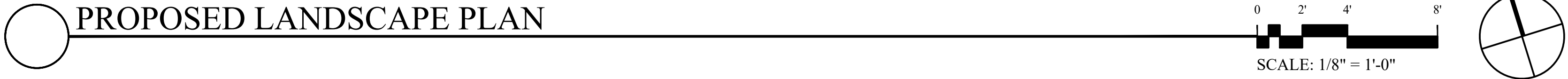
PROPOSED  
LANDSCAPE PLAN

L-1.1



LANDSCAPE LEGEND		
LEGEND	AREA (SQ.FT.)	%
<div><div></div><div>A) LANDSCAPE PLANTING AREA WITH LOW-GROWING WOODY OR HERBACEOUS GROUND COVER, TURF SHRUBS OR TREES, OR UNATTACHED UNIT PAVERS (30% REQUIRED)</div></div>	1,915	30.25
<div><div></div><div>B) HARDSCAPE (IMPERMEABLE UNPLANTED REC. AREAS, WALKWAYS, DRIVEWAYS, PATIO)</div></div>	1,152	18.20
<div><div></div><div>C) STRUCTURE (BUILDING)</div></div>	3,263	51.55
<div><div>SLOPE 5%</div><div>SLOPE TO DRAIN</div></div>		
TOTAL=	6,330	100

LANDSCAPE NOTES		
A. THE PLAN IS FOR GENERAL LANDSCAPE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.		
B. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL THE OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.		
C. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.		
D. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.		
E. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.		
F. MINIMUM TREE SEPARATION DISTANCE : TO TRAFFIC SIGNALS ( STOP SIGN) : 20 FT. TO UNDERGROUND UTILITY LINES : 5 FT. (10 FT. TO SEWER) TO ABOVE GROUND UTILITY STRUCTURES : 10 FT. INTERSECTIONS (INTERSECTING CURB LINE OF TWO STREETS: 25 FT.		
G. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED DRIP IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.		
H. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE RESPONSIBLE FOR LONG-TERM MAINTENANCE BY 5310 C LLC. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY 5310 C LLC. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.		
I. PER SD MUNICIPAL CODE 142.0409: MINIMUM OF ONE 24-INCH BOX TREE FOR EVERY 30 FT. OF STREET FRONTAGE OR ONE 10-FOOT BROWN TRUNK HEIGHT PALM TREE FOR EACH 20 FEET OF STREET FRONTAGE.		
J. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 8 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF TRAVEL WAY PER THE SDMC 142.0403(b)(10).		
K. LANDSCAPING SHALL BE PLANTED AND MAINTAINED TO NOT EXCEED 3FT IN HEIGHT IN ORDER TO PRESERVE PUBLIC VIEWS PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL.		
M. OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED CONSISTENT WITH THE LANDSCAPE STANDARDS IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED.		
N. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.		
O. IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.		
P. REQUIRED LANDSCAPE AREA SHALL INCLUDE LOW-GROWING WOODY OR HERBACEOUS GROUND COVER, TURF, SHRUBS, OR TREES; OR UNATTACHED UNIT PAVERS, LOOSE ORGANIC OR INORGANIC MATERIALS MAY NOT BE USED FOR REQUIRED LANDSCAPE AREA.		





Marengo  
Morton  
Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
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INVESTMENTS LLC  
8561 EL PASEO GRANDE  
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REVISIONS  
06/18/2020 START OF PROJECT  
12/21/2020 COMMUNITY SUBMITTAL  
1/18/21 2nd COMMUNITY SUBMITTAL



PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

DATE 02/26/2021

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SHEET TITLE  
PROPOSED LOT  
COVERAGE PLAN

A-1.1.1

GENERAL SITE NOTES

- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- ALL GRADES SHOWN / PROPOSED ARE EXISTING.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0" AT MATURITY SHALL BE INSTALLED WITHIN 5'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- NO EXISTING OR PROPOSED TRANSIT STOPS AT SITE.
- PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING COASTAL BLUFF AREAS.
- AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- PER SDMC SECTION 143.0143(a) ONLY NATIVE OR OTHER DROUGHT-TOLERANT PLANT SPECIES SHALL BE USED IN LANDSCAPED AREAS IN ORDER TO MINIMIZE IRRIGATION REQUIREMENTS AND TO REDUCE POTENTIAL SLIDE HAZARDS DUE TO OVER-WATERING OF THE COASTAL BLUFFS.
- NEW SITE DRAINAGE SYSTEM TO CONNECT TO EXISTING SIDEWALK UNDERDRAIN FOR DISCHARGE TO PUBLIC CONVEYANCE.
- PROPOSED DRAINAGE SHEET FLOWING INTO NEIGHBORING PROPERTIES CANNOT EXCEED EXISTING Q100 FLOW.
- ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS.

SPECIFIC SITE NOTES

- THE PROJECT PROPOSES TO EXPORT 257.12 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
- THERE IS NO TRANSIT STOP ADJACENT TO THIS PROPERTY.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- THE EXISTING SERVICES FOR WATER AND SEWER WILL REMAIN.
- SPECIAL REGULATIONS STATES THAT ALL EQUIPMENT SHALL BE SCREEN FROM PUBLIC VIEW PER SDMC §1510.0402

LOT COVERAGE CALCS.

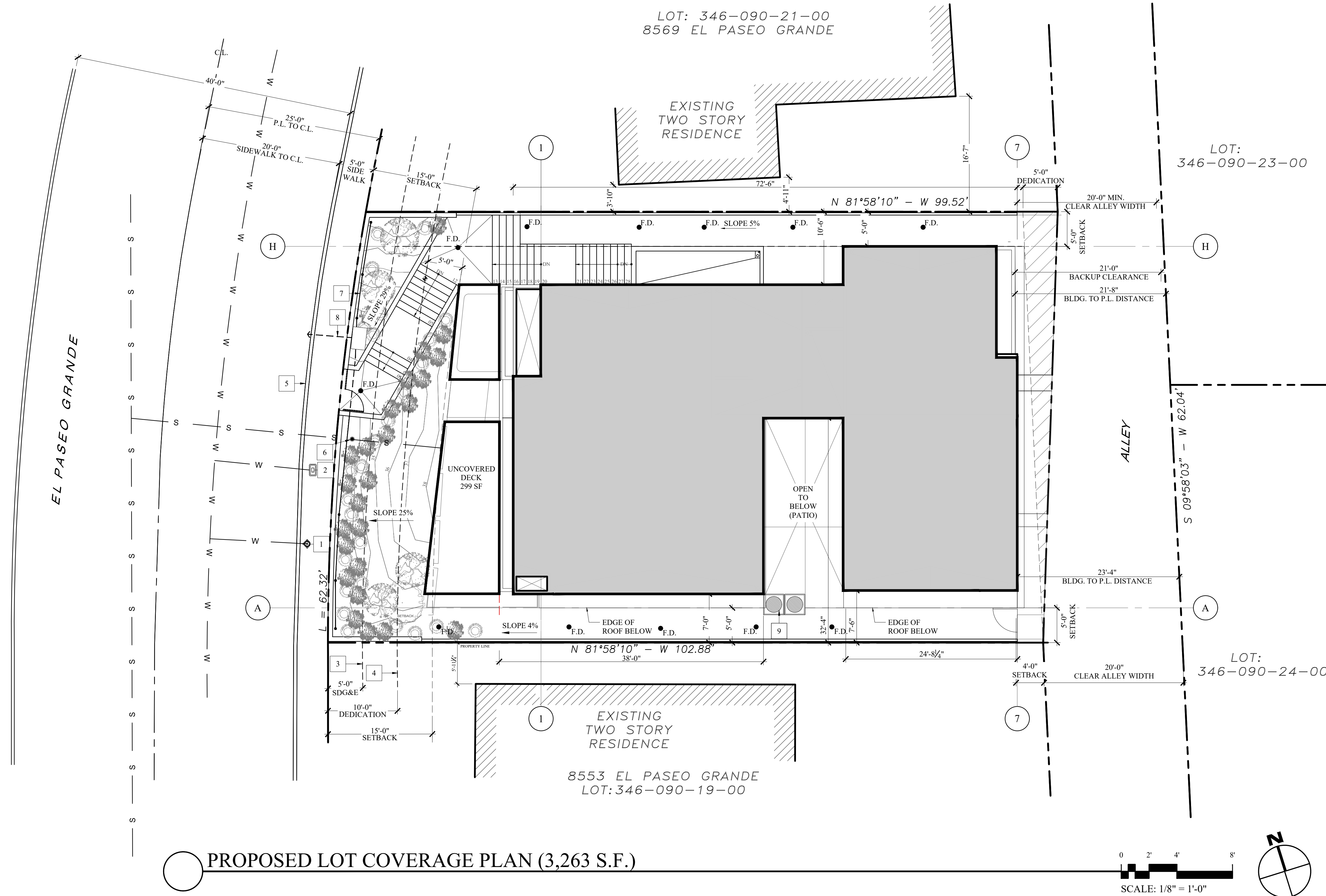
LOT SIZE	6,330.6 S.F.
LOT COVERAGE	3,263 S.F.
LOT COVERAGE PERCENTAGE	51.50%

SITE LEGEND

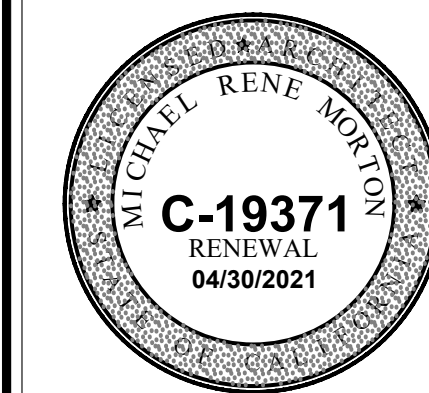
- ROOF DRAIN W/ OVERFLOW PREVENTION
- FLOOR AREA DRAIN
- WATER FLOW DIRECTION
- SLOPE %
- DISCHARGE DIRECTION OF GANGED UP DRAINS
- ROOF CRICKET OF BUILT UP INSULATION DIRECTING WATER TO DRAIN
- AREA OF ALLEY DEDICATION

KEY NOTES

- |  |   |
|--|---|
| 1 (E) FIRE HYDRANT                       | 6 (N) CLEAN OUT   |
| 2 (E) WATER METER                        | 7 (N) DRAIN LINE  |
| 3 5 FT. SDG&E EASEMENT PER MAP NO. 06087 | 8 (N) DISCHARGE DRAIN UNDER SIDEWALK TO GUTTER PER CITY STANDARDS |
| 4 10 FT. DEDICATION EASEMENT             | 9 (N) HVAC UNITS  |
| 5 (E) CURB                               |   |

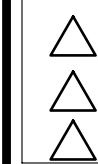


7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



**BARLOW CAPITAL  
INVESTMENTS LLC**  
8561 EL PASEO GRANDE  
LA JOLLA, CA 92037

06/18/2020	START OF PROJECT
12/21/2020	COMMUNITY SUBMITTAL
1/18/21	2nd COMMUNITY SUBMITTAL



PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

DATE 06/09/2021

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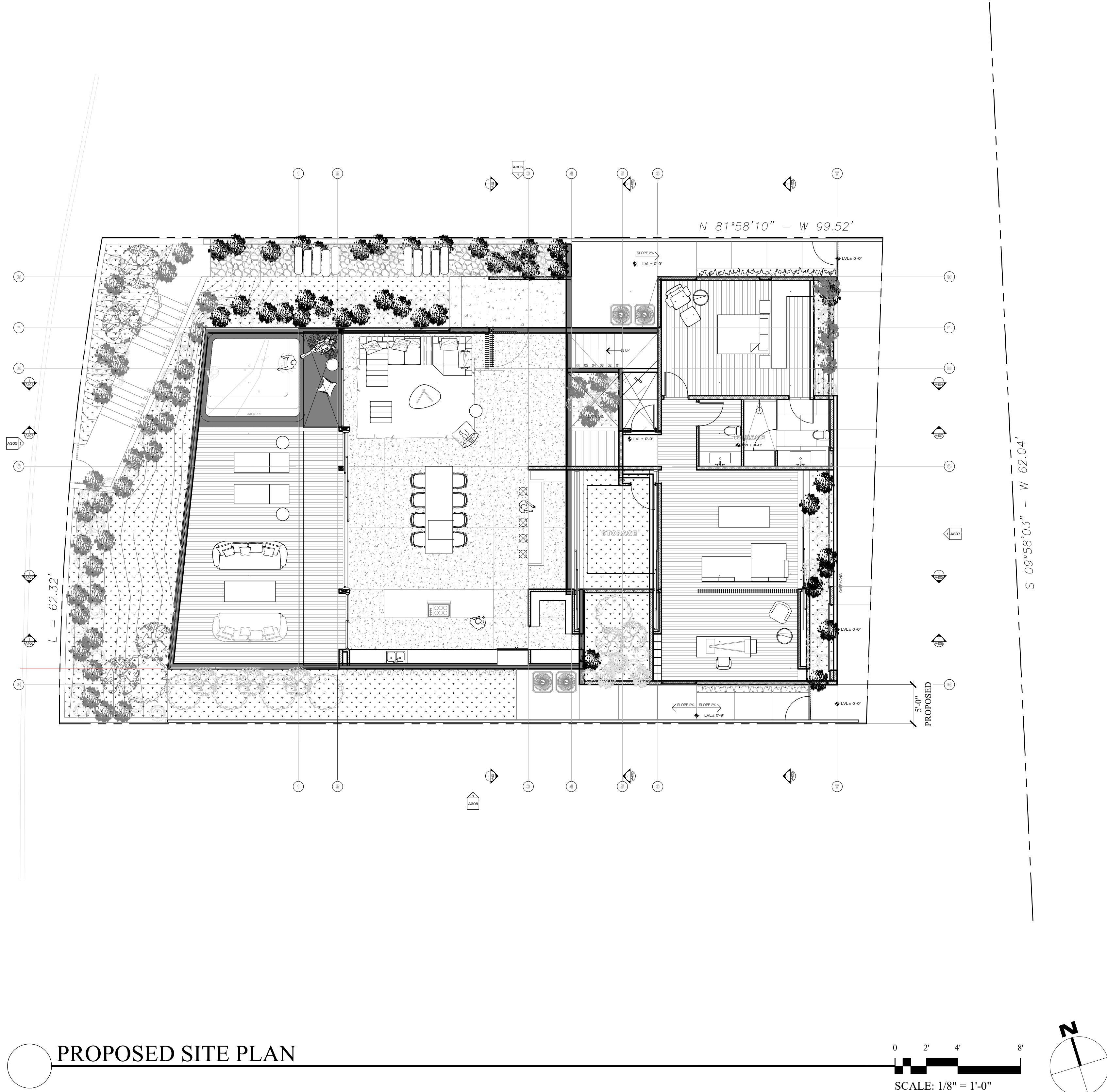
## A-1.1

- A. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- B. BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS OF PROPOSED UTILITIES, AND INCLUDE BUT ARE NOT LIMITED TO, PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF PROPOSED UTILITIES AND EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- C. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF PROPOSED DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- D. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFIN WITH THESE DRAWING UNTIL WRITTEN OR VERBAL NOTIFICATIONS ARE ISSUED FROM THE ARCHITECT OFFICE.
- E. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- F. ALL GRADES SHOWN / PROPOSED ARE EXISTING.
- G. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0" AT MATURITY SHALL BE INSTALLED WITHIN 5'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- H. NO EXISTING OR PROPOSED TRANSIT STOPS AT SITE.
- I. PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-006 (UFC 900-4.4).
- J. THE PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF TO THE EXISTING COASTAL BLUFF AREAS.
- K. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- L. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- M. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- N. NO OBSTRUCTION INCLUDING SOIL WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- O. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- P. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- Q. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN TO THE WPCB FOR REVIEW AND APPROVAL. THIS SHALL BE ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- R. PER SDMC SECTION 143.0143(c) ONLY NATIVE OR OTHER DROUGHT-TOLERANT PLANT SPECIES SHALL BE USED IN LANDSCAPED AREAS IN ORDER TO MINIMIZE IRRIGATION REQUIREMENTS AND TO REDUCE POTENTIAL SLIDE HAZARDS DUE TO OVER-WATERING OF THE COASTAL BLUFFS.
- S. NEW SITE DRAINAGE SYSTEM TO CONNECT TO EXISTING SIDEWALK UNDERDRAIN FOR DISCHARGE TO PUBLIC CONVEYANCE
- T. PROPOSED DRAINAGE SHEET FLOWING INTO NEIGHBORING PROPERTIES CANNOT EXCEED EXISTING Q100 FLOW.
- U. ALL STORMWATER RUN-OFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- V. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- W. THIS SPEC IS LOCATED WITHIN THE CITY OF SAN DIEGO WATER THEAPPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS.

1. THE PROJECT PROPOSES TO EXPORT 257.12 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND USE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE USE CONDITION AND PERMIT.
2. THERE IS NO TRANSIT STOP ADJACENT TO THIS PROPERTY.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (USE 4-4).
4. THE EXISTING SERVICES FOR WATER AND SEWER WILL REMAIN.
5. SPECIAL REGULATIONS STATES THAT ALL EQUIPMENT SHALL BE SCREEN FROM PUBLIC VIEW PER SDMC §1510.0402

	ROOF DRAIN W/ OVERFLOW PREVENTION
	FLOOR AREA DRAIN
	WATER FLOW DIRECTION
	SLOPE TO DRAIN
	DISCHARGE DIRECTION OF GANGED UP DRAINS
	ROOF CRICKET OF BUILT UP INSULATION DIRECTING WATER TO DRAIN
	AREA OF ALLEY DEDICATION

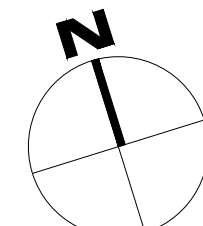
1	(E) FIRE HYDRANT	7	(N) DRAIN LINE
2	(E) WATER METER TO REMAIN	8	(N) DISCHARGE DRAIN UNDER SIDEWALK TO GUTTER PER CITY STANDARDS
3	5 FT. SD&G EASEMENT PER MAP NO. 06087	9	(N) HVAC UNITS
4	10 FT. DEDICATION EASEMENT	10	(E) WATER LINE TO REMAIN REFERENCE DRAWINGS #26331-3-D & 12567-4-D
5	(E) CURB		
6	(N) CLEAN OUT	11	(E) SEWER LINE TO REMAIN REFERENCE DRAWINGS #13369-32-D & 16837-0-D



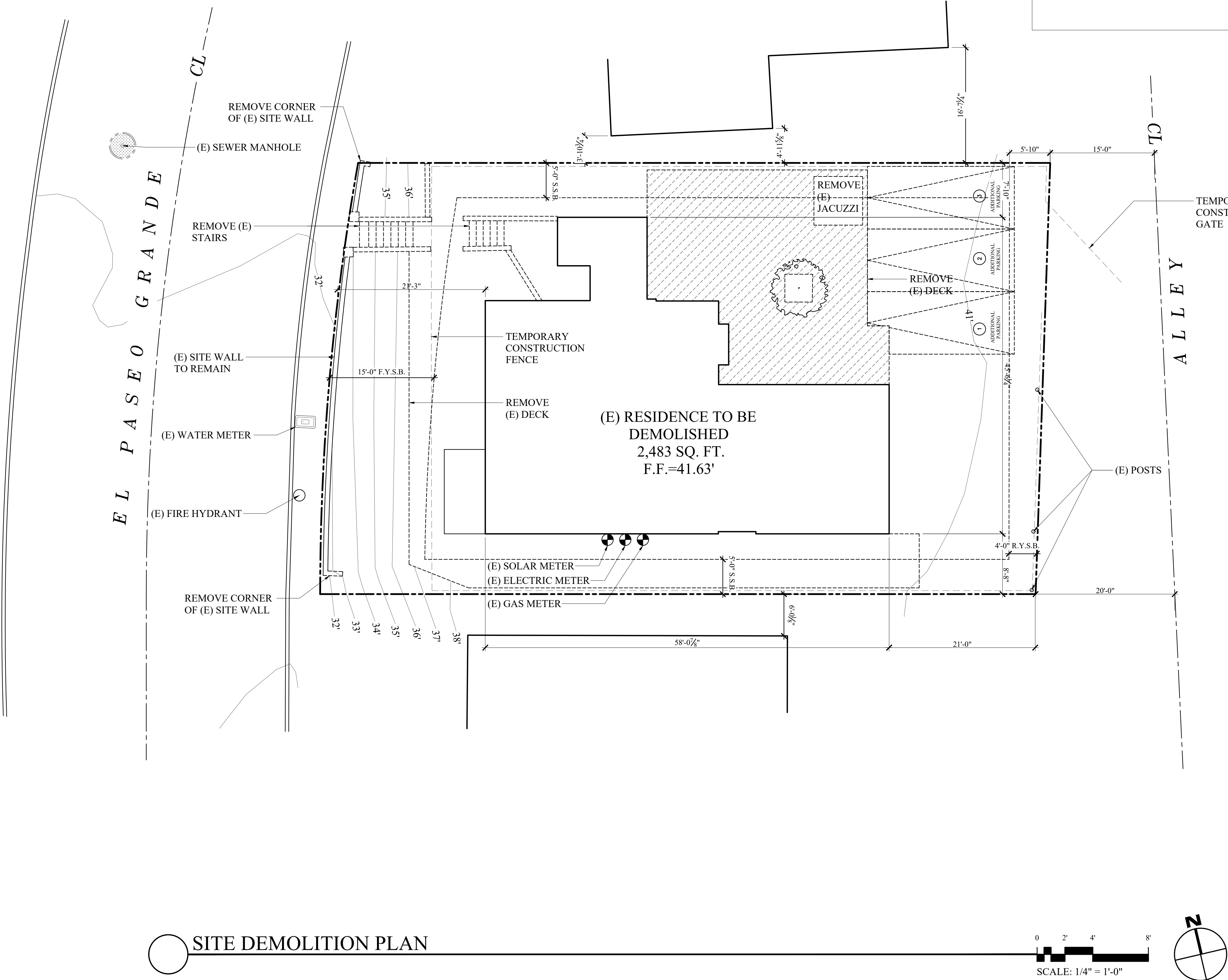
## PROPOSED SITE PLAN

0 2' 4'

SCALE: 1/8" = 1'-0"



S:\Projects\2020\17 Barba Lowther Residence\3-Architectural Drawings\CD document\A-1.2 Demo Sheet\A-1.2 DEMO PLAN.dwg Mar 01 2021 10:15am



## DEMOLITION LEGEND

- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- INDICATES DIMENSION OF EXISTING WALLS THAT REMAIN IN PLACE
- INDICATES DIMENSION OF EXISTING WALLS TO BE REMOVED
- PERIMETER OF NEW WALLS
- HARDSCAPE TO BE REMOVED

## DEMOLITION NOTES

1. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY WHEN ANY DISCREPANCY WITH ARCHITECTURAL OR STRUCTURAL DRAWINGS ARE FOUND AT THE PROJECT SITE. ALL DRAWINGS MAY HAVE TO BE MODIFIED UPON REMOVAL OF EXISTING CONSTRUCTION. DO NOT PROCEED WITH WORK IN QUESTION UNTIL THE ARCHITECT ISSUES ARCHITECT'S DIRECTIONS.
2. CONTRACTOR SHALL VERIFY LAYOUT OF EXISTING STRUCTURE, PROPERTY BOUNDARIES, LOCATION OF SITE UTILITIES - UNDERGROUND AND OVERHEAD, AND FIELD CONDITIONS AS SHOWN ON THE PLANS PRIOR TO DEMOLITION.
3. BEFORE START OF DEMOLITION CONTRACTOR SHALL VERIFY WITH THE OWNER ANY ITEM TO BE SAVED (S), COVERED, OR STORED, VERIFY STORAGE LOCATIONS WITH OWNER BEFORE DEMOLITION COMMENCES.
4. ANY OUTDOOR STRUCTURES OR LANDSCAPING MARKED TO BE SAVED, SHALL BE PROTECTED, FENCED AND/OR COVERED TO AVOID DAMAGE.
5. ALL DEMOLITION MATERIAL SHALL BE TRANSPORTED OFF SITE AND PROPERLY DISPOSED AT CITY-APPROVED LOCATIONS BY THE CONTRACTOR.
6. CONTRACTOR TO VERIFY DUMPSTER LOCATION WITH ARCHITECT BEFORE DEMOLITION COMMENCES.
7. CONTRACTOR SHALL ALSO REFER TO FLOOR PLANS AND OTHER CONSTRUCTION PLANS FOR NEW WORK TO BE INCORPORATED INTO THE PROJECT AND TO PROCEED WITH DEMOLITION ACCORDINGLY.
8. CAREFULLY REMOVE STRUCTURE AS SHOWN ON PLAN. REMOVE ALL MATERIALS CAREFULLY TO AVOID DAMAGE TO ADJACENT SURFACES.
9. CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY OF THE EXPOSED WOOD SHOW EVIDENCE OF ACTIVE WATER LEAKS, TERMITES OR DRY ROT.
10. PREPARE EXISTING WINDOW FRAMING OPENINGS (TO REMAIN) TO RECEIVE NEW WINDOW UNITS. SEE NEW FLOOR PLAN AND ELEVATIONS FOR NEW WINDOW SIZE.
11. WHEN DEMOLITION IS COMPLETE, THE STRUCTURE AND SITE SHALL BE BROOM CLEAN AND READY TO RECEIVE NEW WORK.
12. REMOVE ALL EXISTING LANDSCAPE AND TREE ROOTS WITH IN 3 FEET OF THE OUTLINE OF NEW STRUCTURE. IF THE REMOVAL OF TREE ROOTS PRODUCES POTENTIALLY UNSTABLE TREES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A TREE SPECIALIST TO MAKE A RECOMMENDATION.
13. DEMOLITION OF OPENINGS IN ROOF AND EXTERIOR WALLS SHALL BE COVERED EACH NIGHT WITH PLASTIC TARPS AND SECURED TO PREVENT WATER AND DUST FROM ENTERING THE BUILDING.
14. EXISTING FLOORS SHALL BE COVERED DURING CONSTRUCTION. OPENINGS SHALL BE TAPED AND SEALED TO WALLS AT EDGES OF CONSTRUCTION ZONE TO MINIMIZE DUST. TEMPORARY WALL SHALL BE BUILT AND SEALED AS IF NEEDED OR SHOWN ON PLANS.
15. SHOULD ANY PORTION OF THE STRUCTURE BEING REMOVED PRODUCE UNSTABLE OF UNSAFE CONDITIONS THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING.
16. EXISTING FAULT & WATER HEATER SHALL BE TURNED OFF AND SALVAGED UNITS REMOVED AND STORED FOR RE-USE. EXISTING NATURAL GAS SERVICE SHALL BE TURNED OFF AND LINES TEMPORARILY CAPE AT RESIDENCE.
17. ELECTRICAL SERVICE SHALL BE TURNED OFF AT RESIDENCE AND PROVISIONS FOR TEMPORARY POWER MADE DURING CONSTRUCTION.
18. PLEASE BE ADVISED THIS IS A REMODEL PROJECT. CONCEALED CONDITIONS OF ALL TYPES SHALL BE TAKEN INTO ACCOUNT AND/OR VERIFIED PRIOR TO COMPLETION OF FINAL PROJECT BID.
19. CONTRACTOR SHALL VERIFY IN THE FIELD THE CONDITION OF ALL FOUNDATIONS, STEM WALLS, SILL ATTACHMENTS, PIER-FOOTING CONDITIONS AND ATTACHMENT TO FRAMING. DEFICIENCIES, CRACKS OR OTHER STRUCTURAL ISSUES IN FOUNDATIONS OR FOOTINGS OR LACK THEREOF SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
20. EXISTING FRAMING AND FLOOR SURFACES MAY BE OUT OF PLUMB AND NOT LEVEL. THEY SHALL BE INSPECTED AND MADE PLUMB AND LEVELED UPON NOTIFICATION TO THE ARCHITECT AND A WRITTEN APPROVAL HAS BEEN DOCUMENTED. WOOD FRAMING ADJACENT TO SOIL MAY BE ENCOUNTERED AND MODIFICATIONS AND/OR PROTECTION MEASURES SHALL BE TAKEN.
21. ELEVATION CHANGES BETWEEN DOOR OPENINGS AND ADJACENT GRADE SHALL BE VERIFIED IN THE FIELD AND IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND PLANS EXIST, NOTIFY THE ARCHITECT TO MAKE MODIFICATIONS AND/OR OTHER CORRECTIVE MEASURES.
22. IF SOIL'S REPORT OR SURVEY NOT INCLUDED WITH THIS SET OF DOCUMENTS, THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES, MODIFICATIONS, ORDERED REPORTS OR SURVEY OR OTHER ADDITIONAL ISSUES CAUSED BY LACK OF INFORMATION FROM THOSE DOCUMENTS.

COASTAL PROJECTS ADDITIONAL NOTES  
A. THIS IS A COASTAL PROJECT. NO EXTERIOR WALLS SHALL BE DEMOLISHED OTHER THAN THOSE SPECIFIED ON THE DEMOLITION SHEET WITHOUT PRIOR WRITTEN INSTRUCTION FROM ARCHITECT.  
B. IT IS THE GENERAL CONTRACTORS SOLE RESPONSIBILITY THAT ALL EXISTING WALL SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES DURING THE PROJECT CONSTRUCTION.

## DEMOLITION NOTES FOR COASTAL EXEMPTION

- A. AT LEAST 50% OF THE EXISTING EXTERIOR WALLS (FROM THE FOUNDATION TO THE TOP PLATE) OF THE PRINCIPAL HABITABLE FLOOR MUST BE LEFT STANDING AND IN PLACE THROUGHOUT CONSTRUCTION AND INCORPORATED INTO THE COMPLETED STRUCTURE.
- B. THE WALL MUST CONTINUE TO BE USED AS EXTERIOR WALLS IN THE COMPLETED PROJECT (MAY NOT BE USED AS INTERIOR WALLS OR USED IN A "DOUBLE WALL" CONFIGURATION WITH ANY NEW WALL).
- C. ANY DOOR OR WINDOW LOCATED WITHIN A SEGMENT OF THE WALL WHICH IS COUNTED TOWARD THE LENGTH OF AN EXISTING EXTERIOR WALL TO BE LEFT STANDING (AT LEAST 50%) CANNOT HAVE THEIR LOCATION OR SIZE MODIFIED.
- D. THE SURFACE OF THE WALL CAN BE MODIFIED OR REMOVED DOWN TO THE STUDS BUT WITH BOTH THE TOP AND BOTTOM PLATES IN PLACE. REMOVAL OF THE STUD WALLS, EVEN ON A TEMPORARY BASIS DOES NOT MEET EXEMPTION CRITERIA (FOR COASTAL EXEMPTION) AND IS NOT TO BE DONE.
- E. WALLS, WHICH ARE DESIGNATED TO REMAIN, CANNOT BE REPLACED, HEIGHTENED OR RELOCATED FOR ANY REASON, INCLUDING REASONS OF STRUCTURAL INTEGRITY (DRY ROT, TERMITES).
- F. REINFORCEMENT IN THE FORM OF SISTERING MEMBERS (STUDS AND PLATES) IS PERMITTED AS LONG AS THEY DO NOT INTERRUPT THE ASSEMBLY OF TOP PLATE STUDS AND SILL.
- G. PENETRATION THROUGH TOP PLATE IS PERMITTED - ONLY THE WIDTH OF THE ACTUAL CUT WILL BE INCLUDED IN THE CALCULATION (E.G. ONLY ACTUAL WIDTH OF A 2X4 OR A 4X4 GOING THROUGH THE TOP PLATE WILL DEDUCT THAT AMOUNT).
- H. CRIPPLE WALLS ARE PERMITTED (PLACING A NEW BOTTOM PLATE ON AN EXISTING TOP PLATE TOGETHER WITH NEW STUDS AND A NEW TOP PLATE FOR THE PURPOSES OF INCREASING FLOOR TO CEILING HEIGHT).
- I. FOUNDATION REPLACEMENT IS ACCEPTABLE ONLY IF EXISTING WALLS CAN BE PROPERLY SUPPORTED IN THEIR PRE-EXISTING POSITION DURING REPLACEMENT OR REPAIR.
- J. A WINDOW MAY BE REPLACED OR MAY BE REDUCED IN AREA OR DIMENSION OR MAY BE COVERED OVER (FILLED IN) PROVIDED THAT THE EXISTING STUDS AND HEADERS ARE RETAINED IN THEIR ORIGINAL POSITION.
- K. REINFORCEMENT IN THE FORM OF FURRING IS PERMITTED FOR SINGLE WALL CONSTRUCTION ONLY IF IT IS DONE IN SUCH A MANNER THAT THE WALL IS NOT EXTENDED OUTWARD. ALL FURRING IS TO THE INTERIOR & VERIFIED BY THE ARCHITECT.
- L. THERE SHALL BE NO SIGNIFICANT ALTERATION OF LAND FORMS INCLUDING REMOVAL OR PLACEMENT OF VEGETATION, ON A BEACH, WETLAND OR SAND DUNE, OR WITHIN 100 FEET OF THE EDGE OF A COASTAL BLUFF WITHOUT FIRST OBTAINING APPROVAL FROM THE GOVERNING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

ATTACHMENT 1: Barba Lowther Residence

M<sup>2</sup>

Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA

LICENSED ARCHITECT  
MICHAEL RENE MORTON  
C-19371  
RENEWAL  
04/30/2021  
STATE OF CALIFORNIA

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BARLOW CAPITAL  
INVESTMENTS LLC  
8561 EL PASEO GRANDE  
LA JOLLA, CA 92037

REVISIONS  
06/18/2020 START OF PROJECT  
12/21/2020 COMMUNITY SUBMITTAL  
1/18/21 2nd COMMUNITY SUBMITTAL



PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

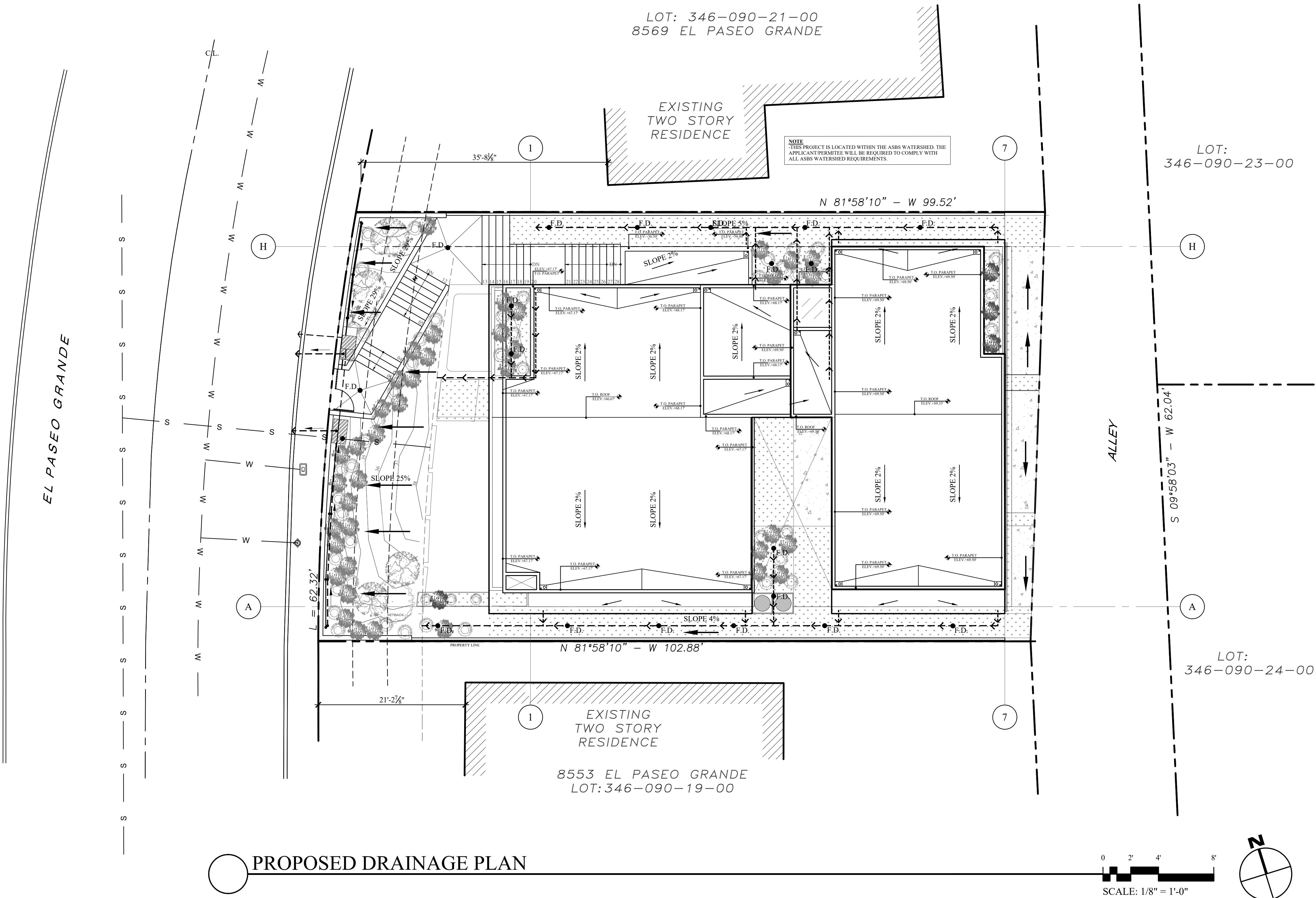
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DATE 02/26/2021

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SHEET TITLE  
DEMO  
SITE PLAN

A-1.2



## GENERAL SITE NOTES

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- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- ALL GRADES SHOWN / PROPOSED ARE EXISTING.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0" AT MATURITY SHALL BE INSTALLED WITHIN 5'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- NO EXISTING OR PROPOSED TRANSIT STOPS AT SITE.
- PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING COASTAL BLUFF AREAS.
- AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
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- PROPOSED DRAINAGE SHEET FLOWING INTO NEIGHBORING PROPERTIES CANNOT EXCEED EXISTING Q100 FLOW.
- ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS.

## SITE LEGEND

- ROOF DRAIN W/ OVERFLOW PREVENTION
- FLOOR AREA DRAIN
- WATER FLOW DIRECTION
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- AREA OF HARDSCAPE
- AREA OF LANDSCAPE
- AREA OF LANDSCAPE TREES

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7724 Girard Ave.  
Second Floor  
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04/30/2021  
STATE OF CALIFORNIA

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**BARLOW CAPITAL INVESTMENTS LLC**  
8561 EL PASEO GRANDE  
LA JOLLA, CA 92037


REVISIONS	
06/18/2020	START OF PROJECT
12/21/2020	COMMUNITY SUBMITTAL
1/18/21	2nd COMMUNITY SUBMITTAL
PHASE	
COASTAL	
PROJECT NO.	
2020-17	
REVIEWED BY	
CAM	
DRAWN BY	
PC	
DATE	
02/26/2021	

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SHEET TITLE  
PROPOSED DRAINAGE PLAN  
**A-1.3**

## STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST

## BMP CHECKLIST FORMS

 <p>City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000</p>	<p><b>Storm Water Requirements Applicability Checklist</b></p>	<p>FORM <b>DS-560</b> November 2018</p>
<p>Project Address: <u>8561 EL PASEO GRANDE, LA JOLLA, CA 92037</u> Project Number: <u>670093</u></p>		
<p><b>SECTION 1. Construction Storm Water BMP Requirements:</b> All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.</p>		
<p><b>For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.</b></p>		
<p><b>PART A: Determine Construction Phase Storm Water Requirements.</b></p>		
<p>1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)</p> <p><input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question</p>		
<p>2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?</p> <p><input checked="" type="checkbox"/> Yes; WPCP required, skip questions 3-4 <input type="checkbox"/> No; next question</p>		
<p>3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)</p> <p><input type="checkbox"/> Yes; WPCP required, skip question 4 <input checked="" type="checkbox"/> No; next question</p>		
<p>4. Does the project only include the following Permit types listed below?</p> <ul style="list-style-type: none"> <li>• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.</li> <li>• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.</li> <li>• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.</li> </ul> <p><input type="checkbox"/> Yes; no document required</p>		
<p>Check one of the boxes below, and continue to PART B:</p> <p><input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B</p> <p><input type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.</p> <p><input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.</p>		
<p>1 More information on the City's construction BMP requirements as well as CGP requirements can be found at: <a href="http://www.sandiego.gov/stormwater/regulations/index.shtml">www.sandiego.gov/stormwater/regulations/index.shtml</a></p> <p>Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a>. Upon request, this information is available in alternative formats for persons with disabilities.</p> <p>DS-560 (11-18)</p>		

<p>Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist</p>	
<p><b>PART B: Determine Construction Site Priority</b></p> <p>This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. <b>NOTE:</b> The construction priority does <b>NOT</b> change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.</p>	
<p><b>Complete PART B and continued to Section 2</b></p>	
1. <input checked="" type="checkbox"/> ASBS	a. Projects located in the ASBS watershed.
2. <input type="checkbox"/> High Priority	a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed. b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
3. <input type="checkbox"/> Medium Priority	a. Projects that are not located in an ASBS watershed or designated as a High priority site. b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed. c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
4. <input type="checkbox"/> Low Priority	a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.
<p><b>SECTION 2. Permanent Storm Water BMP Requirements.</b></p> <p>Additional information for determining the requirements is found in the <u>Storm Water Standards Manual</u>.</p> <p><b>PART C: Determine if Not Subject to Permanent Storm Water Requirements.</b> Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the <u>Storm Water Standards Manual</u> are not subject to Permanent Storm Water BMPs.</p> <p><b>If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".</b></p> <p><b>If "no" is checked for all of the numbers in Part C continue to Part D.</b></p>	
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<p>Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist</p>	
<p><b>PART D: PDP Exempt Requirements.</b></p> <p>PDP Exempt projects are required to implement site design and source control BMPs.</p> <p><b>If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."</b></p> <p><b>If "no" was checked for all questions in Part D, continue to Part E.</b></p>	
<p>1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:</p> <ul style="list-style-type: none"> <li>• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;</li> <li>• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;</li> <li>• Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?</li> </ul> <p><input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; next question</p>	
<p>2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?</p> <p><input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; project not exempt.</p>	
<p><b>PART E: Determine if Project is a Priority Development Project (PDP).</b> Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).</p> <p><b>If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".</b></p> <p><b>If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".</b></p>	
1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<p>Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist</p>	
<p>7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces.</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p><b>PART F: Select the appropriate category based on the outcomes of PART C through PART E.</b></p>	
1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.	<input type="checkbox"/>
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	<input checked="" type="checkbox"/>
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	<input type="checkbox"/>
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management	<input type="checkbox"/>
<p>Name of Owner or Agent (Please Print) <u>C. A. MARENGO</u> Title <u>AGENT FOR OWNER</u></p> <p>Signature <u>C. A. MARENGO</u> Date <u>Oct 26<sup>th</sup> 2020</u></p>	

Source Control BMP Checklist for Standard Projects		Form I-4A
<p>All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. <b>Note: All selected BMPs must be shown on the construction plans.</b></p>		
Source Control Requirement	Applied <sup>1)</sup>	
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants		
On-site storm drain inlets	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Interior parking garages	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Need for future indoor & structural pest control	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Refuse areas	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
<p>Discussion / justification for all "No" answers shown above:</p>		

The City of San Diego | Storm Water Standards  
Form I-4A | January 2018 Edition



Site Design BMP Checklist for Standard Projects		Form I-5A
<p>All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. <b>Note: All selected BMPs must be shown on the construction plans.</b></p>		
Site Design Requirement	Applied <sup>1)</sup>	
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> N/A
<p>Discussion / justification for all "No" answers shown above:</p>		
<p>4.3.7: We are using drought tolerant species and mixing with other vegetation types, but majority is drought tolerant.</p>		

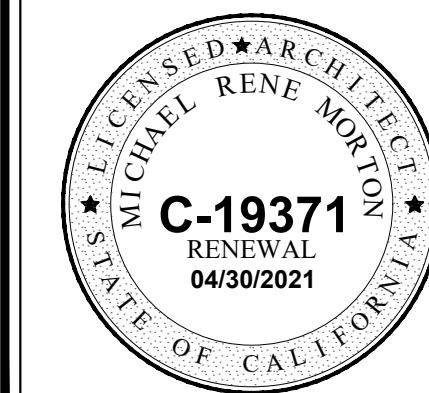
- <sup>1)</sup> Answer for each source control and site design category shall be pursuant to the following:
- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
  - "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
  - "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

The City of San Diego | Storm Water Standards  
Form I-5A | January 2018 Edition



## Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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12/21/2020 COMMUNITY SUBMITTAL  
1/18/21 2nd COMMUNITY SUBMITTAL

△  
△  
△  
PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

DATE 02/26/2021

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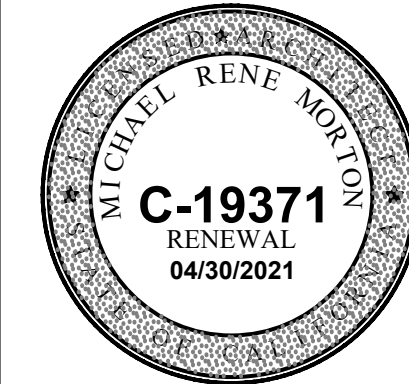
SHEET TITLE  
PROPOSED  
BMP FORMS

# A-1.3.1



Marengo  
Morton  
Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
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Fax. (858) 459-3768  
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PHASE COASTAL

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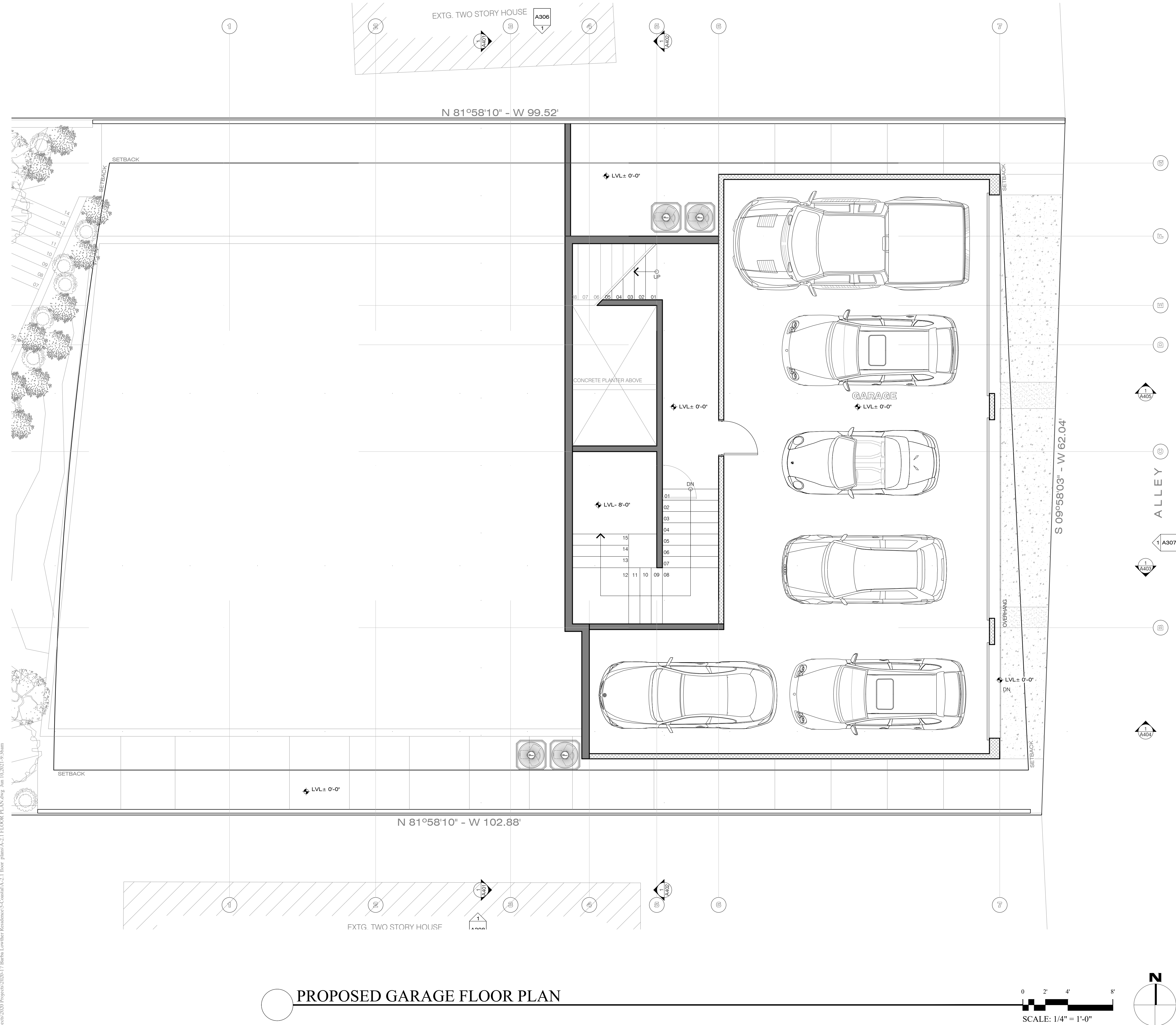
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SHEET TITLE PROPOSED  
GARAGE FLOOR  
PLAN

A-2.1

FLOOR PLAN NOTES

- ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- REFER TO SITE PLAN FOR SITE AND UTILITY INFO.
- FOR DOOR AND WINDOWS SEE SCHEDULES ON A-8.1
- FOR INTERIOR FINISH SEE SCHEDULE ON A-8.2
- INSULATION: R-13 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.  
R-19 BATT INSULATION AT ALL NEW 2X6 EXTERIOR WALLS AND RAISED FLOOR AREAS  
R-13 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.  
R-30 BATT INSULATION AT CEILING & ROOF AREAS.  
R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.  
R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.
- SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
- ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- WHOLE BUILDING VENTILATION: INDOOR AIR QUALITY EXHAUST FAN WITH VENTILATION RATE OF 120 CFM .
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.
- SHOWER COMPARTMENT & BATHTUBS W/ INSTALLED SHOWERHEADS SHALL BE FINISHED W/ A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FT ABOVE FLR. CRC R307.2
- WATER METERS FOR COMBINED DOMESTIC WATER & FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BLDG OFFICIAL.
- FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING
- OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. HOT AND WATER CONNECTIONS ALLOWED.



PROPOSED GARAGE FLOOR PLAN

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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INVESTMENTS LLC**  
8561 EL PASEO GRANDE  
LA JOLLA, CA 92037



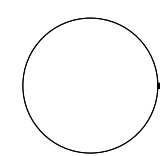
PROJECT NO. 2020-17
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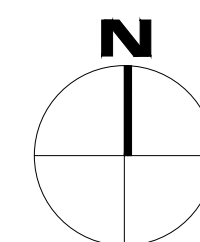
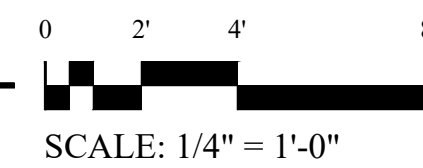
DATE	06/09/2021
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SHEET TITLE **PROPOSED  
FIRST FLOOR  
PLAN**

A-2.2



PROPOSED FIRST FLOOR PLAN 2,610 S.F. PROPOSED





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Second Floor  
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Tel. (858) 459-3769  
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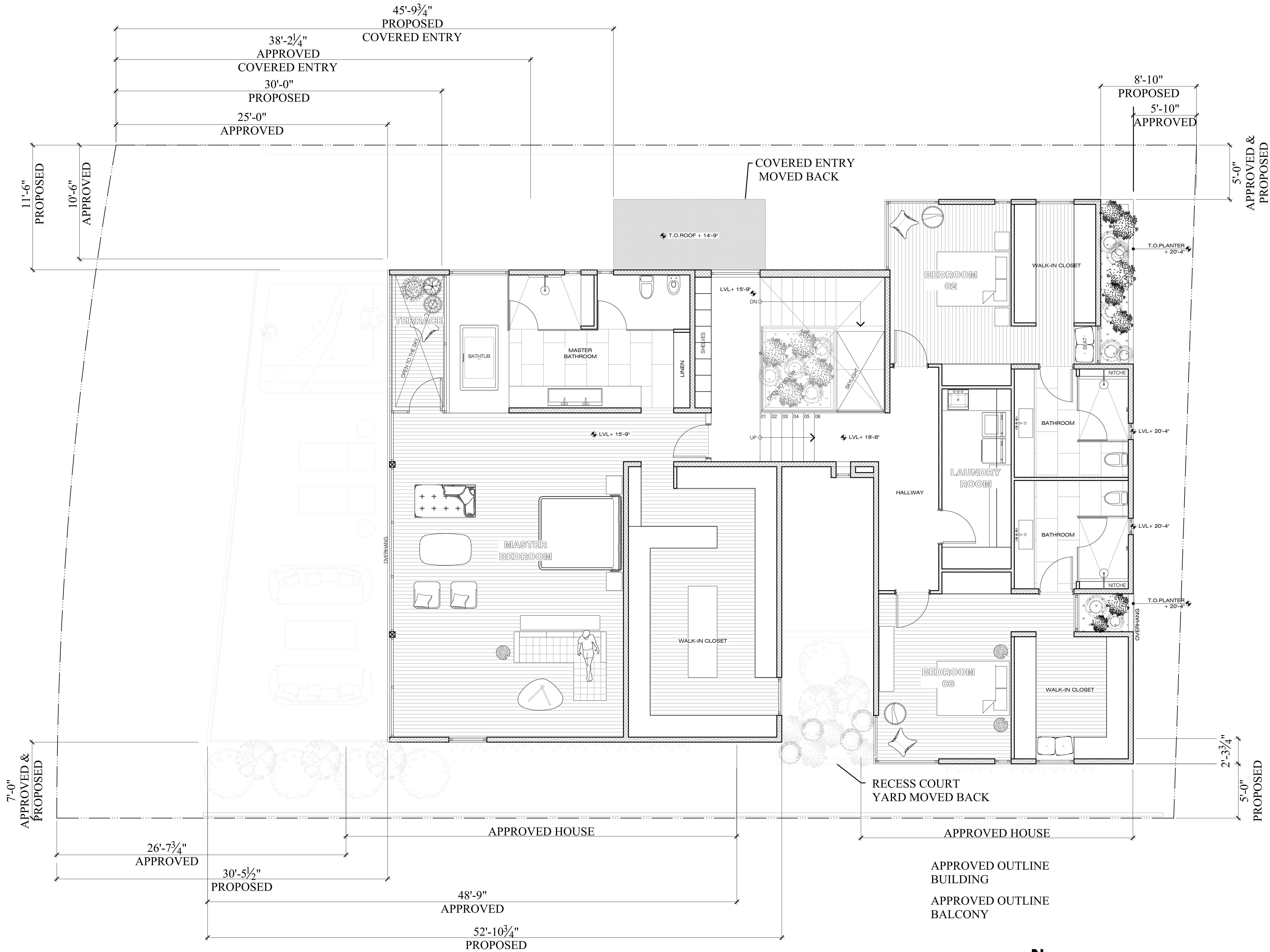
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SHEET TITLE PROPOSED SECOND FLOOR PLAN

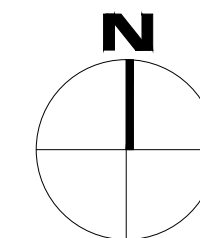
**A-2.3**



PROPOSED SECOND FLOOR PLAN (3,067 S.F. APPROVED / 2,920 S.F. PROPOSED)

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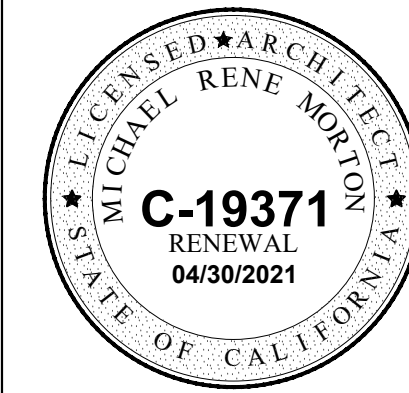
SCALE: 1/4" = 1'-0"





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7724 Girard Ave.  
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PHASE	COASTAL
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PROJECT NO.	2020-17
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SHEET TITLE	PROPOSED ROOF PLAN
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**A-4.1**

**STORM DRAINAGE NOTES**

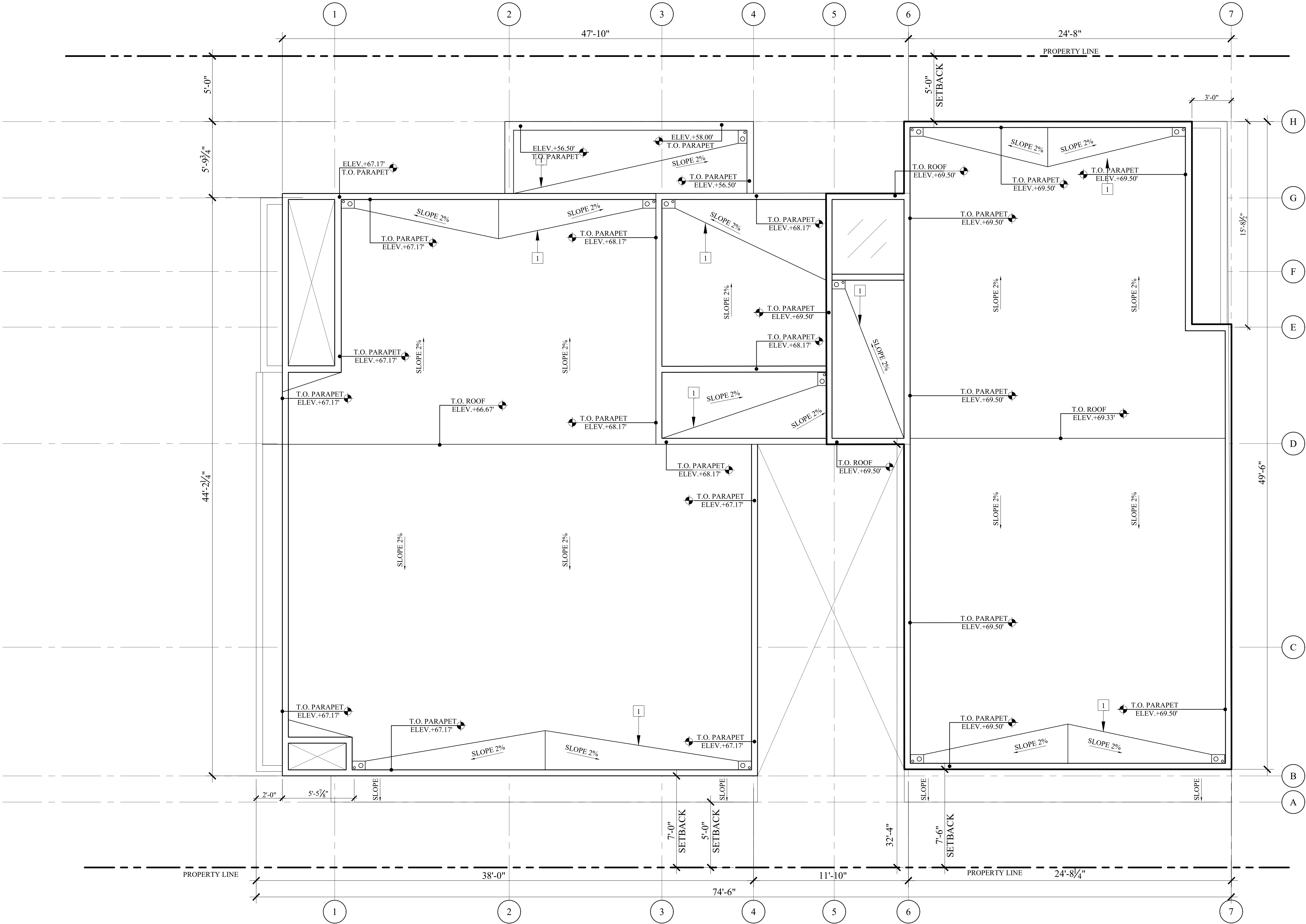
1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL

**HEIGHT NOTES**

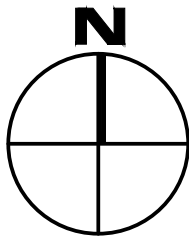
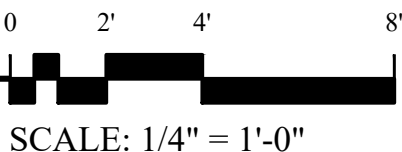
1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2. NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT, PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE

**LEGEND**

- 1 CRICKET
- 2 HVAC UNITS
- Roof Drain with Overflow



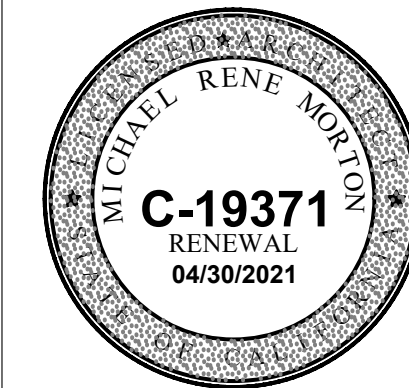
**PROPOSED ROOF PLAN**





Marengo  
Morton  
Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
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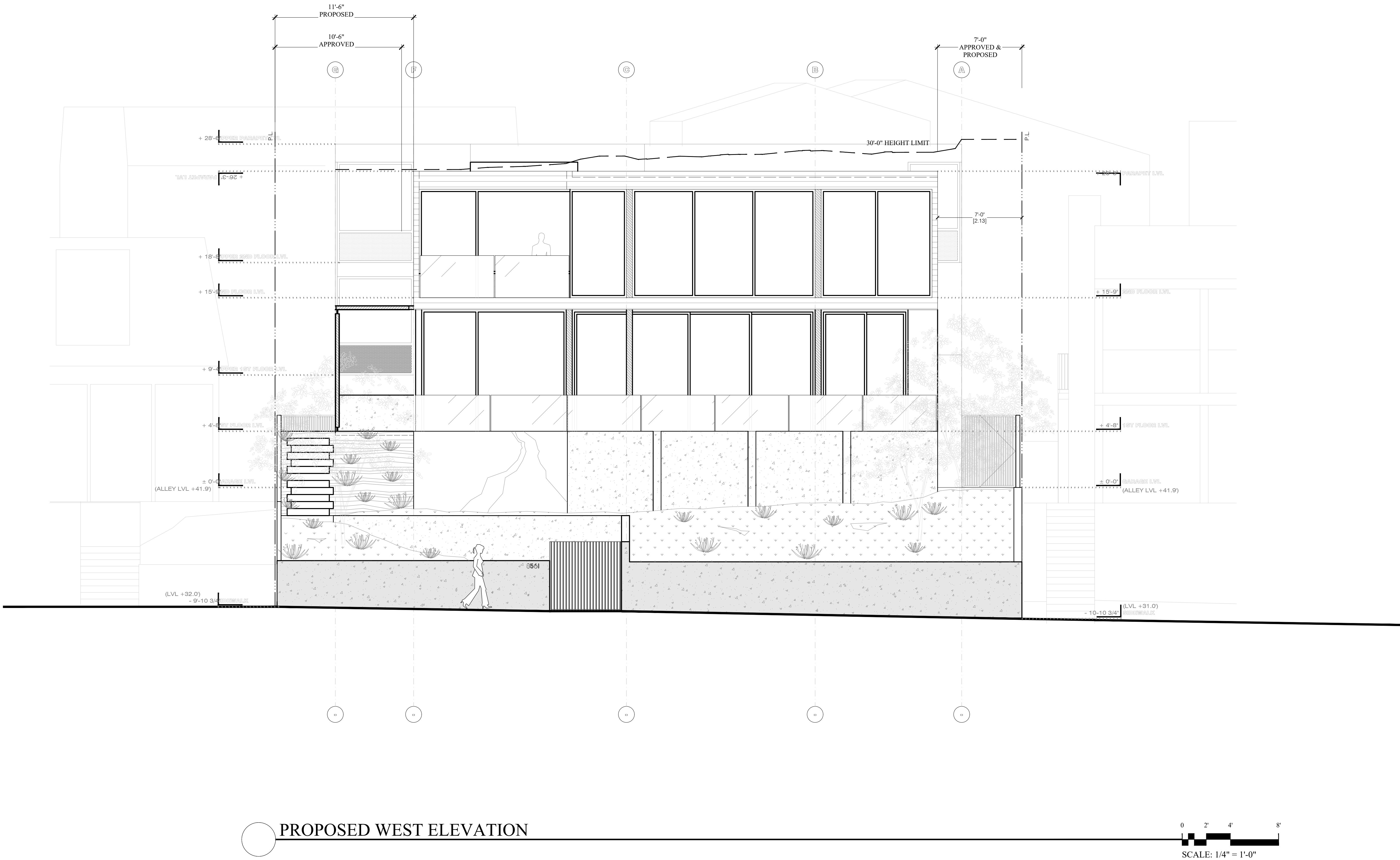
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SHEET TITLE PROPOSED  
WEST ELEVATION

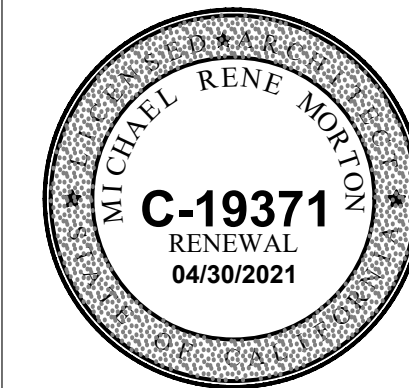
A-5.1





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Architects

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Second Floor  
La Jolla, CA 92037  
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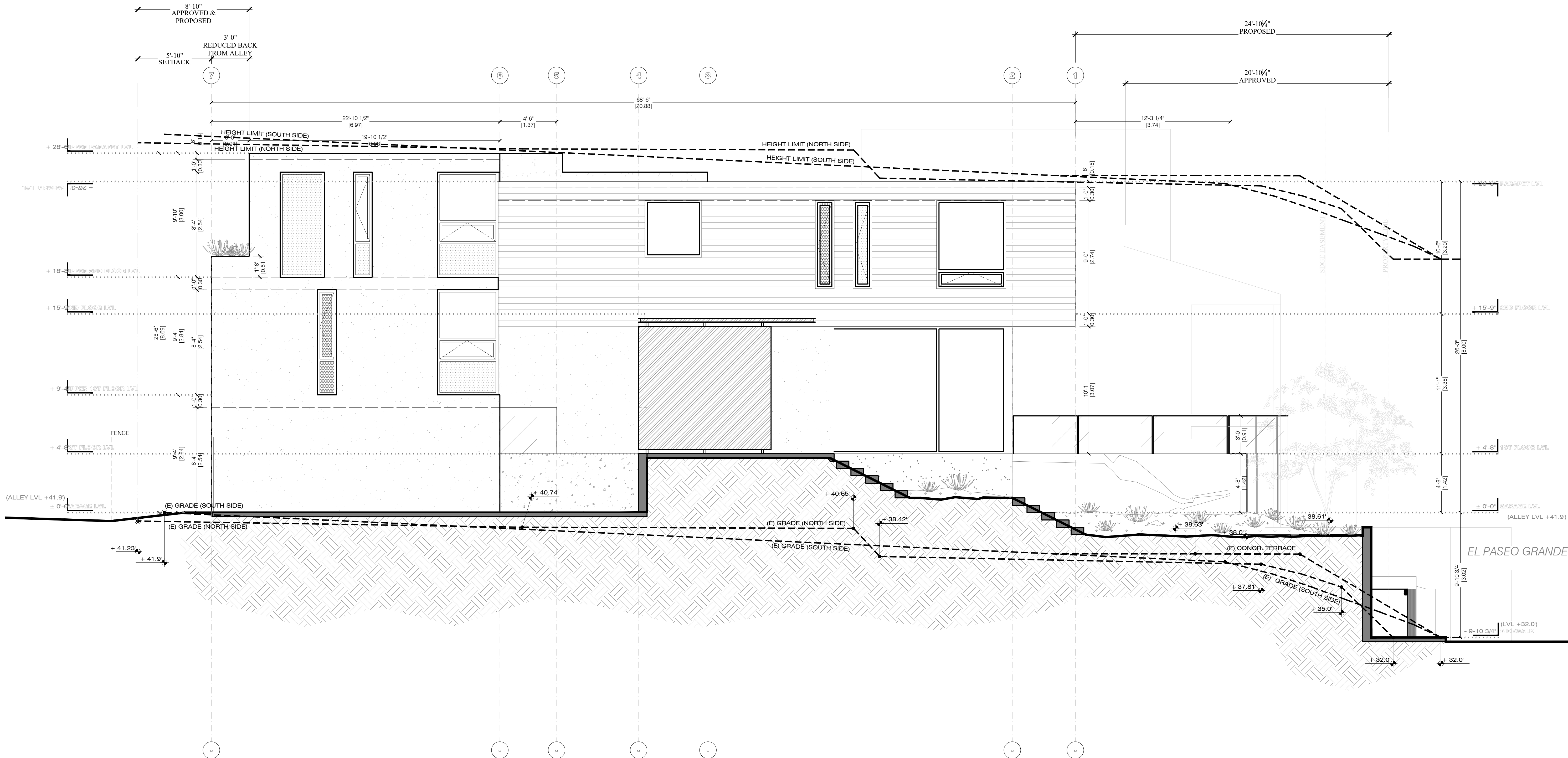
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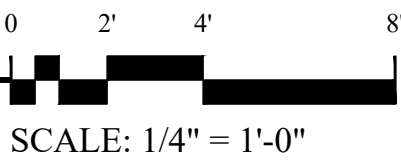
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SHEET TITLE PROPOSED  
NORTH ELEVATION

A-5.2

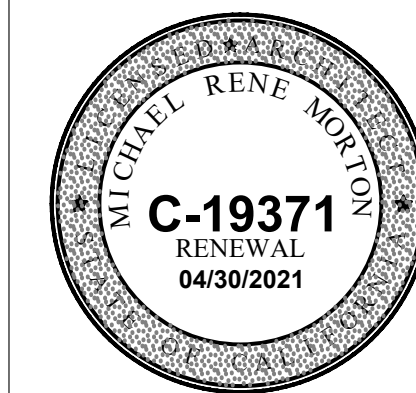


PROPOSED NORTH ELEVATION





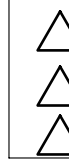
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Morton  
Architects**  
7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
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Fax. (858) 459-3768  
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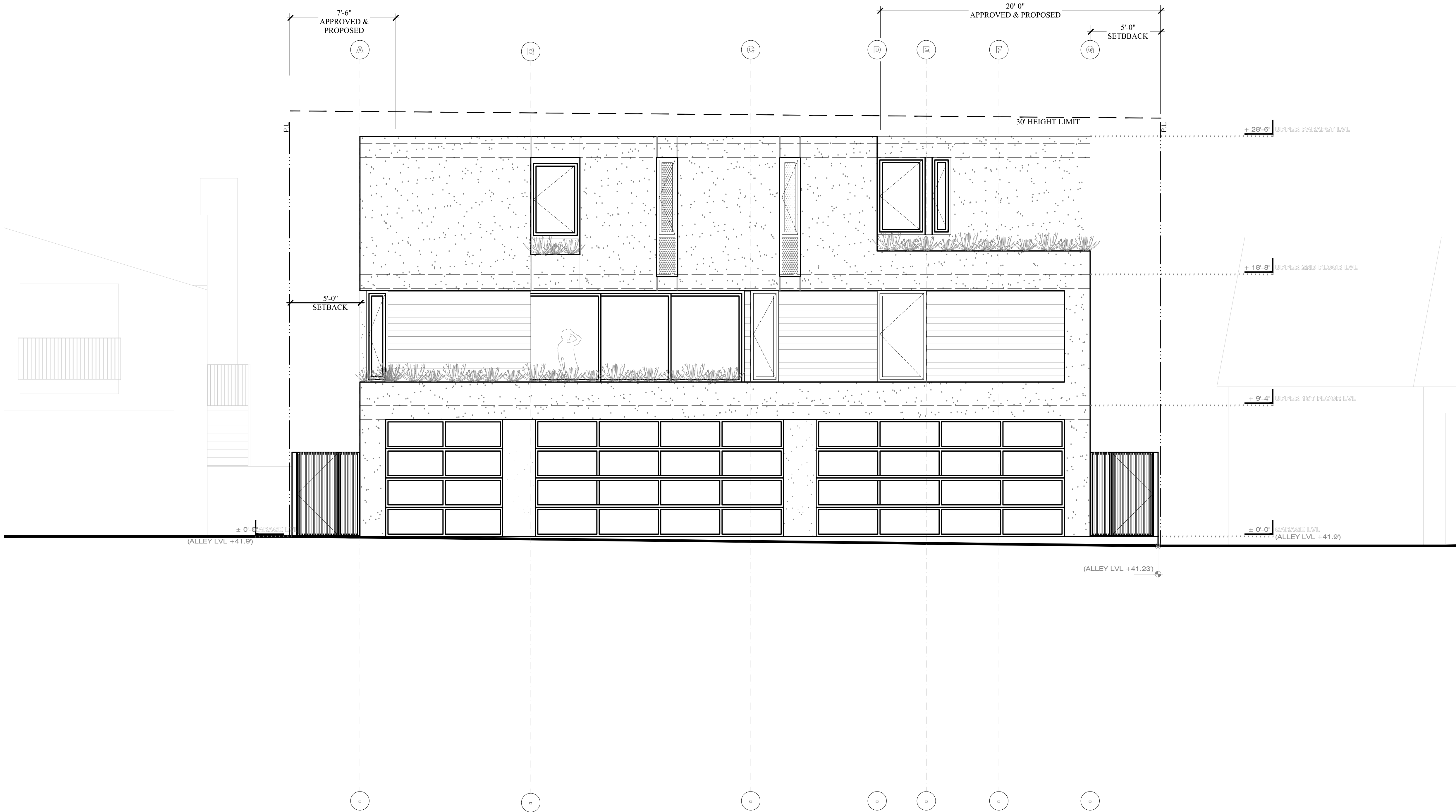
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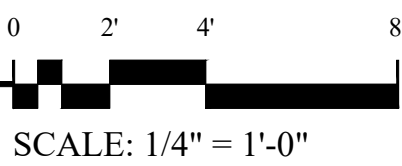
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SHEET TITLE	PROPOSED EAST ELEVATION
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**A-5.3**



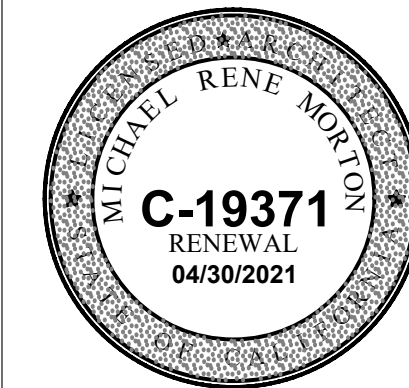
**PROPOSED EAST ELEVATION**





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Architects

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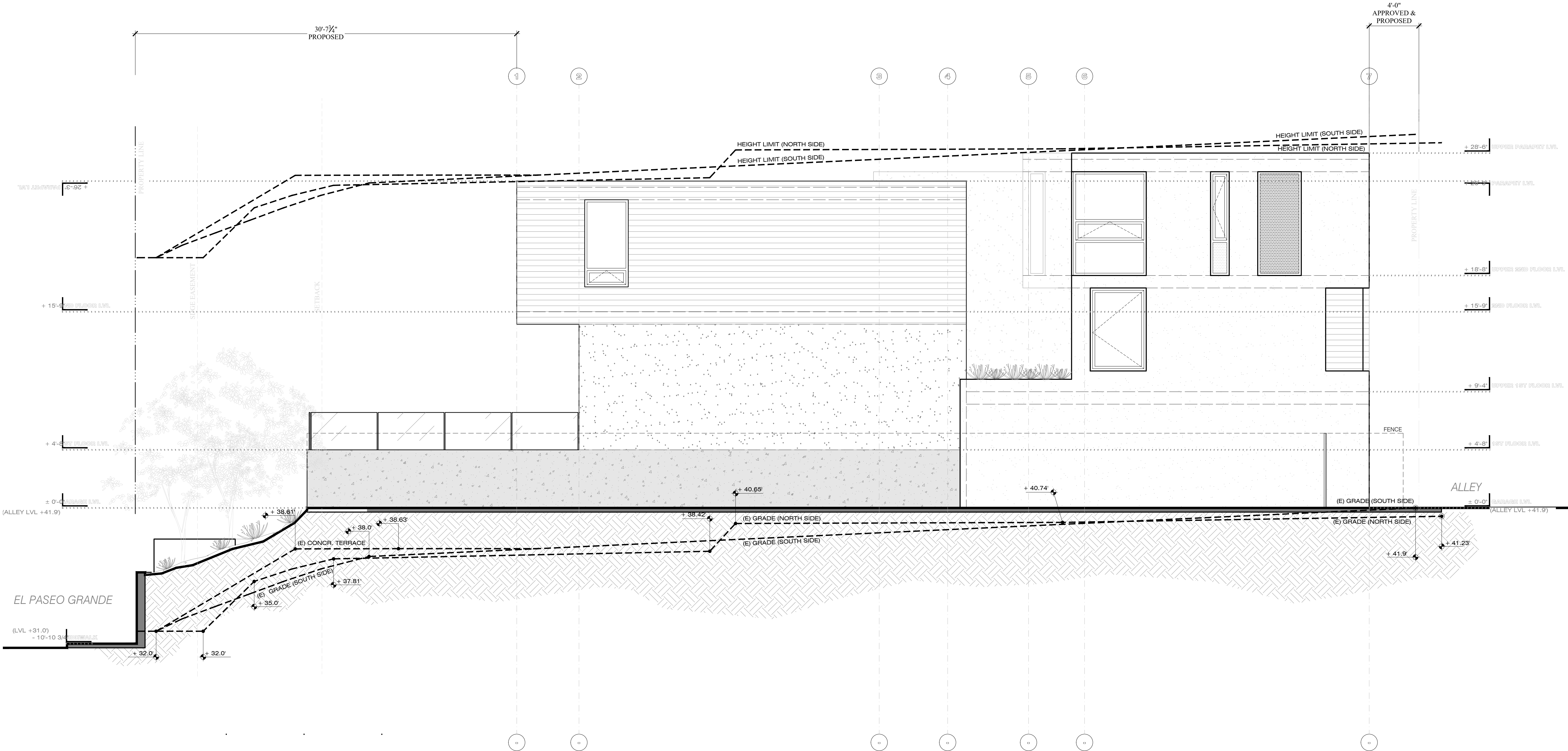
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SHEET TITLE PROPOSED  
SOUTH ELEVATION

A-5.4

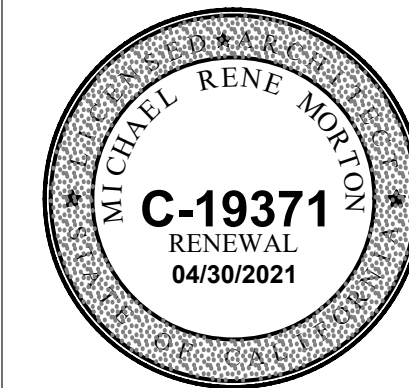


PROPOSED SOUTH ELEVATION

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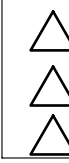
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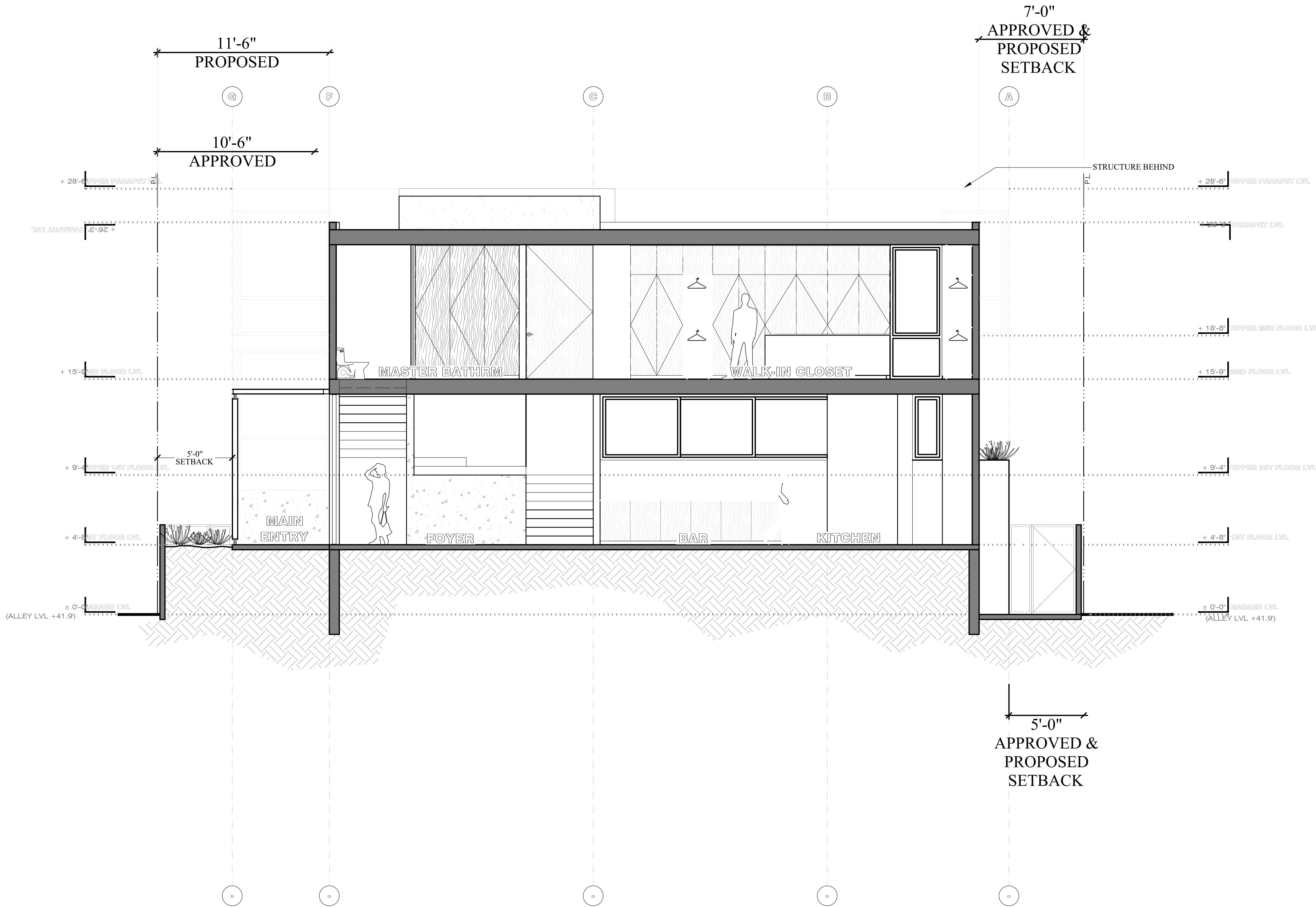
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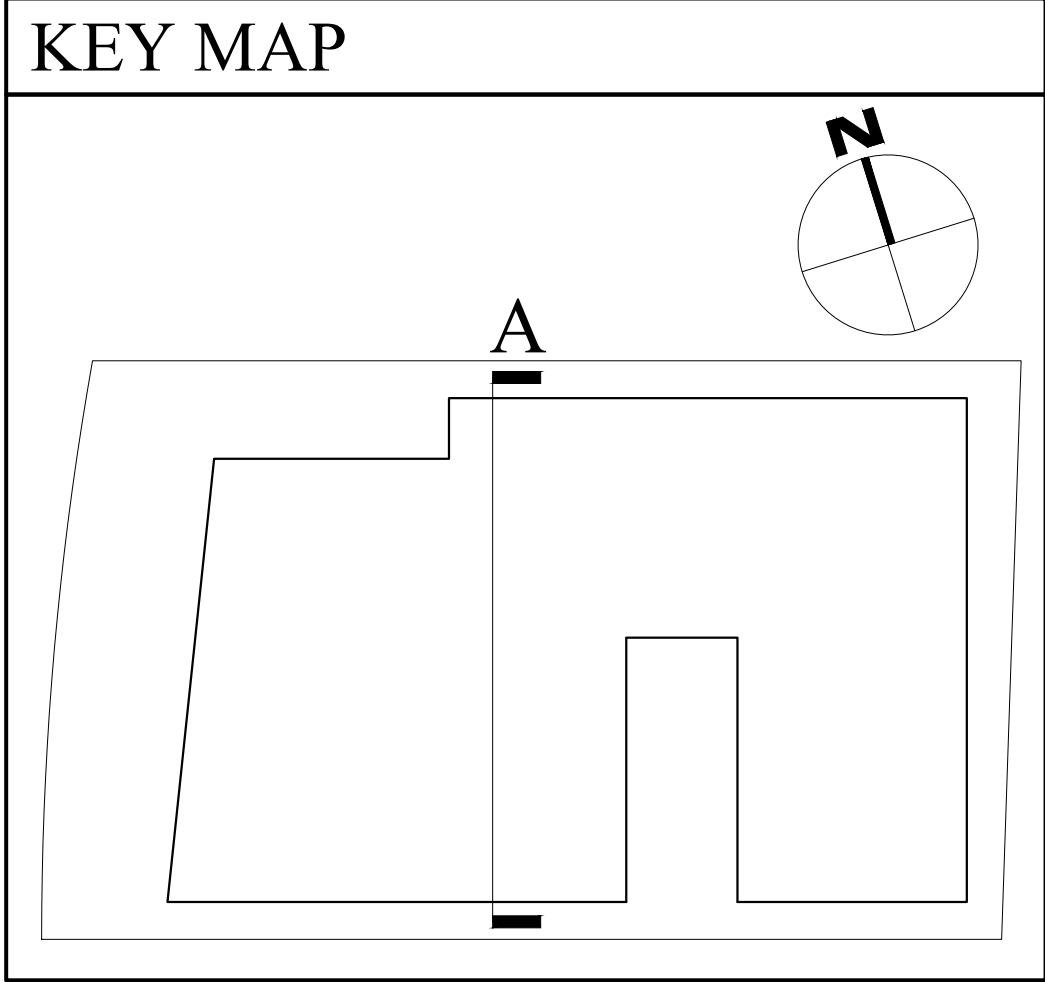
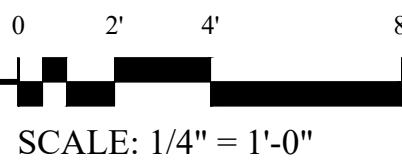
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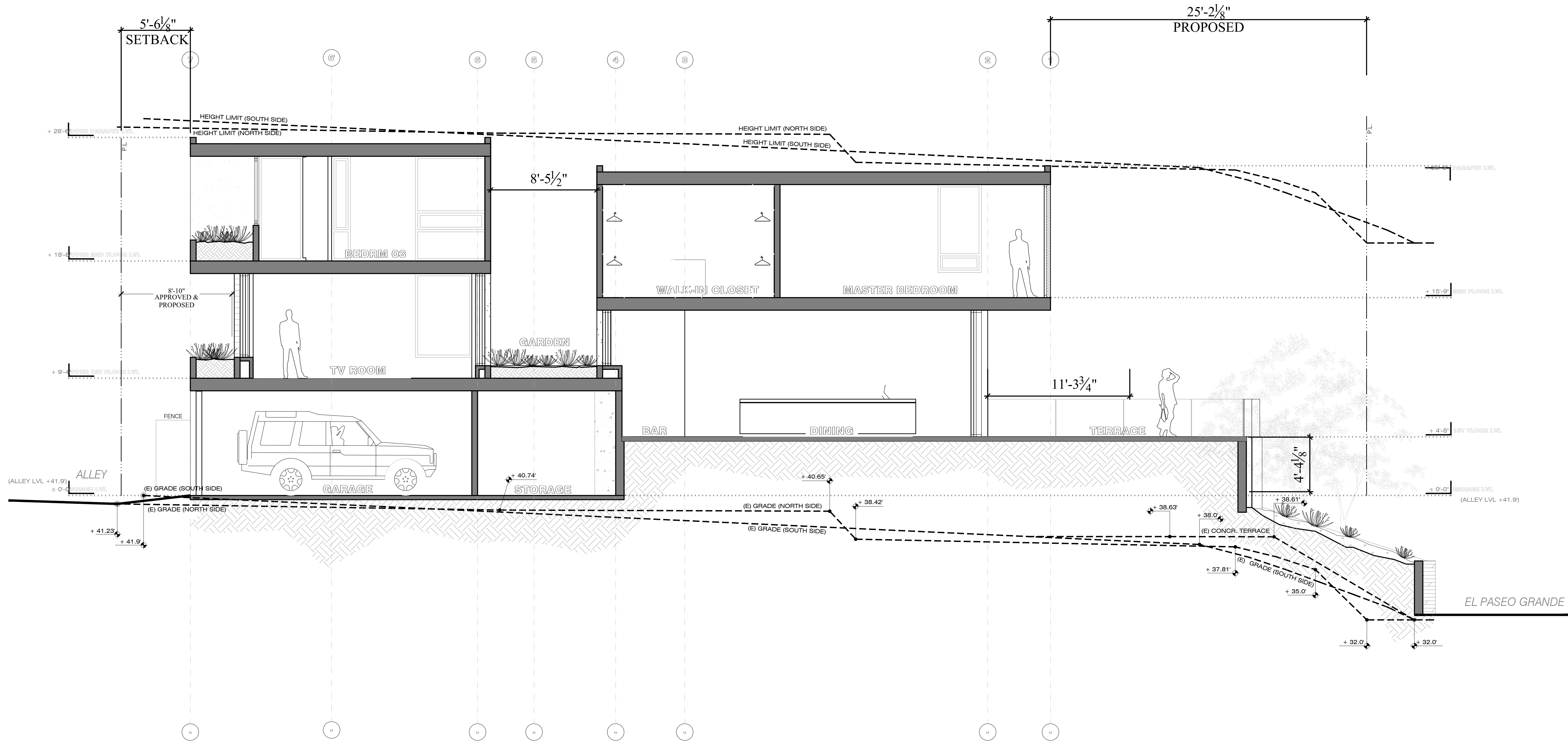
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A-6.1



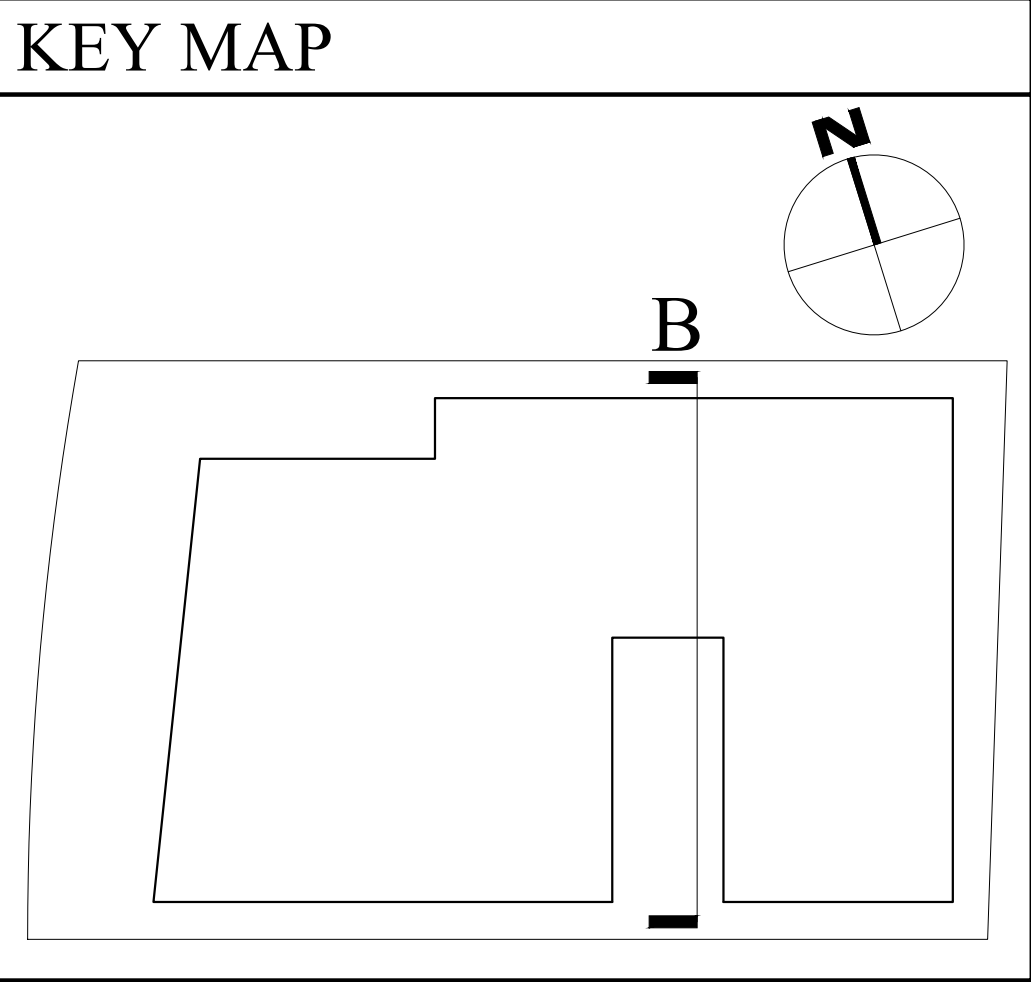
A PROPOSED SECTION A





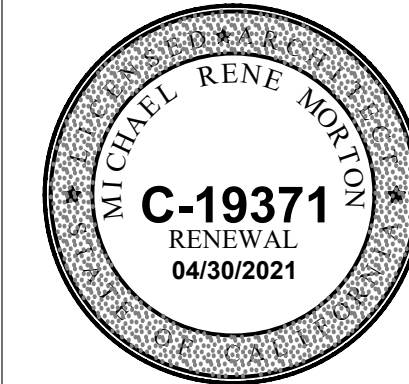
B PROPOSED SECTION B

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"



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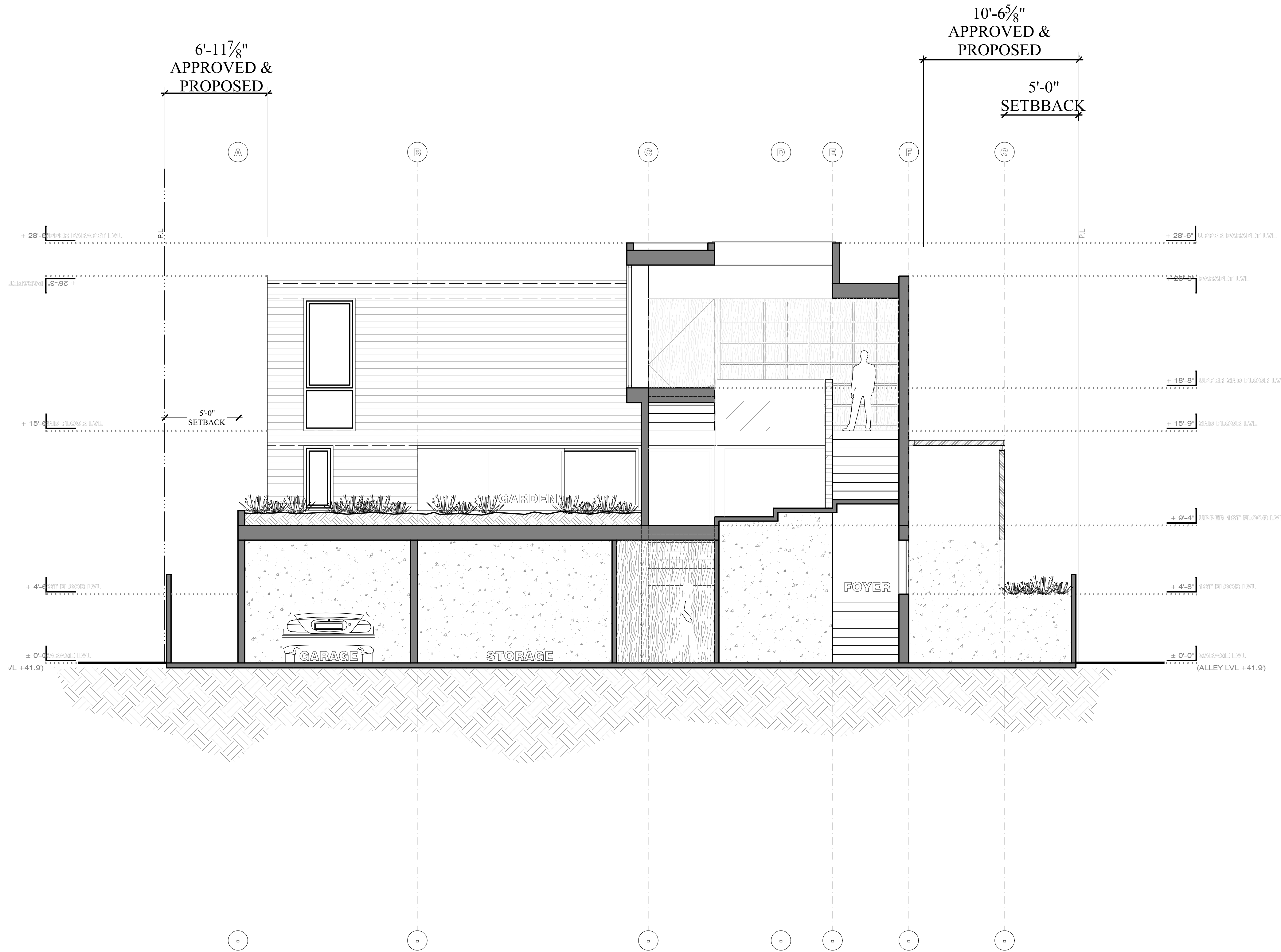
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SHEET TITLE PROPOSED SECTION

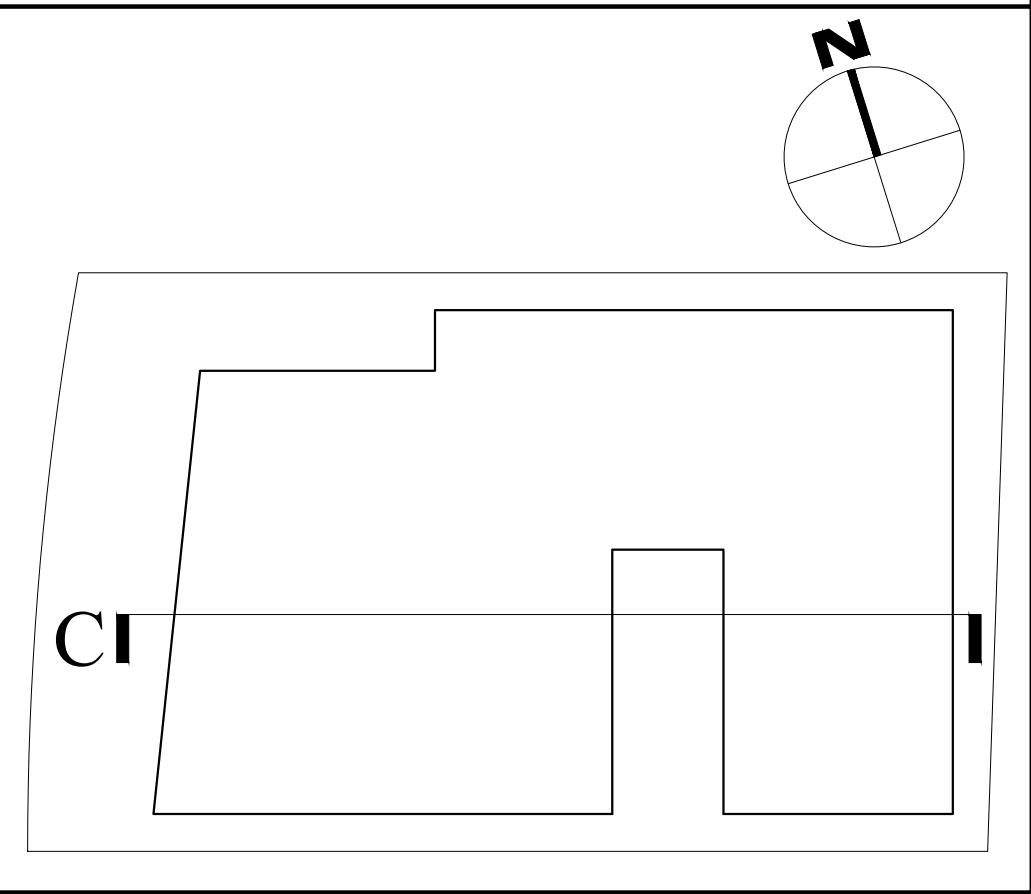
A-6.2

S:\Projects\2020\Projects\2020-17 Barba Lowther Residence\5-Coual\A-6.1 Sections\A-6.1 Sections Barba 2020-17.dwg Jan 10/2021 9:45am



0 2 4 8  
SCALE: 1/4" = 1'-0"

## KEY MAP



ATTACHMENT 1: Barba Lowther Residence



## Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
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PHASE COASTAL

PROJECT NO. 2020-17

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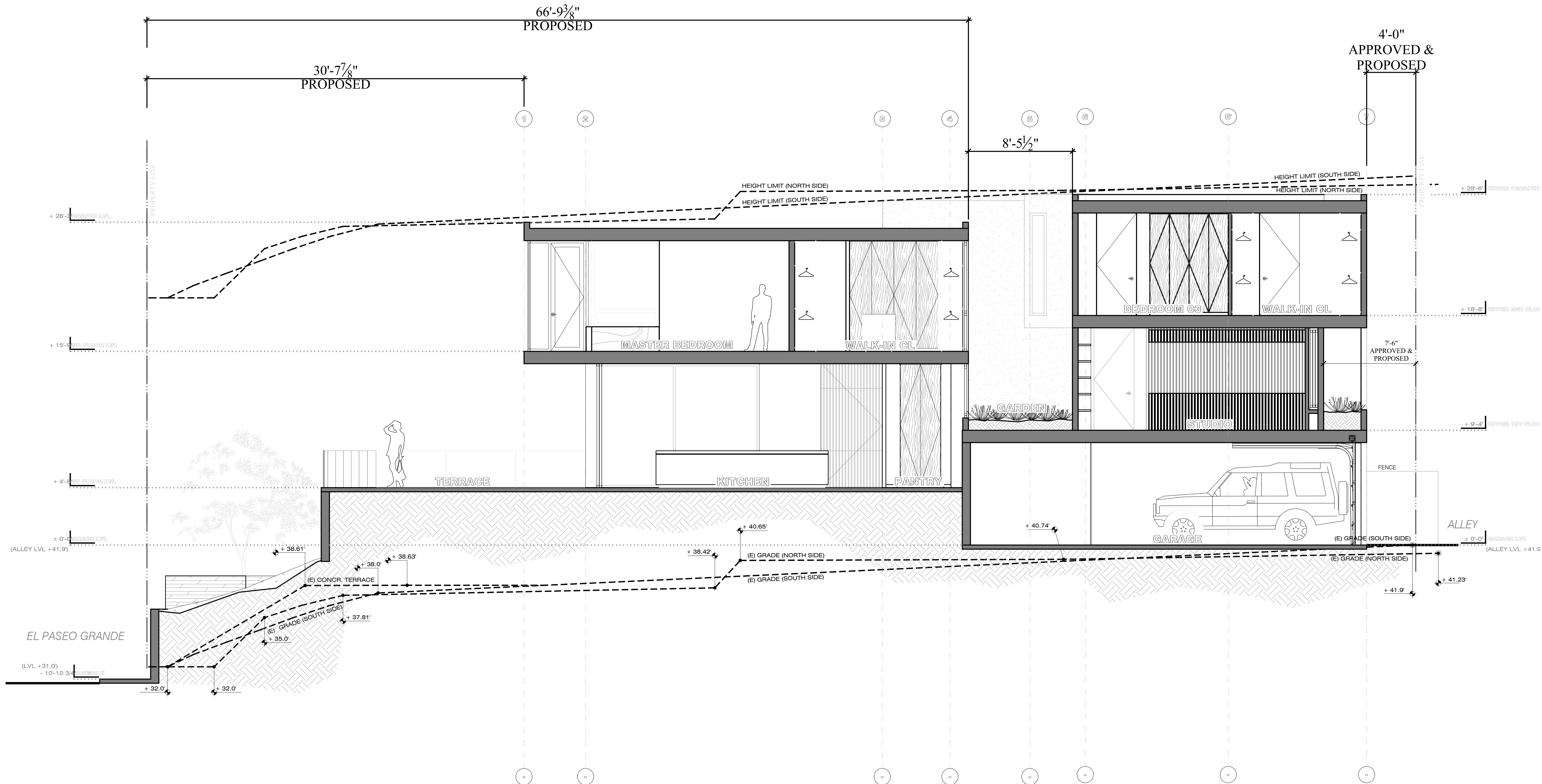
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DATE 06/09/2021

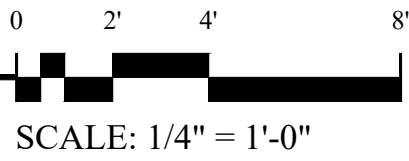
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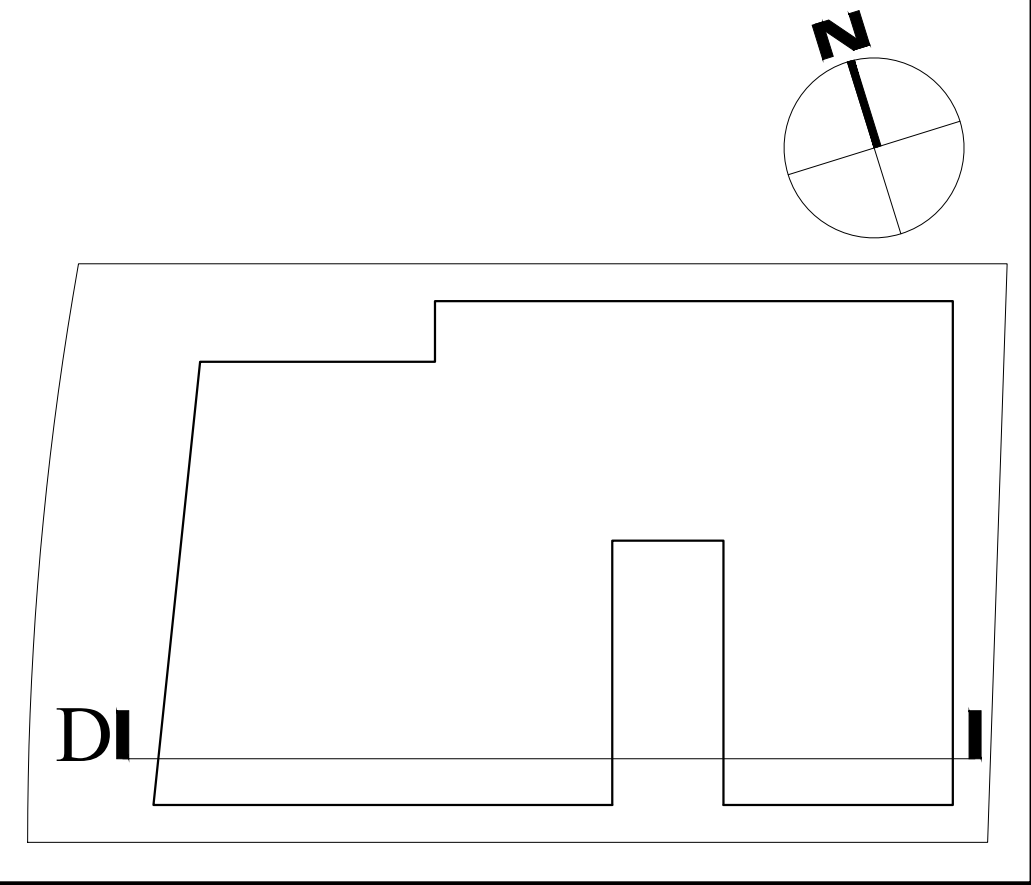
A-6.3



D PROPOSED SECTION D

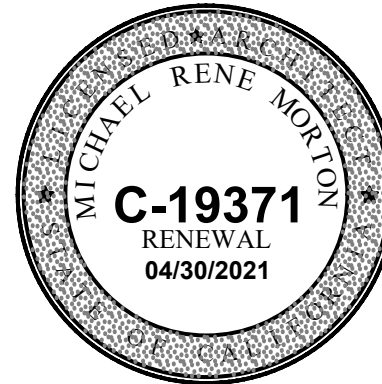


KEY MAP



**Marengo  
Morton  
Architects**

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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8561 EL PASEO GRANDE  
LA JOLLA, CA 92037

REVISIONS	
06/18/2020	START OF PROJECT
12/21/2020	COMMUNITY SUBMITTAL
1/18/21	2nd COMMUNITY SUBMITTAL



PHASE	COASTAL
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PROJECT NO.	2020-17
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SHEET TITLE	PROPOSED SECTION
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**A-6.4**



Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
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A-6.5

