

ATTACHMENT 4: Katz Remodel & Addition

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): **646977 Katz Remodel and Addition**
- Address and APN(s): **2702 Bordeaux Avenue, La Jolla CA 92037 APN 344-100-11-00**
- Project contact name, phone, e-mail: **Howard Katz, 858-245-6888, hkatz4@hotmail.com**
- Project description: **Remodel and addition to an existing single-family residence.**
- In addition, provide the following:
 - lot size: **17,600**
 - existing structure square footage and FAR (if applicable): **3263sq ft. FAR = 18.5%**
 - proposed square footage and FAR: **7276 sq ft. FAR = 41%**
 - existing and proposed setbacks on all sides: **North 8', East 4', South 4', West N/A**
TRIANGULAR LOT
 - height if greater than 1-story (above ground): **N/A**

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): 3263 square feet
 - proposed square footage and FAR: 7276 sq ft_____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;

Ann and Howard Katz

Residence Remodel & Addition

2702 Bordeaux Avenue
La Jolla CA 92037

BUILDING AREA CALCULATIONS:

FLOOR AREA CALCULATION:

(E) 1ST FLOOR: 2,267 SQ.FT.
(E) 2ND FLOOR: 996 SQ.FT.

(E) TOTAL SQ.FT. : 3,263 SQ.FT.

FAR 18.5%

(P) 1ST FLOOR ADDITION: 2,870 SQ.FT.
(P) 2ND FLOOR ADDITION: 1,143 SQ.FT.

NEW TOTAL ADDITIONS: 4,013 SQ.FT.

(P) 1ST FLOOR TOTAL: 5,137 SQ.FT.
(P) 2ND FLOOR TOTAL: 2,139 SQ.FT.

NEW HOME TOTAL SQ.FT. : 7,276 SQ.FT.

FAR 40%

LOT SIZE 17600 SQ FT

LEGAL DESCRIPTION

ASSESSOR'S PARCEL NUMBER:

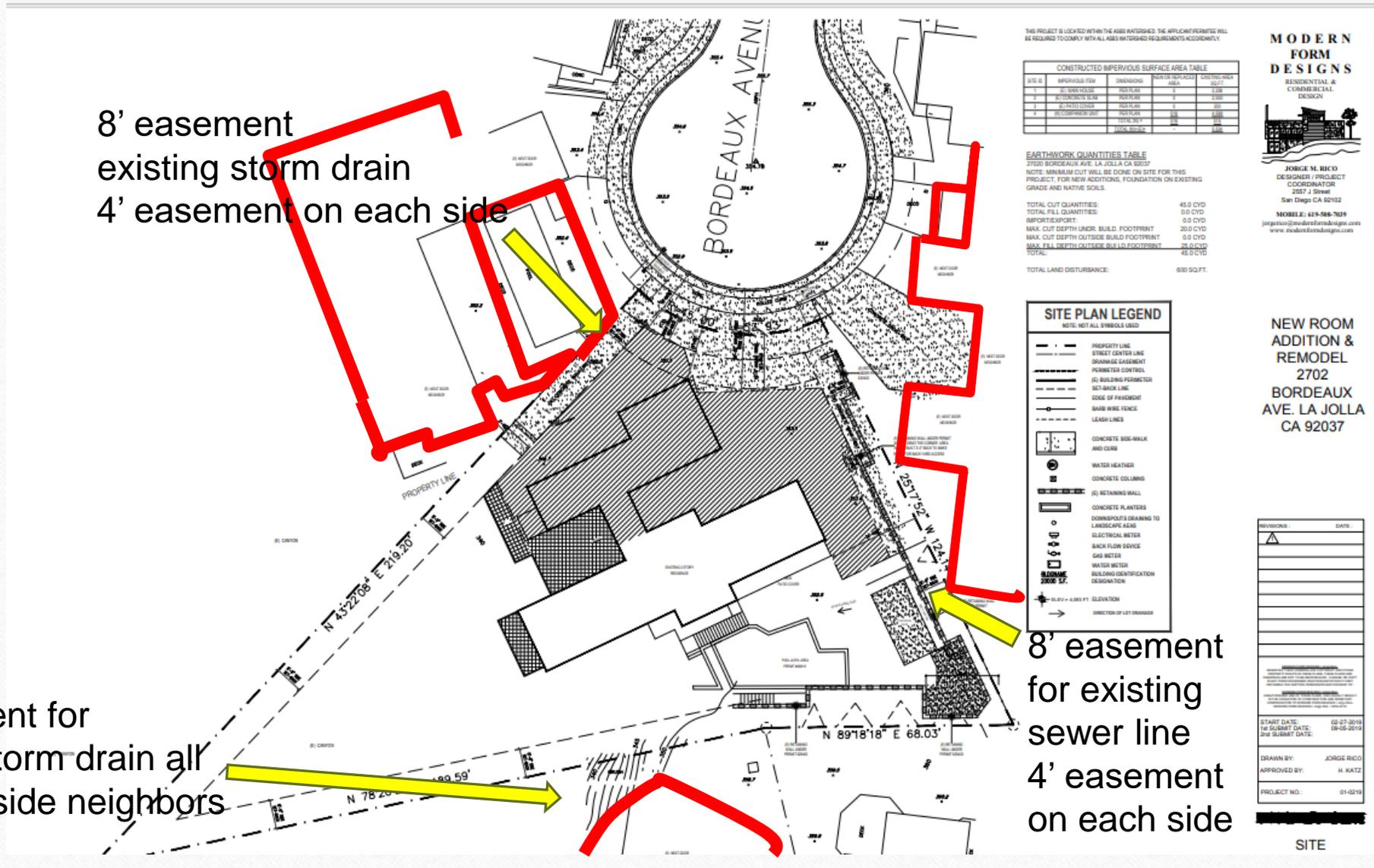
344-100-11-00

LEGAL DESCRIPTION: TR 3361 LOT 54 MAP

3361-LA JOLLA HIGHLANDS UNIT NO.2



SITE PLAN, SETBACKS WITH NEIGHBORS BUILDINGS



REQUESTING

- NO Special requests and permissions
- NO Variances
- NO Coverage/FAR issues
- NO New levels –neither higher or nor lower
- NO Maximum Roof height increase (actually decreasing)

Story line demonstrating proposed roof height between peaks

Storyline installed November 2019 to demonstrate sections to be raised
Note: PROPOSED DECREASE in maximum roof height



Bottom of hill –already lowest roof on Bordeaux Ave



BORDEAUX AVENUE ACTUAL ROOF HEIGHTS – street number and height

2110 – 15FT



2718 – 18FT



2705 – 15FT



2715 – 25 FT



2702 – 15.5 FT



Lowest roof on lowest property on Bordeaux Ave... and going lower



2715 BORDEAUX AVE - 25 FT

2722 GLENWICK CT 15FT

2712 GLENWICK CT - 22 FT

— Neighbors Existing
— 2702 Proposed

End of street at the bottom of a hill

ELEVATIONS FROM EAST TO NORTH - DESIGNED BY ALL NEIGHBORS



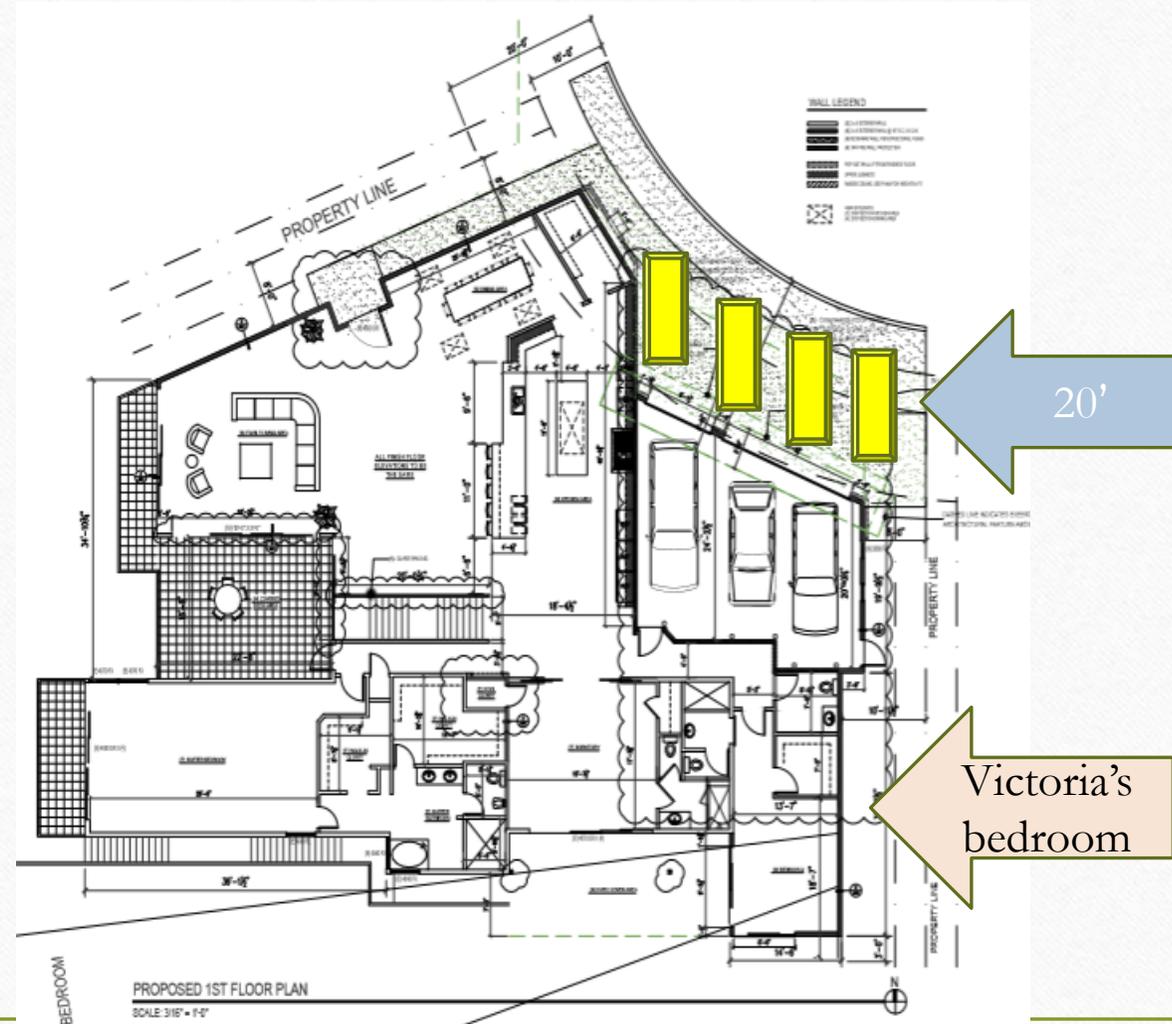
NORTH ELEVATIONS - 8FT WIDE NORTH VIEW CORRIDOR



**GARAGES SET 20+ FEET BACK FOR 3 - 4 MORE OFFSTREET PARKING SPACES
END OF CUL DE SAC – ADDITIONAL PARALLEL PARKING WILL NOT BLOCK STREET**



GARAGES SET 20+ FEET BACK FOR ADDITIONAL 3 -4 OFFSTREET PARKING



END OF CUL DE SAC – ADDITIONAL PARALLEL PARKING WILL NOT BLOCK STREET



WEST ELEVATION

ATTACHMENT 4: Katz Remodel & Addition



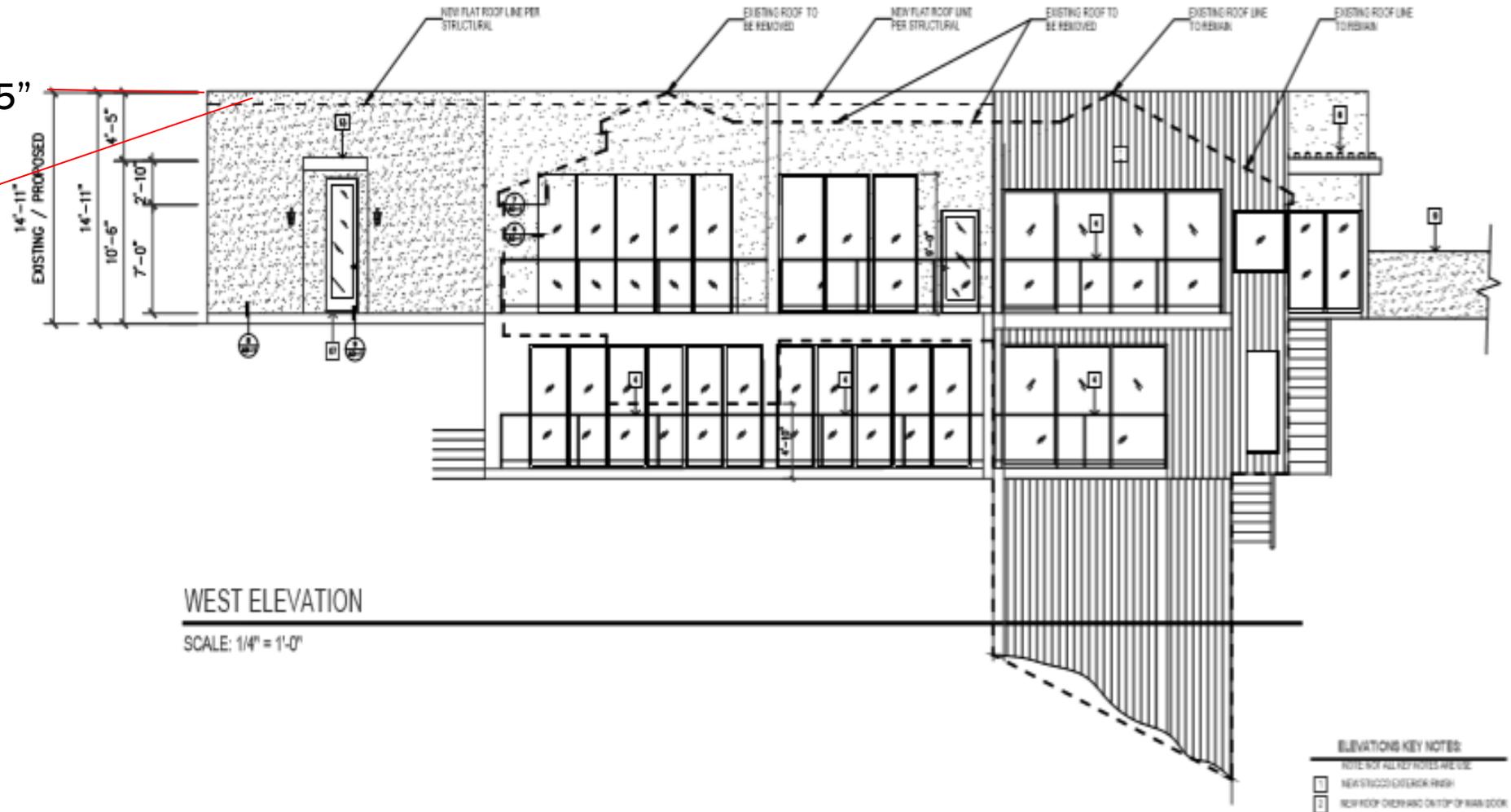
WEST ELEVATION

ATTACHMENT 4: Katz Remodel & Addition

Roof heights super-imposed

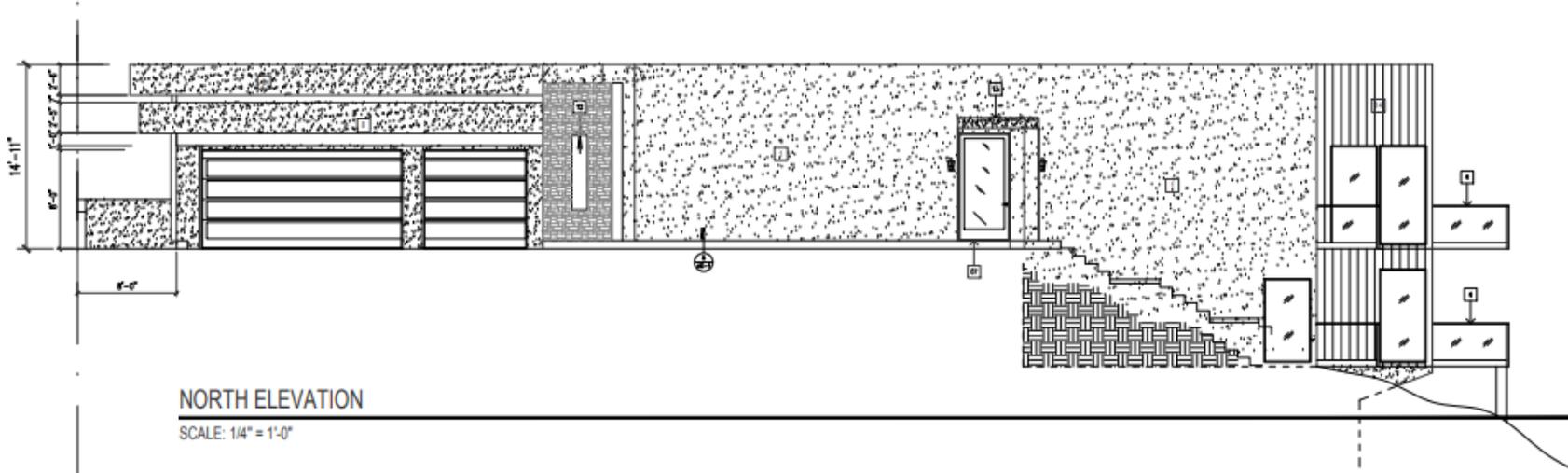
Actual Existing 15' 5"

Proposed 14' 11"



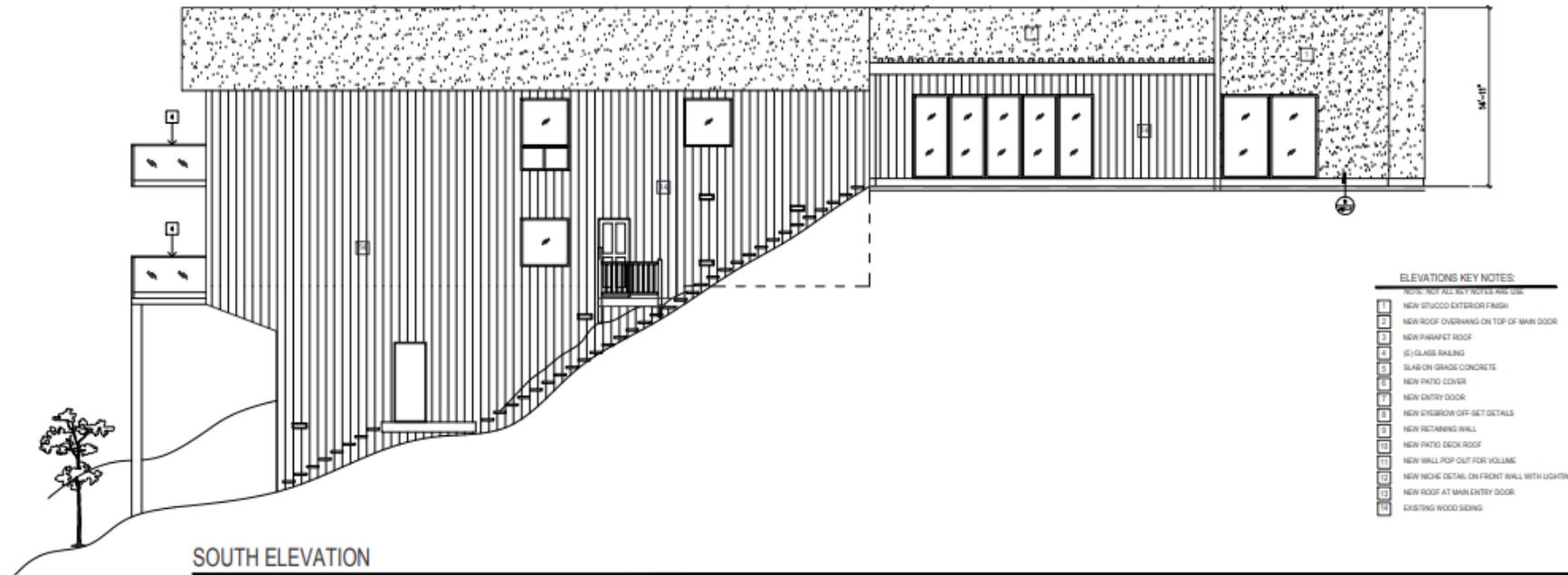
NORTH AND SOUTH ELEVATIONS

ATTACHMENT 4: Katz Remodel & Addition



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

ELEVATIONS KEY NOTES:

- NOTE: NOT ALL KEY NOTES ARE USE
- 1 NEW STUCCO EXTERIOR FINISH
 - 2 NEW ROOF OVERHANG ON TOP OF MAIN DOOR
 - 3 NEW PARAPET ROOF
 - 4 (C) GLASS RAILING
 - 5 SLAB ON GRADE CONCRETE
 - 6 NEW PATIO COVER
 - 7 NEW ENTRY DOOR
 - 8 NEW OVERROW OFF-SET DETAILS
 - 9 NEW RETAINING WALL
 - 10 NEW PATIO DECK ROOF
 - 11 NEW WALL POP OUT FOR VOLUME
 - 12 NEW NICH detail ON FRONT WALL WITH LIGHTING
 - 13 NEW ROOF AT MAIN ENTRY DOOR
 - 14 EXISTING WOOD SIDING

35 FT WIDE SOUTH SIDE VIEW CORRIDOR TO BE RETAINED

Widest view corridor on LJ Shores Heights ridge - to be retained



8FT WIDE NORTH VIEW CORRIDOR



ARCHITECTURE OF ADJACENT PROPERTIES



COMPARATIVE ARCHITECTURE, SIZE AND DESIGN OF ADJACENT HOMES



EXTERIOR FINISHES

Cedar



Concrete Hardy panels



Trex
Composite
wood



Ledgerstone tiles



LA JOLLA HIGHLANDS ARCHITECTURAL COMMITTEE APPROVAL

Reply | Delete | Archive | Junk | Move to | Categorize

Re: Katz Project - 2702 Bordeaux



Brian Pickett <bpickett@gmail.com>

Tue 3/24/2020 4:06 AM

To: Brian Pickett

Cc: Ruth Stern; Elsa Feher; Dale & Barbara Martin; Renee & Jason Kenagy; Morris Scharff; William Tong; Jerry A. Schneider; Amelia Eastman; Rose & George Chen; Holly & Jeffrey Given; Ryoko Goguen; Maarten & Janet Chrispeels; Charles Dadswell; Stuart Brody; Marc Stern; vk@ucsd.edu; Mani Majid; Brett Barrad; Gustav Arrhenius; Andrew Viterbi; Steven Tradonsky; Steve & Martha Hillyard; Jun & Yoko Onaka; Berneice & Dempsey Copeland; Eugene Cook; Audrey & Robert Rant/Clough; Marisa & Sebastian Abrajano/Saleigh; Katerina & Richard Karamanou/Pray; Jane & Mark Potter; Jeanne & Larry Ferrante/Carter; Michael & Prue Arbib; Jesus & Donna Garcia; Don & Pat Helinski; Julian & Joann Benedict; ian lerner; Elaine Schneider; Anil Moni; Howard Katz; amelia eastman; Jean Sowieralski; Andrew Viterbi; Gabrielle Goodman; THOMAS SCHOENE

Hi neighbors,

I hope everyone is doing well with social distancing and self care in this crazy time. Stay strong! Please don't hesitate to reach out if you need help.

Regarding Dr. Katz's renovation, thank you to everyone who gave their input and to Dr. Katz for his good intentions with regards to neighbors views. The architectural committee has approved the project.

Best Regards,
Brian

On Tue, Mar 10, 2020 at 1:49 PM Brian Pickett <bpickett@gmail.com> wrote:



Desktop | System tray icons: volume, network, power.

Katz project approved: With little discussion, the board voted 4-0 to recommend approval for needed permits on the Katz residence project at 2702 Bordeaux Ave. in La

LA JOLLA LIGHT - MAY 28, 2020 - PAGE B19

Drive residential project

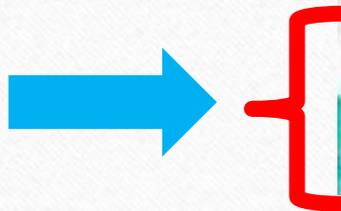
Jolla Shores.

The project calls for coastal development and site development permits to remodel a two-story, 3,263-square-foot house and add more than 4,000 square feet for a total of 7,276.

Homeowner Howard Katz, presenting the project himself, said the neighborhood has an architectural committee and that he presented his plans to it and neighbors. He also offered a letter of support from neighbors.

That support seemed to seal the deal for some trustees.

"I applaud you for working with your neighbors," Emerson said. "We ask everyone to do that; it makes this whole process better for everybody."



Request for review since December 2019

The screenshot shows a Microsoft Outlook web interface. The browser address bar displays the URL: <https://outlook.live.com/mail/0/search/id/AQMkADAwATEXAGM1OC1ZWMwLTNIOWUtMDACLTAwCgBGAAADN1S50Ftp7US7icexk%2BLCowcApOqj8HNGIECYV2hx2fAVcWAAAAGJAAAAraXiQ05PYU%2>. The email header shows the sender as "Dr Howard Katz" and the recipient as "To: Tony Crisafi". The date and time of the email is "Thu 12/5/2019 6:48 PM", which is circled in red. The body of the email reads: "Hi Tony My family and I are living at 2702 Bordeaux Ave while we are waiting to do the much needed addition. We have received a response from the city and are now waiting to meet with the **LJCPA**. Please can someone inform us when we may present the proposed addition to the subcommittee." The Windows taskbar at the bottom shows the system tray with the date and time "3:56 PM 5/17/2020".

Mail - Dr Howard Katz - X

https://outlook.live.com/mail/0/search/id/AQMkADAwATEXAGM1OC1ZWMwLTNIOWUtMDACLTAwCgBGAAADN1S50Ftp7US7icexk%2BLCowcApOqj8HNGIECYV2hx2fAVcWAAAAGJAAAAraXiQ05PYU%2

Outlook.com - hkatz eBay Web Slice Gallery

Search

Delete Archive Junk Move to

Subject: Approval ID 2345086 2702 Bordeaux Ave

Dr Howard Katz

Thu 12/5/2019 6:48 PM

To: Tony Crisafi

Hi Tony

My family and I are living at 2702 Bordeaux Ave while we are waiting to do the much needed addition. We have received a response from the city and are now waiting to meet with the **LJCPA**. Please can someone inform us when we may present the proposed addition to the subcommittee.

3:56 PM 5/17/2020

We are anxious to start
in these unpredictable times
Your blessing/approval will be appreciated
Thank you

1. Victoria
2. COVID19
3. Economic volatility