

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): _PTS: 661815/ 8423 El Paseo Grande Residence
- Address and APN(s): 8423 El Paseo Grande, La Jolla, CA 92037; APN: 346-072-03-00
- Project contact name, phone, e-mail: Nick Wilson, 858-459-9291, nwilson@islandarch.com
- Project description: _New two story sfr of 3,968 sf and attached ADU of 1,088 sf
- In addition, provide the following:
 - lot size: 5,241 sf; 0.12 ac
 - existing structure square footage and FAR (if applicable): Demo 1,528 sf, 0.29 FAR
 - proposed square footage and FAR: Proposed 5,056 sf, 0.96 FAR
 - existing and proposed setbacks on all sides: FYSB: (E) 15', (P) 15'; SYSB: (E1) 6', (P1) 4', (E2) 8'-4", (P2) 4', (E-AU) 18", (P-AU) 4"; RYSB: (E) 31' 4", (P) 6', (E-AU) 0, (P-AU) 6'
 - height if greater than 1-story (above finish floor): 28'- 7 7/8" ft

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website for view by the public:

- All exhibits should be sized to 8 1/2" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;

(CONTINUED ON THE NEXT PAGE)

- B. Elevations for all sides;
- C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
- D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing Microsoft Teams. Staff will provide all applicants meeting appointments and instructions for logging in and participating in the meeting.

In addition to the exhibits provided, the applicant may choose to provide a concise powerpoint presentation on their project or indicate that they will use the exhibits provided as their presentation – which staff can place into a powerpoint presentation. All information for the agenda and any presentations will need to be provided in advance, so that staff may include it in the agenda distribution and have it available for public comment. All public comment will be based on the project information provided prior to the meeting and submitted to staff to be read into the record during public comment for each project.

Prior to the meeting, staff will provide the presentation in advance so that the applicant can note the order of slides for reference during the presentation. At the meeting, staff will be running the presentation and the applicant will be speaking and directing staff to advance the slides in the presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to:

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293
www.sandiego.gov/planning



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8423 El Paseo Grande Residence
Coastal Development Permit Fact Sheet
July 20, 2020

General Info

Plan Check Number	661815
A.P.N.	346-072-03-00
Legal	Lot 3, Blk 38, Map 2147 of La Jolla Shores Subdivision
Original Const.	1950
Zoning	LJSPD-SF Residential Tandem, City Coastal, Coastal Height Limit, Parking Impact
Lot Size	5,241 s.f.
Max Height	30' zoning / 30'+10' Prop. D / no private deed restriction

Proposed Project

Lot Coverage	49%	2,560 s.f.
Landscape Ratio	38%	1,977 s.f.
Hardscape Ratio	13%	704 s.f.
Gross Site	100%	5,241 s.f.
Garage/Storage		537 s.f. Non-Habitable
Main Level		2,020 s.f. Habitable
Gross Floor		5,056 s.f.
F.A.R		0.96
Front Yard		15'-0"
Side Yard North		4'-0" / 0'-4" at Companion Unit
Side Yard South		4'-0"
Rear Yard		6'-0"
Proposed Driveway		16' wide w/ 2 car garage + 2 off-street
Existing Driveway		8'-0' wide w/ 2 car garage + 2 off-street
Garage FF		-0'-2" @ Elev. +12.8'
Main Level FF		0'-0" @ Elev. +12.8'
Highest Point		28'-7 7/8" @ Elev. 41.5' (chimney)
Highest Roof		27'-1 5/8" @ Elev. 39.5'
Lowest Roof		23'-8 1/4" @ Elev. 33.75'
Existing House Ridge		@ Elev. 25'
Highest Zoning		28'-7 7/8" Prop D at Chimney 28'-7 7/8" Zoning Height at Chimney (out of 30' Allowable)





COMMUNITY REVIEW
SECOND PRESENTATION

8423 El Paseo Grande Residence

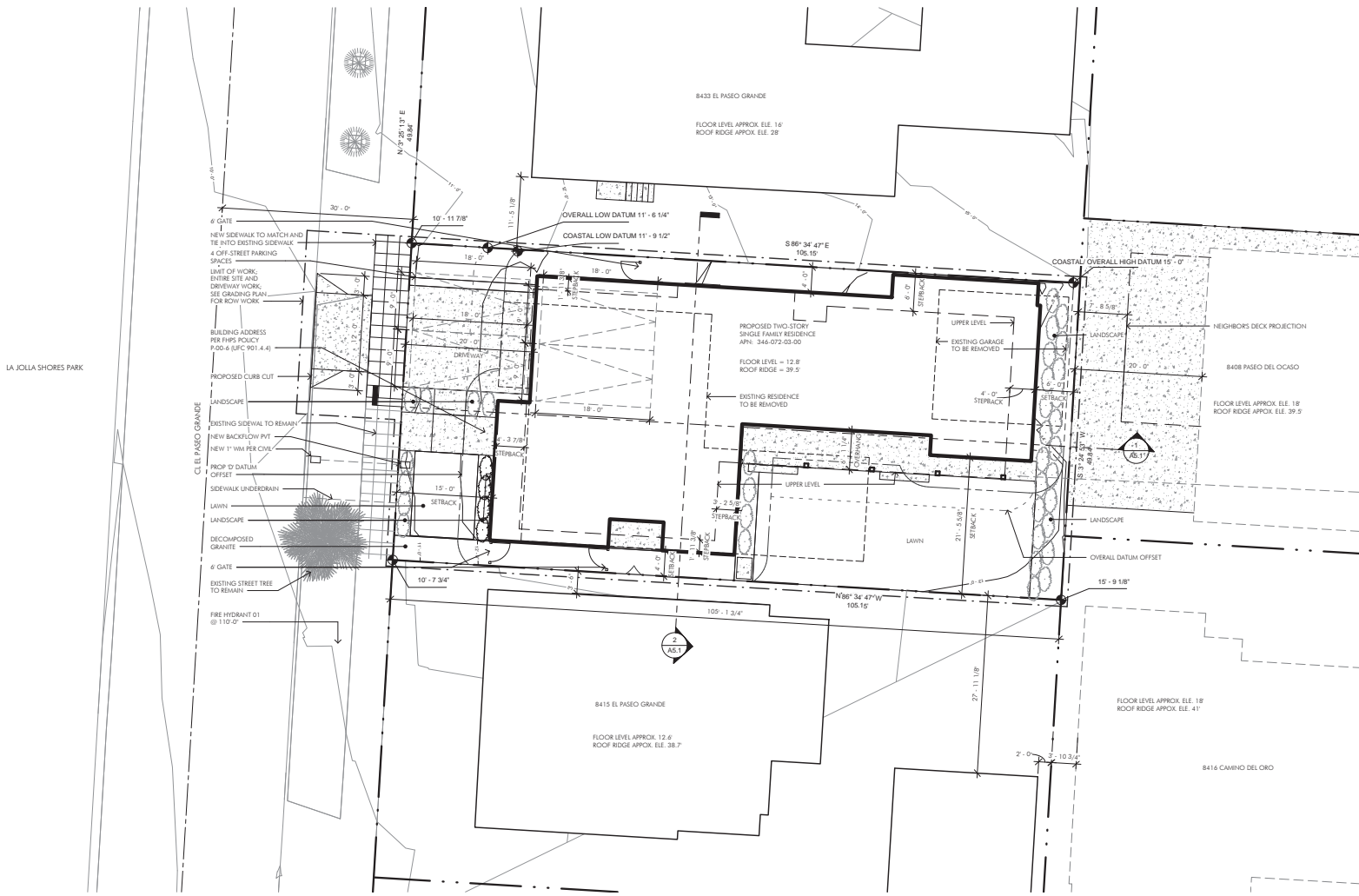
8423 El Paseo Grande, La Jolla, CA 92037
DATE: 07/20/2020



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858.459.9291 858.456.0351 www.islandarch.com

10/20/2020 9:20:00 AM
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SITE PLAN 1/8" = 1'-0"

- ### SITE NOTES
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
 - PER FHPS POLICY P-60.6 (LFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET ABOVE GRADE, SECTION 131.0444 AND 132.0505, HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
 - THE HIGHEST POINT OF ANY ROOF EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
 - ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
 - FIRE HYDRANT: **01 @ 10'-0" FROM PROPERTY** SEE SITE PLAN.
 - REFER TO SEPARATE GRADING PLAN FOR REQUIRED EIRMA, PERMANENT BMPs, AND WPCs.
 - WATER MATERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
 - AUTOMATIC IRRIGATION SYSTEM CONTROLS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
Controls shall be weather or soil moisture based controllers that automatically adjust irrigation in response to changes in plant needs or weather conditions change.
Weather-based controllers without integrated rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
- ### STORM WATER QUALITY NOTES CONSTRUCTION BMPs
- THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRPWCBS), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.
- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW.
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OR REINSTATEMENT AFTER RAIN EVENT.
 - ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
 - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CORROSION, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
 - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 - IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DEPOSITED BY THE CONTRACTOR.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT LAUNCH DISCHARGES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPAS OR TO AREAS WHERE IMPROVED WATERS CREATE A HAZARDOUS CONDITION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
 - AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.

CITY STANDARD TITLE BLOCK

Prepared By:	
Name: Island Architects	
Contact: Nick Wilson	Revision 08: _____
7626 Herschel Avenue	Revision 07: _____
La Jolla, CA 92037	Revision 06: _____
Phone: (858) 459-9291	Revision 05: _____
Street Address:	Revision 04: _____
8423 El Paseo Grande, La Jolla, CA 92037	Revision 03: _____
Project Name:	Revision 02: _____
8423 EL PASEO GRANDE RESIDENCE	Revision 01: 06/12/2020
Original Date: 03/11/2020	
Sheet Title:	
SITE PLAN	Sheet: 3 of 10
DEP#:	

ISLAND ARCHITECTS

TONY CRISAFI, LISA KRAEMER, R.A.
7626 HERSCHEL AVENUE
LA JOLLA, CA 92037
TEL: 858.459.9291

NOT FOR CONSTRUCTION

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DATE: 10/20/20
DRAWN BY: N. WILSON
CHECKED BY: L. KRAEMER
DATE: 10/20/20
DESIGNED BY: N. WILSON
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/20/20

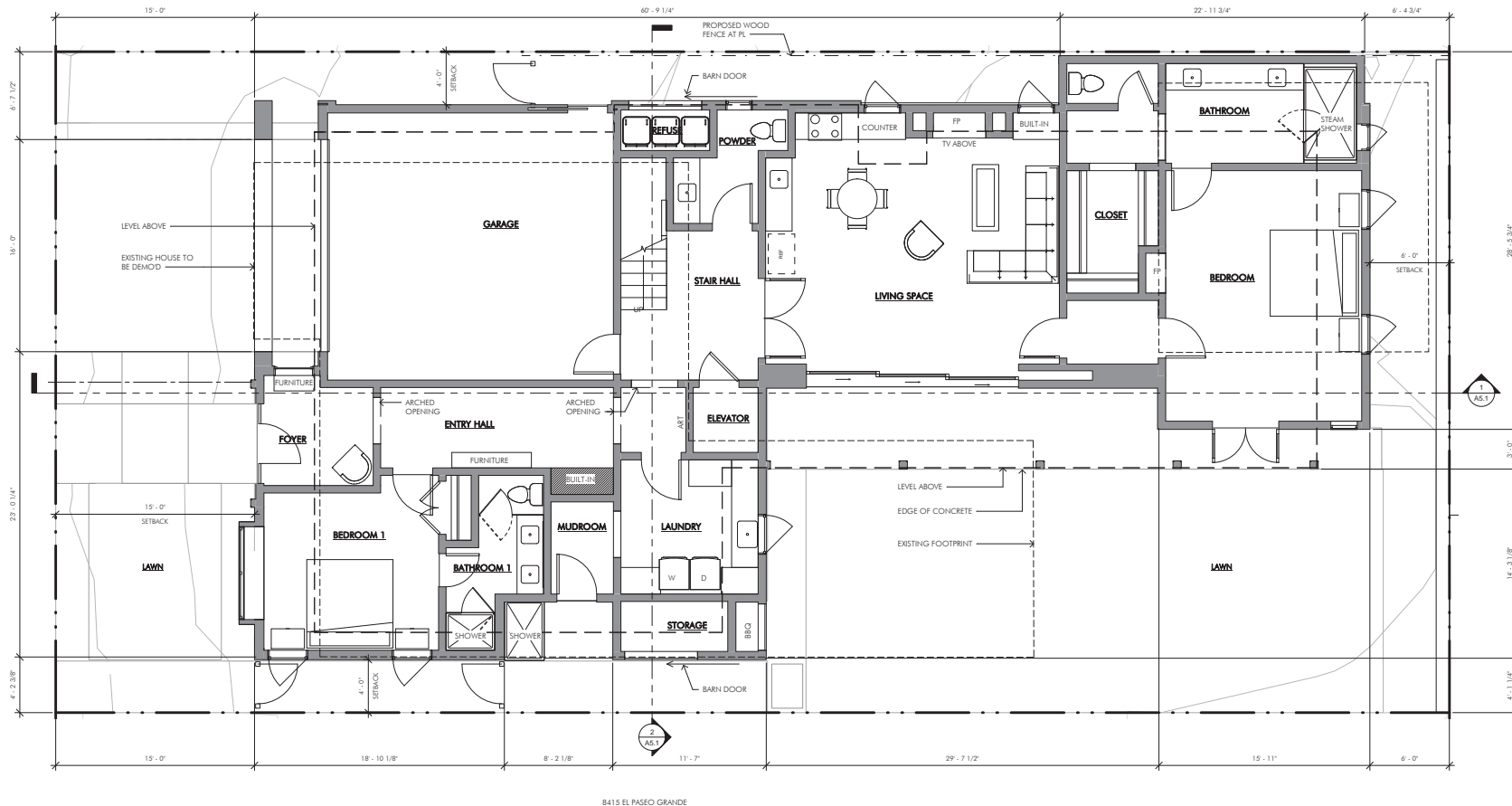
8423 EL PASEO GRANDE RESIDENCE

8423 El Paseo Grande, La Jolla, CA 92037

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SITE PLAN

07.20.2020



MAIN LEVEL PLAN 1/4" = 1'-0"



CITY STANDARD TITLE BLOCK

Prepared By:	Island Architects	Revision 08:	
Name:	Island Architects	Revision 07:	
Contact:	Nick Wilson	Revision 06:	
	7626 Herschel Avenue	Revision 05:	
	La Jolla, CA 92037	Revision 04:	
Phone:	(858) 459-9291	Revision 03:	
Street Address:	8423 El Paseo Grande, La Jolla, CA 92037	Revision 02:	
		Revision 01:	06/12/2020
Project Name:	8423 EL PASEO GRANDE RESIDENCE	Original Date:	03/11/2020
Sheet Title:	MAIN LEVEL PLAN	Sheet:	5 of 10
		DEP#:	

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MAIN LEVEL PLAN

07.20.2020

8423 EL PASEO GRANDE RESIDENCE

8423 El Paseo Grande, La Jolla, CA 92037

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UPPER LEVEL PLAN



ALL HEIGHT MEASUREMENTS BASED ON PROP 'D' HEIGHT OF PROJECT PROPERTY

WEST ELEVATION
SCALE = 1/8" = 1'-0"

8423 EL PASEO GRANDE

8423 EL PASEO GRANDE, LA JOLLA, CA 92037

Date: 07/13/2020

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858.459.9291 ISLANDARCH.COM



ALL HEIGHT MEASUREMENTS BASED ON PROP 'D' HEIGHT OF PROJECT PROPERTY

SOUTH ELEVATION
SCALE = 1/8" = 1'-0"

8423 EL PASEO GRANDE

8423 EL PASEO GRANDE, LA JOLLA, CA 92037

Date: 07/13/2020



ALL HEIGHT MEASUREMENTS BASED ON PROP 'D' HEIGHT OF PROJECT PROPERTY

EAST ELEVATION
SCALE = 1/8" = 1'-0"

8423 EL PASEO GRANDE

8423 EL PASEO GRANDE, LA JOLLA, CA 92037
Date: 07/13/2020

8408 PASEO
DEL OCASO

28'-0"

16'-6"

13'-0"

7'-8"

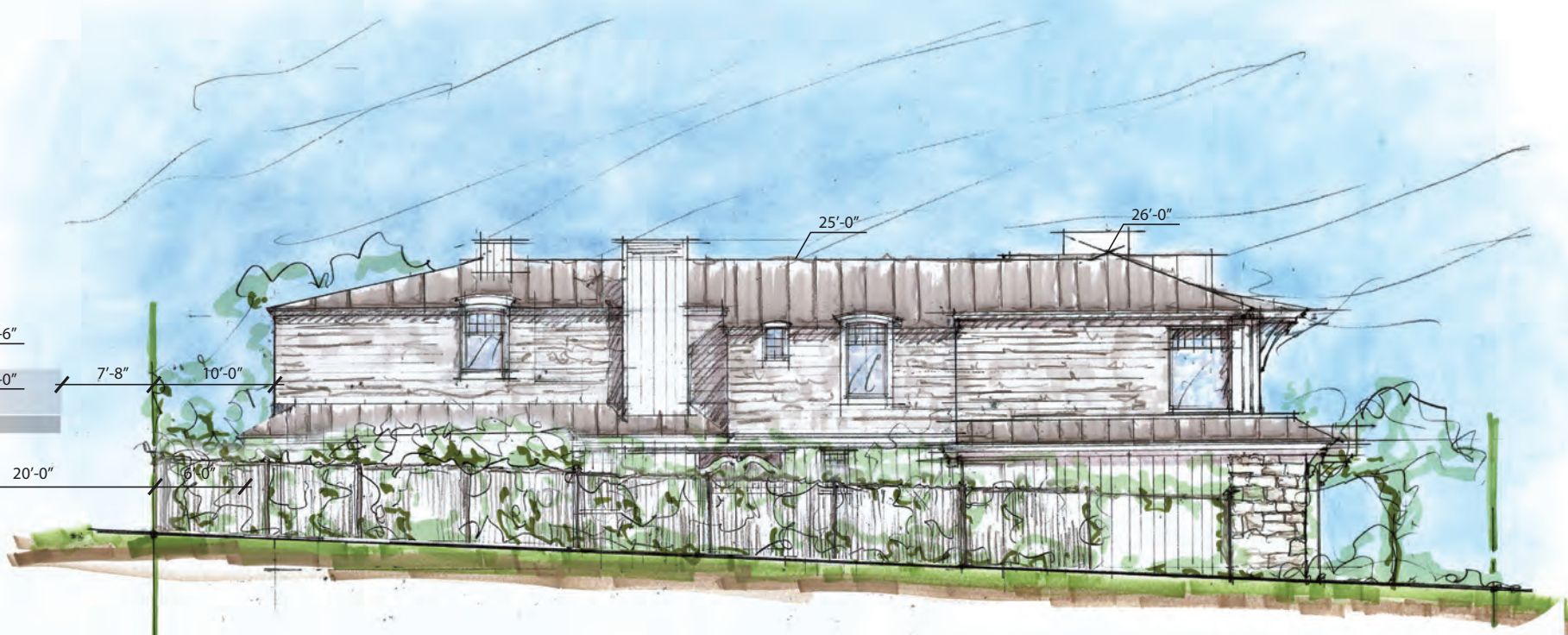
10'-0"

20'-0"

6'-0"

25'-0"

26'-0"



ALL HEIGHT MEASUREMENTS BASED ON PROP 'D' HEIGHT OF PROJECT PROPERTY

NORTH ELEVATION
SCALE = 1/8" = 1'-0"

8423 EL PASEO GRANDE

8423 EL PASEO GRANDE, LA JOLLA, CA 92037

Date: 07/13/2020

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MATERIAL BOARD



BURNISHED COPPER

WHITE TRIM

NATURAL SHINGLE

STAINED WOOD

WHITE CHATEAU - STONE



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COMMUNITY REVIEW
SECOND PRESENTATION

8423 El Paseo Grande Residence

8423 El Paseo Grande, La Jolla, CA 92037
DATE: 07/20/2020



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FAR LEGEND



ALL DATA RECORDED FROM
SCOUTRED WEBSITE ON 7/14/2020

220 SF ADDED TO THE WEBSITES
LIVABLE SQUARE FOOTAGES FOR
EACH PERCEIVED ENCLOSED
CAR SPACE





EL PASEO GRANDE 8400



























































8477

SILVERADO



























