

La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037

Please provide the following information for calendaring on an upcoming La Jolla Shores Planned District Advisory Board meeting.

Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept)
- Address and APN(s)
- Project contact name, phone, e-mail
- Project description, plus
 - lot size
 - existing structure square footage and FAR (if applicable)
 - proposed square footage and FAR
 - existing and proposed setbacks on all sides
 - height if greater than 1-story (above ground)
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.)

Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items)
Pathria Residence CDP/SDP
- Address and APN(s)
Pathria Residence CDP/SDP
- Project contact name, phone, e-mail
Christian Rice Architects
Hector Aramburo
619.522.9040
ha@christianrice.com
- Project description, plus
(Process 3) Coastal Development Permit and Site Development Permit for a demolition of an existing 2,620 gross sf area single story residence (current Far 36.4%) and construction of a new 4,546 gross sf two story residence containing the following areas:
 - **First floor area = 2,072 sf**
 - **Second Floor Area = 1,986 sf**
 - **Garage Area = 488 sf**
 - **Covered front Porch = 371 sf**
 - **Covered Patio = 583**
 - **2nd floor Balcony = 194 sf**

The new FAR will be 63.1%. The new Residence will consist of 4 bedrooms (plus den), 4 bathrooms, 1 powder room, and a 2 car garage. Maximum proposed height is 25'-9 ½". The 0.16 acre (7,206 sf) site is located at 7975 Calle De La Plata and is with in the

Coastal Overlay Zone (non- appealable area), in the LJSPD-SF zone of the La Jolla Planned District area within Council District 1.

- lot size
7,206 sf gross (36.4% FAR)
- existing structure square footage and FAR (if applicable)
2,620 sf gross
- proposed square footage and FAR
4,546 sf gross (63.1% FAR)
- existing and proposed setbacks on all sides
Existing Set Backs:
Front: 14'-0"
Side: 4'-6"
Street Side: 5'-0"

Proposed Set Backs:
Front: 15'-0"
Side: 5'-0"
Street Side: 5'-0"
- height if greater than 1-story (above ground)
25'-9 1/2" at highest point

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk& scale, and articulation are key discussion points on all projects.

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Architectural Abbreviations:

ADJ.	Adjacent	F.E.	Fire Extinguisher	P.C.F.	Pounds Per Cubic Foot
A.F.F.	Above Finish Floor	F.F.	Finish Floor	PERF.	Perforated
ALUM.	Aluminum	FLR.	Floor	P.L.F.	Pounds Per Linear Foot
ALT.	Alternate	F.O.	Face of	PLY.	Plywood
ARCH.	Architectural	F.O.C	Face of Concrete	P.S.F.	Pounds Per Square Foot
AVG.	Average	F.O.M	Face of Masonry	P.S.I.	Pounds Per Square Inch
		F.O.S	Face of Stud	P.T.	Pressure Treated
BD.	Board	FP.	Fireplace	RAG	Return Air Grille
BDLG.	Building	FRMG.	Framing	REF.	Reference
BULK.	Bulking	FTG.	Footing	REFR.	Refrigerator
BM.	Beam			REQD.	Required
BTWN.	Between	G.	Gas	REV.	Revision
		GA.	Gauge	RM.	Room
CA.TV.	Cable Television	GALV.	Galvanized	R.O.	Rough Opening
CBC	California Building Code	G.C.	General Contractor		
C.I.P.	Cast-In-Place Concrete	G.F.I.	Ground Fault Interrupter	SECT.	Section
C.J.	Control Joint	GL.	Glass	S.F.	Square Foot
CLG.	Ceiling	HDR.	Header	SHWR.	Shower
CLR.	Clear	HGR.	Hanger	SLM.	Similar
C.M.U.	Concrete Masonry Unit	HORIZ.	Horizontal	SPECS	Specifications
COL.	Column	HT.	Height	SQ.	Square
CONC.	Concrete	HTG.	Heating	S.S.	Stainless Steel
CONT.	Continuous	HVAC.	Heating/Ventilating/Air	STD.	Standard
CPT	Carpet		Conditioning	STL.	Steel
C.T.	Ceramic Tile	H.W.	Hot Water	SUSP.	Suspended
CTR.	Center			SYS.	System
C.W.	Cold Water				
		INCL.	Included/Including	TEL.	Telephone
D.F.	Douglas Fir	INFO.	Information	T.O.C.	Top Of Concrete
DIA.	Diameter	INSUL.	Insulation	THK.	Thickness
DIM.	Dimension	INT.	Interior	T.O.B.	Top Of Beam
D.L.	Dead Load	LAV.	Lavatory	T.O.S.	Top Of Slab
DN	Down	LB.	Pound	T.O.W.	Top Of Wall
DWG.	Drawing	L.F.	Linear Foot	TYP.	Typical
		L.L.	Live Load	UBC	Uniform Building Code
EA.	Each			U.O.N.	Unless Otherwise Noted
E.I.F.S	Exterior Insulation Finish System	MAX.	Maximum		
E.J.	Expansion Joint	MECH.	Mechanical	V.I.F.	Verify In Field
ELEC.	Electrical	MFR.	Manufacturer	VNR.	Veneer
ELEV.	Elevation	MICRO	Microwave	V.A.	Vinyl Tile
E.O.S.	Edge of Slab	MIN.	Minimum		
EQ.	Equal	MISC.	Miscellaneous	W/	With
EQUIP.	Equipment	MTL.	Metal	W.C.	Water Closet
EXT.	Exterior			WD.	Wood
		N/A	Not Applicable	W/D	Washer/Dryer
F.C.U.	Fan Coil Unit	NO.	Number	W/O	Without
F.D.	Floor Drain	N.T.S.	Not To Scale	WP.	Waterproof
FDN.	Foundation	O.C.	On Center	WT.	Weight

General Notes:

1.

This project shall comply with the 2016 California Residential Code that adopts the 2015 IRC, 2015 UMC, 2015 UPC and 2014 NEC.
2.

All dimensions are to face of stud, concrete or masonry, unless otherwise noted on drawings.
3.

Contractor shall bring to the attention of the architect any conflict, discrepancy or ambiguity in the contract documents and shall not proceed with any of the work effected thereby until clarification is given by the architect.
4.

Contractor shall comply with all OSHA requirements.
5.

If historic grid pattern of sidewalks is damaged during construction, the sidewalk shall be replaced in kind.
6.

Tempered glass shall be permanently identified and visible when the unit is glazed.
7.

All windows are to have labels attached by N.F.R.C. showing compliance with energy standards.
8.

All showerheads for all shower fixtures shall be certified as having a maximum flow rate of no more than 2.0 gpm per CGC 4.303.1.
9.

All lavatory and kitchen faucets shall be fitted with a flow-restricting aerator with a certified, maximum flow rate of no more than 1.5 gpm for lavatory faucets and 1.8 gpm for kitchen faucets per CGC 4.303.1.
10.

All water closets and associated flushometer valves, if any, shall be certified as using no more than 1.28 gallons per flush and shall meet the performance standards established by the American National Standards Institute Standard A112.19.2.
11.

Penetrations of fire-resistive walls, floor-ceilings and roof-ceilings shall be protected as required in CBC.
12.

A minimum of 50% of construction waste and demolition debris is to be recycled and/or salvaged per CGC 4.408.1.
13.

City will void all designed structural lumber if ripped.
14.

Only low volume drip or bubbler emitters shall be used to irrigate existing or proposed non-turf, outside landscaping.
15.

The contractor responsible for the construction of the seismic-force-resisting system shall submit a written Statement of Responsibility to the building official prior to the commencement of work on the system.
16.

Contractor is to provide an operation and maintenance manual for the owner at the time of final inspection per CGC 4.410.1.
17.

VOC's must comply with the limitations listed in CGC Section 4.504.3 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5 for: Adhesives, Paints and Coatings, Carpet and Composition Wood Products. CGC Section 4.504.2.
18.

Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.
19.

The moisture content of wood shall not exceed 19% before it is enclosed in construction. Buildings materials with visible signs of water damage should not be used in construction. The moisture content shall be verified by the contractor by one of 3 methods specified under CGC 4.505.3.
20.

An automatic residential fire sprinkler system shall be designed and installed to the satisfaction of the Fire Department for both main house and detached guest house. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
21.

Contractor shall submit a Construction Waste Management Plan to the jurisdictional agency that regulates waste management, per CGC 4.408.2.
22.

Concrete slabs will be provided with a capillary break. CGC 4.505.2.1.
23.

Compliance with the documentation requirements of the 2013 Energy Efficiency Standards is necessary for this project. Registered, signed, and dated copies of the appropriate CF1R, CF2R, and CF3R forms shall be made available at necessary intervals for Building Inspector review. Final completed forms will be available for the building owner.
24.

During construction, ends of duct openings are to be sealed, and mechanical equipment is to be covered. CGC 4.504.1
25.

Electrical vehicle suppy equipment (EVSE) is required in all new residential construction.

Project Directory:

owner: Anu & Meredith Pathria 7975 Calle De La Plata La Jolla, California 94037 p 858.205.0488	surveyor: Coffey Engineering, Inc. John S. Coffey, PE, PLS 10660 Scripps Ranch Blvd.#102 San Diego, California 92131 858.831.0179
project architect: christian rice architects, inc. Christian Rice, AIA CA Lic. # C-31139 1127 Loma Ave. Coronado, California 92118 p 619.522.9040 cr@christianrice.com	landscape architect: Linear Landscape Architecture Joe Dodd, ASLA 3571 Ingraham ST. San Diego, CA 92109 888.203.6628

Project Information (PTS#:. 566727):

- Development Summary:

The scope of work includes the following:
- Demolish existing single family residence with attached garage

Construction of a new 2-story single family residence with attached garage

New electric meter upgrade

New water meter upgrade

New landscape

New perimeter fencing and low retaining walls

Concrete work in right of way for portion of new driveway

New landscaping in right of way

New outdoor spa

New outdoor BBQ

Legal Description: That portion of lots 1&2 in block 6 of map 1913 per R.O.S map 1669
Assessor's Parcel Number: 346-502-02-00
Parcel Zoning: LJSPD-SF
Year Built: 1948
Construction Type: V B - Wood Frame
Occupancy Classification: R3
Automatic Fire Sprinklers: Yes
Stories: Two
Height: 25'-5 1/2" (30' Max. height)
Parking: Required Spaces: 2; Provided Spaces: 2

Lot Area: 7,206 sq. ft.

Lot Coverages: 35.5% (2,560 sq.ft / 7,206); 60% allowed
Landscape Area: 2,184 sq.ft (30% Min. sq.ft. or 2,161 sq.ft.)

FAR= N/A (4,546 sq. ft. / 7,206 sq. ft. or 63.1%)

Building Department Information:

Conditioned Area of Existing Home to be Demolished: 1,949 sq. ft.

1st Level	
Living Area	2,072 sq.ft.

2nd Level	
Living Area	1,986 sq.ft.

Total Conditioned Area: 4,058 sq.ft.

Garage	488 sq.ft.
Front Porch:	371 sq.ft.
Patio:	583 sq.ft.
Balcony:	194 sq.ft.

Drawing Index:

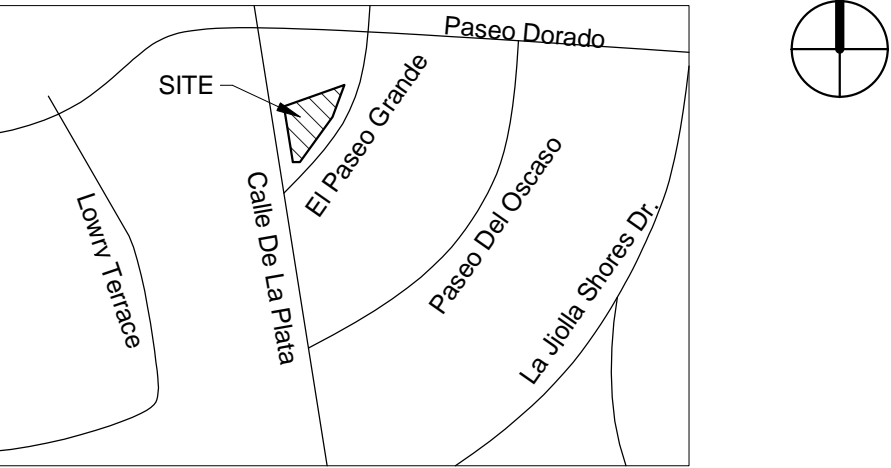
T1	Title Sheet
T2	Material Palette

A1	Plot Plan
A2	Site Sections
A3	First Floor Plan
A4	Second Floor Plan
A5	Roof Plan
A6	Building Elevations
A7	Building Elevations
A8	Building Section

C.0.1	Topographic Survey
C.0.2	Topographic Survey 300' Boundary

L-1	Conceptual Landscape Plan
L-2	Planting Legend
L-3	Landscape Diagram

vicinity map:



symbols:



Pathria Residence

7975 Calle De La Plata, La Jolla, CA 92037

project:

christian rice architects, inc.

1127 loma avenue, coronado, ca 92118 p 619.522.9040

architect:



drawn by:

HA

drawing date:

August 01, 2017

revisions:

revision	date	notes
1	11/22/17	

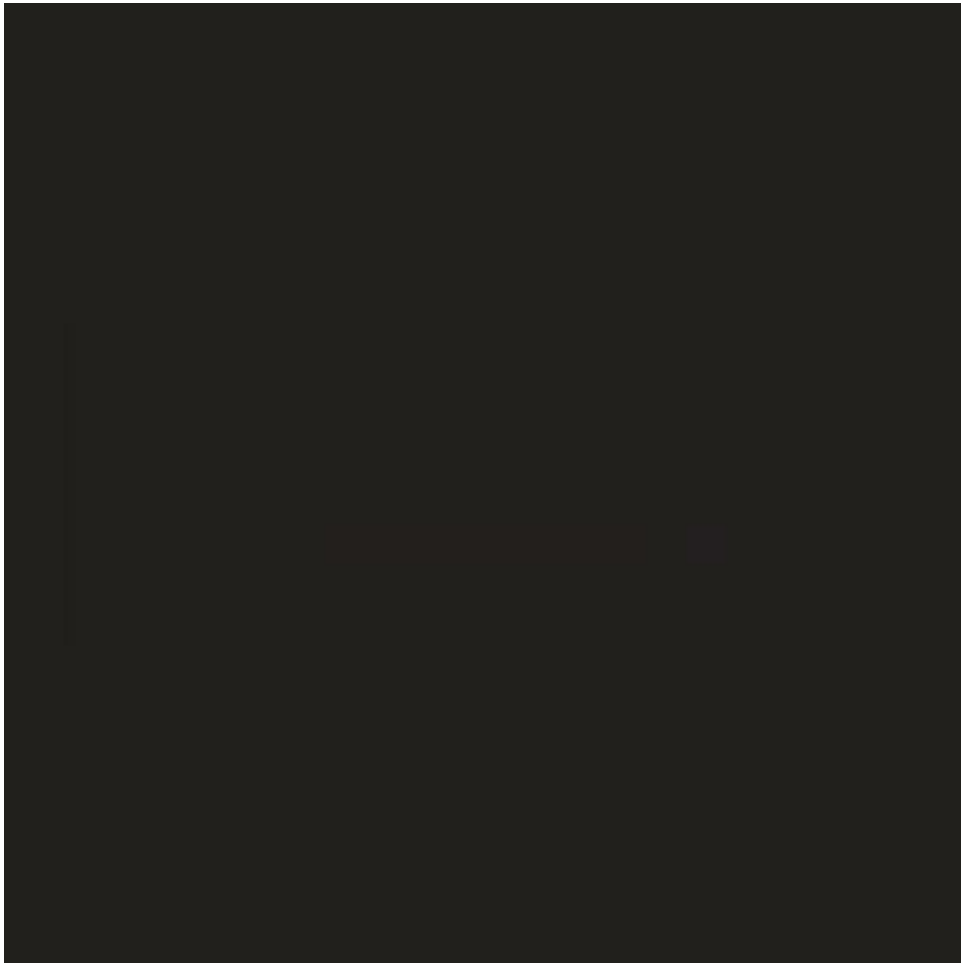
Title Sheet

sheet title:

T1

sheet: 1 of 10

drawing number:



"Bronze"
By: Western
For: Windows and Sliding Glass Doors



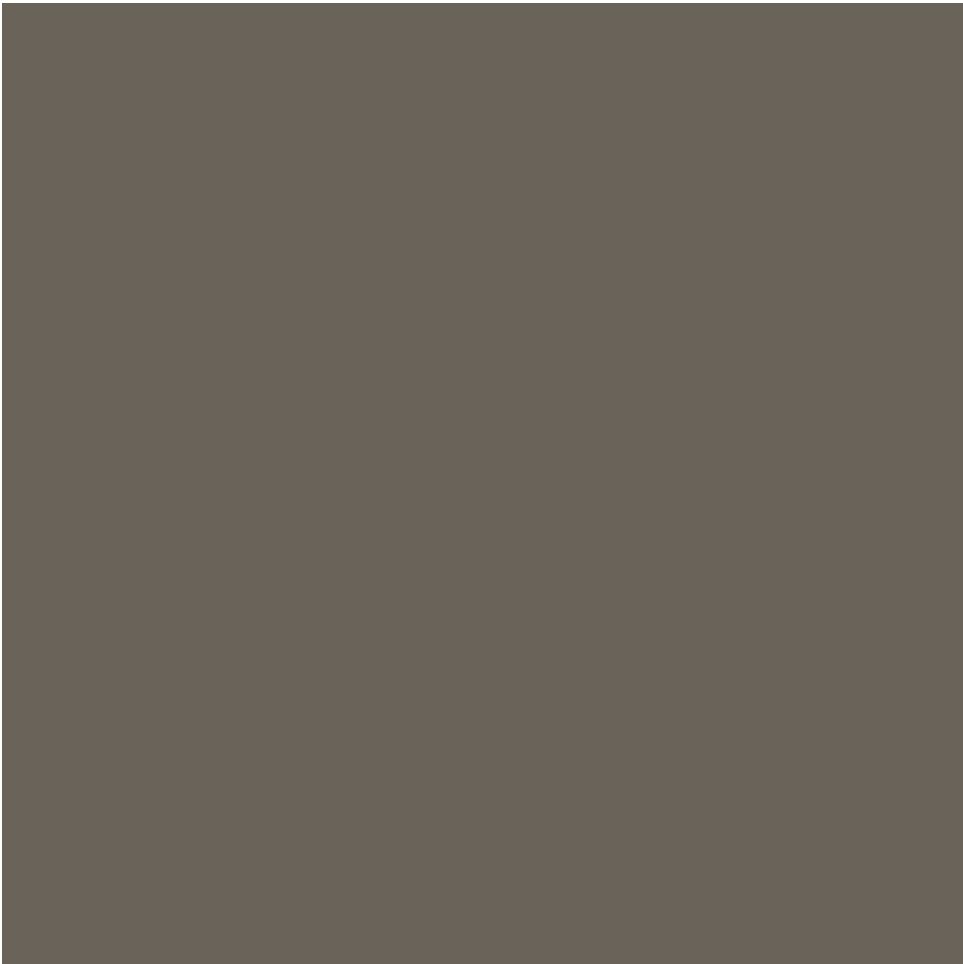
"Urbane Bronze" SW 7048
By: Sherwin-Williams
For: Steel post and railing



Wood Stain
For: Eave underside, front door,
and exposed beams



"Mocha Brown"
By: Clopay Door
For: Garage Door



"Porpoise" SW 7047
By: Sherwin-Williams
For: Fascia and metal gutters



"Iceberg" Stucco
By: Omega



"Anonymous" SW 7046
By: Sherwin-Williams
For: Boral Trim



Natural Stone
For: Exterior cladding

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Material Palette

sheet title:

T2

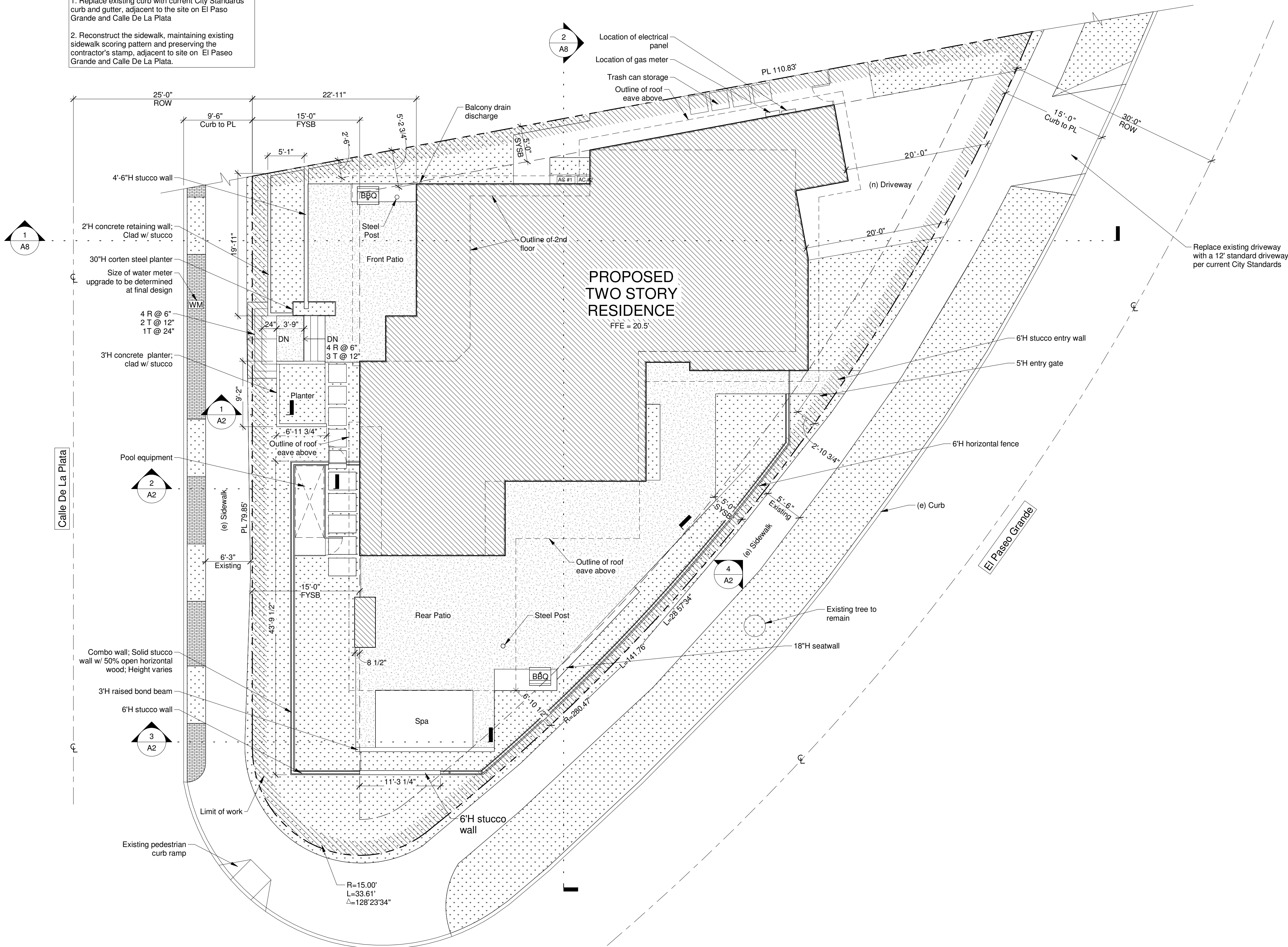
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GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED:	2,500 SF	% OF TOTAL SITE:	34.7%
AMOUNT OF CUT:	0 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	0 FEET
AMOUNT OF FILL:	140 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	2.3 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	140 CUBIC YARDS		
RETAINING/ CRIB WALLS:	LENGTH 145 FEET	MAXIMUM HEIGHT:	2.0 FEET

**THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, FOOTING EXCAVATIONS, DEBRIS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING TAKE-OFFS FOR THE GRADING WORK SHOWN HEREON.

NOTE:
1. Replace existing curb with current City Standards curb and gutter, adjacent to the site on El Paso Grande and Calle De La Plata
2. Reconstruct the sidewalk, maintaining existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to site on El Paseo Grande and Calle De La Plata.



1 Plot Plan
1/8" = 1'-0"

Lot Coverage

Lot Coverage: 35.5%
(2,560 sq.ft / 7,206); 60% allowed

Legend

	Concrete
	Landscaping (See L-1 for more information)
	Natural Stone Tile (See L-1 for more information)
	Limit of Work

General Plot Plan Notes:

- All surface water is to drain away from buildings at a MIN of 5% slope within the first 10 feet (2% for impervious surfaces). See above arrows for drainage pattern. Contractor to approve all drainage schemes prior to completion of the project.
- Landscape irrigation to be installed in all landscaped areas including adjoining public property. Landscape irrigation will have weather or soil based controllers as required by CGC 4.304.1
- New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be min. 4" high with min. stroke width of 1/2" per CFC 505.1.
- Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following: a) Retention Basins. b) Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved method. CGC 4.106.2
- Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). CGC 4.106.3 Exception: Additions not altering the drainage path.
- Automatic irrigation system controllers shall comply with the CGC Section 4.304.2 as follows: A. Controllers shall be weather or soil moisture based that automatically adjust irrigation in response to changes in needs as weather conditions change. B. Weather based controllers shall have separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture based controllers are not required to have rain sensors.
- There are no transit stops adjacent to the property.
- Prior to issuance of any construction permit, the Owner shall incorporate any Construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- Project is located within ASBS watershed and Owner/Permittee shall comply with all ASBS requirements accordingly.

Pathria Residence

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drawn by:
HA

drawn date:
August 01, 2017

revisions:

revision	date	notes

Plot Plan

A1

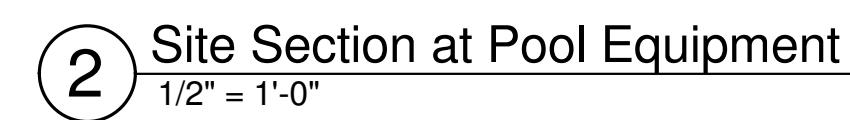
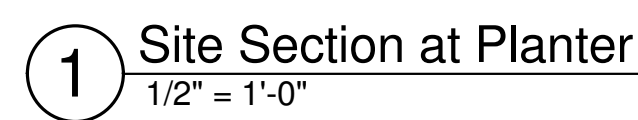
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architect:

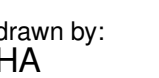
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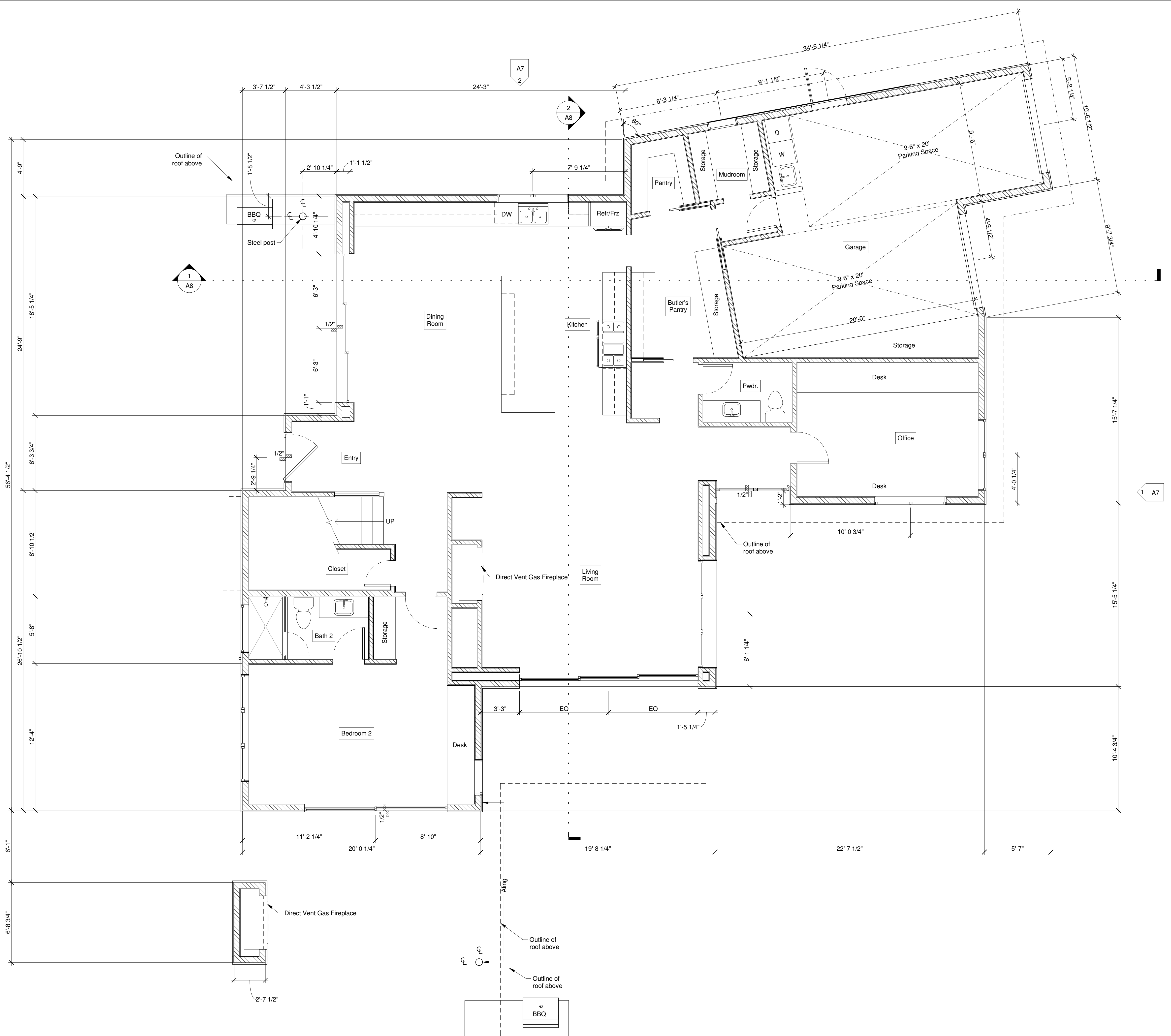


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August 01, 2017

revision	date	notes

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Sheet: 4 of 10



1 First Floor Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.O.
2. All interior walls are Type B' U.N.O., refer to structural drawings for framing information.
3. Contractor is to install MDF closet shelves and stainless steel clothing rods in each closet prior to completion of construction; unless directed by owner otherwise
4. Maintain MIN ceiling height of 6'-8" above stair nosings at all stairways
5. Balcony and patio slopes as noted on floor plans; Per Structural drawings, slopes to be achieved through either sloping actual framing joists or adding 2x tapered sleepers @ 16" O.C.; Sleepers to be glued/nailed to roof/deck joists as necessary; MIN slope 1/4" per ft., U.N.O.
6. All glass shower enclosures are to be tempered safety glass

Pathria Residence
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First Floor Plan

A3

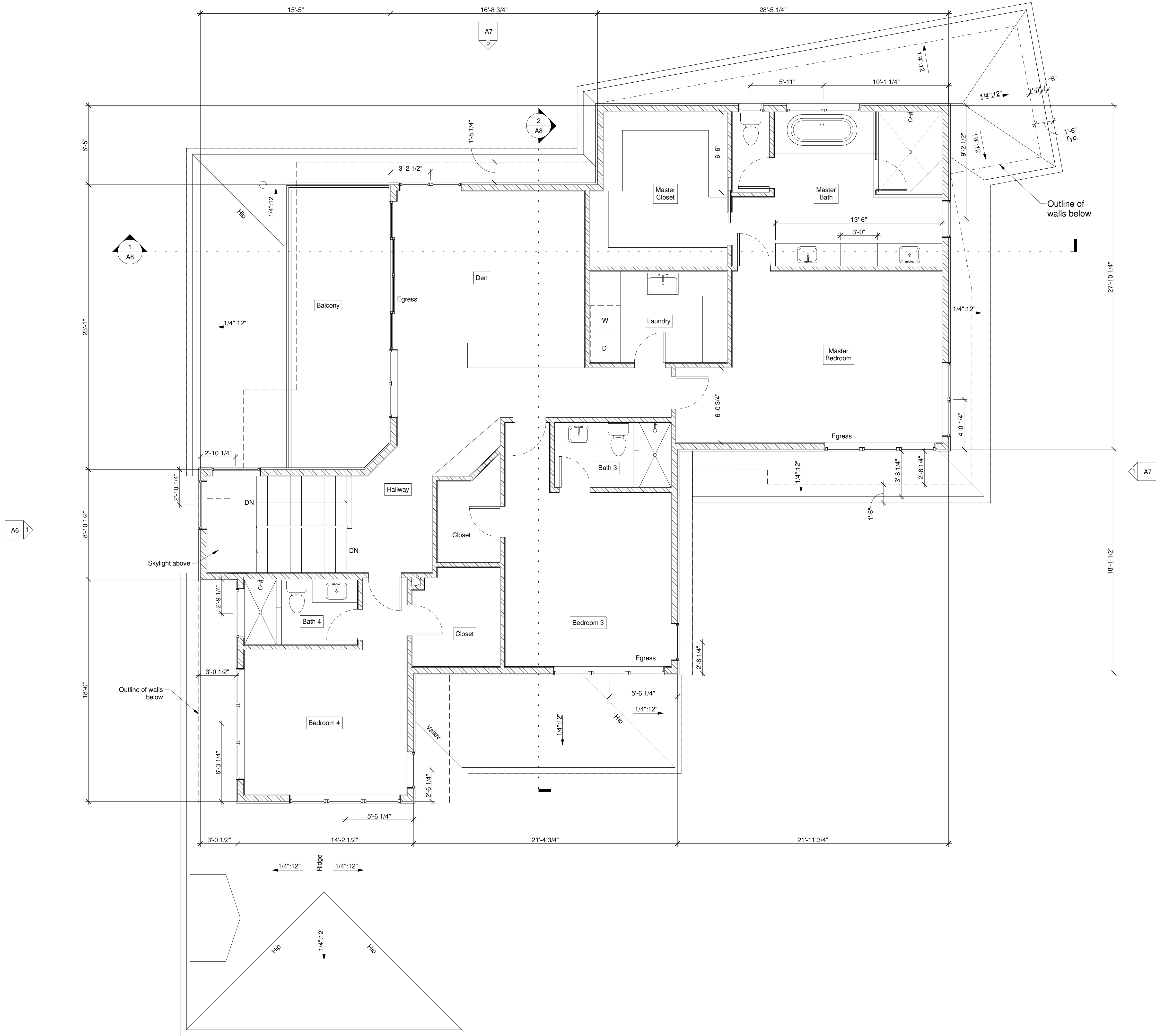
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architect:

sheet title:

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1 Second Floor Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.O.
2. All interior walls are Type "B" U.N.O., refer to structural drawings for framing information.
3. Contractor is to install MDF closet shelves and stainless steel clothing rods in each closet prior to completion of construction; unless directed by owner otherwise
4. Maintain MIN ceiling height of 6'-8" above stair nosings at all stairways
5. Balcony and patio slopes as noted on floor plans; Per Structural drawings, slopes to be achieved through either sloping actual framing joists or adding 2x tapered sleepers @ 16" O.C.; Sleepers to be glued/nailed to roof/deck joists as necessary; MIN slope 1/4" per ft., U.N.O.
6. All glass shower enclosures are to be tempered safety glass

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1127 loma avenue, coronado, ca 92118 p 619.522.9040

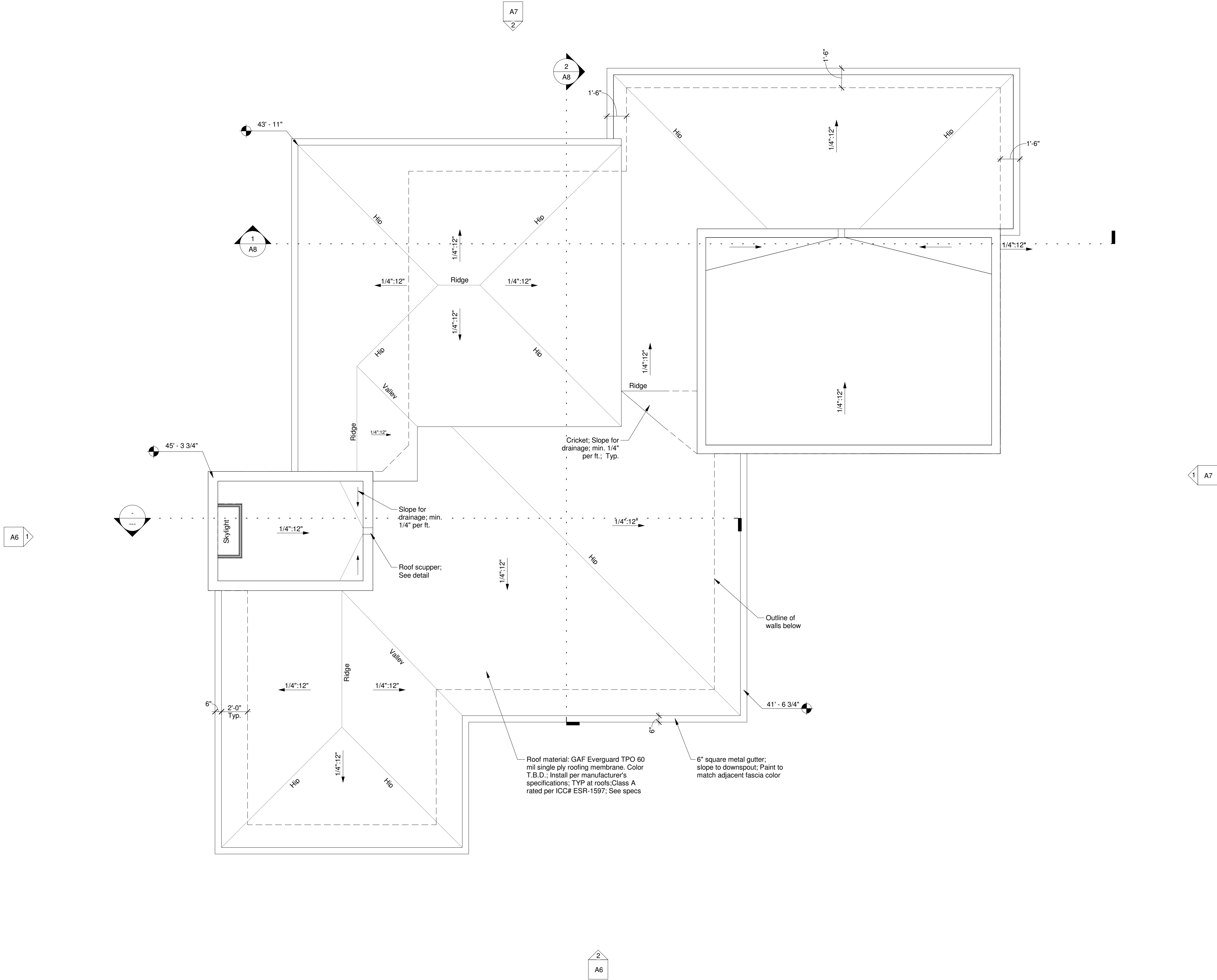


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August 01, 2017

revisions:		
revision	date	notes

Second Floor Plan

A4



1 Roof Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.O.
2. Roof ventilation openings shall be covered with corrosion resistant metal mesh with 1/8" min. to 1/4" max. openings.



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revisions:		
revision	date	notes

Roof Plan

A5

sheet title:

drawing number:

architect:

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project:

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037



1 West Elevation (Front)
1/4" = 1'-0"

Material Legend

Note: See T2 for material palette

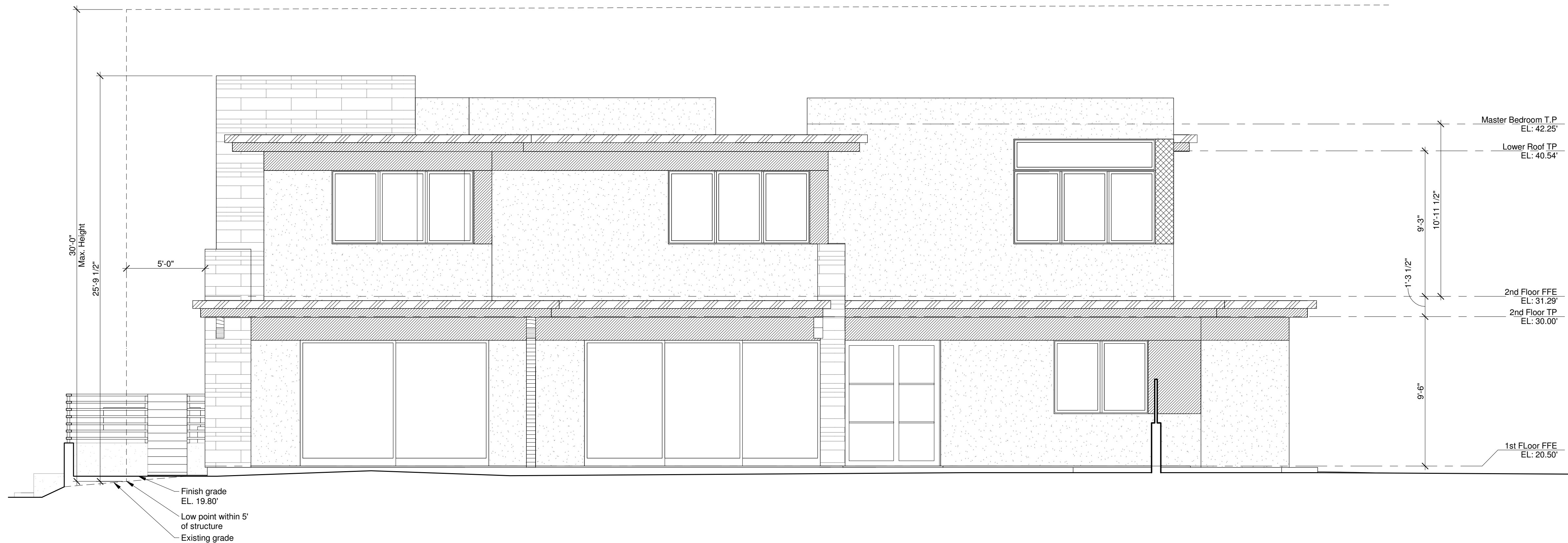
Material	Color
Stucco Clad Wall	"Gravity" by Omega
Stone Clad Wall	Natural Stone
Metal Panels	Match window/doors
Aluminum Windows and Doors	Bronze
Steel Post	"Urbane Bronze" by SW
Wood Beams at Roof Overhang	Doug. Fir; Stained
Metal Gutters	"Porpoise" by SW
Roof Fascia	Boral trim; Paint to match gutters
Metal Railing	"Urbane Bronze" by SW

legend

	Stucco
	Stone
	Metal Gutters
	Boral Trim
	Metal Panels
	Wood
	Doors and Windows
	Steel Post

General Elevation Notes

1. At front covered patios, provide MIN 2% positive drainage away from all portions of the structure.
2. See plot plan and Landscape plan for information pertaining to wood gates and fences.
3. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be a min. of 4" high with a min. stroke width of 1/2" per CFC Section 505.1.



2 South Elevation (Side)
1/4" = 1'-0"

Pathria Residence

7975 Calle De La Plata, La Jolla, CA 92037

project:

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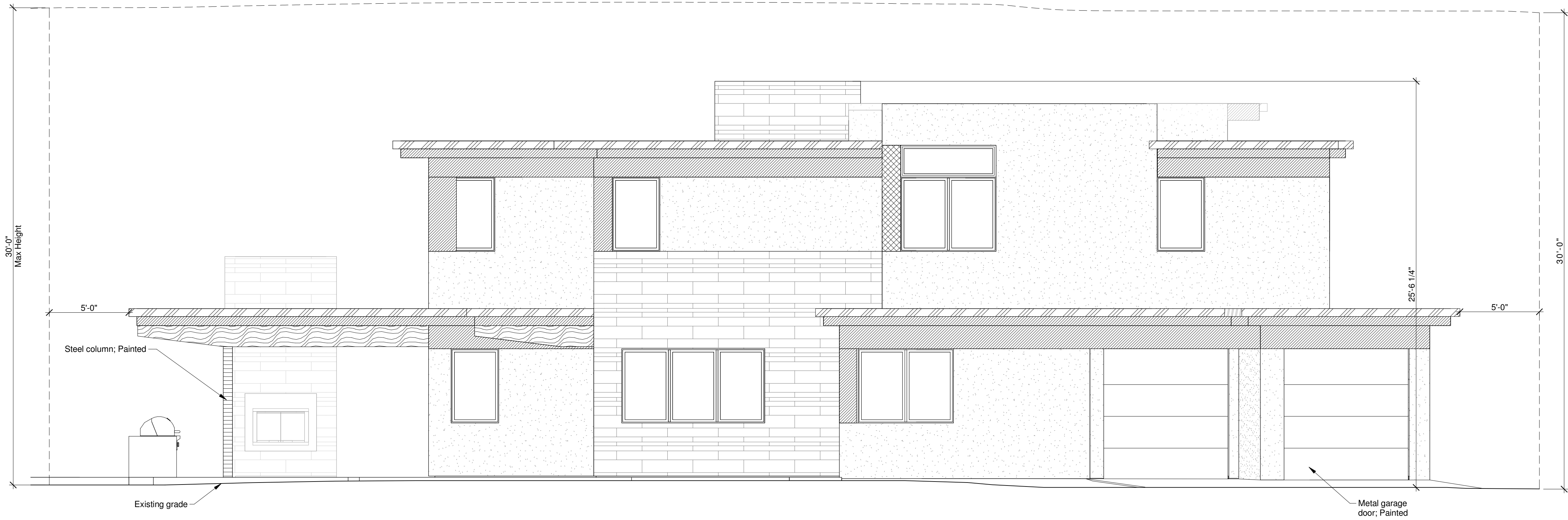
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A6

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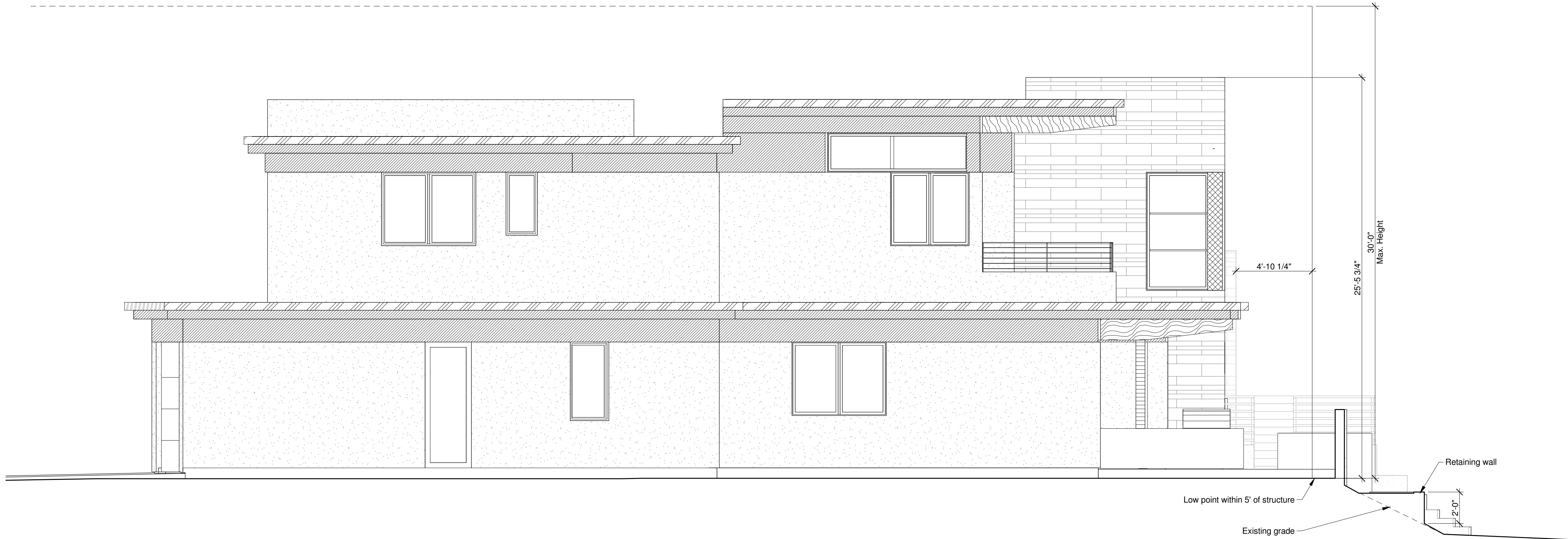
1 East Elevation (Rear)
1/4" = 1'-0"

legend

- Stucco
- Stone
- Metal Gutters
- Boral Trim
- Metal Panels
- Wood
- Doors and Windows
- Steel Post

General Elevation Notes

- At front covered patios, provide MIN 2% positive drainage away from all portions of the structure.
- See plot plan and Landscape plan for information pertaining to wood gates and fences.
- New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be a min. of 4" high with a min. stroke width of 1/2" per CFC Section 505.1.



2 North Elevation (Side)
1/4" = 1'-0"

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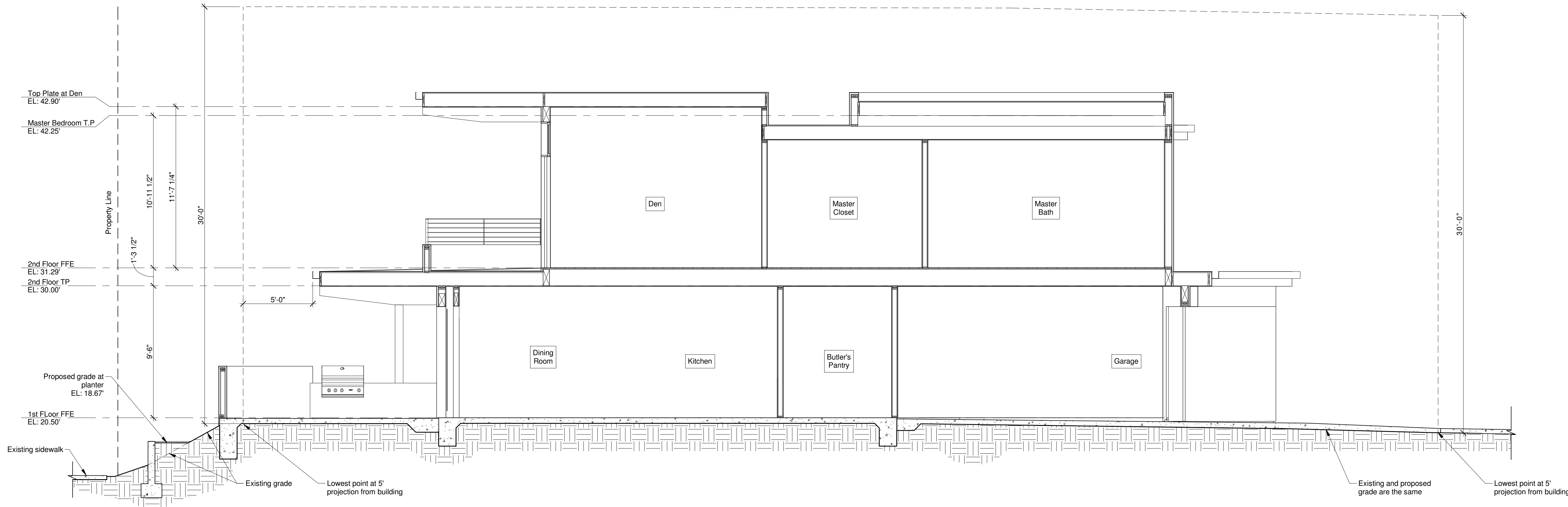


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drawing date:
August 01, 2017

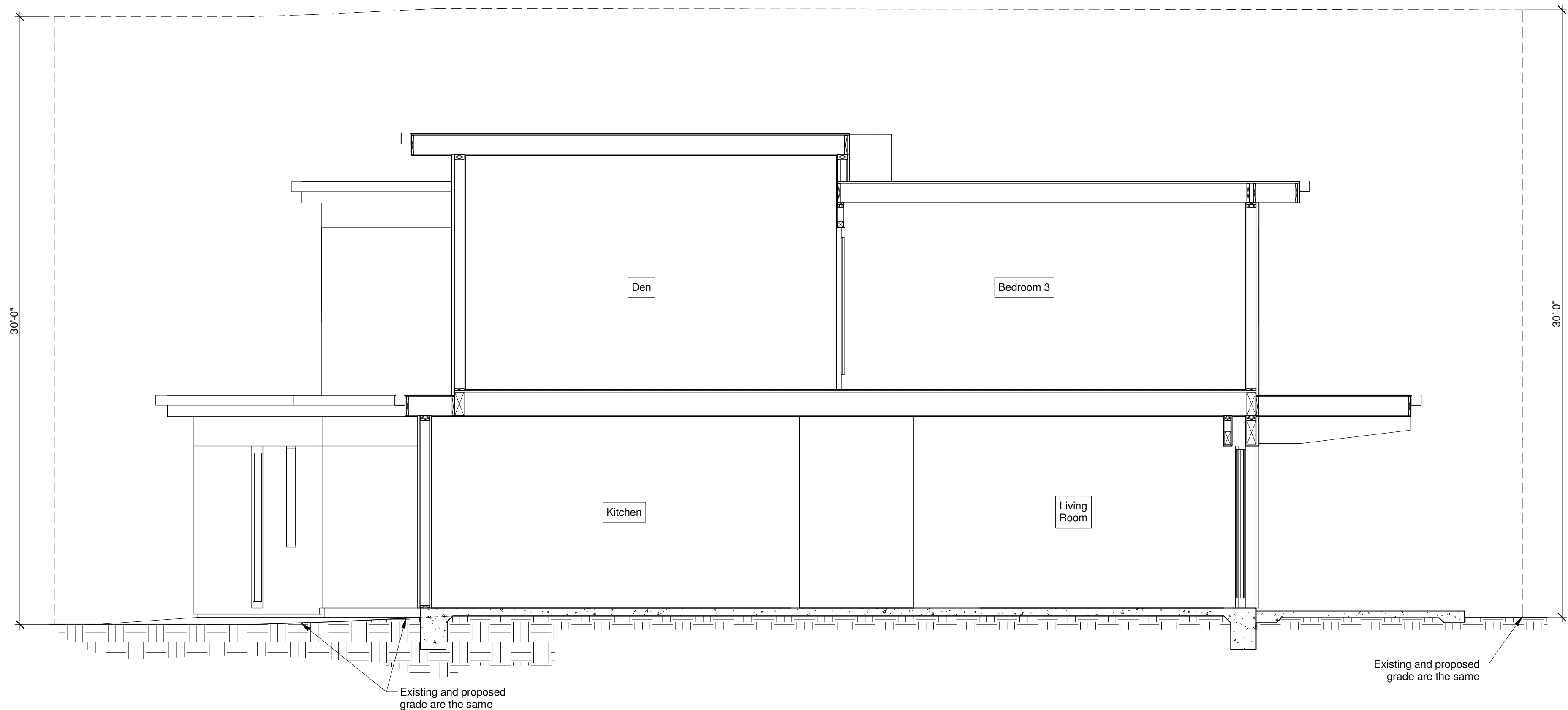
revisions:		
revision	date	notes

Building Elevations

A7



1 Building Section
1/4" = 1'-0"



2 Building Section
1/4" = 1'-0"

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
1127 loma avenue, coronado, ca 92118 p 619.522.9040



drawn by:
HA

drawing date:
August 01, 2017

revisions:

revision	date	notes

Building Section

A8

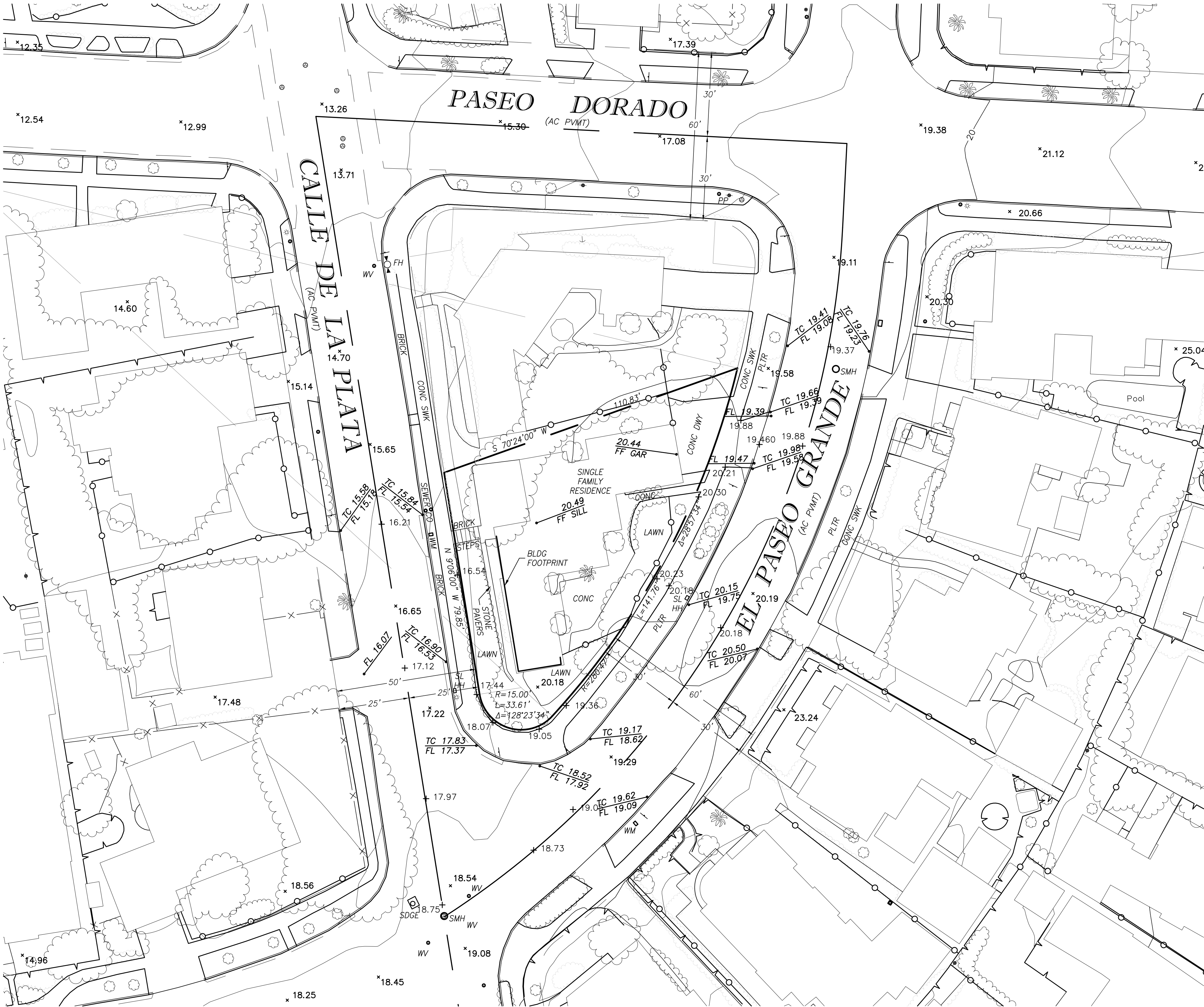
sheet: 10 of 10

project:

architect:

sheet title:

drawing number:

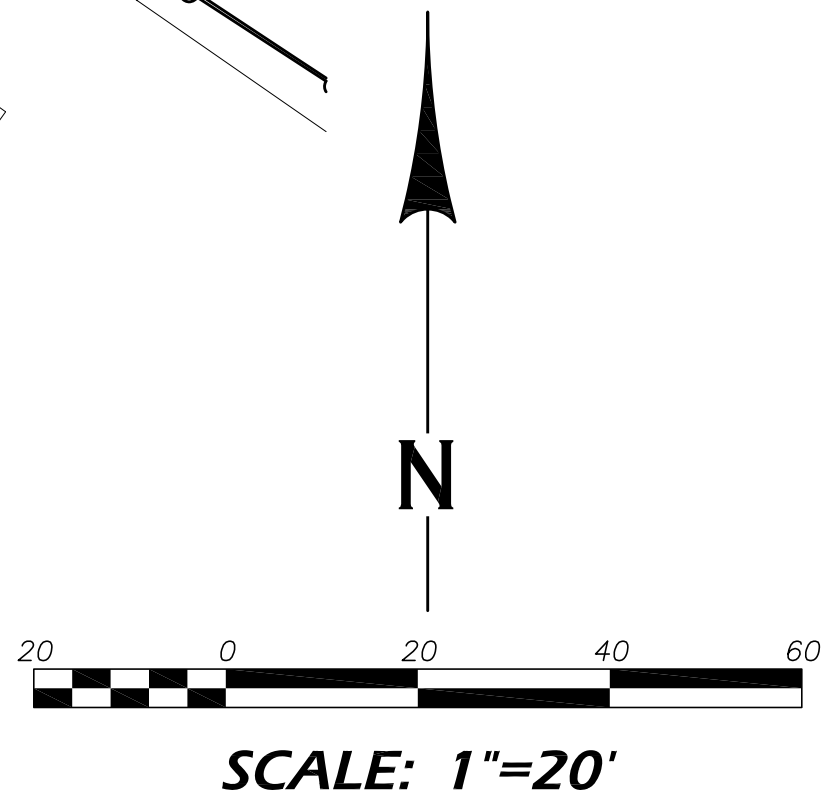


NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DERIVED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

SHEET INDEX

C.0.1 TOPOGRAPHIC SURVEY
C.0.2 TOPOGRAPHIC SURVEY 300' BOUNDARY



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
STREET CENTERLINE		
PROPERTY LINE - OFFSITE		
SPOT ELEVATION		100.00
EDGE OF PAVING		
P.C.C. CURB		BACK CURB
P.C.C. CURB & GUTTER		
RETAINING WALL		
CONTOUR		90
FENCE		
BRUSHLINE / TREE CANOPY		
POWER POLE		
WATER VALVE		
STREET SIGN		
LIGHT		
BUILDING FOOTPRINT W/ ROOF LINE		
TREE; PALM		
SEWER MANHOLE		SMH
STREET LIGHT HANDHOLE		SL HH
WATER METER		WM
POLE OR POST		

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	PP	POWER POLE
A.C.	ASBESTOS CEMENT	PVMT	PAVEMENT
CL	CENTER LINE	SMH	SEWER MANHOLE
CO	CONCRETE	SWK	SIDEWALK
CO	CLEANOUT	TC	TOP OF CURB
FF	FINISH FLOOR	TC	TOP OF GRATE
FL	FLOW LINE	VC	VITRIFIED CLAY
GNV	GROUND NOT VISIBLE	WM	WATER METER
PLTR	PLANTER	WV	WATER VALVE

LEGAL DESCRIPTION

SOUTHERLY PARCEL IN BLOCK 6 OF MAP 1913 PER R.O.S. MAP 1669.

APN: 346-502-02-00

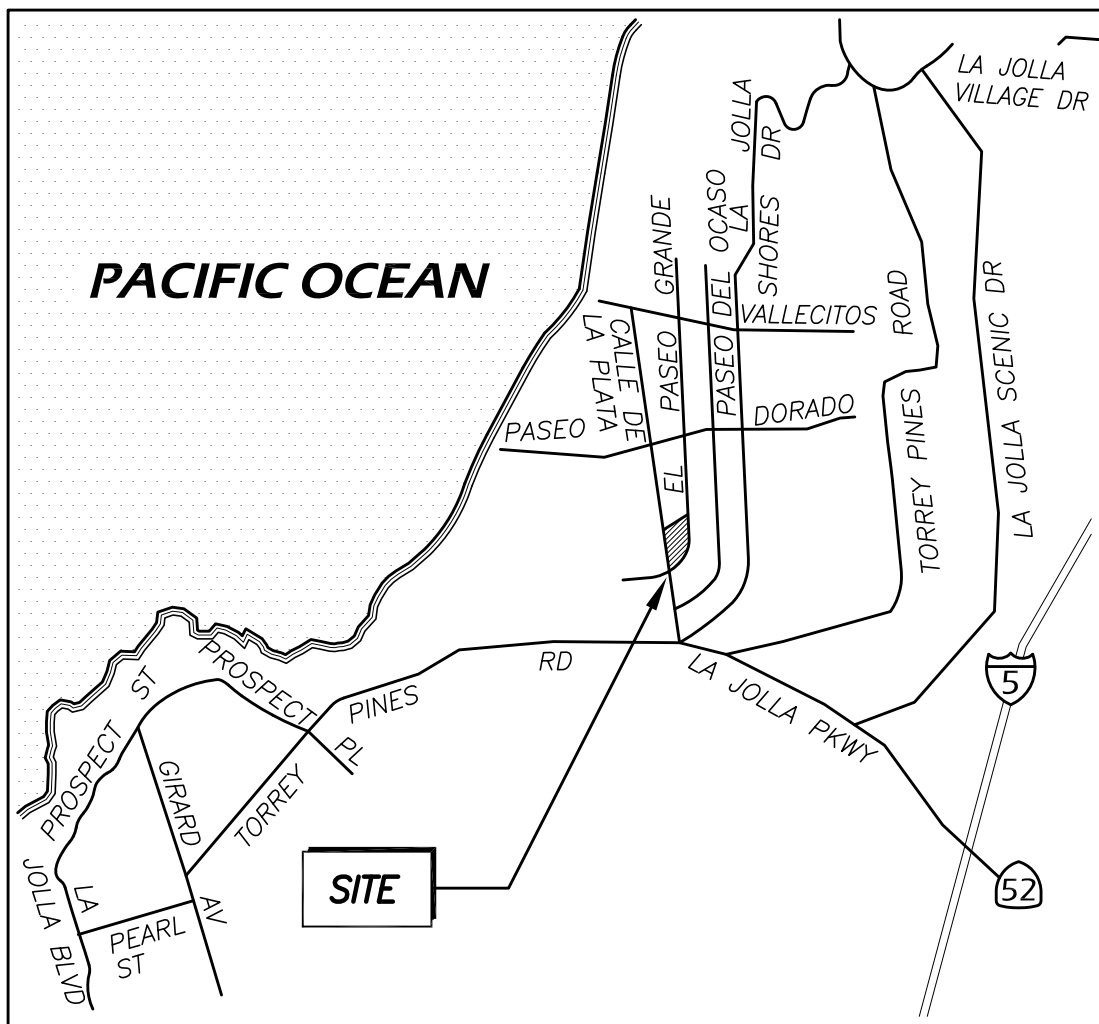
BENCHMARK

SEBP AT INTERSECTION OF CALLE DE LA PLATA AND EL PASO GRANDE PER CITY SAN DIEGO VERT BENCH BOOK.

EL = 18.905, NGVD 29

EASEMENTS

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. OTHER EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.



VICINITY MAP

THOMAS BROS. MAP 1227-H6
NO SCALE

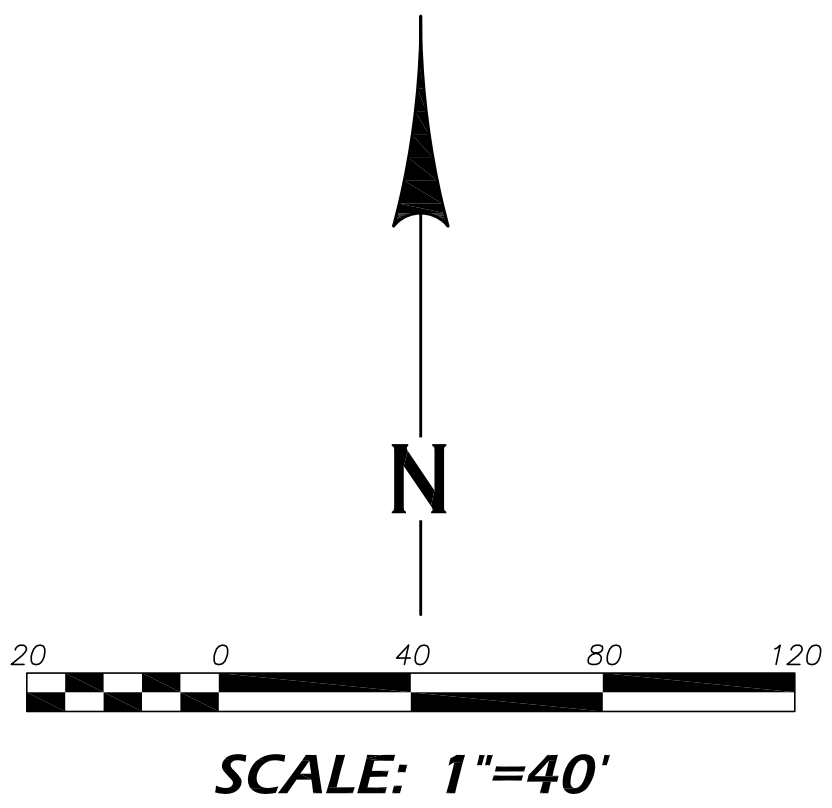
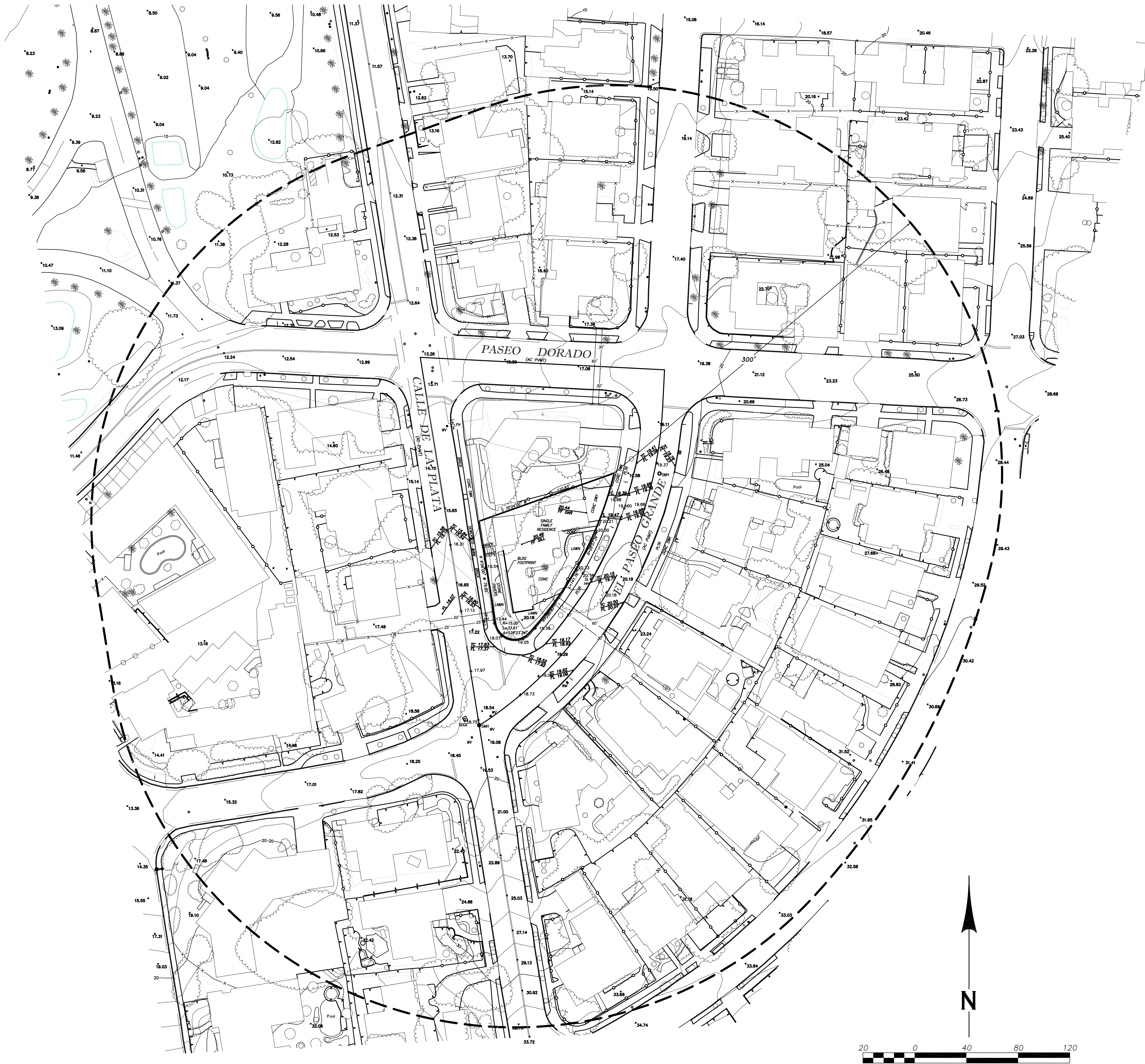
DRAWN BY:	DK
CHECKED BY:	JC
ORIGINAL	9/15/15
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

TOPOGRAPHIC SURVEY

SCALE: 1" = 20'

C.0.1

SHT 1 OF 2 SHTS



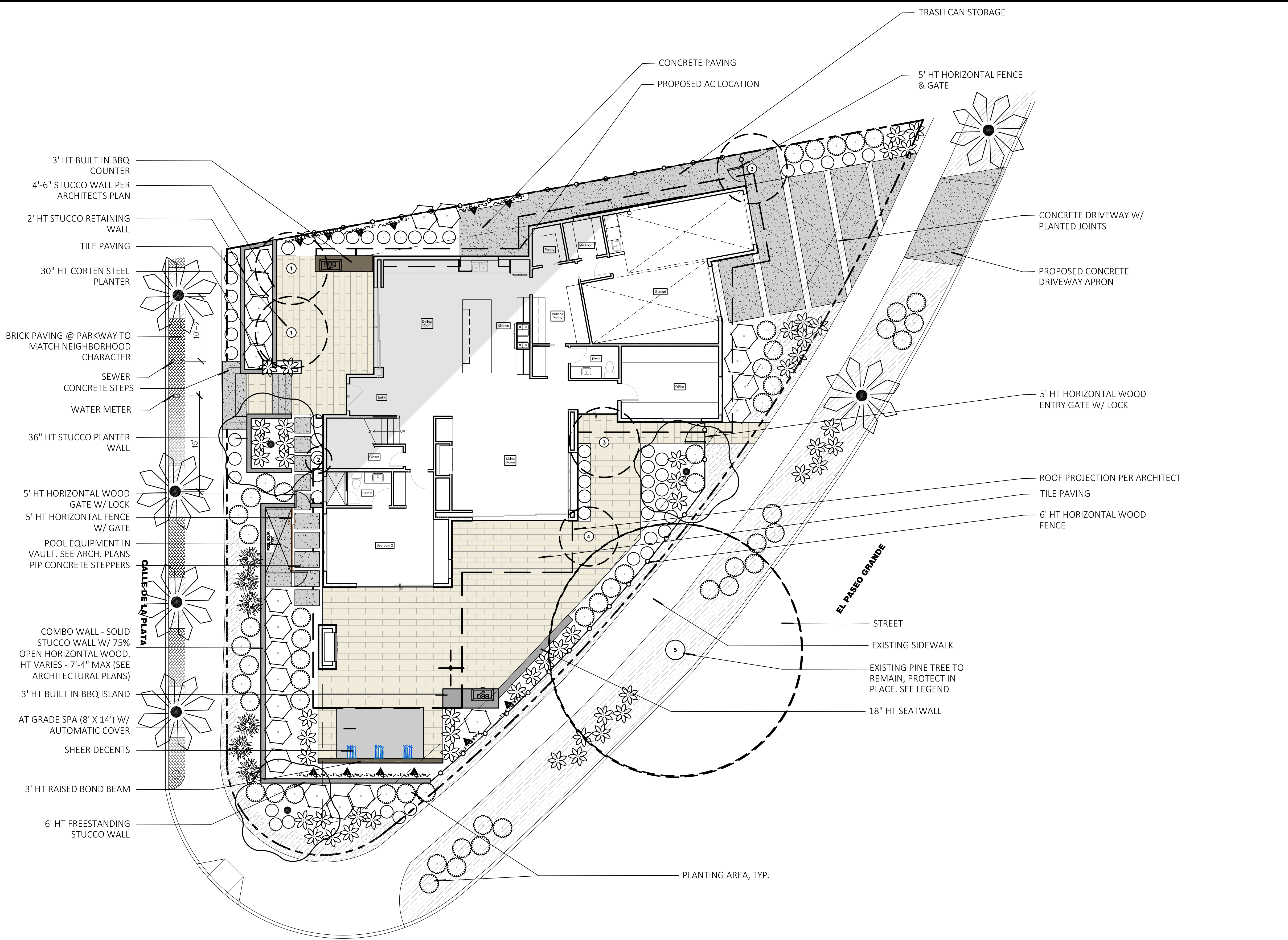
DATE OF SURVEY: 8/10/2015 SURVEYOR: R.M. CAUCHEY	TOPOGRAPHIC SURVEY
	300' BOUNDARY
	SCALE: 1" = 40'
	C.0.2
	SHT 1 OF 2 SHTS

WOODSTOCK RESIDENCE
7975 Calle de La Plata
La Jolla, CA 92037



COFFEY ENGINEERING, INC.
10660 SCRIPPS RANCH BLVD. SUITE 102, SAN DIEGO, CA 92131
PH (858) 831-0111 FAX (858) 831-0179

FILE NAME: G:\PATHRIA RESIDENCE\PATHRIA PSHT.DWG



SITE PLAN

SCALE: 1/8" = 1'-0"

DESIGN INTENT:

THE INTENT OF THE LANDSCAPE DESIGN IS TO PROVIDE A CONTEMPORARY LOOK THAT COMPLIMENTS THE DESIGN OF THE ARCHITECTURE WHILE AT THE SAME TIME CREATING CURB APPEAL AND USING PLANT MATERIAL AND BUILDING MATERIALS THAT COMPLIMENTS THE AESTHETIC OF THE NEIGHBORHOOD. THE PLANTING DESIGN CONSISTS OF DROUGHT TOLERANT PLANT MATERIAL WHICH UTILIZE LOW FLOW IRRIGATION. STREET TREES SHOWN ON THE DESIGN ARE COMPATIBLE WITH THE LA JOLLA COMMUNITY PLAN.

IRRIGATION DESIGN:

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0402(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

MAINTENANCE:

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE HOMEOWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT

LOW IMPACT DEVELOPMENT BMP:

THIS DESIGN UTILIZES PRECAST AND POURED IN PLACE CONCRETE WITH POURIOUS JOINTS. ROOF DRAINS WILL DISCHARGE BY UNDERGROUND PIPE AT THE STREET.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

NO TREES OR SHRUBS EXCEEDING THREE (3) FEET IN HEIGHT AT MATURITY SHALL EXIST WITHIN FIVE (5) FEET OF ANY PUBLIC WATER FACILITIES, OR WITHIN TEN (10) FEET OF ANY PUBLIC SEWER FACILITIES

PLANT CALCULATIONS

DESCRIPTION	REQUIRED	PROVIDED
STREE TREE FRONTAGE	1 PER 20'(298' = 15 TREES)	6 TREES
(PALMS)		

NOTE: ALL LANDSCAPING WILL BE NEW AND SHALL COMPLY WITH THE LANDSCAPE DEVELOPMENT REQUIREMENTS PER THE CITY OF SAN DIEGO. EXISTING TREES WITHIN PARKWAY WILL BE PROTECTED IN PLACE.

NOTE: A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL E 5 FEET, PER SDMC 142.0403(B)(5)

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



PAHTRIA RESIDENCE

7975 CALLE DE LA PLATA
LA JOLLA, CA

CONCEPTUAL PLAN

PREPARED

ANU & MEREDITH
PATHRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

PREPARED

LINEAR LANDSCAPE
ARCHITECTURE

JOE DODD, ASLA
3571 INGRAHAM ST.
SAN DIEGO, CA 92109

P | 888.203.6628

AUGUST 1 2017

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SHT

01

OF 3

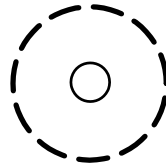
THIS SHEET IS TO SCALE ABOVE WHEN PRINTED AT 24"X36"

FILE NAME: G:\PATHRIA RESIDENCE\PATHRIA_PSHT.DWG

CONCEPT_PLANT_SCHEDULE

PROPOSED PLANTS						
QTY	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	MATURE SPREAD X HEIGHT	SIZE
3	SMALL ACCENT TREES ACACIA STENOPHYLLA OLEA EUROPAEA "FRUITLESS" PARKINSONIA X "DESERT MUSEUM"	SHOESTRING ACACIA FRUITLESS OLIVE PALO VERDE	WEeping MULTI-TRUNK BROAD/VASE	EVERGREEN ACCENT EVERGREEN ACCENT EVERGREEN ACCENT	20' X 30' 25' X 25' 25' X 25'	24" BOX/100%
6	STREET TREE ARCHONTOPHOENIX ALEXANDRAE	ALEXANDRA PALM	STANDARD	EVERGREEN PALM	10' X 40'	24" BOX/100% (10' BTH MIN)
22	FOUNDATIONS/SCREENING SHRUBS OLEA EUROPAEA "LITTLE OLLIE" LIGUSTRUM TEXANUM PITTOSPORUM TENUIFOLIUM "SILVER SHEEN" PODOCARPUS MACROPHYLLUS MAKI	DWARF OLIVE SHRUB TEXAS PRIVET PITTOSPORUM SHRUBBY YEW	ROUNDED UPRIGHT UPRIGHT UPRIGHT	EVERGREEN/FOUNDATION EVERGREEN/FOUNDATION EVERGREEN/FOUNDATION EVERGREEN/FOUNDATION	5' X 5' 6' X 9' 5' X 12' 4' X 12'	5 GAL/ 100%
56	MEDIUM SHRUBS POLYGALA FRUTICOSA "PETITE BUTTERFLY" SALVIA GREGGII "RED" SALVIA LEUCANTHIA "SANTA BARBARA" WESTRINGIA FRUTICOSA "MORNING LIGHT"	SWEET PEA SHRUB AUTUMN SAGE MEXICAN SAGE BUSH COAST ROSEMARY	ROUNDED ROUNDED ROUNDED ROUNDED	EVERGREEN/MASSING EVERGREEN/MASSING EVERGREEN/MASSING EVERGREEN/MASSING	3' X 3' 3' X 4' 3' X 4' 6' X 4'	5 GAL/ 100%
6	ORNAMENTAL GRASSES CHONDROPETALUM TECTORUM "EL CAMPO" HELICTOTRICHON SEMPERVIRENS LEYMUS CONDENSATUS "CANYON PRINCE" LOMANDRA LONGIFOLIA "BREEZE" MUHLENBERGIA CAPILLARIS "REGAL MIST"	CAPE RUSH BLUE OAT GRASS NATIVE BLUE RYE DWARF MAT RUSH MUHLY GRASS	CAPE RUSH FULL SWORD SHAPED WEeping FULL	MASSING MASSING MASSING MASSING MASSING	4' X 3' 3' X 3' 3' X 4' 3' X 3' 3' X 3'	5 GAL/ 100%
42	ACCENT SHRUBS ANIGOZANTHOS FLAVIDUS "BUSH RANGER" CORDYLUNE X "FESTIVAL GRASS" AGAVE ATTENUATA PHORMIUM X "YELLOW WAVE"	KANGAROO PAW DRACAENA FOXTAIL AGAVE NEW ZEALAND FLAX	VASE SHAPED WEeping RADIAL SWORD SHAPED	ACCENT/COLOR ACCENT/COLOR ACCENT/COLOR ACCENT/COLOR	2' X 2' 2' X 2' 4' X 3' 3' X 3'	5 GAL/ 100%
55	SMALL SHRUBS ASPARAGUS MEYERI CALLISTEMON VIMINALIS "LITTLE JOHN" DIANELIA TASMANICA KNIPHOFIA UVARIA "ORANGE" TAGETES LEMMONII "COMPACTA"	FOXTAIL FERN DWARF BOTTLEBRUSH FLAX LILY ORANGE HOT POKER COPPER CANYON DAISY	SWORD SHAPED MOUNDING SWORD SHAPED VASE SHAPED MOUNDING	ACCENT/COLOR ACCENT/COLOR ACCENT/COLOR ACCENT/COLOR ACCENT/COLOR	2' X 2' 4' X 4' 2' X 2' 2' X 2' 3' X 3'	5 GAL/ 50% 1 GAL/ 50%
12	STREET TREE BOUGAINVILLEA X "LA JOLLA" HARDENBERGIA VIOLACEA	LA JOLLA BOUGAINVILLEA PURPLE LILAC VINE	TRELLISING VINE TRELLISING VINE	ACCENT/COLOR ACCENT/COLOR	VARIES VARIES	5 GAL/ 100% 5 GAL/ 100%
	LOW GROWING GROUNDCOVER CAREX TUMULICOLA DYMONDIA MARGARETAE	BERKELEY SEDGE DYMONDIA	CLUMPING CLUMPING	GROUNDCOVER GROUNDCOVER	18" X 18" 6" X 12"	1 GAL/ 60% FLATS/ 40%
	SPREADING GROUNDCOVER LANTANA MONTEVIDENSIS "WHITE LIGHTNIN" TRACHELOSPERMUM JASMINOIDES "STAR"	TRAILING LANTANA STAR JASMINE	SPREADING SPREADING	GROUNDCOVER GROUNDCOVER	4' X 2' 6' X 2'	FLATS/ 100%

EXISTING PLANT LEGEND



	BOTANICAL NAME	COMMON NAME	CALIPER	CONDITION
①	MAGNOLIA SSP	MAGNOLIA	30"	TO BE REMOVED
②	PODOCARPUS HENKLEI	SHRUBBY YEW	12"	TO BE REMOVED
③	LAGERSTROEMIA SSP	CAPE MYRTLE	12"	TO BE REMOVED
④	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	40"	TO BE REMOVED
⑤	FINUS HALEPENSIS	ALEPPO PINE	115"	TO REMAIN

NOTE:
• ALL EXISTING SHRUBS, TREES, AND GROUNDCOVERS TO BE REMOVED UNLESS OTHERWISE NOTED

PAHTRIA RESIDENCE

7975 CALLE DE LA PLATA
LA JOLLA, CA

PLANTING LEGEND

PREPARED

ANU & MEREDITH
PATHRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

PREPARED

LINEAR LANDSCAPE
ARCHITECTURE

JOE DODD,ASLA
3571 INGRAHAM ST.
SAN DIEGO, CA 92109

P | 888.203.6628

AUGUST 1 2017

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OF 3

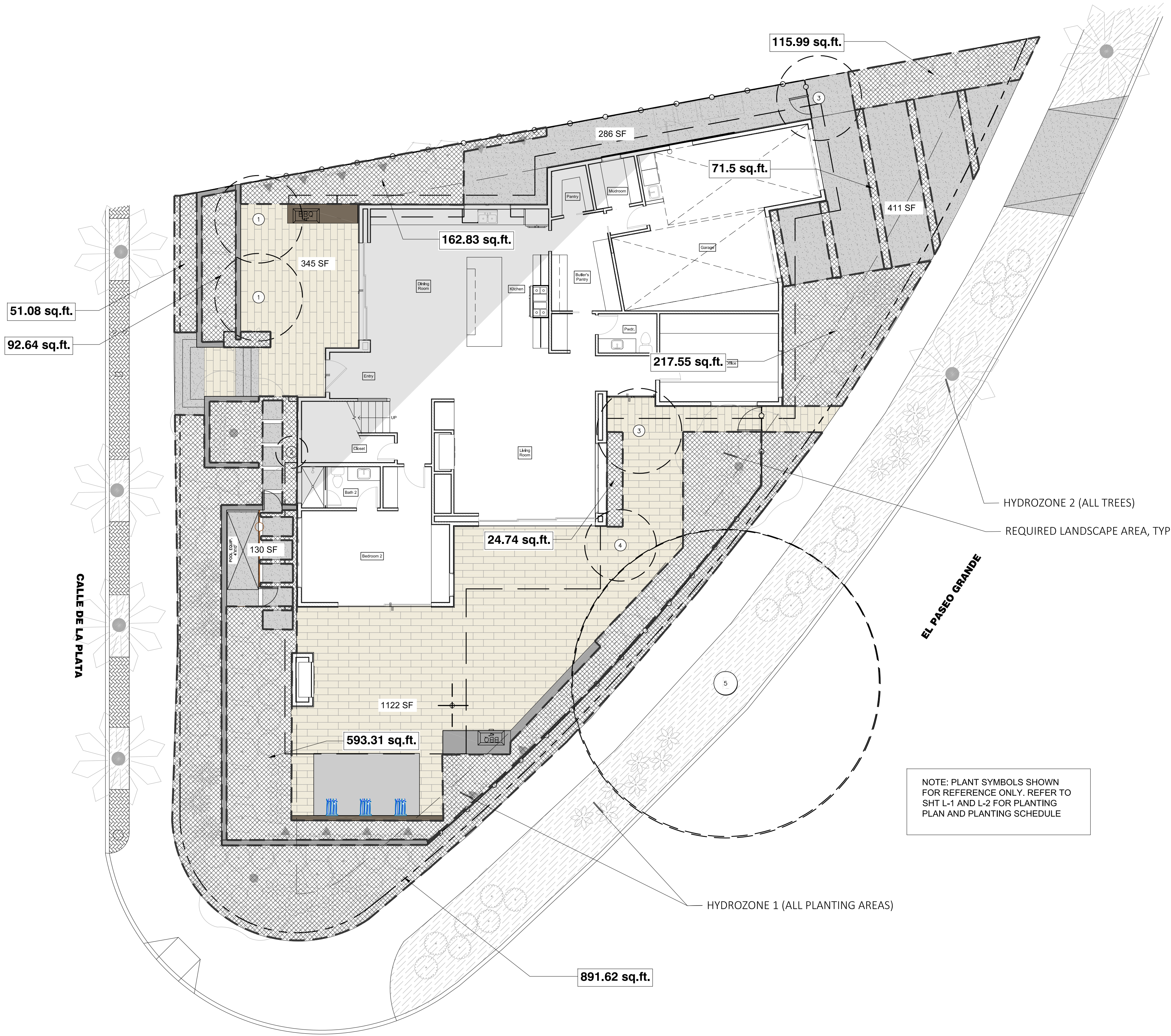
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THIS SHEET IS TO SCALE UNLESS OTHERWISE NOTED

FILE NAME: G:\PATHRIA RESIDENCE\PATHRIA_PSH1.DWG

LANDSCAPE DIAGRAM



SCALE: 1/8" = 1'-0"

LANDSCAPE AREA

REQUIRED LANDSCAPE AREA PROVIDED - 2221.26 SF (30.8%)
MIN. REQUIRED LANDSCAPE = 30% = 2161 SF

LOT AREA: 7,206 SF
HOUSE FOOTPRINT: 2,560 SF
TOTAL HARDSCAPE: 2294 SF

WATER BUDGET

WATER EFFICIENT LANDSCAPE WORKSHEET								
Irrigation Point of Connection (P.O.C.) 1								
REFERENCE EVAPOTRANSPIRATION (ETO)		41						
Hydro zone #	Planting Description	Plant Factor (average) (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU)
REGULAR LANDSCAPE AREAS								
1	MEDIUM WATER	0.50	DRIP	0.90	0.45	3466	1559.59	39645
2	MEDIUM WATER	0.50	BUBBLER	0.85	0.43	234	99.45	2528
								0
								0
								0
TOTAL						3700	1659.04	
SPECIAL LANDSCAPE AREAS								
					1.00	108	108.00	2745
								0
TOTAL						108	108	
ETWU TOTAL							44918	
MAXIMUM WATER ALLOWANCE (MAWA)							52962	
IRRIGATION EFFICIENCY (IE) AVERAGE							73.1	

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			
ET o =	41 in/yr	RESIDENTIAL	0.55
LA =	3700 sq ft	NON RESIDENTIAL	0.45
SLA =	108 sq ft		
ETAF =	0.55		
MAWA = $\frac{(Eto)(0.62)[ETAF \times LA] + (1 - ETAF) \times SLA}{(Eto)(0.62)[(0.55 \times LA) + (1 - 55) \times SLA]}$			
MAWA =	41 (0.62)[(0.55x 3699.76	+	0.45 X 108
MAXIMUM APPLIED WATER ALLOWANCE= 52961.8 gal. per year			

ETAF				
	TOTAL ETAF x AREA	TOTAL AREA	AVERAGE ETAF	SITEWIDE ETAF
REGULAR LANDSCAPE AREAS	1659.04	3700	0.45	
ALL LANDSCAPE AREAS	1767.04	3808	n/a	0.46
ETAF				
Residential	0.55 or below			
Non-residential	0.45 or below			

Hydrozone Category	PF-Plant Factor
High Water Use	0.7-1.0
Moderate Water Use	0.4-0.6
Low Water Use	0.1-0.3
Very Low Water Use	0-0.1
Special Landscape Area	1.00
Reclaimed water = Special Landscape Area	
*Artificial Turf & Temporary Irrigated areas = low water	
Irrigation Method Code IE - Irrigation Efficiency	
Filler Pipe for Pools/Spa	1.00
Drip/Subsurface	0.90
Bubblers	0.85
Rotors	0.75
Rotators	0.70
Overhead Spray	0.60

PAHTRIA RESIDENCE

7975 CALLE DE LA PLATA
LA JOLLA, CA

LANDSCAPE DIAGRAM

PREPARED

ANU & MEREDITH
PATHRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

PREPARED

LINEAR LANDSCAPE
ARCHITECTURE

JOE DODD, ASLA
3571 INGRAHAM ST.
SAN DIEGO, CA 92109

P | 888.203.6628

AUGUST 1 2017

L-3

SHT

OF 3

LINEAR
LANDSCAPE ARCHITECTURE
IRRIGATION DESIGN + CONSULTING

3571 INGRAHAM STREET
SAN DIEGO, CA 92109
WWW.LINEARLANDARCH.COM



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Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037
christian rice architects, Inc.



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Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037
christian rice architects, Inc.

January 17, 2018

Hector Aramburo
Christian Rice Architect
1127 Loma Avenue
Coronado, CA 92118

Subject: Pathria Residence CDP/SDP, Assessment Letter; Project No. 566727;
Internal Order No. 24007419; La Jolla Community Plan area.

Dear Mr. Aramburo:

The Development Services Department has completed the initial review of the project referenced above, and described as:

Coastal Development Permit and Site Development Permit for the demolition of an existing single family residence and construct a 3,995 square-foot, two story, single family residence on a 0.15-acre property. The project site is located at 7975 Calle de la Plata, within the SF Zone of the La Jolla Shores Planned District, Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone, Residential Tandem Parking Overlay Zone, Transit Priority Area Overlay Zone and within the La Jolla Community Plan area.

Enclosed is a Cycle Issues Report (Enclosure 1) which contains review comments from staff representing various disciplines, outside agencies and the community planning group. The purpose of this assessment letter is to summarize the significant project issues and identify a course of action for the processing of your project.

If any additional requirements should arise during the subsequent review of your project, we will identify the issue and the reason for the additional requirement. To resolve any outstanding issues, please provide the information that is requested in the Cycle Issues Report. If you choose not to provide the requested additional information or make the requested revisions, processing may continue. However, the project may be recommended for denial if the remaining issues cannot be satisfactorily resolved and the appropriate findings for approval cannot be made.

The Development Services Department will generally formulate a formal recommendation for your project subsequent to completion of the following milestones: 1) After the City Council recognized Community Planning Group has provided a formal project recommendation; 2) After all City staff project-review comments have been adequately addressed; and 3) During the final stages of the environmental review process.

As your Development Project Manager, I will coordinate all correspondence, emails, phone calls, and meetings directly with the applicants assigned "Point of Contact." The addressee on this letter has been designated as the Point of Contact for your project. Please notify me if you should decide to change your Point of Contact while I am managing this project.

I. REQUIRED APPROVALS/FINDINGS: Your project as currently proposed requires the processing of:

- **Required approvals:** Process 3 - A Coastal Development and Site Development Permit (CDP & SDP Process Three, Hearing Officer as decision-maker, appealable to Planning Commission) in accordance with SDMC Sections 126.0702 and 1510.0201.

All actions will be consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in Municipal Code Section 112.0103. The decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer.

Required Findings: In order to recommend approval of your project, certain findings must be substantiated in the record. Enclosure 2 contains the required findings.

II. SIGNIFICANT PROJECT ISSUES: The significant project issues are summarized below. Resolution of these issues could affect your project. Additional explanation is provided in the Cycle Issues Report.

Key Issues:

Photo Simulation of Public View - Appendix G of the community plan identifies the portion of La Jolla Shores Drive east of the project site as a "Scenic Roadway" with partially obstructed views over private properties and down public right-of-ways. Please provide a photo survey from La Jolla Shores Drive looking directly west of through the property. If the ocean can be seen, provide a photo simulation of the proposed project and show how the project will preserve the public views.

Archeological Survey - The project site is located in the La Jolla Shores Archaeological Study Area which includes the area west of La Jolla Shores Drive/Torrey Pines Road, south to Prospect and north to the Scripps Institute parking lot. Projects within these boundaries are subject to review for potential impacts to archaeological and Native American Cultural Resources in accordance with the City's Historical Resources Regulations and Guidelines. Please submit an archeological survey for the next round of reviews. The report should be conducted in compliance with the City Historical Resources Guidelines.

Revised Climate Action Plan Checklist - A narrative is required. Please provide an explanation for answers.

Water Quality Study – Please submit a Water Quality Study that Identifies Pollutants from the Project Area and addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project.

Preliminary Drainage Study - Submit a Preliminary Drainage Study which addresses the existing and proposed storm water runoff and discharge locations for the project site. The report must address the adequacy of down-stream system(s) and demonstrate that no adverse impacts will occur as a result of proposed development.

Driveway Width - On Site Plan A-1, call out to replace existing driveway with a 12 foot standard driveway per current City Standard (Project is located within Parking Impact Overlay Zone).

- III. **STUDIES/REPORTS REQUIRED:** A number of documents have been identified as necessary to the project's review. Reference the attached Submittal Requirements Report (Enclosure 3). As mentioned above, if the Archeological Survey, a revised CAP Checklist, Water Quality Study and Preliminary Drainage Study.
- IV. **PROJECT ACCOUNT STATUS:** Our current accounting system does not provide for real-time information regarding account status, however, our records show approximately \$ 3,666.96 billed to date. Based on the processing point, unresolved issues, and level of controversy of your project, no additional deposit is needed at this time.

During the processing of your project, you will continue to receive statements with the break-down of staff charges to your account. Should you have questions about those charges, please feel free to contact me directly.

V. **TIMELINE: A formal resubmittal is required. From a timeline stand point, the submittal and review of the requested items from LDR-Planning, LDR-Engineering Plan-Historical and LDR-Environmental are key. Until the requested Water Quality Study, Archeological Survey, Preliminary Drainage Study, Additional Historical Information and revised Climate Action Plan Checklist has been provided, Environmental Analysis Section cannot make an environmental determination. The City also recommends that you receive a recommendation from the La Jolla Community Planning Association prior to scheduling Hearing Officer public hearing for approval.**

Upon your review of the attached Cycle Issues Report, you may wish to schedule a meeting with staff and your consultants prior to resubmitting the project. Please telephone me if you wish to schedule a meeting with staff. During the meeting, we will also focus on key milestones that must be met in order to facilitate the review of your proposal and to project a potential timeline for a hearing date. Your next review cycle should take approximately 21 days to complete.

Municipal Code Section 126.0114 requires that a development permit application be closed if the applicant fails to submit or resubmit requested materials, information, fees, or deposits within 90 calendar days. Once closed, the application, plans and other data submitted for review may be returned to the applicant or destroyed. To reapply, the applicant shall be required to submit a new development permit application with required submittal materials, and shall be subject to all applicable fees and regulations in effect on the date the new application is deemed complete.

If you wish to continue processing this project, please note that delays in resubmitting projects and/or responding to City staff's inquiries negatively impact this Department's ability to effectively manage workload, which can lead to both higher processing costs and longer timelines for your project.

VI. RESUBMITTALS/NEXT STEPS: Resubmittals are done on a walk-in basis. Please check in on the third floor of the Development Service Center (1222 First Avenue). Please be prepared to provide the following:

A. Plans and Reports: Provide the number of sets of plans and reports as shown on the attached Submittal Requirements Report. The plans should be folded to an approximate 8 ½ x 11 inch size.

B. Response to Cycle Issues Report: Prepare a cover letter that specifically describes how you have addressed each of the issues identified in the Cycle Issues Report and any issues identified in this cover letter, if applicable. Or, you may choose to simply submit the Cycle Issues Report, identifying within the margins how you have addressed the issue. If the issue is addressed on one or more sheets of the plans or the reports, please reference the plan, sheet number, report or page number as appropriate. If it is not feasible to address a particular issue, please indicate the reason. Include a copy of this Assessment Letter, Cycle Issues Report and your response letter if applicable, with each set of plans.

C. Deposit Account: Our most recent records show that there is a balance of \$6,333.04 in the deposit account for your project. However, please be advised that the cost of this review has not been posted to your account, and it may take four to six weeks to post these charges to the account. Statements are mailed to the Financially Responsible Party for this project on a monthly basis.

If an invoice is attached to this letter, you will need to pay the invoice prior to resubmitting your project. Additional deposits can be made online through Open DSD by entering your project number in the Project ID field: <http://opensds.sandiego.gov/web/approvals/>. Invoices can be paid online by searching for the invoice number: <http://opensds.sandiego.gov/web/invoices/> or in person at the Cashier, located on the 3rd Floor of the Development Services Center.

San Diego County Clerk Fee: The San Diego County Clerk now requires \$50.00 to post the required public notice informing the public that a draft environmental document has been

prepared. A check made out to the San Diego County Clerk for this amount will be required prior to the distribution of the draft environmental document for public review.

D. CEQA Filing Fees: A California Environmental Quality Act (CEQA) Notice of Determination (NOD) must be filed within five working days after the project's approval and all appeal periods have been exhausted. Filing the NOD would start a 30-day statute of limitations on legal court challenges to the approval under CEQA. The NOD must be accompanied by a California Department of Fish and Wildlife Fee (CDFG) filing fee or a CDFW "No Effect" form, and a San Diego County document handling fee.

If the applicant believes or has evidence (e.g. aerial images, photographs, etc.) to verify that the project will have no effect on fish and wildlife, please consult the process for "No Effect Determination" on the California Department of Fish and Wildlife web site:

<https://www.wildlife.ca.gov/Conservation/CEQA/NED>. San Diego is in South Coast Region 5 and forms may be submitted via email to: R5NoEffect@dfg.ca.gov

Prior to scheduling your project for a decision, the following must be forwarded to me to be filed with the CEQA NOD:

- The **original** approved CDFW "No Effect" Form and a check for \$50 (handling fee) made payable to the "San Diego County Clerk". -or-
- A check, payable to the "San Diego County Clerk" in the amount of \$2,266.25 (\$2,216.25 CDFW fee + \$50 handling fee) if a Negative Declaration or a Mitigated Negative Declaration was prepared for your project; **or** \$3,128.25 (\$3,078.25 CDFW Fee + \$50 handling fee) if an Environmental Impact Report was prepared for your project. Please include your project number on the check.

A receipt for the fee and a copy of the CDFW "No Effect" Form or NOD will be forwarded to you after the 30-day posting requirement by the County Clerk.

E. Records Fee: Prior to scheduling your project for a decision you must pay the Records Fee to cover the cost of imaging and archiving your complete project record electronically (see Information Bulletin 503). I will contact you regarding this fee in the future, closer to the public hearing date.

VII. COMMUNITY PLANNING GROUP: Staff provides the decision maker with the recommendation from your locally recognized community planning group. If you have not already done so, please contact Bob Steck, Chairperson of the La Jolla Community Planning Association, at (858) 456-7900 to schedule your project for a recommendation from the group. If you have already obtained a recommendation from the community planning group, in your resubmittal, if applicable, please indicate how your project incorporates any input suggested to you by the community planning group.

Information Bulletin 620, "Coordination of Project Management with Community Planning Committees" (available at <http://www.sandiego.gov/development-services>), provides some

valuable information about the advisory role the Community Planning Group. Council Policy 600-24 provides standard operating procedures and responsibilities of recognized Community Planning Committees and is available at <http://www.sandiego.gov/city-clerk/officialdocs/index.shtml>.

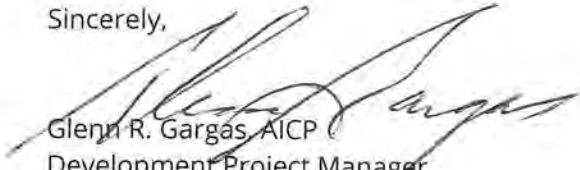
VIII. STAFF REVIEW TEAM: Should you require clarification about specific comments from the staff reviewing team, please contact me, or feel free to contact the reviewer directly. The names and telephone numbers of each reviewer can be found on the enclosed Cycle Issues Report.

In conclusion, please note that information forms and bulletins, project submittal requirements, and the Land Development Code may be accessed on line at <http://www.sandiego.gov/development-services>. Many land use plans for the various communities throughout the City of San Diego are now available on line at <http://www.sandiego.gov/planning/community/profiles/index.shtml>.

Open DSD: To view project details online, visit: <http://www.sandiego.gov/development-services/opendsd/>.

For modifications to the project scope, submittal requirements or questions regarding any of the above, please contact me prior to resubmittal. I may be reached by telephone at (619) 446-5142 or via e-mail at ggargas@sandiego.gov.

Sincerely,



Glenn R. Gargas, AICP
Development Project Manager

Enclosures:

1. Cycle No. (2 & 6) Issues Report
2. Required Findings
3. Submittal Requirements Report

cc: File
Bob Steck, La Jolla Community Planning Association
Reviewing Staff (Assessment letter only)
Marlon Pangilinan (via email)

Revised 2-29-16 pjf

Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

1/17/18 4:26 pm

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L64A-003A

Project Information

Project Nbr: **566727** Title: Pathria Residence CDP/SDP
Project Mgr: Gargas, Glenn (619) 446-5142 ggargas@sandiego.gov



Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 11/22/2017 Deemed Complete on 11/22/2017
Reviewing Discipline: LDR-Planning Review **Cycle Distributed:** 11/27/2017
Reviewer: Goossens, Kyle **Assigned:** 11/27/2017
(619) 446-5475 **Started:** 11/28/2017
Kgoossens@sandiego.gov **Review Due:** 12/22/2017
Hours of Review: 12.00 **Completed:** 12/22/2017 **COMPLETED ON TIME**
Next Review Method: Submitted (Multi-Discipline) **Closed:** 01/17/2018

- The review due date was changed to 01/04/2018 from 01/04/2018 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- We request a 2nd complete submittal for LDR-Planning Review on this project as: Submitted (Multi-Discipline).
- The reviewer has requested more documents be submitted.
- Your project still has 20 outstanding review issues with LDR-Planning Review (all of which are new).
- Last month LDR-Planning Review performed 67 reviews, 82.1% were on-time, and 41.8% were on projects at less than < 3 complete submittals.

1st review

Project Information

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	The proposed project is to demolish an existing single dwelling unit and construct a new two-story single dwelling unit. (New Issue)
<input type="checkbox"/>	2	The project site is located at 7975 Calle de la Plata within the La Jolla Community Plan. The site is within the La Jolla Shores Planned District-Single Family zone with overlay zones including Coastal Height Limit Overlay Zone, Coastal Overlay Zone (City), Parking Impact Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Priority Area. (New Issue)

Permits

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	Pursuant to SDMC 1510.0201(d), proposed development shall require a Process Three Site Development Permit and Coastal Development Permit for demolition of and construction of a single dwelling unit within the La Jolla Shores Planned District
		[Info Only - No response required].
		(New Issue)

Planning Review

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	Demonstrate the lot coverage on the plot plan in conformance with 1510.0304(d) (New Issue)
<input type="checkbox"/>	5	Lot dimensions for the lot line abutting property is missing on plot plan. Provide lot dimensions (New Issue)
<input type="checkbox"/>	6	Show on sheet A1 how proposed location of pool equipment complies with 1510.0402(c) (New Issue)
<input type="checkbox"/>	7	Include a general setback analysis on sheet C.2 to show conformance to 1510.0304(b)(4) (New Issue)
<input type="checkbox"/>	8	Proposed development does not impede any physical or visual access to the coast per Figure C of the La Jolla Community Plan.
		-Information Only- (New Issue)
<input type="checkbox"/>	9	Show plumb line height on West elevation on sheet A5 and East elevation on A6 (New Issue)
<input type="checkbox"/>	10	SDMC 1510.0301(b) states no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area.
		Provide the color palette and form of materials on plans to show conformity to this design regulation. (New Issue)
<input type="checkbox"/>	11	Please contact the La Jolla Shores Advisory Board for a recommendation on your project. Please provide these comments to the City. (New Issue)
<input type="checkbox"/>	12	Additional comments may follow once new information is provided (New Issue)

For questions regarding the 'LDR-Planning Review' review, please call Kyle Goossens at (619) 446-5475. Project Nbr: 566727 / Cycle: 2





L64A-003A

Community Plan/PDO Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	13	The designated land use per the La Jolla Community Plan is a Low Density Residential (5-9 du/ac). Project proposes one single dwelling unit on a 7,206 square foot lot for density at approximately 6 du/ac. The project is consistent with the prescribed land use and density.
<input type="checkbox"/>	14	-Information only- (New Issue) The project site is immediately adjacent to a one-story residence to the north. Development along the block is comprised mostly of 2-story residences with some one-story residences. No specific architectural style dominates the neighborhood.
<input type="checkbox"/>	15	-Information only- (New Issue) Coastal Height Limit Overlay Zone and Section 1510.0314(c); No building or structure shall be erected, constructed, altered, moved in or enlarged to a greater height than 30 feet. Proposed: 25' - Conforms to 1510.0314(c)
<input type="checkbox"/>	16	-Information Only- (New Issue) Recommendation 2c. of the La Jolla Community Plan says in order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. Project recognizes this recommendation through the multiple step-backs on West elevation abutting property line, creating transition.
<input type="checkbox"/>	17	-Information only- (New Issue) Appendix G of the community plan identifies the portion of La Jolla Shores Dr east of the project site as a "Scenic Roadway" with partially obstructed views over private properties and down public right-of-ways. Please provide a photo survey from La Jolla Shores Dr looking directly west of through the property. If the ocean can be seen, provide a photosimulation of the proposed project and show how the project will preserve the views. (New Issue)
<input type="checkbox"/>	18	Please contact the La Jolla Community Planning Group for a recommendation on your project. Please provide these comments to the City. (New Issue)
<input type="checkbox"/>	19	Additional comments may follow once new information is provided (New Issue)

Questions

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	20	For any questions regarding this review comments, please EMAIL Kyle Goossens at kgoossens@sandiego.gov. (New Issue)





L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 11/22/2017 Deemed Complete on 11/22/2017
Reviewing Discipline: LDR-Environmental **Cycle Distributed:** 11/27/2017
Reviewer: Holowach, Courtney **Assigned:** 11/28/2017
 (619) 446-5187 **Started:** 11/30/2017
 Cholowach@sandiego.gov **Review Due:** 01/04/2018
Hours of Review: 2.00 **Completed:** 12/21/2017 **COMPLETED ON TIME**
Next Review Method: Submitted (Multi-Discipline) **Closed:** 01/17/2018

- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- We request a 2nd complete submittal for LDR-Environmental on this project as: Submitted (Multi-Discipline).
- The reviewer has requested more documents be submitted.
- Your project still has 23 outstanding review issues with LDR-Environmental (all of which are new).
- Last month LDR-Environmental performed 61 reviews, 86.9% were on-time, and 29.8% were on projects at less than < 3 complete submittals.

First Review

Project Information

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Coastal Development Permit and Site Development Permit for the demolition of an existing single family residence and construct a 3,995 square foot two story single family residence. The project site is located at 7975 Calle de la Plata within the La Jolla Community Plan. The site is within the La Jolla Shores Planned District-Single Family zone with overlay zones including Coastal Height Limit Overlay Zone, Coastal Overlay Zone (City), Parking Impact Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Priority Area, Council District 1. (New Issue)

Extended Initial Study

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	2	Additional information is required before an environmental review can be completed. The issues identified below and in any other discipline review comments must be addressed before an environmental determination can be made on this project. A determination of Negative Declaration (ND), Mitigated Negative Declaration (MND) or Environmental Impact Report (EIR) will be made based on the information provided in any subsequent review. Until the above issues have been addressed, the CEQA determination cannot be made and the environmental processing timeline will be held in abeyance. (New Issue)

Biological Resources

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	3	The project site currently contains existing development within an urbanized area. The site is not mapped as having sensitive habitat. The site is surrounded by existing single family residences on all sides with no native habitat occurring on or adjacent to the site. A review of site photos shows that landscaping on the site to be ornamental in nature. The project does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain nor is it adjacent to MHPA designated lands. No further comment is required. (New Issue)

Geologic Conditions

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	4	The proposed project is mapped within Geologic Hazard Categories 52. Hazard category 52 is categorized by other level areas, gently sloping to steep terrain, favorable geologic structure, low risk. Per Information Bulletin 515 no geotechnical investigation is required. No further comment is required. (New Issue)

Cultural Resources (Built Envi)

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	5	SDMC Section 143.0212 directs City staff to determine whether a potentially significant historical resource exists on site before the issuance of a construction permit for any parcel in the City that contains a structure 45 years old or older. EAS defers to LDR-Plan Historic on historical resource determination. (New Issue)

Paleo

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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L64A-003A

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	6	The proposed project site is underlain by Alluvium. Alluvium is assigned a low potential for fossil resources. According to the City's Significance Determination Threshold monitoring is not required for a low sensitivity. (New Issue)
Cultural Resources (Archaeology)		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	7	The project site is on the City of San Diego's Historical Resources Sensitivity map. (New Issue)
<input type="checkbox"/>	8	The project site is located in the La Jolla Shores Archaeological Study Area which includes the area west of La Jolla Shores Drive/Torrey Pines Road, south to Prospect and north to the Scripps Institute parking lot. Projects within these boundaries are subject to review for potential impacts to archaeological and Native American Cultural Resources in accordance with the City's Historical Resources Regulations and Guidelines. (New Issue)
<input type="checkbox"/>	9	Please submit an archeological survey for the next round of reviews. The report should be conducted in compliance with the City Historical Resources Guidelines. (New Issue)
<input type="checkbox"/>	10	Until the requested information is received EAS cannot complete the environmental determination. (New Issue)
AB 52		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	11	This project is subject to Tribal Consultation under AB 52. EAS staff will distribute notification to the local Kumeyaay community for possible consultation on this project. Please note that a request for consultation must be submitted by the tribe within 30 days of initial notification. If no request is made, consultation will conclude. If a request for consultation is made, then the EAS environmental processing timeline will be held abeyance until the consultation process has been completed. (New Issue)
Water Quality		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	12	EAS defers to LDR-Engineering on issues of water quality. (New Issue)
Land Use		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	13	EAS defers to LDR-Planning on General Plan, community plan, and Land Development Code issues. Per the City's Significance Determination Thresholds, an inconsistency with a land use plan is not in and of itself a significant impact; the inconsistency would have to result in a secondary physical impact. Staff is requesting clarifying information. Please refer to their comments for clarification. Until the requested information is received the environmental determination cannot be made. (New Issue)
<input type="checkbox"/>	14	EAS will work with planning staff to ensure that the proposed project will be consistent with the applicable policies and land use regulations. (New Issue)
GHG		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	15	On July 12, 2016, the City of San Diego adopted the Climate Action Plan (CAP) Consistency Checklist, which requires all projects subject to discretionary review to demonstrate consistency with the Climate Action Plan. (New Issue)
<input type="checkbox"/>	16	The submitted Climate Action Plan (CAP) Consistency Checklist was reviewed by EAS staff. The following comments and issues were identified: (New Issue)
<input type="checkbox"/>	17	It is important that the checklist not be naked (only checked boxes). A narrative is required. (New Issue)
<input type="checkbox"/>	18	Please provide an explanation for answers that are not applicable. There are footnotes and/or notes to help determine if a project would meet the requirements for a "not applicable" response. (New Issue)
<input type="checkbox"/>	19	Please note that any response of "no" indicates that the project may have a significant GHG impact and would necessitate the preparation of an EIR. (New Issue)
<input type="checkbox"/>	20	Please contact the EAS analyst with any questions related to the checklist or if you'd like to view a sample of a completed checklist. (New Issue)
<input type="checkbox"/>	21	The CAP Consistency Checklist, as well as the explanation, will become part of the project's Exhibit A. (New Issue)
<input type="checkbox"/>	22	The CAP Checklist can be found here: https://www.sandiego.gov/sites/default/files/city_of_san_diego_cap_checklist.pdf (New Issue)
Environmental Determination		
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	23	Other reviewing disciplines have requested additional information. An environmental determination cannot be made until all issues in this review are addressed and all other reviewing disciplines have cleared their issues. (New Issue)



Cycle Issues



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<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	24	Until this information is provided, EAS staff is not able to complete the environmental review for the project and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts. (New Issue)
<input type="checkbox"/>	25	Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or additional technical studies. (New Issue)



Cycle Issues



THE CITY OF SAN DIEGO
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1222 First Avenue, San Diego, CA 92101-4154

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Review Information

Cycle Type: 2 Submitted (Multi-Discipline)
Submitted: 11/22/2017 Deemed Complete on 11/22/2017
Reviewing Discipline: LDR-Engineering Review
Cycle Distributed: 11/27/2017
Reviewer: Florezabihi, Hoss
Assigned: 12/08/2017
(619) 446-5348
Started: 12/21/2017
florezabihi@sandiego.gov
Review Due: 12/22/2017
Hours of Review: 7.00
Completed: 12/21/2017 **COMPLETED ON TIME**
Next Review Method: Submitted (Multi-Discipline)
Closed: 01/17/2018

- The review due date was changed to 01/04/2018 from 01/04/2018 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- We request a 2nd complete submittal for LDR-Engineering Review on this project as: Submitted (Multi-Discipline).
- The reviewer has requested more documents be submitted.
- Your project still has 20 outstanding review issues with LDR-Engineering Review (all of which are new).
- Last month LDR-Engineering Review performed 64 reviews, 95.3% were on-time, and 36.7% were on projects at less than < 3 complete submittals.

1st Review - 12/21/17

Cleared?	Issue Num	Issue Text
<input type="checkbox"/>	1	The Engineering Review Section has reviewed the subject development and have the following comments that need to be addressed prior to a Public Hearing / Public Notice of Decision. Upon resubmittal, we will complete our review of the Coastal and Site Development Permit Plans. (New Issue)
<input type="checkbox"/>	2	The San Diego Water Board adopted Order No. R9-2013-0001, NPDES No. CAS0109266, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of ministerial permit. The current Storm Water Development Regulations became effective on February 16, 2016 and this project will be subject to those regulations. (New Issue)
<input type="checkbox"/>	3	The applicant did not complete the Storm Water Requirements Applicability Checklist correctly. On Part B only Item No. 1 should be marked, this project is located within ASBS watershed. (New Issue)
<input type="checkbox"/>	4	Based on Storm Water Requirements Applicability Checklist, this is a Standard Project and is subject to LID. (New Issue)
<input type="checkbox"/>	5	Submit a Water Quality Study that Identifies Pollutants from the Project Area and addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. (New Issue)
<input type="checkbox"/>	6	If any of the 14 possible BMPs have not been used in the project design, add a discussion in the report why the omitted BMPs are not feasible or not applicable. Please Note: A Water Quality Study is required, not a SWQMP. (New Issue)
<input type="checkbox"/>	7	City's Storm Water Standards are available online at: https://www.sandiego.gov/stormwater/regulations (New Issue)
<input type="checkbox"/>	8	Revise the Site Plan or add a Conceptual Grading Plan. Show the existing and proposed grading contours and spot elevations. Show drainage patterns and slope gradient and collection and discharge points for all site and roof drains. supported by called out elevations. (New Issue)
<input type="checkbox"/>	9	Revise the Site Plan. Show and call out the location of the roof drains and deck drains and how they are discharged. If no roof, deck or balcony drains are proposed, add a note stating: No roof, deck or balcony drains are proposed for this project. (New Issue)
<input type="checkbox"/>	10	Submit a Preliminary Drainage Study which addresses the existing and proposed storm water runoff and discharge locations for the project site. The report must address the adequacy of down stream system(s) and demonstrate that no adverse impacts will occur as a result of proposed development. (New Issue)
<input type="checkbox"/>	11	On the Site Plan A-1, show the Water and Sewer Mains, including laterals that serve the project. Call out the City Improvement Plan numbers. A search of City Records by your office may be required. If the existing water service and sewer lateral will be used, call out on the plans the existing services will remain. (New Issue)

For questions regarding the 'LDR-Engineering Review' review, please call Hoss Florezabihi at (619) 446-5348. Project Nbr: 566727 / Cycle: 2



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

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<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	12	On the Site Plan A1 , call out to replace existing curb with current City Standard curb and gutter, adjacent to the site on El Paseo Grande and Calle De La Plata. (New Issue)
<input type="checkbox"/>	13	On Site Plan A-1 , call out to replace existing driveway with a 12' standard driveway per current City Standard (Project is located within Parking Impact Overlay Zone). (New Issue)
<input type="checkbox"/>	14	Revise Site Plan A1 and propose pedestrian curb ramp(s) on the corner of El Paseo Grande and Calle De La Plata per current City of San Diego Standards. (New Issue)
<input type="checkbox"/>	15	On the Site Plan, call out to reconstruct the sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on El Paseo Grande and Calle De La Plata (New Issue)
<input type="checkbox"/>	16	Revise the Site Plan A1 and add a note that States: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications (New Issue)
<input type="checkbox"/>	17	Revise the Site Plan Sheet A1. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)
<input type="checkbox"/>	18	Revise the Site Plan A1 and add a note that States: Project is located within ASBS watershed and owner/permittee shall comply with all ASBS requirements accordingly. (New Issue)
<input type="checkbox"/>	19	Development Permit Conditions will be determined on the next submittal when all requested information is provided. (New Issue)
<input type="checkbox"/>	20	Please provide a detail written response to all comments whether you agree or not and in case of disagreement , express your reasoning. (New Issue)



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

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L64A-003A

Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	11/22/2017	Deemed Complete on 11/22/2017
Reviewing Discipline:	Community Planning Group	Cycle Distributed:	11/27/2017	
Reviewer:	Gargas, Glenn	Assigned:	11/30/2017	
	(619) 446-5142	Started:	11/30/2017	
	ggargas@sandiego.gov	Review Due:	12/22/2017	
Hours of Review:	0.20	Completed:	11/30/2017	COMPLETED ON TIME
Next Review Method:	Submitted (Multi-Discipline)	Closed:	01/17/2018	

- .. The review due date was changed to 01/04/2018 from 01/04/2018 per agreement with customer.
- .. The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- .. We request a 2nd complete submittal for Community Planning Group on this project as: Submitted (Multi-Discipline).
- .. The reviewer has requested more documents be submitted.
- .. Your project still has 2 outstanding review issues with Community Planning Group (all of which are new).
- .. Last month Community Planning Group performed 48 reviews, 47.9% were on-time, and 39.6% were on projects at less than < 3 complete submittals.

La Jolla Dec. 2017

Issue		
Cleared?	Num	Issue Text
<input type="checkbox"/>	1	Please contact the Chair for the La Jolla Community Planning Association at 858.456.7900 or info@lajollacpa.org to schedule your project presentation. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has provided the group a copy of the project plans and documents. (New Issue) [Recommended]
<input type="checkbox"/>	2	Projects within La Jolla Shores require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the City Planner Marlon Pangilinan at 619-235-5293 or MPangilinan@sandiego.gov when ready to schedule your project before the LJSPBAB, which meets the third Tuesday of the month. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (New Issue)



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

1/17/18 4:26 pm

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L64A-003A

Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 11/22/2017	Deemed Complete on 11/22/2017
Reviewing Discipline: LDR-Landscaping	Cycle Distributed: 11/27/2017	
Reviewer: Navagato, Andrea	Assigned: 11/28/2017	
(619) 446-5197	Started: 12/20/2017	
Anavagato@sandiego.gov	Review Due: 12/22/2017	
Hours of Review: 4.00	Completed: 12/20/2017	COMPLETED ON TIME
Next Review Method: Submitted (Multi-Discipline)	Closed: 01/17/2018	

- The review due date was changed to 01/04/2018 from 01/04/2018 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- We request a 2nd complete submittal for LDR-Landscaping on this project as: Submitted (Multi-Discipline).
- The reviewer has requested more documents be submitted.
- Your project still has 7 outstanding review issues with LDR-Landscaping (all of which are new).
- Last month LDR-Landscaping performed 34 reviews, 91.2% were on-time, and 41.9% were on projects at less than < 3 complete submittals.

1st Review - 12/20/2017

Cleared?	Issue Num	Issue Text
<input type="checkbox"/>	1	Provide the following note on the Landscape Plan; fill in the blank with who shall be responsible for long-term maintenance (i.e. owner, project association, other): "Maintenance: All required landscape areas shall be maintained by _____. Landscape and irrigation areas in the public right-of-way shall be maintained by _____. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit."
		(New Issue)
<input type="checkbox"/>	2	Provide the following note on the Landscape Plan: "A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5)."
		(New Issue)
<input type="checkbox"/>	3	Provide the following note on the Landscape Plan: "Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected."
		(New Issue)
<input type="checkbox"/>	4	Development requirements, Landscape Plans/Irrigation Plan: Per La Jolla Shores Plan District Ordinance, SDMC [1510.0304(h)] a minimum of 30% of the total parcel area shall be landscaped. Provide Landscape Area Diagram that quantify the native and ornamental landscape areas as well as hardscape areas. Note that this 30% landscape requirement applies to areas which contain plant materials and excludes hardscape areas. (Sheet L-1)
		(New Issue)
<input type="checkbox"/>	5	Utilities: Include existing and/or proposed water and sewer laterals serving property in order to demonstrate conformance with SDMC Minimum Tree Separation Distance Table 142-04E. (Sheet L-1)
		(New Issue)
<input type="checkbox"/>	6	Water Budget Calculations: Include Water Budget Calculations and hydrozone diagram on plans. MAWA & ETWU calculations as well as hydrozone map layers are required in order to show compliance under SDMC 142.0413 and 1510.0304(h). See the Land Development Code - Landscape Standards - Appendix E for reference.
		(New Issue)
<input type="checkbox"/>	7	Landscape staff reserves the right to provide additional comments on subsequent review cycles pending further review of any redesign and/or comments from other reviewing disciplines. [Info Only - No Response Required]
		(New Issue)



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
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1/15/18 2:33 pm

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L64A-003A

Project Information

Project Nbr: **566727** Title: Pathria Residence CDP/SDP
Project Mgr: Gargas, Glenn (619) 446-5142 ggargas@sandiego.gov



Review Information

Cycle Type: 6 Plan-Historic(Submit) **Submitted:** 11/29/2017 Deemed Complete on 11/29/2017
Reviewing Discipline: Plan-Historic **Cycle Distributed:** 11/29/2017
Reviewer: Purvis, Nicole **Assigned:** 11/30/2017
(619) 446-5314 **Started:** 01/04/2018
NPurvis@sandiego.gov **Review Due:** 01/04/2018
Hours of Review: 1.00 **Completed:** 01/04/2018 **COMPLETED ON TIME**
Next Review Method: Plan-Historic(Submit) **Closed:** 01/04/2018

- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- We request a 2nd complete submittal for Plan-Historic on this project as: Plan-Historic(Submit).
- The reviewer has requested more documents be submitted.
- Your project still has 3 outstanding review issues with Plan-Historic (all of which are new).
- Last month Plan-Historic performed 269 reviews, 95.5% were on-time, and 92.9% were on projects at less than < 3 complete submittals.

01/04/2018

Cleared? Issue Num Issue Text

- | | | |
|-------------------------------------|---|---|
| <input checked="" type="checkbox"/> | 1 | The property located at 7975 Calle de la Plata is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue) |
| <input checked="" type="checkbox"/> | 2 | During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:

http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf
(Informational Only; No Response or Action Required) (New Issue) |
| <input checked="" type="checkbox"/> | 3 | More information regarding this review process can be found in Information Bulletin 580:

http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf
(Informational Only; No Response or Action Required) (New Issue) |
| <input checked="" type="checkbox"/> | 4 | If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required) (New Issue) |
| <input checked="" type="checkbox"/> | 5 | If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...) (New Issue) |
| <input checked="" type="checkbox"/> | 6 | (...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required) (New Issue) |
| <input checked="" type="checkbox"/> | 7 | Staff has reviewed the photos; Assessor's Building Record; water and sewer records; written description of the property and alterations; chain of title; and listing of occupants; as well as any available historic photographs; Sanborn maps; and Notices of Completion. In addition, staff has considered any input received through applicable public noticing and outreach and have made the following determination: (New Issue) |
| <input type="checkbox"/> | 8 | Staff cannot make a determination with the information provided. Please provide the following documents: (New Issue) |
| <input type="checkbox"/> | 9 | Appears property is associated with Armin Richter, builder/designer. Please provide information on builder/designer and his association with the property and its significance. (New Issue) |

For questions regarding the 'Plan-Historic' review, please call Nicole Purvis at (619) 446-5314. Project Nbr: 566727 / Cycle: 6



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

1/15/18 2:33 pm

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L64A-003A

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	10	

Once the requested information is complete, resubmit your project to the Development Services Department for routing and review. Should you have any questions regarding these comments, please contact the "Reviewer" listed in bold at the top of this cycle issues report. (New Issue)



REQUIRED PERMIT FINDINGS

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**
- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**
- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**
- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

Site Development Permit - Section 126.0504

- 1. The proposed development will not adversely affect the applicable land use plan;**
- 2. The proposed development will not be detrimental to the public health, safety, and welfare; and**
- 3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

Submittal Requirements



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

1/17/18 4:47 pm

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L64A-001

Project Information

Project Nbr: **566727** Title: Pathria Residence CDP/SDP
Project Mgr: Gargas, Glenn (619)446-5142 ggargas@sandiego.gov



Review Cycle Information

Review Cycle: 8 Submitted (Multi-Discipline)

Opened: 01/17/2018 4:25 pm

Submitted:

Due:

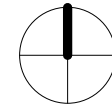
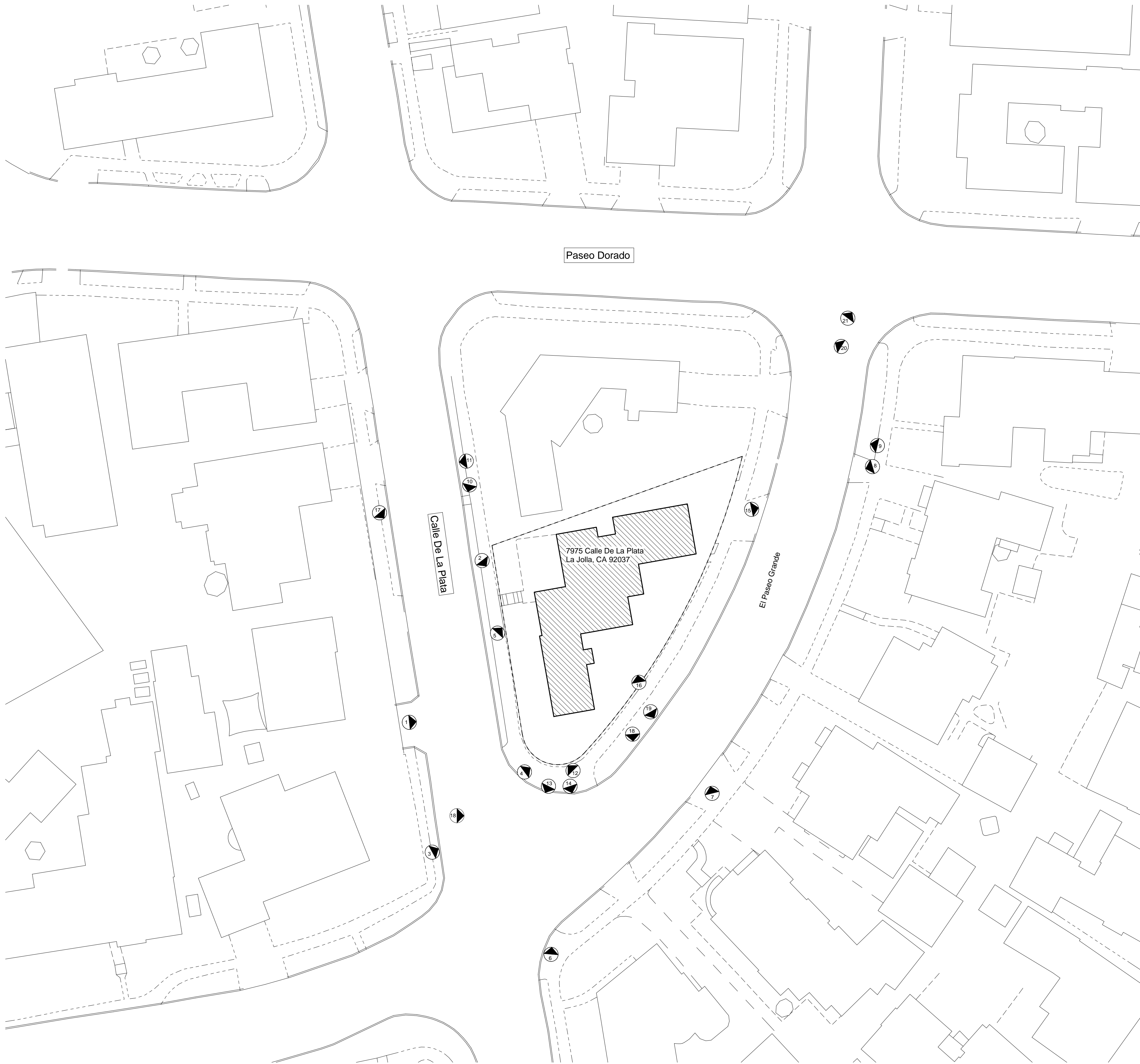
Closed:

Required Documents:

<u>Package Type</u>	<u>Pkg Qty</u>	<u>Document Type</u>	<u>Qty Needed</u>
Photo Simulations	3	Photo Simulations	3
Development Plans	7	Site Development Plans	7
Archaeological Report	2	Archaeological Report	2
Climate Action Plan Consistency Checklist	2	Climate Action Plan Consistency Checklist	2
Drainage/Hydrology Study	3	Drainage Study	3
Historic Resource Information	3	Historic Resource Information	3
Water Quality Study	3	Water Quality Study	3



1 Photo Survey Key
1/2" = 1'-0"



drawing number:
PS

Photographic Survey
Key

revisions:		
revision	date	notes

drawing date:
February 20, 2018

drawn by:
HA



architect:

christian rice architects, inc.
1127 loma avenue, coronado, ca 92118 p 619.522.9040

project:
Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037



1)

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037



2)

christian rice architects, inc.
1127 loma ave. coronado, ca 92118

3)



Pathria Residence
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4)



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5)



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21)

Pathria Residence
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1127 loma ave. coronado, ca 92118

NEIGHBORS to 7975 Calle de la Plata

Address	Owner Name	Status	Comments
7985 Calle de la Plata	Anu and Meredith Pathria	Approved	Same owners as 7975 Calle de la Plata
7974 Calle de la Plata	?		Purchased in last year or so. Seems to be a vacation home as owners are rarely there
7964 Calle de la Plata	Brant and Mariah Westfall	Project discussed and no issues raised	Have recently shown plans
7868 El Paseo Grande	Paul and Tiffany Cleary	Project discussed and no issues raised	Have recently shown plans
7905 El Paseo Grande	? and Geri ?	Project discussed and no issues raised	Have recently shown plans
7911 El Paseo Grande			Purchased in last couple of years, and currently on market. Owners never moved in, and used a "vrbo".
7921 El Paseo Grande	?	Project discussed and no issues raised	Haven't reviewed actual plans
7927 El Paseo Grande	Paul and Lynn Murphy	Project discussed and no issues raised	House currently being remodeled (tear down). Haven't reviewed actual plans, but verbal sign off that won't have any concerns
7935 El Paseo Grande	?		House is currently rented out. Have briefly met owner but unable to review project yet.