

La Jolla Shores Planned District Advisory Board (LJSPDAB) Online Virtual Meeting

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items):
PTS- 690406
- Address and APN(s):
7341 RVE MICHAEL, LA JOLLA, CA APN 352-332-04
- Project contact name, phone, e-mail:
BRENDAN OEH (858) 349-3474 BRENDAN@MARTINARCHITECTURE.COM
- Project description: REMODEL EXIST. HAB. / 79 SF KITCHEN & GREAT ROOM ADDN / 402 SF BEDROOM ADDN / 221 COVERED OPEN LOGGIA ADDN / 654 SF DECK ADDN
- Please indicate the action you are seeking from the Advisory Board:
 - ☒ Recommendation that the Project is minor in scope (Process 1)
 - ☐ Recommendation of approval of a Site Development Permit (SDP)
 - ☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - ☐ Other: _____
- In addition, provide the following:
 - lot size: 13,351 SF
 - existing structure square footage and FAR (if applicable): 2511 GROSS .19 (FAR)
 - proposed square footage and FAR: 2992 GROSS .22 (FAR)
 - existing and proposed setbacks on all sides: 7' FYSB (PROPOSED 9'-2" FYSB)
 - height if greater than 1-story (above ground): 1 STORY

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): _____



PHOTO A



PHOTO C



PHOTO E



PHOTO F



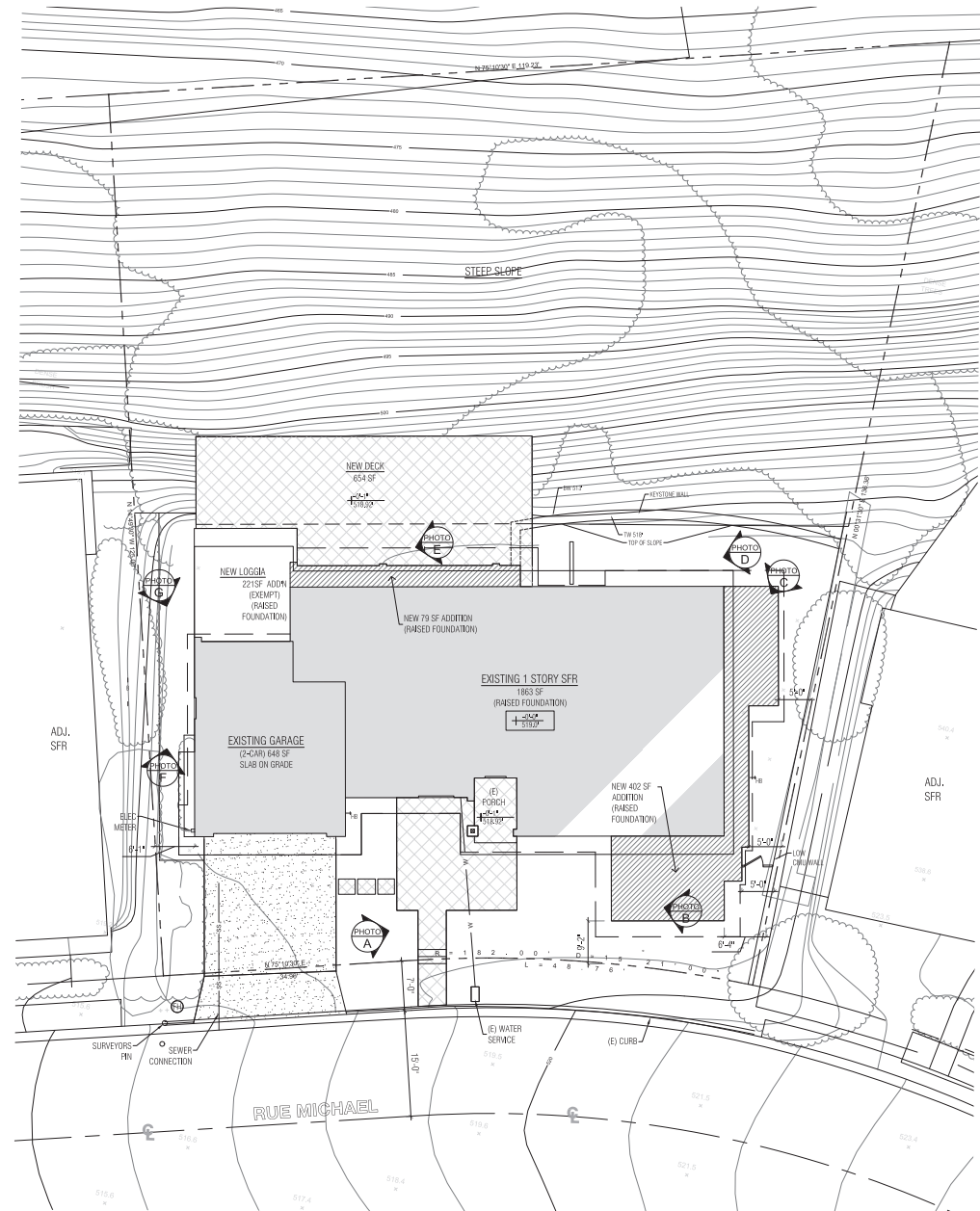
PHOTO B



PHOTO D



PHOTO G



SITE PLAN - HISTORIC PHOTO SURVEY

SCALE: 1/8" = 1'-0"



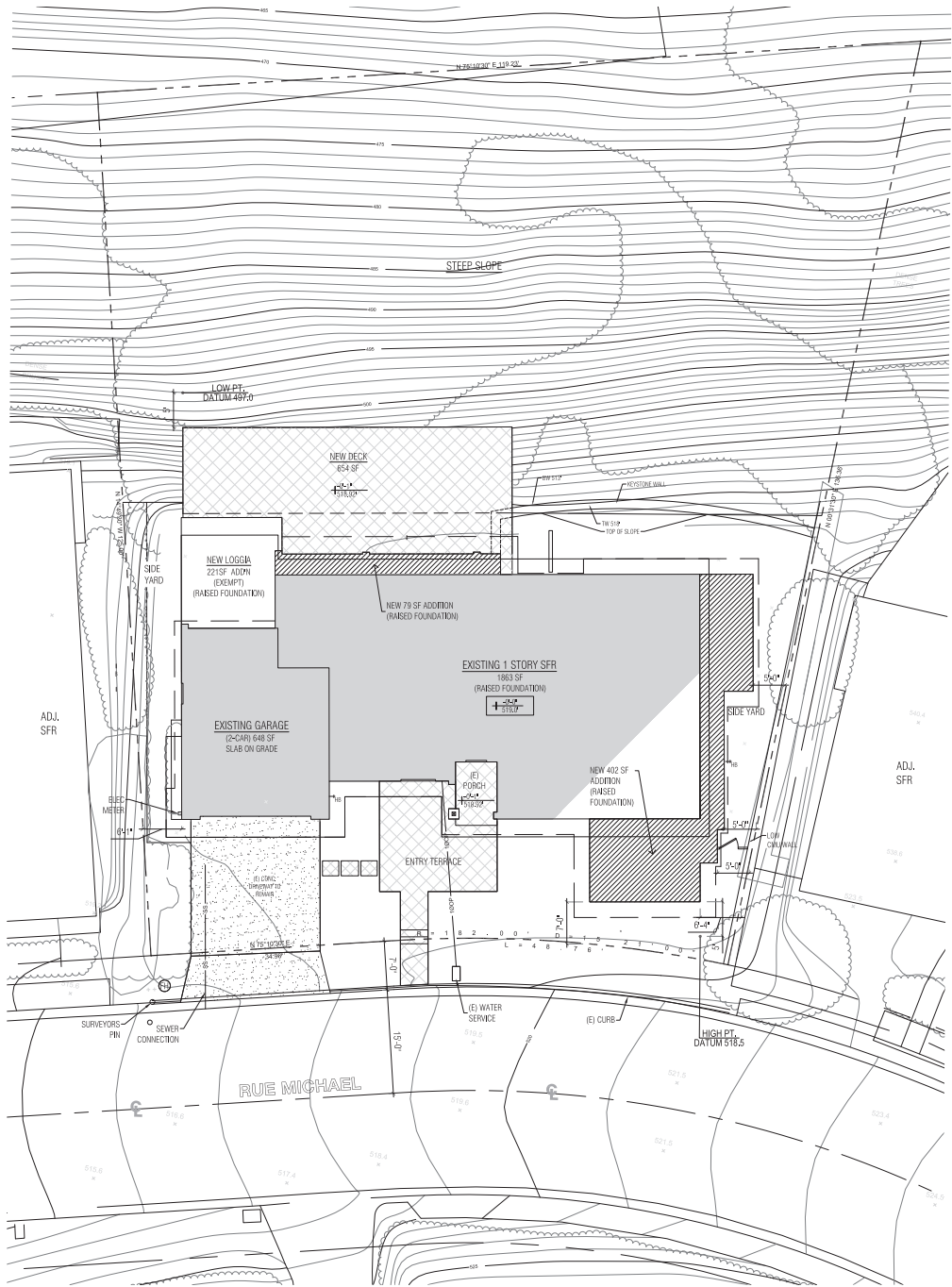
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MARTIN ARCHITECTURE
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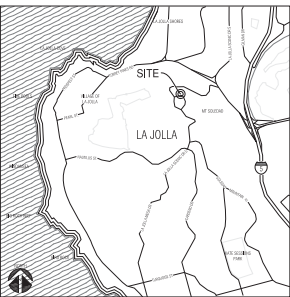
04-30-2021 SUBMIT

SHEET NO.

H1.1



VICINITY MAP



PROJECT DATA

SITE ADDRESS:	7341 RUE MICHAEL DR. LA JOLLA CA
APN:	352-332-04-00
LOT AREA:	13,351 S.F., (0.31 ACRES)
YEAR BUILT:	1966
HISTORIC:	YES: NO: X
EXISTING USE:	SINGLE FAMILY DWELLING
PROPOSED USE:	SINGLE FAMILY DWELLING
LEGAL DESCRIPTION:	LOT 35 OF CHATEAU VILLE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3926, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 10, 1958,
OWNER:	BARZAN & KATHY MOHEDIN
BASE ZONE:	LSPD-SF
OVERLAY ZONES:	COASTAL OVERLAY ZONE / COASTAL HEIGHT LIMIT / PARKING IMPACT / TRANSIT PRIORITY AREA
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
BUILDING HEIGHT:	S2.1
# OF STORIES EXISTING:	ONE STORY
# OF STORIES PROPOSED:	ONE STORY
PARKING:	S4.0
REQUIRED:	2 SPACES
PROPOSED:	2 SPACES
EASEMENTS & ENCUMBRANCES:	NONE
HEIGHT LIMIT:	24' / 30'
SITE IS LOCATED WEST OF I-5, THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY EVENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM, "SCMC SECTION 132.0505	
BUS STOPS:	NONE
FIRE DEPT. REQUIREMENTS:	PROVIDE BUILDING ADDRESS NUMBERS VISIBLE & LEGIBLE FROM STREET

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GENERAL NOTES

- NO STRUCTURES OVER 3FT TO BE PLACED IN VISIBILITY AREAS
- EXTERIOR LIGHTING REQUIREMENTS ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED ADJUSTED TO FALL ON SAME PREMISES ON WHICH LIGHTS ARE LOCATED
- PROJECT IS EXEMPT FROM A COASTAL DEVELOPMENT PERMIT: LESS THAN 50% OF PERIMETER WALLS ARE BEING ALTERED SEE WALL MATRIX, D1.1
- EXEMPT FROM SDP; INCREASE IN GROSS FLOOR AREA < 10% OF EXISTING.
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR PROVIDE FAUCETS WITH A MAX FLOW OF 1.8 GALLONS PER MINUTE
- LAVATORY FAUCETS WITH A MAX FLOW OF 1.2 GALLONS PER MINUTE
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE
- PROVIDE 1.28 GPF ULTRA LOW FLUSH TOILETS
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, SHALL ALL HAVE HIGH EFFICACY LUMINARIES AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR
- ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM
- SEE BUILDING SECTIONS A4.1 THRU A4.3 FOR NON-NATIVE SOILS AND EXISTING FILL PER GEOLOGICAL REPORT

SINGLE FAMILY ZONE

IN THE SINGLE FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPE AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPED GUIDELINES OF THE DEVELOPMENT MANUAL.

THIS PROJECT HAS BEEN IDENTIFIED AS BEING WITHIN AN AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS) WATERSHED ACCORDING TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).

IN ACCORDANCE WITH RWQCB RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:

- THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB;
- THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND
- THE DISCHARGES:
 - ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROAD, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;
 - ARE DESIGNED TO PREVENT SOIL EROSION;
 - OCUR ONLY DURING WET WEATHER; AND
 - ARE COMPOSED OF ONLY STORM WATER RUNOFF, NON-STORM WATER DISCHARGES (IE, HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS AREAS IS PROHIBITED AS DEFINED IN ORDER NO. RS-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS, IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.

AREA SUMMARY

HABITABLE BUILDING AREA:	1,863 SF
EXISTING HABITABLE	481 SF
PROPOSED HABITABLE ADDN	481 SF
TOTAL PROPOSED HABITABLE AREA	2,344 SF

GROSS BUILDING AREA:	1,863 SF
EXISTING BUILDING	648 SF
TOTAL EXISTING GROSS	2,511 SF
PROPOSED HABITABLE	481 SF
TOTAL PROPOSED GROSS	2,992 SF

PROPOSED FAR: 2,992 SF (GROSS) / 13,351 SF (LOT) = .22

PROPOSED LOGGIA (EXEMPT)	221 SF
PROPOSED DECK	654 SF

PROPOSED LOT COVERAGE: 4776 SF (GROSS IMPERVIOUS) / 13,351 SF (LOT) = 35.8% (50% ALLOWABLE LOT COVERAGE)

LANDSCAPED AREA: SEE LANDSCAPE AREA DIAGRAM SHEET C1.4

SEE SHEET C1.4 FOR PERVIOUS & IMPERVIOUS AREA & EARTHWORK QUANTITIES

HERS VERIFICATION REQUIRED, PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CFVR FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CFVR FORMS MUST BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY (CBES 10-103)

- ❑ COOLING SYSTEM - MIN AIR FLOW
- ❑ COOLING SYSTEM - VERIFIED EER
- ❑ COOLING SYSTEM - VERIFIED SEER
- ❑ COOLING SYSTEM - VERIFIED REPAIR CHARGE
- ❑ COOLING SYSTEM - FAN EFFICACY WATTS/CFM
- ❑ HVAC DISTRIBUTION SYSTEM - DUCT LEAKAGE TESTING

PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CFIR FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CFIR FORMS MUST BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY (CBES 10-103)

ENERGY EFFICIENCY SPECIAL FEATURES PER CFIR:

❑ CEILING HAS HIGH LEVEL OF INSULATION

SPECIAL INSPECTION REQUIRED. SEE SPECIAL INSPECTION FORM SHEET S1.1

SCOPE OF WORK

- REMODEL EXISTING HABITABLE AREA
- NEW 79 SF KITCHEN / GREAT ROOM ADDITION
- NEW 402 SF BEDROOM ADDITION
- NEW 221 SF COVERED / OPEN LOGGIA
- NEW 654 SF DECK (NON COVERED)

APPLICABLE CODES:

2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 BUILDING ENERGY EFFICIENCY STANDARDS
CITY OF SAN DIEGO LAND DEVELOPMENT CODE (LDC)
CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

PROJECT TEAM

ARCHITECT:	MARTIN ARCHITECTURE 2333 STATE ST, STE.100 CARLSBAD, CA 92008 TIM MARTIN AIA 760-729-3470 (O) 760-729-3470 (F) 760-729-3473 (C)
SURVEYOR / CIVIL ENGINEER:	CHRISTENSEN ENGINEERING AND SURVEY 7888 SILVERTON AVE #1 SAN DIEGO, CA 92126 858-271-5901
STRUCTURAL ENGINEER:	PATTERSON ENGINEERING CURTIS PATTERSON 928 FORT STOCKTON DR.#201 SAN DIEGO CA 92103 858-605-0937
OWNERS:	DR. BARZAN & KATHY MOHEDIN 1837 SHADOW KNOLLS PLACE EL CAJON, CA 92020
GEOTECHNICAL ENGINEER:	LES REED GEOTECHNICAL EXPLORATION, INC. 7420 TRADE ST. SAN DIEGO, CA 92121 858-549-7222

SITE PLAN

SCALE: 1/8" = 1'-0"



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C1.1



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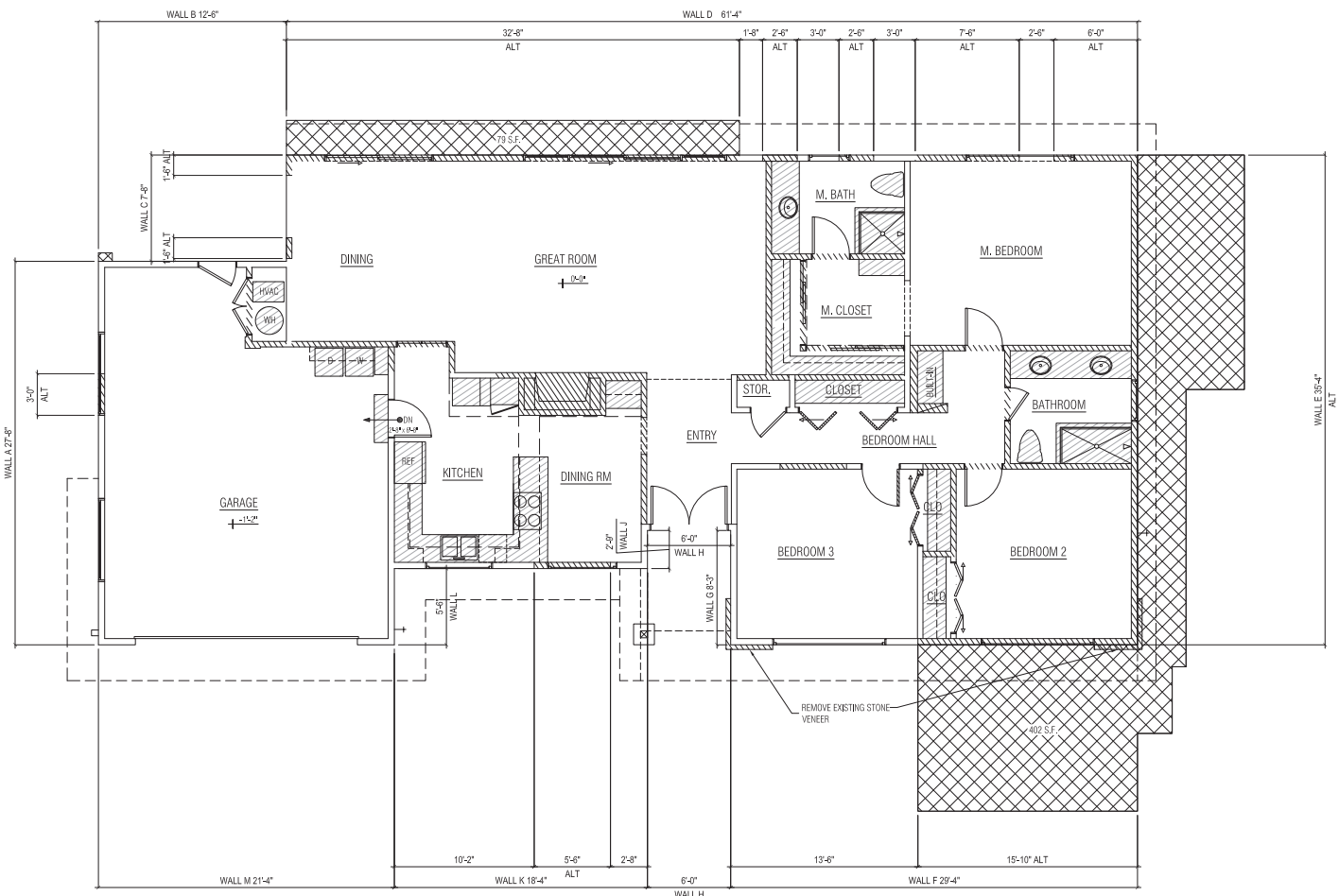
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OVERALL WALL MATRIX			
WALL NUMBER	ALTERED WALL LENGTH	RETAINED WALL LENGTH	TOTAL WALL LENGTH
A	3'-0"	24'-0"	27'-0"
B	1'-0"	12'-0"	13'-0"
C	3'-0"	4'-0"	7'-0"
D	5'-1 1/2"	10'-2"	15'-3 1/2"
E	3'-0"	0'-0"	3'-0"
F	15'-10"	13'-0"	28'-10"
G	0'-0"	8'-3"	8'-3"
H	0'-0"	6'-0"	6'-0"
J	0'-0"	2'-0"	2'-0"
K	5'-4"	12'-10"	17'-4"
L	0'-0"	5'-0"	5'-0"
M	0'-0"	21'-4"	21'-4"
TOTAL	113'-10"	123'-2"	237'-0"
TOTAL %	48%	52%	

WALL LEGEND:	
	EXISTING WALL TO REMAIN
	WALLS TO BE REMOVED
	FEATURES/FIXTURES TO BE REMOVED
	ADDITIONS

DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



D1.1

GENERAL NOTES:

1. ALL HABITABLE ROOMS ARE TO PROVIDE GLAZING AREA NO LESS THAN 8% OF ROOM AREA PER SECTION R303.1
2. ALL HABITABLE ROOMS ARE TO PROVIDE NATURAL VENTILATION TO OUTDOORS OF NO LESS THAN 4% OF ROOM AREA PER SECTION R303.1
3. ALL GLAZING WITHIN 60" OF SHOWERS, BATHTUBS, HOT TUBS, SWIMMING POOLS, AND SAUNAS SHALL BE TEMPERED PER CRC R308.4.5
4. ALL GLAZING ADJACENT TO STAIRWAYS, RAMPS, AND INTERMEDIATE LANDINGS WITHIN 30" OF TRAVEL SURFACES SHALL BE TEMPERED PER CRC R308.4.6
5. 36" MIN LEVEL LANDING AT THE TOP AND BOTTOM OF EVERY STAIRWAY EQUIVALENT TO STAIRWAY WIDTH PER CRC R311.7.6
6. SHOWER COMPARTMENT SHALL HAVE A MINIMUM INTERIOR AREA OF 1024 SQ IN
7. SHOWER COMPARTMENTS SHALL BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE
8. PROVIDE CLEARANCE OF NO LESS THAN 15" FROM THE CENTERLINE ON BOTH SIDES OF THE WATER CLOSET(S)
9. PROVIDE CLEARANCE OF NO LESS THAN 24" IN FRONT OF WATER CLOSET(S)
10. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR
11. WALLS SEPARATING GARAGE WITH HABITABLE AREA TO BE 1-HR FIRE RATED, 5" TYPE X GYP ON GARAGE SIDE OF WALL. NO WINDOW OPENINGS ON SEPARATION WALL. DOOR IN FIRE WALLS TO BE MIN 1" THICK SOLID CORE OR 20 MINUTE FIRE-RATED, SELF-CLOSING. SEE DOOR & WINDOW SCHEDULE
12. SEE MECHANICAL PLANS FOR REQUIRED ROOM EXHAUST AND REQUIRED VENTING
13. SEE POWER PLAN(S) FOR SMOKE AND CO2 DETECTOR LOCATIONS

GROSS AREA SUMMARY:

EXISTING HABITABLE	1863 SF
EXISTING GARAGE	648 SF
TOTAL EXISTING GROSS	2511 SF
PROPOSED HABITABLE	481 SF
TOTAL PROPOSED GROSS	2992 SF

CRAWLSPACE VENTILATION:

EXISTING CRAWLSPACE AREA:	1171 SF
ADDITION CRAWLSPACE AREA:	421 SF
TOTAL AREA TO BE VENTED:	1592 SF

REQUIRED VENTING:

1592 SF / 150 = 10.6 SF (1526 SQ) REQ'D

PROVIDED VENTING:

MASTER/LOW 16" SF SCREENED VENTS
NET FREE AREA: 57 SQ (4 SF) PER VENT
7 VENTS PROVIDED (42 SF VENTED AREA)
SEE FLOOR PLAN FOR VENT LOCATIONS

NOTE:
ALL GROUND SURFACE BENEATH CRAWL SPACE TO BE COVERED WITH A CLASS 1 VAPOR RETARDER MATERIAL.
(VAPOR RETARDER ALLOWS FOR 1 SF PER 1500 SF OF AREA. VENTS TO BE LOCATED WITHIN 3 FT OF EACH CORNER OF THE BUILDING)

FIREPLACE:

GREAT ROOM:
ISOKERN - PREFAB FIREPLACE
MODEL MAGNUM 36
ICC EVALUATION REPORT ESR 2316

WALL LEGEND:

	DEMO WALL
	EXISTING WALL TO REMAIN
	NEW WOOD FRAMED WALL (NEW EXTERIOR WALLS TO BE 2x6)
	FURRED WALL TO ACCOMMODATE FOR INSULATION CAVITY PER T-24
	1-HR WOOD FRAMED WALL
	CRAWLSPACE VENT-LOW SIDE WALL

FLOOR PLAN
SCALE: 1/4" = 1'-0"



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SHEET NO.

A2.1



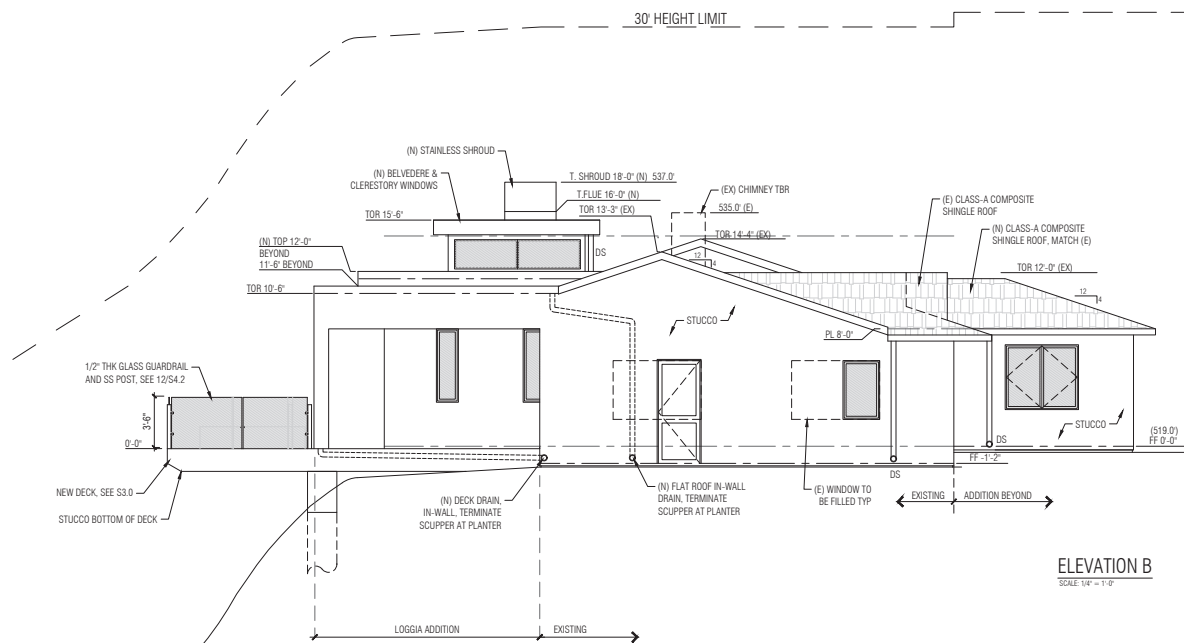
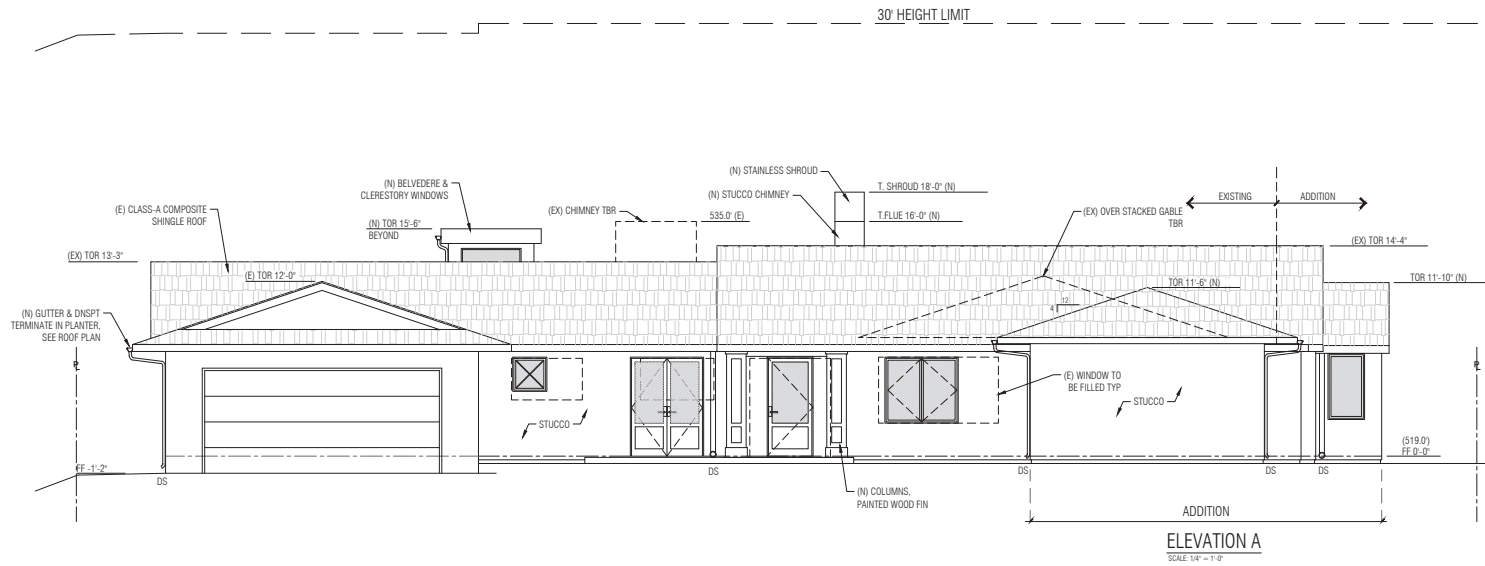
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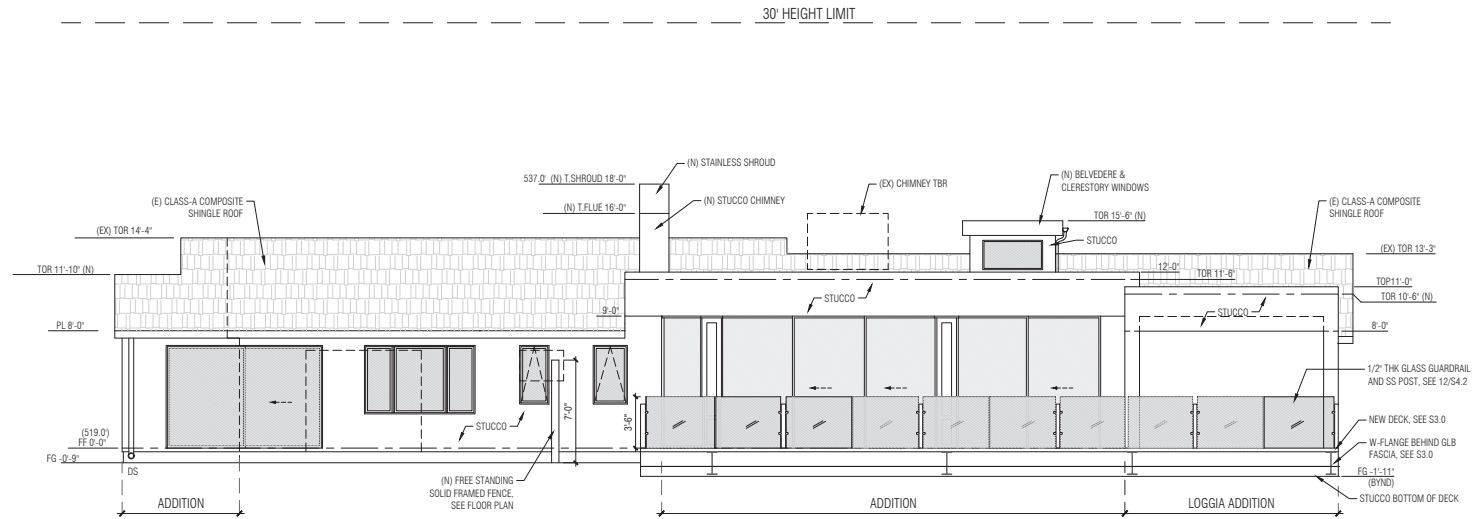
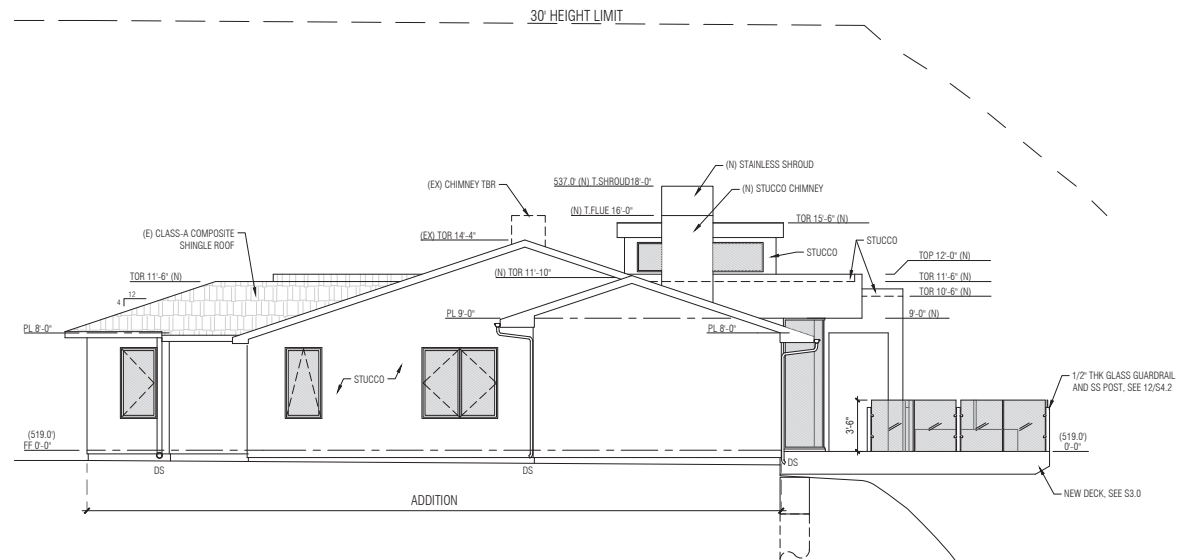
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A3.1



EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS



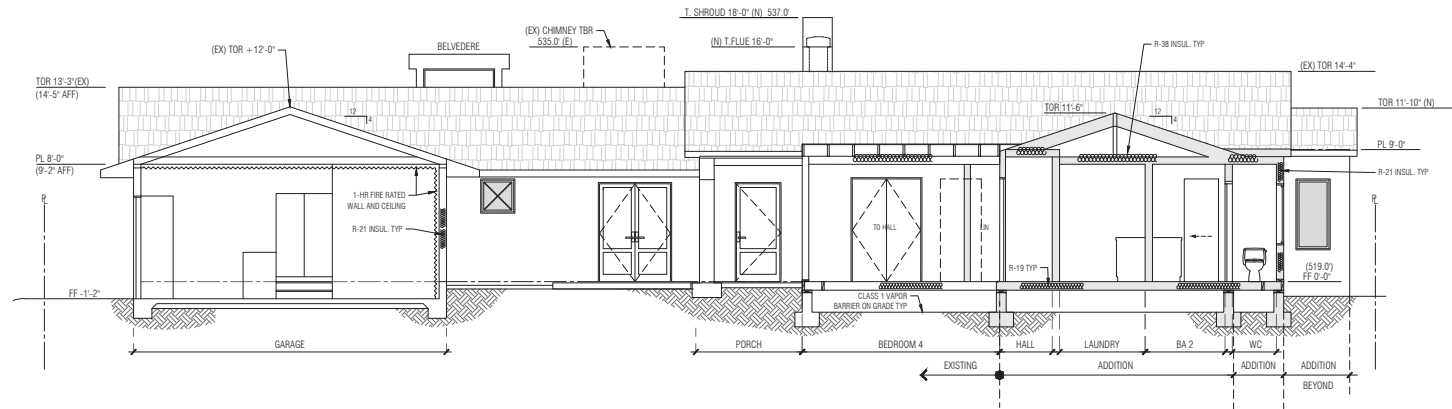
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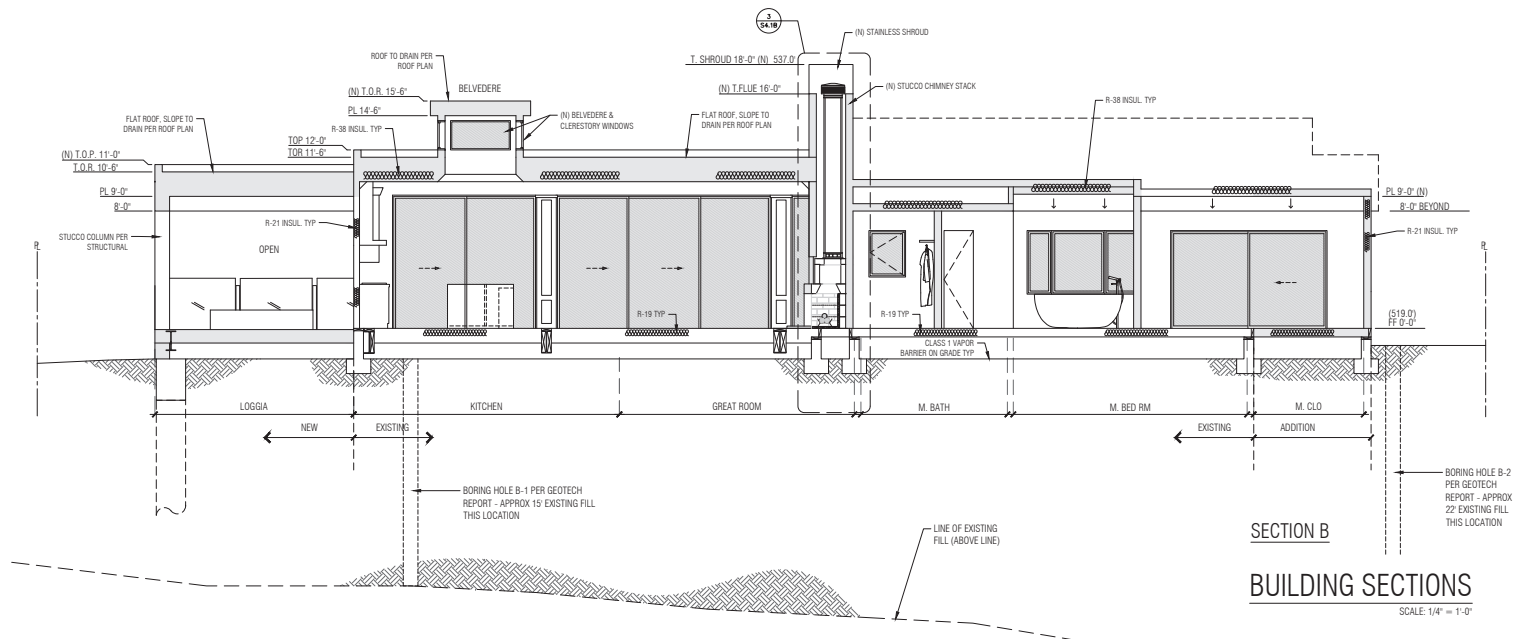
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A4.1



SECTION A



SECTION B

BUILDING SECTIONS
SCALE: 1/4" = 1'-0"

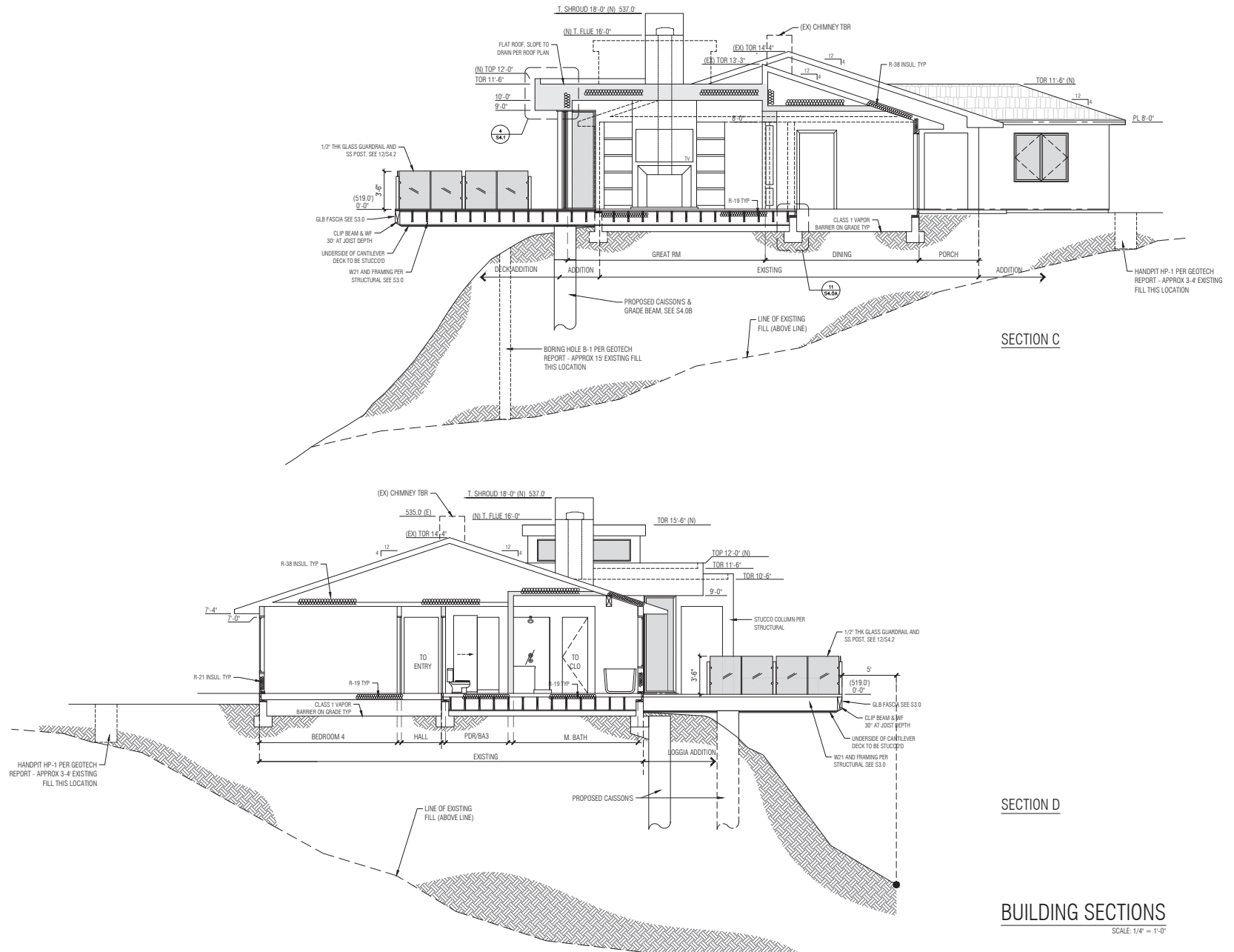


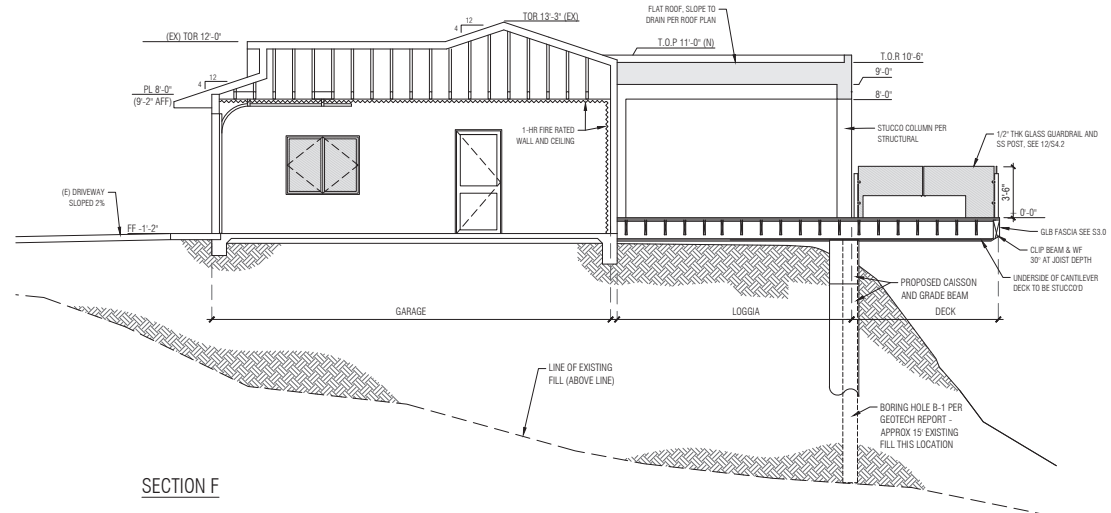
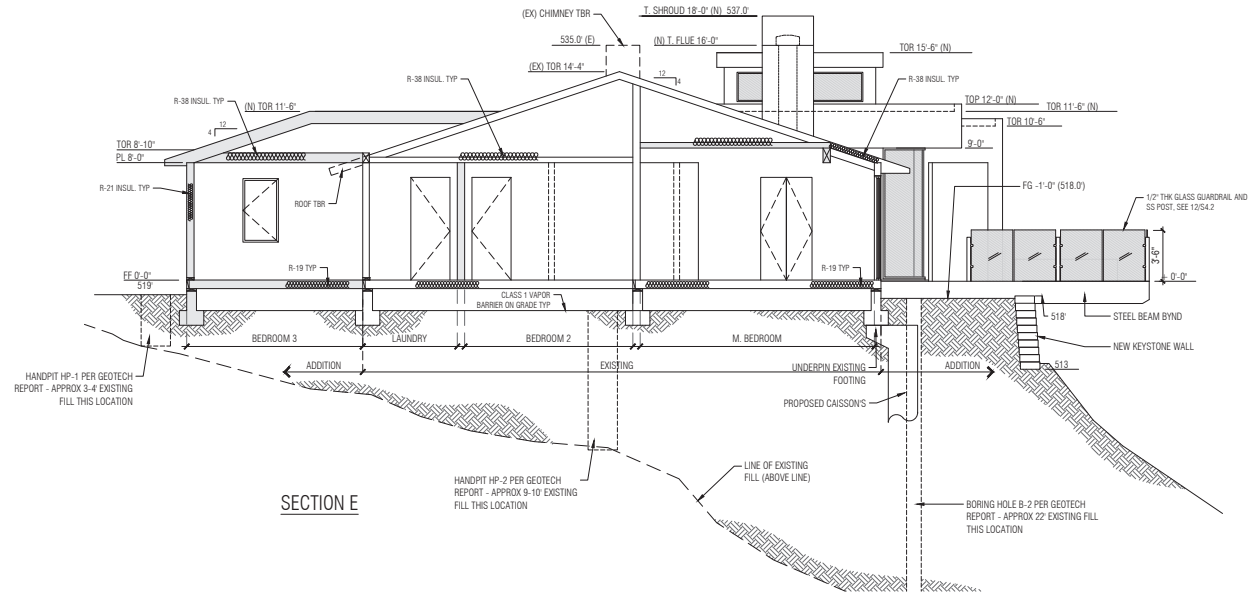
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BUILDING SECTIONS

SCALE: 1/4" = 1'-0"





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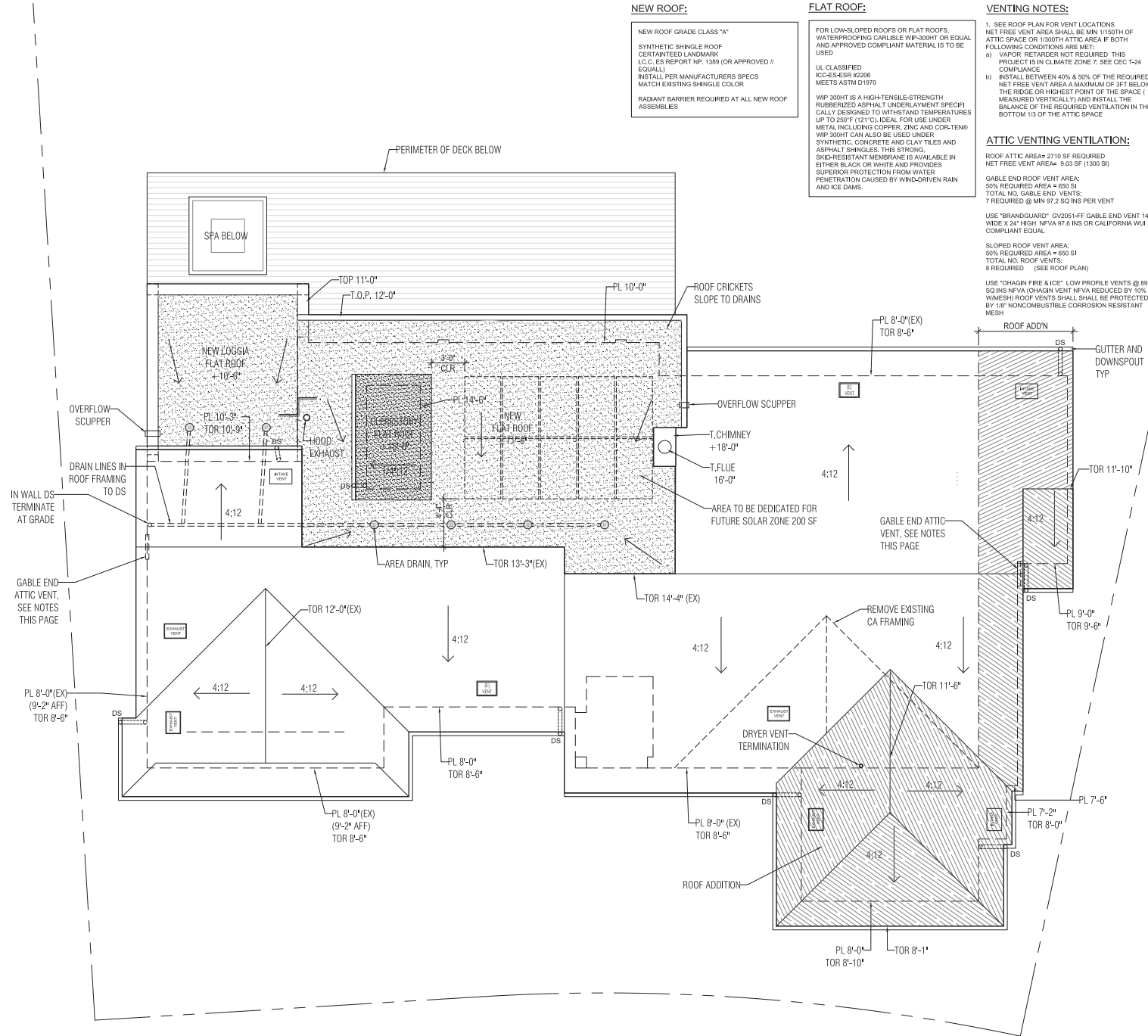
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A4.3



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ROOF PLAN
SCALE: 1/4" = 1'-0"



A5.1