

**La Jolla Shores Planned District Advisory Board**

**Action Items**

PTS (DSD): PTS 558329 – Balbarais Addition – CDP/SDP  
Address: 2175 Calle Frescota  
APN: 346-222-04-00

Project contact: Aaron Borja  
Phone: 619.535.0537 x 104  
E-mail: AaronB@ArchitectsLocal.com

Project description: 2077 SF addition to existing single family dwelling unit  
Level 1: Relocate existing kitchen and dining room  
New exterior stairs leading to family room above the garage  
Level 2: New 2 bedroom, 1.5 bathroom, and family room addition  
New laundry & new bathroom within existing house  
Level 3: New bath, bedroom, and closet  
New roof deck

Lot size: 5728 SF  
Existing SF: 1845 + 538 SF (Existing Garage)  
Existing FAR: .42  
Proposed SF: 3922 + 538 SF (Existing Garage)  
Proposed FAR: .78

Existing Lot Coverage: .26  
Proposed Coverage: .36

**Setbacks**

Existing	North: 17'-9"	South: 9'-7"	East: 5'-10"	West: 4'-0"
Proposed	North: 17'-9"	South: 8'-7"	East: 5'-10"	West: 4'-0"

Existing Height: 2 Stories (21' – 7 ¼")  
Proposed Height: 3 Stories (2 story addition over existing garage) (29'-6")

(Process 3) Site Development Permit and Coastal Development Permit for a 2,077-square-foot addition and remodel to an existing, two-story, 2,383-square-foot, single family residence including a new second floor addition above the existing garage resulting in a 4,460-square foot single family residence on a 5,728 square-foot property. The project site is located at 2175 Calle Frescota, in the SF Zone of the La Jolla Shores Planned District, Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan area. Council District 1. There are several unpermitted improvements and additions to the property and the project is currently a Code Enforcement Case (No. 235809)

# Reviewer Issues DRAFT



2/2/18 7:36 pm

L64A-002B

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1222 First Avenue, San Diego, CA 92101-4154

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## Project Information

**Project Nbr:** 558329 **Title:** Balbarais Addition - CDP/SDP**Project Mgr:** Gargas, Glenn

(619) 446-5142

ggargas@sandiego.gov



## Review Information

**Cycle Type:** 4 Submitted (Multi-Discipline)**Submitted:** 11/28/2017 Deemed Complete on 11/28/2017**Reviewing Discipline:** LDR-Planning Review**Cycle Distributed:** 11/28/2017**Reviewer:** Abalos, Raynard**Assigned:** 11/29/2017

(619) 446-5377

**Started:** 01/30/2018

rabalos@sandiego.gov

**Review Due:** 12/19/2017**Hours of Review:** 2.00**Completed:** 02/02/2018**Next Review Method:** Submitted (Multi-Discipline)**Closed:**

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Change In Project Scope.
- . The reviewer has requested more documents be submitted.
- . Your project still has 6 outstanding review issues with LDR-Planning Review (6 of which are new issues).

## First Review

### Project Info

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	1	The proposed project is located at 2175 Calle Frescota , in the Single Family (SF) Zone of the La Jolla Shores Planned District, within the La Jolla Community Plan area, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, La Jolla Shores Archaeological Study Area, Parking Impact Overlay Zone (Beach & Coastal Impact Areas), and Residential Tandem Parking Overlay Zone. (Information Only - No Response Required) (From Cycle 2)
<input checked="" type="checkbox"/>	2	The proposed project is for a 2,378 sq.ft. addition to an existing 1,845 sq.ft. single dwelling unit, including a 1190 sq.ft. companion unit, for a total of 4225sq.ft. on a 5,728 sq.ft. lot. There are several unpermitted improvements and additions to the property and the project is currently a Code Enforcement Case (#235809). There are inconsistencies with the total SF and until the SF is correct, staff cannot confirm new SF. However, based on information provided and Staff's approximate calculation the total will be around 4,763SF (From Cycle 2)

### Permits

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	3	The proposed project will require a Site Development Permit (SDP), processed in accordance with Process 3 (Hearing Officer as decision-maker, appealable to Planning Commission) for development in the La Jolla Shores Planned District, per Section 1510.0201(d). (From Cycle 2)
<input checked="" type="checkbox"/>	4	The project requires a Coastal Development Permits (CDP) for development within the Non-Appealable 2 Area of the Coastal Overlay Zone. The application for a CDP shall be processed in accordance with Process Two, with staff as the decision maker. The project may be approved or conditionally approved only if the decision maker makes all the findings in SDMC 126.0708(a). (Information only - No Response Required)
		(Cont below) (From Cycle 2)
<input checked="" type="checkbox"/>	5	When an applicant applies for more than one permit or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker. The decision maker shall act on the consolidated application at the highest level of authority for that development as set forth in SDMC 111.0105. The findings required for approval of each permit shall be considered individually, consistent with SDMC 126.0105. (From Cycle 2)
<input checked="" type="checkbox"/>	6	The site is also within the La Jolla Shores Archeological Study Area. Policy 4 (page 128) ensures that sensitive paleontological resources in La Jolla are preserved through the recovery of significant fossils identified during the environmental review process. Environmental staff would need to comment on the potential for the project to impact archaeological resources. Please note that additional comments and/or permit requirements may follow. See Section 143.0210 for more information on Important Archaeological Sites. (From Cycle 2)
<input checked="" type="checkbox"/>	7	At the next submittal, provide project support by addressing how the project makes the CDP/SDP findings. (From Cycle 2)

### Community Plan/General Plan/PD

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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For questions regarding the 'LDR-Planning Review' review, please call Raynard Abalos at (619) 446-5377. Project Nbr: 558329 / Cycle: 4



p2k v 02.03.38

Glenn Gargas 446-5142



<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	8	The project site is designated as Medium High Residential in the La Jolla Community Plan (Figure 1, p.3). The land use designation is implemented by the LJSPD-SF zone. The zone allows for development of a single dwelling unit. The project proposes an addition to an existing single dwelling unit and a new a companion unit on a 5,728 square-foot as allowed by the SF zone. The project is consistent with the allowed uses of the SF zone and is therefore consistent with the land use plan designation. (Information Only - No Response Required). (From Cycle 2)
<input checked="" type="checkbox"/>	9	Per Policy 2(a) of the Residential Land Use element of the La Jolla Community Plan, the development recommendations contained in the Plan should be applied to promote good design and visual harmony in the transitions between new and older structures. (From Cycle 2)
<input checked="" type="checkbox"/>	10	Please provide a photo stimulation of the proposed addition in relation to the adjacent properties. LDR-Planning would like this information to determine that the 3 story structure will be in conformance to the community character. The proposal needs to be consistent with the residential character policies of the La Jolla Community Plan by providing building articulation, visual interest, and off-setting planes that are in general conformance with other properties in the vicinity. (From Cycle 2)
<input checked="" type="checkbox"/>	11	The project site is not adjacent to a designated public view, as identified in the La Jolla Community Plan, and would not impact any designated visual resources [Information Only - No Response Required] (From Cycle 2)

#### Corrections

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	12	The SF located on the title sheet do not match the SF shown on the floor plans. (From Cycle 2)
<input checked="" type="checkbox"/>	13	Per Chapter 11 Rules for Calculations and Measurements the garage needs to be included in the GFA. Currently the garage is not included in the GFA. Please include and revise documents showing new square footage. Also please add to the lot coverage. (From Cycle 2)
<input checked="" type="checkbox"/>	14	Per SDMC 113.0234(b) include the balcony by bedrooms 1 and 2 in the total GFA. (From Cycle 2)
<input checked="" type="checkbox"/>	15	The side setback states 4' on the survey provided. However, there is a portion at the side that shows a 0' setback. Please clarify. (From Cycle 2)
<input checked="" type="checkbox"/>	16	Per SDMC 151.0304(b)(2) Planning will monitor Engineering's comments and will discuss with them how the portion of the structure at the property line will comply with the section. However, until the photo simulation is provided, Staff cannot determine if the 0' setback will be in conformance with the general vicinity per SDMC 151.0304(b)(4) (From Cycle 2)
<input checked="" type="checkbox"/>	17	Please show compliance with 1510.0401(o). Parking that is adjacent to the alley needs to be screened (From Cycle 2)
<input checked="" type="checkbox"/>	18	Correctly number the bedrooms. The plans are showing the bedrooms are incorrectly labeled. (From Cycle 2)
<input checked="" type="checkbox"/>	19	Per SDMC 141.0302(k) the GFA of the companion unit shall not exceed 700 SF. The companion unit is proposed at 1190 sf. Reduce the size. (From Cycle 2)
<input checked="" type="checkbox"/>	20	Per SDMC 141.0302(m) please show compliance. The current design does not meet the correct roof pitch. (From Cycle 2)
<input checked="" type="checkbox"/>	21	Remove lapboard notes on finish schedule on elevations. This material is not identified on the elevations. (From Cycle 2)
<input checked="" type="checkbox"/>	22	Please keep in mind additional comments may arise in subsequent reviews pending responses from the comments above. (From Cycle 2)

#### Draft Conditions

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	23	The companion unit shall not be rented, leased, or sold as a separate dwelling unit. Neither the primary dwelling unit nor the companion unit shall be sold or conveyed separately. The companion unit shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees. (From Cycle 2)
<input checked="" type="checkbox"/>	24	Owner/Permittee shall maintain a minimum of 2 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC. (From Cycle 2)

#### Second Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	25	Change in Scope: The project has been revised and no longer proposes a companion unit. The project consists of an addition to an existing single dwelling unit (the addition is proposed in generally the same area as the companion unit in the previous submittal). (New Issue)
<input type="checkbox"/>	26	Staff can recommend approval of the CDP and SDP with the following corrections:  - Remove all sheets and references to CA Code (Building Code, Residential Code, etc.). Staff does not review for conformance with those requirements as part of this discretionary permit application.  (New Issue)





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<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	27	- Revise the side setback information on Sheet G001 and A001. The project has been revised and no longer proposes a 0-foot setback on the west side. Please show the proposed setback from the west side on the site plan and provide both the east and west side setback dimensions on Sheet G001. (New Issue)
<input type="checkbox"/>	28	- Remove all references to a companion unit, especially on Sheet A701. (New Issue)
<input type="checkbox"/>	29	- The section cut lines and references shown on the floor plans do not match the sections shown on Sheets A301 and 302. Please revise for consistency. (New Issue)
<input type="checkbox"/>	30	- In regards to staff's 1st review comment regarding the community plan's policy to promote good design and visual harmony in the transitions between new and older structures, the 3rd floor addition shall be articulated and stepped back from the floors below to reduce the perceived bulk and scale at the rear. Consideration should also be made to provide a pitched roof instead of the proposed flat roof. (New Issue)



# Remaining Cycle Issues DRAFT



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1/3/18 11:47 am

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## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> LDR-Environmental	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Tracy, Christopher (619) 446-5381 CRTracy@sandiego.gov	<b>Assigned:</b> 11/29/2017	
	<b>Started:</b> 12/22/2017	
<b>Hours of Review:</b> 1.00	<b>Review Due:</b> 12/22/2017	
<b>Next Review Method:</b> Submitted (Multi-Discipline)	<b>Completed:</b> 12/22/2017	
	<b>Closed:</b>	

- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with LDR-Environmental (1 of which are new issues).

## Cycle 2 Review - 8/30/17

### XIS

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	2	The Environmental Analysis Section (EAS) of the Land Development Review Division has reviewed the submittal of the below referenced project issues and has determined that the project will be placed in Extended Initial Study (XIS) status due to the following issues: (From Cycle 2)

### AESTHETICS/VISUAL QUALITY/NEIG

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	The site is located within the La Jolla Community Plan and Local Coastal Program. As identified on Figure 9 of the La Jolla Community Plan and Local Coastal Program, the portion of Calle Frescota where the proposal is located is not within the vicinity of a Public Vantage Points. Coastal building height limit of 30' is also in the community plan and is reviewed by LDR-Planning and LDR-Environmental will defer to their analysis/recommendation. As such, EAS is not able to complete the Initial Study for your project and the environmental processing timeline will be held in abeyance. (From Cycle 2)

### TRIBAL CULTURAL RESOURCES

No outstanding Issues

### PALEONTOLOGICAL RESOURCES

No outstanding Issues

### WATER QUALITY/HYDROLOGY

No outstanding Issues

### TRANSPORTATION/CIRCULATION/PAR

No outstanding Issues

### GEOLOGIC CONDITIONS

No outstanding Issues

### LAND USE/PLANNING

No outstanding Issues

### LANDSCAPING

No outstanding Issues

### CAP CHECKLIST

No outstanding Issues

### NEXT REVIEW

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	24	Additional information is required before an environmental review can be completed. The issues identified below and in any other discipline review comments must be addressed before an environmental determination can be made on this project. A determination of a Categorical Exemption (CE), Negative Declaration (ND), Mitigated Negative Declaration (MND) or Environmental Impact Report (EIR) will be made based on the information provided in any subsequent submittals. (From Cycle 2)

## Cycle 4 Review - 12/22/17

For questions regarding the 'LDR-Environmental' review, please call Christopher Tracy at (619) 446-5381. Project Nbr: 558329 / Cycle: 4



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<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	25	Additional information is required before an environmental review can be completed. The issues identified within LDR-Planning comments must be addressed before an environmental determination can be made on this project. (New Issue)



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## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> LDR-Engineering Review	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Huynh, Khanh (619) 446-5299 KHuynh@sandiego.gov	<b>Assigned:</b> 12/01/2017	
	<b>Started:</b> 12/18/2017	
<b>Hours of Review:</b> 3.00	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Conditions	<b>Completed:</b> 12/18/2017	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with LDR-Engineering Review (4 of which are new issues).

## 1st Review issues

### Storm Water

No outstanding Issues

### Drainage issues

No outstanding Issues

### Grading issues

No outstanding Issues

### Public Improvements

No outstanding Issues

### General issues

No outstanding Issues

## 2nd Review issues

### Conditions

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	14	The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee. (New Issue)
<input type="checkbox"/>	15	Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing brick paver in the Calle Frescota Right-of-Way. (New Issue)
<input type="checkbox"/>	16	Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
		(New Issue)
<input type="checkbox"/>	17	Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)



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## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> Community Planning Group	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Gargas, Glenn (619) 446-5142 ggargas@sandiego.gov	<b>Assigned:</b> 12/10/2017	
	<b>Started:</b> 12/10/2017	
<b>Hours of Review:</b> 0.20	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Submitted (Multi-Discipline)	<b>Completed:</b> 01/03/2018	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with Community Planning Group (None of which are new)

## La Jolla - Aug. 2017

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Please contact the Chair for the La Jolla Community Planning Association at 858.456.7900 or info@lajollacpa.org to schedule your project presentation. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has provided the group a copy of the project plans and documents. (From Cycle 2) [Recommended]
<input type="checkbox"/>	2	Projects within La Jolla Shores require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the City Planner Marlon Pangilinan at 619-235-5293 or MPangilinan@sandiego.gov when ready to schedule your project before the LJSPBAB, which meets the third Tuesday of the month. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (From Cycle 2)



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## Review Information

<b>Cycle Type:</b>	4 Submitted (Multi-Discipline)	<b>Submitted:</b>	11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b>	Plan-Facilities Financing	<b>Cycle Distributed:</b>	11/28/2017	
<b>Reviewer:</b>	Crane, Bill	<b>Assigned:</b>	11/28/2017	
	(619) 533-3685	<b>Started:</b>	12/18/2017	
	Wcrane@sandiego.gov	<b>Review Due:</b>	12/19/2017	
<b>Hours of Review:</b>	1.00	<b>Completed:</b>	12/18/2017	
<b>Next Review Method:</b>	Submitted (Multi-Discipline)	<b>Closed:</b>		

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with Plan-Facilities Financing (1 of which are new issues).

## Development Impact Fees

### Discretionary & Prelim Reviews

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	12-18-2017: I did not receive a set of plans, however without a scope change, this project should not require another Facilities Financing Review. (New Issue)

### DIF/FBA-Residential

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Development Impact Fees (DIF) and/or Facilities Benefit Assessments (FBA) are required at building permit issuance based on increased residential development and/or a change to existing land use. The currently adopted La Jolla DIF and/or FBA rate for residential development is \$5,670 per dwelling unit. Rates provided are subject to annual change on July 1 or updates to a Community Public Facilities Financing Plan (PFFP). (From Cycle 2)

### RTCIP

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	2	City RTCIP Fees on residential development are required at building permit issuance. These fees were established to ensure that new Development invests in the Region's transportation system to offset the negative impact of growth on congestion and mobility. RTCIP Fee is \$2,800 per sdu and/or \$2,240 per md. Rates subject to change annually July 1. On-site affordable housing units are exempt from the City RTCIP Fee. To qualify for this exemption, a recorded Affordable Housing Agreement with the Housing Commission must be submitted to Facilities Financing prior to building permit issuance. (From Cycle 2)

### Current Impact Fee Schedule

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	The Impact Fee Schedule outlines the fees which the Facilities Financing Section of the City collects at building permit issuance as part of the costs of land development in the City of San Diego. Fees are paid through OpenDSD at <a href="http://opensd.sandiego.gov/web/invoices/">http://opensd.sandiego.gov/web/invoices/</a> . The schedule can be accessed on the City web site at: <a href="https://www.sandiego.gov/sites/default/files/feeschedule.pdf">https://www.sandiego.gov/sites/default/files/feeschedule.pdf</a> Fees are subject to increase at the beginning of each new fiscal year (July 1), each new calendar year (Jan 1), and/or upon Council approval of an update to the Public Facilities Financing Plan and/or Impact (From Cycle 2)



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## Review Information

<b>Cycle Type:</b>	4 Submitted (Multi-Discipline)	<b>Submitted:</b>	11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b>	LDR-Landscaping	<b>Cycle Distributed:</b>	11/28/2017	
<b>Reviewer:</b>	Spindell, Glenn (619) 446-5353 gspindell@sandiego.gov	<b>Assigned:</b>	11/28/2017	
<b>Hours of Review:</b>	1.00	<b>Started:</b>	11/30/2017	
<b>Next Review Method:</b>	LDR-Landscaping(Appmt.)	<b>Review Due:</b>	12/19/2017	
		<b>Completed:</b>	12/01/2017	
		<b>Closed:</b>		

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with LDR-Landscaping (2 of which are new issues).

## Review 031117

### Review 113017

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	Minor revision: per LDC Table 142-04A, the provisions of Sec. 142.0406 [Landscaping for Vehicular-Use Areas] do not apply for this development. Please omit Form DS-5 accordingly. (New Issue)
<input type="checkbox"/>	5	Customer may opt for an 'Over the Counter' review, providing that all outstanding issues have been addressed. Note, however, that due to hearings, field inspections and other out of office assignments, OTC review by planning staff is by appointment; walk-in service generally cannot be accommodated. Contact information: gspindell@sandiego.gov or 619/ 446-5353. (New Issue)



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## Review Information

<b>Cycle Type:</b>	4 Submitted (Multi-Discipline)	<b>Submitted:</b>	11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b>	PUD-Water & Sewer Dev	<b>Cycle Distributed:</b>	11/28/2017	
<b>Reviewer:</b>	Rastakhiz, Mehdi	<b>Assigned:</b>	11/29/2017	
	(619) 446-5420	<b>Started:</b>	12/19/2017	
	mrastakhiz@sandiego.gov	<b>Review Due:</b>	12/19/2017	
<b>Hours of Review:</b>	2.50	<b>Completed:</b>	12/19/2017	
<b>Next Review Method:</b>	Conditions	<b>Closed:</b>		

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with PUD-Water & Sewer Dev (4 of which are new issues).

## 1st Review, Cycle 2:

No outstanding Issues

## Permit Conditions:

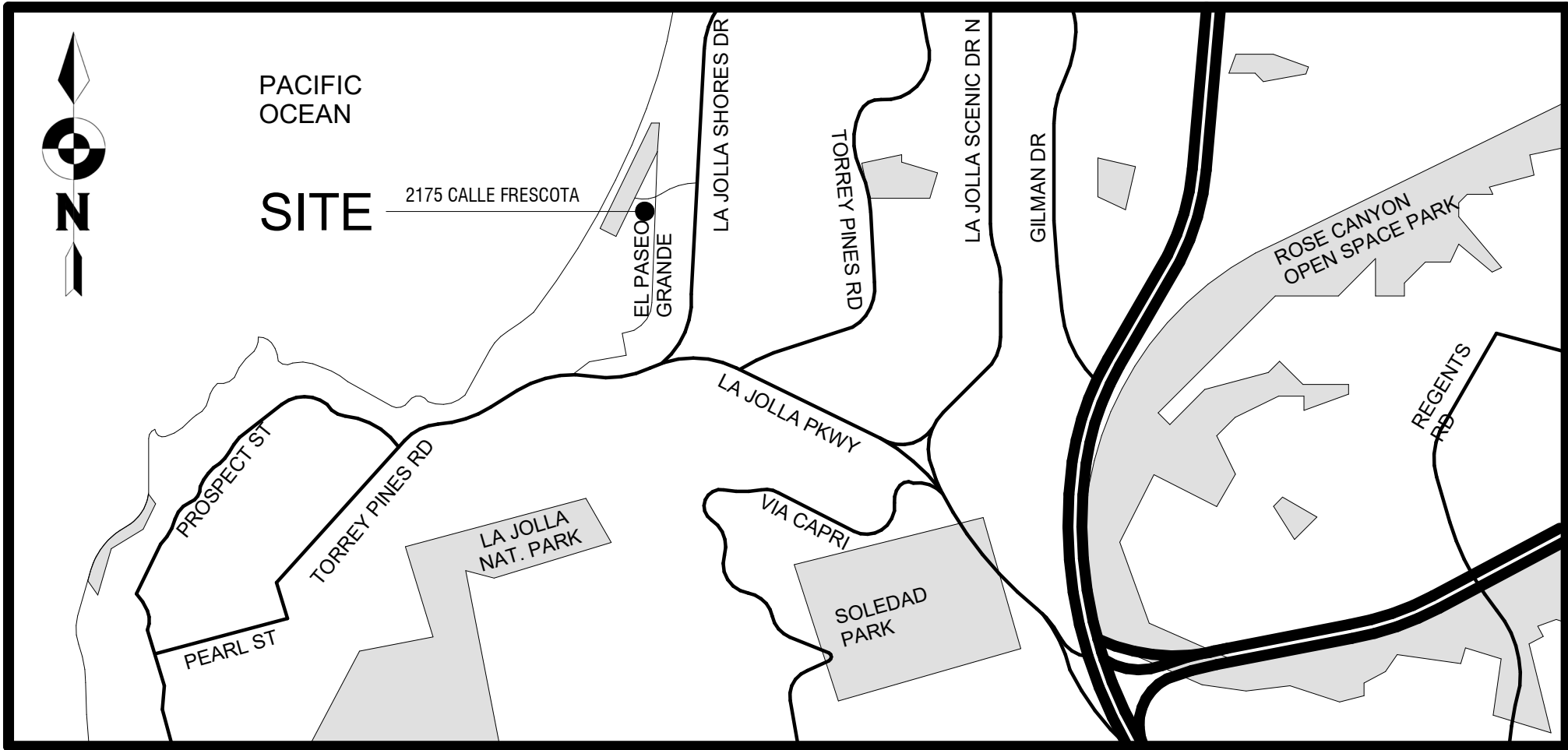
<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	15	All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check. (New Issue)
<input type="checkbox"/>	16	All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto. (New Issue)
<input type="checkbox"/>	17	No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities. (New Issue)
<input type="checkbox"/>	18	All on-site utilities must be private. (New Issue)





# BALBARAIS RESIDENCE

## VICINITY MAP (NTS)



ARCHITECTS.OCAL.COM  
640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

BALBARAIS RESIDENCE

REMODEL AND ADDITION

## ABBREVIATIONS

& OR L OR @ SF OR S.F # +/- OR	AND ANGLE AT SQUARE FEET POUND(S) OR NUMBER PLUS OR MINUS	HDWD HDWR HGT HTG HVAC	HARDWOOD FLOOR HARDWARE HEIGHT HEATING HEATING, VENTILATION, AND A/C
A.B. A/C ACOUST. ADJ. AFF AFG ALUMIN ANGL APPROX ARCH ASPH. ATTN	ANCHOR BOLT AIR CONDITIONING ACOUSTICAL ADJACENT ABOVE FINISH FLOOR ABOVE FINISH GRADE ALUMINUM ANGLE APPROXIMATE ARCHITECT(URAL) ASPHALT ATTENTION	ID IN INSUL INT  LAV LB OR LBS  MAS. MAX MED MECH MANUF MIN MISC.	INSIDE DIAMETER INCHES INSULATION INTERIOR  LAVATORY POUND(S)  MASONRY MAXIMUM MEDIUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS
BLDG. BLK. BLKING BM BOT. BRG. BUR	BUILDING BLOCK BLOCKING BEAM BOTTOM BEARING BUILT-UP ROOFING	N NA NTS (N)	NORTH NOT APPLICABLE NOT TO SCALE NEW
CAB CL CM CMU COL CONC. CONST. CONT. CLR.	CABINET CENTERLINE CARBON MONOXIDE ALARM CONCRETE MASONRY UNIT COLUMN CONCRETE CONSTRUCTION CONTINUOUS CLEAR	OC OPNG  PL PLBG. PLWD PNL PSF (P)	ON CENTER OPENING  PROPERTY LINE PLUMBING PLYWOOD PANEL POUNDS PER SQUARE FOOT PROPOSED
D, DN DBL DEPT. DTL DIA DRN DS	DOWN. DOUBLE DEPARTMENT DETAIL DIAMETER DRAIN DOWN SPOUT	R RAD RD REC REF REINF REQ'D RM	RISER RADIUS ROOF DRAIN RECESSED REFRIGERATOR REINFORCED REQUIREMENTS ROOM
E EA ELE ELEC EMER ENCL ENG EP EQ EQUIP E.W. EXG EXT. (E)	EAST EACH ELEVATION ELECTRICAL EMERGENCY ENCLOSURE ENGINEER ELECTRICAL PANEL EQUAL EQUIPMENT EACH WAY EXISTING EXTERIOR EXISTING	S SCHED SECT SHT SIM SM SPEC SQ STRUCT  TEMP TYP UNO VIF	SOUTH SCHEDULE SECTION SHEET SIMILAR SURFACE MOUNTED SPECIFICATION SQUARE STRUCTURAL  TEMPORARY OR TEMPERED TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD
F.A. FAR FD FDN FIN FLR FRM F.R. FT FTG FV FWY	FIRE ALARM FLOOR AREA RATIO FLOOR DRAIN FOUNDATION FINISH FLOOR FRAME FIRE RESISTANCE FOOT FOOTING FIELD VERIFY FREEWAY	W W/ W/O WC WD WF WIN WP WT WV	WEST WITH WITHOUT WATER CLOSET WOOD WIDE FLANGE WINDOW WATER PROOF WEIGHT WATER VALVE
GB GEN GL GV GYP	GYPSUM BOARD GENERAL GLASS GAS VALVE GYPSUM		

## DRAFTING SYMBOLS

	MATERIAL COLOR		FINISH IDENTIFICATION
	DOOR TAG		WALL TAG
	CALL OUT HEAD		ROOM TAG
	INTERIOR ELEVATION		EXTERIOR ELEVATION
	NEW GRID LINE		REVISION NUMBER
	REVISION CLOUD		NORTH ARROW
	SECTION HEAD		DRAWING TITLE
	BREAK LINE		WINDOW TAG
	SMOKE ALARM		CARBON MONOXIDE ALARM

## PROJECT TEAM

<b>OWNER:</b> BAJA ESCAPES, LLC CANDACE BALBARAIS 2175 CALLE FRESCOTA, LA JOLLA, CA 92037 210.464.6599 CANDACE316@GMAIL.COM
<b>DESIGNER:</b> ARCHITECTS LOCAL AARON A BORJA 640 W. BEECH ST., STE. 4 SAN DIEGO, CA 92101 619.535.0537 X 104 AARONB@ARCHITECTSLOCAL.COM
<b>STRUCTURAL ENGINEER:</b> ALBERTO PAIVA C53534 8170 LAURERIDGE RD SAN DIEGO, CA 92120 619.229.0993
<b>TITLE 24 CONSULTANTS:</b> SAN DIEGO TITLE 24 MICHAEL GIANNINI 875 G ST. #511 SAN DIEGO, CA 91942 330.402.7271 MICHAEL.ANTHONY.GIANNINI@GMAIL.COM

## DEFERRED ITEMS

- FIRE SPRINKLER (PER NFPA 13D OR CRC SECTION R313) FOR COMPANION UNIT
1. THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.
2. PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL ITEMS MUST BE ADDRESSED TO THE SATISFACTION OF THE BUILDING OFFICIAL PRIOR TO APPROVAL OF THE ITEMS. INSPECTIONS OF DEFERRED SUBMITTAL ITEMS WILL NOT BE PERFORMED UNTIL THE ITEM IS APPROVED.

## PROJECT INFORMATION

ADDRESS:	2175 CALLE FRESCOTA LA JOLLA, CA 92037
LEGAL DESCRIPTION:	346-222-04-00 #23 #34 #2147 LA JOLLA SHORES UNIT #6
ZONING: OVERLAY ZONE:	LJSPD-SF COASTAL HEIGHT (CHLOZ), SDUSD, TRANSIT PRIORITY (TPA), PARKING IMPACT (PIOZ), COASTAL (COZ), RES. TANDEM (RTPOZ)
OCCUPANCY: CONSTRUCTION TYPE: GEO. HAZARD CAT.: SPRINKLERED: (E) EASEMENTS:	R-3 V-B 52 (GRID 30) NO NONE
YEAR BUILT: EXISTING USE:	1964 2-STORY SINGLE FAMILY W/ DETACHED 2 CAR GARAGE 2-STORY SINGLE FAMILY W/ ATTACHED 2 CAR GARAGE
PROPOSED USE:	
NUMBER OF STORIES: EXISTING HEIGHT: PROPOSED HEIGHT: LOT SIZE: (E) DECK + ADDITION: (E) GARAGE SF: (E) BUILDING SF LVL 1: (E) BUILDING SF LVL 2: (E) TOTAL BUILDING SF:	2 21'-7 1/4" 29'-6" 5728 SF (E)68+(N)41= 109 SF 538 SF 952 SF 893 SF 2383 SF
(N) ADDITION (LVL 1): (N) ADDITION (LVL 2): (N) BALCONY (IN GFA): (N) ADDITION (LVL 3): (N) TOTAL HOUSE SF:	557 SF 954 SF 150 SF 416 SF (N)2077 + (E)2383= 4460 SF
(N) ROOF DECK: (N) TOTAL DECK SF:	522 SF (N)522 + 109 SF = 631 SF
SETBACKS: FRONT: REAR: INTERIOR SIDE: HEIGHT:	10 FT 1 FT 0 FT 30 FT
LOT COVERAGE: LOT SIZE: MAX COVERAGE: (E) LOT COVERAGE: (N) LOT COVERAGE:	5728 SF 5728 SF X 60% = 3436.8 SF (538+952)/5728 = .26 2047/5728 = .36< .60 MAX: OK
FLOOR AREA RATIO: MAX FAR: EXISTING GROSS FAR: NEW GROSS FAR:	N/A 2383/5728 = 41.6% 4460/5728 = 77.9%
TOTAL AREA OF GROUND DISTURBANCE:	557 SF
LANDSCAPE/PERVIOUS AREA:	2836 SF
PARKING SUMMARY:	2 (E) COVERED

## SCOPE OF WORK

PROCESS 3 - COASTAL DEVELOPMENT PERMIT: #558329  
CODE ENFORCEMENT DIVISION VIOLATION: # 235809

- NEW ADDITION (2077 SF) TO EXISTING SINGLE FAMILY DWELLING UNIT

**DEVELOPMENT SUMMARY**

LEVEL 1: (N) RELOCATED KITCHEN/DINING ROOM  
(N) EXTERIOR STAIRS LEADING TO FAMILY ROOM ABOVE GARAGE

LEVEL 2: (N) 2 BEDROOM & NEW BATH ADDITION TO EXISTING HOUSE  
(N) FAMILY ROOM ADDITION ABOVE GARAGE  
(N) LAUNDRY & (N) BATH FOR (E) HOUSE

LEVEL 3 (N) BATH, BEDROOM, AND CLOSET  
(N) ROOF DECK

## SHEET INDEX

G001	TITLE PAGE
G002	GENERAL NOTES
G003	GREEN BUILDING
G004	CITY FORMS BMP
G005	HISTORIC REVIEW
G006	HISTORIC - PREVIOUS PLANS
G007	BUILDING RECORDS
G008	BMP PLAN
G009	CIVIL PENALTY NOTICE
G010	TOPOGRAPHIC SURVEY
G011	AREA DIAGRAMS
A001	SITE PLAN
A101	EXISTING FLOOR PLANS
A102	PROPOSED FLOOR PLAN
A103	THIRD LEVEL & ROOF DECK FLOOR PLAN
A104	ROOF PLANS
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A301	SECTIONS
A302	STAIR SECTIONS
A900	PERSPECTIVE
LP-1	PLANTING AREA
LP-2	PLANTING PLAN
C1	CIVIL PLAN
C2	CIVIL PLAN - FORMS

## SPECIAL INSPECTION REQUIREMENTS

## GOVERNING CODES

2016	CALIFORNIA RESIDENTIAL CODE, TITLE 24, PART 2.5
2016	CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PART 11
2016	CALIFORNIA BUILDING CODE, TITLE 24, PART 2, VOLUMES I AND II
2016	CALIFORNIA MECHANICAL CODE, TITLE 24, PART 4
2016	CALIFORNIA PLUMBING CODE, TITLE 24, PART 5
2016	CALIFORNIA FIRE CODE, TITLE 24, PART 9
2016	CALIFORNIA ELECTRICAL CODE, TITLE 24, PART 3
2016	CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, TITLE 24, PART 6

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

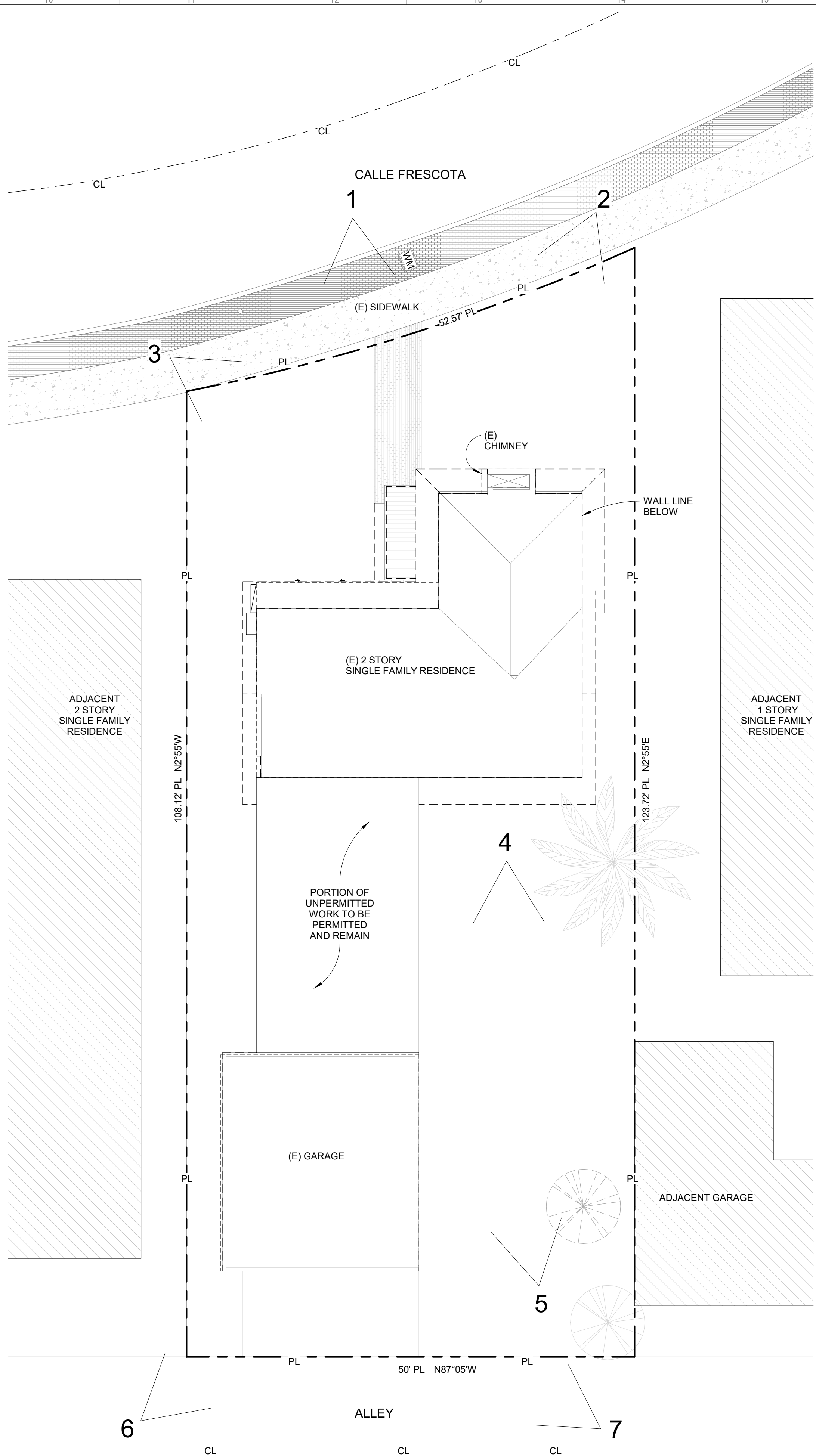
PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

## TITLE PAGE

G001

SCALE: As indicated  
SHEET: 1 OF 26





EXISTING  
① SITE PLAN  
1/8" = 1'-0"

BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

HISTORIC  
REVIEW

G005

SCALE: 1/8" = 1'-0"  
SHEET: 5 OF 26



# BALBARAIS RESIDENCE

## REMODEL AND ADDITION

OWNER:  
AJA ESCAPES, LLC  
175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
10.464.6599  
ANDACE316@GMAIL.COM

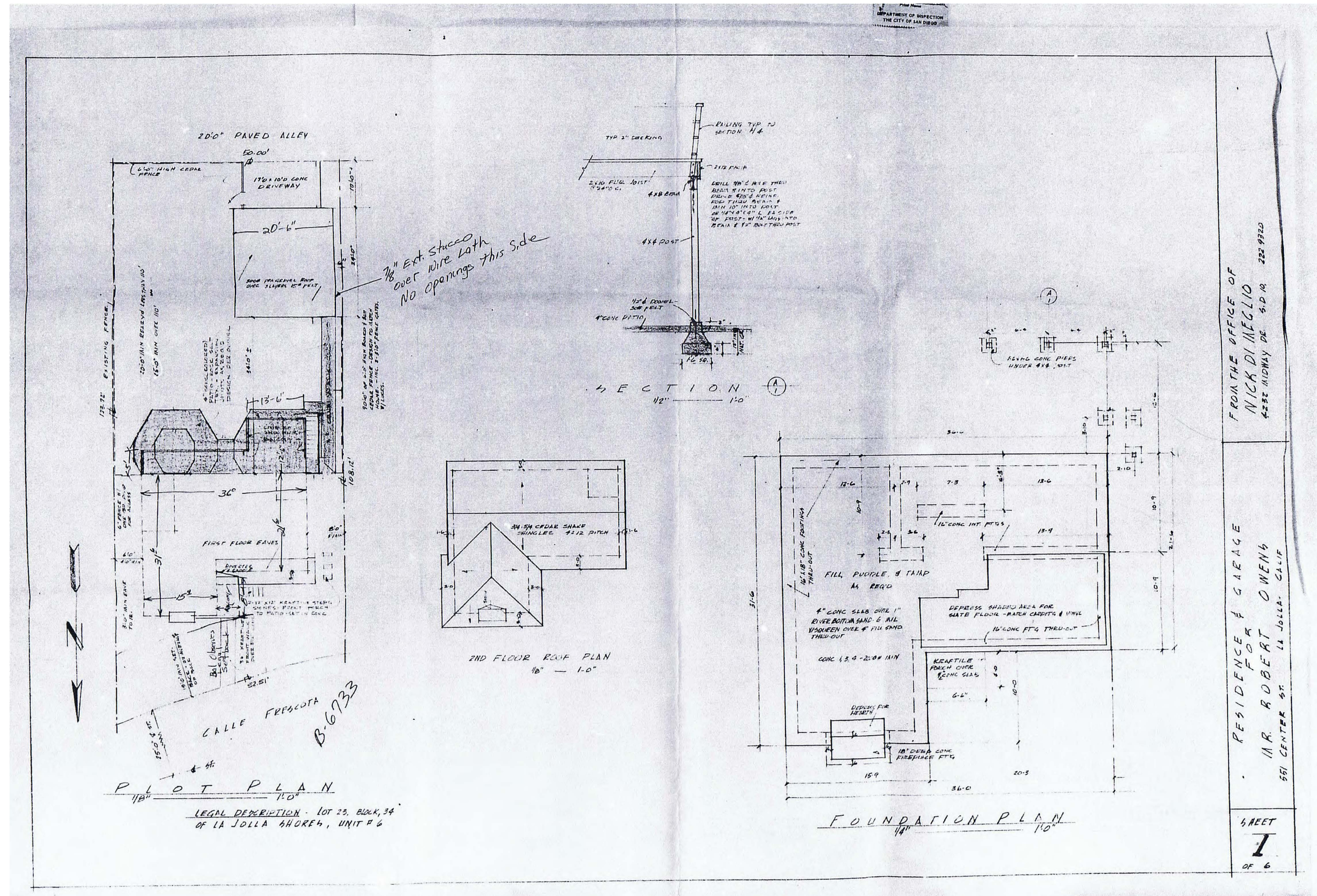
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1	COASTAL R1	10/03/17

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

## HISTORIC - PREVIOUS PLANS

G006

SCALE: 6 OF 26





## BALBARAIS RESIDENCE

### REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/1

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

BUILDING  
RECORDS

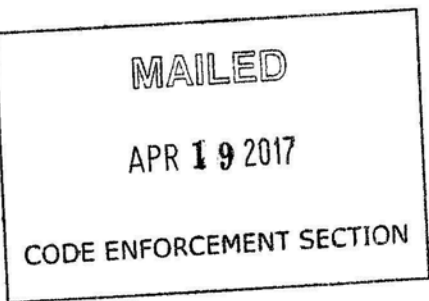
G007

SCALE:

SHEET: 7 OF 26

[illegible]





# CIVIL PENALTY NOTICE AND ORDER

**Zoning Designation:** LJSPD-SF / Coastal Overlay Zone / La Jolla Shores Archaeological Study Area / Parking Impact Overlay Zone

- A full set of construction drawings are required within 30 days from the date of this notice, and shall be submitted to the Code Enforcement Division for stamp approval.

- SDMC §129.0202 – When a Building Permit Is Required
- SDMC §129.0302 – When an Electrical Permit Is Required
- SDMC §129.0402 – When a Plumbing/Mechanical Permit Is Required
- SDMC §8121.0202-121.0203 provides the authority regarding enforcement of the Land Development Code.
- SDMC §121.0302 requires compliance with the Land Development Code, specifies these violations are not permitted, and provides authority for the abatement of public nuisances.

- Submit a complete set of plans to the Code Enforcement Division prior to plan submittal to the Development Service Department.
- Remove unpermitted work or obtain required Permit(s); successfully complete required inspections.
- Obtain required Electrical Permit(s) and successfully complete all required inspections.
- Obtain required Plumbing/Mechanical Permit(s) and successfully complete all required inspections.
- Successfully complete all required inspections in a timely manner

If you fail to comply with this Notice and Order in the time and manner set forth above, you are subject to civil administrative penalties pursuant to SDMC §§12.0801-12.0810. The penalty rate for the above listed violation(s) has been established in accordance with SDMC §§12.0801-12.0810 at **\$100.00** per violation per day and shall be an ongoing assessment of penalties at the daily rate until the violations are corrected. Administrative civil penalty amounts are established by the Development Services Director.

- the duration of the violation
- the nature and seriousness of the violation
- the history of the violation
- the willfulness of Responsible Person's misconduct
- the Responsible Person's conduct after issuance of the Notice and Order
- the good faith effort by the Responsible Person to comply
- the impact of the violation upon the community

235809\_2175\_CalleFrescota\_ced105\_J. Barnes

**ARCHITECTSLOCAL.COM**  
640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

# BALBARAIS RESIDENCE

## REMODEL AND ADDITION

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/1

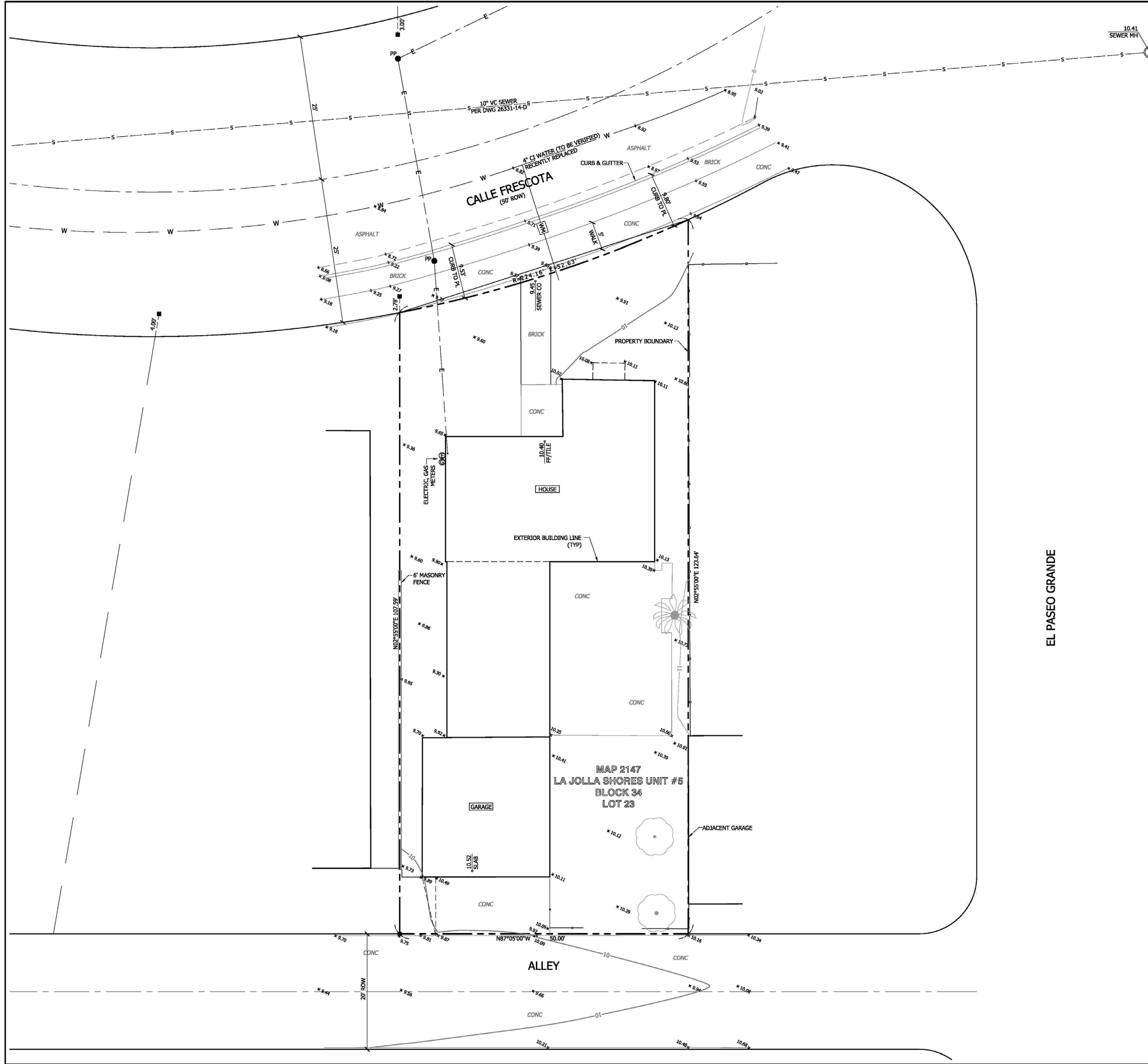
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			H

DRAWN BY: Author

CIVIL  
PENALTY  
NOTICE

G009

SCALE:  
SHEET: 9 OF 26



LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	SEWER LINE
	WATER LINE
	TREE (TRUNK DRAWN TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	

ABBREVIATIONS	
AP ..... ANGLE POINT	GRND ..... GROUND
ASPH ..... ASPHALT	MH ..... MANHOLE
BLDG ..... BUILDING	PP ..... UTILITY POLE
CIP ..... CAST IN PLACE	(R) ..... RADIAL BEARING
CMU ..... CONCRETE MASONRY UNIT	ROW ..... RIGHT OF WAY
CONC ..... CONCRETE	SS ..... SANITARY SEWER
DI ..... DRAIN INLET	TC ..... TOP OF CURB
EL ..... ELEVATION	TG ..... TOP OF GRATE (DRAIN)
FF ..... FINISHED FLOOR	TW ..... TOP OF WALL
FL ..... FLOWLINE	TYP ..... TYPICAL
FNC ..... FENCE	U/G ..... UNDERGROUND
GB ..... GRADE BREAK	WM ..... WATER METER

**PROPERTY LEGAL DESCRIPTION**  
LOT 23, BLOCK 34, MAP 2147 (LA JOLLA SHORES UNIT #5)

**ASSESSORS PARCEL NUMBER**  
346-222-04

**BASIS OF ELEVATIONS**  
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK  
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB  
LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND EL PASEO GRANDE  
DATUM: M.S.L. (NGVD 29)  
ELEVATION: 10.55 FEET

**NOTE**  
THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.



METROPOLITAN MAPPING  
3712 30TH STREET  
SAN DIEGO, CA 92104  
(619) 431-5250  
metromap.sd@gmail.com

REVISIONS:


# TOPOGRAPHIC SURVEY

2175 CALLE FRESCOTA  
LA JOLLA, CA 92037

SURVEY DATE  
MAY 23, 2017

MAP/DRAWING DATE  
MAY 30, 2017

SCALE: 1/8"=1'-0"

DRAWN BY: VF

JOB No:

SHEET TITLE:  
**G010**

BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	PMU

AREA  
DIAGRAMS

G011

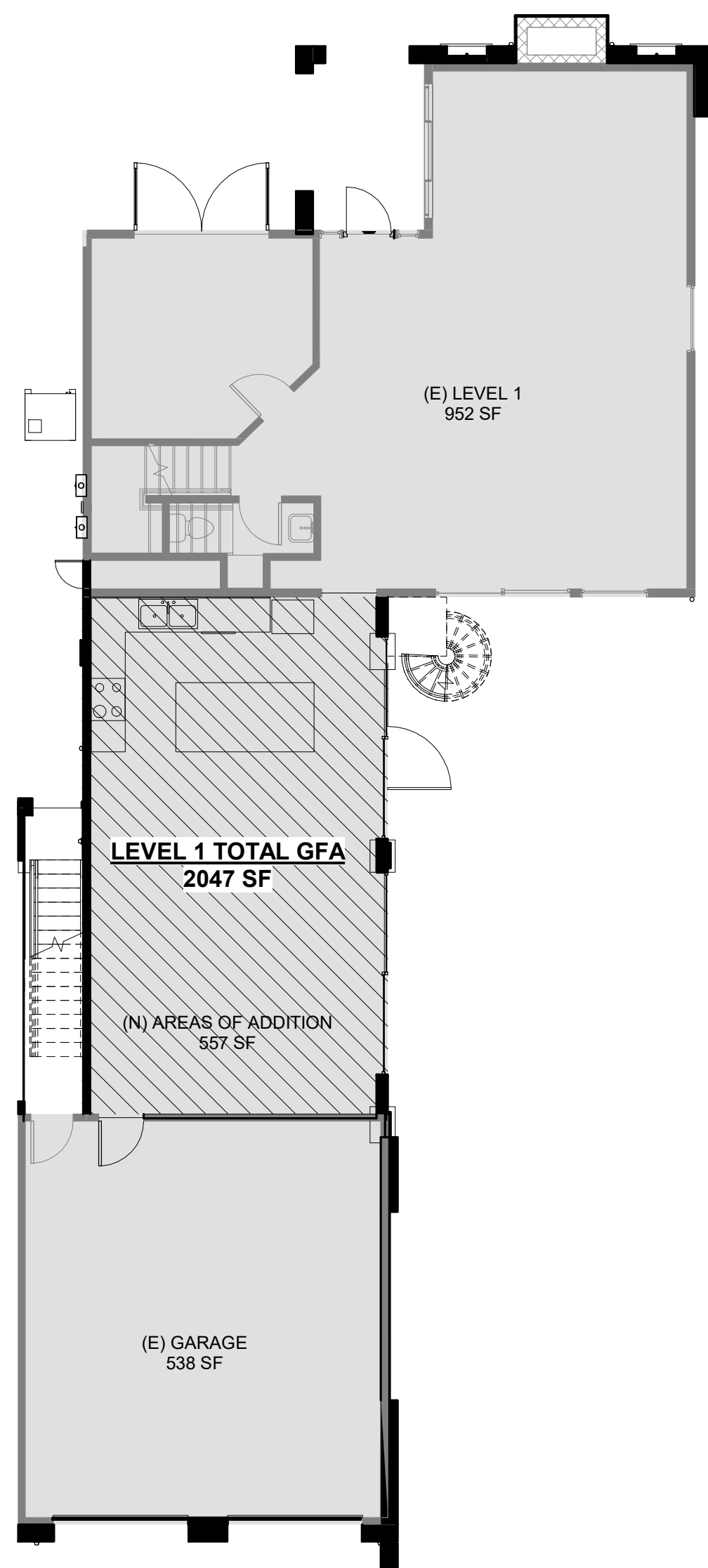
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SHEET: 11 OF 26

GFA CALCULATIONS

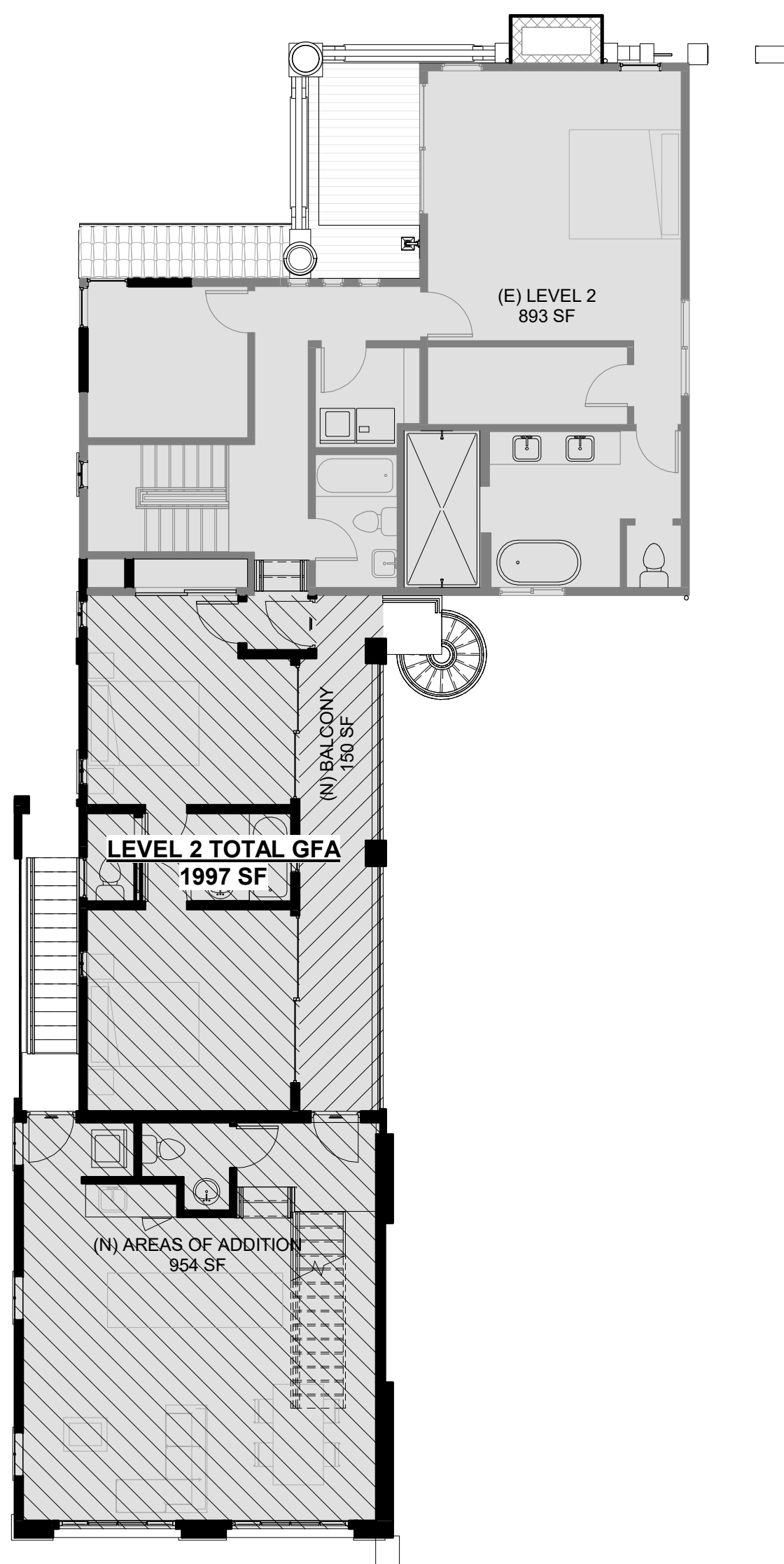
**LEVEL 1:**  
(E) GARAGE: 538 SF  
(N) ADDITIONS: 557 SF  
(E) LVL 1 - HOUSE: 952 SF  
**TOTAL:** 2047 SF

**LEVEL 2:**  
(E) LVL 2 - HOUSE: 893 SF  
(N) ADDITIONS: 954 SF  
(N) BALCONY: 150 SF  
**TOTAL:** 1997 SF

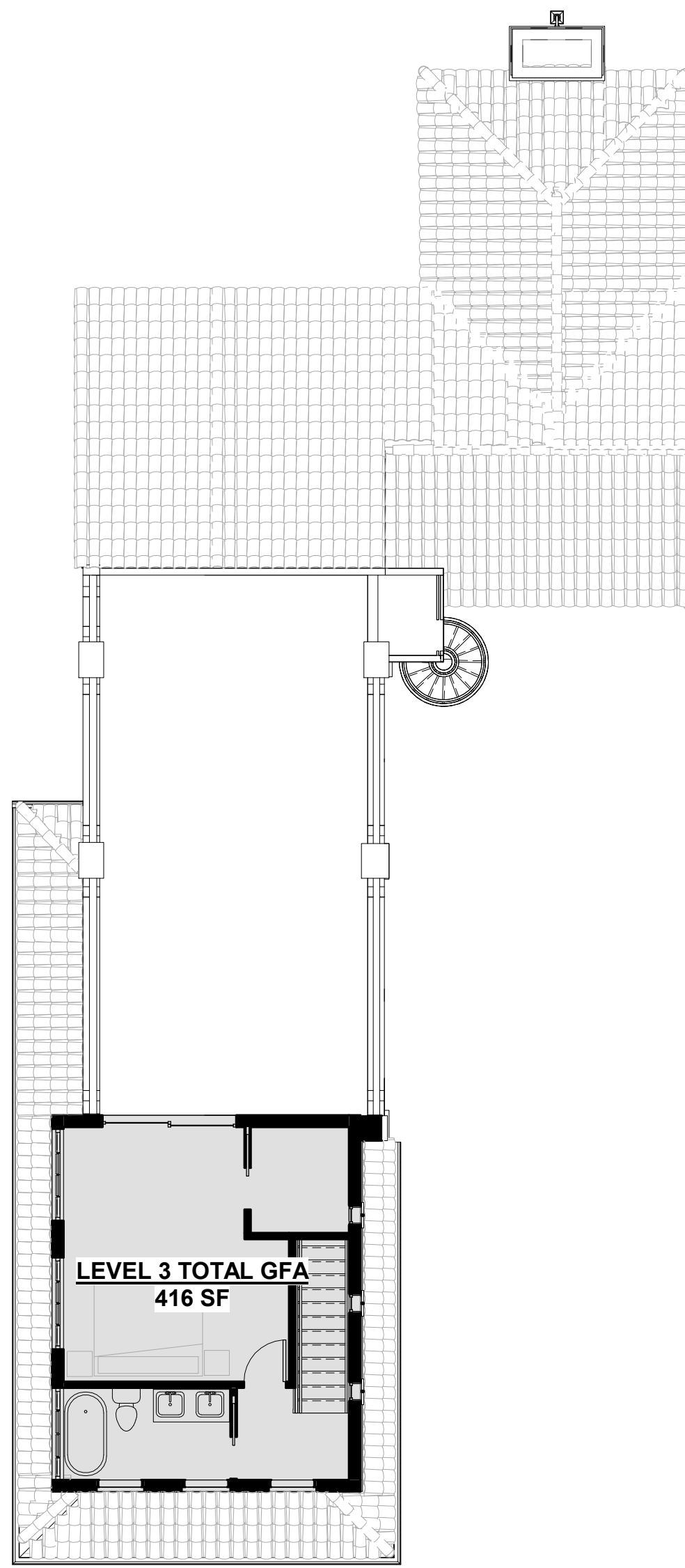
**LEVEL 3:**  
(N) ADDITION: 416 SF  
**TOTAL:** 4460 SF



PROPOSED  
**LEVEL 1 GFA DIAGRAM**  
1/8" = 1'-0"



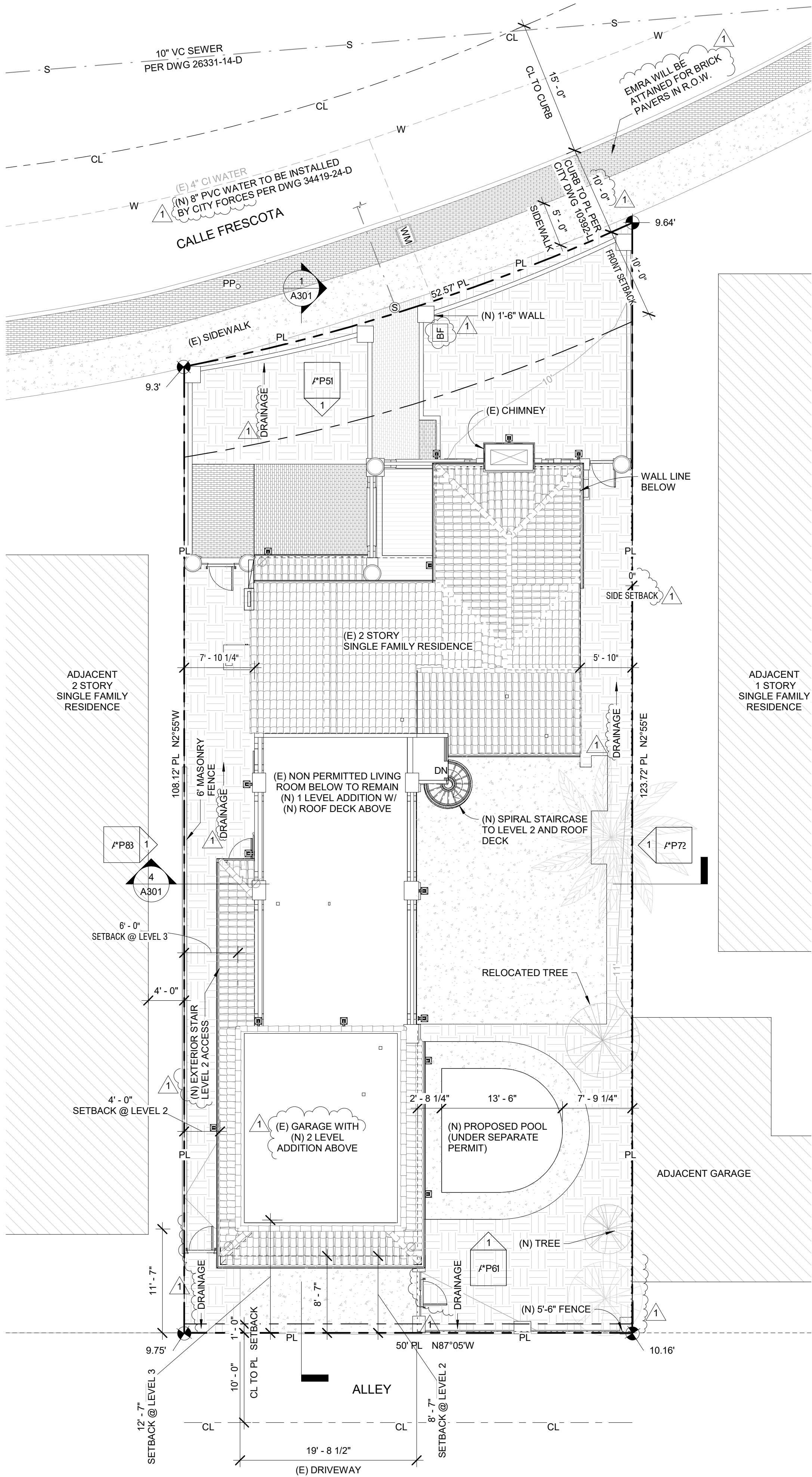
PROPOSED  
**LEVEL 2 GFA DIAGRAM**  
1/8" = 1'-0"



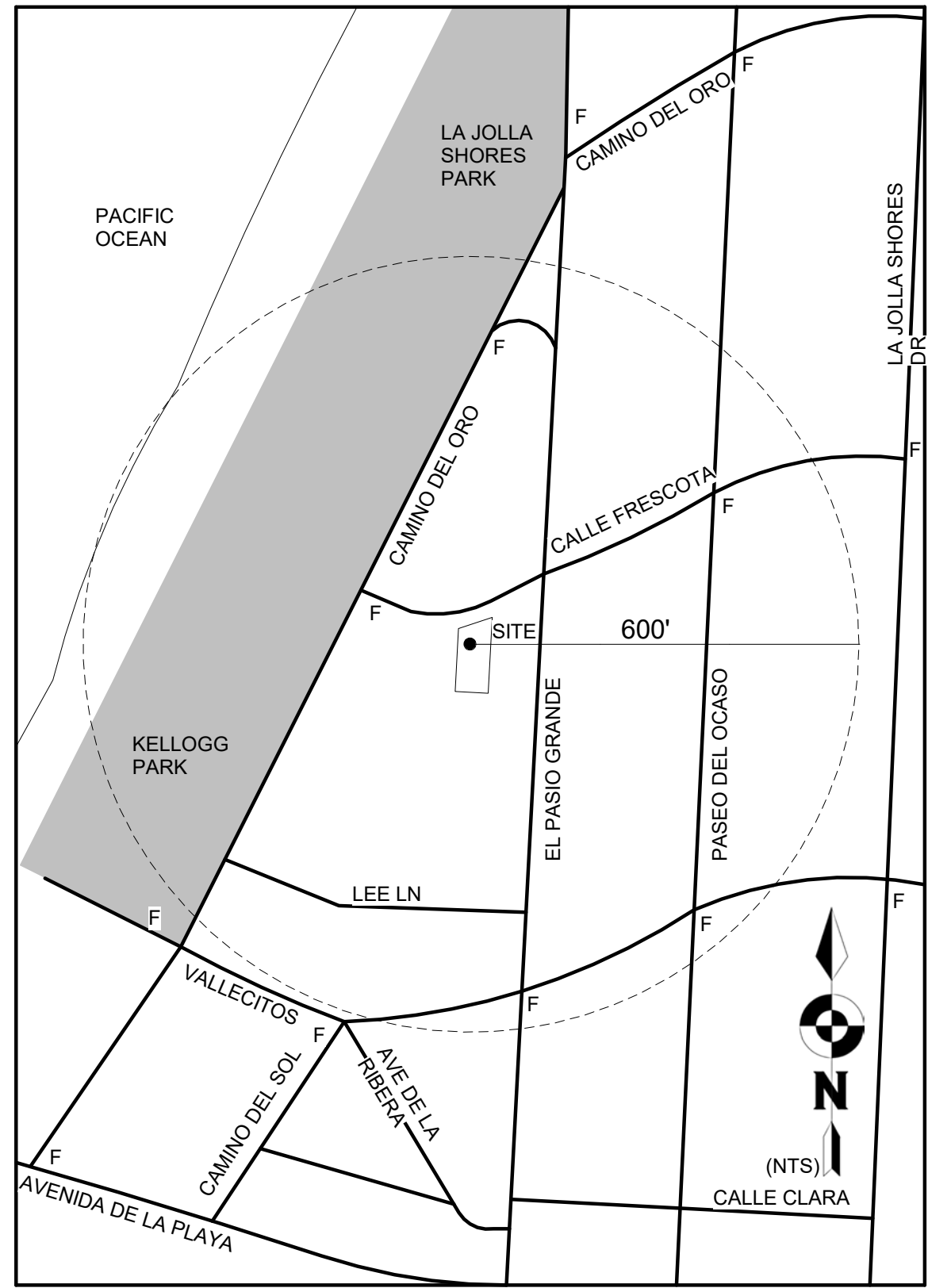
PROPOSED  
**LEVEL 3 GFA DIAGRAM**  
1/8" = 1'-0"







**SITE PLAN**  
1/8" = 1'-0"



**FIRE HYDRANT LOCATIONS**

**BASIS OF ELEVATIONS**  
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK  
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB  
LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND  
EL PASEO GRANDE  
DATUM: M.S.L. (NGVD 29)  
ELEVATION: 10.55 FEET  
  
SURVEY DATE: MAY 23, 2017  
SOURCE: VERNON FRANCK, LICENSE NO. 7927; REF. G010

## SITE PLAN LEGEND

- |  |   |
|--|---|
|  | (E) BRICK PAVERS (IMPERVIOUS)                   |
|  | (E) CONCRETE SURFACE (IMPERVIOUS)               |
|  | LANDSCAPING REF. LP-1 & LP-2 (PERVIOUS)         |
|  | (N) PERMEABLE PAVERS FOR COMPANION UNIT PARKING |
|  | PROPERTY LINE                                   |
|  | SETBACK LINES                                   |
|  | WATER DRAIN FLOW DIRECTION                      |
|  | (E) WATER METER                                 |
|  | (E) SEWER                                       |
|  | ELECTRICAL METER                                |
|  | GAS   |
|  | TRASH BIN                                       |
|  | RECYCLING BIN                                   |
|  | GREEN WASTE                                     |
|  | TREE  |
|  | ROOF DOWNSPOUT                                  |
|  | HOSE BIB  |
|  | SEWER LINE                                      |
|  | WATER LINE                                      |
|  | (N) BACKFLOW PREVENTER                          |

## PLAN NOTES

- NO TRANSIT STOPS ADJACENT TO PROPERTY
- NO MUTUAL EASEMENT
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-006 (UFC 901.4.4)
- NEAREST FIRE HYDRANT LOCATED AT STREET CORNERS IN FRONT OF 8285 CAMINO DEL ORO.
- SITE IS NOT ADJACENT TO ANY ENVIRONMENTALLY SENSITIVE LANDS.
- DRAINAGE SHALL BE FILTERED AND DIRECTED TO EXISTING LANDSCAPE.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL 3' AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

### ADDITIONAL NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- NO EXISTING OR PROPOSED PUBLIC OR PRIVATE GENERAL UTILITY, WATER, OR SEWER EASEMENTS ENCUMBERING THE PROPERTY
- NO OBJECTS HIGHER THAN 36 INCHES ARE PROPOSED IN VISIBILITY AREAS.
- EXISTING SEWER LATERAL WILL REMAIN.
- MAXIMUM FOOTING DEPTH OF 6" PER TABLE 1809.7 (2016 CBC)

## CALCULATIONS

**GRADING QUANTITIES:**  
NO GRADING PROPOSED, NO CUTTING OR FILL PROPOSED

**PARKING CALCULATIONS:**  
(E) SINGLE DWELLING UNIT (PER SECTION 142.0520)  
TOTAL REQUIRED/PROVIDED: 2 SPACES



ARCHITECTS.QUAL.COM  
640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

## BALBARAIS RESIDENCE REMODEL AND ADDITION

OWNER:  
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2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

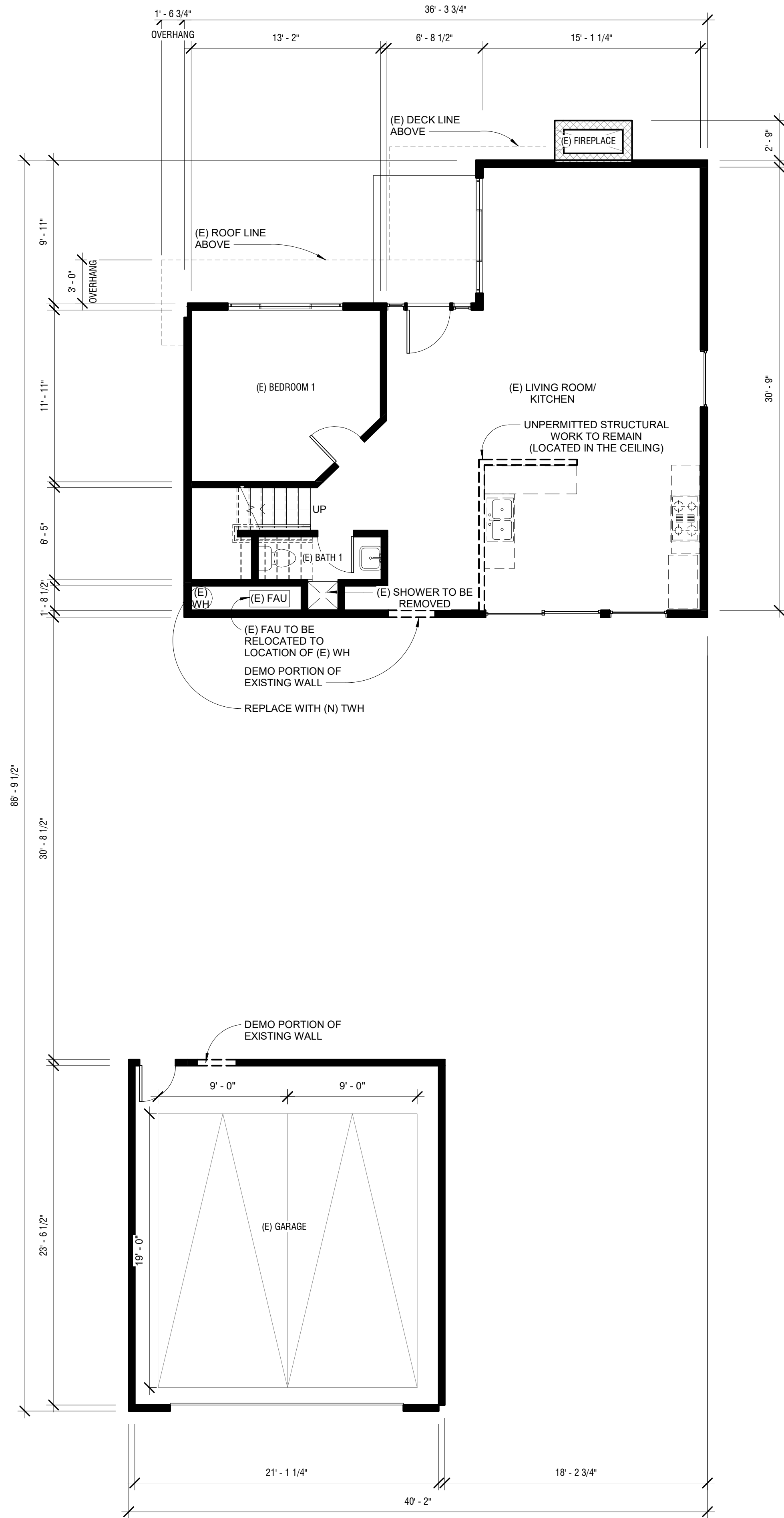
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CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

## SITE PLAN

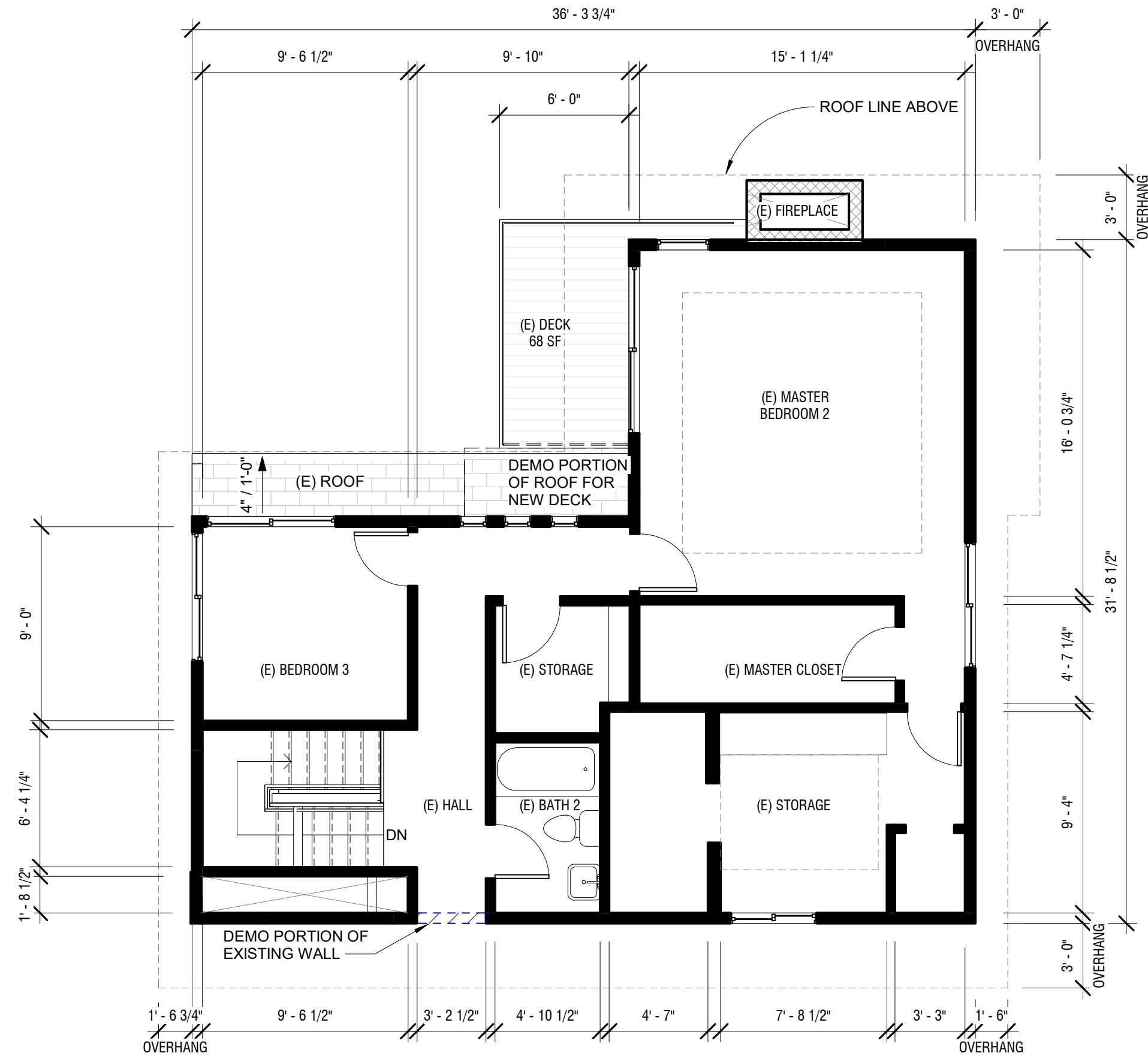
A001

SCALE: As indicated  
SHEET: 12 OF 26

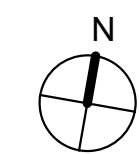




EXISTING/DEMO  
**LEVEL 1 FLOOR PLAN**  
3/16" = 1'-0"



EXISTING/DEMO  
**LEVEL 2 FLOOR PLAN**  
3/16" = 1'-0"



## WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING 8" MASONRY WALL
- DEMOLISHED LINE
- SMOKE DETECTOR (HARDWIRED)
- CARBON MONOXIDE DETECTOR
- (E) FAU
- (E) WINCHESTER 2-STAGE VARIABLE SPEED MULTI-POSITIONAL NATIONAL GAS FURNACE: W9V120-524 (120,000 BTU) OR SIMILAR



## BALBARAIS RESIDENCE REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

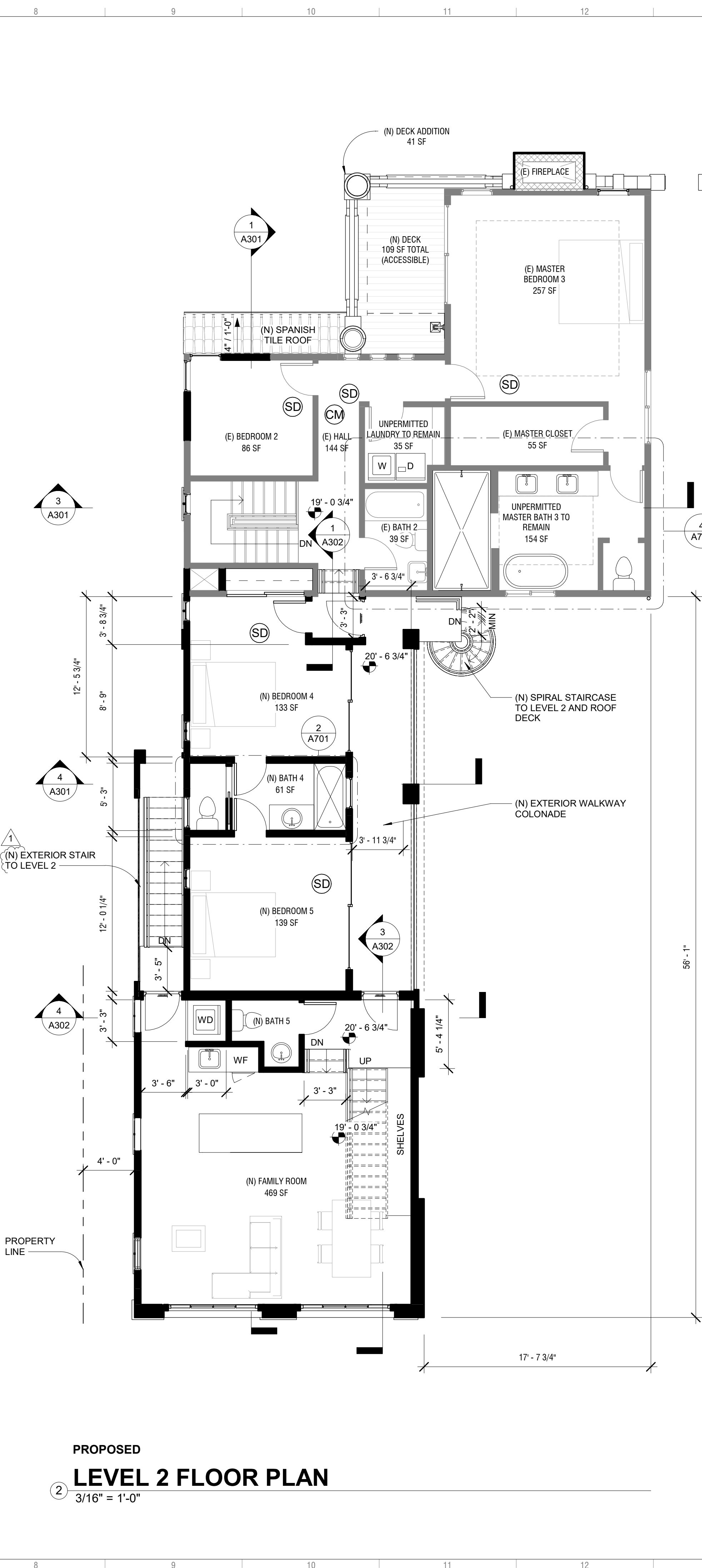
NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17




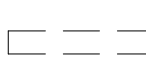



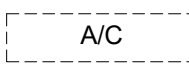
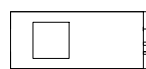



PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

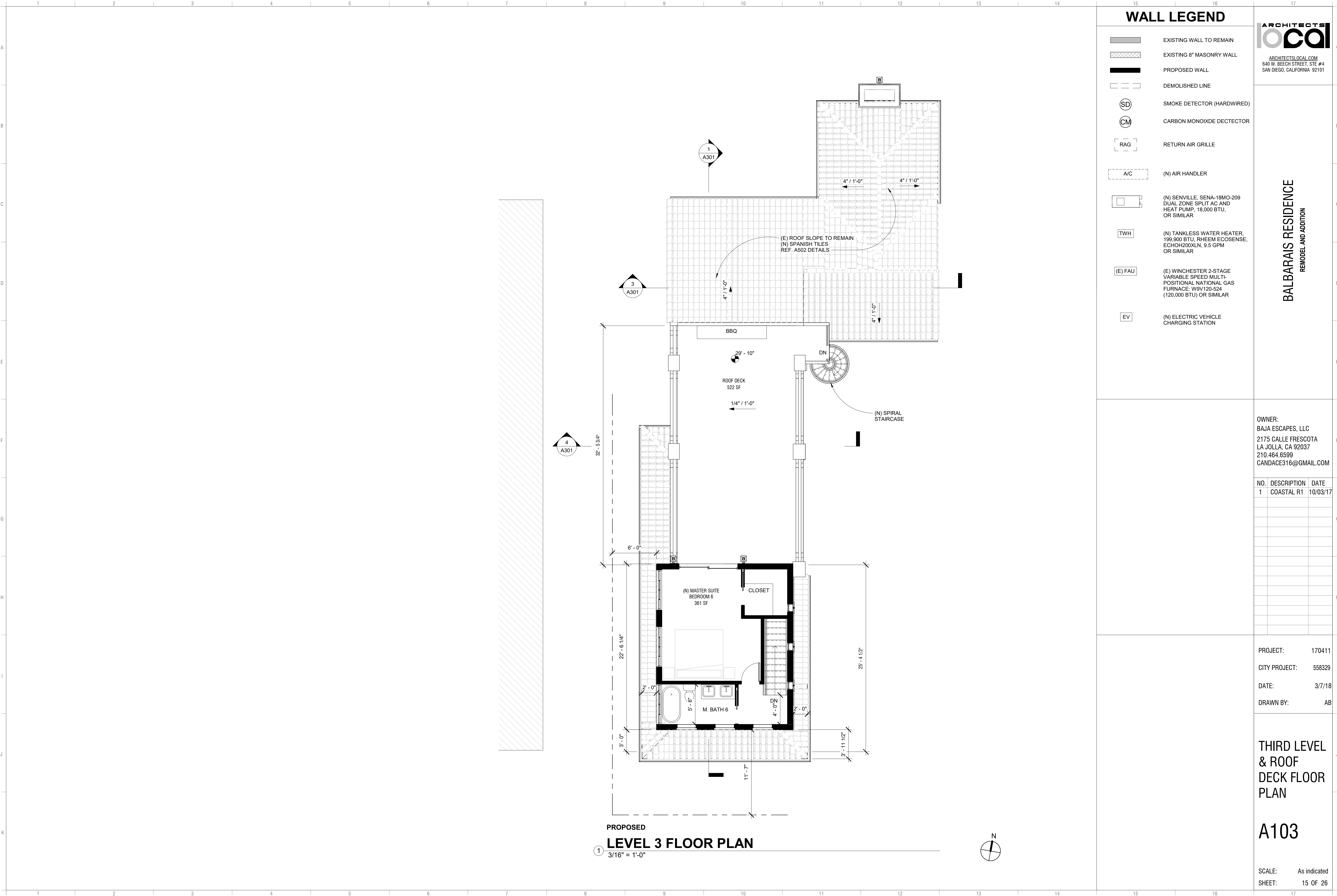
## EXISTING FLOOR PLANS

# A101

SCALE: As indicated  
SHEET: 13 OF 26



<div>15</div> <div>16</div> <div>17</div> <div>WALL LEGEND</div> <div> <div>  <div>EXISTING WALL TO REMAIN</div> </div> <div>  <div>EXISTING 8" MASONRY WALL</div> </div> <div>  <div>PROPOSED WALL</div> </div> <div>  <div>DEMOLISHED LINE</div> </div> <div> <div>  <div>SMOKE DETECTOR (HARDWIRED)</div> </div> <div>  <div>CARBON MONOXIDE DETECTOR</div> </div> <div> <div>  <div>RETURN AIR GRILLE</div> </div> <div> <div>  <div>(N) AIR HANDLER</div> </div> <div> <div>  <div>(N) SENVILLE, SENA-18MO-209 DUAL ZONE SPLIT AC AND HEAT PUMP, 18,000 BTU, OR SIMILAR</div> </div> <div> <div>  <div>(N) TANKLESS WATER HEATER, 199,900 BTU, RHEEM ECOSENSE, ECHOH200XLN, 9.5 GPM OR SIMILAR</div> </div> <div> <div>  <div>(E) WINCHESTER 2-STAGE VARIABLE SPEED MULTI- POSITIONAL NATIONAL GAS FURNACE: W9V120-524 (120,000 BTU) OR SIMILAR</div> </div> <div> <div>  <div>(N) ELECTRIC VEHICLE CHARGING STATION</div> </div> </div> </div></div></div></div></div></div></div>	<div>ARCHITECTS</div> <div>local</div> <div>ARCHITECTS.LOCAL.COM</div> <div>640 W. BEECH STREET, STE #4</div> <div>SAN DIEGO, CALIFORNIA 92101</div> <div>BALBARAIS RESIDENCE</div> <div>REMODEL AND ADDITION</div>	
	<div>OWNER:</div> <div>BAJA ESCAPES, LLC</div> <div>2175 CALLE FRESCOTA</div> <div>LA JOLLA, CA 92037</div> <div>210.464.6599</div> <div>CANDACE316@GMAIL.COM</div> <div>NO.</div> <div>DESCRIPTION</div> <div>DATE</div> <div>1</div> <div>COASTAL R1</div> <div>10/03/17</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	
	<div>PROJECT:</div> <div>170411</div> <div>CITY PROJECT:</div> <div>558329</div> <div>DATE:</div> <div>3/7/18</div> <div>DRAWN BY:</div> <div>AB</div> <div>PROPOSED FLOOR PLAN</div> <div>A102</div> <div>SCALE:</div> <div>As indicated</div> <div>SHEET:</div> <div>14 OF 26</div>	



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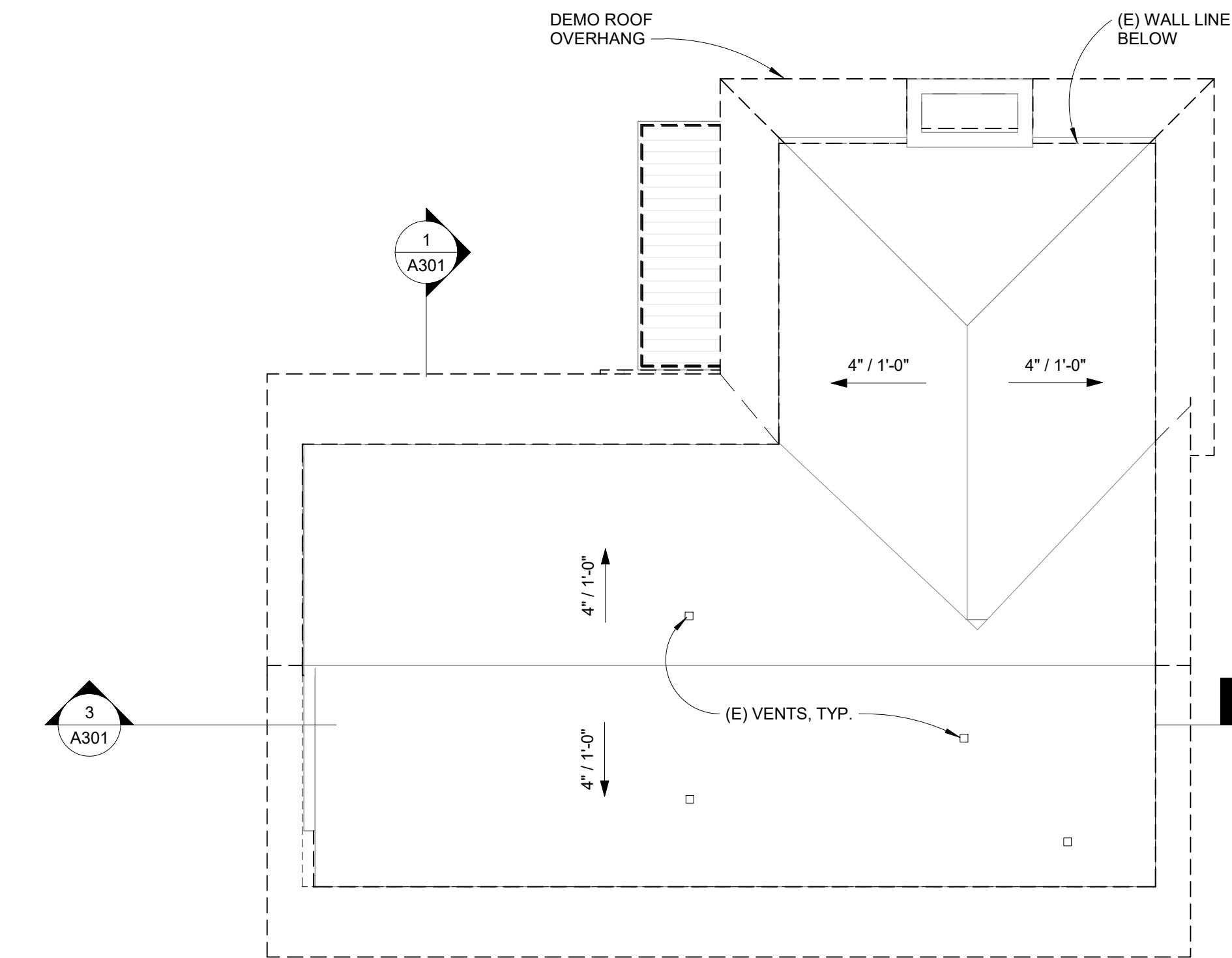
BALBARAIS RESIDENCE  
REMODEL AND ADDITION

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

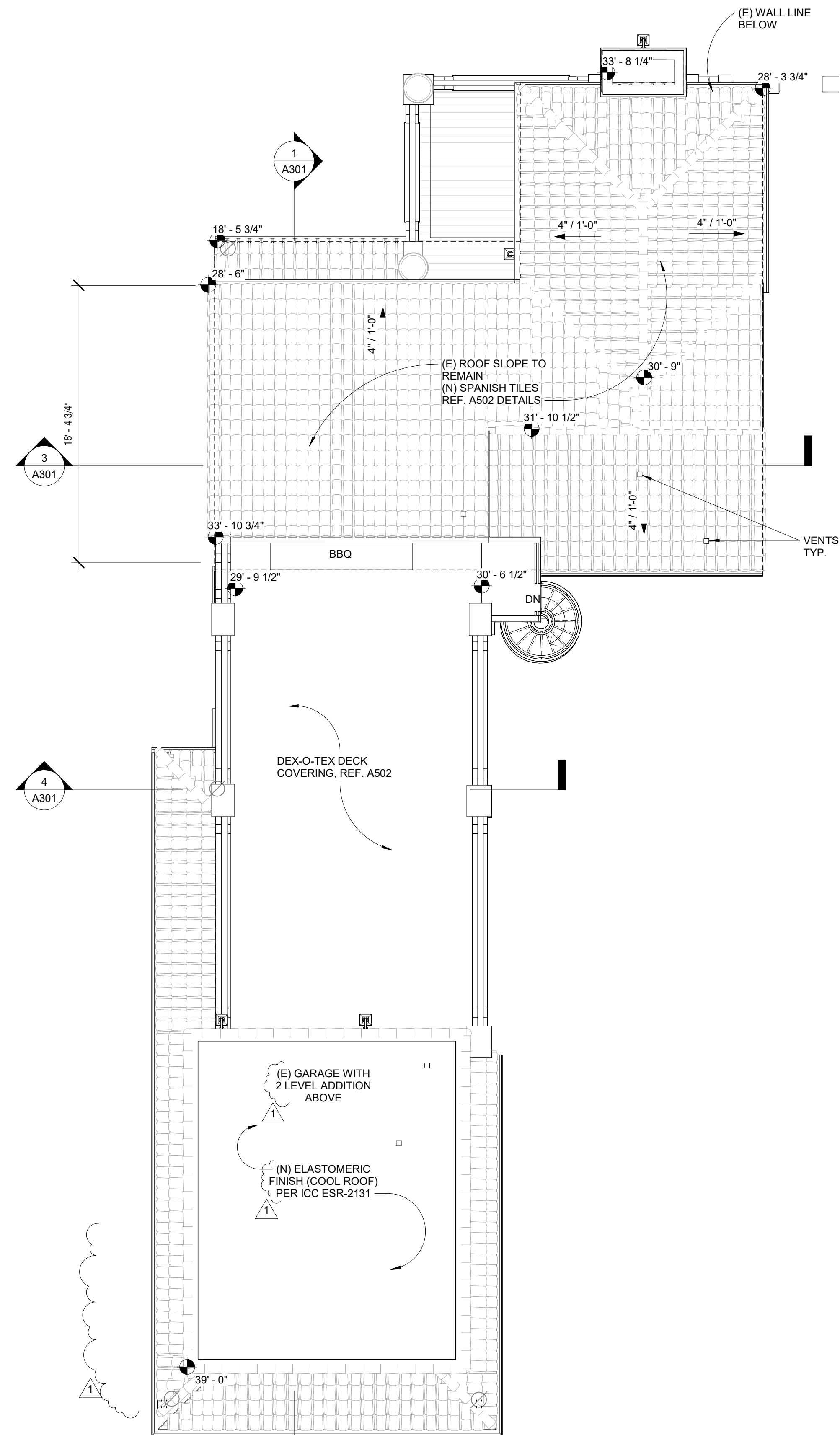
THIRD LEVEL  
& ROOF  
DECK FLOOR  
PLAN

A103

SCALE: As indicated  
SHEET: 15 OF 26



EXISTING  
1 3/16" = 1'-0"  
**ROOF PLAN**



PROPOSED  
2 3/16" = 1'-0"  
**ROOF PLAN**

- LEGEND**
- (N) SPANISH TILES  
REF. A502
  - DOWNSPOUTS
  - EXHAUST VENTS
  - WALL LINE BELOW



**BALBARAIS RESIDENCE**  
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NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

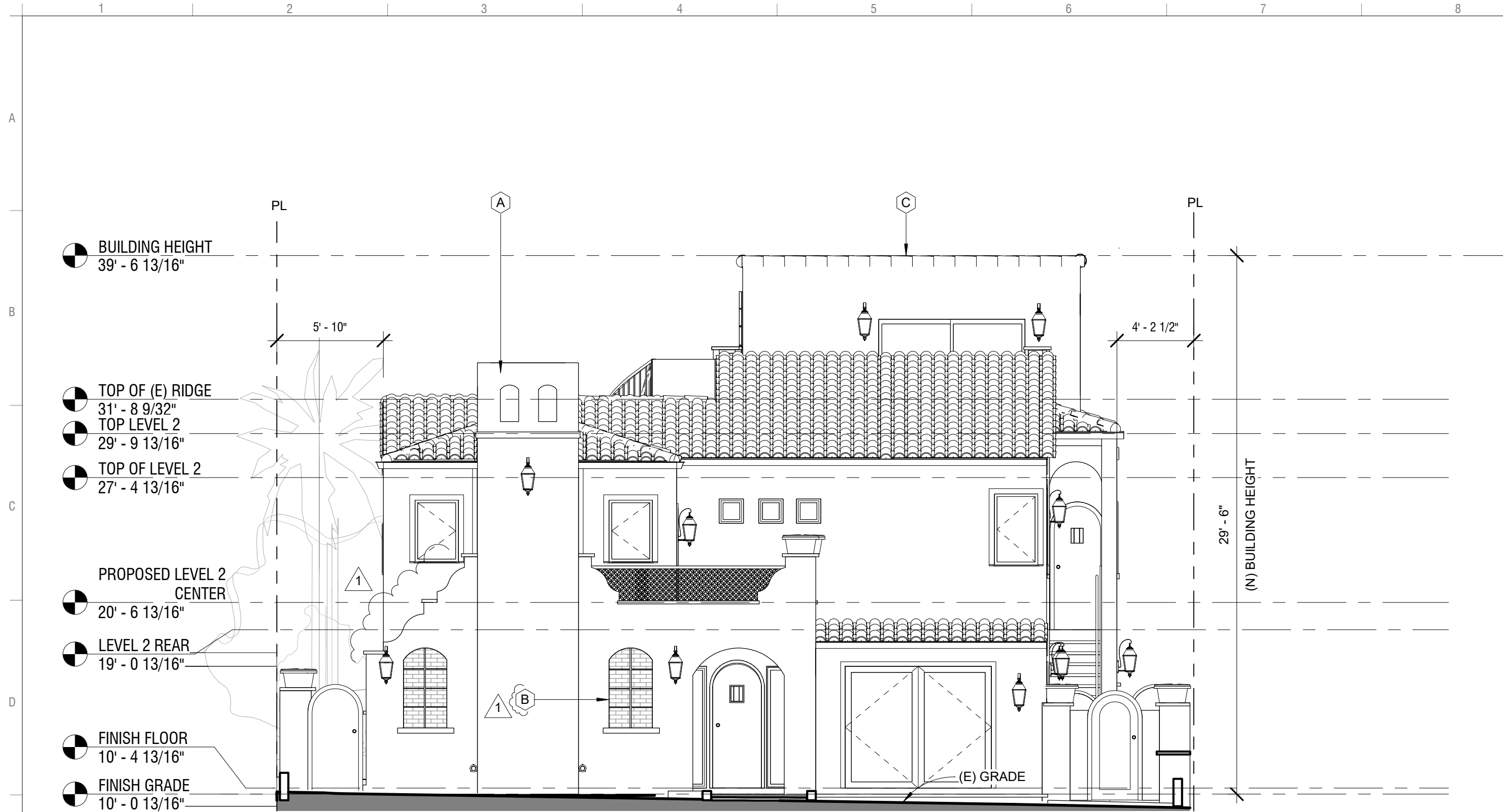
PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**ROOF PLANS**

**A104**

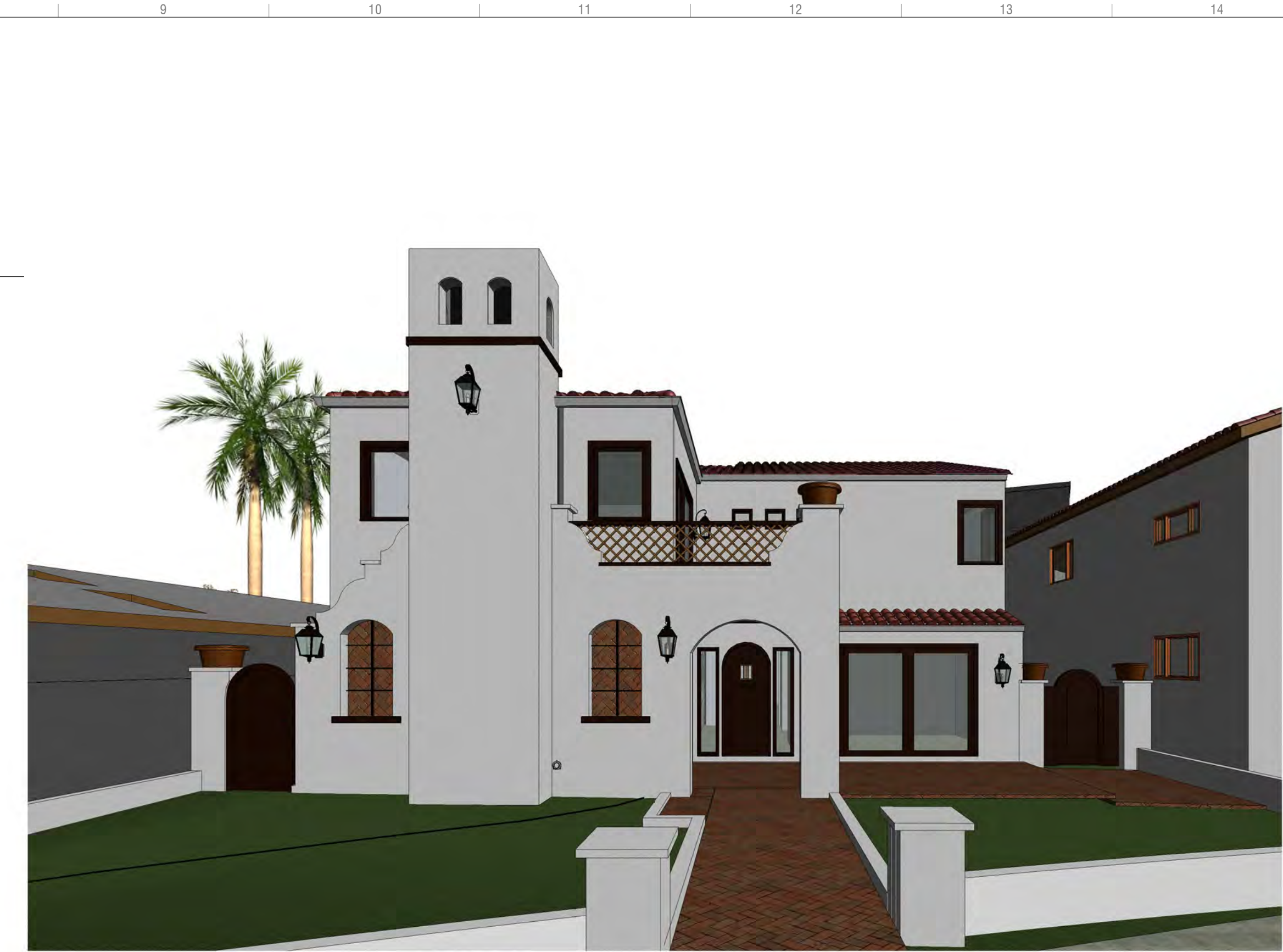
SCALE: As indicated  
SHEET: 16 OF 26





**NORTH ELEVATION**

① 3/16" = 1'-0"



**NORTH ELEVATION PERSPECTIVE**

③



**SOUTH ELEVATION**

② 3/16" = 1'-0"



**SOUTH ELEVATION PERSPECTIVE**

④

**GENERAL NOTES**

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

- FINISHED FLOOR ELEVATION AT 10.40'
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.

**FINISH SCHEDULE**

MARK	ELEMENT	DESCRIPTION	MANU./COLOR
(N)	(N) SIDING	STUCCO	WHITE
(B)	(N) SIDING	BRICK	RED HUES
(C)	(E) ROOFING	(N) SPANISH TILES	TERRA COTTA
(D)	WINDOWS/ PATIO DOORS	WOOD	DARK BROWN
(E)	DOORS	PAINT GRADE WOOD	DARK BROWN

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**ELEVATIONS**

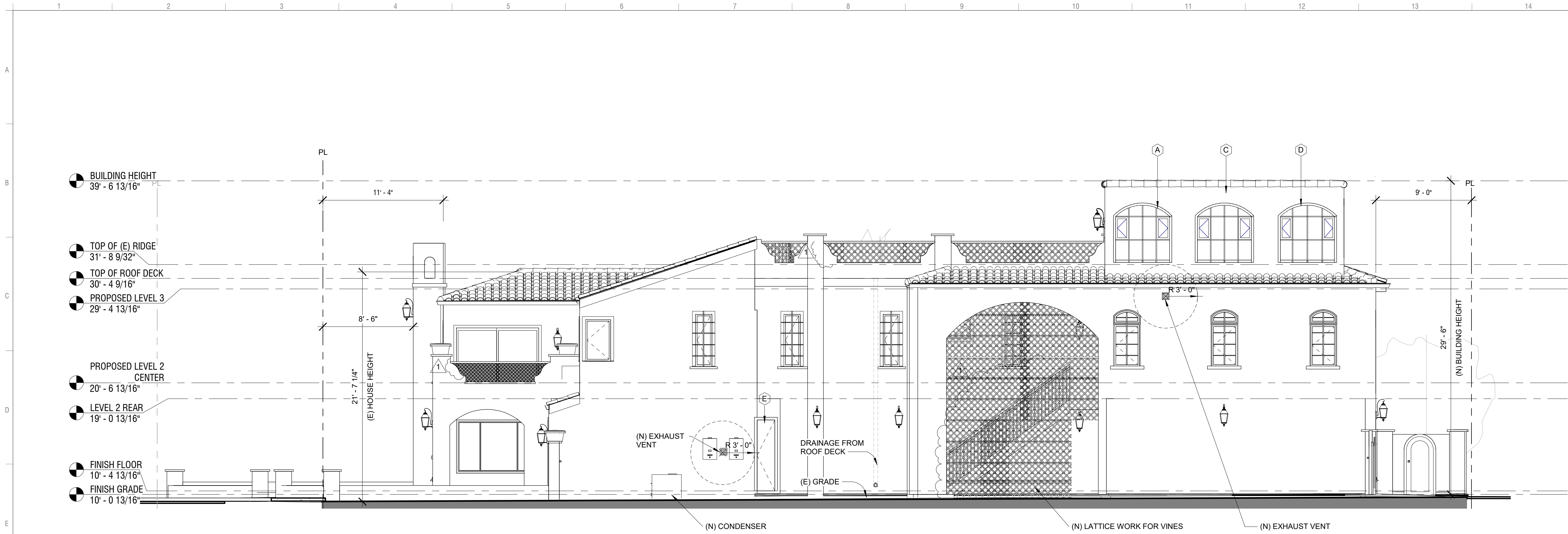
**A201**

SCALE: 3/16" = 1'-0"  
SHEET: 17 OF 26









1 WEST ELEVATION  
3/16" = 1'-0"



2 WEST PERSPECTIVE

BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

GENERAL NOTES

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

- FINISHED FLOOR ELEVATION AT 10.40'
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.

FINISH SCHEDULE

MARK	ELEMENT	DESCRIPTION	MANU./COLOR
A	(N) SIDING	STUCCO	WHITE
C	(E) ROOFING	(N) SPANISH TILES	TERRA COTTA
D	WINDOWS/ PATIO DOORS	WOOD	DARK BROWN
E	DOORS	PAINT GRADE WOOD	DARK BROWN

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

ELEVATIONS

A203

SCALE: 3/16" = 1'-0"  
SHEET: 19 OF 26



BALBARAIS RESIDENCE  
REMODEL AND ADDITION

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LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

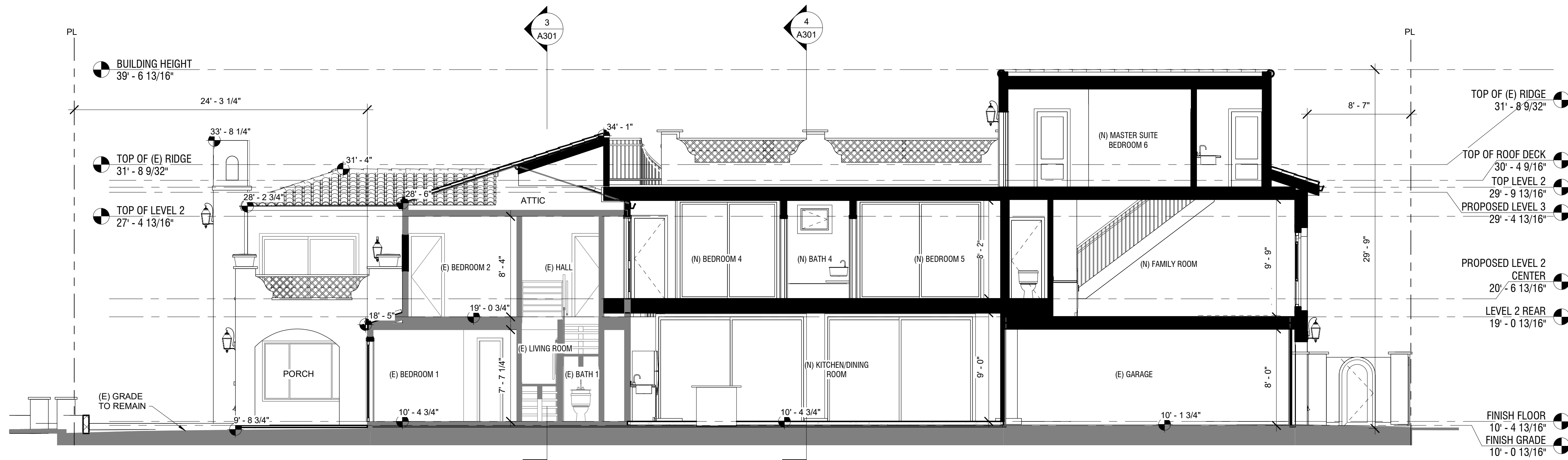
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1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

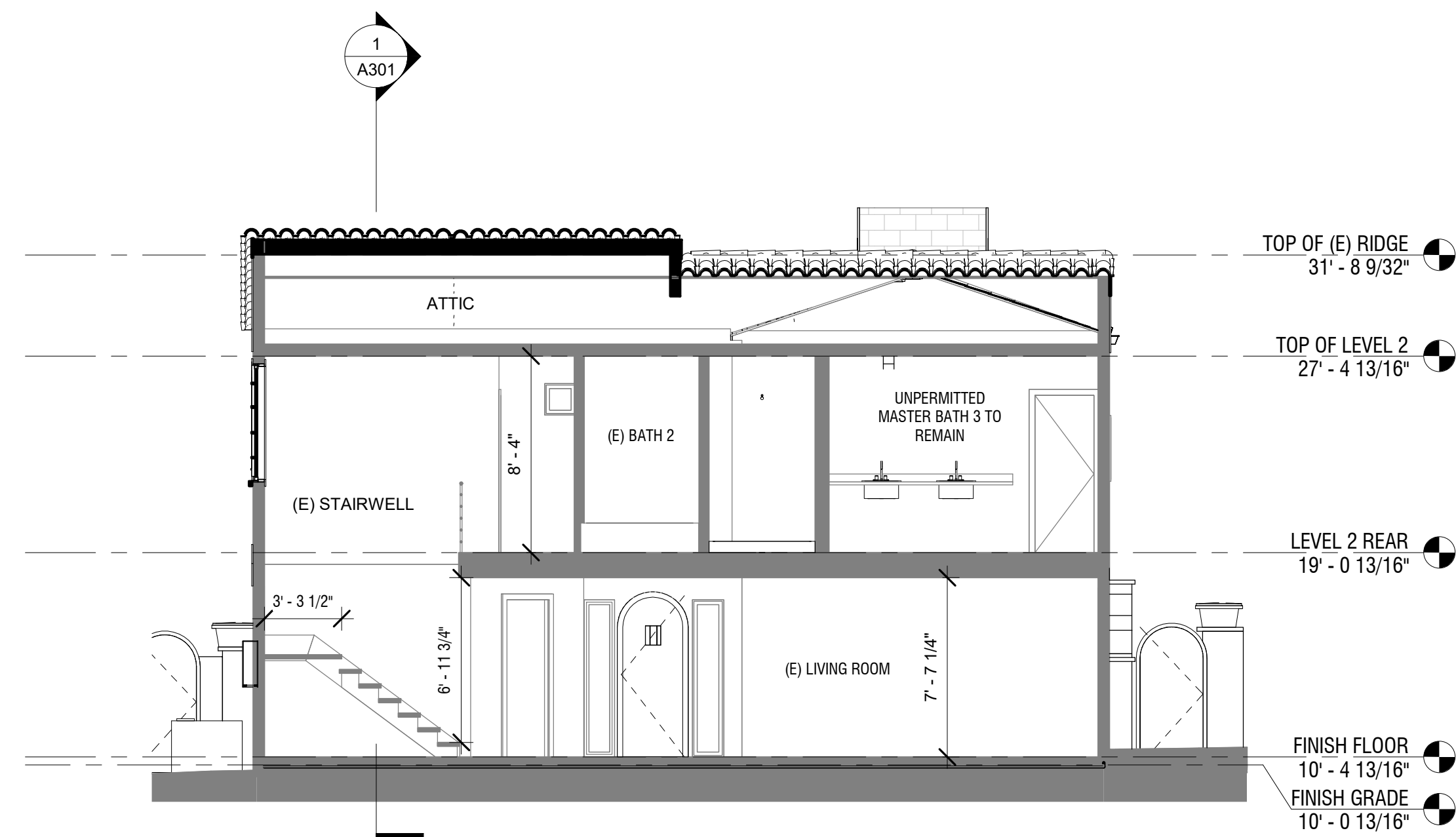
SECTIONS

A301

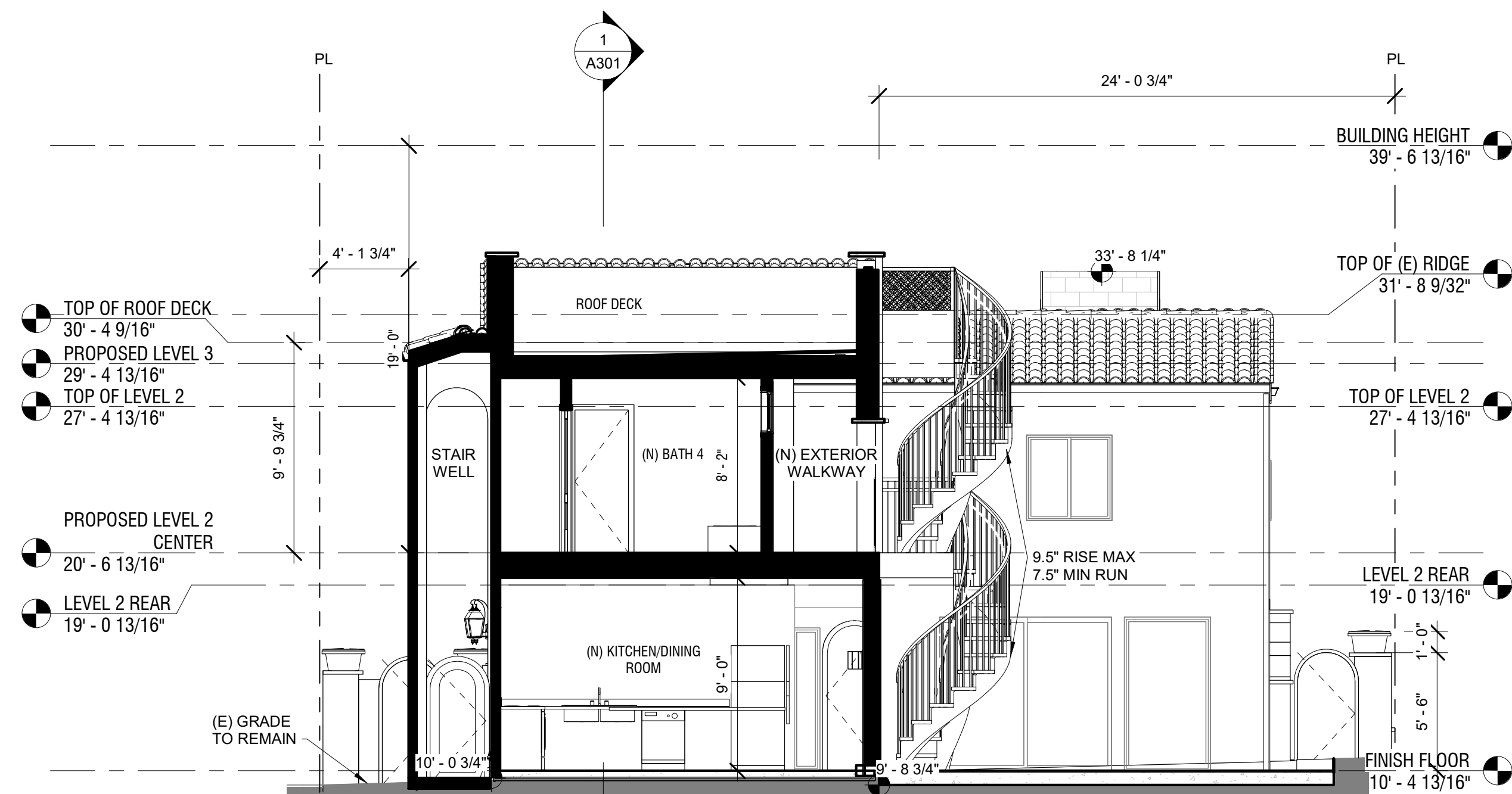
SCALE: 3/16" = 1'-0"  
SHEET: 20 OF 26



**SECTION 1**  
3/16" = 1'-0"



**SECTION 3**  
3/16" = 1'-0"



**SECTION 4**  
3/16" = 1'-0"



BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
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175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
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ANDACE316@GMAIL.COM

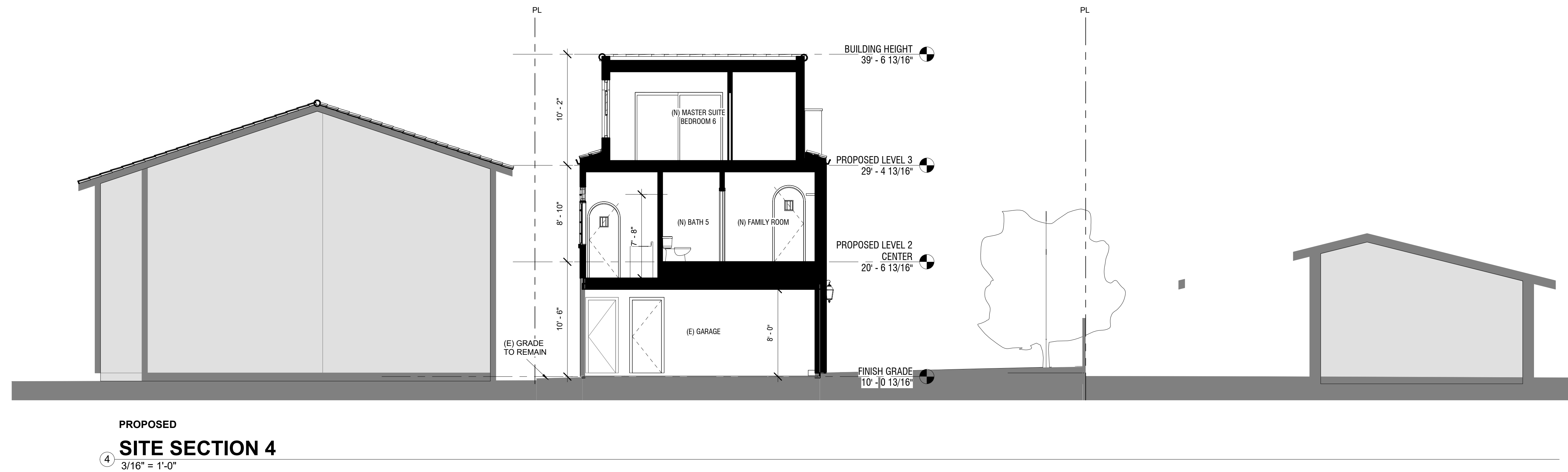
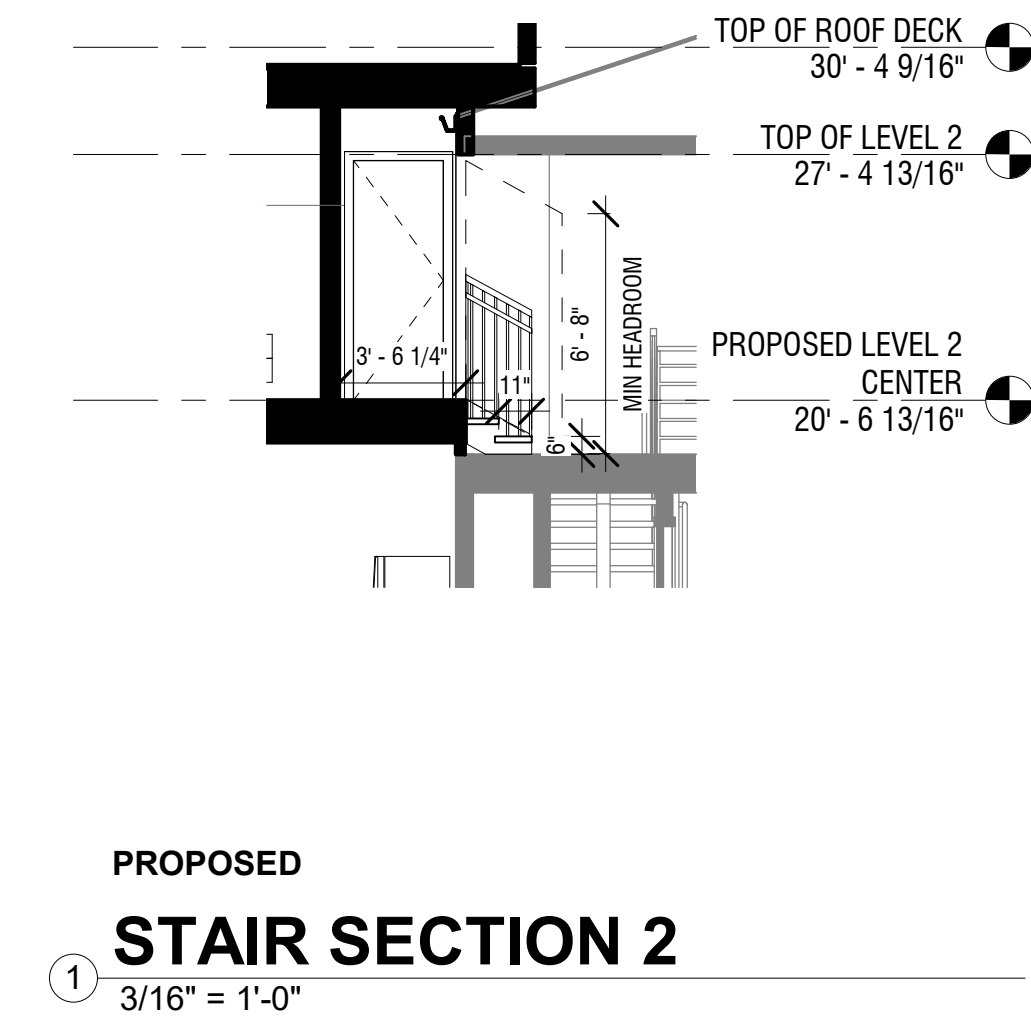
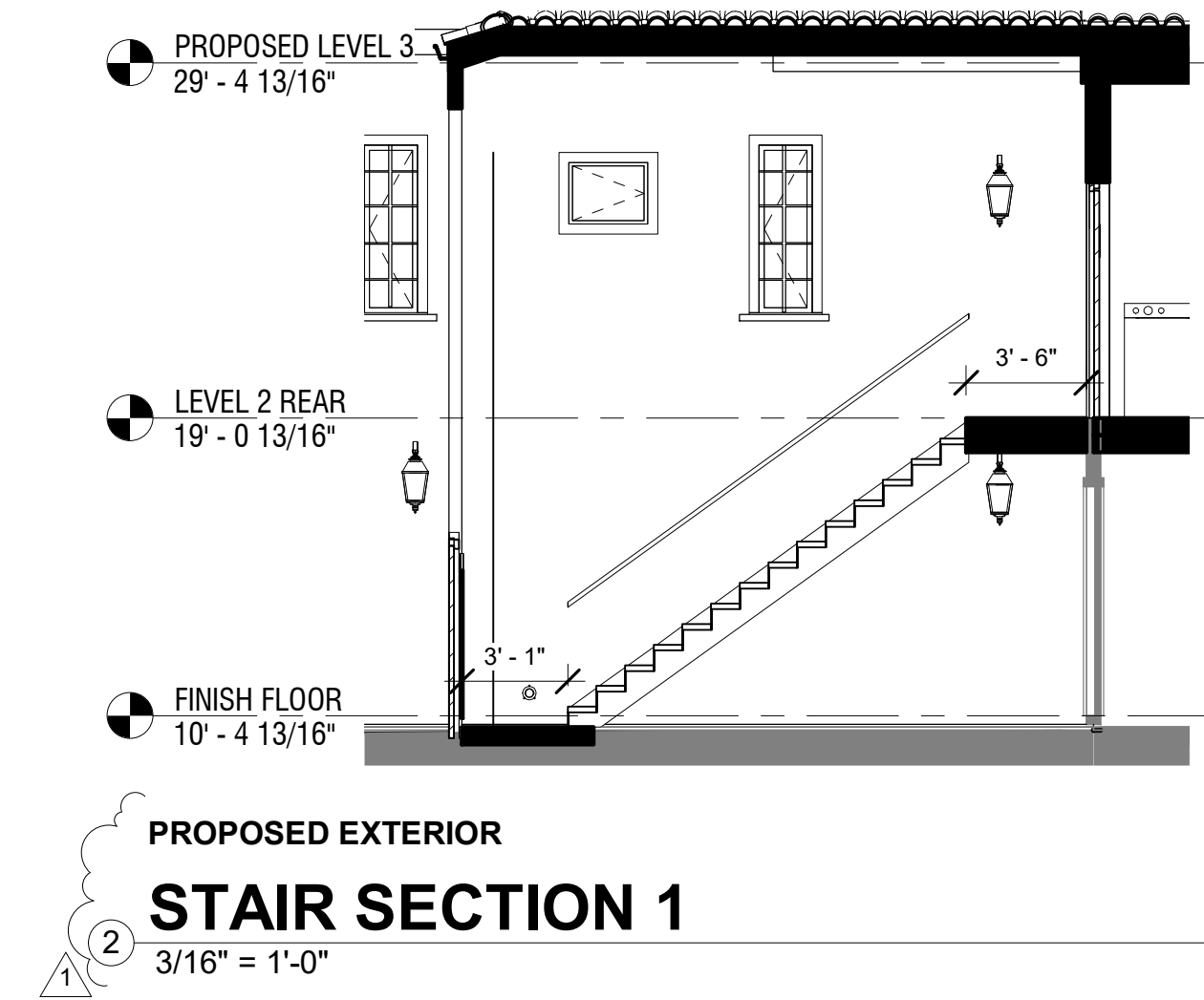
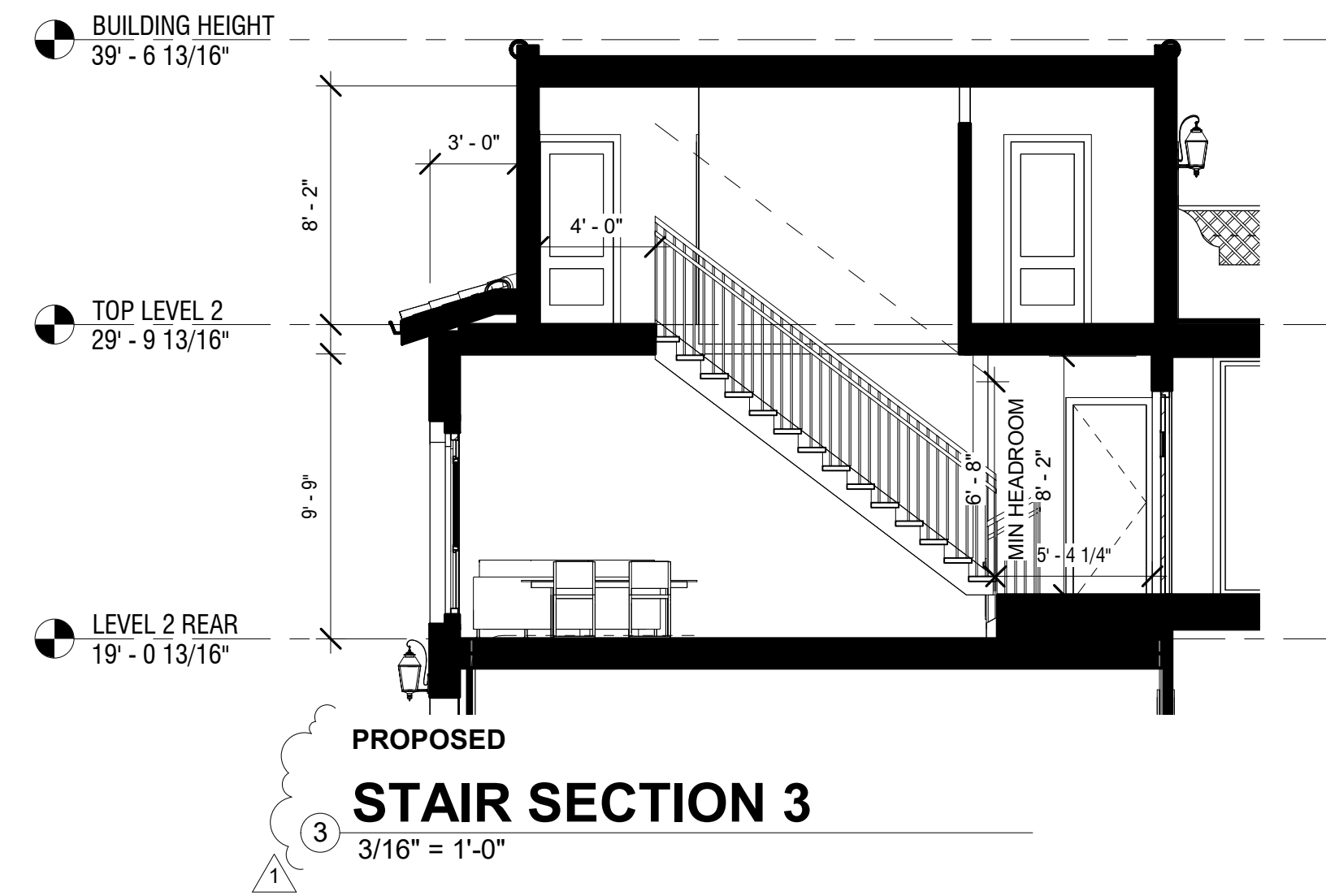
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PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

## STAIR SECTIONS

# A302

SCALE: 3/16" = 1'-0"  
SHEET: 21 OF 26







8 NORTH WEST STREET PERSPECTIVE



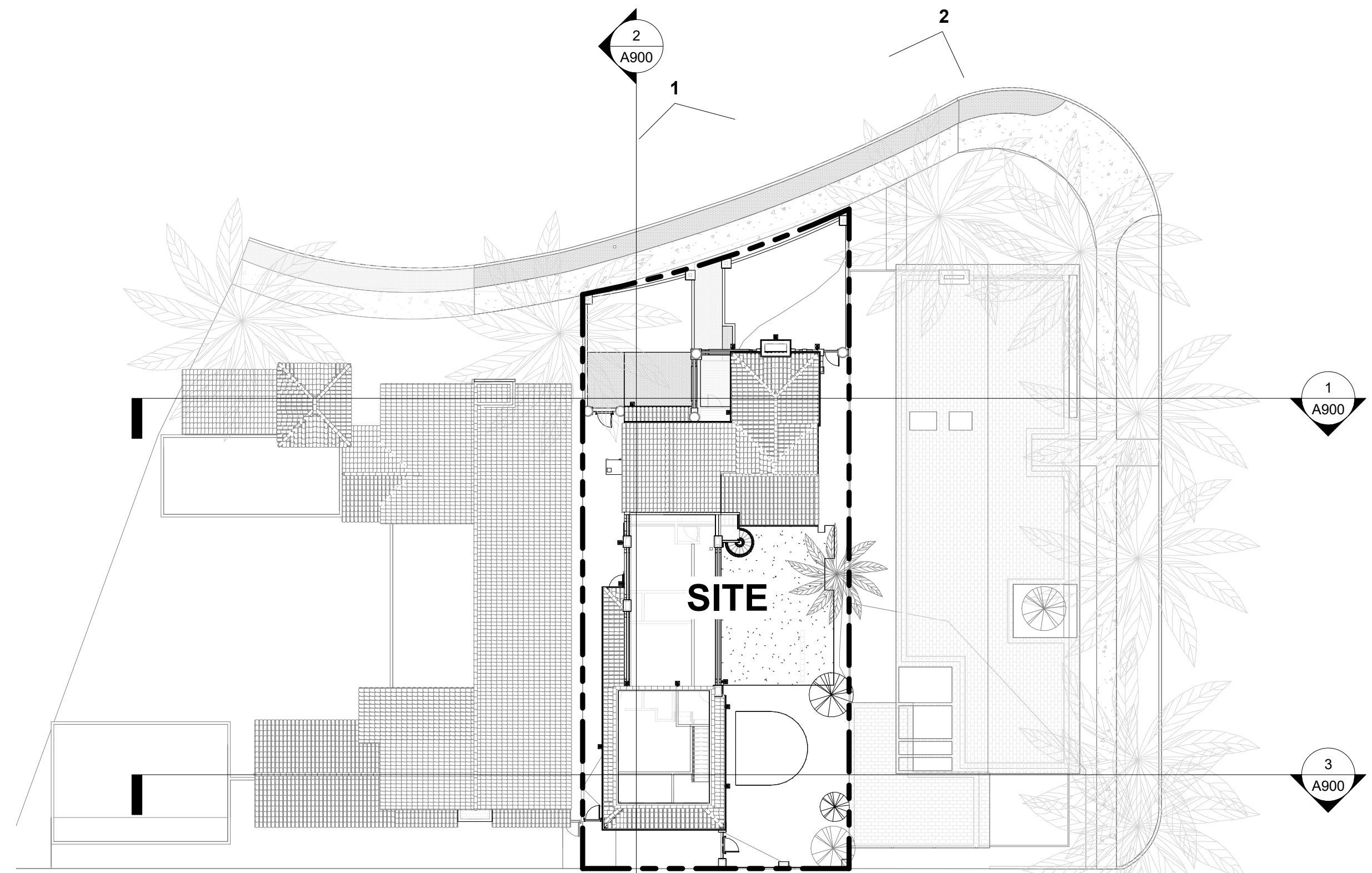
7 NORTH EAST STREET PERSPECTIVE



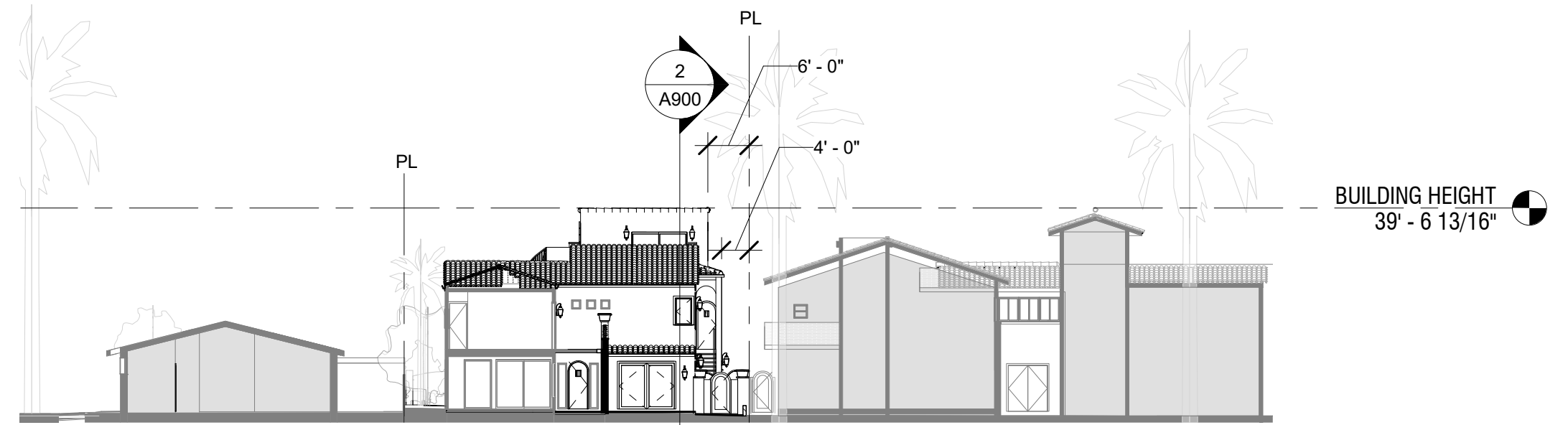
6 SOUTH WEST ALLEY PERSPECTIVE



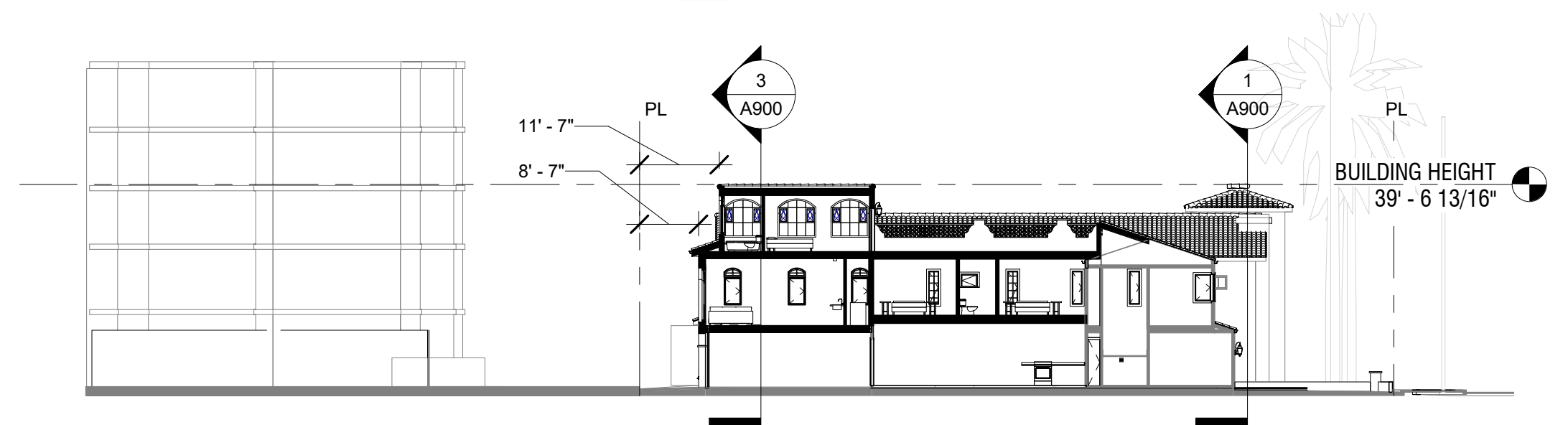
5 SOUTH EAST ALLEY PERSPECTIVE



SITE SECTION REFERENCE  
SITE PLAN  
1" = 20'-0"



1 SITE SECTION 1  
1" = 20'-0"



2 SITE SECTION 2  
1" = 20'-0"



3 SITE SECTION 3  
1" = 20'-0"





CALCULATIONS

LANDSCAPING AREAS:	
FRONT YARD:	710 SF
LEFT SIDE YARD:	413 SF
RIGHT SIDE YARD:	344 SF
REAR YARD:	364 SF
TOTAL:	1,831 SF

LANDSCAPE COVERAGE:	
LOT AREA:	5,728 SF
PERCENT COVERAGE REQ.:	30%
PROPOSED: 1831/5728=	32.0%
32% > 30% =	OK

PLAN NOTES

1. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.



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640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

BALBARAIS RESIDENCE

REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

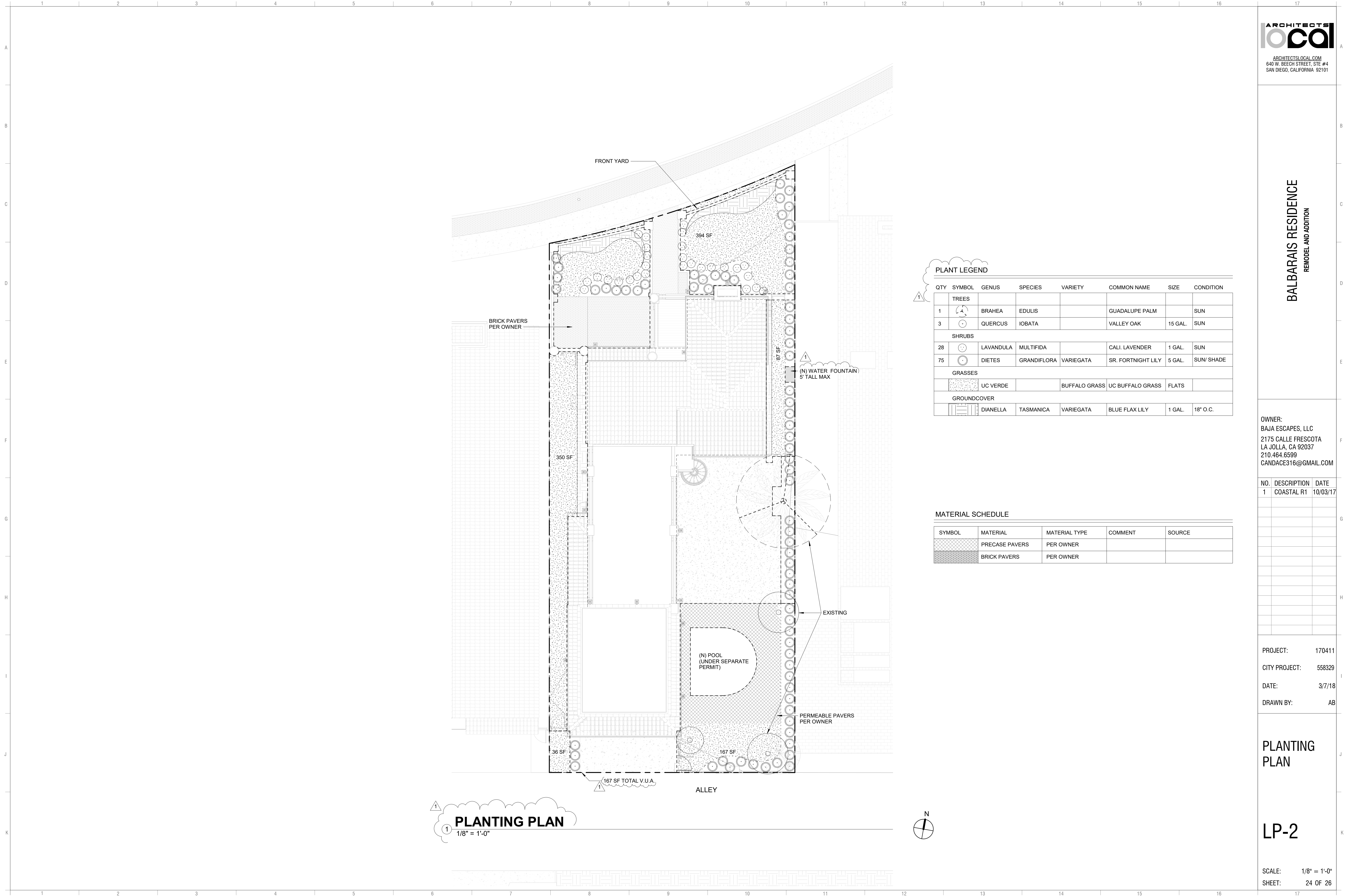
NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

PLANTING AREA

LP-1

SCALE: 1/8" = 1'-0"  
SHEET: 23 OF 26



BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

PLANTING  
PLAN

LP-2

SCALE: 1/8" = 1'-0"  
SHEET: 24 OF 26

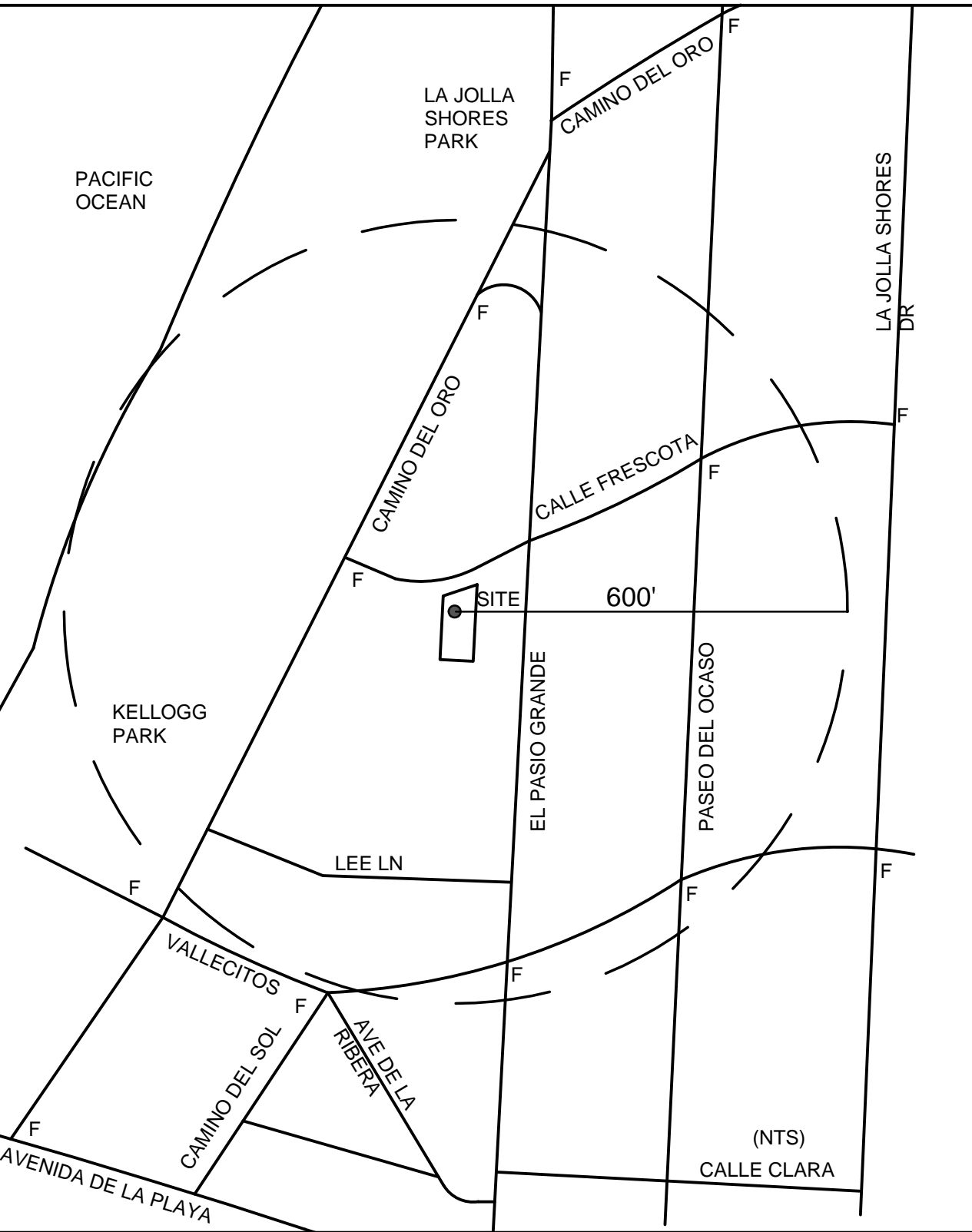
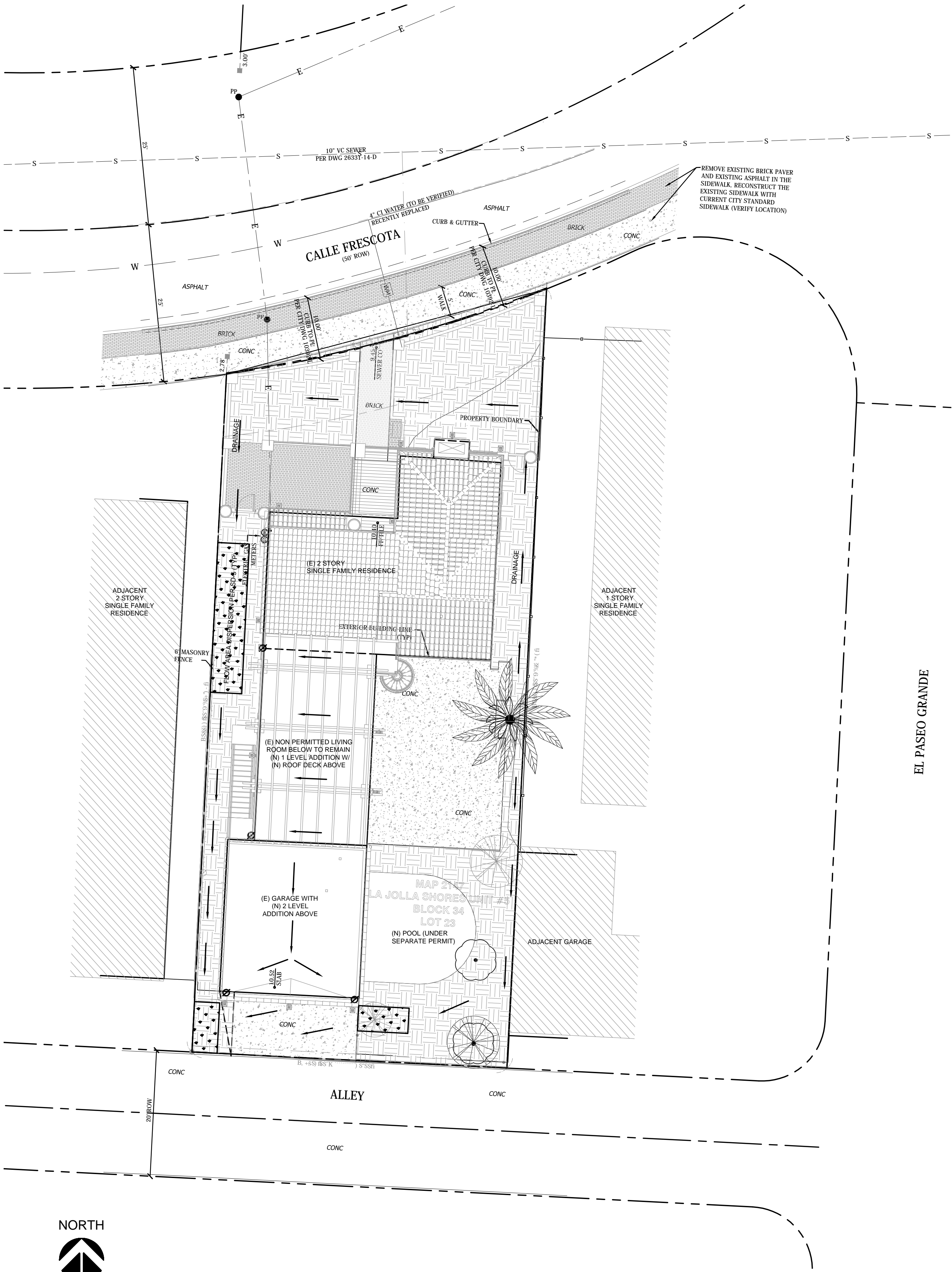
PLANT LEGEND

QTY	SYMBOL	GENUS	SPECIES	VARIETY	COMMON NAME	SIZE	CONDITION
TREES							
1		BRAHEA	EDULIS		GUADALUPE PALM		SUN
3		QUERCUS	IOBATA		VALLEY OAK	15 GAL.	SUN
SHRUBS							
28		LAVANDULA	MULTIFIDA		CALI. LAVENDER	1 GAL.	SUN
75		DIETES	GRANDIFLORA	VARIEGATA	SR. FORTNIGHT LILY	5 GAL.	SUN/ SHADE
GRASSES							
		UC VERDE		BUFFALO GRASS	UC BUFFALO GRASS	FLATS	
GROUND COVER							
		DIANELLA	TASMANICA	VARIEGATA	BLUE FLAX LILY	1 GAL.	18" O.C.

MATERIAL SCHEDULE

SYMBOL	MATERIAL	MATERIAL TYPE	COMMENT	SOURCE
	PRECASE PAVERS	PER OWNER		
	BRICK PAVERS	PER OWNER		





VICINITY MAP  
NO SCALE

### STORM WATER QUALITY NOTES/CONSTRUCTION BMP'S

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.  
[http://www.swrcb.ca.gov/water\\_issues/programs/stormwater](http://www.swrcb.ca.gov/water_issues/programs/stormwater)  
AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.  
<http://www.sandiego.gov/development-services/industry/stormwater.html>
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
3. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
5. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

### ABBREVIATIONS

AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER

### NOTE

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

### OWNER/APPLICANT

BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

### APN

346-222-04

### LEGAL DESCRIPTION

LOT #23, BLOCK #34, MAP #2147,  
SUBDIVISION-LA JOLLA SHORES UNIT #5.

### SITE AREA

0.131 ACRES

### GRADING TABULATION

AMOUNT OF CUT: NA 0  
AMOUNT OF FILL: NA 0  
AMOUNT OF IMPORT/EXPORT OF SOIL: 0

### TOPOGRAPHY SOURCE

METROPOLITAN MAPPING  
3712 30TH STREET  
SAN DIEGO, CA. 92104  
619.431.5250  
METROMAP.SD@GMAIL.COM

### BASIS OF ELEVATIONS

CITY OF SAN DIEGO VERTICAL CONTROL BENCH MARK MONUMENT  
DESCRIPTION: BRASS PLUG/TOP OF CURB  
LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND EL PASEO GRANDE  
DATUM: M.S.L. (NOV 29)  
ELEVATION: 10.55 FEET

### LEGEND

---	PROPERTY LINE
---	CENTER LINE
---	LOT LINE
---	RIGHT OF WAY
---	BOUNDARY LINE DATA (BEARING/DISTANCE)
---	(E) FOUND BOUNDARY MONUMENT
---	(E) EDGE OF CONCRETE
---	(E) CURB & GUTTER
---	(E) CMU WALL
---	(E) CONCRETE SURFACE
---	(E) WOOD FENCE
---	(E) CHAIN-LINK FENCE
---	(E) SEWER LINE
---	WATER LINE AND (E) WATER METER
---	TREE (TRUNK DRAWN TO SCALE)
---	SPOT ELEVATION
---	GROUND CONTOUR (1' INTERVAL)
---	GROUND CONTOUR (1' INTERVAL)
---	DIRECTION OF FLOW (EXISTING/PROPOSED)
---	FLOW AREA DISPERSION PER SD-5
---	(E) BRICK PAVERS (IMPERVIOUS)
---	(E) CONCRETE SURFACE (IMPERVIOUS)
---	LANDSCAPING REF. LP-1 & LP-2 (PERVIOUS)
---	(N) PERMEABLE PAVERS FOR COMPANION UNIT PARKING
---	ROOF DOWNSPOUT WITH SPLASH PAD

### CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.  
2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

### ENGINEER OF WORK

Frank Florez 10/26/2017  
FRANK FLOREZ R.C.E. 55555 DATE  
EXPIRES ON 12/31/18



Florez Engineering, Inc.  
Civil Engineering & Planning  
11440 W. Bernardo Ct. #157  
San Diego CA. 92127  
(858) 229-2493



Barbarais Residence  
Remodel and Addition  
2175 CALLE FRESCOTA  
LA JOLLA, CA. 92037

PROJECT NO:

SHEET TITLE

CIVIL  
PLAN

SHEET NO:

C1

RENDERINGS



NORTHEAST PERSPECTIVE - FROM CALLE FRESCOTA

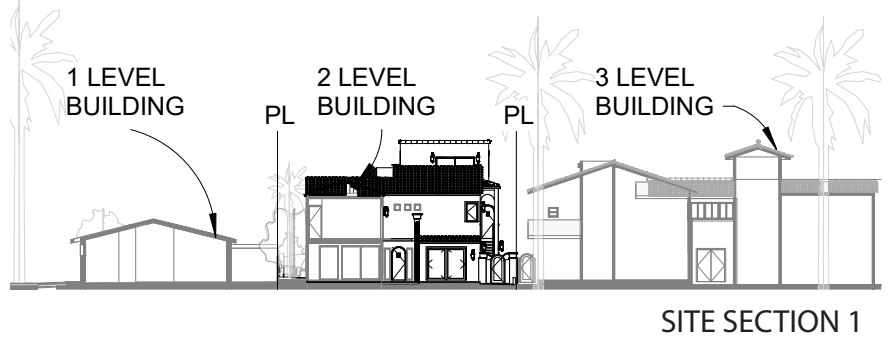
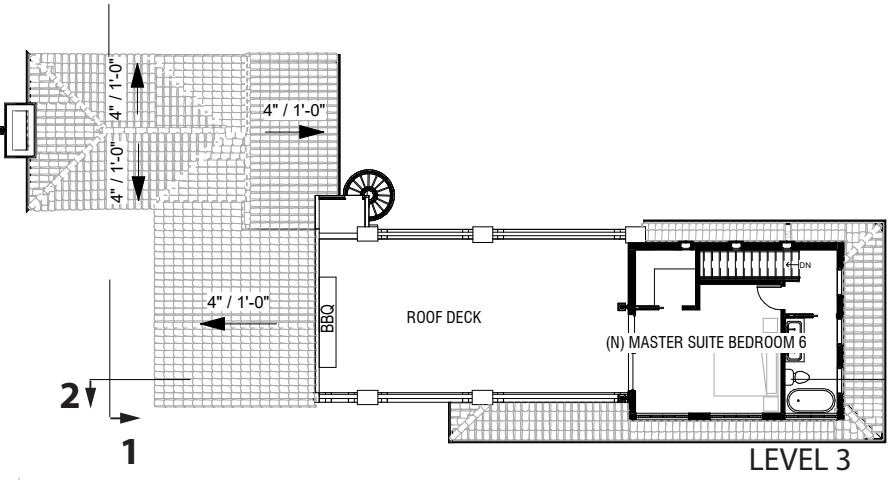
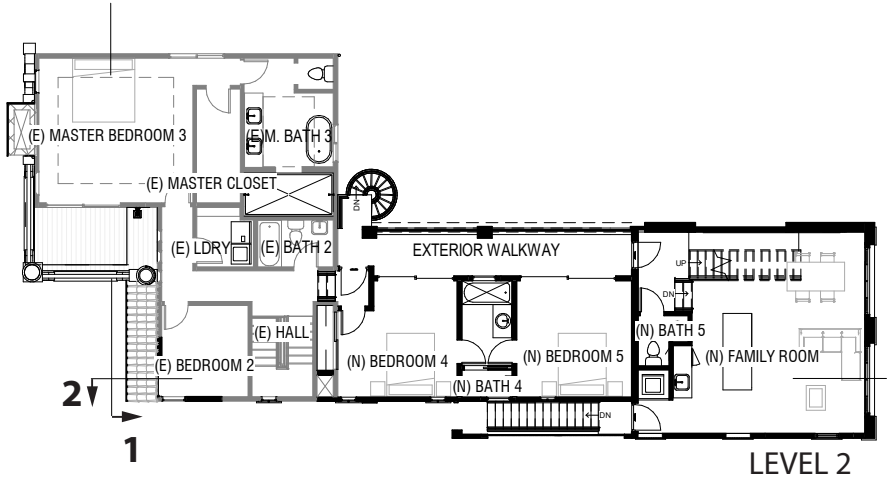
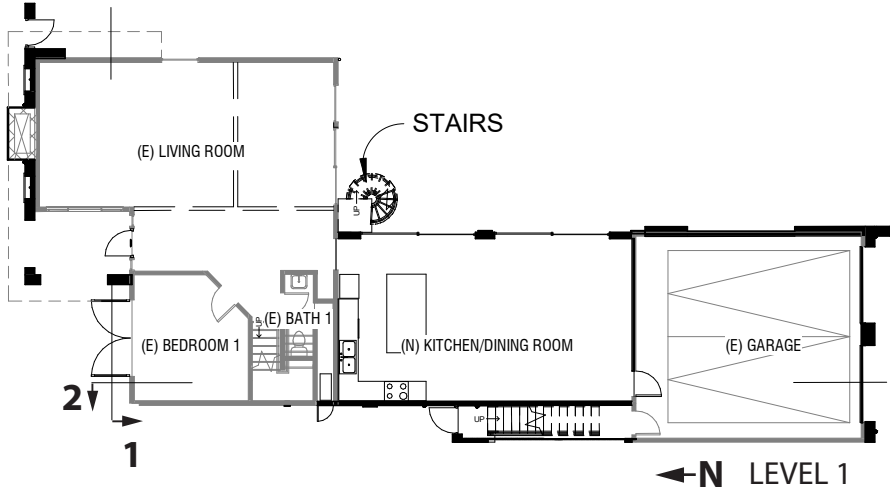


SOUTHEAST PERSPECTIVE - FROM ALLEY



SOUTHWEST PERSPECTIVE - FROM ALLEY

FLOOR PLANS

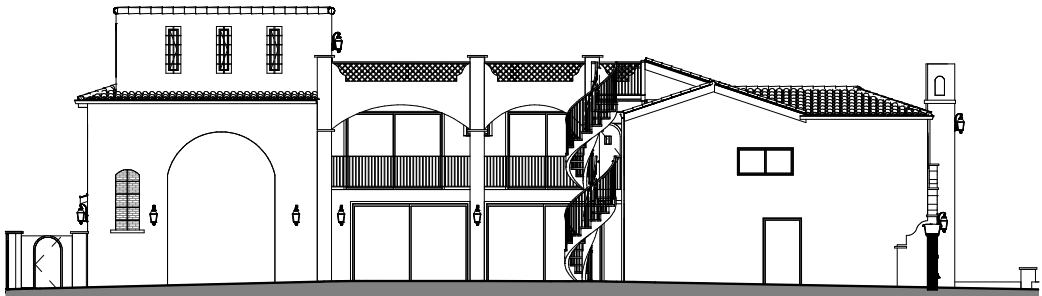


ELEVATIONS AND SECTIONS

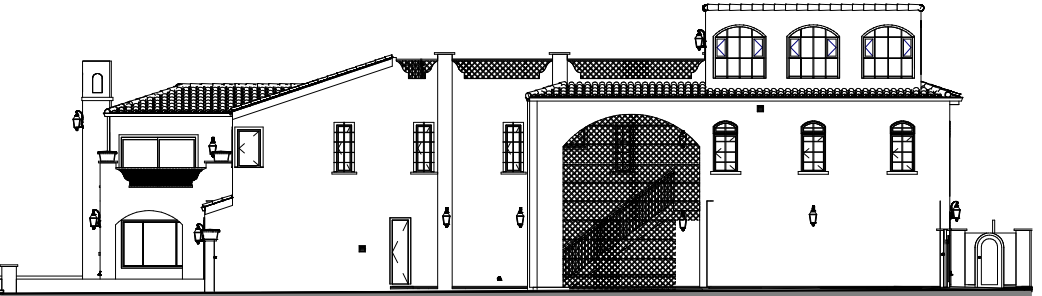


NORTH ELEVATION

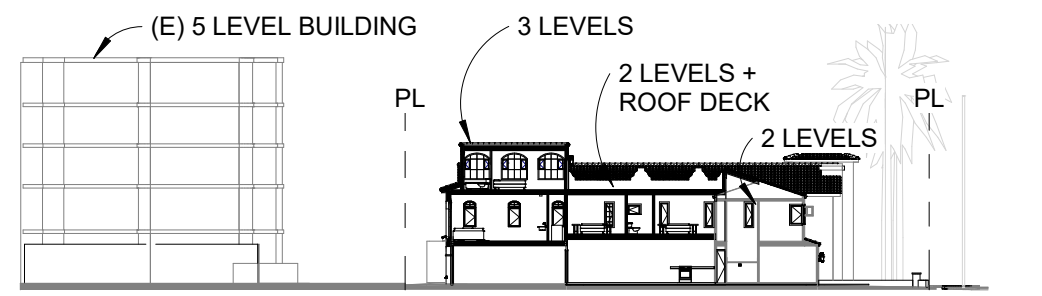
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SITE SECTION 2



PROJECT INFORMATION

PTS (DSD): PTS 558329 – Balbarais Addition – CDP/SDP  
Address: 2175 Calle Frescota  
APN: 346-222-04-00

Project Contact: Aaron Borja  
Phone: 619.535.0537 x 104  
E-mail: AaronB@ArchitectsLocal.com

Project Description: 2077 SF addition to existing single family dwelling unit

Level 1: Relocate existing kitchen and dining room  
New exterior stairs leading to family room above the garage

Level 2: New 2 bedroom, 1.5 bathroom, and family room addition

Level 3: New laundry and bathroom within existing house  
New bath, bedroom, and closet  
New roof deck

Totals

Lot size: 5728 SF

Existing Total SF: 1845 SF + 538 SF (Existing Garage)

Existing FAR: .42

Proposed Total SF: 3922 SF + 538 SF (Existing Garage)

Proposed FAR: .78

Existing Lot Coverage: .26

Proposed Lot Coverage: .36

Setbacks

Level 1 and Level 2

Existing	North: 17'-9"	South: 9'-7"	East: 5'-10"	West: 4'-0"
Proposed	North: 17'-9"	South: 8'-7"	East: 5'-10"	West: 4'-0"

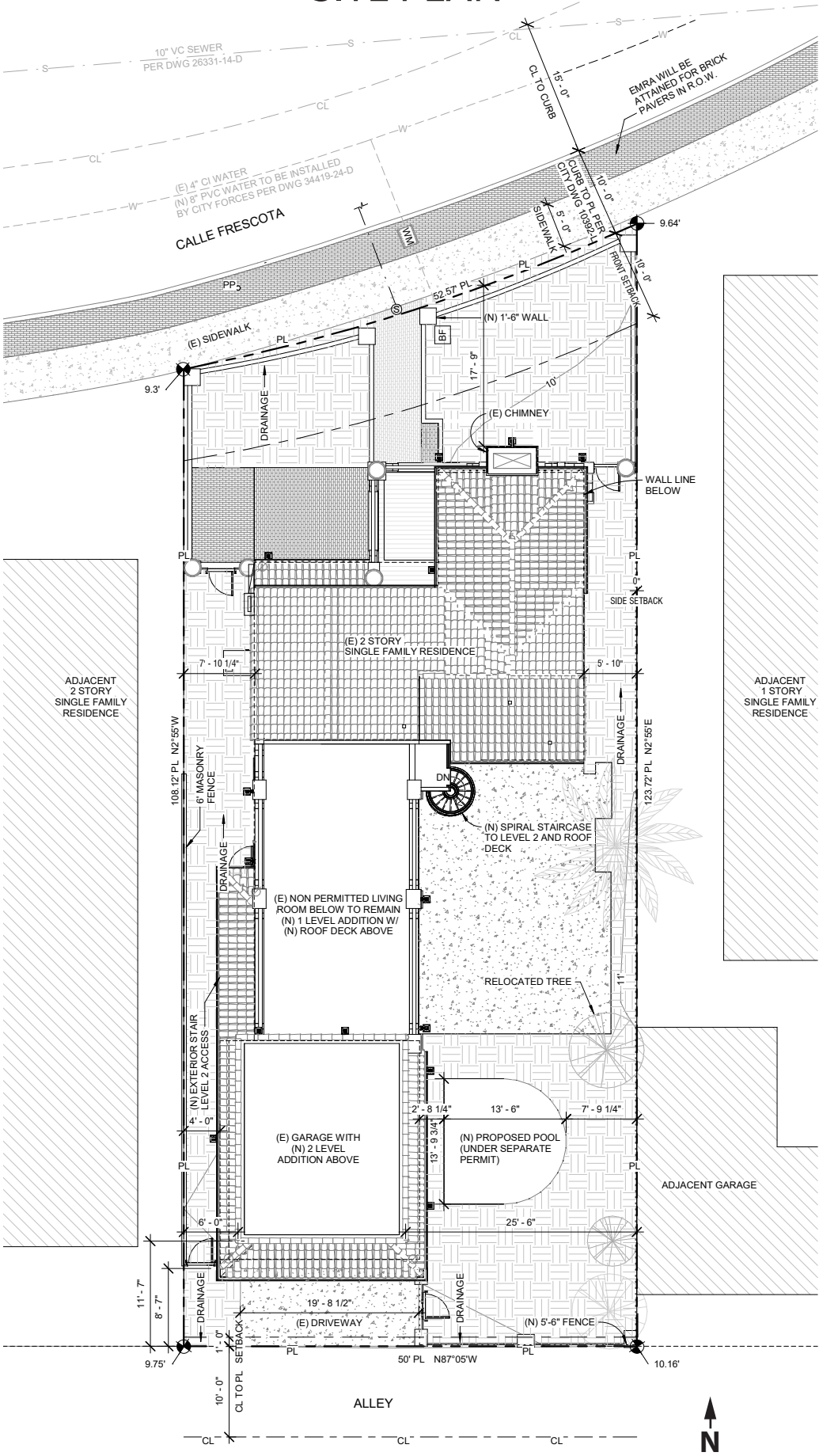
Level 3

Proposed	-	South: 11'-7"	East: 25'-6"	West: 6'-0"
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Existing Height: 2 Stories (21' - 7 1/4")

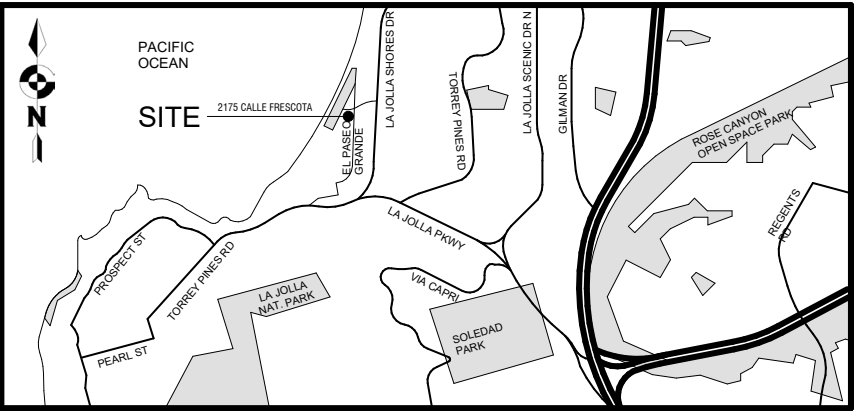
Proposed Height: 3 Stories (2 story addition over existing garage) (29'-6")

SITE PLAN



BALBARAIS  
RESIDENCE

2175 CALLE FRESCOTA,  
LA JOLLA, CA 92037



VICINITY MAP

OWNER:  
BAJA ESCAPES, L.L.C.

PTS: 558329  
PROJECT MANAGER: GLENN GARGAS  
CONTACT: GGARGAS@SANDIEGO.GOV

PREPARED BY:  
ARCHITECTS LOCAL  
640 W. BEECH ST., STE. 4  
SAN DIEGO, CA 92101  
CONTACT: AARON A. BORJA