

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

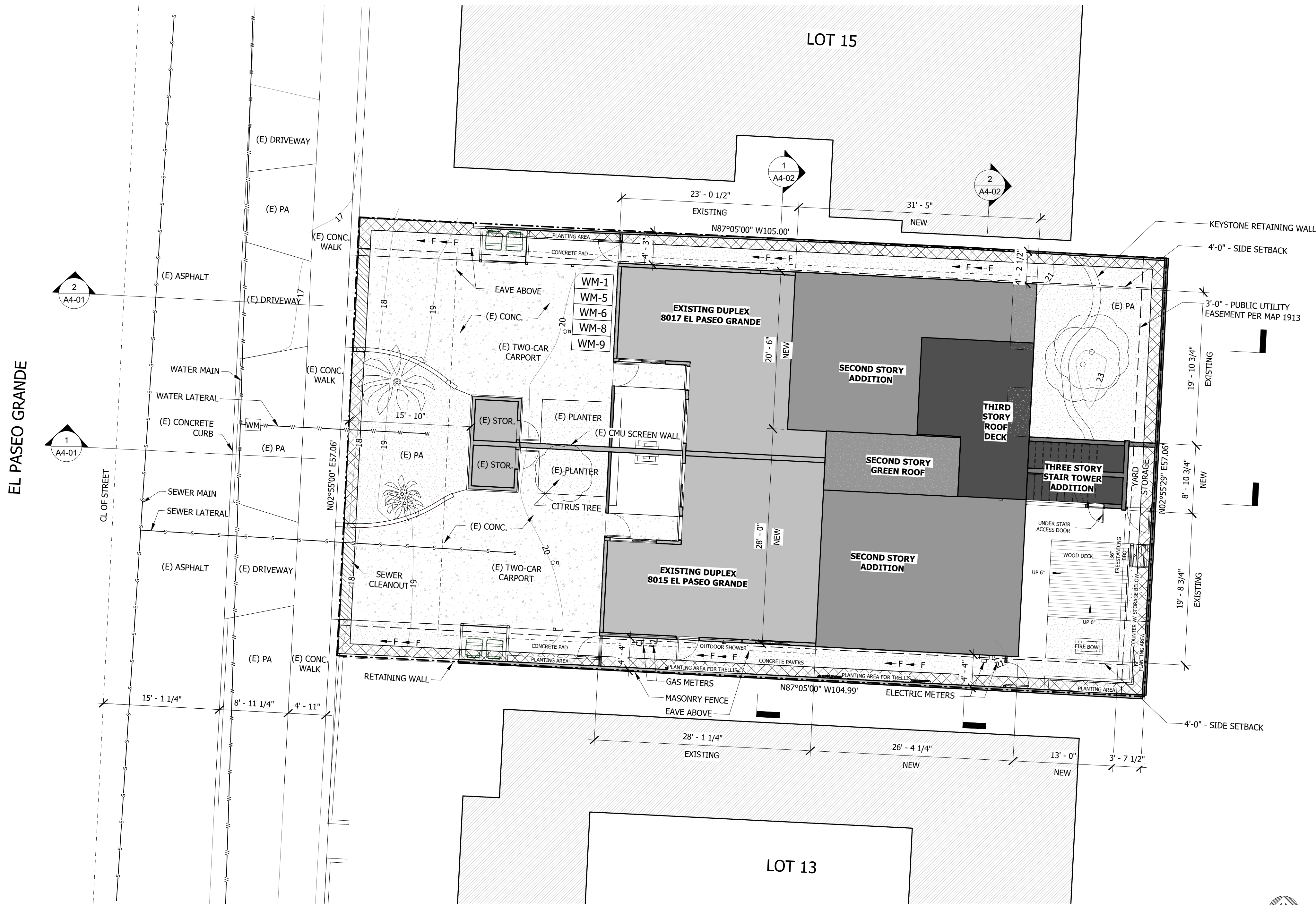
For Action Items

- Project name: Kearns-Kroupa Remodel
- Project PTS number from Development Services and project name (only submitted projects can be heard as action items)
 - PTS: 612368
- Address and APN(s)
 - Address: 8015-8017 El Paseo Grande, San Diego, CA 92307
 - APN 346-363-07
- Project contact name, phone, e-mail:
 - Heather Crane
 - Phone: 858-456-8555
 - Email: heather@isarchitecture.com
- Project description
 - Interior remodel and addition to a potentially historic multi-family home. Unit #8017: interior remodel only. Unit #8015: second story and roof deck addition.
 - Lot size: 5,991 sqft.
 - Existing structure square footage: 2,413 sqft. and FAR: 0.40
 - Proposed square footage: 3,830 sqft. and FAR: 0.64
 - Existing and proposed setbacks on all sides
 - a. Front existing: 18'-8",
 - 1. First Floor Front proposed: 18'-8"
 - 2. Second Floor Front Proposed: 57'-0"
 - b. Side existing: 4'-4", Side proposed: 4'-4"
 - c. Rear existing: 19'-8"; Rear proposed: 3'-7 1/2" at stairwell (8'-10 3/4" length), 16'-7 1/2" at upper rear wall (39'-7 1/2" length). Average of 14'-8" for entire length of 48'-6".
 - Height if greater than 1-story (above ground):
 - 1. 28'-2" at Top of Stair Well
 - 2. 22' - 2 1/2" at Second Story Ridge
 - 3. 19'- 2" at North & South second story adjacent to neighbors
- The Project conforms to the guidelines from the La Jolla Shores Design Manual regarding community character, aesthetics, design features, etc.:
 - General Guidelines
 - 1. New buildings should be made sympathetic to the scale, form and proportion of older development. This can be done by repeating existing building lines and surface treatment.
 - 2. Originality and Diversity
 - 3. Materials should be compatible with the existing character of La Jolla Shores
 - 4. Roof should be of Muted Dark Tones
 - 5. Exterior wall materials should be limited to wood siding, wood shingles, clapboard, adobe blocks, brick, stucco, concrete or natural stone of good quality

- 6. Colors should be muted, white or natural earth colors (browns, greens, grays, etc.). The use of non-earth colors is allowed for architectural accent.
- Grading
 - 1. Minimal ground disturbance will occur
- Lighting
 - 1. Minimal, concealed exterior lighting
- Landscaping
 - 1. Landscaping to remain at 30% or greater coverage
- Off-Street Parking
 - 1. Two parking spaces per unit will be maintained.
- Residential and Visitor Areas
 - 1. Siting of Buildings
 - 1. Doors and windows facing the side yard shall be located greater than 4'-0" from the property line.
 - 2. Major Axis of building remains perpendicular to shoreline and there is no continuous plane greater than 50'
- Building Height and Lot Coverage
 - 1. Building is less than 32' Tall
 - 2. Lot Coverage
- Design Guidelines
 - 1. Strive for variety between groups of houses by inclusion of two story houses, variation in lot sizes, and changes in materials or detailing.
 - 2. The house may be located anywhere on the lot, however, it must be compatible with adjacent development and not interfere with use of adjacent property.
 - 3. Simple shapes and colors used
 - 4. Single gable roofs

Exhibits and other materials to provide:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.)
 - See enclosures
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
 - The La Shores Survey, submitted as part of the Site Development Permit package, included a 300' radius survey of neighboring floor areas and lot sizes.
- Any communications from adjacent neighbors, local neighborhood groups, and/or Homeowners' Association
 - The neighbors to the north and south have been informed and are in support of the project.



SITE PLAN - GENERAL NOTES

- 1. THIS PROJECT COMPLIES WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). HIGHEST POINT OF ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- 2. PER SDMC SECTION 142.0740 (e)(2), ALL OUTDOOR LIGHTING, INCLUDING SEARCH LIGHTS, SHALL BE TURNED OFF BETWEEN 11:00 P.M. AND 6:00 A.M. EXCEPT OUTDOOR LIGHTING USED FOR SECURITY PURPOSES.
- 3. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE, INTO CONSTRUCTION PLANS OR SPECIFICATION.
- 4. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 01.4.4).
- 5. ALL BUILT SITE FEATURES ARE EXISTING, UNLESS NOTED OTHERWISE.
- 6. NO GRADING WILL OCCUR ON THE SITE. ALL CONTOUR ELEVATIONS ARE EXISTING, UNLESS NOTED OTHERWISE.
- 7. NO WORK IS BEING PERFORMED IN THE RIGHT OF WAY.
- 8. ROOF DRAINAGE BY GUTTER AND DOWNSPOUTS INTO SURROUNDING LAWN AND PLANTERS.
- 9. NO EXISTING OR PROPOSED STORM DRAINS STRUCTURES WITHIN 50 FEET OF CONSTRUCTION.
- 10. TWO EXISTING PARKING SPACES PROVIDED PER DWELLING UNIT PER SDMC TABLE 142-05C.

SITE PLAN - KEYNOTES

1 TBD

1 A1-01 - SITE PLAN
1/8" = 1'-0"

BMP LEGEND - (MWPCP)		
DESCRIPTION	STD DWG*	SYMBOL
PROPERTY LINE		---
LIMITS OF CONSTRUCTION AREA	SS-2	-----
DIRECTION/ COURSE OF FLOW		F →
STRAW OR WOOD MULCH	SS-6 / SS-8	~ S/W ~ S/W ~
FIBER ROLLS (STRAW WATTLES)	SC-5	▨
STABILIZED CONSTRUCTION ENTRANCE	TC-1	▨
MATERIALS DELIVERY AND STORAGE AREA	WM-1	WM-1
TEMPORARY TRASH/ SOLID WASTE	WM-5	WM-5
HAZARDOUS WASTE MANAGEMENT	WM-6	WM-6
CONCRETE WASTE MANAGEMENT	WM-8	WM-8
SANITARY WASTE (PORTABLE TOILET)	WM-9	WM-9
* STANDARD CALTRANS DRAWINGS (EC-5, WM-5, ETC.) AT:http://www.dot.ca.gov.com/		

SITE PLAN - LEGEND

---	PROPERTY LINE
---	SETBACK
---	CENTER LINE
---	ROOF ABOVE
—S—S—S—	SEWER LINE
—W—W—W—	WATER LINE
=====	EXISTING CONCRETE CURB
▬	CONCRETE BLOCK WALL (EXISTING)
— 200' —	EXISTING GROUND CONTOUR (1' INTERVAL)
▨	EXISTING CONCRETE
▨	PLANTING AREA

SETBACKS

LOT WIDTH:	57'-0 11/16"
LOT DEPTH:	105'-0"
MINIMUM SETBACKS	
FRONT:	N/A
SIDE:	4'-0" WITH OPENINGS; 0'-0" WITHOUT
SIDE:	4'-0" WITH OPENINGS; 0'-0" WITHOUT
REAR:	N/A
EXISTING SETBACKS:	
FRONT:	15'-10"
SIDE:	4'-4"
SIDE:	4'-4"
REAR:	19'-8"
PROVIDED SETBACKS:	
FRONT:	15'-10"
SIDE:	4'-4"
SIDE:	4'-4"
REAR:	3'-7 1/2"

COASTAL HEIGHT LIMITATION: 30'
HIGHEST ROOF ELEVATION: 49' - 6 1/2"
HIGHEST ELEVATION: 49' - 6 1/2"
LOW REFERENCE DATUM: 18' - 6 1/2"
HIGH REFERENCE DATUM: 22' - 8"
PLUMB LINE HEIGHT (HIGH POINT): 28' - 2"

OVERALL STRUCTURE HEIGHT: 28'-2" + 4'-1 1/2" = 32'-3 1/2"
(HEIGHT + GRADE DIFFERENTIAL)

PLANTING AREA:
REQUIRED: 30% OF LOT = 1,797.3 SF
LEVEL 1 EXISTING: 1,053.36 SF (PREVIOUSLY-CONFORMING)
LEVEL 1 PROVIDED: 974 SF
LEVEL 2 PROVIDED: 127.31 SF (GREEN ROOF)

TOTAL PROVIDED: 1,102.25 SF

*ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE PRIOR TO FINAL INSPECTION

IS ARCHITECTURE

IONE R. STIEGLER, FAIA

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KEARNS-KROUPA

REMODEL

8015-8017 EL PASEO GRANDE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2018.13	
PROJ. MNGR. HRC	DRAWN AMG
ISSUE DATE 10/05/18	

SITE PLAN

A1-01

REVISIONS		
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EXTERIOR
ELEVATIONS

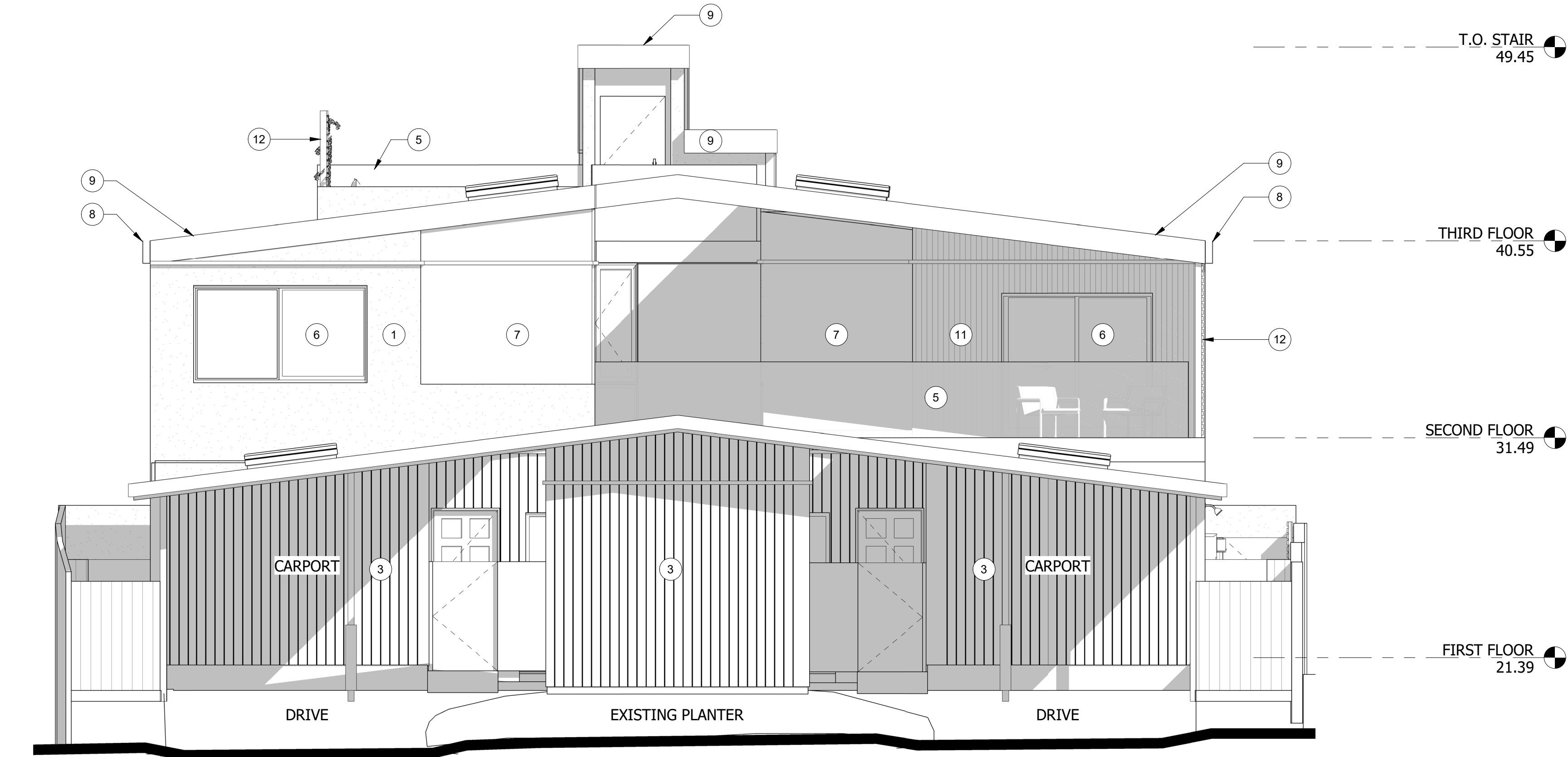


EXTERIOR ELEVATION KEYNOTES

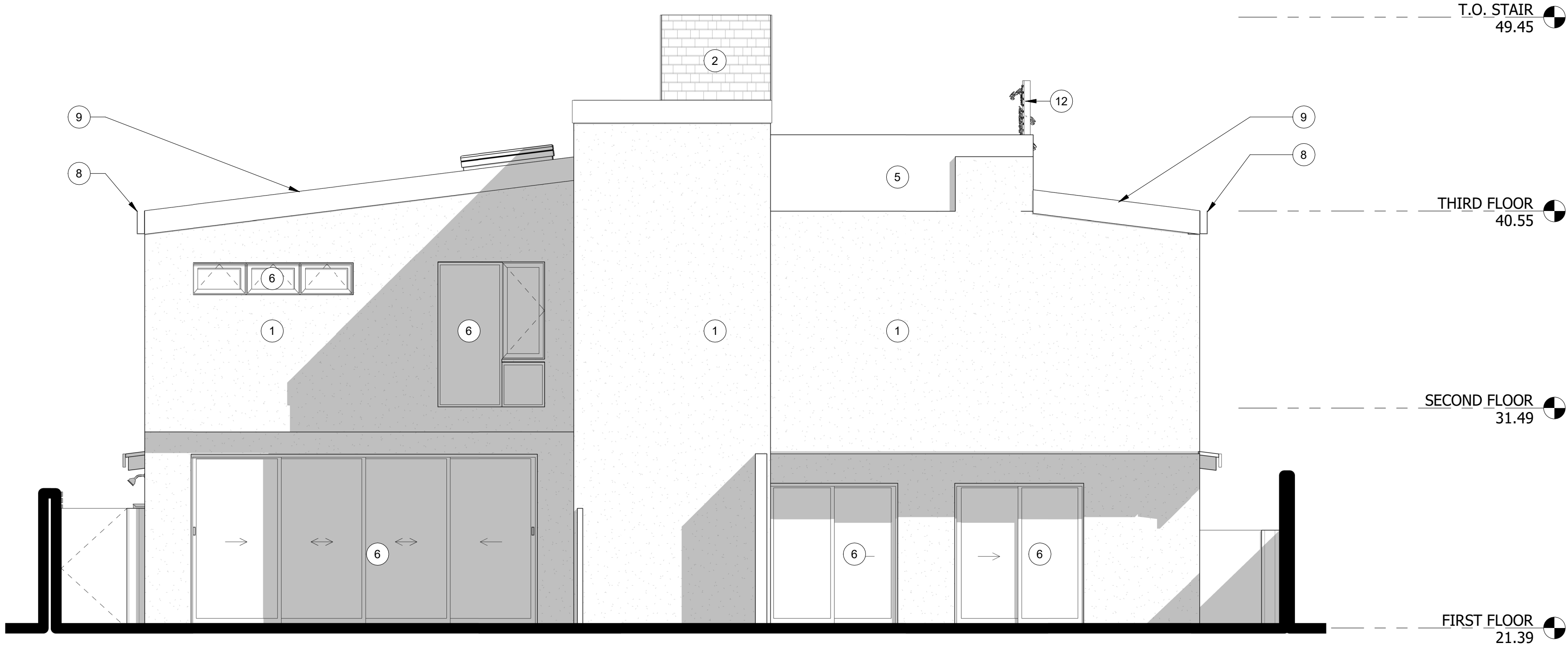
- 1 SMOOTH FINISH STUCCO. COLOR: OFF-WHITE.
- 2 ROOF COVERING. TIMBERLINE HD BY GAF. COLOR: CHARCOAL.
- 3 EXISTING T-11 WOOD SIDING.
- 4 EXISTING MASONRY WALL
- 5 GLASS RAILING - TEMPERED GLASS & BRUSHED ALUMINUM.
- 6 ALUMINUM WINDOWS & DOORS. DUAL-PANE, KYNAR FINISH. COLOR: GRAY
- 7 CORNER GLASS. INSULATED & TEMPERED. CLEAR.
- 8 GUTTER. FINISH TO MATCH DOORS & WINDOWS.
- 9 METAL FASCIA. 24 GA. ALUMINUM. FINISH TO MATCH DOORS & WINDOWS.
- 10 VERTICAL CHANNEL GLASS.
- 11 TONGUE & GROOVE WOOD SIDING. GRADE A, CLEAR, SMOOTH FACE ALASKAN WHITE CEDAR. FINISH: CLEAR STAIN.
- 12 WOOD PRIVACY SCREEN.

GENERAL NOTES - EXTERIOR

- 1. ALL ROOFING IS EXISTING AND SHALL REMAIN UNLESS OTHERWISE NOTED.
- 2. ALL WALLS AND CEILING FINISHES ARE EXISTING AND SHALL REMAIN INTACT, UNLESS OTHERWISE NOTED.
- 3. ALL WINDOWS ARE EXISTING AND SHALL REMAIN, UNLESS OTHERWISE NOTED.
- 4. ALL EXTERIOR DOORS ARE EXISTING AND SHALL REMAIN, UNLESS OTHERWISE NOTED.
- 5. NO PROPOSED CHANGES TO EXISTING GRADE.



1 WEST (FRONT) ELEVATION
1/4" = 1'-0"



2 EAST (BACK) ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 SMOOTH FINISH STUCCO. COLOR: OFF-WHITE.

2 ROOF COVERING. TIMBERLINE HD BY GAF. COLOR: CHARCOAL.

3 EXISTING T-11 WOOD SIDING.

4 EXISTING MASONRY WALL

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KEARNS-KROUPA
REMODEL
8015-8017 EL PASEO GRANDE
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REVISIONS		
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EXTERIOR
ELEVATIONS



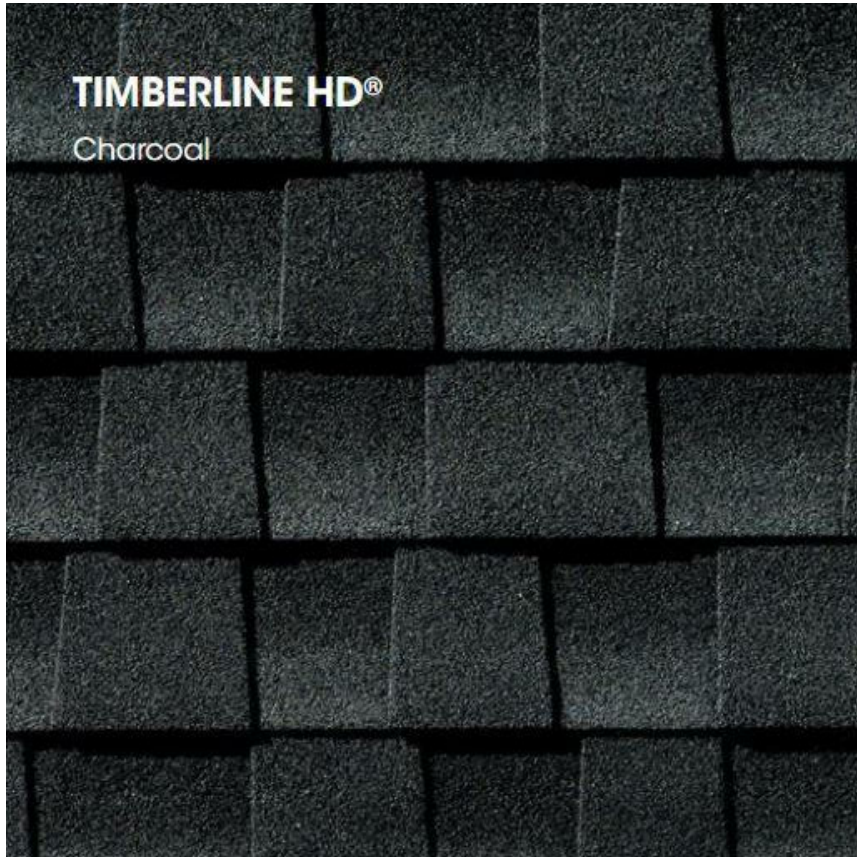
GUTTER

MANUFACTURER: CUSTOM
MATERIAL: ALUMINUM
FINISH: KYNAR
COLOR: GRAY, TBD
SIZE: HEIGHT OF EAVE
INSTALLATION: APPLIED TO FASCIA



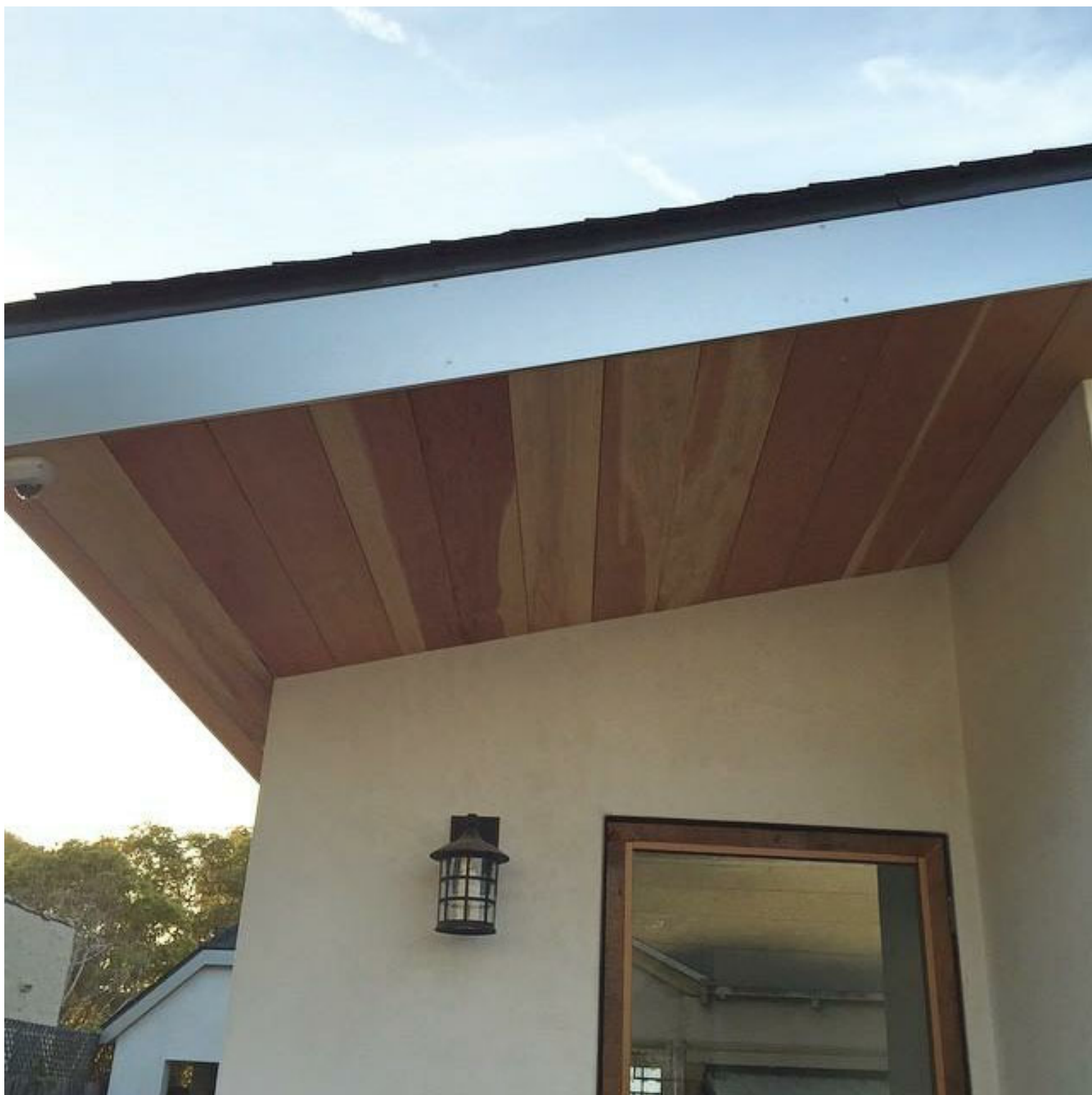
CORNER GLASS

MANUFACTURER: TBD
MATERIAL: INSULATED TEMPERED GLASS
THICKNESS: 5/8"
COLOR: CLEAR
CORNER JOINT: BUTT JOINT



ROOF COVERING

MANUFACTURER: GAF
MODEL: TIMBERLINE HD
COLOR: CHARCOAL



METAL FASCIA

MANUFACTURER: CUSTOM
MATERIAL: ALUMINUM
FINISH: KYNAR
COLOR: GRAY, TBD
SIZE: .24 GAUGE, HEIGHT OF EAVE



STUCCO SIDING

MANUFACTURER: OMEGA OR EQUAL
PRODUCT: COLORTEK
APPLICATION: 3-COAT STUCCO SYSTEM
FINISH: SMOOTH
COLOR: OFF-WHITE (EX: OMEGA 15-BIRCH WHITE)

OMEGA CRACK ISOLATION SYSTEM



WOOD SIDING & UNDER EAVE PANELING

MATERIAL: WESTERN RED CEDAR
FINISH: CLEAR STAIN
GRADE: A - CLEAR, SMOOTH FACE
SIZE: 1X6, CONTINUOUS 9'-0" LENGTHS
JOINERY: EV-1S - TONGUE AND GROOVE (T&G), FINE LINE PROFILE (1/8" BEVEL)



GREEN ROOF

ROCK PERMITER
DROUGHT TOLERANT PLANTING, TBD BY LANDSCAPE ARCHITECT



GLASS RAILING

MANUFACTURER: CR LAURENCE OR EQUAL
PRODUCT: TAPER-LOC
MATERIAL: TEMPERED GLASS & BRUSHED ALUMINUM



WINDOWS & DOORS

MANUFACTURER: FLEETWOOD
PRODUCT: THERMERALLY BROKEN ALUMINUM
GLAZING: DUAL-PANE
FINISH: KYNAR
COLOR: GRAY, TBD

KEARNS-KROUPA REMODEL

8015-8017 EL PASEO GRANDE
LA JOLLA, CA 92037



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EXTERIOR MATERIALS

10/05/18



KEARNS-KROUPA REMODEL

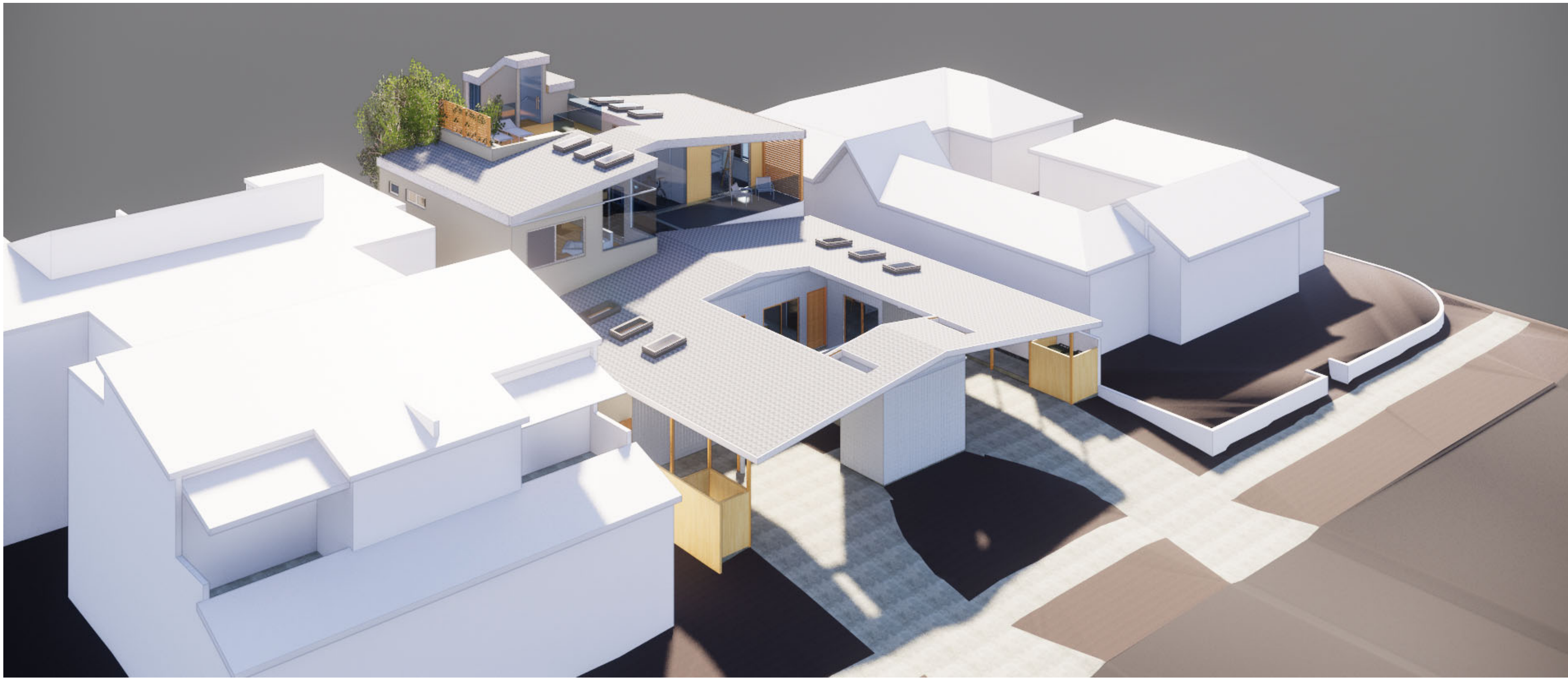
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EXTERIOR RENDERINGS

10/05/18



KEARNS-KROUPA REMODEL

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AERIAL RENDERINGS
10/05/18

To Chairs and Members of the La Jolla Shores Permit Review Committee (PRC) and the La Jolla Shores Planned District Advisory Board:

We are directly next door south to the Kearns-Kroupa Remodel. We have met with the owners and have received additional information from the architect. We have no objections to the plans dated 10/5/18, in fact, we are looking forward to the project's completion and the owners moving in.

We strongly urge your approval of the plans of the Kearns-Kroupa Remodel.

Sincerely,

Mark and Dale Steele
8001 El Paseo Grande
858-459-2434

WAYNE D. THOMAS *
TIMOTHY D. LUCAS **
A. KERRY STACK
KEVIN J. MCCONVILLE
LORI L. DUNIVAN
SCOTT B. HILBERG
STANLEY A. CALVERT
VANESSA C. WHIRL-GRABAU †
ERICH J. LIDL

* A PROFESSIONAL CORPORATION

** MEMBER OF AMERICAN BOARD
OF TRIAL ADVOCATES

† ALSO ADMITTED IN WASHINGTON AND TEXAS

OFFICE ADMINISTRATOR

A. MICHELLE GOINS

October 4, 2018

Dear Chairs and Members of both the La Jolla Shores Permit Review Committee (PRC) and the La Jolla Shores Planned District Advisory Board:

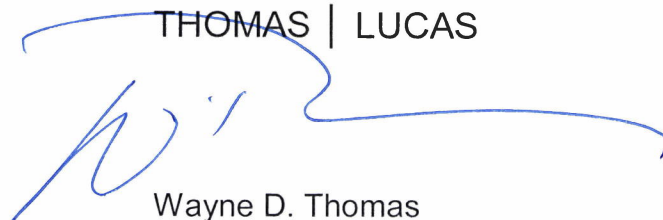
I write in full support of the remodel plans for 8015-8017 El Paseo Grande. I have lived next-door to Chris Kearns (and more recently Lesley Kroupa) at 8021 El Paseo Grande for 18 years. My home is arguably one of the most impacted by their proposed remodel. That said, Chris and Lesley have been nothing, if not considerate of the neighborhood, me and more specifically the potential impact of their remodel plans on my home and view to the south.

Chris and Lesley met with me, among others, prior to submittal of the development permit application. They shared with me various schematics, renderings, and view studies always encouraging input, questions and concerns. They further provided elevations; information and depictions which I understand have been submitted for your review.

I am in full support of their proposed remodel not only for personal reasons; architectural interest/integrity, but more broadly for the beautification of our street, and the Shores neighborhood. It will most decidedly be a welcomed and positive enhancement.

Very truly yours,

THOMAS | LUCAS



Wayne D. Thomas