

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
Online Virtual Meeting**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items):
- PTS # 0691672
- Address and APN(s): 7951 Paseo Del Ocaso, La Jolla and APN: 346-512-07-00
- Project contact name, phone, e-mail: Chandra Slaven, 619-316-7645, chandra.slaven@gmail.com
- Project description: Please see attached
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: Recommendation of Approval Consistent with the LCP/Municipal Code
- In addition, provide the following:
 - lot size: 7,489 SF (0.172 acres)
 - existing structure square footage and FAR (if applicable): 1,799 SF / 0.24 FAR
 - proposed square footage and FAR: (conditioned area only, not including Garage and Mech room): 3,503 SF / 0.47 FAR
 - existing and proposed setbacks on all sides: Existing Setbacks: Street- 18'; North Side- 3'; Back- 17'; South Side- 2'-6". (There is also an existing dilapidated shed in the back yard that is within the easement and approximately 2' from rear PL). Proposed Setbacks: Street- 16'; North Side- 4'; Back- 13'; South Side- 2'-6"
 - height if greater than 1-story (above ground): Primary Second Story Parapet Height - 23'-7 1/2"; High Point of Stair Enclosure Above Existing Grade - 29'-3 1/2"

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab>
for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

Meeting Presentation – updated 8/31/20

Due to COVID-19, the La Jolla Shores Planned District Advisory Group meetings will be conducted as online virtual meetings utilizing the Zoom application. Staff will provide all applicants, as well as the public instructions for logging in and participating in the meeting.

For the meeting, the applicant should provide a concise powerpoint presentation on their project or simply present the exhibits provided for the agenda distribution as their presentation. During the meeting, staff will allow the applicant to become the presenter, so that they may share their screen and run their presentation.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

ATTACHMENT 2: Baylor Residence

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Marlon I. Pangilinan, Senior Planner
mpangilinan@sandiego.gov
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293

**7951 Paseo Del Osaco, La Jolla
Baylor Residence Project Description:**

The project consists of removing an existing two-story residence, garage, pool, site work, and shed and constructing a new two-story single-family residence with roof access and attached 2-car garage. Additional scope includes landscaping of the existing yard, construction of the new pool, spa, and perimeter fence. It should be noted that the existing residence is uninhabitable at this time.

The LJCP&LCP emphasizes avoiding extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and promoting good design and harmony within the visual relationships and transitions between new and older structures. The placement of the proposed development fits into the established diverse theme within the vicinity. The LJCP&LCP does not designate this site as having visual access or is identified as a public access point. The project would not impact the public view of the Pacific Ocean, as the project is observing all required setbacks, and the proposed project is contained within the existing lot area. Therefore, the project will not impede upon any existing or proposed physical access way legally used by the public identified in the Community Plan and LCP Land Use Plan.

The height of the residence is less than 30 feet, in keeping with the community's existing character, is consistent with the goals of the Community Plan and LCP, and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community. Furthermore, the Residential Land Use section also recommends promoting the development of various housing types and styles in La Jolla. The project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties.

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ABBREVIATIONS

&	AND	MAS	MASONRY
@	AT	MATL	MATERIAL
#	NUMBER	MAX	MAXIMUM
ABV	ABOVE	MED CAB	MEDICINE CABINET
A/C	AIR CONDITIONING	MECH	MECHANICAL
ACT	ACOUSTIC CEILING TILE	MEMB	MEMBRANE
ADJ	ADJUSTABLE	MFR	MANUFACTURER
AF	ABOVE FINISH FLOOR	MIN	MINIMUM
ALT	ALTERNATE	MIR	MIRROR
ALUM	ALUMINUM	MISC	MISCELLANEOUS
AND	ANDICED	MTD	MOUNTED
APPROX	APPROXIMATE	MTL	METAL
ARCH	ARCHITECTURAL	(N)	NEW
AVG	AVERAGE	N	NORTH
AXON	AXONOMETRIC	NAT	NATURAL
		NIC	NOT IN CONTRACT
		NOM	NOMINAL
		NTS	NOT TO SCALE
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BLKG	BLOCKING	OPHD	OPPOSITE HAND
B.O.	BOTTOM OF	OPER	OPERABLE
BP	BUILDING PAPER	OPNG	OPENING
BSMT	BASEMENT	OPP	OPOSITE
BUR	BUILT-UP ROOFING	OVHD	OVERHEAD
BYD	BEYOND		
CAB	CABINET	PERF	PERFORATED
CEM	CEMENT	PL	PLATE OR PROPERTY LINE
CER	CERAMIC	PLAM	PLASTIC LAMINATE
CHAN	CHANNEL	PLAS	PLASTER
CIP	CAST-IN-PLACE	PLYWD	PLYWOOD
CL	CENTERLINE	PNL	PANEL
CLR	CLEAR	PROP	PROPERTY
CLG	CEILING	PT	POINT
CLOS	CLOSE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	R	RISER
CONC	CONCRETE	RB	RESILIENT BASE
CONT	CONTINUOUS	REF	REFERENCE
COORD	CORRIDOR, CORRUGATED	REFL	REFLECTING
CORR	COORDINATE	REFR	REFRIGERATOR
CPT	CARPET	REINF	REINFORCED
CS	COUNTER SUNK	REQD	REQUIRED
CT	CERAMIC TILE	RETG	RETAINING
		REV	REVISION/REVISED
DEPT	DEPARTMENT	RHM	RADIANT HEAT MANIFOLD
DET	DETAIL	RM	ROOM
DF	DOUGLAS FIR	RO	ROUGH OPENING
DG	DECOMPOSED GRANITE	RWL	RAIN WATER LEADER
DIA	DIAMETER		
DIM	DIMENSION	S	SOUTH
DR	DOOR	SAF	SELF-ADHERED FLASHING
DN	DOWN	SC	SOLID CORE
DS	DOWNSPOUT	SCWD	SOLID CORE WOOD
DW	DISHWASHER	SCHED	SCHEDULE
DWG	DRAWING	SECT	SECTION
		SED	SEE ELECTRICAL DRAWING
E	EAST	SHTG	SHEATHING
(E)	EXISTING	SIM	SIMILAR
EA	EACH	SLDG	SLIDING
EL, ELEV	ELEVATION	SLD	SEE LANDSCAPE DRAWING
ELEC	ELECTRICAL	SMD	SEE MECHANICAL DRAWING
ENGR	ENGINEER	SOG	SLAB ON GRADE
EQ	EQUAL	SPD	SEE PLUMBING DRAWING
EQPT	EQUIPMENT	SPK	SPRINKLER
EXP	EXPANSION	SPKR	SPEAKER
EXT	EXTERIOR	SPEC	SPECIFICATION
		SSD	SEE STRUCTURAL DRAWING
FD	FLOOR DRAIN	SS	STAINLESS STEEL
FDTN	FOUNDATION	STD	STANDARD
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FF	FINISH FLOOR	STOR	STORAGE
FIN	FINISHED	STRUC	STRUCTURAL
FIXT	FIXTURE	SUSP	SUSPENDED
FLR	FLOOR	SYM	SYMMETRICAL
FOF	FACE OF FINISH		
FOC	FACE OF CONCRETE	T	TREAD
FP	FIREPLACE	TBD	TO BE DETERMINED
FT	FOOT, FEET	TEL	TELEPHONE
FTG	FOOTING	TF	TRANSPARENT FINISH
		TFWD	TRANSPARENT FINISH WOOD
GA	Gauge	T&G	TONGUE & GROOVE
GALV	GALVANIZED	TEMP	TEMPORARY
GEN	GENERAL	TOC	TOP OF CONCRETE
GL	GLASS	TOW	TOP OF WALL
GWB	GYPSON WALL BOARD	TV	TELEVISION
GYP	GYPSON	TYP	TYPICAL
HB	HOSE BIB	UBC	UNIFORM BUILDING CODE
HC	HOLLOW CORE	UC	UNDER COUNTER
HW	HARDWOOD	UNF	UNFINISHED
HI	HIGH	UON	UNLESS OTHERWISE NOTED
HM	HOLLOW METAL	UTIL	UTILITY
HOR	HORIZONTAL		
HR	HOUR	VAR	VARIES
HT	HEIGHT	VCT	VINYL COMPOSITION TILE
HW	HOT WATER	VERT	VERTICAL
ID	INSIDE DIAMETER	VEST	VESTIBULE
IGU	INSULATED GLASS UNIT	VIF	VERIFY IN FIELD
IN	INCH	VNR	VENEER
INSUL	INSULATION, INSULATED		
INT	INTERIOR	W	WEST
JAN	JANITOR	W/	WITH
		WC	WATER CLOSET
LAM	LAMINATE	WD	WOOD
LAV	LAVATORY	WID	WASHER/DRYER
LOC	LOCATION	WDW	WINDOW
LTG	LIGHTING	WH	WATER HEATER
LTWT	LIGHTWEIGHT	W/O	WITHOUT
LVL	LEVEL	WO	WHERE OCCURS
		WP	WATERPROOF

SITE LOCATION MAP (NOT TO SCALE)



PROJECT DATA

Address:
7951 Paseo Del Ocaso
La Jolla, CA 92037

Block: 4
 Lot: 5
 Zoning: **LJSPD-SF (La Jolla Shores Planned District)**
 Height & Bulk: **30' max height**
 Type of Construction: **V-B (non-rated)**
 Scope of Work: **New 2 story building**
 Existing Occupancy: **R-3**
 Existing Use: **Single Family Dwelling**
 Proposed Occupancy: **R-3**
 Proposed Use: **Single Family Dwelling**

PROJECT DESCRIPTION:

THE REMOVAL OF AN EXISTING TWO STORY RESIDENCE, GARAGE, POOL, SITEWORK AND SHED.

CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ROOF ACCESS, AND ATTACHED 2-CAR GARAGE. LANDSCAPING OF EXISTING YARD, CONSTRUCTION OF NEW POOL, SPA AND PERIMETER FENCE.

LOT SIZE: 7,489 SF (0.172 ACRES)

PROPOSED FAR: 4,178 TOTAL SF (incl. Garage) / 7,489 SF LOT = 0.56 FAR

LEGAL DESCRIPTION:

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

DIRECTORY

Owner:
 David Baylor and Terry Helmer
 10 Sylvan Lane
 Ross, CA 94957

Architect:
 Aidlin Darling Design
 Contact: Chris DeHenzel
 500 Third Street, Suite 410
 San Francisco, CA 94107
 T: 415-974-5603
 Email: cdh@aidlin-darling-design.com

Surveyor/Civil Engineer:
 Coffey Engineering, Inc.
 Contact: Michael Rein
 9696 Businesspark Avenue, Suite 210
 San Diego, CA 92131-1646
 T: (858)831-0111 Ext. 208
 Email: rein@coffeyengineering.com

Geotechnical Engineer:
 GEI (Geotechnical Exploration, Inc.)
 Contact: Adam Hespeler
 7420 Trade Street
 San Diego, CA 92121
 (858) 549-7222
 Email: ahespeler@gei-sd.com

Landscape Architect:
 Leslie Ryan / Aerea Studio
 T: (619) 200-8297
 Email: leslie@areastudio.com

Permit Consultant:
 Chandra Slaven
 T: 619-316-7645
 chandra.slaven@gmail.com

SHEET INDEX

TITLE

- A0.1 Project Information
- A0.2 Finish Legend

SURVEY

- C.0 Site Survey
- C.01 Topographic Survey 300' Boundary
- C.02 Topographic Survey Setback Analysis

CIVIL

- C.1 Grading and Drainage Plan

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- A1.0 Demo Plan
- A2.0 Site Plan
- A2.1 Ground Floor Plan
- A2.2 Second Floor Plan
- A2.3 Mid Roof Plan
- A2.4 High Roof Plan

- A5.1 Building Elevations
- A5.2 Building Elevations
- A5.3 Building Sections
- A5.4 Building Sections
- A5.5 Building Sections
- A5.6 Building Sections

- A6.1 Wall Sections

LANDSCAPE

- L1.0 Planting Plan and Legend
- L1.1 Planting Notes
- L2.0 Hardscape Plan and Finish Legend
- L2.1 Hardscape Details
- L3.0 Irrigation Notes and Hydrozones

FLOOR AREAS

	Proposed Floor Area (SQFT)	
	Conditioned	Un-Conditioned
1st Floor	1,550 House	675 Garage/Mech/Storage
2nd Floor	1,953 House	
Totals	3,503	675



EXTERIOR RENDERED VIEW FROM PASEO DEL OCASO



aidlin darling design

500 third street
 suite 410
 san francisco, ca 94107

415 974 0849 fax
 415 974 5603 phone

BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

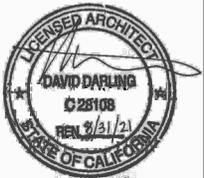
DATE: 01.14.22

JOB: 1909

DRAWN: CDH

SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A0.1

PROJECT INFORMATION

ARCHITECTURAL FINISH LEGEND

MARK	MATERIAL	FINISH
CONC-1	CONCRETE WALLS	BOARD FORMED CAST IN PLACE
CONC-2	CONCRETE FLOORS	INTERIOR EXPOSED STRUCTURAL CONCRETE SLAB
CONC-3	CONCRETE SLAB	EXTERIOR EXPOSED STRUCTURAL CONCRETE SLAB
CONC-4	CONCRETE SLAB	NOT USED
CONC-5	CONCRETE PAVERS AND STEPS	CAST IN PLACE EXTERIOR CONCRETE
CPL-1	EXTERIOR CEMENT PLASTER	SMOOTH TROWELED; INTEGRAL COLOR
GL-1	EXTERIOR CLEAR GLASS	INSULATED GLAZING; LOW-E COATING; TEMPERED WHERE REQUIRED
MTL-1	STANDING SEAM ZINC	VM ZINC SINGLE LOCK STANDING SEAM PANELS, 1" SEAM HEIGHT, "PIGMENTO BROWN" FINISH
MTL-2	AESS PAINTED STEEL	ARCHITECTURAL EXPOSED STRUCTURAL STEEL, AESS 3 UON; GALVANIZE AND PRIME AT EXTERIOR
MTL-3	PAINTED ORNAMENTAL STEEL	HOT ROLLED, GRADES SUITABLE FOR STUCTURAL LOADING, GALVANIZE AND PRIME AT EXTERIOR LOCATIONS
MTL-4	PAINTED SHEET METAL	COLD ROLLED GALVANIZED METAL FLASHING, PAINTED
MTL-5	COR-TEN PLATE	LANDSCAPE RETAINING EDGING; SLD
WD-1	EXTERIOR WOOD GARAGE DOOR CLADDING	NUSKU TERRATEK THERMALLY MODIFIED CEDAR; 3/4" X 5" CONT HORIZONTAL BOARDS; CONCEALED FASTENERS
WD-2	EXTERIOR WALL AND CEILING CLADDING	WESTERN RED CEDAR 3/4" X 3" T&G BOARD; VERT GRAIN, S4S W/ TRANSPARENT SEALER
WD-3	EXTERIOR DECKING	NUSKU THERMACOR THERMALLY MODIFIED LUMBER; 6" W BOARDS TYP
WD-4	EXTERIOR WOOD CLADDING	WESTERN RED CEDAR 3/4" X 3" T&G VERT BOARDS; STAINED FINISH; CONCEALED FASTENERS
WD-5	WOOD FENCES AND GATES	NUSKU THERMACOR THERMALLY MODIFIED LUMBER; 3" W BOARDS TYP

GENERAL MATERIAL FINISH NOTES

- PRODUCTS TO COMPLY WITH EMISSIONS LIMIT REQUIREMENTS OF CAL GREEN 4.504.2.1-5, 5.504.4.1-6 FOR ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS INCLUDING CUSHIONS AND ADHESIVES, RESILIENT FLOORING (80% OF AREA), AND COMPOSITE WOOD PRODUCTS
- WALL AND FLOOR WOOD FRAMING MUST HAVE <19% MOISTURE CONTENT BEFORE ENCLOSURE

SYMBOLS

- Window tag
- Door Tag
- Revision
- Detail #
- Sheet #
- Elev # / Sheet #
- Elevation #
- Section # / Sheet #
- Partition wall type
- Align
- Fan
- Ceiling mounted smoke detector
- Fire sprinkler
- Return air
- Supply air
- Airbar
- Hose bib
- Radiant Heat Manifold
- Thermostat
- Wall washer
- Surface mounted fixture
- Recessed Downlight, halo or equal
- Pendant fixture
- Wall mounted fixture
- Cove light
- Under counter light
- Track lighting
- Flourescent lighting
- Ceiling junction box
- Wall mounted junction box
- Wall mounted telephone/CAT-5/video outlets
- Wall mounted telephone
- Cable television jack
- Wall mounted duplex receptacle
- Switched outlet
- Dedicated duplex outlet
- GFI-protected duplex outlet
- Exterior waterproof outlet
- Quadplex outlet
- Floor outlet
- Lightswitch
- Dimmer
- 3-way
- Lightswitch (Elevation)



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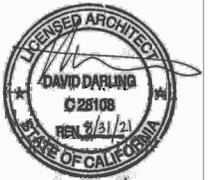
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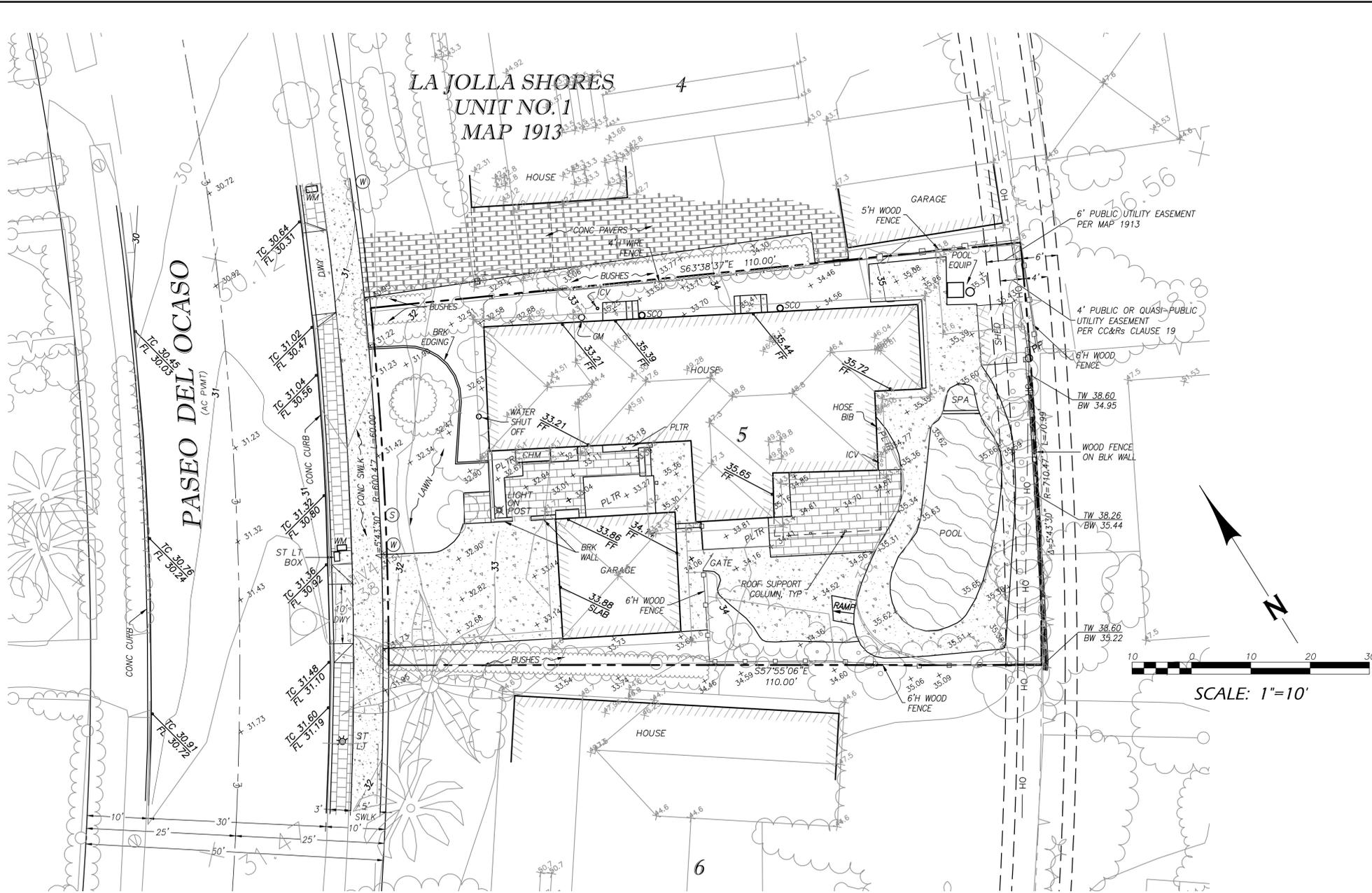
SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A0.2
FINISH LEGEND

**LA JOLLA SHORES
UNIT NO. 1
MAP 1913**



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		—+—
EASEMENT LINE		- - - -
INDEX CONTOUR		90
PCC CURB		====
SPOT ELEVATION		100.00 + 100.00
BUILDING FOOTPRINT		[Symbol]
BRICKS		[Symbol]
PCC PAVING		[Symbol]
WOOD FENCE		[Symbol]
CHAIN LINK / WIRE FENCE		[Symbol]
FREE STANDING WALL		[Symbol]
RETAINING WALL		[Symbol]
OVERHEAD UTILITIES		OH
POWER POLE		PP
WATER SERVICE		[Symbol]
SEWER LATERAL		[Symbol]
TREE; PLANT; PALM		[Symbol]
BRUSHLINE		[Symbol]

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	ICV	IRRIGATION CONTROL VALVE
A.C.	ASBESTOS CEMENT	PLTR	PLANTER
BLK	BLOCK	PVMT	PAVEMENT
BRK	BRICK	SMH	SEWER CLEANOUT
BW	GRADE AT BOTTOM OF WALL	ST LT	STREET LIGHT
C	CENTER LINE	TW	TOP OF WALL ELEVATION
C	CONC	TYP	TYPICAL
CC&R	CONDITIONS, COVENANTS & RESTRICTIONS	WM	WATER METER
ELEV	ELEVATION		
FL	FLOW LINE		
GM	GAS METER		
H	HIGH		

NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

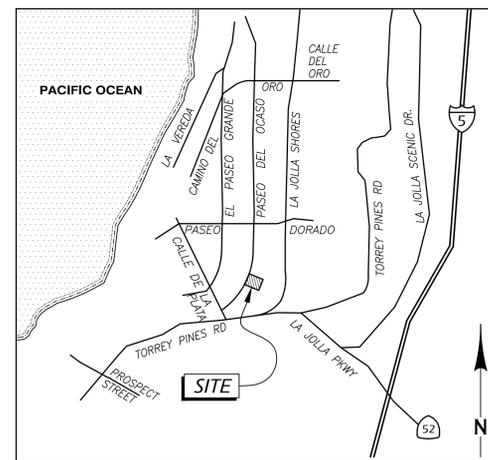
LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

APN: 346-512-07-00

BENCHMARK

SEBP AT THE INTERSECTION OF PASEO DEL OCASO AND CALLE DE LA PLATA

ELEV = 35.851 MSL, NGVD 29, CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK, 2011



VICINITY MAP

THOMAS BROS. MAP 1227-H4
NO SCALE

EASEMENTS

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PRELIMINARY TITLE REPORT FROM CHICAGO TITLE COMPANY, TITLE NO. 73718010234-PM, DATED NOVEMBER 15, 2018. SAID REPORT INDICATES AN EASEMENT PRESENT AFFECTING THE SUBJECT PROPERTY AS DESCRIBED IN THE CC&R'S CLAUSE 19 AND SHOWN ON THIS PLAN.

COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179



BAYLOR RESIDENCE

7951 Paseo Del Ocaso
La Jolla CA 92037

TOPOGRAPHIC SURVEY

DRAWN BY:	EM / DK
CHECKED BY:	JC
ORIGINAL	2/27/19
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

TOPOGRAPHIC SURVEY PLAN

SCALE: 1" = 10'

C.O.

SHT 1 OF 1 SHTS

WARNING
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE. SCALE ACCORDINGLY.

DATE OF SURVEY: 2/19/19 SURVEY CREW: AP/EM



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W

N

SCALE: 1"=40'

300' Radius Parcel Information (La Jolla, CA 92037)

Site Address	Assessor's Parcel No.	Lot No.	Living Area (SF)	Assumed Garage Area (SF)	Total Floor Area (SF)	Lot Area (SF)	Lot Area (AC)	FAR Ratio
2105 Paseo Dorado	346-503-06-00	1	2,362	400	2,762	6,480	0.15	0.426
7935 El Paseo Grande	346-503-05-00	2	1,538	200	1,738	6,240	0.14	0.279
7927 El Paseo Grande	346-503-04-00	3	1,317	400	1,717	6,321	0.15	0.272
7921 El Paseo Grande	346-503-03-00	4	1,908	400	2,308	6,335	0.15	0.364
7911 El Paseo Grande	346-503-02-00	5	3,283	400	3,683	6,643	0.15	0.554
7905 El Paseo Grande	346-503-01-00	6	2,751	400	3,151	9,639	0.22	0.327
2115 Paseo Dorado	346-503-07-00	16	2,277	400	2,677	5,232	0.12	0.512
7974 Paseo Del Ocaso	346-503-08-00	15	1,547	400	1,947	5,493	0.13	0.354
7964 Paseo Del Ocaso	346-503-09-00	14	1,451	400	1,851	5,395	0.12	0.343
7956 Paseo Del Ocaso	346-503-10-00	13	2,032	400	2,432	5,322	0.15	0.457
7946 Paseo Del Ocaso	346-503-11-00	12	1,714	0	1,714	5,264	0.12	0.326
7936 Paseo Del Ocaso	346-503-12-00	11	1,322	200	1,522	5,047	0.12	0.302
7926 Paseo Del Ocaso	346-503-13-00	10	1,905	400	2,305	5,098	0.12	0.452
7916 Paseo Del Ocaso	346-503-14-00	9	2,688	400	3,088	5,303	0.12	0.582
7906 Paseo Del Ocaso	346-503-15-00	8	1,298	400	1,698	4,984	0.11	0.341
7902 Paseo Del Ocaso	346-503-16-00	7	2,676	400	3,076	5,900	0.14	0.521
7985 Paseo Del Ocaso	346-512-11-00	1	1,680	400	2,080	8,175	0.19	0.254
7975 Paseo Del Ocaso	346-512-10-00	2	1,986	400	2,386	7,307	0.17	0.327
7967 Paseo Del Ocaso	346-512-09-00	3	1,971	400	2,371	7,419	0.17	0.320
7959 Paseo Del Ocaso	346-512-08-00	4	2,192	200	2,392	7,697	0.18	0.311
7941 Paseo Del Ocaso	346-512-06-00	6	1,515	400	1,915	7,646	0.18	0.250
7931 Paseo Del Ocaso	346-512-05-00	7	2,542	400	2,942	7,303	0.17	0.403
7921 Paseo Del Ocaso	346-512-04-00	8	2,258	200	2,458	7,399	0.17	0.332
7911 Paseo Del Ocaso	346-512-03-00	9	1,256	400	1,656	7,246	0.17	0.229
7905 Paseo Del Ocaso	346-512-02-00	10	1,856	400	2,256	7,293	0.17	0.309
2145 Paseo Dorado	346-512-12-00	24	1,901	400	2,301	7,605	0.17	0.303
7972 La Jolla Shores Dr	346-512-13-00	23	2,112	400	2,512	7,246	0.17	0.347
7964 La Jolla Shores Dr	346-512-14-00	22	2,470	400	2,870	7,201	0.17	0.399
7958 La Jolla Shores Dr	346-512-15-00	21	2,601	400	3,001	7,449	0.17	0.403
7950 La Jolla Shores Dr	346-512-16-00	20	1,169	200	1,369	6,960	0.16	0.197
7944 La Jolla Shores Dr	346-512-17-00	19	1,437	400	1,837	7,200	0.17	0.255
7940 La Jolla Shores Dr	346-512-18-00	18	2,673	400	3,073	7,204	0.17	0.427
7934 La Jolla Shores Dr	346-512-19-00	17	2,161	400	2,561	7,238	0.17	0.354
7928 La Jolla Shores Dr	346-512-20-00	16	1,631	0	1,631	7,505	0.17	0.217
7924 La Jolla Shores Dr	346-512-21-00	15	1,260	400	1,660	7,585	0.17	0.219
7920 La Jolla Shores Dr	346-512-22-00	14	1,943	200	2,143	7,745	0.18	0.277

COFFEY ENGINEERING, INC.
 9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179

BAYLOR RESIDENCE
 7951 Paseo Del Ocaso
 La Jolla CA 92037

DRAWN BY: EM / MR
 CHECKED BY: JC
 ORIGINAL 3/11/20
 REVISION 1
 REVISION 2
 REVISION 3
 REVISION 4
 REVISION 5

TOPOGRAPHIC SURVEY
 300' BOUNDARY

SCALE: 1" = 40'

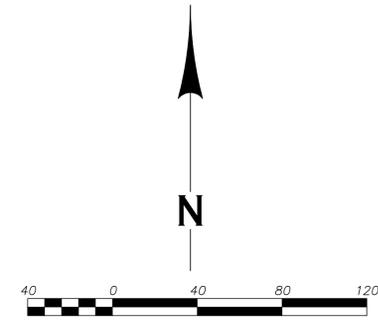
C.01

SHT 1 OF 1 SHTS



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W



Site Address	Assessor's Parcel No	Front Yard	Sidyard 1	Sidyard 2	Rear Yard
2105 Paseo Dorado	346-503-06-00	20'	6' (North)	6' (South)	3'
7935 El Paseo Grande	346-503-05-00	16'	2' (North)	6' (South)	24'
7927 El Paseo Grande	346-503-04-00	17'	1' (North)	1' (South)	6'
7921 El Paseo Grande	346-503-03-00	25.2'	1' (North)	1' (South)	4'
7911 El Paseo Grande	346-503-02-00	23.1'	1' (North)	9' (South)	8'
7905 El Paseo Grande	346-503-01-00	20'	4' (North)	11.5' (South)	5'
2115 Paseo Dorado	346-503-07-00	10.6'	5' (South)	6' (North)	7'
7974 Paseo Del Ocaso	346-503-08-00	20.5'	7' (South)	3' (North)	26'
7964 Paseo Del Ocaso	346-503-09-00	21.3'	11' (South)	2' (North)	3'
7956 Paseo Del Ocaso	346-503-10-00	21.6'	6.5' (South)	2' (North)	17'
7946 Paseo Del Ocaso	346-503-11-00	18.3'	1' (South)	8.5' (North)	8'
7936 Paseo Del Ocaso	346-503-12-00	18.8'	9' (South)	1.5' (North)	1'
7926 Paseo Del Ocaso	346-503-13-00	17.4'	6' (South)	3' (North)	1'
7916 Paseo Del Ocaso	346-503-14-00	17.4'	9' (South)	3' (North)	3'
7906 Paseo Del Ocaso	346-503-15-00	16.2'	8.5' (South)	6' (North)	32'
7902 Paseo Del Ocaso	346-503-16-00	14.9'	4' (South)	13.1' (North)	1'
7985 Paseo Del Ocaso	346-512-11-00	20.9'	19' (North)	6' (South)	5'
7975 Paseo Del Ocaso	346-512-10-00	18.2'	5' (North)	5' (South)	20'
7967 Paseo Del Ocaso	346-512-09-00	19'	3' (North)	5' (South)	20'
7959 Paseo Del Ocaso	346-512-08-00	18.5'	6' (North)	3' (South)	3'
7941 Paseo Del Ocaso	346-512-06-00	19'	3' (North)	3' (South)	3'
7931 Paseo Del Ocaso	346-512-05-00	19'	6' (North)	4' (South)	5'
7921 Paseo Del Ocaso	346-512-04-00	21.1'	6' (North)	7' (South)	4'
7911 Paseo Del Ocaso	346-512-03-00	24'	5' (North)	13' (South)	7'
7905 Paseo Del Ocaso	346-512-02-00	20.4'	5' (North)	9' (South)	17'
2145 Paseo Dorado	346-512-12-00	12'	4' (South)	1.5' (North)	19'
7972 La Jolla Shores Dr	346-512-13-00	12'	12' (South)	7' (North)	11'
7964 La Jolla Shores Dr	346-512-14-00	15'	5' (South)	5' (North)	25'
7958 La Jolla Shores Dr	346-512-15-00	18'	3' (South)	4' (North)	37'
7950 La Jolla Shores Dr	346-512-16-00	25'	3' (South)	7' (North)	6'
7944 La Jolla Shores Dr	346-512-17-00	23'	15' (South)	3' (North)	18'
7940 La Jolla Shores Dr	346-512-18-00	16'	3' (South)	3' (South)	4'
7934 La Jolla Shores Dr	346-512-19-00	30'	5' (South)	9' (North)	5'
7928 La Jolla Shores Dr	346-512-20-00	33'	4' (South)	8' (North)	12'
7924 La Jolla Shores Dr	346-512-21-00	31'	4' (South)	3' (North)	27'
7920 La Jolla Shores Dr	346-512-22-00	30'	6' (South)	10' (North)	35'

BAYLOR RESIDENCE

7951 Paseo Del Ocaso
La Jolla CA 92037

DRAWN BY:	EM / MR
CHECKED BY:	JC
ORIGINAL	3/11/20
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

TOPOGRAPHIC SURVEY
Setback Analysis

SCALE: 1" = 40'

C.02



aidlin darling design
500 third street
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415 974 5603 phone

**BAYLOR
RESIDENCE**

7951 PASEO DEL OCASO
LA JOLLA, CA

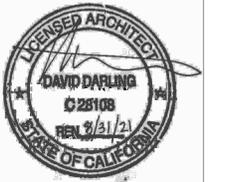
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JOB: 1909

DRAWN: CDH

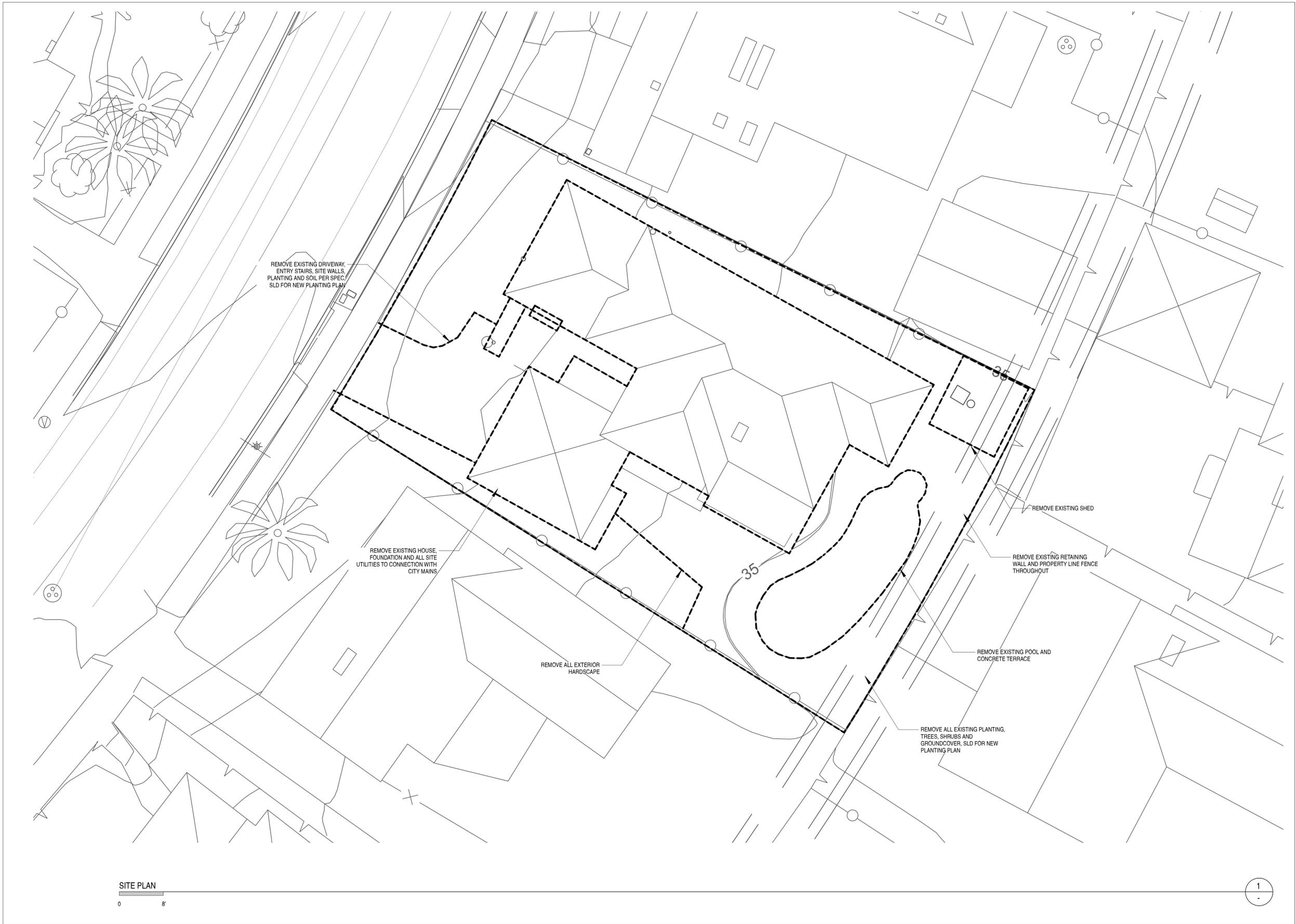
SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A1.0

DEMO PLAN



SITE PLAN
0 8'

1



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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
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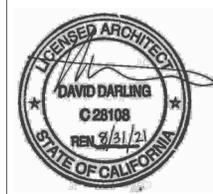
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JOB: 1909

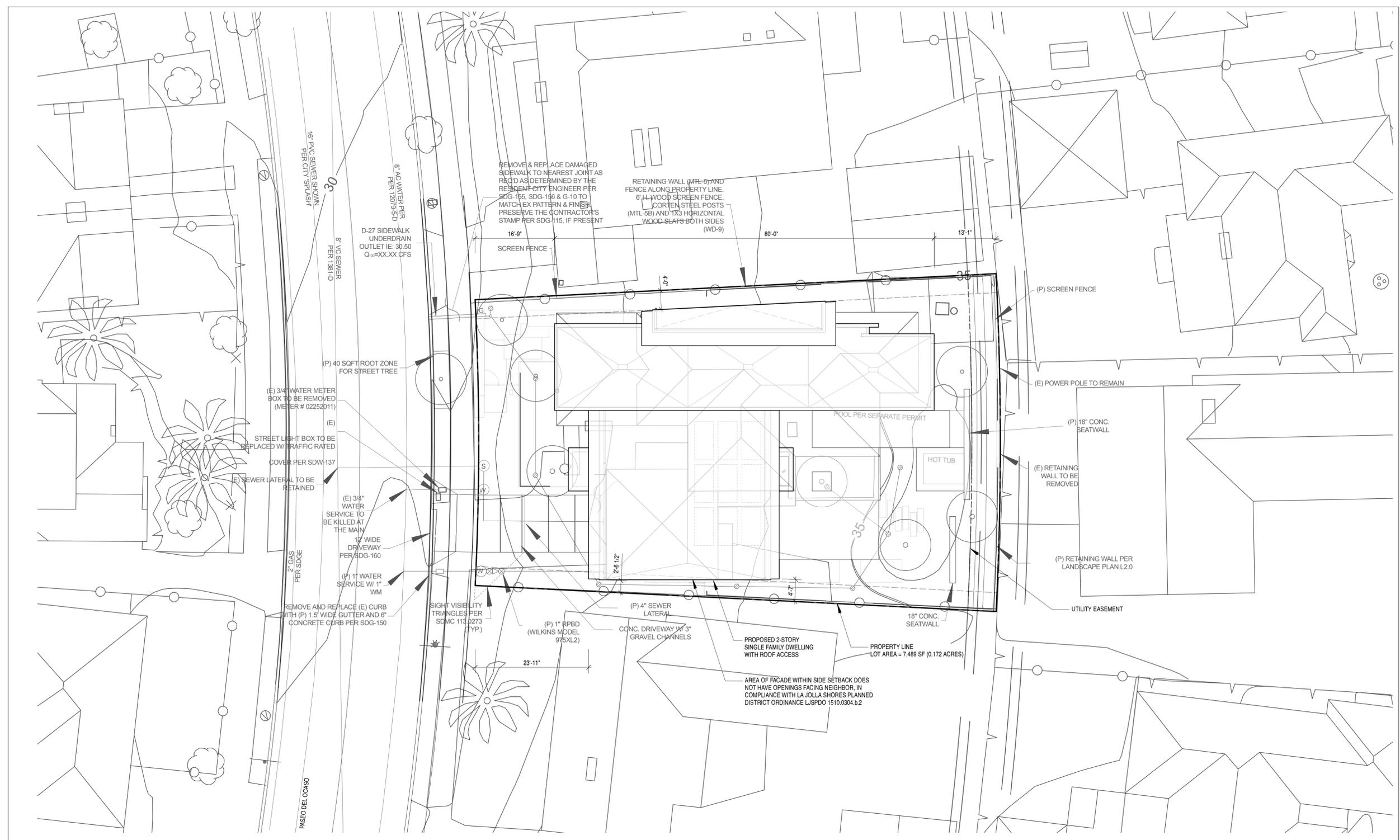
DRAWN: CDH

SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A2.0
SITE PLAN



LEGAL DESCRIPTION

LOT 5 IN BLOCK 4 OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926.

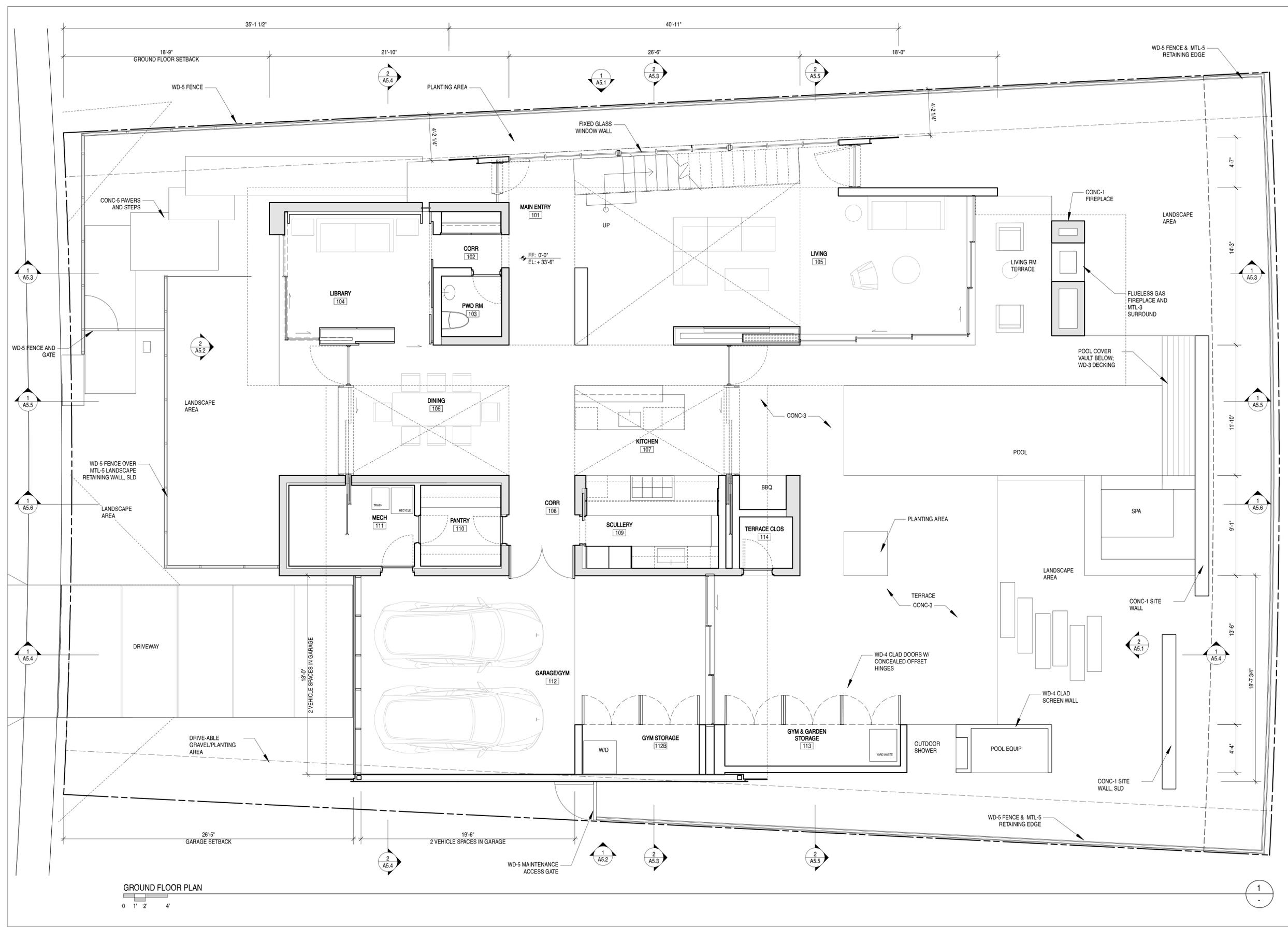
APN: 346-512-07-00

NOTES

- PLEASE REFER TO CIVIL DRAINAGE PLAN C.1 FOR GENERAL SURVEY, GRADING AND DRAINAGE NOTES
- ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

SITE PLAN





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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE:	01.14.22
JOB:	1909
DRAWN:	CDH
SCALE:	AS NOTED
ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A2.1
GROUND FLOOR PLAN



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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

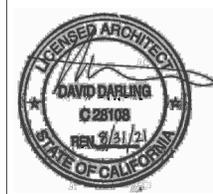
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JOB: 1909

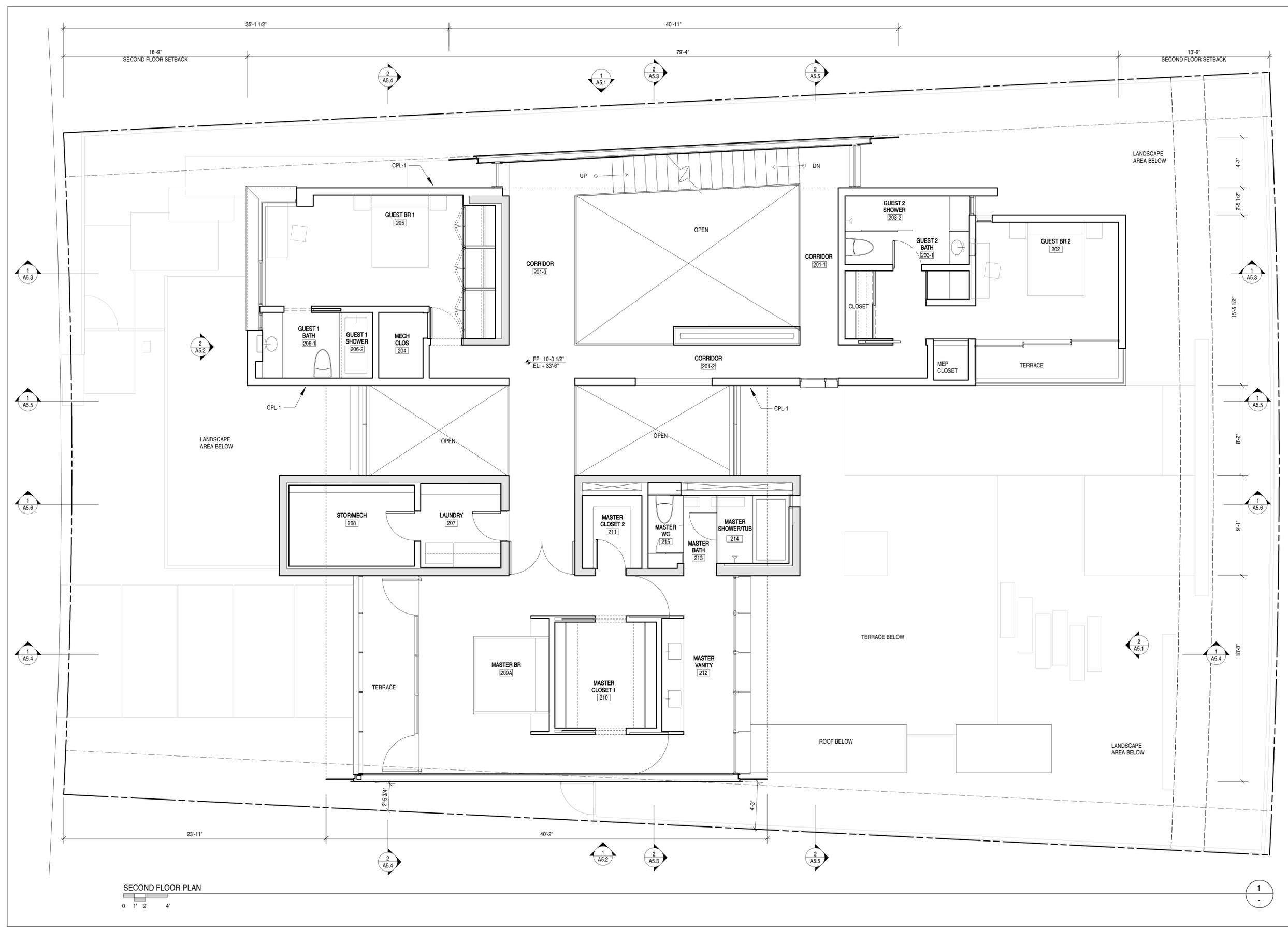
DRAWN: CDH

SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A2.2
SECOND FLOOR PLAN



SECOND FLOOR PLAN
 0 1' 2' 4'



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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

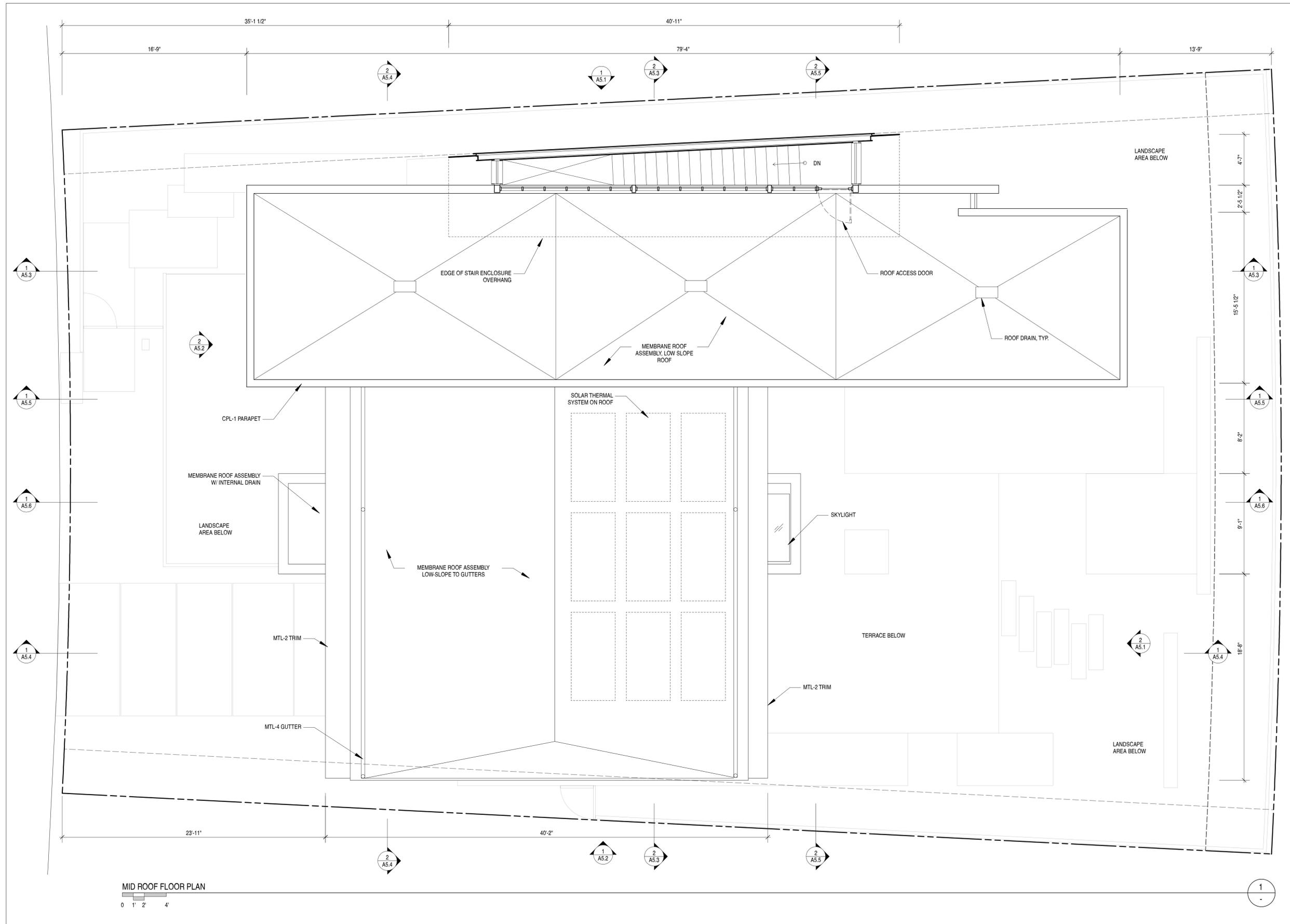
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SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A2.3
MID ROOF FLOOR PLAN



MID ROOF FLOOR PLAN

0 1' 2' 4'



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415 974 5603 phone

**BAYLOR
RESIDENCE**

7951 PASEO DEL OCASO
LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

DRAWN: CDH

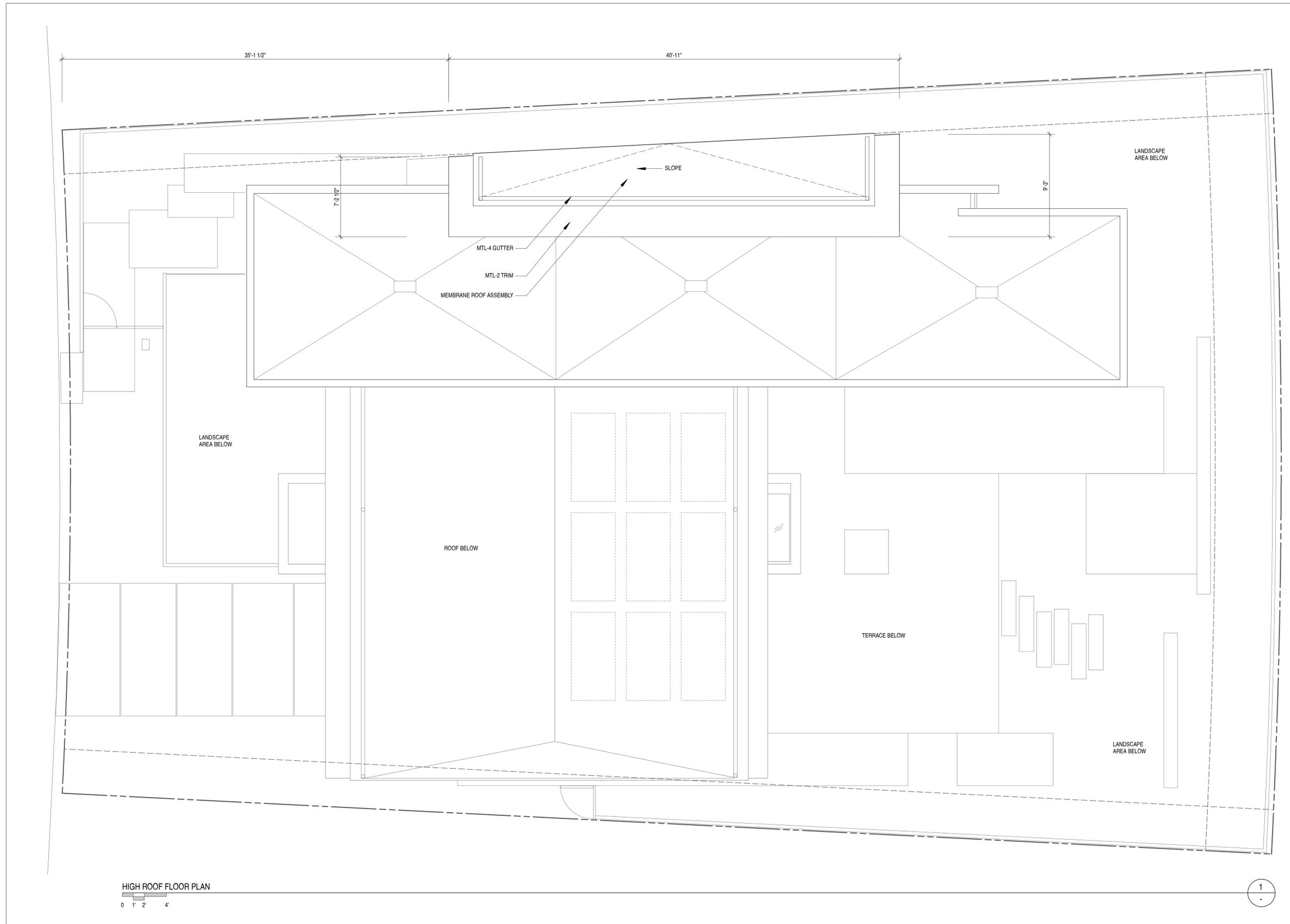
SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



**A2.4
HIGH ROOF FLOOR
PLAN**

1
-



HIGH ROOF FLOOR PLAN



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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
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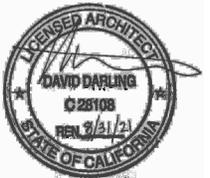
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JOB: 1909

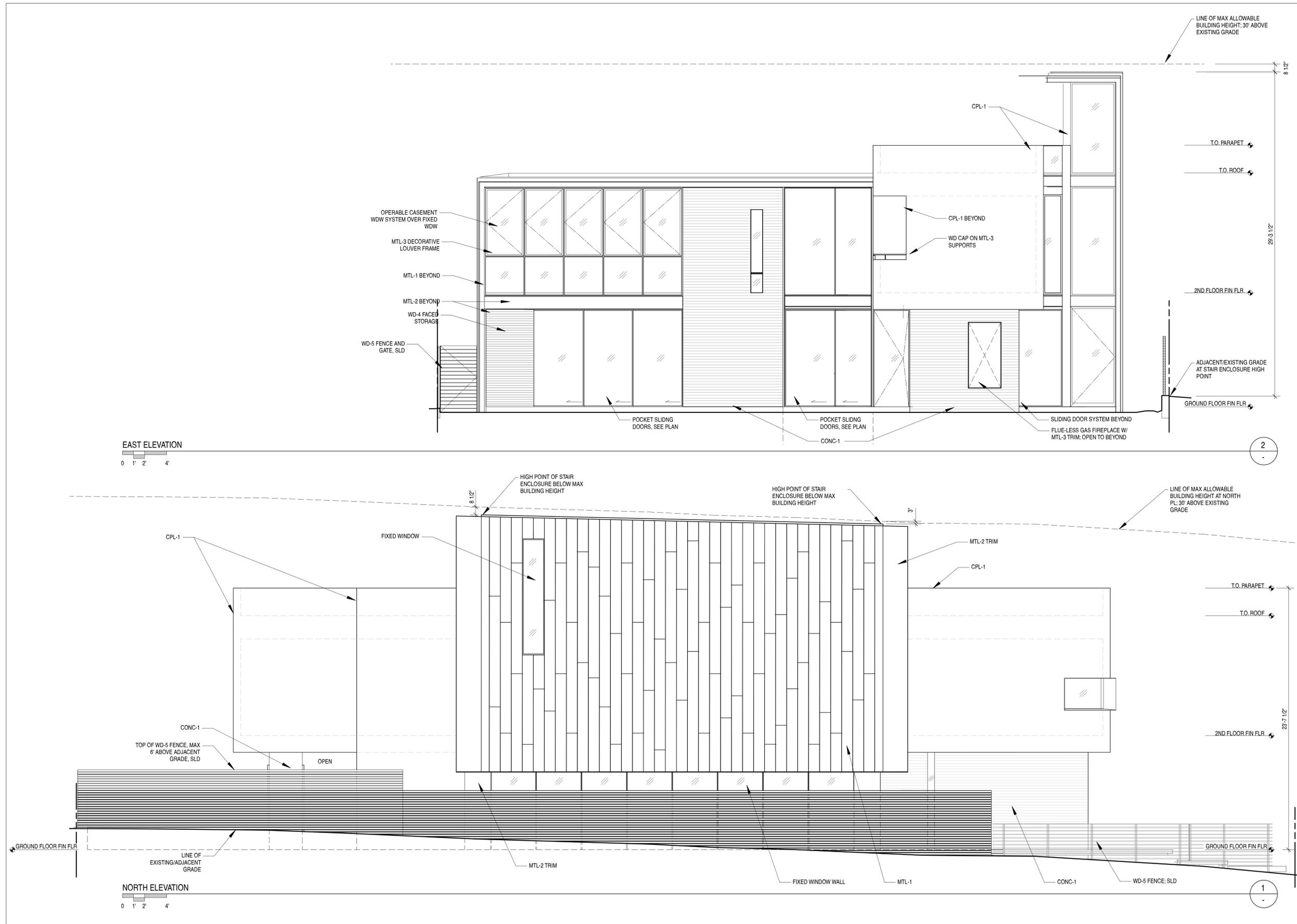
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SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A5.1
N & E BUILDING ELEVATIONS





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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

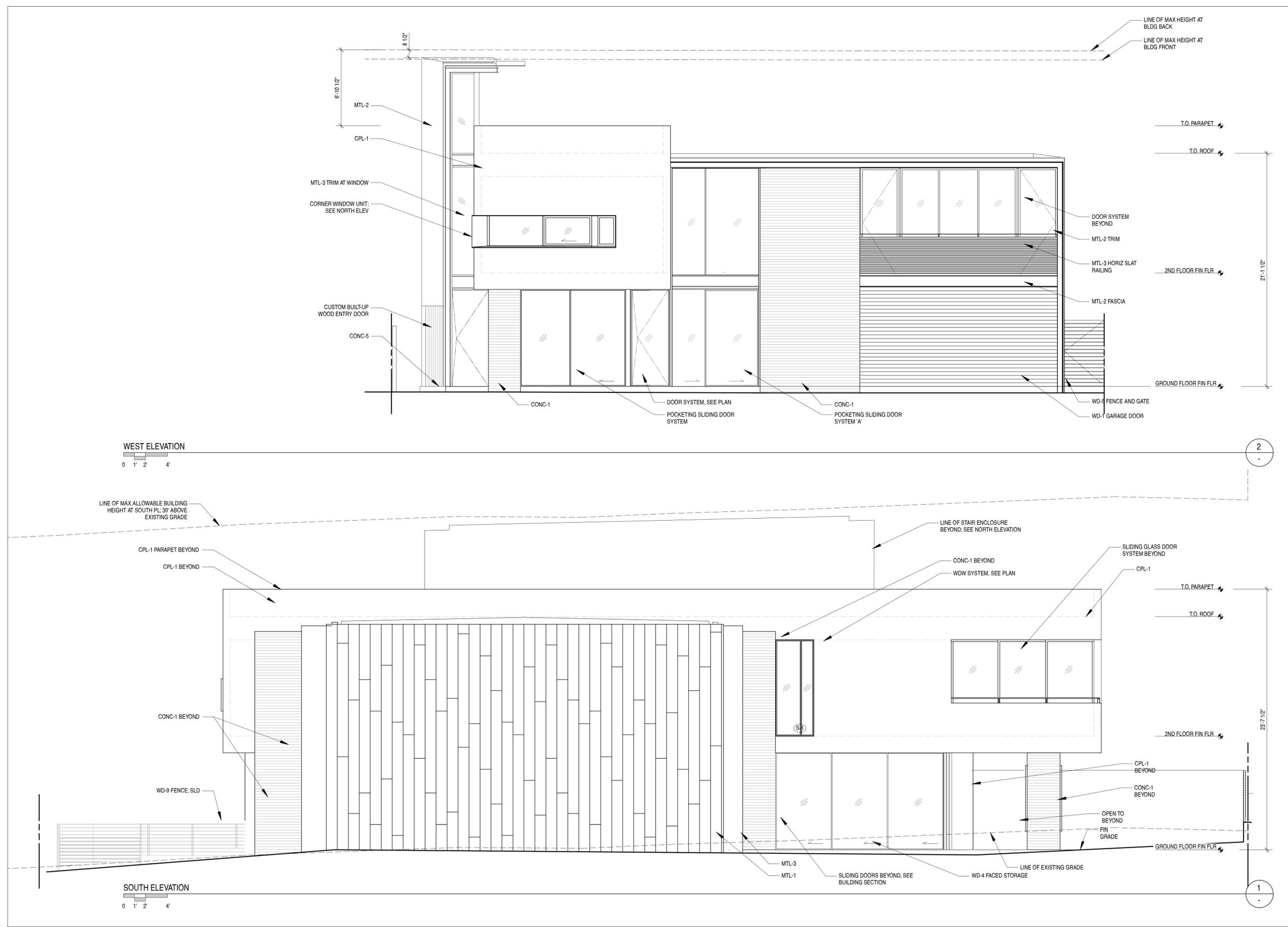
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SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A5.2
S & W BUILDING ELEVATIONS





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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

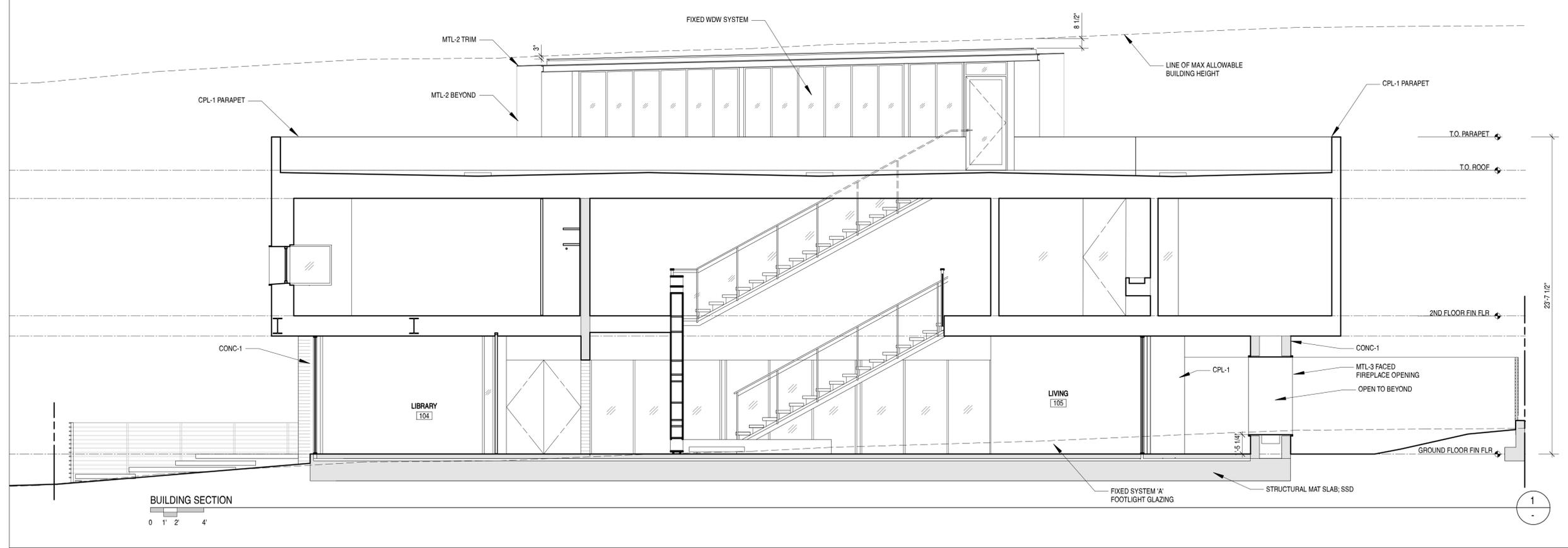
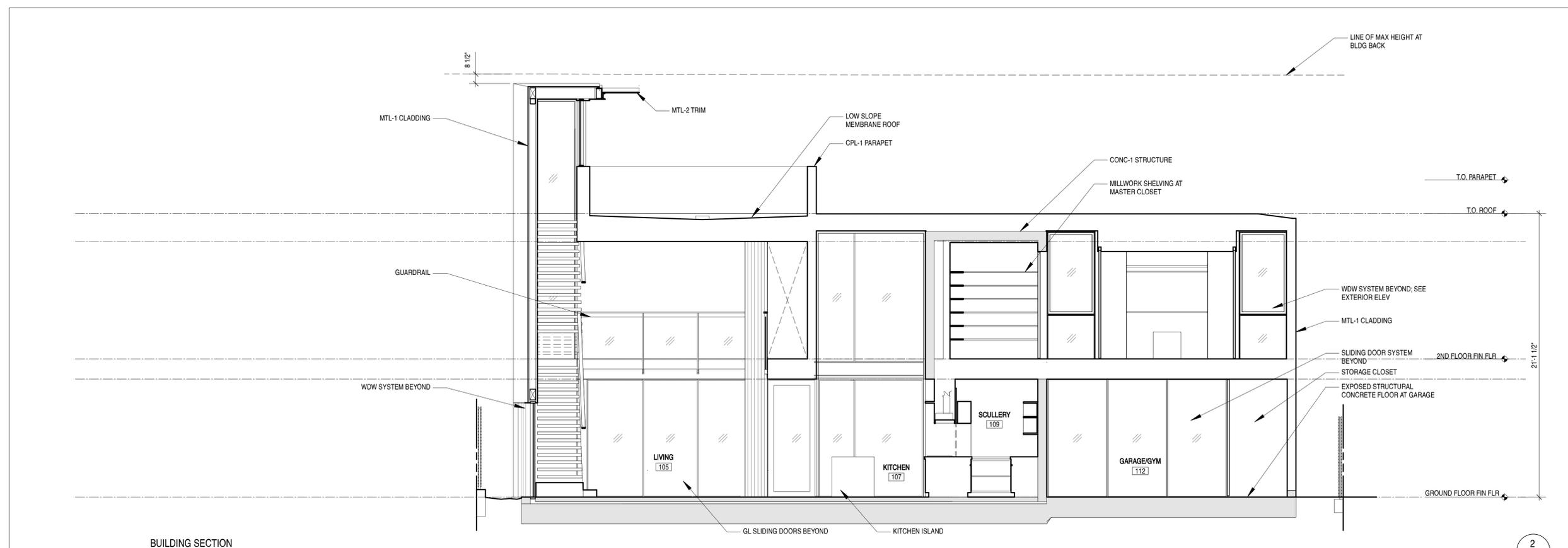
DRAWN: MP

SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A5.3 BUILDING SECTIONS





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 san francisco, ca 94107
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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

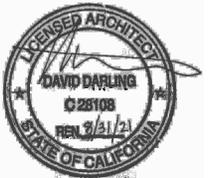
DATE: 01.14.22

JOB: 1909

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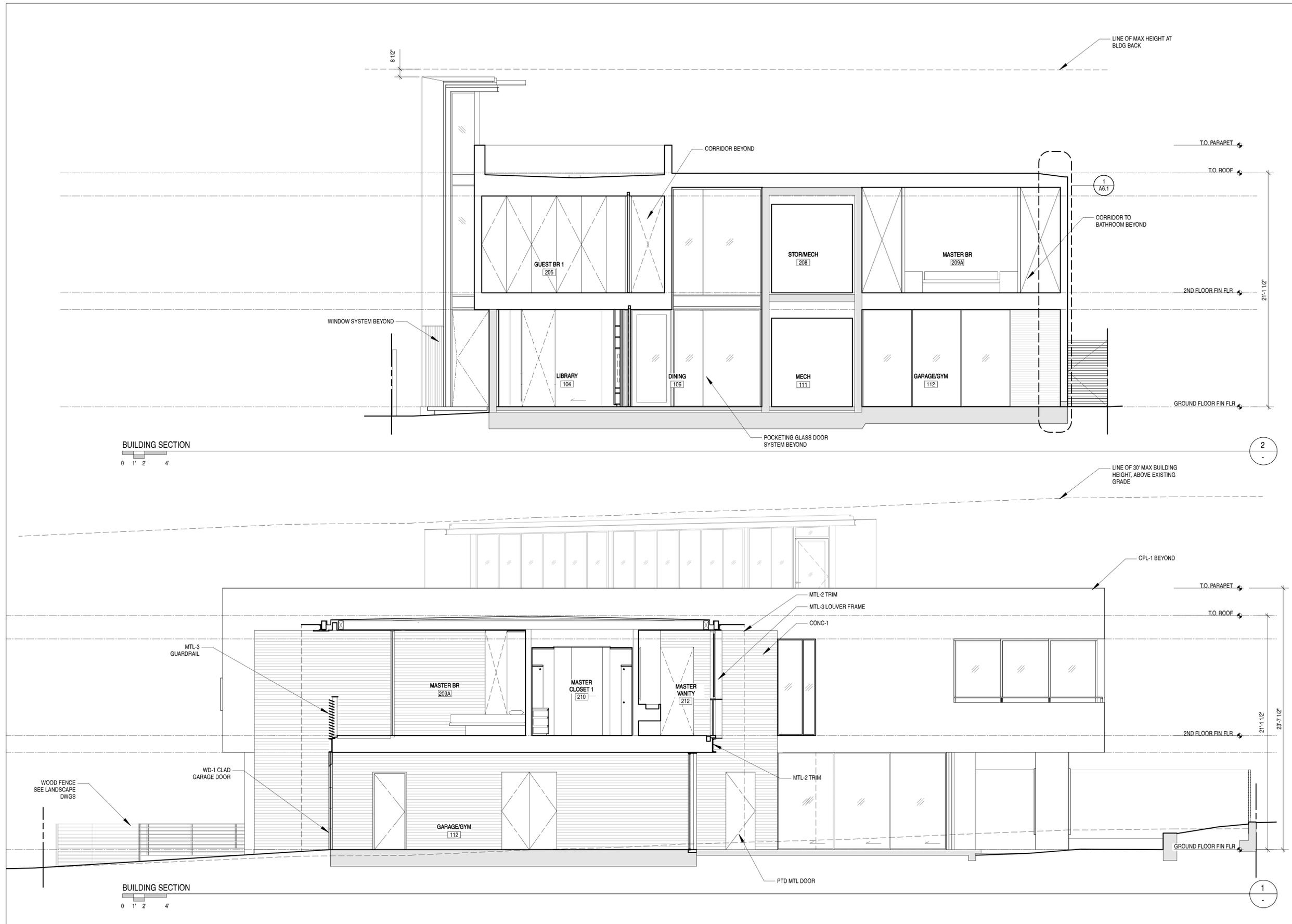
SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A5.4

BUILDING SECTIONS





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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

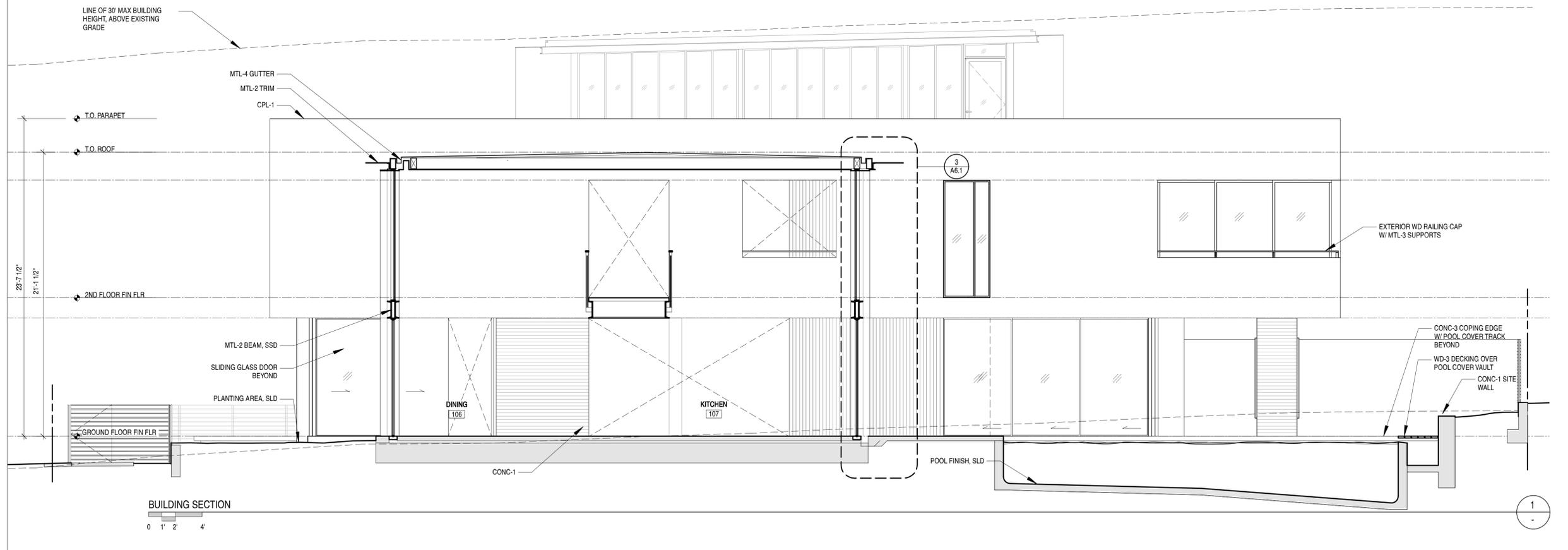
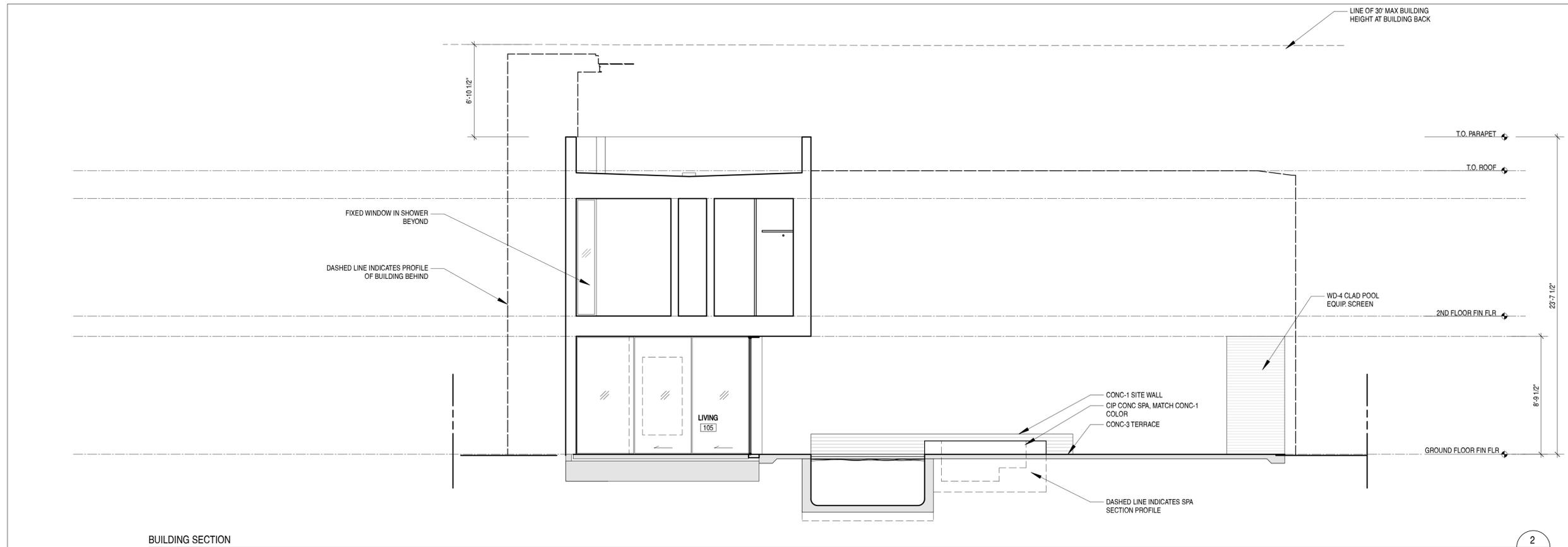
DRAWN: MP

SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



A5.5
BUILDING SECTIONS





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 500 third street
 suite 410
 san francisco, ca 94107
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 415 974 5603 phone

**BAYLOR
 RESIDENCE**

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

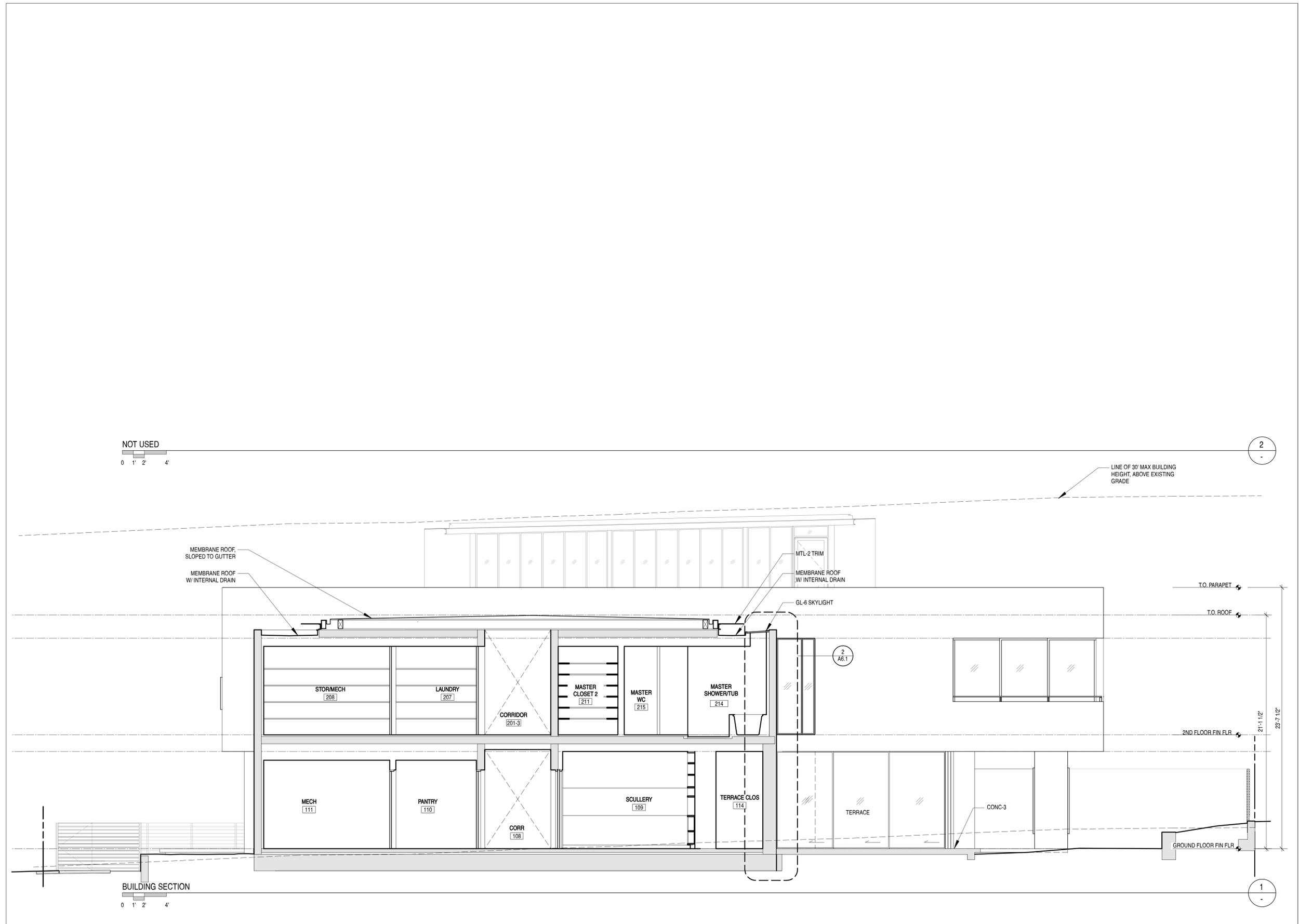
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SCALE: AS NOTED

ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022



**A5.6
 BUILDING SECTIONS**





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 500 third street
 suite 410
 san francisco, ca 94107
 415 974 0849 fax
 415 974 5603 phone

BAYLOR RESIDENCE

7951 PASEO DEL OCASO
 LA JOLLA, CA

DATE: 01.14.22

JOB: 1909

DRAWN: MP

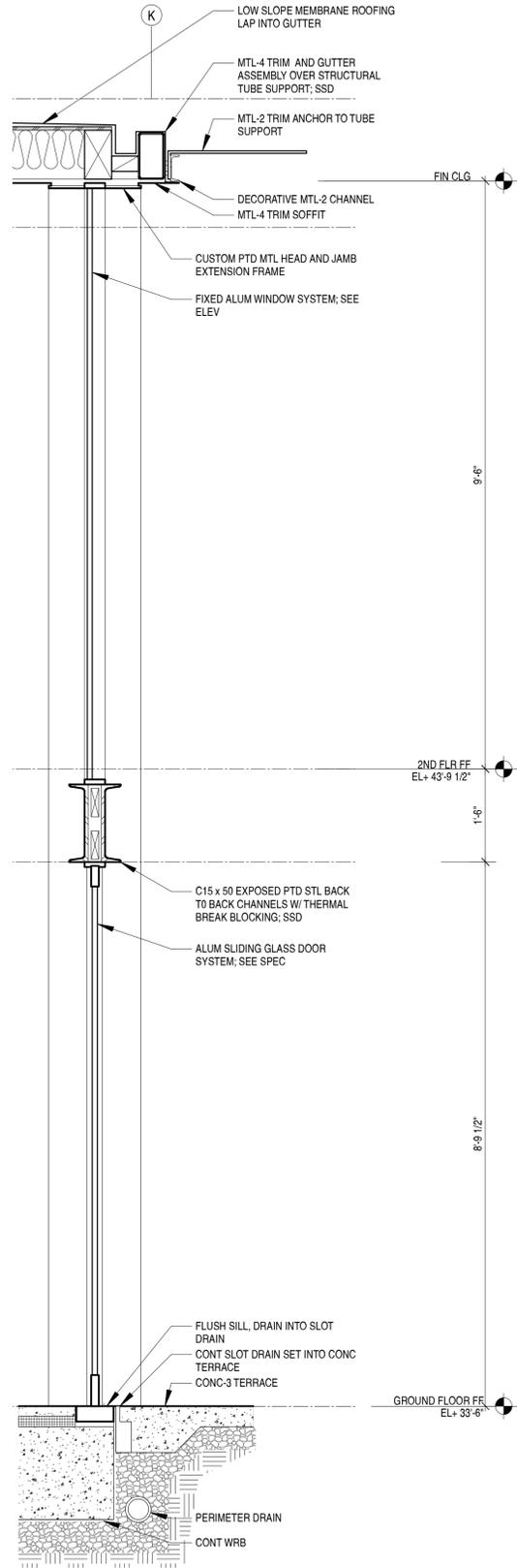
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ISSUE	DATE
COASTAL DEV PERMIT	05.07.2021
COASTAL DEV PERMIT	01.14.2022

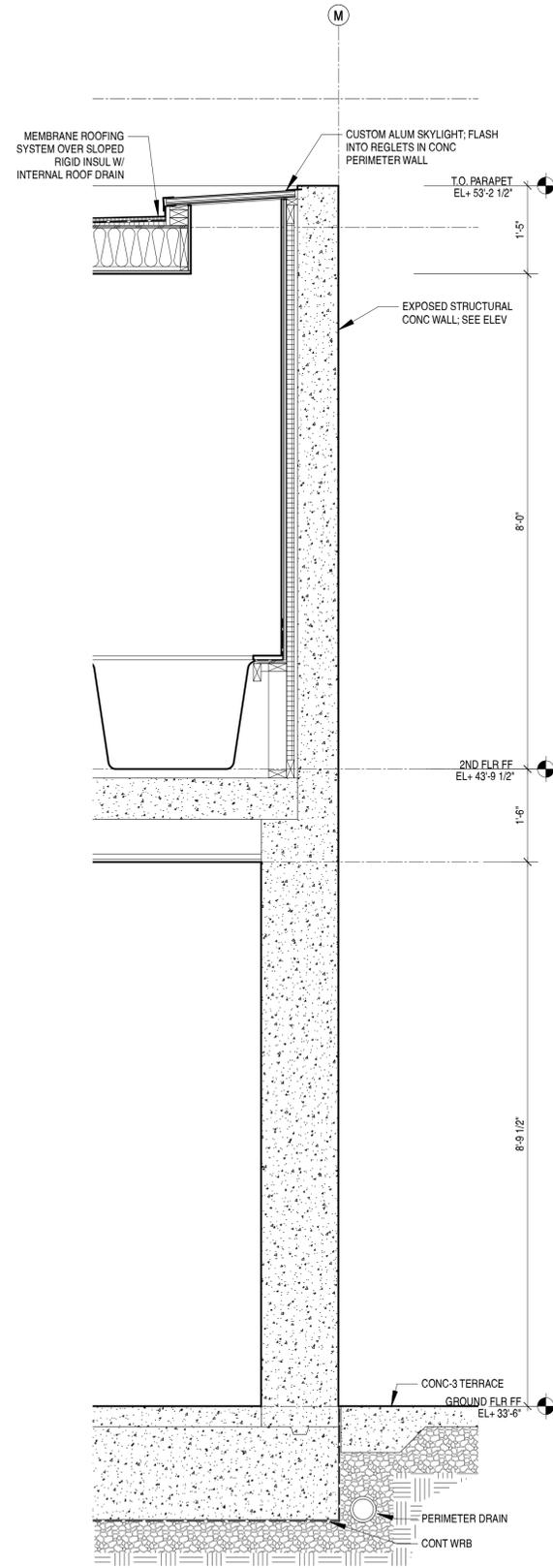


A6.1

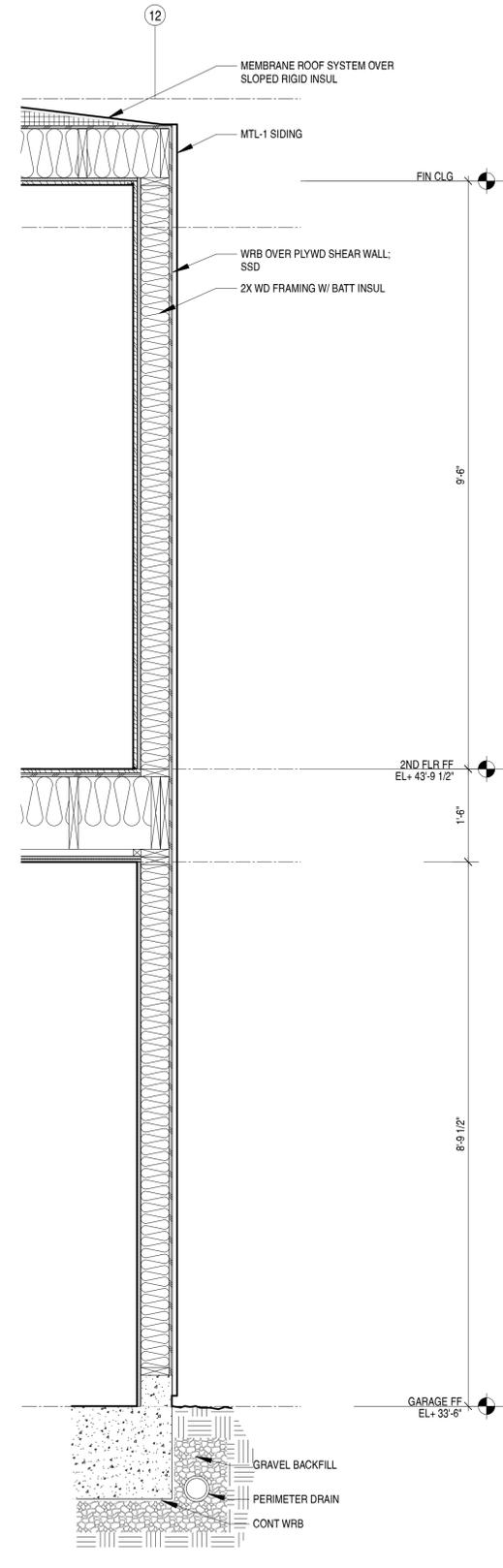
WALL SECTIONS



WALL SECTION 4



WALL SECTION 2



WALL SECTION 1

NOT USED

0 1' 2'

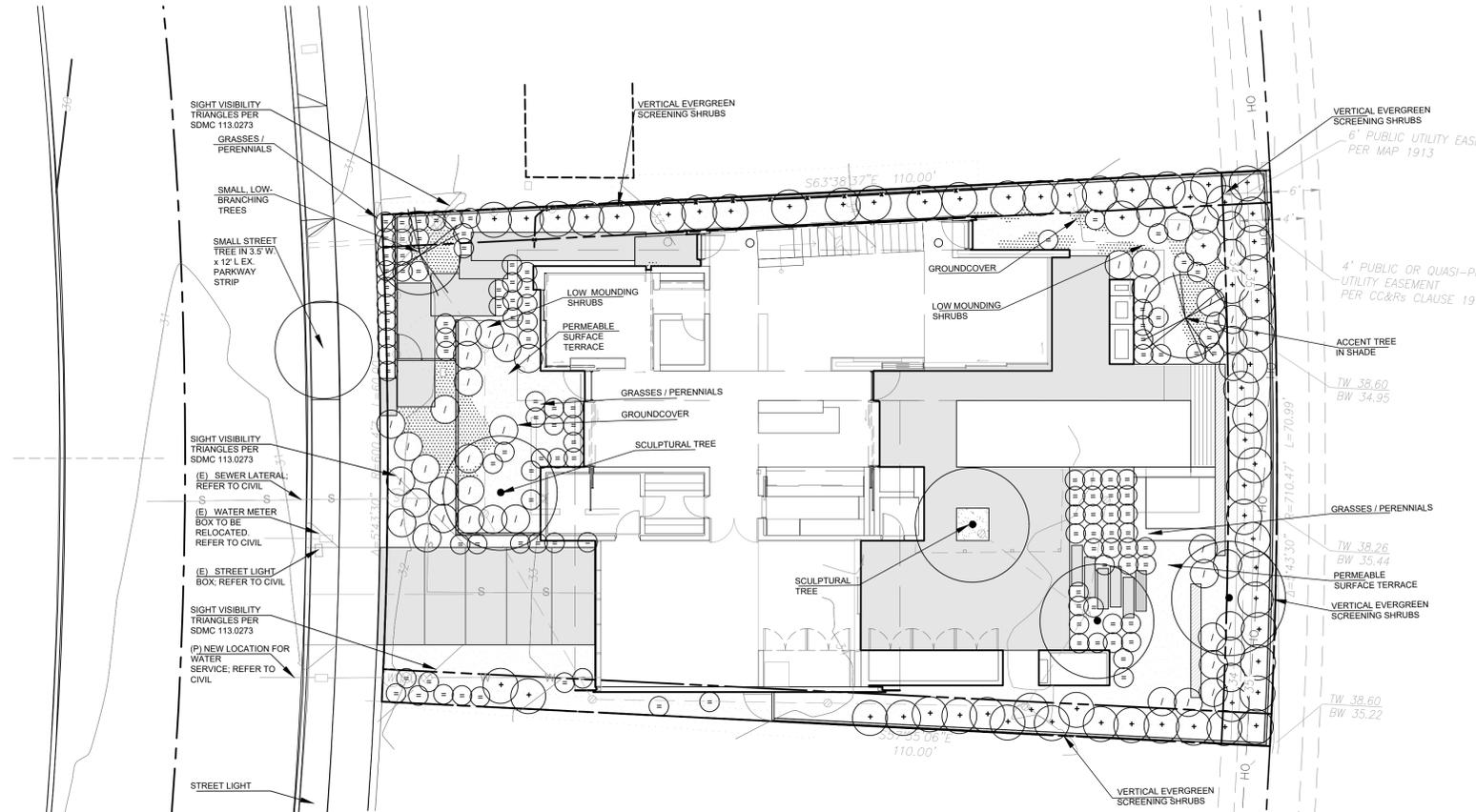
0 1' 2'

0 1' 2'

0 1' 2'

PLANTING SCHEDULE

sym	botanical name	common name	size	min. qty	notes
TREES					
ST	Lagerstroemia indica 'Natchez'	White Crape myrtle 'Natchez'	24" box	1	Street tree on Paseo de Ocaso WUCOLS = M
sculptural tree					
	Arbutus 'Marina'	Marina madrone	36" box	4	Slow-moderate growth to 40' h x 25' w. WUCOLS = L
	Metrosideros excelsa	New Zealand Christmas tree			Moderate growth to 25' h. x 20' w. WUCOLS = M
	Olea europaea 'Fruitless'	Fruitless olive			Slow-moderate growth to 30' h/w, easily pruned to shape/size. WUCOLS = L
low-branching tree					
	Arbutus unedo	Strawberry tree	24" box	3	Slow-moderate growth to 20' h/w. WUCOLS = L
	Arctostaphylos 'Dr. Hurd'	Dr. Hurd tree manzanita			Moderate growth to 12' h x 10' w. WUCOLS = L
	Grevillea 'Moonlight'	Moonlight grevillea			Fast growth to 10' h/w. WUCOLS = L
	Leptospermum laevigatum	Australian tea tree			Moderate growth to 15' h/w. WUCOLS = L
accent tree in shade					
	Acer palmatum	Japanese maple	36" box	1	Moderate growth to 20' h x 15' w. WUCOLS = M
	Cercis canadensis var. texensis 'Texas White'	Texas white redbud			Moderate growth to 15' h x 10' w. WUCOLS = M
SHRUBS					
vertical evergreen screening shrub					
	Azara microphylla	Boxleaf azara	15 gal.	60	Fast growth to 20' h x 8' w. WUCOLS = M
	Elaeocarpus decipiens	Japanese blueberry			Moderate-fast growth to 30' h x 15' w. WUCOLS = M
	Laurus nobilis	Sweet bay laurel			Slow-moderate growth to 20' h x 15' w. WUCOLS = L
	Rhamnus alaternus	Italian buckthorn			Moderate-fast growth to 15-20' h. WUCOLS = L
low shrub					
	Acacia cognata 'Cousin Itt'	Little river wattle	5 gal.	45	Moderate growth to 2-3' h and spreading. WUCOLS = M
	Arctostaphylos 'Ian Bush'	Ian Bush manzanita			Fast growth to 4-5' h/w. WUCOLS = L
	Laurus 'Little Ragu'	Dwarf bay laurel			Moderate growth to 7' h/w. Prune as needed. WUCOLS = L
	Mahonia eurybrachteata 'Soft Caress'	'Soft Caress' Oregon grape			Moderate growth to 3' h/w. WUCOLS = unknown (Sunset/UC Master Gardeners = L)
	Olea 'Little Ollie'	Dwarf olive			Moderate growth to 5' h/w. WUCOLS = L
	Rosmarinus 'Lady in White'	White rosemary			Moderate growth to 2' h x 3' w. WUCOLS = L
grasses/perennials					
	Libertia peregrinans	New Zealand Iris	1 gal.	75	Grows to 2" h/w. WUCOLS = M
	Lomandra longifolia 'Baby Breeze'	Dwarf mat rush			Grows 18" h/w. WUCOLS = L
	Lomandra longifolia 'Breeze'	Breeze mat rush			Grows 2-3' h/w. WUCOLS = L
	Lomandra longifolia 'Steely Slim'	Steely Slim mat rush			Grows 1-2' h/w. WUCOLS = L
	Sesleria autumnalis	Autumn moor grass			Grows 2-3' h/w. WUCOLS = M
	Sesleria 'Greenlee'	Greenlee moor grass			Grows to 18" h/w. WUCOLS = M
GROUNDCOVER					
	Arctostaphylos edmundsii 'Carmel Sur	Carmel Sur manzanita	flats	---	Moderate growth to 6" h x 6' w. WUCOLS = L
	Carex flacca	Blue sedge			Grows 6-10" h/w. WUCOLS = L
	Laurentia fluvialis	Blue star creeper			Grows to 3" h. WUCOLS = M
	Mentha requenii	Corsican mint			Grows to 3" h. WUCOLS = M
	Thymus serpyllum	Creeping thyme			Grows to 3" h. WUCOLS = L



PERCENTAGE OF PLANTS PER SIZES

TREES	36" box	55%
	24" box	45%
SHRUBS	15 gal.	33%
	5 gal.	25%
	1 gal.	42%
GROUNDCOVER	Flats	100%

1" = 10'-0"

PLANTING PLAN

0 10'



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BAYLOR RESIDENCE

7951 PASEO DEL OCASO
LA JOLLA, CA

DATE: 16 August 2020

JOB: 1909

DRAWN:

SCALE: AS NOTED

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CDP SUBMITTAL	01172022

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L1.0

PLANTING PLAN
AND LEGEND

1
5



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PLANTING NOTES

PLANTING NOTES

Per the La Jolla Shores Planned District Ordinance and City of San Diego Landscape Regulations

- In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.
- All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence.
- All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.
- The Water Use Classification of Landscape Species (WUCOLS) is included for all plant species. A minimum of 75% of plant species will be climate-adapted requiring little or no summer water and with an average plant factor of 0.3.
- No turf or high-water use plant species are proposed.
- All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes.
- No known invasive species are proposed.
- Plant material, other than trees, located within *visibility areas* or the adjacent *public right-of-way* shall not exceed 36 inches in height.
- All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- If any required landscape indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
- An automatic, electrically controlled irrigation system shall be provided as required by LDC §142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

Street trees

- One (1) street tree is proposed. Curbcuts and clearance for utilities reduce linear feet of street frontage to 30 LF.
- Existing parkway strip is 3.5' wide and surfaced with brick paving. Street tree shall be selected from approved street tree list for parkways between 2'-4' wide.
- A minimum root zone of 40sf in area shall be provided for all trees. The minimum distance for this area shall be 5 feet, per SDMC §142.0403(b)(5)
- Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above grade of the travel way per San Diego Municipal Code, Section 142.0403(b)(10).
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. Contractor shall install root barriers adjacent and parallel to edge of paving or site improvement, and not encircling the root ball.

General notes

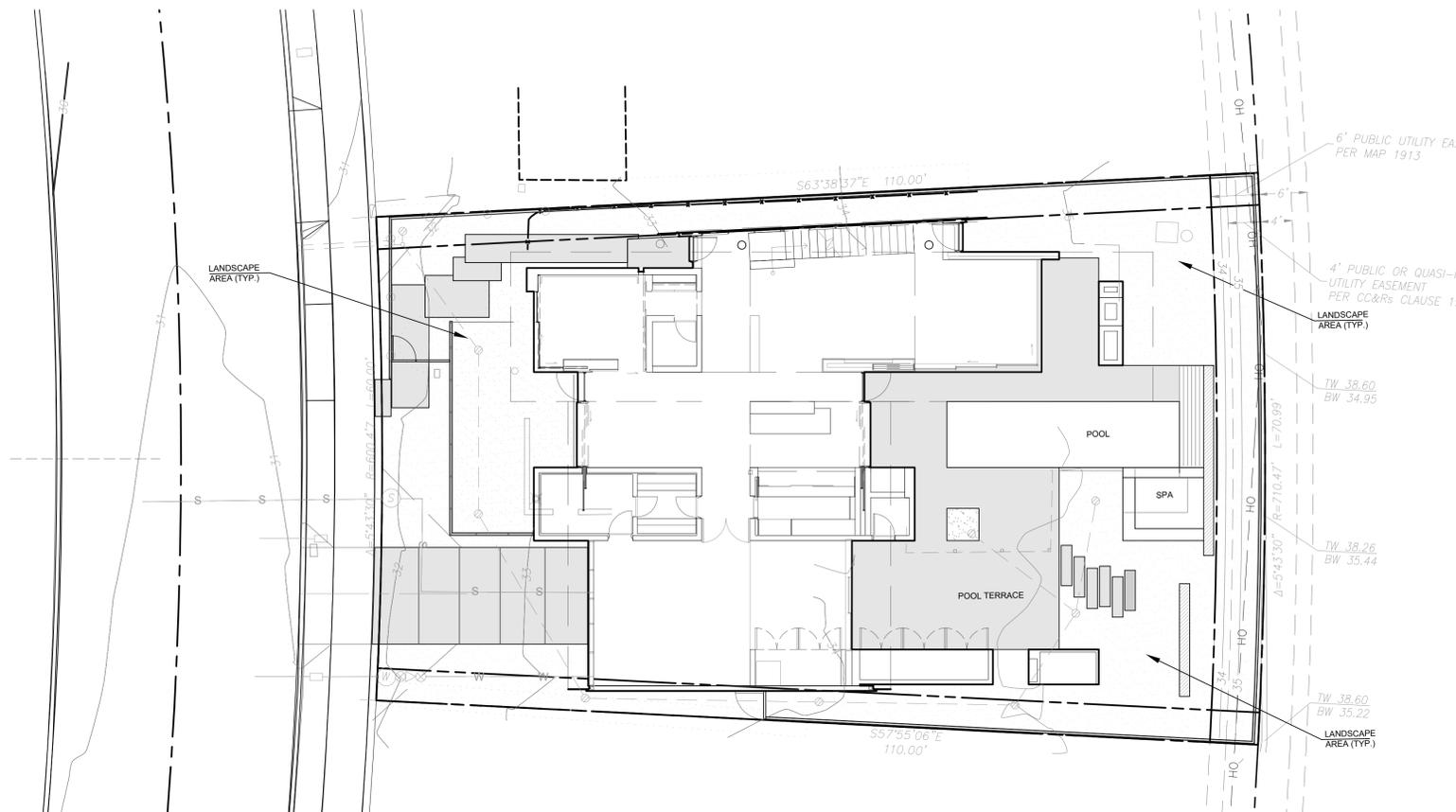
- All planting operations shall conform to City of San Diego codes and guidelines, and any other applicable local, state, or federal codes and regulations.
- Contractor is to call DigAlert (800 422-4133) and verify locations both above and below ground of existing utilities, pipes, drainlines and structures prior to any excavation or planting work.
- Final finish grades shall insure positive drainage of the site, with all surface drainage directed away from buildings, walls, or other site improvements, and toward drains and inlets or other areas specified to receive and infiltrate drainage.

Long Term Maintenance Responsibility

- Maintenance: All required landscape areas shall be maintained by the Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by the Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- All planting areas will be maintained in a weed and debris free condition.

Minimum Tree Separation

Improvement/Minimum Distance to Street Tree
 Traffic Signals (Stop Sign) - 20 Feet
 Underground Utility Lines - 5 Feet (10' For Sewer)
 Above Ground Utility Structures - 10 Feet
 Driveway (Entries) - 10 Feet
 Intersections (Intersecting Curb Lines Of Two Streets) - 25 Feet
 Fire Hydrant (10' min.)



LANDSCAPE AREA CALCULATION

PROPERTY ZONE	LJSPD-SF
REQUIREMENT	30% LANDSCAPE AREA
LOT AREA	7,205 SF
MIN. LANDSCAPE AREA REQ'D	2,161 SF
LANDSCAPE AREA PROVIDED (WITHIN PROPERTY, INCLUDING PVIOUS SURFACES)	2,584 SF
LANDSCAPE AREA PERCENTAGE (WITHIN PROPERTY)	35.8%

- NOTES:
- NOT INCLUDED IN CALCULATIONS ARE DRIVEWAYS, WALKWAYS, AND OTHER HARDSCAPE ELEMENTS PER SDMC 1510.0301(h)(1)
 - THERE IS AN ADDITIONAL 76 SQUARE FEET OF PROPOSED LANDSCAPED AREA THAT IS WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS INCLUDED IN THE HYDROZONE CALCULATIONS

1" = 10'-0"

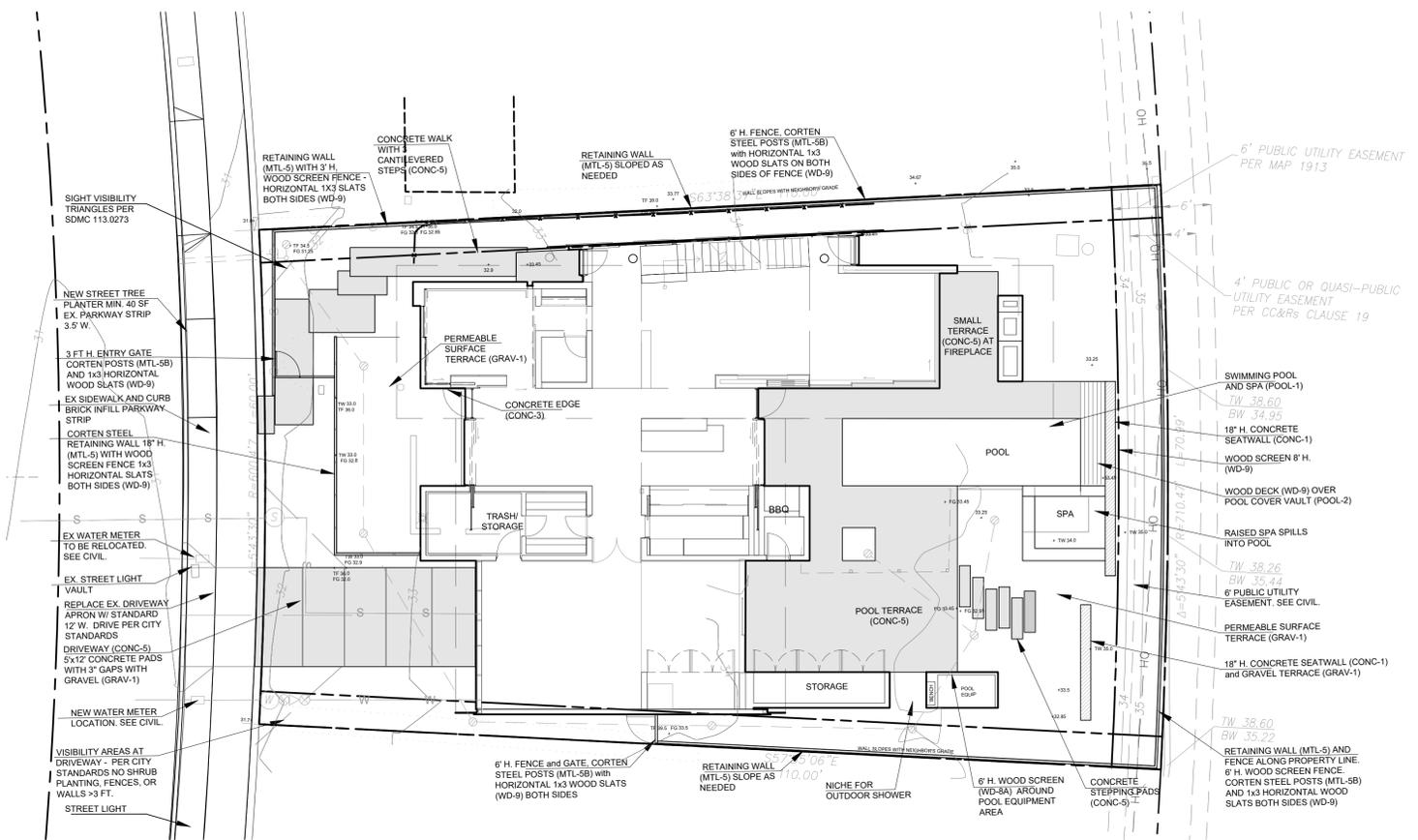
PLANTING NOTES

0 10'

2
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L2.0
 HARDSCAPE PLAN
 AND FINISH LEGEND

HARDSCAPE FINISH LEGEND

symbol	material	finish
CONC-3	CONCRETE SLAB	EXTERIOR EXPOSED STRUCTURAL CONCRETE SLAB
CONC-5	CONCRETE PAVERS, STEPS, and POOL COPING	CAST IN PLACE EXTERIOR CONCRETE
GRAV-1	GRAVEL WALKING SURFACE	"DEL RIO" 3/8" GRAVEL
MTL-5	COR-TEN PLATE	LANDSCAPE RETAINING EDGING WITH CONCRETE FOOTING
MTL-5B	CORTEN TUBE POSTS	FENCE AND GATE POSTS
POOL-1	POOL AND SPA PLASTER	COLORLED PLASTER FINISH POOL AND SPA INTERIOR; WATERLINE TILE
POOL-2	POOL COVER	AUTOMATIC POOL COVER IN CONCRETE VAULT WITH WOOD COVER
WD-8A	EXTERIOR WOOD CLADDING FOR POOL EQUIPMENT SCREEN WALL	WESTERN RED CEDAR 3/4" X 3" T&G VERT BOARDS; STAINED FINISH; CONCEALED FASTENERS
WD-9	WOOD FENCES AND GATES	NUSKU THERMACOR THERMALLY MODIFIED LUMBER, 1x3 HORIZONTAL SLATS. INSTALL WITH KEY PAD ENTRIES

1" = 10'-0" HARDSCAPE PLAN AND FINISH LEGEND



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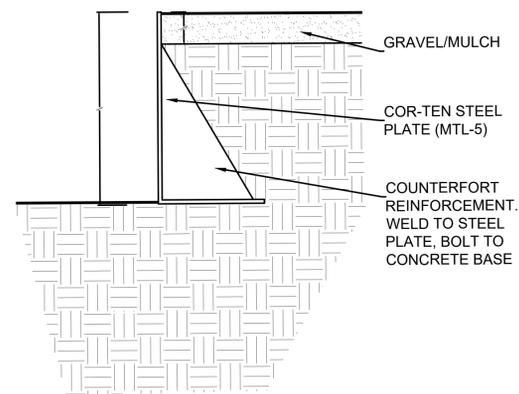
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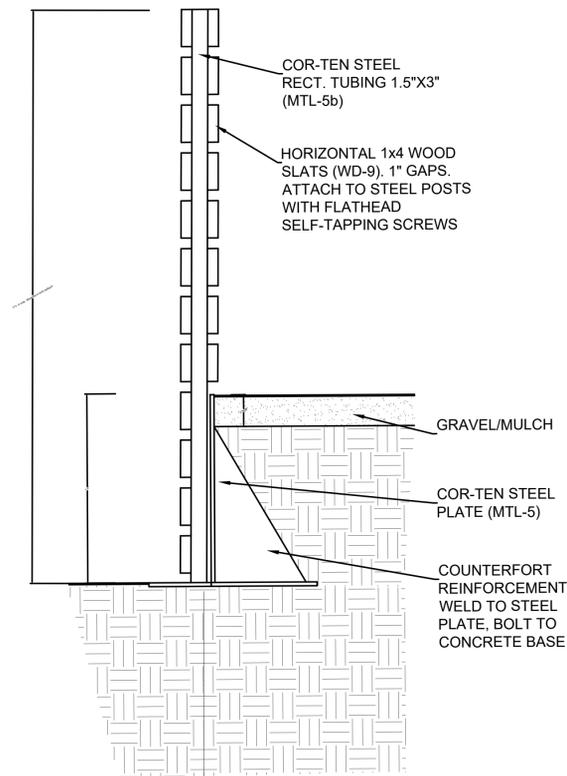
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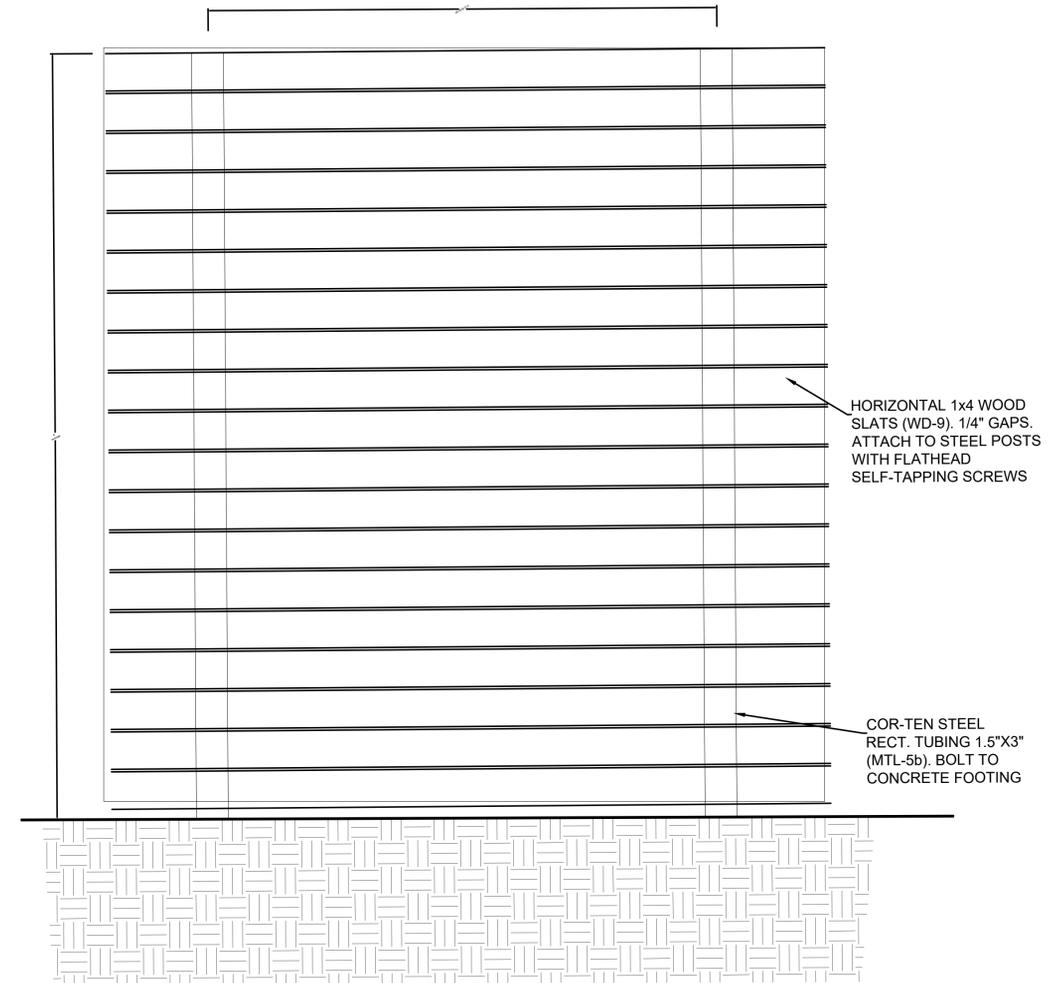
L2.1
 HARDSCAPE DETAILS



STEEL RETAINING WALL



STEEL RETAINING WALL + LOW FENCE



PERIMETER FENCE

1-1/2" = 1'-0" HARDSCAPE DETAILS



IRRIGATION and WATER CONSERVATION

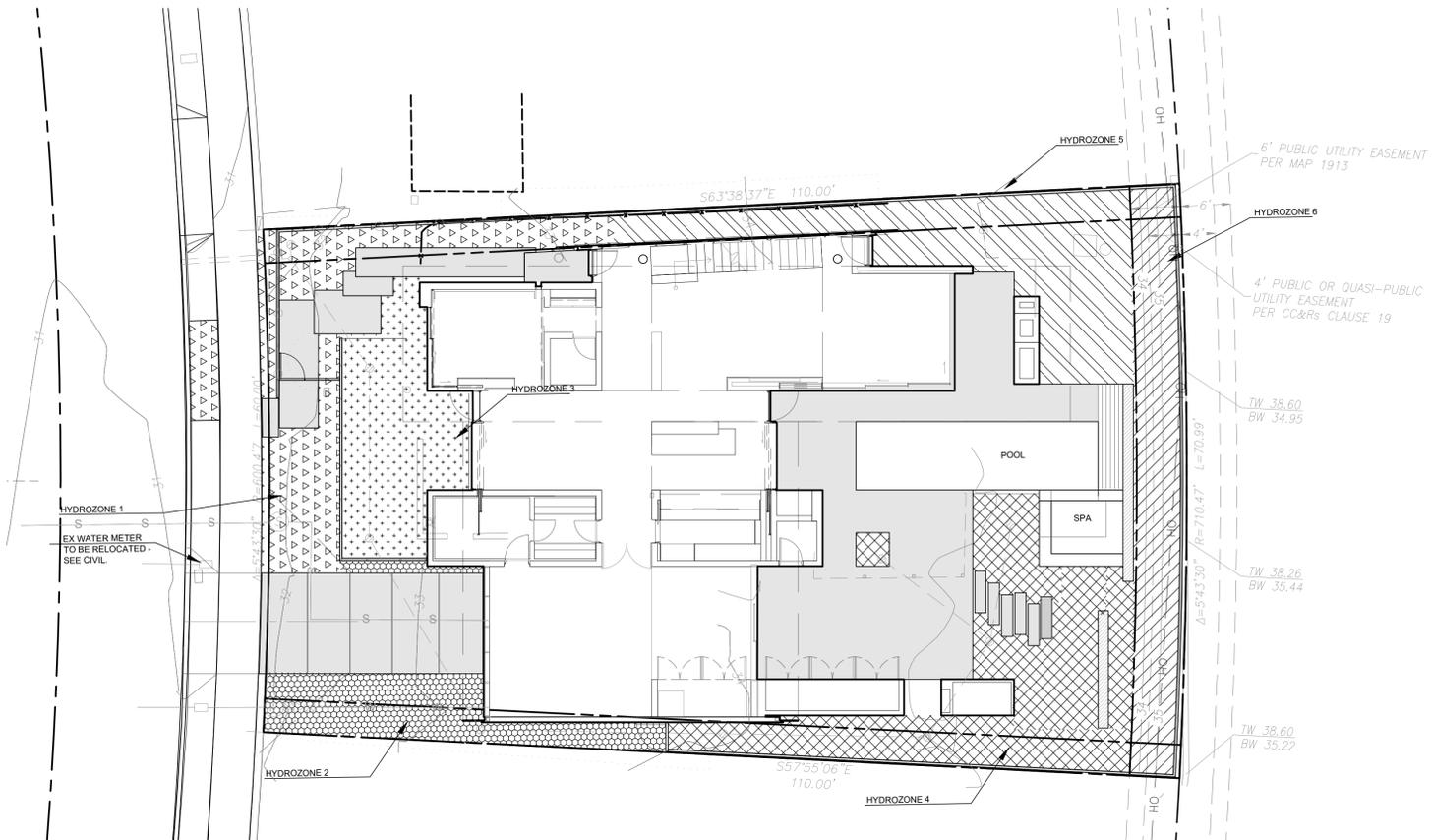
- Irrigation use shall not exceed the maximum applied water allowance (MAWA).
- Total site landscape area is 2,660 SF. This square footage excludes all impervious paving, structures, swimming pool and spa. This square footage includes 76 square feet of area within the public right-of-way.
- Reference Evapotranspiration for La Jolla is 40.0 inches/year.
- Maximum Applied Water Allowance (MAWA) = 36,282 gallons/year. Swimming pool and spa are Special Landscape Areas.
Calculations: $(40.0)(0.62)[.55 \times 2660] + (0.45)(308)$
- Preliminary Estimated Total Water Use (ETWU) = 32,885 gallons/year.
Calculations: $(40.0)(0.62)(0.4 \times 2660 / 0.81) + 308$. Using .4 as average Plant Factor.
- No turf areas or high water use planting areas are proposed.
- Design includes 250 SF of swimming pool to be covered with automatic pool cover and 58 SF of a raised spa.
- The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
- Irrigation shall be controlled with an automatic controller installed with an evapotranspiration or soil moisture sensor using non-volatile memory.
- All planting areas shall be permanently irrigated with low-volume irrigation equipment.
- Velocity of water in piping shall not exceed five feet per second downstream of water meter. No separate irrigation water meter is proposed.
- Irrigation system shall be designed meet or exceed an average irrigation efficiency of 0.71.
- The irrigation system shall be designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, non-irrigated areas, hardscapes, roadways, or structures.
- Areas adjacent to structures, roadways, entries and activity areas will be irrigated with permanent below grade automated systems.
- The irrigation systems will be installed as soon as practical after grading and prior to plant material installation.
- The irrigation schedule shall be developed, managed and evaluated to utilize the minimum amount of water required to maintain plant health, and to minimize system maintenance requirements after installation.
- Household owner will be responsible for maintenance of all landscape irrigation.
- An automatic, electrically controlled irrigation system shall be provided as required by LDC §142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

The landscape design incorporates the following water conservation features:

- The design is based on the general use of plant species that are adapted to a coastal, Mediterranean climate, and the maximization of permeable surfaces.
- The use of climate-adapted plant species reduces the need for fertilization.
- Plants will be grouped together in hydrozones according to their water needs.
- Future maintenance needs are addressed through the planting of drought-tolerant and garden-tolerant native species, and spacing plants to allow room for mature growth. Irrigation system will be regularly inspected.
- Irrigation will be drip, and scheduled to encourage deep rooting and prevent runoff. No overhead sprays or rotors will be specified.
- Mulches will be used in all planting areas.
- No invasive plant species are proposed for planting on this site.

PRELIMINARY ETWU CALCULATIONS

controller	hydrozone #	valve	plant factor	hydrozone SF	irrigation method	irrigation efficiency	% total land. area
1	1 (shrubs)	1	.4	448	drip	0.81	16.8%
1	2 (shrubs)	2	.4	287	drip	0.81	10.8%
1	3 (shrubs)	3	.4	263	drip	0.81	9.9%
1	3 (trees)	4	.4	100	drip	0.81	3.8%
1	4 (shrubs)	5	.4	577	drip	0.81	21.7%
1	4 (trees)	6	.4	60	drip	0.81	2.3%
1	5 (shrubs)	7	.4	540	drip	0.81	20.3%
1	6 (shrubs)	8	.4	385	drip	0.81	14.5%
				2,660 SF			100%
	Special Landscape Area (pool/spa)			308 SF			



HYDROZONES



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L3.0

IRRIGATION NOTES
AND HYDROZONES

1" = 10'-0"

IRRIGATION NOTES AND HYDROZONES

0 10'