

**La Jolla Shores Planned District Advisory Board**

**Action Items**

PTS (DSD): PTS 558329 – Balbarais Addition – CDP/SDP  
Address: 2175 Calle Frescota  
APN: 346-222-04-00

Project contact: Aaron Borja  
Phone: 619.535.0537 x 104  
E-mail: AaronB@ArchitectsLocal.com

Project description: 2077 SF addition to existing single family dwelling unit  
Level 1: Relocate existing kitchen and dining room  
New exterior stairs leading to family room above the garage  
Level 2: New 2 bedroom, 1.5 bathroom, and family room addition  
New laundry & new bathroom within existing house  
Level 3: New bath, bedroom, and closet  
New roof deck

Lot size: 5728 SF  
Existing SF: 1845 + 538 SF (Existing Garage)  
Existing FAR: .42  
Proposed SF: 3922 + 538 SF (Existing Garage)  
Proposed FAR: .78

Existing Lot Coverage: .26  
Proposed Coverage: .36

**Setbacks**

Existing	North: 17'-9"	South: 9'-7"	East: 5'-10"	West: 4'-0"
Proposed	North: 17'-9"	South: 8'-7"	East: 5'-10"	West: 4'-0"

Existing Height: 2 Stories (21' – 7 ¼")  
Proposed Height: 3 Stories (2 story addition over existing garage) (29'-6")

(Process 3) Site Development Permit and Coastal Development Permit for a 2,077-square-foot addition and remodel to an existing, two-story, 2,383-square-foot, single family residence including a new second floor addition above the existing garage resulting in a 4,460-square foot single family residence on a 5,728 square-foot property. The project site is located at 2175 Calle Frescota, in the SF Zone of the La Jolla Shores Planned District, Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan area. Council District 1. There are several unpermitted improvements and additions to the property and the project is currently a Code Enforcement Case (No. 235809)



Project Information

Project Nbr: 558329 Title: Balbarais Addition - CDP/SDP
Project Mgr: Gargas, Glenn (619) 446-5142 ggargas@sandiego.gov



Review Information

Cycle Type: 4 Submitted (Multi-Discipline) Submitted: 11/28/2017 Deemed Complete on 11/28/2017
Reviewing Discipline: LDR-Planning Review Cycle Distributed: 11/28/2017
Reviewer: Abalos, Raynard Assigned: 11/29/2017
(619) 446-5377 Started: 01/30/2018
rabalos@sandiego.gov Review Due: 12/19/2017
Hours of Review: 2.00 Completed: 02/02/2018
Next Review Method: Submitted (Multi-Discipline) Closed:

- The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Change In Project Scope.
The reviewer has requested more documents be submitted.
Your project still has 6 outstanding review issues with LDR-Planning Review (6 of which are new issues).

First Review

Project Info

Table with 3 columns: Cleared?, Issue Num, Issue Text. Contains 2 rows of project information.

Permits

Table with 3 columns: Cleared?, Issue Num, Issue Text. Contains 2 rows of permit information.

(Cont below)
(From Cycle 2)

Table with 3 columns: Cleared?, Issue Num, Issue Text. Contains 2 rows of permit information.

Community Plan/General Plan/PD

Table with 3 columns: Cleared?, Issue Num, Issue Text. Contains 1 row header.





<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	8	The project site is designated as Medium High Residential in the La Jolla Community Plan (Figure 1, p.3). The land use designation is implemented by the LJSPD-SF zone. The zone allows for development of a single dwelling unit. The project proposes an addition to an existing single dwelling unit and a new a companion unit on a 5,728 square-foot as allowed by the SF zone. The project is consistent with the allowed uses of the SF zone and is therefore consistent with the land use plan designation. (Information Only - No Response Required). (From Cycle 2)
<input checked="" type="checkbox"/>	9	Per Policy 2(a) of the Residential Land Use element of the La Jolla Community Plan, the development recommendations contained in the Plan should be applied to promote good design and visual harmony in the transitions between new and older structures. (From Cycle 2)
<input checked="" type="checkbox"/>	10	Please provide a photo stimulation of the proposed addition in relation to the adjacent properties. LDR-Planning would like this information to determine that the 3 story structure will be in conformance to the community character. The proposal needs to be consistent with the residential character polices of the La Jolla Community Plan by providing building articulation, visual interest, and off-setting planes that are in general conformance with other properties in the vicinity. (From Cycle 2)
<input checked="" type="checkbox"/>	11	The project site is not adjacent to a designated public view, as identified in the La Jolla Community Plan, and would not impact any designated visual resources [Information Only - No Response Required] (From Cycle 2)

**Corrections**

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	12	The SF located on the title sheet do not match the SF shown on the floor plans. (From Cycle 2)
<input checked="" type="checkbox"/>	13	Per Chapter 11 Rules for Calculations and Measurements the garage needs to be included in the GFA. Currently the garage is not included in the GFA. Please include and revise documents showing new square footage. Also please add to the lot coverage. (From Cycle 2)
<input checked="" type="checkbox"/>	14	Per SDMC 113.0234(b) include the balcony by bedrooms 1 and 2 in the total GFA. (From Cycle 2)
<input checked="" type="checkbox"/>	15	The side setback states 4' on the survey provided. However, there is a portion at the side that shows a 0' setback. Please clarify. (From Cycle 2)
<input checked="" type="checkbox"/>	16	Per SDMC 151.0304(b)(2) Planning will monitor Engineering's comments and will discuss with them how the portion of the structure at the property line will comply with the section. However, until the photo simulation is provided, Staff cannot determine if the 0' setback will be in conformance with the general vicinity per SDMC 151.0304(b)(4) (From Cycle 2)
<input checked="" type="checkbox"/>	17	Please show compliance with 1510.0401(o). Parking that is adjacent to the alley needs to be screened (From Cycle 2)
<input checked="" type="checkbox"/>	18	Correctly number the bedrooms. The plans are showing the bedrooms are incorrectly labeled. (From Cycle 2)
<input checked="" type="checkbox"/>	19	Per SDMC 141.0302(k) the GFA of the companion unit shall not exceed 700 SF. The companion unit is proposed at 1190 sf. Reduce the size. (From Cycle 2)
<input checked="" type="checkbox"/>	20	Per SDMC 141.0302(m) please show compliance. The current design does not meet the correct roof pitch. (From Cycle 2)
<input checked="" type="checkbox"/>	21	Remove lapboard notes on finish schedule on elevations. This material is not identified on the elevations. (From Cycle 2)
<input checked="" type="checkbox"/>	22	Please keep in mind additional comments may arise in subsequent reviews pending responses from the comments above. (From Cycle 2)

**Draft Conditions**

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	23	The companion unit shall not be rented, leased, or sold as a separate dwelling unit. Neither the primary dwelling unit nor the companion unit shall be sold or conveyed separately. The companion unit shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees. (From Cycle 2)
<input checked="" type="checkbox"/>	24	Owner/Permittee shall maintain a minimum of 2 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC. (From Cycle 2)

**Second Review**

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	25	Change in Scope: The project has been revised and no longer proposes a companion unit. The project consists of an addition to an existing single dwelling unit (the addition is proposed in generally the same area as the companion unit in the previous submittal). (New Issue)
<input type="checkbox"/>	26	Staff can recommend approval of the CDP and SDP with the following corrections:  - Remove all sheets and references to CA Code (Building Code, Residential Code, etc.). Staff does not review for conformance with those requirements as part of this discretionary permit application.  (New Issue)





# Reviewer Issues DRAFT

THE CITY OF SAN DIEGO  
Development Services Department  
1222 First Avenue, San Diego, CA 92101-4154

L64A-002B

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	27	- Revise the side setback information on Sheet G001 and A001. The project has been revised and no longer proposes a 0-foot setback on the west side. Please show the proposed setback from the west side on the site plan and provide both the east and west side setback dimensions on Sheet G001. (New Issue)
<input type="checkbox"/>	28	- Remove all references to a companion unit, especially on Sheet A701. (New Issue)
<input type="checkbox"/>	29	- The section cut lines and references shown on the floor plans do not match the sections shown on Sheets A301 and 302. Please revise for consistency. (New Issue)
<input type="checkbox"/>	30	- In regards to staff's 1st review comment regarding the community plan's policy to promote good design and visual harmony in the transitions between new and older structures, the 3rd floor addition shall be articulated and stepped back from the floors below to reduce the perceived bulk and scale at the rear. Consideration should also be made to provide a pitched roof instead of the proposed flat roof. (New Issue)





## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> LDR-Environmental	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Tracy, Christopher (619) 446-5381 CRTracy@sandiego.gov	<b>Assigned:</b> 11/29/2017	
	<b>Started:</b> 12/22/2017	
<b>Hours of Review:</b> 1.00	<b>Review Due:</b> 12/22/2017	
<b>Next Review Method:</b> Submitted (Multi-Discipline)	<b>Completed:</b> 12/22/2017	
	<b>Closed:</b>	

- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with LDR-Environmental (1 of which are new issues).

## 📁 Cycle 2 Review - 8/30/17

### 📁 XIS

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	2	The Environmental Analysis Section (EAS) of the Land Development Review Division has reviewed the submittal of the below referenced project issues and has determined that the project will be placed in Extended Initial Study (XIS) status due to the following issues: (From Cycle 2)

### 📁 AESTHETICS/VISUAL QUALITY/NEIG

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	The site is located within the La Jolla Community Plan and Local Coastal Program. As identified on Figure 9 of the La Jolla Community Plan and Local Coastal Program, the portion of Calle Frescota where the proposal is located is not within the vicinity of a Public Vantage Points. Coastal building height limit of 30' is also in the community plan and is reviewed by LDR-Planning and LDR-Environmental will defer to their analysis/recommendation. As such, EAS is not able to complete the Initial Study for your project and the environmental processing timeline will be held in abeyance. (From Cycle 2)

### 📁 TRIBAL CULTURAL RESOURCES

No outstanding Issues

### 📁 PALEONTOLOGICAL RESOURCES

No outstanding Issues

### 📁 WATER QUALITY/HYDROLOGY

No outstanding Issues

### 📁 TRANSPORTATION/CIRCULATION/PAR

No outstanding Issues

### 📁 GEOLOGIC CONDITIONS

No outstanding Issues

### 📁 LAND USE/PLANNING

No outstanding Issues

### 📁 LANDSCAPING

No outstanding Issues

### 📁 CAP CHECKLIST

No outstanding Issues

### 📁 NEXT REVIEW

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	24	Additional information is required before an environmental review can be completed. The issues identified below and in any other discipline review comments must be addressed before an environmental determination can be made on this project. A determination of a Categorical Exemption (CE), Negative Declaration (ND), Mitigated Negative Declaration (MND) or Environmental Impact Report (EIR) will be made based on the information provided in any subsequent submittals. (From Cycle 2)

## 📁 Cycle 4 Review - 12/22/17

For questions regarding the 'LDR-Environmental' review, please call Christopher Tracy at (619) 446-5381. Project Nbr: 558329 / Cycle: 4





<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	25	Additional information is required before an environmental review can be completed. The issues identified within LDR-Planning comments must be addressed before an environmental determination can be made on this project. (New Issue)





## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> LDR-Engineering Review	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Huynh, Khanh (619) 446-5299 KHuynh@sandiego.gov	<b>Assigned:</b> 12/01/2017	
	<b>Started:</b> 12/18/2017	
<b>Hours of Review:</b> 3.00	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Conditions	<b>Completed:</b> 12/18/2017	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with LDR-Engineering Review (4 of which are new issues).

### 1st Review issues

#### Storm Water

No outstanding Issues

#### Drainage issues

No outstanding Issues

#### Grading issues

No outstanding Issues

#### Public Improvements

No outstanding Issues

#### General issues

No outstanding Issues

### 2nd Review issues

#### Conditions

	<u>Issue</u>	
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	14	The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee. (New Issue)
<input type="checkbox"/>	15	Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing brick paver in the Calle Frescota Right-of-Way. (New Issue)
<input type="checkbox"/>	16	Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.  (New Issue)
<input type="checkbox"/>	17	Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)





Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> Community Planning Group	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Gargas, Glenn (619) 446-5142 ggargas@sandiego.gov	<b>Assigned:</b> 12/10/2017	
	<b>Started:</b> 12/10/2017	
<b>Hours of Review:</b> 0.20	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Submitted (Multi-Discipline)	<b>Completed:</b> 01/03/2018	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with Community Planning Group (None of which are new)

La Jolla - Aug. 2017

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Please contact the Chair for the La Jolla Community Planning Association at 858.456.7900 or info@lajollacpa.org to schedule your project presentation. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has provided the group a copy of the project plans and documents. (From Cycle 2) [Recommended]
<input type="checkbox"/>	2	Projects within La Jolla Shores require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the City Planner Marlon Pangilinan at 619-235-5293 or MPangilinan@sandiego.gov when ready to schedule your project before the LJSPBAB, which meets the third Tuesday of the month. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (From Cycle 2)





## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> Plan-Facilities Financing	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Crane, Bill (619) 533-3685 Wcrane@sandiego.gov	<b>Assigned:</b> 11/28/2017	
	<b>Started:</b> 12/18/2017	
<b>Hours of Review:</b> 1.00	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Submitted (Multi-Discipline)	<b>Completed:</b> 12/18/2017	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with Plan-Facilities Financing (1 of which are new issues).

## Development Impact Fees

### Discretionary & Prelim Reviews

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	12-18-2017: I did not receive a set of plans, however without a scope change, this project should not require another Facilities Financing Review. (New Issue)

### DIF/FBA-Residential

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Development Impact Fees (DIF) and/or Facilities Benefit Assessments (FBA) are required at building permit issuance based on increased residential development and/or a change to existing land use. The currently adopted La Jolla DIF and/or FBA rate for residential development is \$5,670 per dwelling unit. Rates provided are subject to annual change on July 1 or updates to a Community Public Facilities Financing Plan (PFFP). (From Cycle 2)

### RTCIP

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	2	City RTCIP Fees on residential development are required at building permit issuance. These fees were established to ensure that new Development invests in the Region's transportation system to offset the negative impact of growth on congestion and mobility. RTCIP Fee is \$2,800 per sdu and/or \$2,240 per mdu. Rates subject to change annually July 1. On-site affordable housing units are exempt from the City RTCIP Fee. To qualify for this exemption, a recorded Affordable Housing Agreement with the Housing Commission must be submitted to Facilities Financing prior to building permit issuance. (From Cycle 2)

### Current Impact Fee Schedule

<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	The Impact Fee Schedule outlines the fees which the Facilities Financing Section of the City collects at building permit issuance as part of the costs of land development in the City of San Diego. Fees are paid through OpenDSD at <a href="http://opendsd.sandiego.gov/web/invoices/">http://opendsd.sandiego.gov/web/invoices/</a> . The schedule can be accessed on the City web site at: <a href="https://www.sandiego.gov/sites/default/files/feeschedule.pdf">https://www.sandiego.gov/sites/default/files/feeschedule.pdf</a> Fees are subject to increase at the beginning of each new fiscal year (July 1), each new calendar year (Jan 1), and/or upon Council approval of an update to the Public Facilities Financing Plan and/or Impact (From Cycle 2)





**Review Information**

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> LDR-Landscaping	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Spindell, Glenn (619) 446-5353 gspindell@sandiego.gov	<b>Assigned:</b> 11/28/2017	
	<b>Started:</b> 11/30/2017	
<b>Hours of Review:</b> 1.00	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> LDR-Landscaping(Appmt.)	<b>Completed:</b> 12/01/2017	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with LDR-Landscaping (2 of which are new issues).

**Review 031117**

**Review 113017**

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	Minor revision: per LDC Table 142-04A, the provisions of Sec. 142.0406 [Landscaping for Vehicular-Use Areas] do not apply for this development. Please omit Form DS-5 accordingly. (New Issue)
<input type="checkbox"/>	5	Customer may opt for an 'Over the Counter' review, providing that all outstanding issues have been addressed. Note, however, that due to hearings, field inspections and other out of office assignments, OTC review by planning staff is by appointment; walk-in service generally cannot be accommodated. Contact information: gspindell@sandiego.gov or 619/ 446-5353. (New Issue)





## Review Information

<b>Cycle Type:</b> 4 Submitted (Multi-Discipline)	<b>Submitted:</b> 11/28/2017	Deemed Complete on 11/28/2017
<b>Reviewing Discipline:</b> PUD-Water & Sewer Dev	<b>Cycle Distributed:</b> 11/28/2017	
<b>Reviewer:</b> Rastakhiz, Mehdi (619) 446-5420 mrastakhiz@sandiego.gov	<b>Assigned:</b> 11/29/2017	
	<b>Started:</b> 12/19/2017	
<b>Hours of Review:</b> 2.50	<b>Review Due:</b> 12/19/2017	
<b>Next Review Method:</b> Conditions	<b>Completed:</b> 12/19/2017	
	<b>Closed:</b>	

- . The review due date was changed to 12/22/2017 from 12/22/2017 per agreement with customer.
- . The reviewer has requested more documents be submitted.
- . Your project still has 4 outstanding review issues with PUD-Water & Sewer Dev (4 of which are new issues).

### 1st Review, Cycle 2:

No outstanding Issues

### Permit Conditions:

<u>Issue</u>		
<u>Cleared?</u>	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	15	All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check. (New Issue)
<input type="checkbox"/>	16	All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto. (New Issue)
<input type="checkbox"/>	17	No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities. (New Issue)
<input type="checkbox"/>	18	All on-site utilities must be private. (New Issue)





**BALBARAIS RESIDENCE**  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

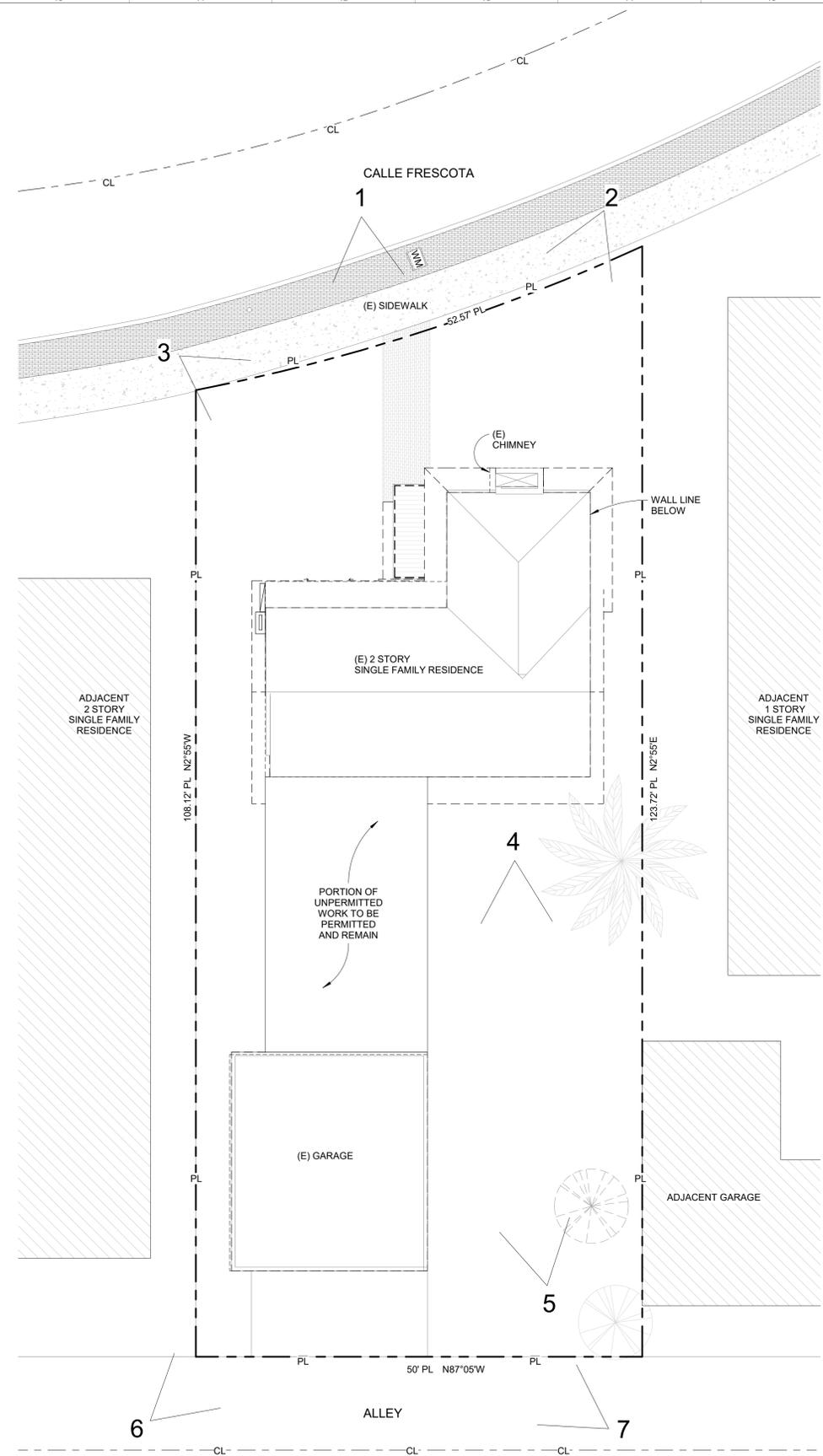
NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**HISTORIC REVIEW**

**G005**

SCALE: 1/8" = 1'-0"  
SHEET: 5 OF 26

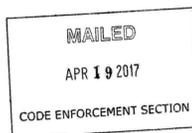


EXISTING  
**SITE PLAN**  
① 1/8" = 1'-0"









April 19, 2017

# CIVIL PENALTY NOTICE AND ORDER

**Location:** 2175 Calle Frescota, La Jolla, CA

**APN No.:** 346-222-04-00

**Property Owner/Responsible Person:** Roger Pollock  
2175 Calle Frescota  
La Jolla, Ca 92037

**Address:**

**Zoning Designation:** LJSPD-SF / Coastal Overlay Zone / La Jolla Shores Archaeological Study Area / Parking Impact Overlay Zone

You are hereby notified that the property identified above is in violation of the San Diego Municipal Code (SDMC). On **March 14, 2017**, the following violations were observed at the property and must be corrected:

- Unpermitted single dwelling improvements and additions which include structural, electrical, plumbing and mechanical upgrades.
- Engaging in construction activity without first obtaining valid permits.
- A full set of construction drawings are required within 30 days from the date of this notice, and shall be submitted to the Code Enforcement Division for stamp approval.

This is a violation of the following code section(s):

Code Section	Violation Description
SDMC §129.0202	- When a Building Permit Is Required
SDMC §129.0302	- When an Electrical Permit Is Required
SDMC §129.0402	- When a Plumbing/Mechanical Permit Is Required
SDMC §§121.0202-121.0203	provides the authority regarding enforcement of the Land Development Code.
SDMC §121.0302	requires compliance with the Land Development Code, specifies these violations are not permitted, and provides authority for the abatement of public nuisances.

Page 2  
Civil Penalty Notice and Order  
2175 Calle Frescota  
April 19, 2017

**If you correct the above violations as identified below, you will not be subject to any administrative civil penalties.**

In order to avoid administrative civil penalties, you must correct all violations by **July 17, 2017**, as follows:

- Submit a complete set of plans to the Code Enforcement Division prior to plan submittal to the Development Service Department.
- Remove unpermitted work or obtain required Permit(s); successfully complete required inspections.
- Obtain required Electrical Permit(s) and successfully complete all required inspections.
- Obtain required Plumbing/Mechanical Permit(s) and successfully complete all required inspections.
- Successfully complete all required inspections in a timely manner

**Reinspection fees** are assessed for each inspection after the issuance of a violation notice in accordance with the SDMC §13.0103. An invoice will be sent following each inspection until compliance is achieved. Current reinspection fees range between \$264 and \$295.

Please refer to the San Diego Municipal Code sections cited for additional information via <https://www.sandiego.gov/city-clerk/>.

Additional forms and documents to assist in your compliance efforts are available at: <https://www.sandiego.gov/ced/forms>.

#### Failure to Comply with Notice and Order

If you fail to comply with this Notice and Order in the time and manner set forth above, you are subject to civil administrative penalties pursuant to SDMC §§12.0801-12.0810. The penalty rate for the above listed violation(s) has been established in accordance with SDMC §§12.0801-12.0810 at \$100.00 per violation per day and shall be an ongoing assessment of penalties at the daily rate until the violations are corrected. Administrative civil penalty amounts are established by the Development Services Director.

The following factors were used in determining the amount:

- the duration of the violation
- the nature and seriousness of the violation
- the history of the violation
- the willfulness of Responsible Person's misconduct
- the Responsible Person's conduct after issuance of the Notice and Order
- the good faith effort by the Responsible Person to comply
- the impact of the violation upon the community

Page 3  
Civil Penalty Notice and Order  
2175 Calle Frescota  
April 19, 2017

Pursuant to SDMC §12.0805(a), in determining the date on which civil penalties shall begin to accrue, the Development Services Director considers the date when the Code Enforcement Division first discovered the violations as evidenced by the issuance of a Notice of Violation or any other written correspondence. The date on which the civil penalties began to accrue is **March 14, 2017**, and shall end on the date that the violation(s) has been corrected to the satisfaction of the Development Services Director or the Enforcement Hearing Officer.

#### Civil Penalties Hearing

If you fail to comply with the Notice and Order, written notice of the time and place of an administrative enforcement hearing will be served on you at least 10 calendar days prior to the date of the hearing in accordance with SDMC §12.0403. At the hearing, you may present evidence concerning the existence of the violation(s) and whether the amount of administrative civil penalties assessed was reasonable in accordance with SDMC §12.0808. Failure to attend an administrative enforcement hearing will constitute a waiver of your rights to an administrative hearing and administrative adjudication of the violation(s) set forth above.

#### Administrative Costs

The Development Services Director or Enforcement Hearing Officer is authorized to assess administrative costs. Administrative costs may include, but are not limited to: staff time to investigate and document violations; laboratory, photographic, and other expenses incurred to document or establish the existence of a violation; and scheduling and processing of the administrative hearing and all actions.

#### Failure to Comply with Administrative Enforcement Order

If you fail, neglect, or refuse to obey an order to correct the violations, administrative civil penalties will continue to accrue on a daily basis until the violation is corrected. The unpaid amount of administrative civil penalties will be referred to the City Treasurer for collection, recorded as a code enforcement lien against the property in accordance with SDMC §§13.0201-13.0204, and may be referred to the City Attorney to file a court action to recover the unpaid amount. Failure to correct the violations may also result in referral to the City Attorney for further enforcement action.

If you have any questions concerning this Notice and Order, or to schedule a compliance inspection, please contact **Jeff Barnes, Combination Building Inspector, at (619) 533-3957**.

RC/JB/ja

cc: File

CED# 235809

This information will be made available in alternative formats upon request.

235809\_2175\_CalleFrescota\_ced105\_J\_Barnes



ARCHITECTS.LOCAL.COM  
640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

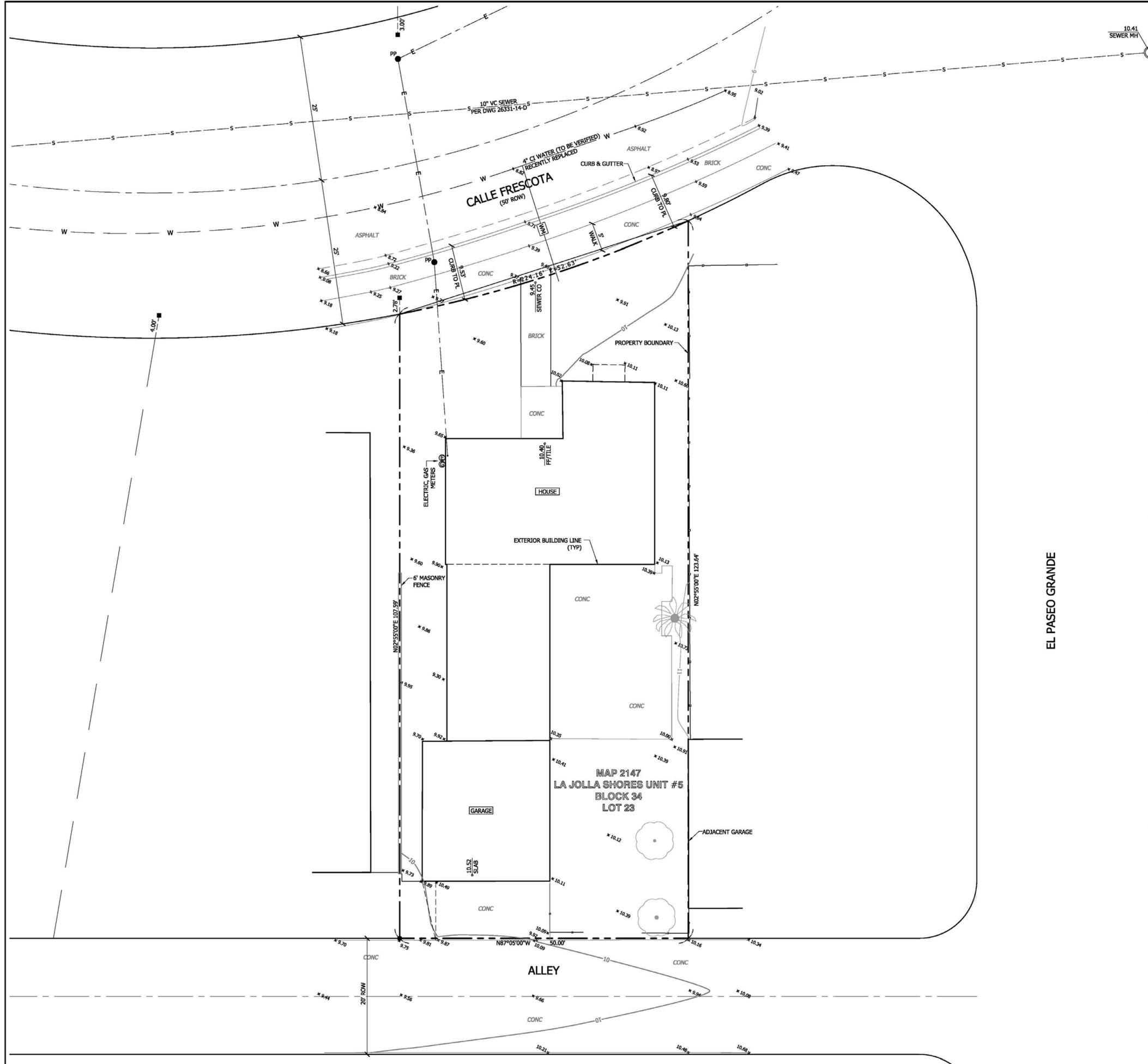
NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: Author

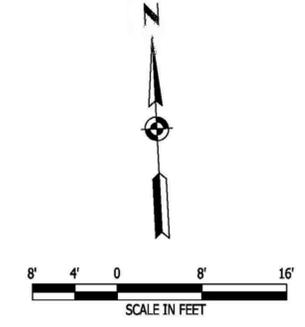
## CIVIL PENALTY NOTICE

# G009

SCALE:  
SHEET: 9 OF 26



EL PASEO GRANDE



LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	FENCE: WOOD
	FENCE: CHAIN-LINK
	SEWER LINE
	WATER LINE
	TREE (TRUNK DRAWN TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)

ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER

**PROPERTY LEGAL DESCRIPTION**  
 LOT 23, BLOCK 34, MAP 2147 (LA JOLLA SHORES UNIT #5)

**ASSESSORS PARCEL NUMBER**  
 346-222-04

**BASIS OF ELEVATIONS**  
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK  
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB  
 LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND EL PASEO GRANDE  
 DATUM: M.S.L. (NGVD 29)  
 ELEVATION: 10.55 FEET

**NOTE**  
 THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.



METROPOLITAN MAPPING  
 3712 30TH STREET  
 SAN DIEGO, CA 92104  
 (619) 431-5250  
 metromap.sd@gmail.com

REVISIONS:


**TOPOGRAPHIC SURVEY**  
 2175 CALLE FRESCOTA  
 LA JOLLA, CA 92037

SURVEY DATE  
 MAY 23, 2017

MAP/DRAWING DATE  
 MAY 30, 2017

SCALE: 1/8"=1'-0"

DRAWN BY: VF

JOB No:

SHEET TITLE:  
**G010**

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: PMU

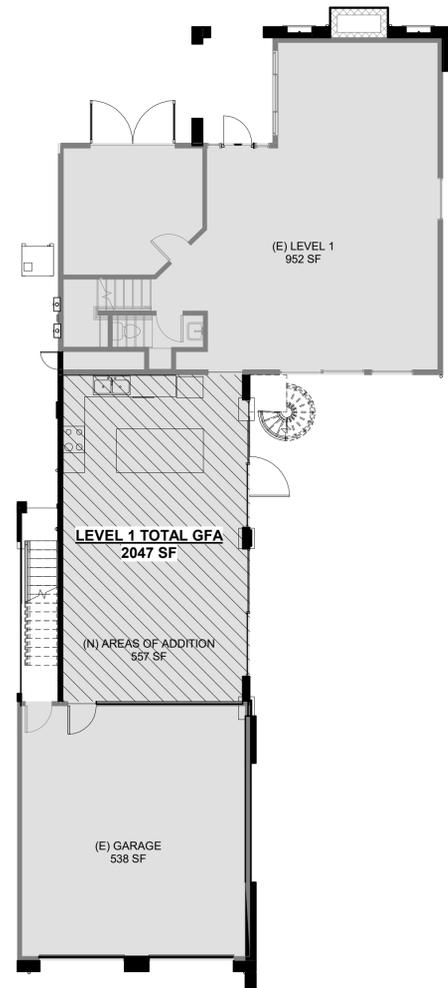
AREA  
DIAGRAMS

G011

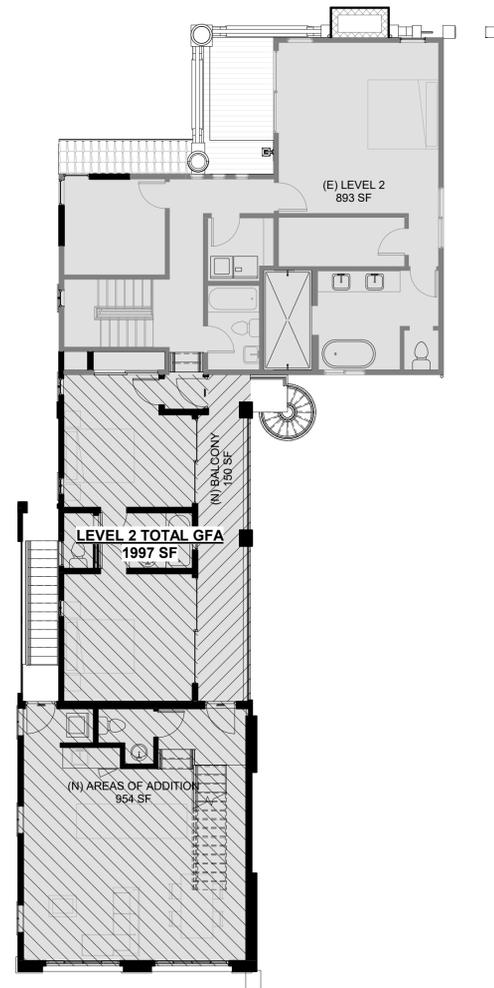
SCALE: 1/8" = 1'-0"  
SHEET: 11 OF 26

**GFA CALCULATIONS**

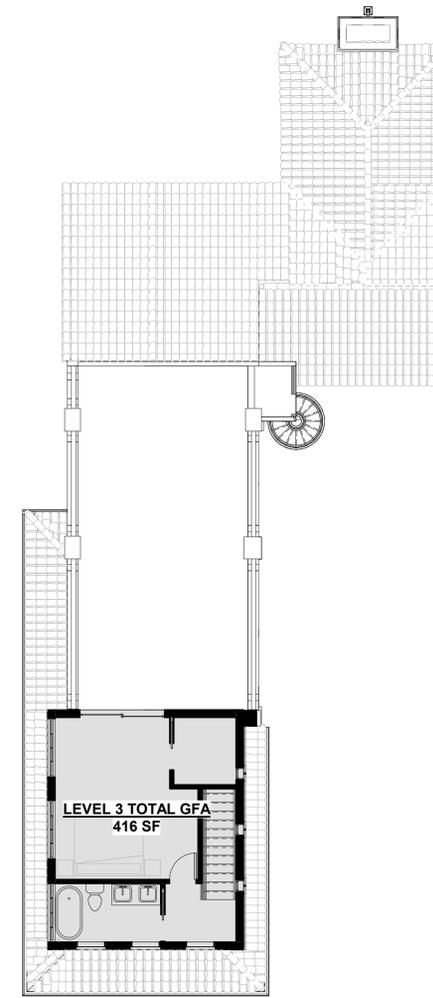
<b>LEVEL 1:</b>	
(E) GARAGE:	538 SF
(N) ADDITIONS:	557 SF
(E) LVL 1 - HOUSE:	952 SF
<b>TOTAL:</b>	<b>2047 SF</b>
<b>LEVEL 2:</b>	
(E) LVL 2 - HOUSE:	893 SF
(N) ADDITIONS:	954 SF
(N) BALCONY:	150 SF
<b>TOTAL:</b>	<b>1997 SF</b>
<b>LEVEL 3:</b>	
(N) ADDITION:	416 SF
<b>TOTAL:</b>	<b>4460 SF</b>



PROPOSED  
① **LEVEL 1 GFA DIAGRAM**  
1/8" = 1'-0"

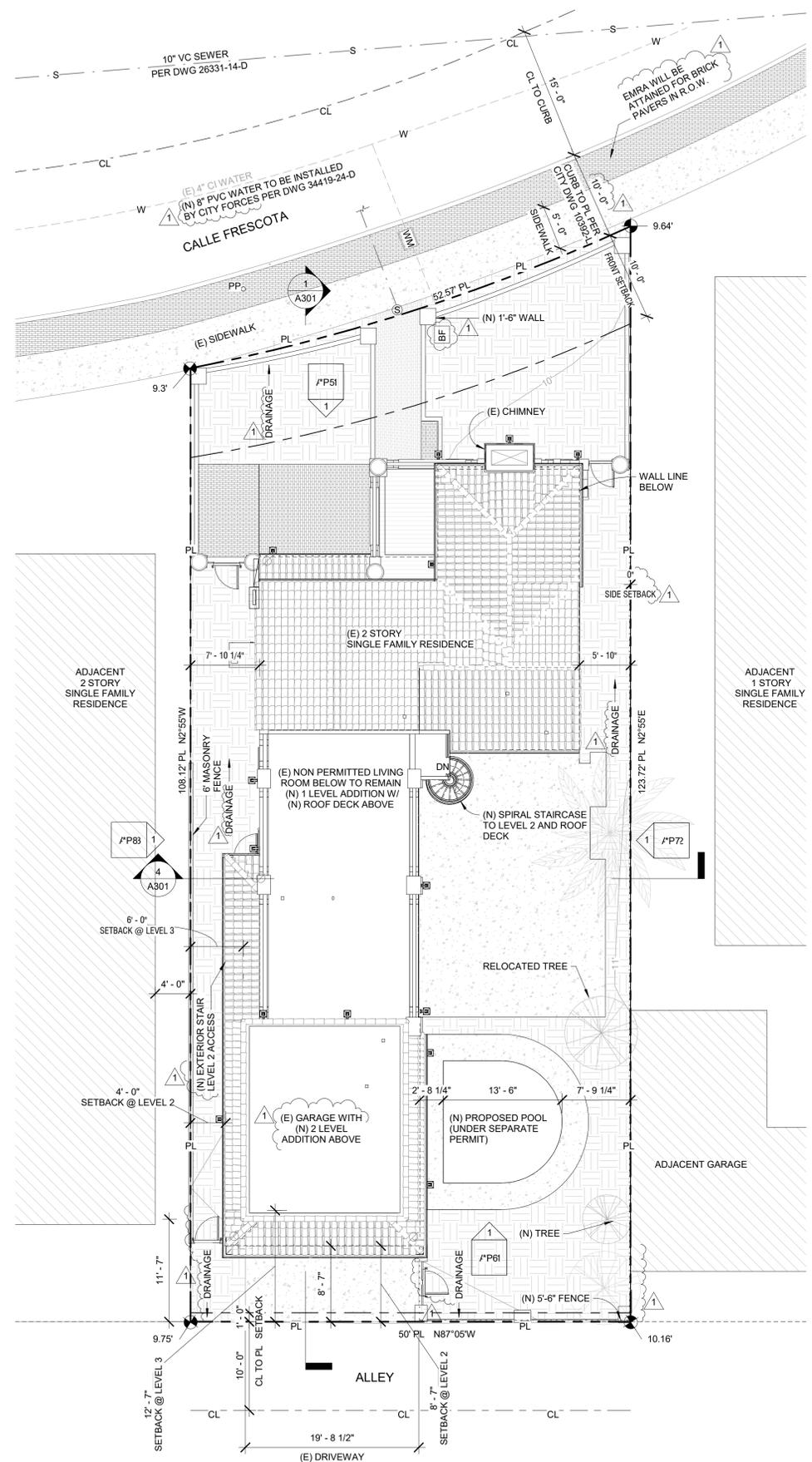


PROPOSED  
② **LEVEL 2 GFA DIAGRAM**  
1/8" = 1'-0"

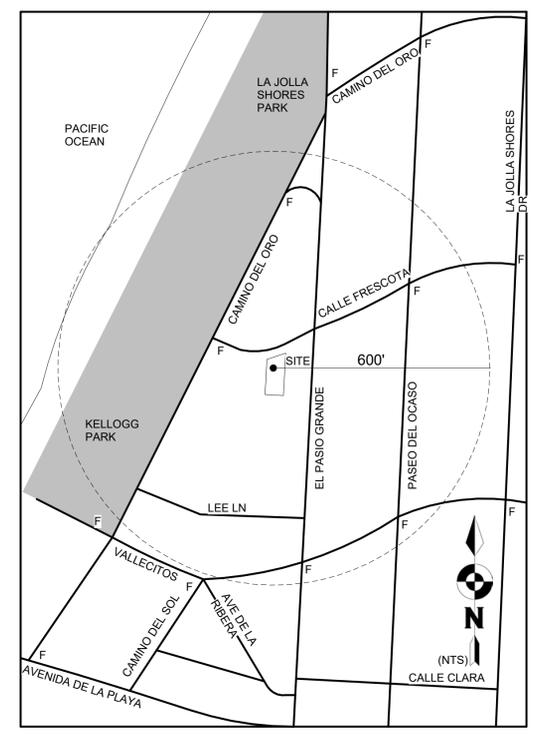


PROPOSED  
③ **LEVEL 3 GFA DIAGRAM**  
1/8" = 1'-0"





**1 SITE PLAN**  
1/8" = 1'-0"



**BASIS OF ELEVATIONS**  
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK  
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB  
LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND EL PASEO GRANDE  
DATUM: M.S.L. (NGVD 29)  
ELEVATION: 10.55 FEET

SURVEY DATE: MAY 23, 2017  
SOURCE: VERNON FRANCK, LICENSE NO. 7927; REF. G010

**SITE PLAN LEGEND**

- (E) BRICK PAVERS (IMPERVIOUS)
- (E) CONCRETE SURFACE (IMPERVIOUS)
- LANDSCAPING REF. LP-1 & LP-2 (PERVIOUS)
- (N) PERMEABLE PAVERS FOR COMPANION UNIT PARKING
- PROPERTY LINE
- SETBACK LINES
- DRAINAGE → WATER DRAIN FLOW DIRECTION
- WM (E) WATER METER
- S (E) SEWER
- EM ELECTRICAL METER
- GM GAS
- T TRASH BIN
- R RECYCLING BIN
- G GREEN WASTE
- TREE
- ROOF DOWNSPOUT
- HB HOSE BIB
- S SEWER LINE
- W WATER LINE
- BF (N) BACKFLOW PREVENTER

**PLAN NOTES**

1. NO TRANSIT STOPS ADJACENT TO PROPERTY
  2. NO MUTUAL EASEMENT
  3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-006 (UFC 901.4.4)
  4. NEAREST FIRE HYDRANT LOCATED AT STREET CORNERS IN FRONT OF 8285 CAMINO DEL ORO.
  5. SITE IS NOT ADJACENT TO ANY ENVIRONMENTALLY SENSITIVE LANDS.
  6. DRAINAGE SHALL BE FILTERED AND DIRECTED TO EXISTING LANDSCAPE.
  7. NO TREES OR SHRUBS WHOSE HEIGHT WILL 3' AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- ADDITIONAL NOTES:**
- 1) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - 2) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  - 3) NO EXISTING OR PROPOSED PUBLIC OR PRIVATE GENERAL UTILITY, WATER, OR SEWER EASEMENTS ENCUMBERING THE PROPERTY
  - 4) NO OBJECTS HIGHER THAN 36 INCHES ARE PROPOSED IN VISIBILITY AREAS.
  - 7) EXISTING SEWER LATERAL WILL REMAIN.
  - 8) MAXIMUM FOOTING DEPTH OF 6' PER TABLE 1809.7 (2016 CBC)

**CALCULATIONS**

**GRADING QUANTITIES:**  
NO GRADING PROPOSED, NO CUTTING OR FILL PROPOSED

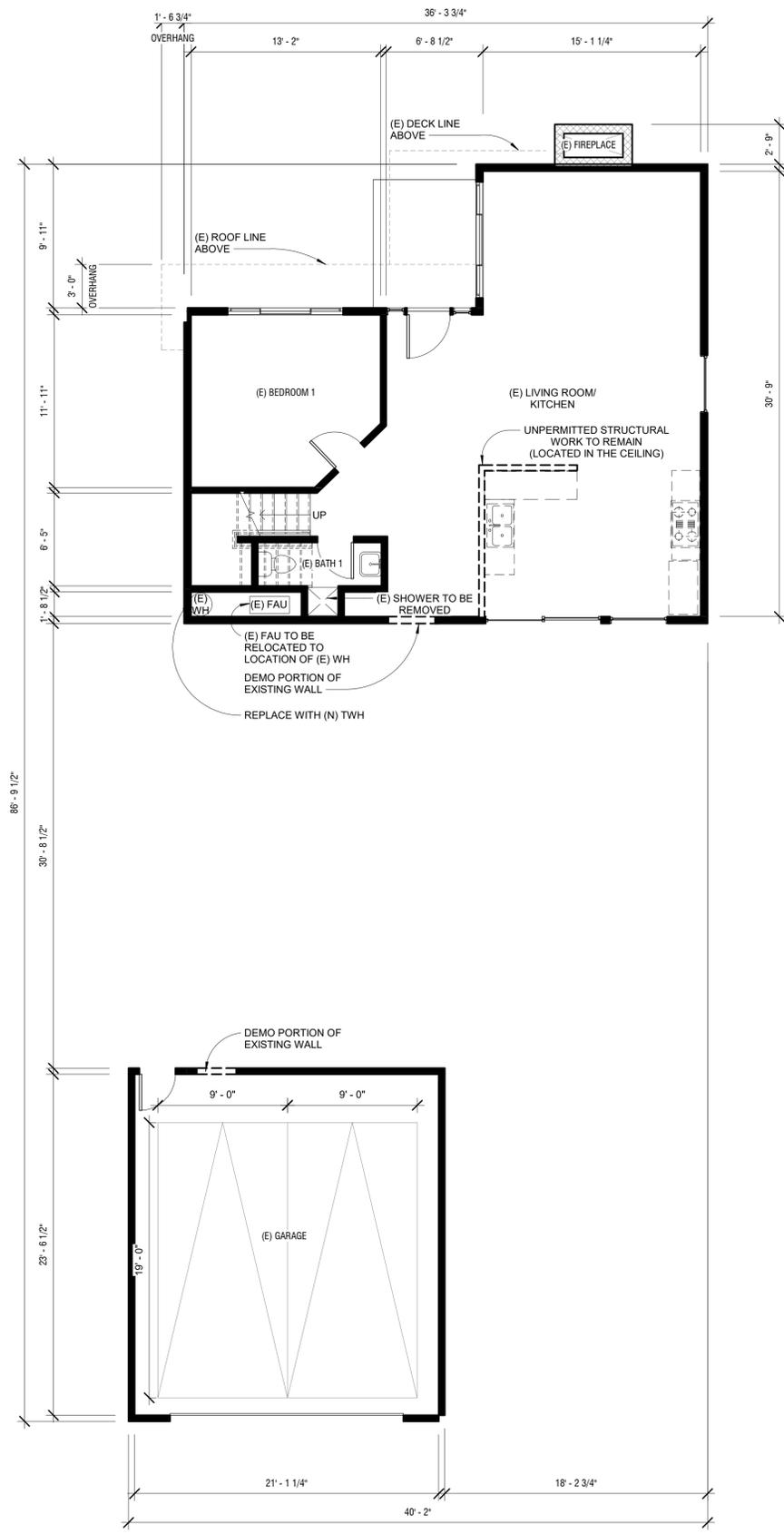
**PARKING CALCULATIONS:**  
(E) SINGLE DWELLING UNIT (PER SECTION 142.0520)  
TOTAL REQUIRED/PROVIDED: 2 SPACES

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

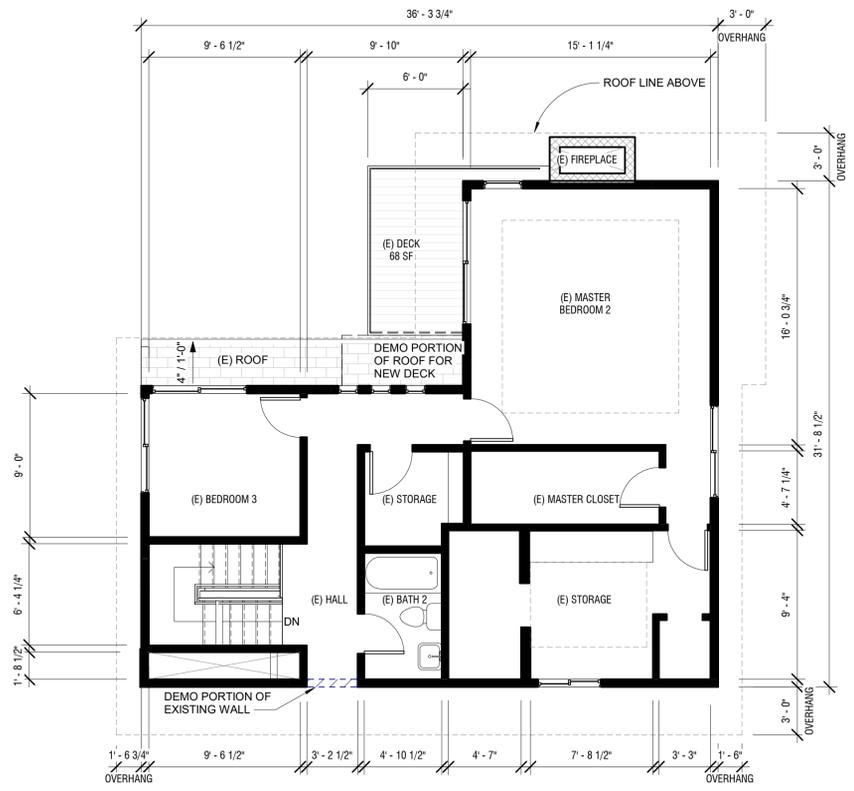
PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**SITE PLAN**

**A001**



EXISTING/DEMO  
**1 LEVEL 1 FLOOR PLAN**  
 3/16" = 1'-0"



EXISTING/DEMO  
**2 LEVEL 2 FLOOR PLAN**  
 3/16" = 1'-0"



**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING 8" MASONRY WALL
- DEMOLISHED LINE
- SMOKE DETECTOR (HARDWIRED)
- CARBON MONOXIDE DETECTOR
- (E) WINCHESTER 2-STAGE VARIABLE SPEED MULTI-POSITIONAL NATIONAL GAS FURNACE: W9V120-524 (120,000 BTU) OR SIMILAR



**BALBARAIS RESIDENCE**  
 REMODEL AND ADDITION

OWNER:  
 BAJA ESCAPES, LLC  
 2175 CALLE FRESCOTA  
 LA JOLLA, CA 92037  
 210.464.6599  
 CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
 CITY PROJECT: 558329  
 DATE: 3/7/18  
 DRAWN BY: AB

**EXISTING FLOOR PLANS**

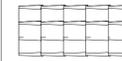
**A101**

SCALE: As indicated  
 SHEET: 13 OF 26





**LEGEND**

-  (N) SPANISH TILES  
REF. A502
-  DOWNSPOUTS
-  EXHAUST VENTS
-  WALL LINE BELOW



ARCHITECTS.LOCAL.COM  
640 W. BEECH STREET, STE #4  
SAN DIEGO, CALIFORNIA 92101

**BALBARAIS RESIDENCE**  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

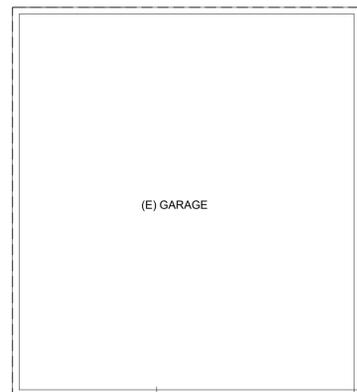
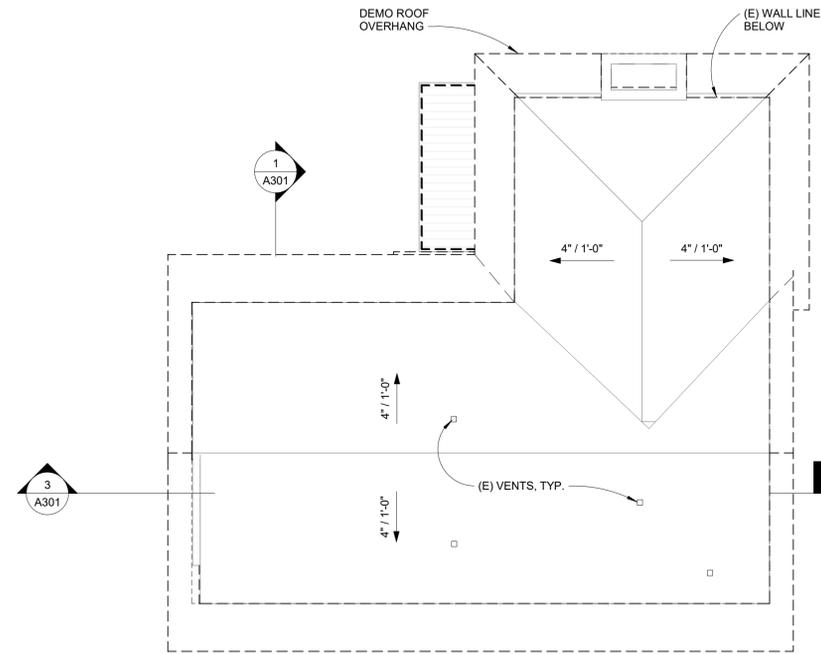
PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**ROOF PLANS**

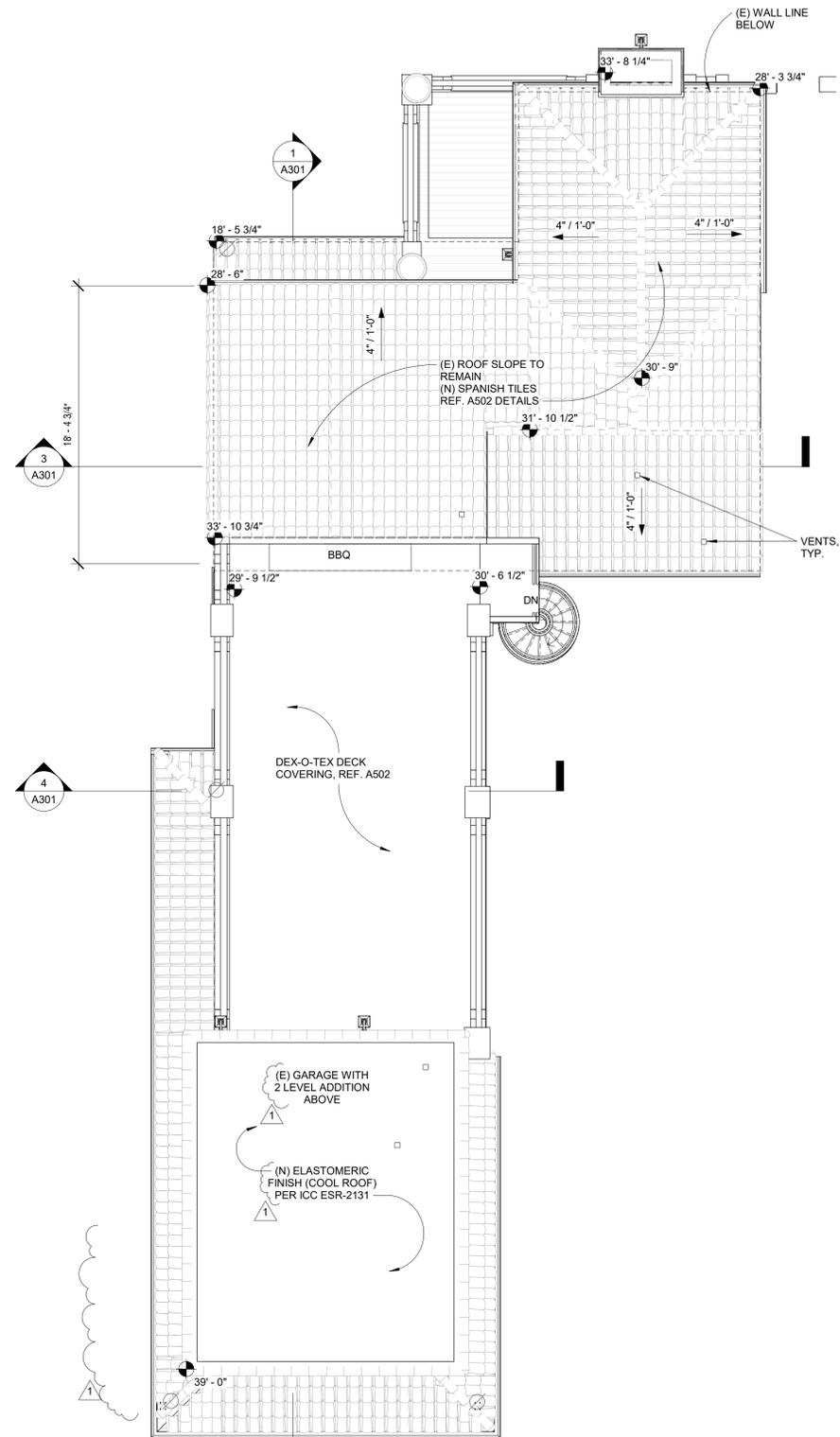
**A104**

SCALE: As indicated  
SHEET: 16 OF 26

**EXISTING**  
**ROOF PLAN**  
① 3/16" = 1'-0"



**PROPOSED**  
**ROOF PLAN**  
② 3/16" = 1'-0"



OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

**GENERAL NOTES**

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

1. FINISHED FLOOR ELEVATION AT 10.40'
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.

**FINISH SCHEDULE**

MARK	ELEMENT	DESCRIPTION	MANU./COLOR
(A)	(N) SIDING	STUCCO	WHITE
(B)	(N) SIDING	BRICK	RED HUES
(C)	(E) ROOFING	(N) SPANISH TILES	TERRA COTTA
(D)	WINDOWS/PATIO DOORS	WOOD	DARK BROWN
(E)	DOORS	PAINT GRADE WOOD	DARK BROWN

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**ELEVATIONS**

**A201**

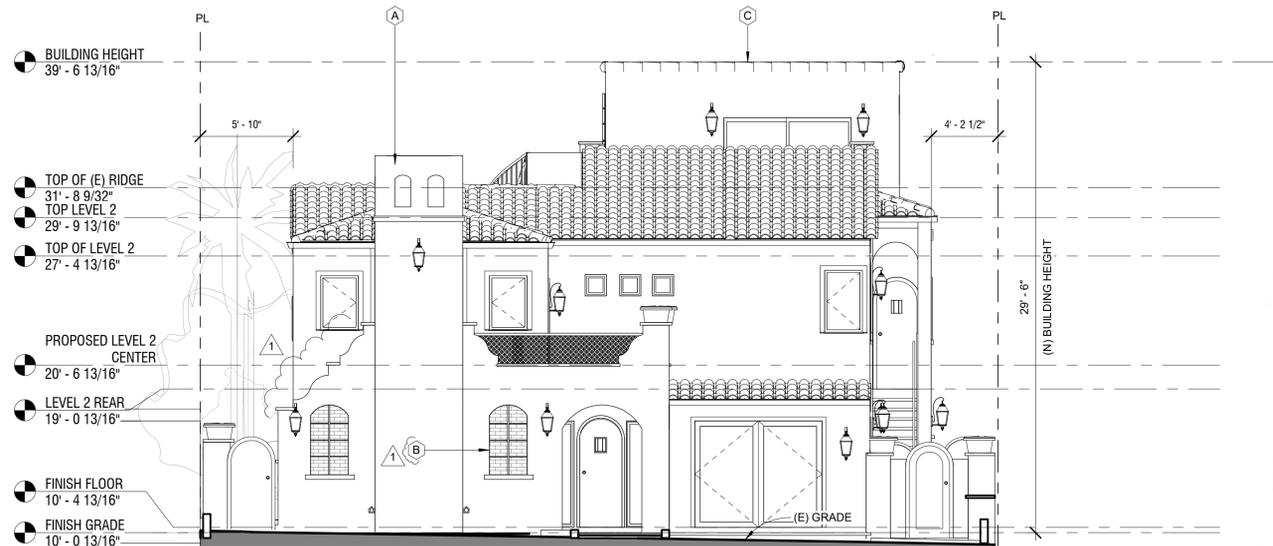
SCALE: 3/16" = 1'-0"  
SHEET: 17 OF 26



**3 NORTH ELEVATION PERSPECTIVE**



**4 SOUTH ELEVATION PERSPECTIVE**



**1 NORTH ELEVATION**

3/16" = 1'-0"



**2 SOUTH ELEVATION**

3/16" = 1'-0"

**GENERAL NOTES**

1. FINISHED FLOOR ELEVATION AT 10.40'
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.

**FINISH SCHEDULE**

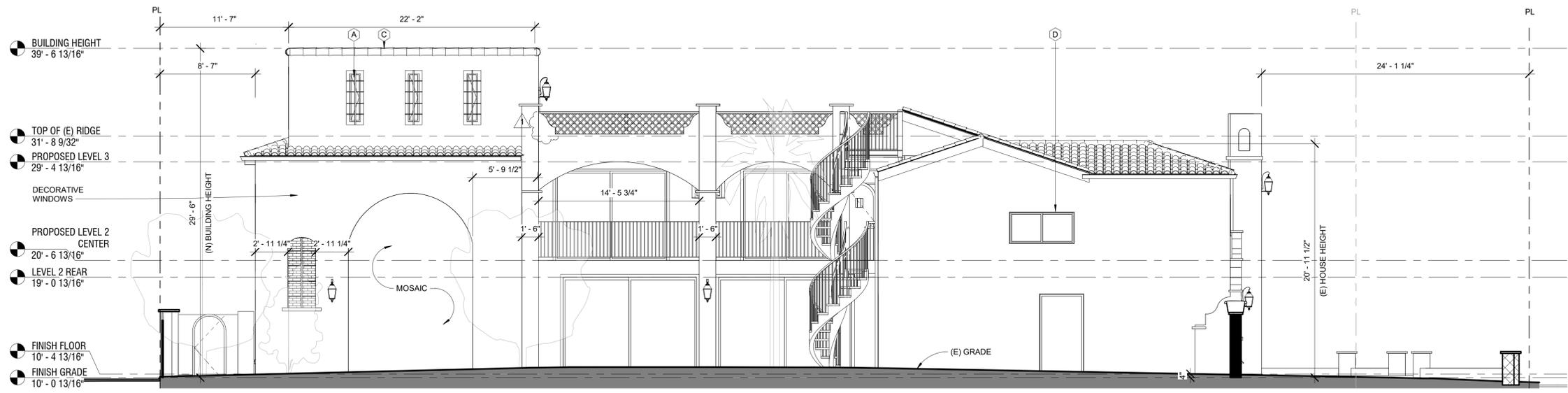
MARK	ELEMENT	DESCRIPTION	MANU./COLOR
(A)	(N) SIDING	STUCCO	WHITE
(B)	(N) SIDING	BRICK	RED HUES
(C)	(E) ROOFING	(N) SPANISH TILES	TERRA COTTA
(D)	WINDOWS/PATIO DOORS	WOOD	DARK BROWN
(E)	DOORS	PAINT GRADE WOOD	DARK BROWN

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**ELEVATIONS**

**A202**

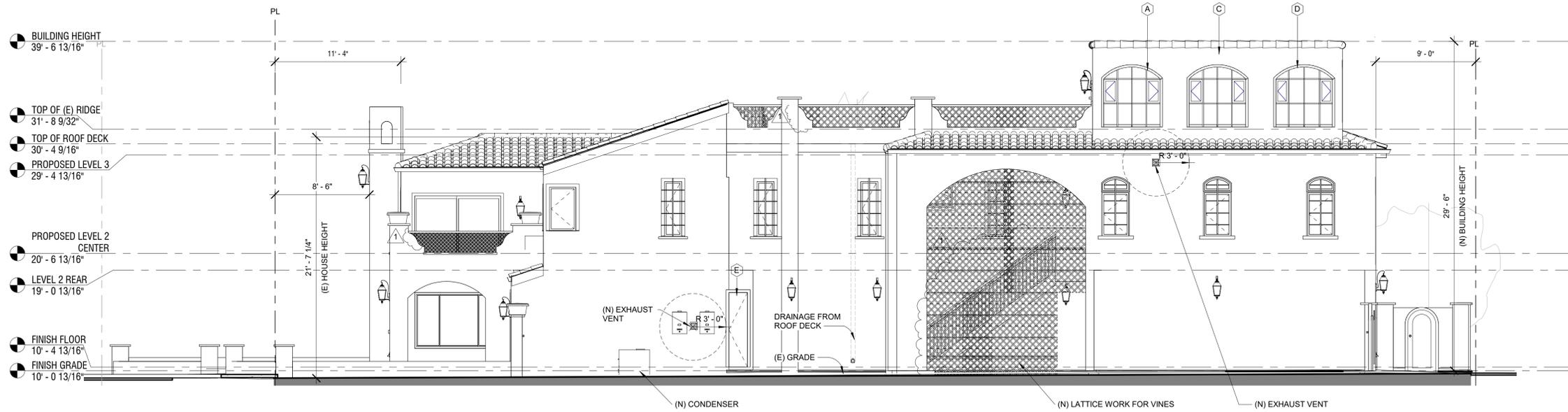
SCALE: 3/16" = 1'-0"  
SHEET: 18 OF 26



**EAST ELEVATION**  
② 3/16" = 1'-0"



**EAST ELEVATION PERSPECTIVE**  
①



**1 WEST ELEVATION**  
3/16" = 1'-0"



**2 WEST PERSPECTIVE**

**GENERAL NOTES**

1. FINISHED FLOOR ELEVATION AT 10.40'
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.

**FINISH SCHEDULE**

MARK	ELEMENT	DESCRIPTION	MANU./COLOR
(A)	(N) SIDING	STUCCO	WHITE
(C)	(E) ROOFING	(N) SPANISH TILES	TERRA COTTA
(D)	WINDOWS/PATIO DOORS	WOOD	DARK BROWN
(E)	DOORS	PAINT GRADE WOOD	DARK BROWN

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

**ELEVATIONS**

**A203**

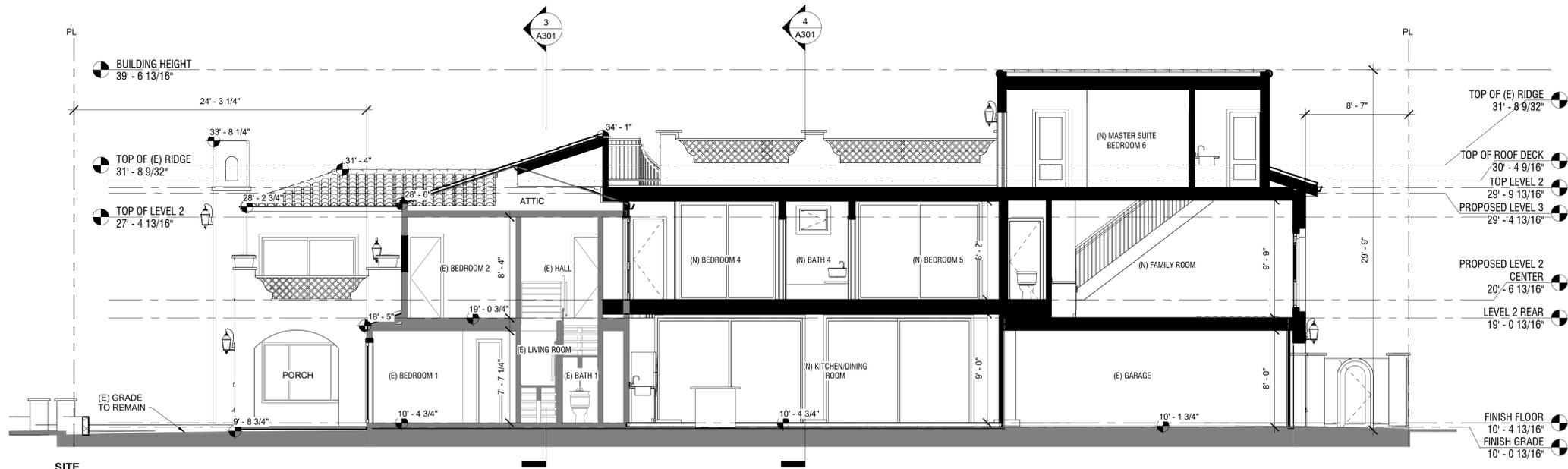
OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

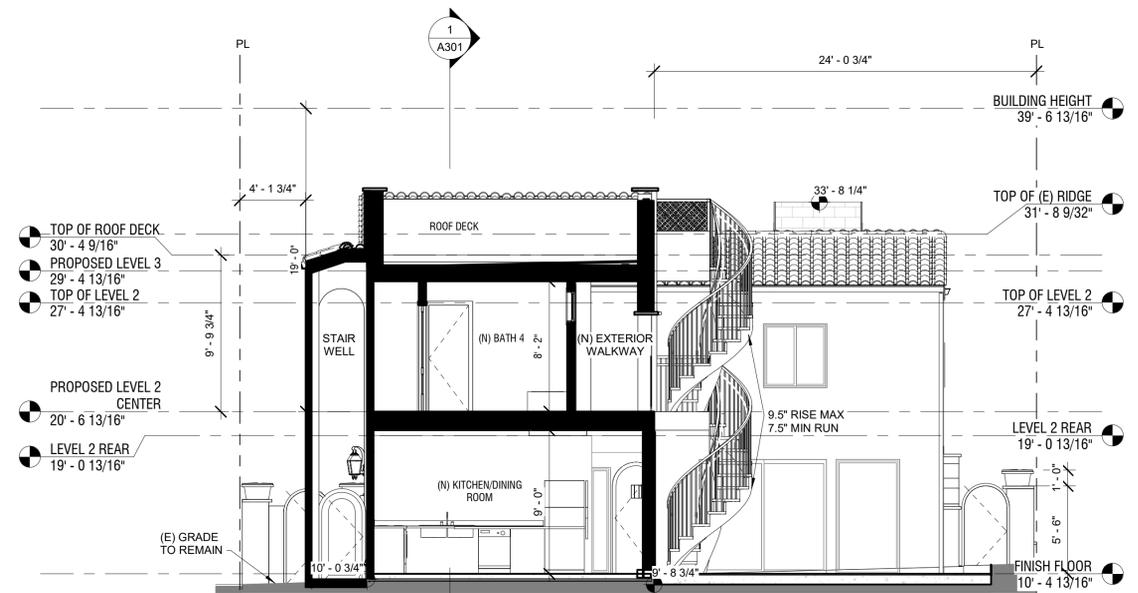
PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

**SECTIONS**

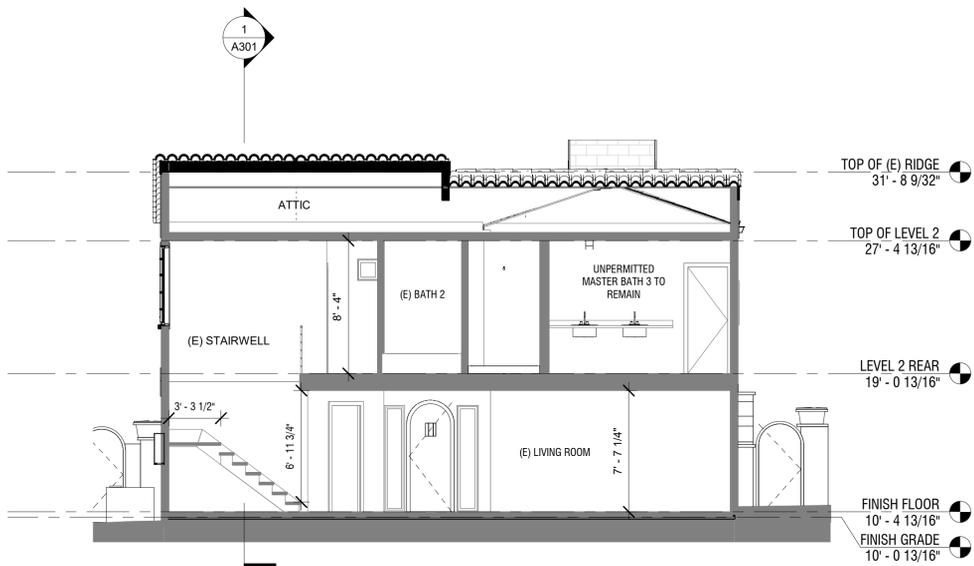
**A301**



**SECTION 1**  
3/16" = 1'-0"



**SECTION 4**  
3/16" = 1'-0"



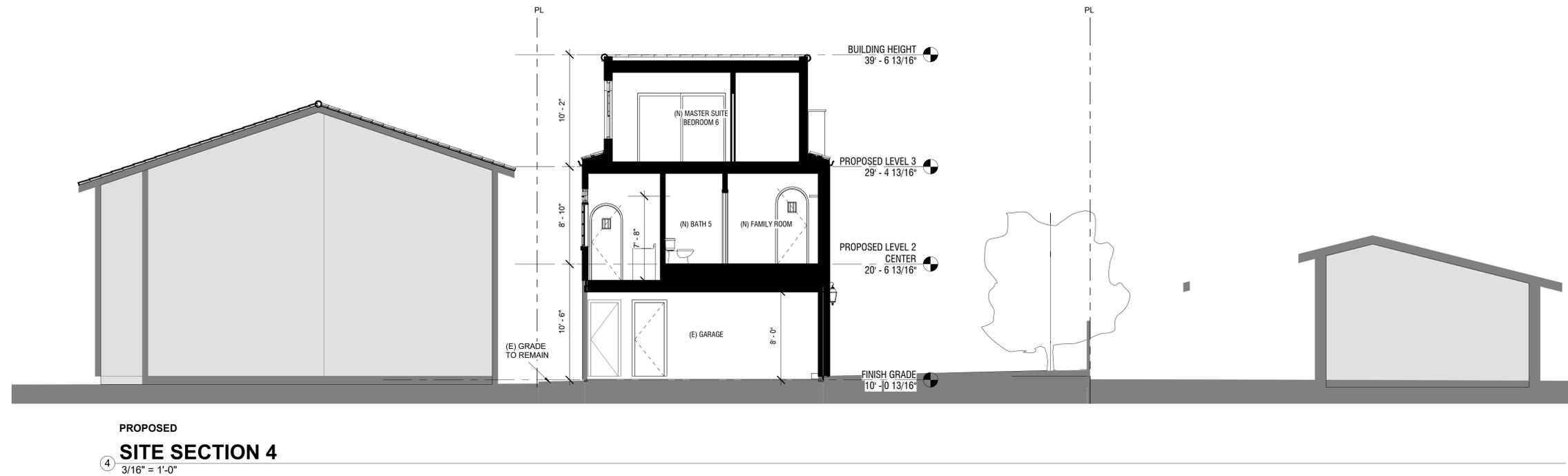
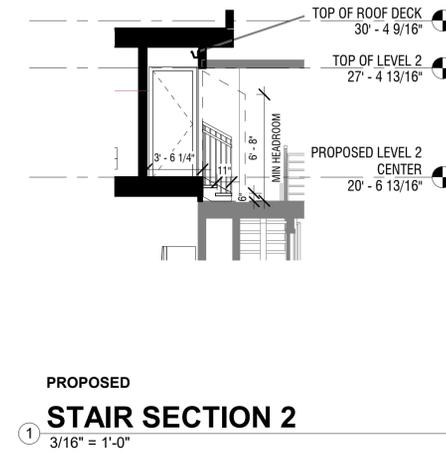
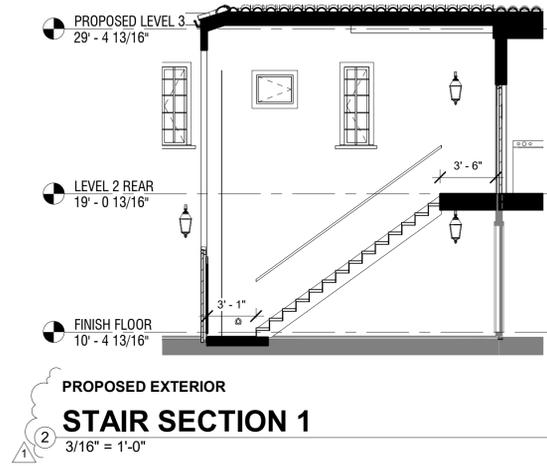
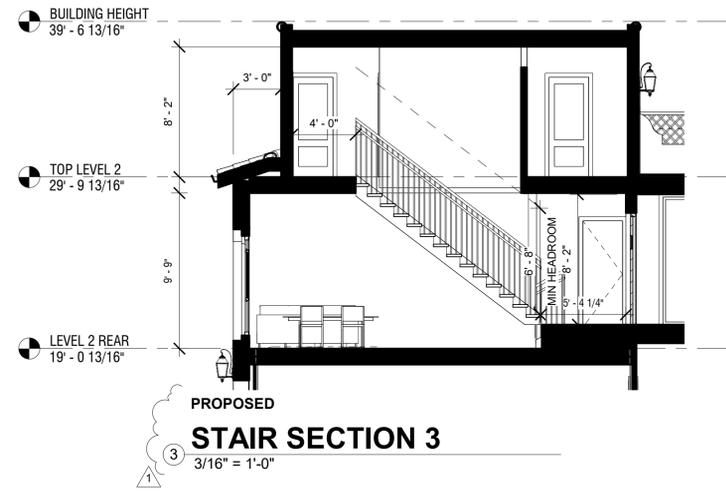
**SECTION 3**  
3/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

STAIR  
SECTIONS

A302





8 NORTH WEST STREET PERSPECTIVE



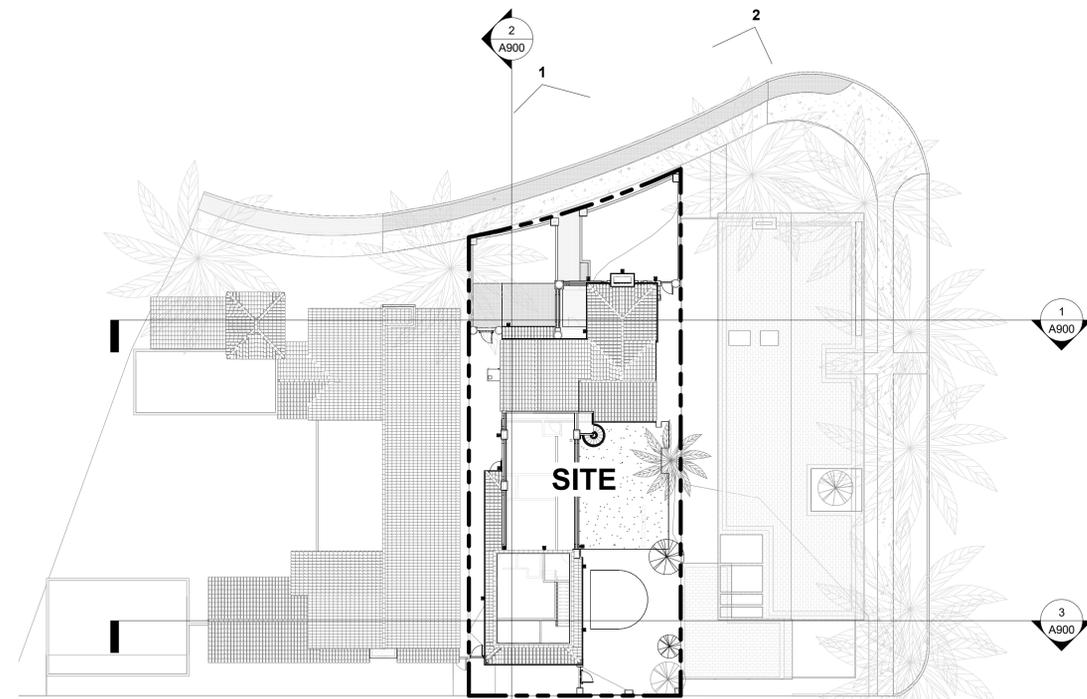
7 NORTH EAST STREET PERSPECTIVE



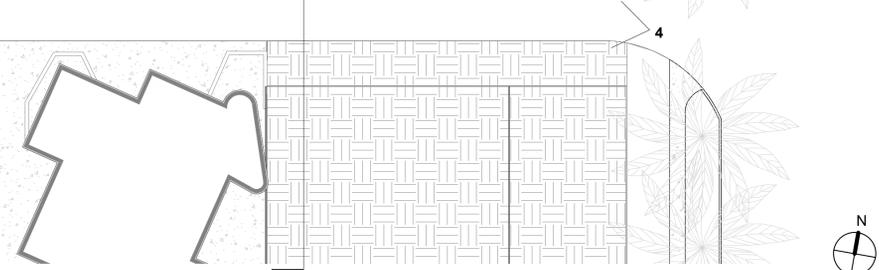
6 SOUTH WEST ALLEY PERSPECTIVE



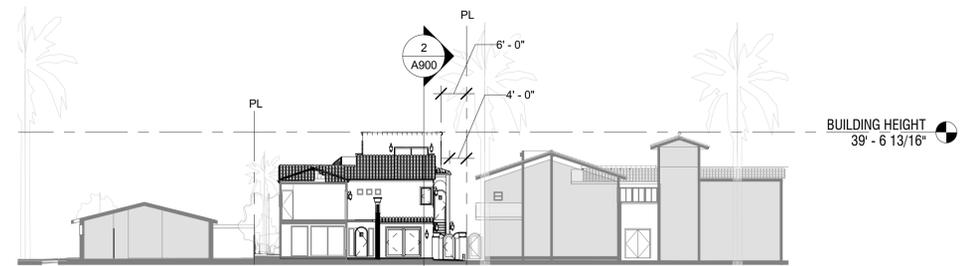
5 SOUTH EAST ALLEY PERSPECTIVE



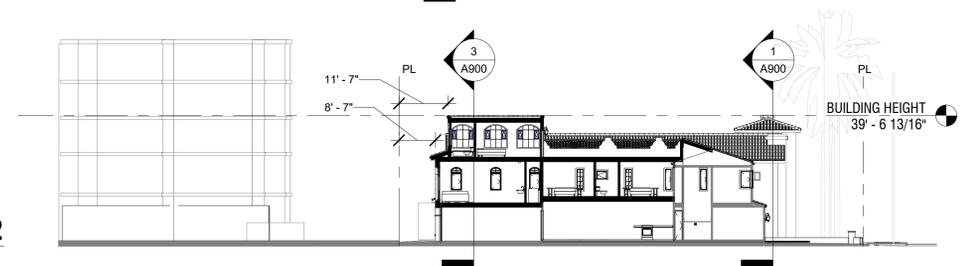
SITE SECTION REFERENCE  
**SITE PLAN**  
 1" = 20'-0"



**SITE SECTION 1**  
 1" = 20'-0"



**SITE SECTION 2**  
 1" = 20'-0"



**SITE SECTION 3**  
 1" = 20'-0"



NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT:	170411
CITY PROJECT:	558329
DATE:	3/7/18
DRAWN BY:	AB

PERSPECTIVE

**A900**

SCALE: 1" = 20'-0"  
 SHEET: 22 OF 26

# CALCULATIONS

<b>LANDSCAPING AREAS:</b>	
FRONT YARD:	710 SF
LEFT SIDE YARD:	413 SF
RIGHT SIDE YARD:	344 SF
REAR YARD:	364 SF
<b>TOTAL:</b>	<b>1,831 SF</b>
<b>LANDSCAPE COVERAGE:</b>	
LOT AREA:	5,728 SF
PERCENT COVERAGE REQ.:	30%
<b>PROPOSED:</b> 1831/5728=	<b>32.0%</b>
32% > 30% =	<b>OK</b>

# PLAN NOTES

1. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.



BALBARAIS RESIDENCE  
REMODEL AND ADDITION

OWNER:  
BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

NO.	DESCRIPTION	DATE
1	COASTAL R1	10/03/17

PROJECT: 170411  
CITY PROJECT: 558329  
DATE: 3/7/18  
DRAWN BY: AB

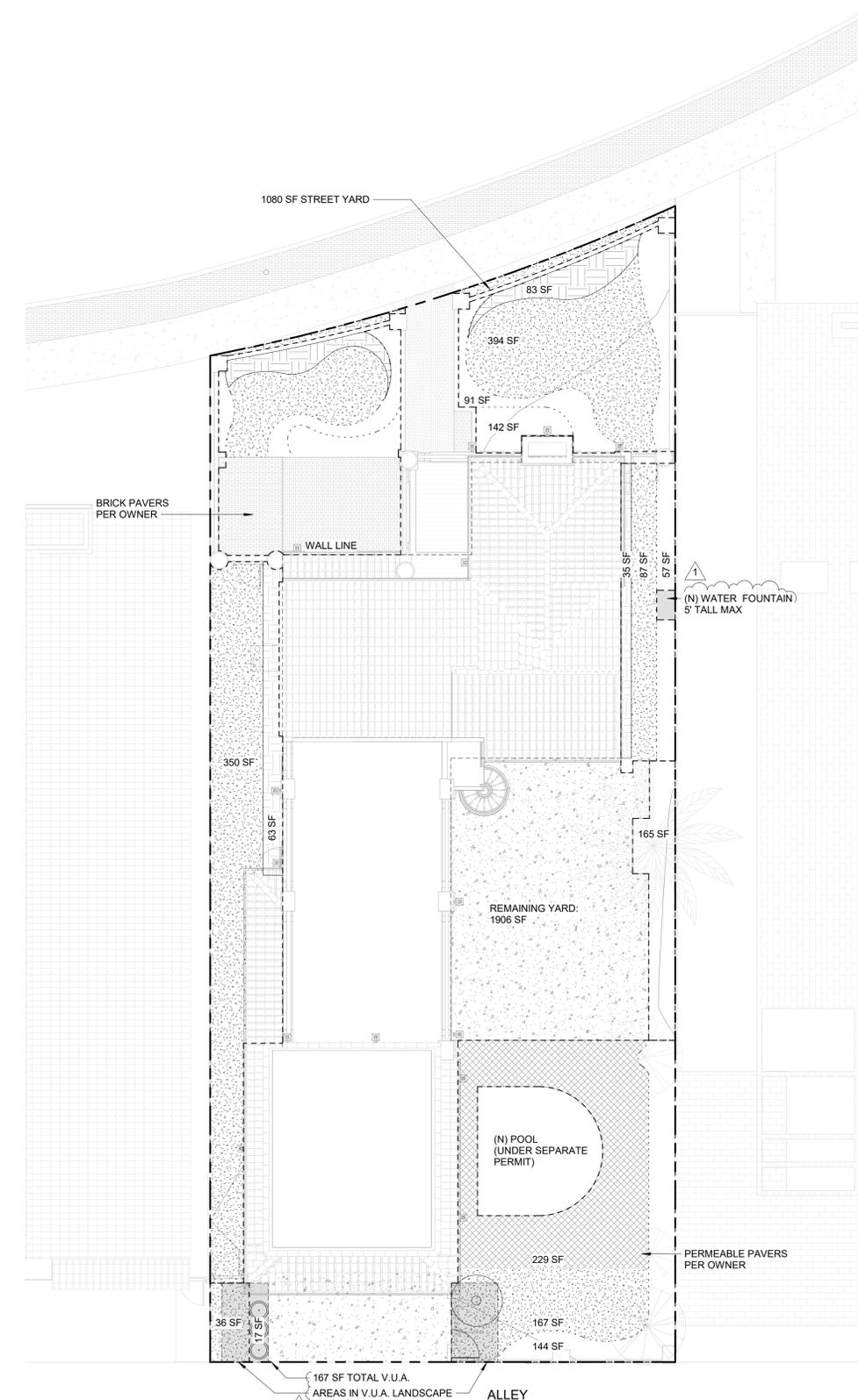
PLANTING AREA

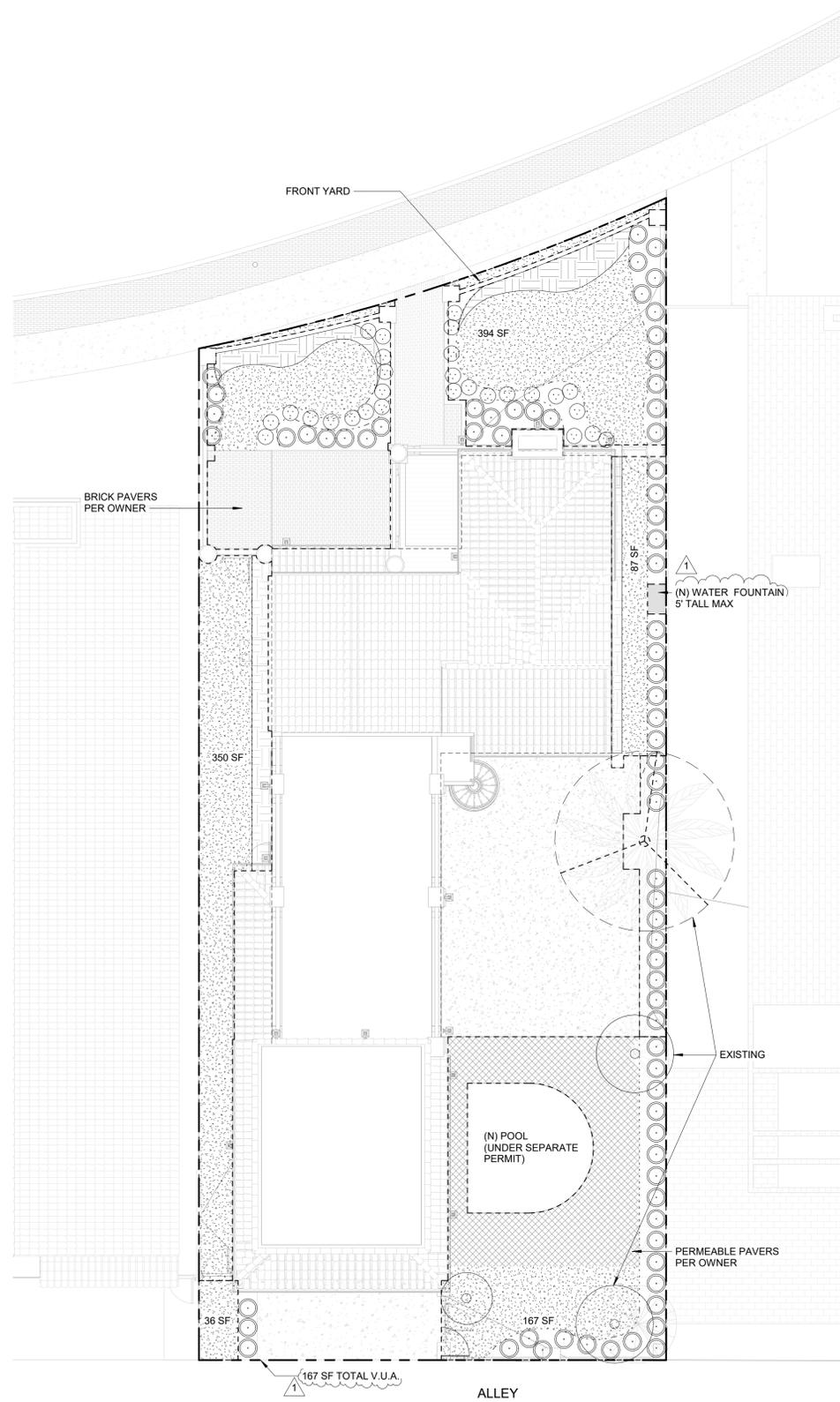
LP-1

SCALE: 1/8" = 1'-0"  
SHEET: 23 OF 26

# PLANTING AREAS

1/8" = 1'-0"





**PLANT LEGEND**

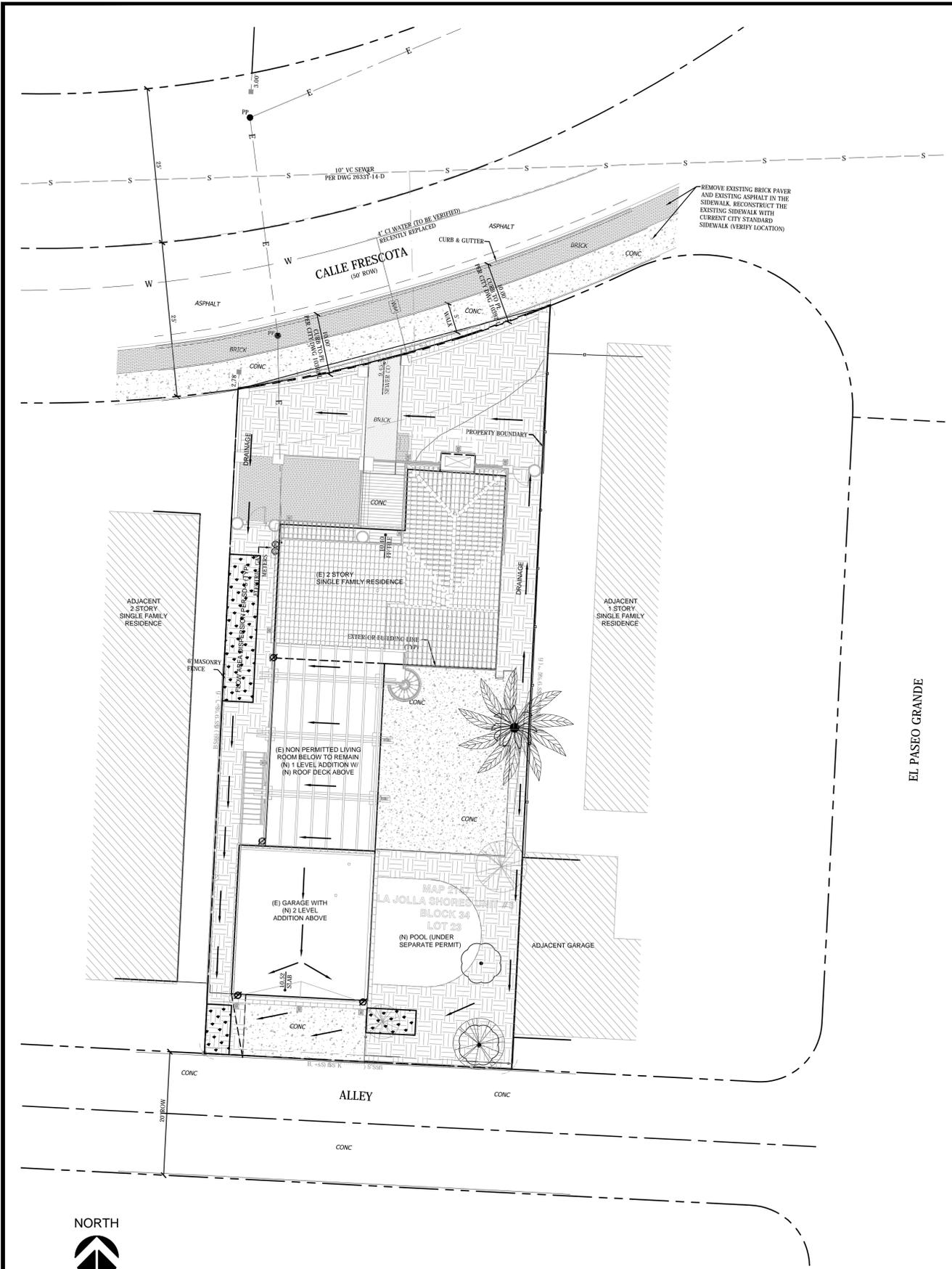
QTY	SYMBOL	GENUS	SPECIES	VARIETY	COMMON NAME	SIZE	CONDITION
<b>TREES</b>							
1	(Symbol)	BRAHEA	EDULIS		GUADALUPE PALM		SUN
3	(Symbol)	QUERCUS	IOBATA		VALLEY OAK	15 GAL.	SUN
<b>SHRUBS</b>							
28	(Symbol)	LAVANDULA	MULTIFIDA		CALI LAVENDER	1 GAL.	SUN
75	(Symbol)	DIETES	GRANDIFLORA	VARIEGATA	SR. FORTNIGHT LILY	5 GAL.	SUN/ SHADE
<b>GRASSES</b>							
	(Symbol)	UC VERDE		BUFFALO GRASS	UC BUFFALO GRASS	FLATS	
<b>GROUNDCOVER</b>							
	(Symbol)	DIANELLA	TASMANICA	VARIEGATA	BLUE FLAX LILY	1 GAL.	18" O.C.

**MATERIAL SCHEDULE**

SYMBOL	MATERIAL	MATERIAL TYPE	COMMENT	SOURCE
(Symbol)	PRECASE PAVERS	PER OWNER		
(Symbol)	BRICK PAVERS	PER OWNER		

**1 PLANTING PLAN**  
1/8" = 1'-0"

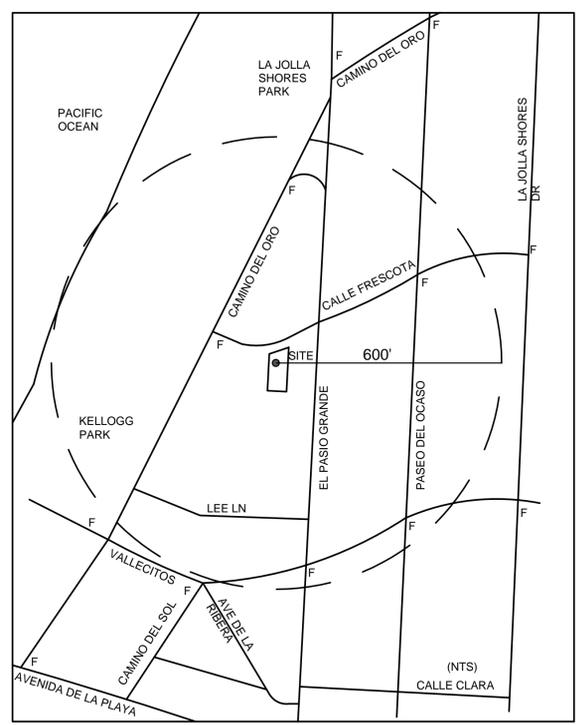




NORTH  
SCALE: 1"=10'-0"

**POST-CONSTRUCTION BMP'S**  
THIS PROJECT PROPOSES POST-CONSTRUCTION BEST MANAGEMENT PRACTICES AND LID MEASURES REQUIRED UNDER THE CITY OF SAN DIEGO STORM WATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE (SECTION 43.03).

**NOTE**  
"NO STORM WATER RUN-OFF FROM THE PROPOSED DEVELOPMENT SHALL BE DISCHARGED IN ASBS AREAS"



VICINITY MAP  
NO SCALE  
F= FIRE HYDRANT LOCATIONS

**STORM WATER QUALITY NOTES/CONSTRUCTION BMP'S**

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.  
[http://www.swrcb.ca.gov/water\\_issues/programs/stormwater](http://www.swrcb.ca.gov/water_issues/programs/stormwater)  
AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.  
<http://www.sandiego.gov/development-services/industry/stormwater.html>
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
3. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
5. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

**ABBREVIATIONS**

AP _____ ANGLE POINT	GRND _____ GROUND
ASPH _____ ASPHALT	MH _____ MANHOLE
BLDG _____ BUILDING	PP _____ UTILITY POLE
CIP _____ CAST IN PLACE	(R) _____ RADIAL BEARING
CMU _____ CONCRETE MASONRY UNIT	ROW _____ RIGHT OF WAY
CONC _____ CONCRETE	SS _____ SANITARY SEWER
DI _____ DRAIN INLET	TC _____ TOP OF CURB
EL _____ ELEVATION	TG _____ TOP OF GRATE (DRAIN)
FF _____ FINISHED FLOOR	TT _____ TOP OF WALL
FL _____ FLOWLINE	TYP _____ TYPICAL
FNC _____ FENCE	U/G _____ UNDERGROUND
GB _____ GRADE BREAK	WM _____ WATER METER

**NOTE**  
THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

**OWNER/APPLICANT**

BAJA ESCAPES, LLC  
2175 CALLE FRESCOTA  
LA JOLLA, CA 92037  
210.464.6599  
CANDACE316@GMAIL.COM

**APN**

346-222-04

**LEGAL DESCRIPTION**

LOT #23, BLOCK #34, MAP #2147, SUBDIVISION-LA JOLLA SHORES UNIT #5.

**SITE AREA**

0.131 ACRES

**GRADING TABULATION**

AMOUNT OF CUT: NA 0  
AMOUNT OF FILL: NA 0  
AMOUNT OF IMPORT/EXPORT OF SOIL: 0

**TOPOGRAPHY SOURCE**

METROPOLITAN MAPPING  
3712 30TH STREET  
SAN DIEGO, CA. 92104  
619.431.5250  
METROMAP.SD@GMAIL.COM

**BASIS OF ELEVATIONS**

CITY OF SAN DIEGO VERTICAL CONTROL BENCH MARK MONUMENT  
DESCRIPTION: BRASS PLUG/TOP OF CURB  
LOCATION: NORTHEAST CORNER OF CALLE FRESCOTA AND EL PASEO GRANDE  
DATUM: M.S.L. (NGVD 29)  
ELEVATION: 10.55 FEET

**LEGEND**

	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	(E) FOUND BOUNDARY MONUMENT
	(E) EDGE OF CONCRETE
	(E) CURB & GUTTER
	(E) CMU WALL
	(E) CONCRETE SURFACE
	(E) WOOD FENCE
	(E) CHAIN-LINK FENCE
	(E) SEWER LINE
	WATER LINE AND (E) WATER METER
	TREE (TRUNK DRAWN TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (1' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	DIRECTION OF FLOW (EXISTING/PROPOSED)
	FLOW AREA DISPERSION PER SD-5
	(E) BRICK PAVERS (IMPERVIOUS)
	(E) CONCRETE SURFACE (IMPERVIOUS)
	LANDSCAPING REF. LP-1 & LP-2 (PERVIOUS)
	(N) PERMEABLE PAVERS FOR COMPANION UNIT PARKING
	ROOF DOWNSPOUT WITH SPLASH PAD

**CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE**

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.  
2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

**ENGINEER OF WORK**

Frank Florez 10/26/2017  
FRANK FLOREZ R.C.E. 55555 DATE  
EXPIRES ON 12/31/18

**F**  
Florez Engineering, Inc.  
Civil Engineering & Planning  
11440 W. Bernardo Ct. #157  
San Diego CA. 92127  
(858) 229-2493



**Barbarais Residence**  
Remodel and Addition  
2175 CALLE FRESCOTA  
LA JOLLA, CA. 92037

PROJECT NO:

SHEET TITLE

CIVIL PLAN

SHEET NO:

C1

# RENDERINGS



NORTHEAST PERSPECTIVE - FROM CALLE FRESCOTA

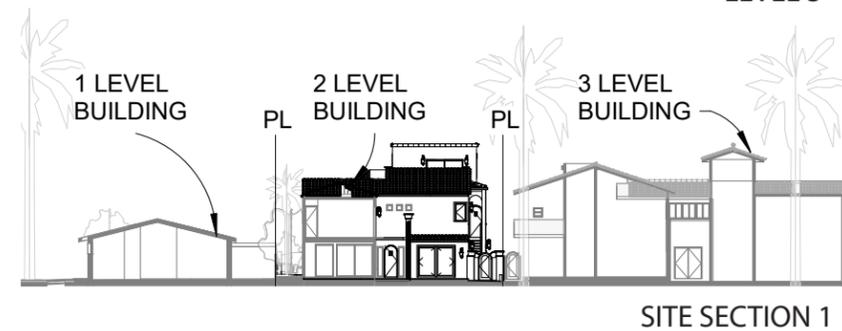
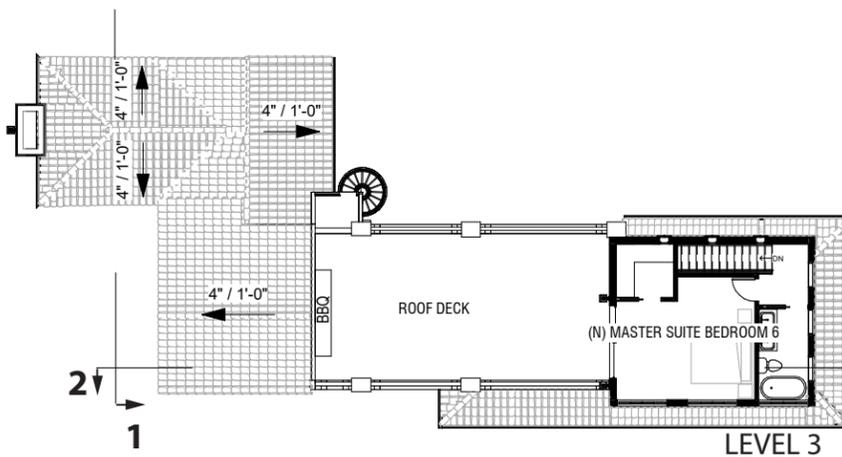
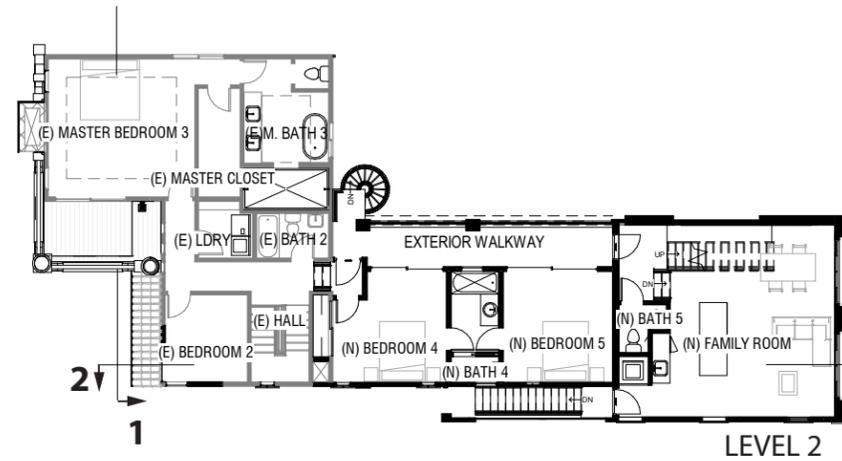
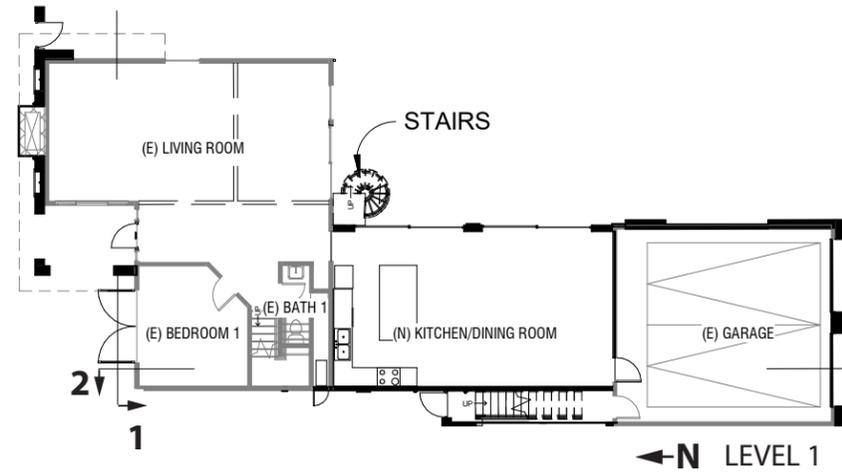


SOUTHEAST PERSPECTIVE - FROM ALLEY

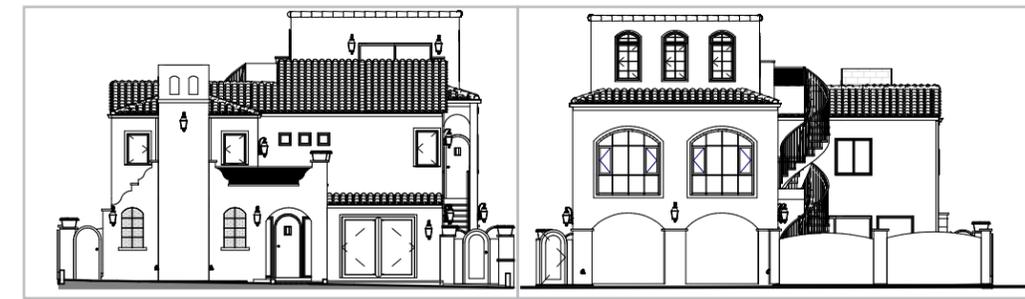


SOUTHWEST PERSPECTIVE - FROM ALLEY

# FLOOR PLANS



# ELEVATIONS AND SECTIONS



NORTH ELEVATION

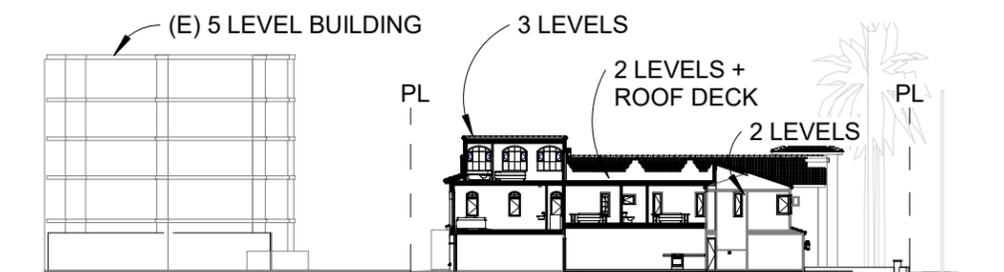
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SITE SECTION 2

# PROJECT INFORMATION

**PTS (DSD):** PTS 558329 – Balbarais Addition – CDP/SDP  
**Address:** 2175 Calle Frescota  
**APN:** 346-222-04-00

**Project Contact:** Aaron Borja  
**Phone:** 619.535.0537 x 104  
**E-mail:** AaronB@ArchitectsLocal.com

**Project Description:** 2077 SF addition to existing single family dwelling unit

**Level 1:** Relocate existing kitchen and dining room  
 New exterior stairs leading to family room above the garage

**Level 2:** New 2 bedroom, 1.5 bathroom, and family room addition  
 New laundry and bathroom within existing house

**Level 3:** New bath, bedroom, and closet  
 New roof deck

**Totals**

Lot size: 5728 SF  
 Existing Total SF: 1845 SF + 538 SF (Existing Garage)  
 Existing FAR: .42  
 Proposed Total SF: 3922 SF + 538 SF (Existing Garage)  
 Proposed FAR: .78

Existing Lot Coverage: .26  
 Proposed Lot Coverage: .36

### Setbacks

#### Level 1 and Level 2

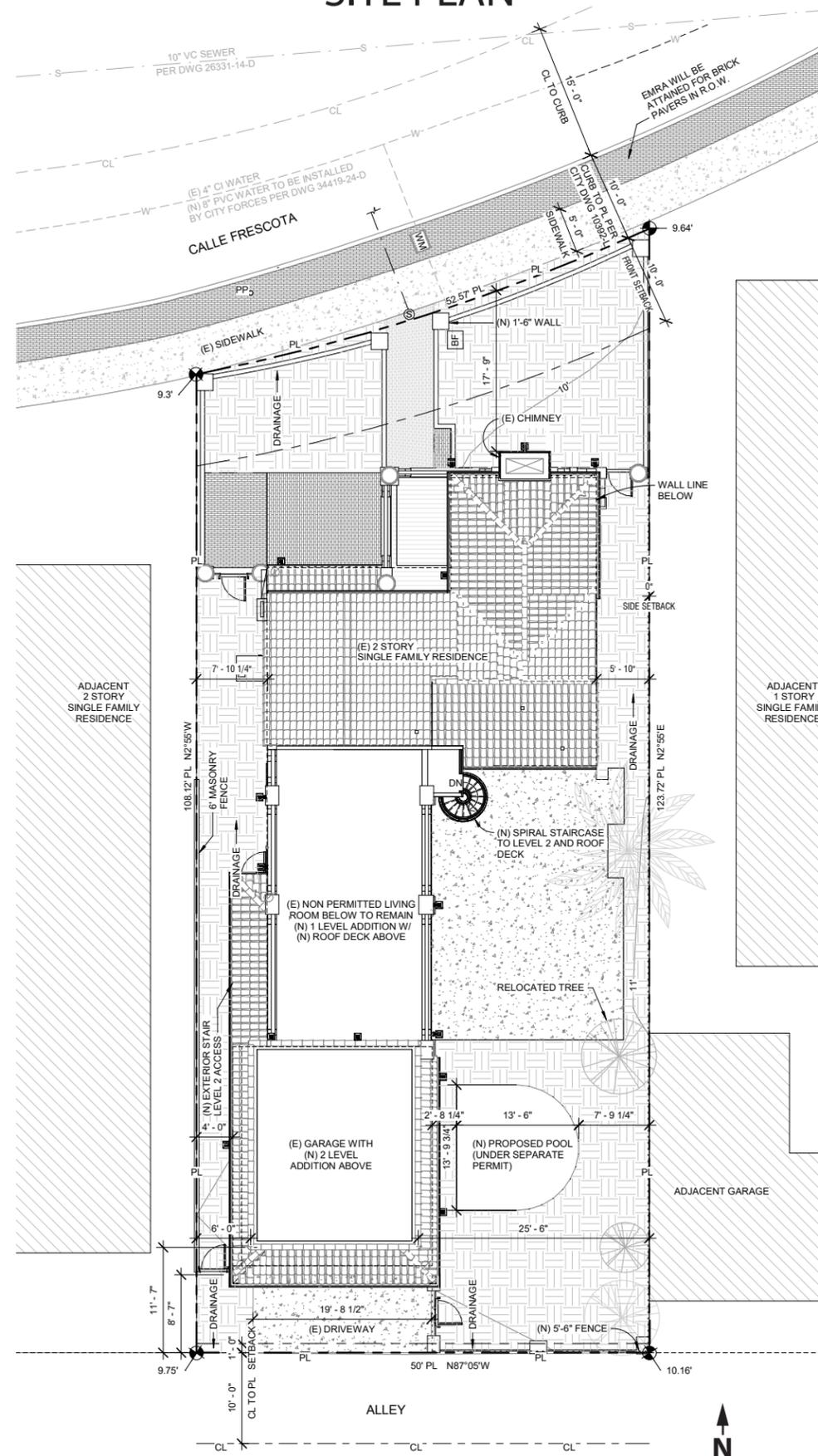
Existing North: 17'-9" South: 9'-7" East: 5'-10" West: 4'-0"  
 Proposed North: 17'-9" South: 8'-7" East: 5'-10" West: 4'-0"

#### Level 3

Proposed - South: 11'-7" East: 25'-6" West: 6'-0"

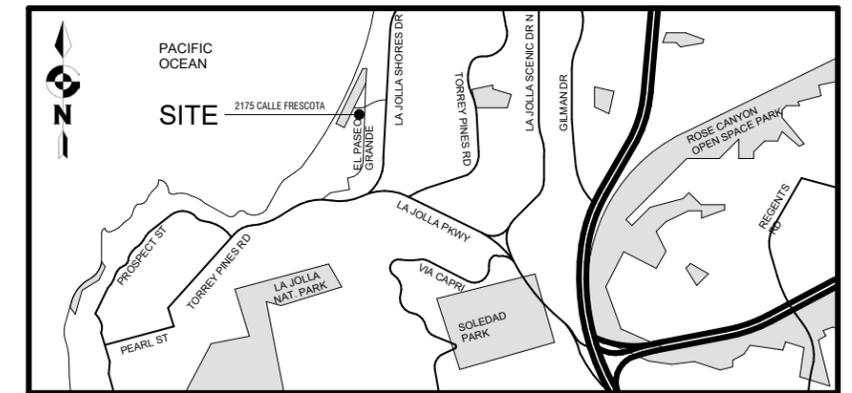
Existing Height: 2 Stories (21' - 7 1/4")  
 Proposed Height: 3 Stories (2 story addition over existing garage) (29'-6")

# SITE PLAN



# BALBARAIS RESIDENCE

2175 CALLE FRESCOTA,  
 LA JOLLA, CA 92037



VICINITY MAP

**OWNER:**  
 BAJA ESCAPES, L.L.C.

PTS: 558329  
 PROJECT MANAGER: GLENN GARGAS  
 CONTACT: GGARGAS@SANDIEGO.GOV

PREPARED BY:  
 ARCHITECTS LOCAL  
 640 W. BEECH ST., STE. 4  
 SAN DIEGO, CA 92101  
 CONTACT: AARON A. BORJA