

Roberts Addition / Remodel

La Jolla Shores Planned District Advisory Board

La Jolla Recreation Center

615 Prospect Street, La Jolla CA 92037

Action Items

Project number: # 613642 Name: Roberts Addition & Remodel

Address: 7333 Via Capri La Jolla CA 92037

APN: 352-323-03-00

Project contact name: Manuel De La Torre 619 730-6484

e-mail: delatorredesignstudio@gmail.com

Project Description: Addition 102 sq. ft. to (E) Home, addition of 332 sq. ft. to (E) garage, addition of a 308 sq. ft. attached patio cover, and addition of a 432 sq. ft. detached deck and it stairs at back yard.

Use: Single Family Home **Proposed use:** Single Family Home

Year built: 1966

Lot size: 14,100 sq. ft.

Existing structure: 2,358 sq. ft.

Proposed areas:

Home Addition: 102 sq. ft.

Garage Addition: 332 sq. ft.

Detached Deck: 432 sq. ft.

Stairs for new Deck: 139 sq. ft.

Existing height: one story **Proposed height:** one story

This Project has been presented to uphill neighbor as a curtesy to protect any of their existing views.

TITLE

Roberts Addition

1.5 BATH, TV ROOM, GARAGE REMODEL NEW TRELLIS & DECK ADDITION

7333 VIA CAPRI
LA JOLLA CA. 92037

THE CONSTRUCTION DOCUMENTS ARE INTENDED TO BE A "BUILDERS SET" OF PLANS THAT THE OWNER/CONTRACTOR SHALL RELY UPON FOR BIDDING AND CONSTRUCTION OF THE PROJECT. HOWEVER, THE CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO DEPICT EACH AND EVERY DETAIL AND/OR CONDITION THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION. THE OWNER SHALL RELY UPON THE EXPERTISE OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS FOR THE COMPLETE AND PROPER INSTALLATION OF MATERIALS AND PRODUCTS IN ACCORDANCE WITH INDUSTRY STANDARDS, MANUFACTURER'S RECOMMENDATIONS, AND ICBO APPROVALS, ETC.

ABBREVIATIONS

A.C.I.	AMERICAN CONCRETE INSTITUTE	C.S.I.	CONSTRUCTION SPECIFICATION INSTITUTE	FIN FLR	FINISH FLOOR	JST.	JOIST	PR	PAIR	TEL	TELEPHONE
ADDN'L.	ADDITIONAL			FIN GRD	FINISH GRADE	LAM PLAS	LAMINATED PLASTIC	PREFAB	PREFABRICATED	TF	TOP OF FOOTING
ADJ.	ADJACENT	CT	CERAMIC TILE	FL	FLASHING	LAUND	LAUNDRY	PSI	POUNDS PER SQUARE INCH	TG	TOP OF GRADE
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	CTR	CENTER	FL BM	FLOOR BEAM	LAV	LAVATORY	PSF	POUNDS PER SQUARE FOOT	T & G	TONGUE & GROOVE
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	Q	CENTER LINE	FLR	FLOOR	LB	LINEN	PTD	PAINT (ED)	THK	THRESHOLD
ALUM	ALUMINUM	CU FT	CUBIC FEET	FLUOR	FLUORESCENT	LIV RM	LIVING ROOM	PTDF	PRESSURE TREATED DOUGLAS FIR	THRU	THROUGH
APRV'D	APPROVED	CU IN	CUBIC INCH	F.N.	FIELD NAIL	L.T.	LAUNDRY TRAY	RAD	RADIUS	T.S.	TUBE STEEL COLUMN
ARCH	ARCHITECTURAL	CU YD	CUBIC YARD	FND	FOUNDATION	LUM CLG	LUMINOUS CEILING	RAFT	RAFTER	TW	TOP OF WALL
A.S.T.M.	AMERICAN INSTITUTE FOR TESTING MATERIALS	DD	DECK DRAIN	FOB	FACE OF BEAM	LW CONC	LIGHTWEIGHT CONC	RAG	RETURN AIR GRILL	TYP	TYPICAL
		D	DRYER	FOM	FACE OF CONCRETE	MAT'L	MATERIAL	RD	ROOF DRAIN	U.B.C.	UNIFORM BUILDING CODE
AUTO	AUTOMATIC	DBL	DOUBLE	FOS	FACE OF STUD	MAX	MAXIMUM	RDWD	REDWOOD	U.O.N.	UNLESS OTHERWISE NOTED
AVE	AVENUE	DET	DETAIL	FR	FRENCH	MB	MACHINE BOLT	REF	REFRIGERATOR	VB	VAPOR BARRIER
BATH	BATHROOM	D.F.	DOUGLAS FIR	FT	FOOT, FEET	MC	MEDICINE CABINET	REIN	REINFORCE (D) (ING) REQUIRED	VERT	VERTICAL
BD	BOARD	FTG	FOOTING	GA	GAUGE	MECH	MECHANICAL	REQ'D	REQUIRED	VEST	VESTIBULE
BEDRM	BEDROOM	GB	GLASS BLOCK	MFR	MANUFACTURE (D)	MEMB	MEMBRANE	RM	ROOM	VNL	VERTICAL GRAIN
BLDG	BUILDING	MID	MIDDLE	DN	DOWN	MIN	MINIMUM	RO	ROUGH OPENING	VT	VINYL TILE
BLK	BLOCK	MISC	MISCELLANEOUS	DP&S	DOUBLE POLE AND SHELF	MTD	MOUNTED	R.S.	RESAWN	VTR	VENT THRU ROOF
BLKG	BLOCKING	MTL	METAL			NAR GRD	NATURAL GRADE	S	SINK	VTW	VENT THRU WALL
BM	BEAM	NTS	NOT TO SCALE			OD	ON CENTER	SCHED	SCHEDULE	W	WASHER
B.M.	BENCH MARK	GRD	GRADE			O.F.	OVER FLOW DRAIN	SECT	SECTION	W/	WITH
B.N.	BOUNDARY NAILING	GRD BM	GRADE BEAM			OPNG	OPENING	SHTG	SHEATHING	WC	WATER CLOSET
BOTT	BOTTOM	GB	GLASS BLOCK			PERF	PERFORATE (D)	SHR	SHOWER	WD	WOOD
BTU	BRITISH THERMAL UNIT	GLB	GLUE LAMINATED BM.			PLAS	PLASTER	SIM	SIMILAR	W.F.	WIDE FLANGE
BS	BOUNDARY STUD	GLD	GLASS DRAIN			PLUMB	PLUMBING	S&P	SHELF & POLE SHEAR PANEL	W/H	WATER HEATER
CAB	CABINET	GRD	GRADE			PPLY	PLYWOOD	SP	SPECIFICATION (S)	WI	WROUGHT IRON
CARP	CARPET	GRD BM	GRADE BEAM			PNL	PANEL	SQ	SQUARE	WSC	WATER PROOF
CEM	CEMENT	HT	HEIGHT					STD	STANDARD	WWT	WAINSCOT
CJ	CONSTRUCTION JOINT	IN	INCH					STL	STEEL		WEIGHT
C.J.	CEILING JOIST	INFO	INFORMATION					STOR	STORAGE		WELDED WIRE FABRIC
CLG	CEILING	INSUL	INSULATE (D) (ION)					STRUCT	STRUCTURAL		
CLKG	CAULKING	INT	INTERIOR					S.V.	SHEET VINYL		
CLOS	CLOSET							SYM	SYMMETRICAL		
CLR	CLEAR							TB	TOP OF BEAM		
C.O.	CLEAN OUT							T&B	TOP AND BOTTOM		
COL	COLUMN							T.O.C.	TOP OF CURB		
CONC	CONCRETE							TC	TRASH COMPACTOR		
CONST	CONSTRUCTION										
CONT	CONTINUOUS										
CP	CONCRETE PIPE										

PLANNING DEPT. TABULATION

TOTAL LOT AREA = 0.32 ACRES = 14,100 SQ FT	
TOTAL EXISTING RESIDENTIAL AREA	
EXISTING HOME	= 2,358 SQ.FT.
(N) ADDITION	= 102 SQ.FT.
(N) ATTACHED PATIO COVER	= 308 SQ.FT.
NEW HOME AREA	= 2,768 SQ.FT.
NEW DETACHED DECK	= 432 SQ.FT.
STAIRS TO DECK	= 139 SQ.FT.
(E) GARAGE	= 440 SQ.FT.
(N) ADDITION TO GARAGE	= 332 SQ.FT.
2,790 X 100/14,100 = 19.78 % N TOTAL LOT COVERAGE	
OTHER AREAS	
(E) LANDSCAPED	= 6,722 SQ.FT.
(E) HARDSCAPE	= 2,411 SQ.FT.
(E) DRIVEWAY	= 1,598 SQ.FT.
" YEAR BUILT 1966 "	

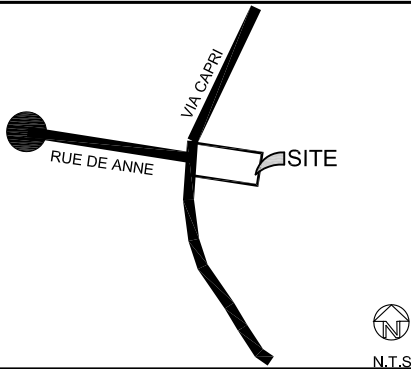
PROJECT INFORMATION

OWNER	EARL & FABIOLA ROBERTS 7333 VIA CAPRI LA JOLLA SAN DIEGO CA 92037
APPLICANT	MANUEL DE LA TORRE 707 EASTSHORE TER UNIT 25 CHULA VISTA CA., 91913 delatorredesignstudio@gmail.com o . 619 . 730 . 6484
GOVERNING AGENCIES	SAN DIEGO
PROJECT ADDRESS	7333 VIA CAPRI LA JOLLA CA 92037
LEGAL DESCRIPTION	LOT 62 TR3926
A.P.N.	352-323-03-00
ZONE	LJSPD - SF
TYPE OF CONSTRUCTION	V-B
OCUPANCY GROUP	R-3/U
LOT AREA	0.32 ACRES
(E) HOME FULLY SPRINKLED	NO

PLAN CHECK NOTES

PLAN CHECK NOTES:
1.- YARD SETBACKS ARE TO BE MESURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE & NOT FROM THE OUTSIDE OF THE FOOTING OR FACE-OF-STUD.
2.- PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE, ASK ABOUT POSSIBLE DUMP SITES.
3.- CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS.
4.- IF THE INSPECTOR SUSPECTS EXPANSIVE SOIL THEN, THE OWNER SHALL BE REQUIRED TO PROVIDE AN UPDATE SOILS REPORT.
5.- CONTRACTOR TO VERIFY EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR SHALL ADJUST DIMENSIONS AS NECESSARY TO ACCOMMODATE WALL FINISHES & EXISTING CONDITIONS.
IT IS UNDERSTOOD THAT PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED :
*(CUSTOM STEEL STAIRCASE *)
WE UNDERSTAND THAT WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND OR CALCULATIONS FOR THOSE DEFERRED ITEMS.

VICINITY MAP



CODES IN EFFECT

THIS PROJECT WILL COMPLY WITH 2016 EDITION OF THE CALIFORNIA BUILDING STANDARDS CODES, 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA MECHANICAL CODE (BASED ON 2009 UMC), 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA ELECTRICAL CODE AND 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2016 CALIFORNIA ENERGY CODE, AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SAN DIEGO

ALL WORK AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THESE CODES AND ALL APPLICABLE LOCAL ORDINANCES.

NOTES

IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL

ARCHITECT. OWNER / LICENSED ENGINEER OR

SHEET INDEX

SHEET NO.	DESCRIPTION
ARCHITECTURAL	DE LA TORRE DESIGN STUDIO
SHEET A-T	TITLE SHEET, PROJECT INF., VICINITY MAP
SHEET A-00	SITE PLAN
SHEET A-01	EXISTING FLOOR PLAN
SHEET A-02	NEW FLOOR PLAN
SHEET A-03	SECTIONS
SHEET A-04	NORTH & WEST ELEVATION (E) & PROPOSED
SHEET A-05	EAST & SOUTH ELEVATION (E) & PROPOSED
SHEET A-06	ROOF PLAN
SHEET A-07	(N) ELECTRICAL
SHEET A-08	DEMOLITION PLAN
SHEET A-09	FENESTRATION & WINDOW SCHEDULE
SHEET A-10	DETACHED DECK ARCHITECTURAL PLAN
SHEET A-11	CAL. GREEN BUILDING STANDARDS CODE SHEET 1
SHEET A-12	CAL. GREEN BUILDING STANDARDS CODE SHEET 2
TITLE 24	TITLE 24 CONSULTANTS
TITLE 24-1	TITLE 24
TITLE 24-2	TITLE 24
STRUCTURAL	GAMA ENGINEERING
SHEET S-1	FOUNDATION
SHEET S-2	FRAMING
SHEET S-3	FRAMING
SHEET SD-1	STRUCTURAL DETAILS
SHEET SD-3	STRUCTURAL DETAILS
SHEET SN-1	STRUCTURAL NOTES

PROJECT DESCRIPTION

ADDITION TO (E) HOME OF A NEW HALF BATH, TV ROOM, ATTACHED OPEN BEAM TRELLIS.
EXISTING GARAGE SQ. FT. ADDITION TO ADD A NEW EXTERIOR BATHROOM AND STORAGE AREA.
ADDITION OF A NEW 432 SQ. FT. DETACHED DECK, REPLACE 4' TALL WOOD RETAINING WALL WITH A MASONRY RET. WALL PER PLAN.

STORM WATER QUALITY NOTES

CONSTRUCTION BMP'S
This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual. Notes below represent key minimum requirements for construction BMP's.
1. The contractor shall be responsible for cleanup of all silt & mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street (s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
2. All stockpiles of soil &/or building materials that are intended to be left for a period greater than 7 calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when 5 day rain probability forecast exceeds 40%.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
4. The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.
Updated 09/09/2015

APPLICANT ONLY



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REVISIONS

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JULY 18 2018

SHEET TITLE:

OWNERS:

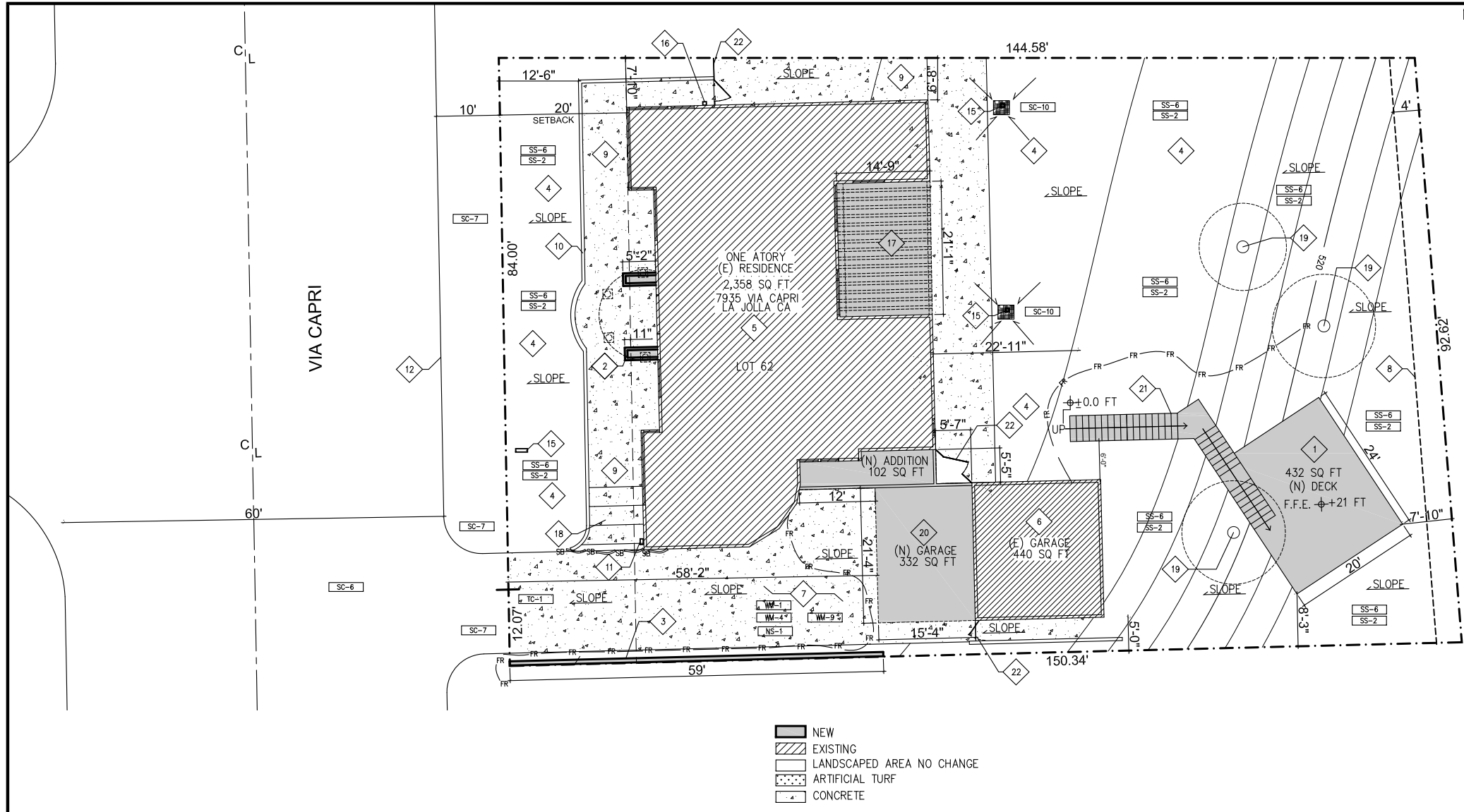
ROBERTS

PROJECT:

HOME REMODEL

7333 VIA CAPRI LA JOLLA CA 92037

A-T



SITE PLAN (E) PROPOSED

SCALE: 1" = 10'

- NOTES:
- 1.- ALL PROPERTY LINES EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED ARE SHOWN ON THIS PLAN.
 - 2.- NO WORK IS PROPOSED WITHIN THE PUBLIC RIGHT OF WAY OR THE ADJACENT PROPERTY
 - 3.- THE PROPOSED IMPROVEMENT WILL NOT ALTER OR CHANGE THE EXISTING SITE DRAIN PATTERN, OTHERWISE, PLEASE SHOW EXISTING AND PROPOSED DRAINAGE PATTERN.
 - 4.- NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT.
 - 5.- PER 2016 GREEN CODE SEC. 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
 - 6.- THE MAX CUT AND FILL NOT TO EXCEED 5 FT HEIGHT.
 - 7.- STORM WATER FROM PROPOSED DOWNSPOUTS AND IMPERVIOUS AREAS SHOULD BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

NOTE: THE PROJECT PROPOSES TO EXPORT 0.00 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

CUT QUANTITIES	0.00	cyd
FILL QUANTITIES	0.00	cyd
IMPORT/EXPORT	0.00	cyd
MAX CUT DEPTH	0.00	ft
MAX FILL DEPTH	0.00	ft

A.- TOTAL DISTURBANCE AREA:	866 sq. ft.
B.- PROPOSED AMOUNT IMPERVIOUS AREA:	434 sq. ft.
C.- PROPOSED / CREATED IMPERVIOUS AREA:	434 sq. ft.

KEY NOTES

- | | |
|---|-----------------------------------|
| 1 (N) DECK | 15 WATER METER |
| 2 (E) PORTICO TO BE REMOVED | 16 (E) 400 AMP ELECTRICAL PANEL |
| 3 (N) 3' TALL HEIGHT R. WALL PER STRUCTURAL | 17 (E) PATIO (N) ATTACHED TRELLIS |
| 4 (E) LANDSCAPE | 18 (E) CONCRETE STEPS |
| 5 (E) RESIDENCE | 19 (E) TREE |
| 6 (E) GARAGE | 20 (N) ADDITION |
| 7 (E) DRIVEWAY | 21 (N) WOOD STAIRS PER STRUCTURAL |
| 8 (E) EASEMENT | 22 (E) GATE |
| 9 (E) CONCRETE WALKWAY | 23 NOT USED |
| 10 (E) CMU HANDRAIL | 24 NOT USED |
| 11 (E) NATURAL GAS METER | 25 NOT USED |
| 12 (E) CURB | 26 NOT USED |

MATERIALS & WASTE MANAGEMENT CONTROL

- SS-2 PRESERVATION OF (E) VEGETATION ~PEV~PEV~
- SS-3 BONDED OR STABILIZED FIBER MATRIX ~M~M
- SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~
- SS-6 STRAW OR WOOD MULCH ~S/M~S/M~
- SS-7 PHYSICAL STABILIZATION (WINTER) ~EBM~EBM~
- SS-10 ENERGY DISSIPATOR

MATERIALS & WASTE MANAGEMENT CONTROL

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

PERMANENT BMP'S

- SD-10 PROTECTION OF CHANNEL BANKS/ MANUFACTURED SLOPES & FLAT PAD AREA COVERAGE
- SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS
- SD-13 STORM DRAIN STENCILING AND POSTING OF SIGNAGE
- SD-32 PROPER DESIGN OF TRASH STORAGE AREAS
- SD-34 PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
- EC-10 OUTLET PROTECTION
- TC-10 UNDERGROUND INFILTRATION TRENCH
- SC-1 TEMPORARY SLIT FENCE
- SC-2 SEDIMENT / DESILTING BASIN
- SC-5 FIBER ROLLS
- SC-6 GRAVEL OR SAND BAGS
- SC-7 STREET SWEEPING & VACUUMING
- SC-10 STORM DRAIN INLET PROTECTION
- NS-2 DEWATERING FILTRATION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- TC-2 CONSTRUCTION ROAD STABILIZATION

APPLICANT ONLY



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REVISIONS

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JULY 18 2018

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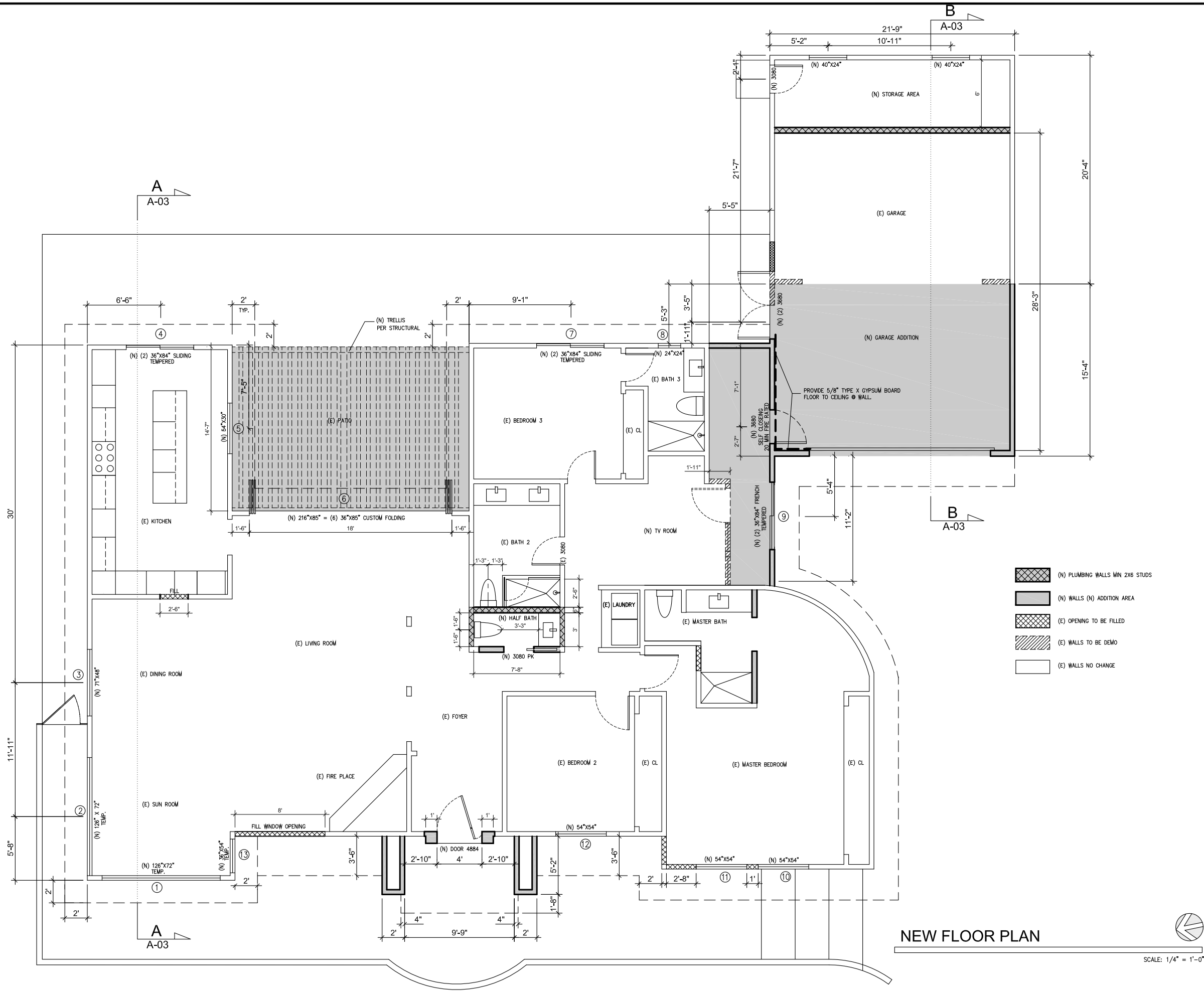
SITE PLAN
& BMP

OWNERS: ROBERTS

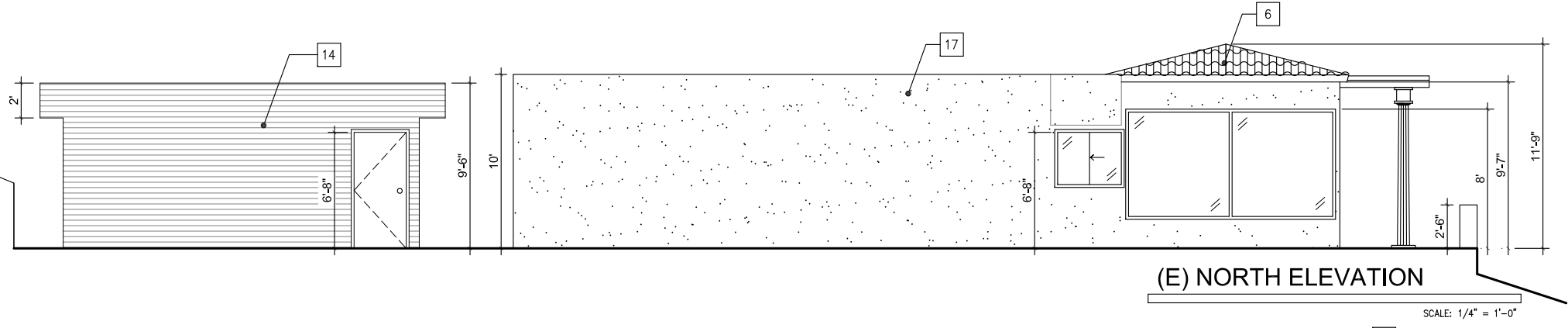
PROJECT: HOME REMODEL
7333 VIA CAPRI LA JOLLA CA 92037

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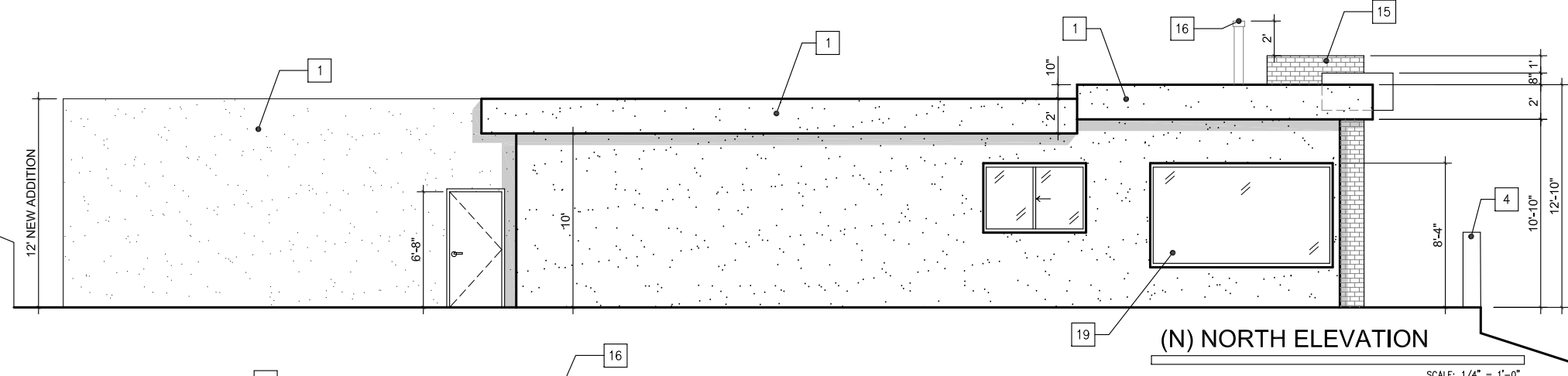
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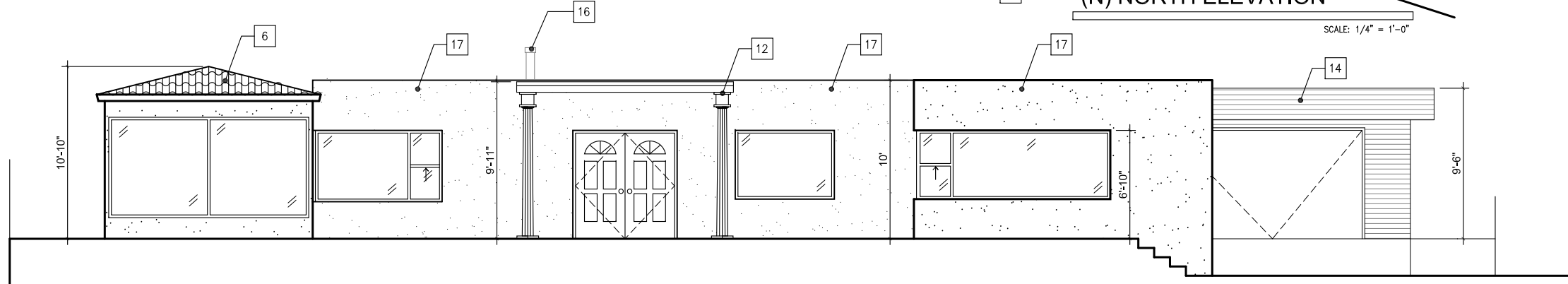
APPLICANT ONLY	
<div>delatorredesignstudio@gmail.com</div> <div>Manuel De La Torre</div> <div>707 Eastshore Ter</div> <div>Chula Vista CA 91913</div> <div>delatorredesignstudio@gmail.com</div> <div>619.730.6484</div>	
REVISIONS	
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DATE:	
JULY 18 2018	
SHEET TITLE:	NEW FLOOR PLAN
OWNERS:	ROBERTS
PROJECT:	HOME REMODEL
	7333 VIA CAPRI LA JOLLA CA 92037
PROJECT #	
A-02	



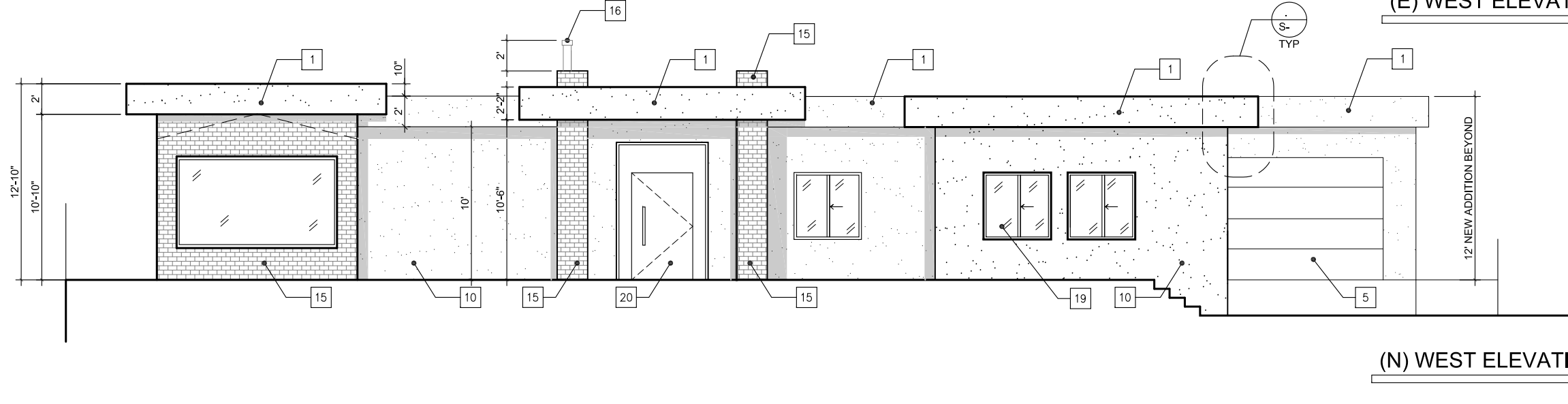
(E) NORTH ELEVATION



(N) NORTH ELEVATION



(E) WEST ELEVATION



(N) WEST ELEVATION

KEYNOTES

- 1 (N) 7/8" STUCCO CLASS "A" W/ 2 LAYERS OF GRADE "D" PAPER OR 15 LB BACKED GALV. METAL LATH. - COLOR TO MATCH (E)
- 2 (E) WINDOW
- 3 PROVIDE 5/8" TYPE X GYPSUM BOARD FLOOR TO CEILING @ WALLS, AND ALL CEILING
- 4 (E) MASONRY WALL TO BE UPDATED TO 42" TALL
- 5 (N) GARAGE DOOR
- 6 (E) CLAY ROOF TO BE REMOVED
- 7 ATTACHED OPEN BEAM TRELLIS PER STRUCTURAL PLAN
- 8 (N) WALL INSULATION PER T-24 R-13
- 9 (E) STEPS
- 10 (N) STUCCO OVER EXISTING STUCCO
- 11 (N) ROOF INSULATION PER T-24 R-30
- 12 (E) COLUMNS & PORCH TO BE REMOVED
- 13 (E) CONCRETE RETAINING WALL
- 14 (E) WOOD SIDING
- 15 (E) (N) STONE VENEER, MODEL PER OWNER
- 16 (E) CHIMNEY FLUE W/ APPROVED SPARK ARRESTOR
- 17 (E) STUCCO
- 18 (E) SKYLIGHTS TO BE REMOVED
- 19 (N) DUAL GLAZE LOW E WIDOWS & DOORS
- 20 (N) CUSTOM DOOR

APPLICANT ONLY



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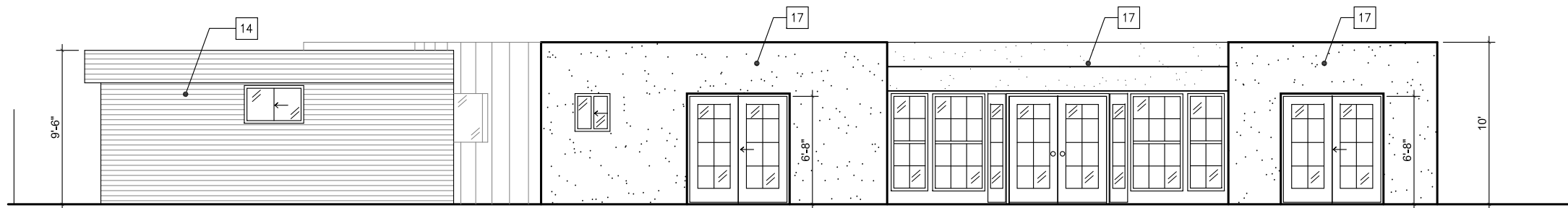
SHEET TITLE:
NORTH & WEST
ELEVATIONS

OWNERS: ROBERTS

PROJECT:
HOME REMODEL
7333 VIA CAPRI LA JOLLA CA 92037

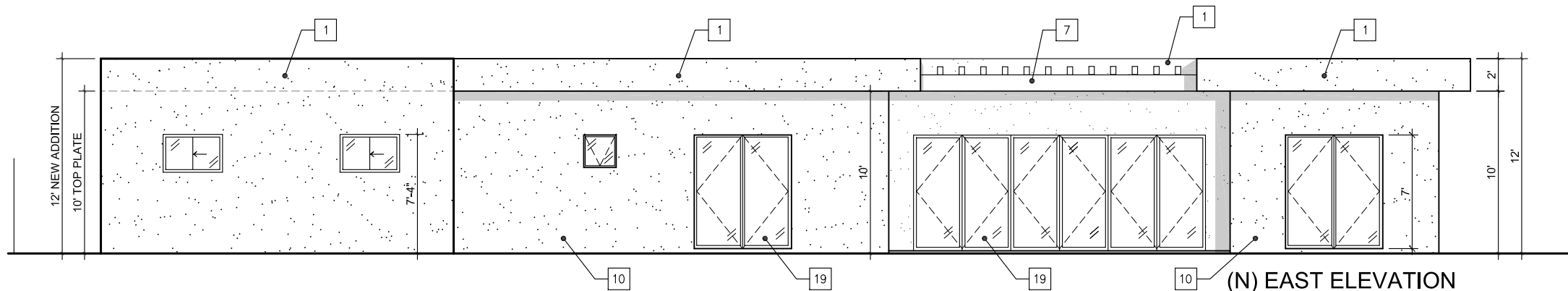
PROJECT #

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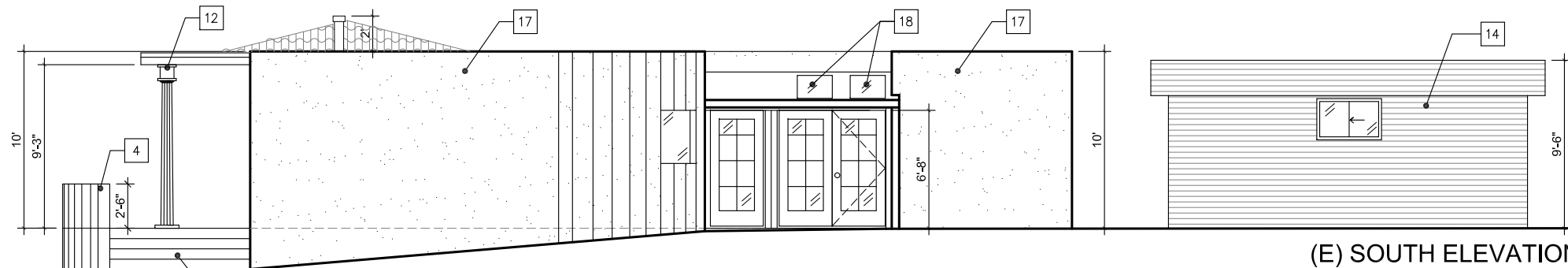
(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"



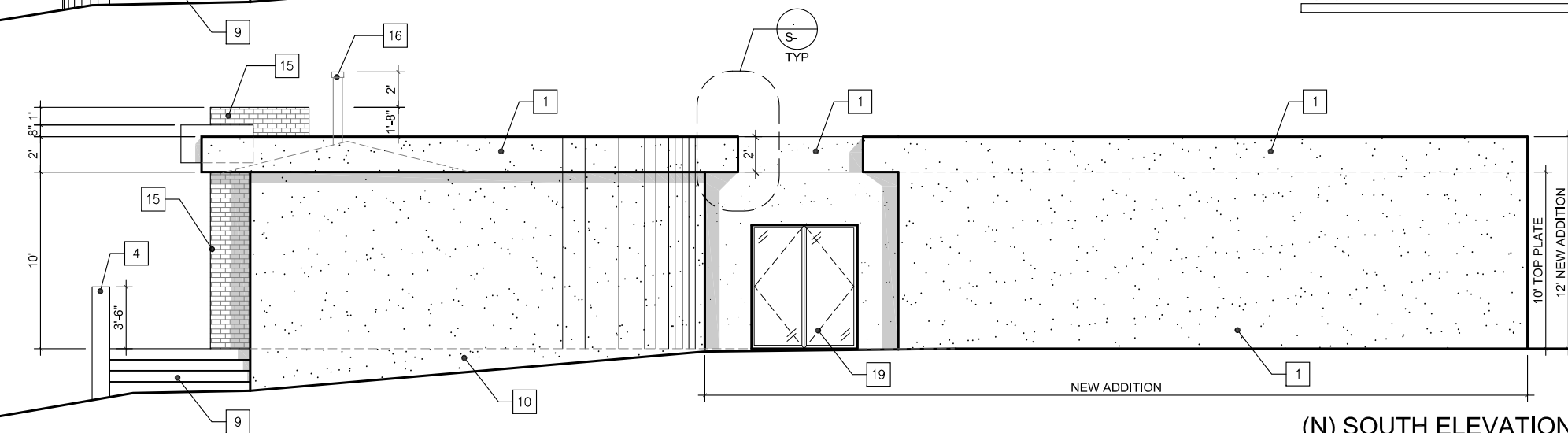
(N) EAST ELEVATION

SCALE: 1/4" = 1'-0"



(E) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 (N) 7/8" STUCCO CLASS "A" W/ 2 LAYERS OF GRADE "D" PAPER OR 15 LB BACKED GALV. METAL LATH. - COLOR TO MATCH (E)
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- 11 (N) ROOF INSULATION PER T-24 R-30
- 12 (E) COLUMNS & PORCH TO BE REMOVED
- 13 (E) CONCRETE RETAINING WALL
- 14 (E) WOOD SIDING
- 15 (E) (N) STONE VENEER, MODEL PER OWNER
- 16 (E) CHIMNEY FLUE W/ APPROVED SPARK ARRESTOR
- 17 (E) STUCCO
- 18 (E) SKYLIGHTS TO BE REMOVED
- 19 (N) DUAL GLAZE LOW E WIDOWS & DOORS
- 20 (N) CUSTOM DOOR

APPLICANT ONLY



Manuel De La Torre
707 Eastshore Ter
Chula Vista CA 91913
delatorredesignstudio@gmail.com
619.730.6484

REVISIONS

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DATE:

JULY 18 2018

SHEET TITLE:
**EAST & SOUTH
ELEVATIONS**

OWNERS: ROBERTS

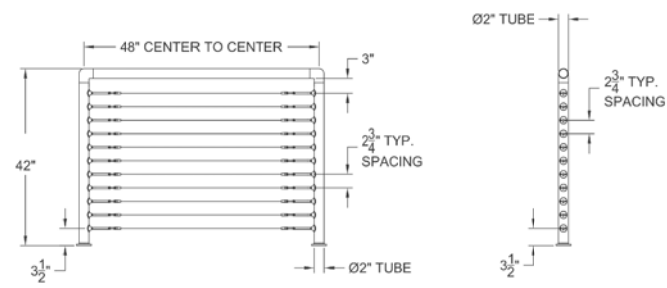
PROJECT:
HOME REMODEL
7333 VIA CAPRI LA JOLLA CA 92037

PROJECT #

A-05



DESIGN PARAMETERS SUNRAIL™ NAUTILUS

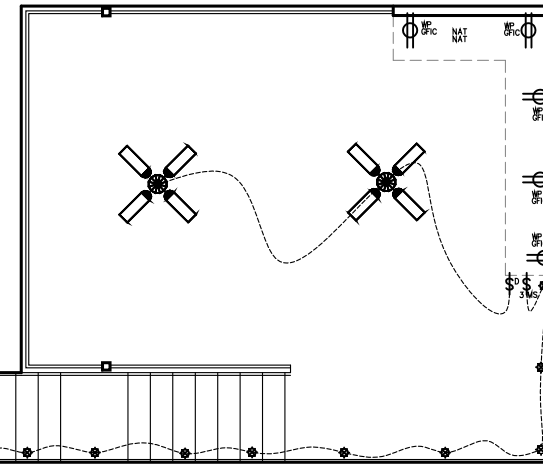
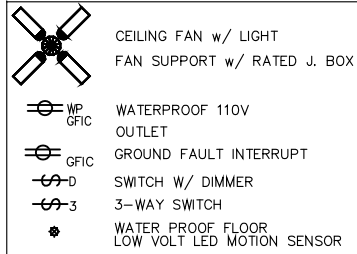


Specifications:
Recommended span: 48" max. between posts
Cables may pass through posts on longer spans.
Handrail: 2" diameter 16 gauge 316 grade stainless steel tubing
Infill: RailEasy™ Tensioners with 1x19 316 grade stainless steel tubing
Posts: 2" diameter 16 gauge 316 grade stainless steel tubing
Top and (optional) bottom rails are secured to posts using 316 grade cast stainless steel fittings. Tensioners are riveted to posts.

70 Armstrong Road ■ Plymouth, MA 02360
508-541-8829 ■ info@atlantisrail.com ■ www.atlantisrail.com

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LEGEND

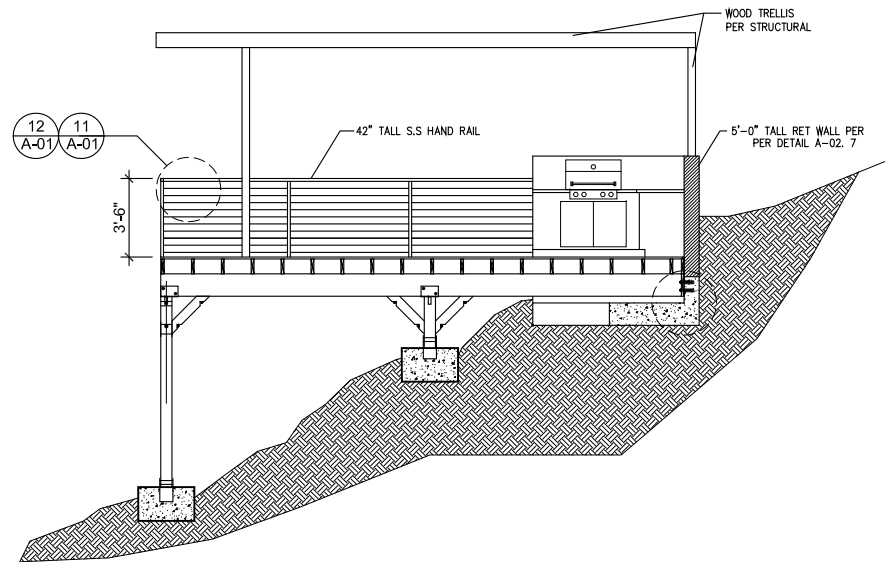


Proposed Deck Electrical Plan

SCALE: 1" = 1/4"

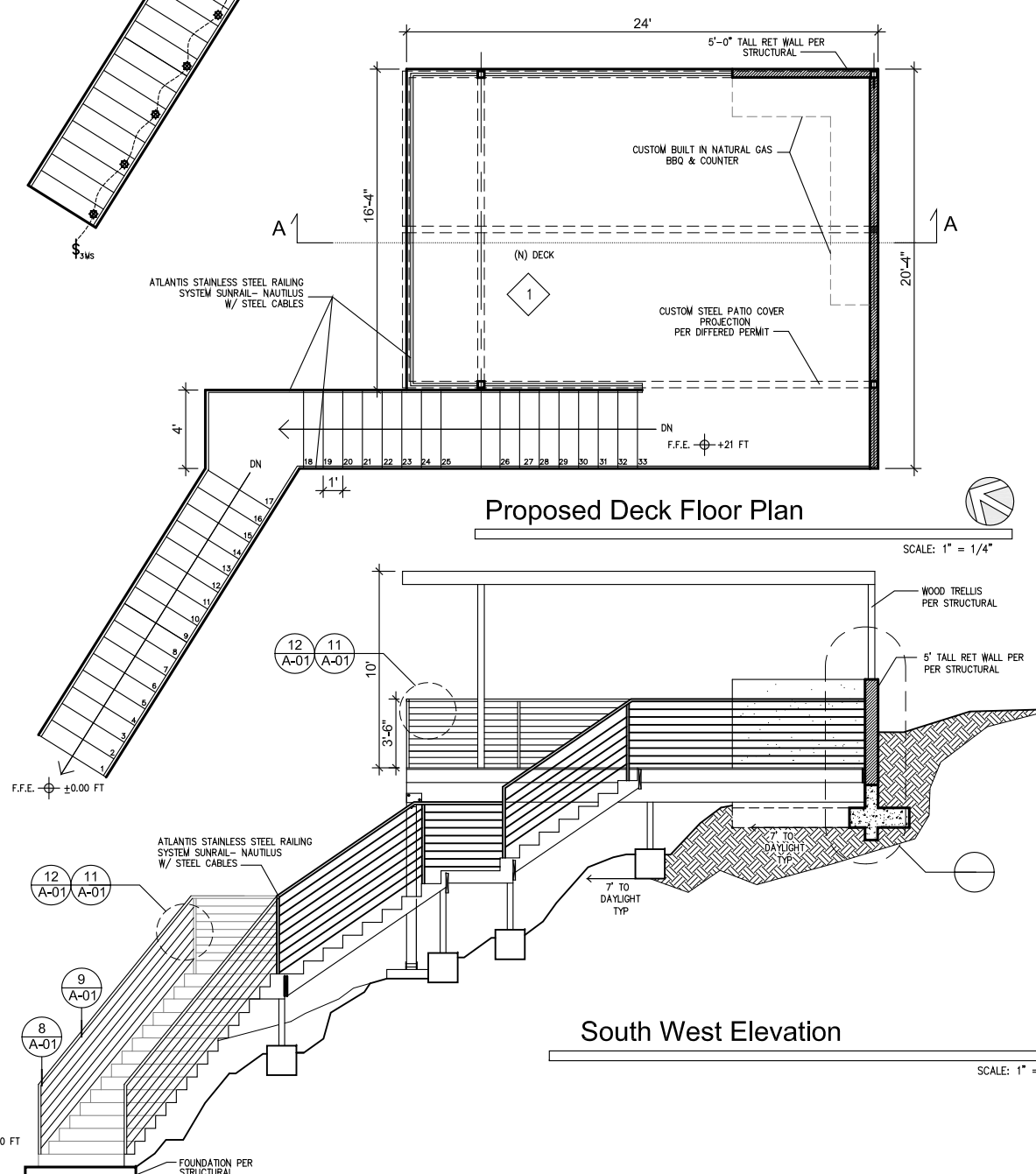


- 1.- LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN VACANCY SENSOR OR DIMMER. CLOSET THAT ARE LESS THAN 70 SQ FT ARE EXEMPT FROM THIS REQUIREMENTS.
- 2.- OUTDOOR LUMINARIES MOUNTED TO THE BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY ONE OF THESE: PHOTO CONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- 3.- ACCESSORY STRUCTURES SUCH AS SOLARIUMS, PATIO COVERS, DECKS AND SIMILAR STRUCTURES SHALL COMPLY WITH CHAPTER 7 A AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO (SDMC SEC. 145.0702)



North West Elevation

SCALE: 1" = 1/4"



Proposed Deck Floor Plan

SCALE: 1" = 1/4"

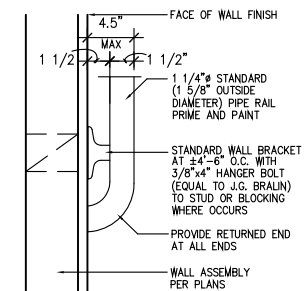


South West Elevation

SCALE: 1" = 1/4"

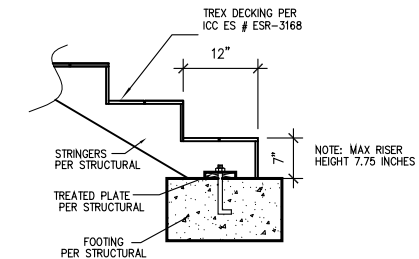
HAND RAIL SECTION

8



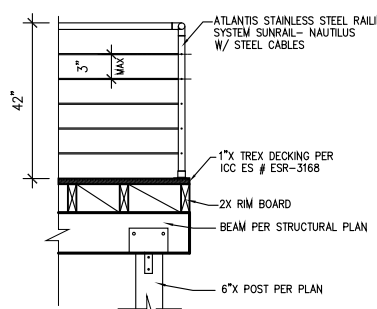
HANDRAIL TO WALL END

9



STAIR DETAIL

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DECK DETAIL

11



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REVISIONS
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DATE:
JUNE 18 2017

SHEET TITLE:
Floor plan
Elevations
Deck

OWNERS: ROBERTS
PROJECT: NEW DECK
7333 VIA CAPRI LA JOLLA CA 92037

A-10

PROJECT #



Front Elevation Existing



Proposed Front Elevation



Existing Driveway Garage

An architectural rendering of a modern, minimalist driveway garage. The structure features a white, cantilevered roof and a light-colored wooden garage door. A red sports car is parked in the center of the gravel driveway. The driveway is bordered by a low white wall on the left and a grey wall on the right. The background shows a lush green hillside under a cloudy sky. The text "Proposed Driveway Garage" is overlaid in green at the bottom left.

Proposed Driveway Garage



Existing Home Addition Area



Proposed Home Addition Area



Existing Deck Site



Proposed Deck