

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): _____

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items):
_____ 634880 _____ Bush Residence _____
- Address and APN(s):
7914 St. Louis Terrace APN#346-454-06-00
- Project contact name, phone, e-mail:
Architect, Mark D. Lyon
(858)459-1171
info@mdla.net
- Project description:
Proposed 499 sqft. to 2nd floor.
Proposed 342 sqft. 3rd floor roof deck
Proposed 1st floor interior remodel of 1,247 sqft.
- In addition, provide the following:
 - lot size: 4,189 sqft.
 - existing structure square footage and FAR (if applicable): 2,673
 - proposed square footage and FAR: 499

- Existing and proposed setbacks on all sides: Stays the same
F= 11'-8"
S= 3'-6"/ 8'-5"
R= 12'-0"
- height if greater than 1-story (above ground): 30'-6"

Exhibits and other materials to provide:

Please provide the following which will be attached to the agenda and posted to the City's website for view by the public:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.)
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

(CONTINUED ON THE NEXT PAGE)

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Thank you,

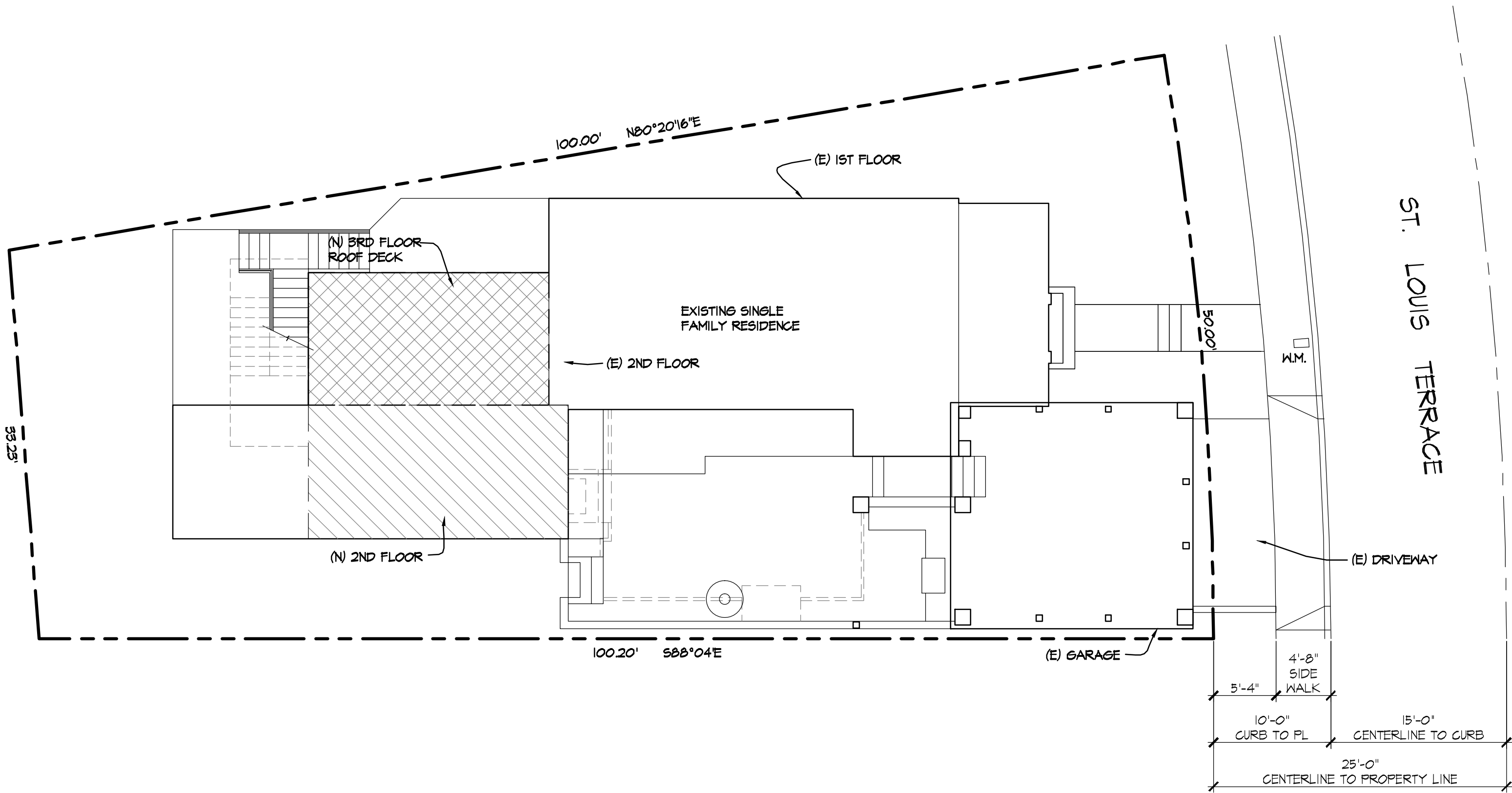
Marlon I. Pangilinan
 Senior Planner
 Planning Department
 9485 Aero Drive MS 413
 San Diego CA 92123
 619-235-5293
www.sandiego.gov/planning

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S:

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL QUALITY CONTROL BOARD (SRQACB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

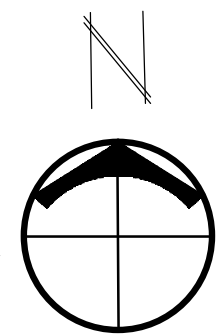
NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR BMP'S.

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICE, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICE.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DEBRIS, SILT, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHED AND SHALES PRIOR TO AND WITHIN 5 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR-ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR, IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CAGSA FACT SHEET TG-10R OR CALTRANS FACT SHEET TG-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGE SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".



SITE PLAN

SCALE: 1/8" = 1'-0"



IMPERVIOUS AREA & EARTHWORK QUANTITIES

TOTAL DISTURBANCE AREA: ____ SQ. FT.
EXISTING AMOUNT OF IMPERVIOUS AREA: ____ SQ. FT.
PROPOSED AMOUNT OF IMPERVIOUS AREA: ____ SQ. FT.
TOTAL IMPERVIOUS AREA: ____ SQ. FT.

EARTHWORK QUANTITIES:
CUT QUANTITIES: 0 CYD
FILL QUANTITIES: 0 CYD
IMPORT/EXPORT: 0 CYD
MAX. CUT DEPTH: 0 FT
MAX. FILL DEPTH: 0 FT

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SAL OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (JFC 901.4.4)
2. THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE, NOT TO EXCEED 30 FEET (SDMG SECTIONS 191.0444 AND 192.0505). HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
3. EXISTING SITE DRAINAGE PATTERN TO REMAIN. NO ADDITIONAL RUNOFF TO PUBLIC RIGHT OF WAY
4. LIGHTING SHALL BE UNOBSRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.
5. ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA
6. STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS MUST BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

SITE LEGEND

- EXISTING LOWER & MAIN FLOOR TO REMAIN
- PROPOSED 2ND FLOOR ADDITION
- PROPOSED 3RD FLOOR ROOF DECK
- DRIVEWAY VISIBILITY TRIANGLE
- CMU SITE WALLS
- EXISTING TOPOGRAPHY
- PROPOSED TOPOGRAPHY
- WATER METER

ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET



BUSH RESIDENCE
7914 ST. LOUIS TERRACE
LA JOLLA, CA 92037

REVISIONS: _____

SUBMITTAL DATE: 04/16/2019

PHASE: CONSTRUCTION DOCUMENTS

PROJECT NUMBER: 1832

REVIEWED BY: MDL

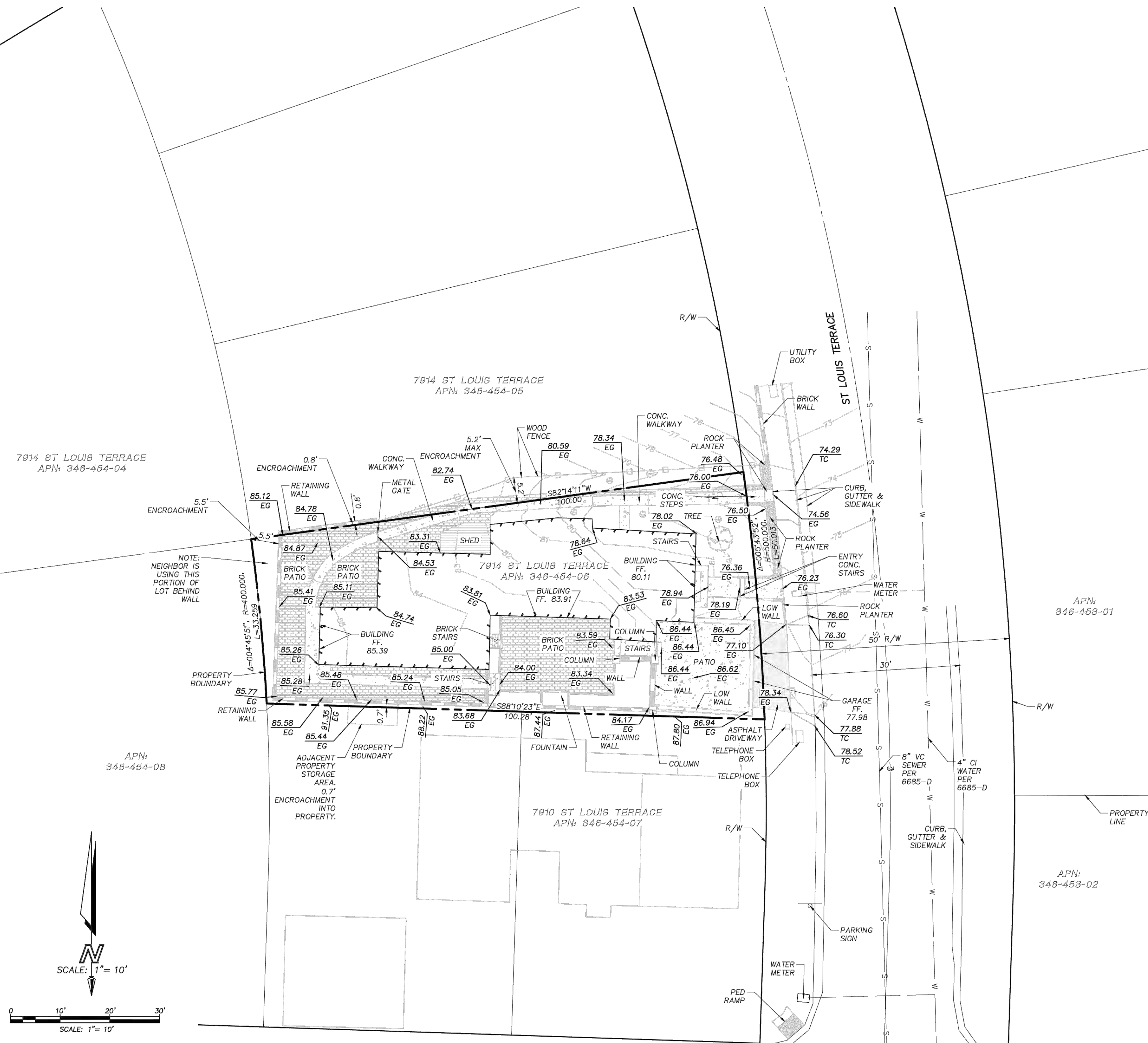
DRAWN BY: KLT / K.JL

DATE: 04/15/2019

SHEET TITLE: PROPOSED SITE PLAN

SHEET NO: _____

AI.I



THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON THE FIELD SURVEY PERFORMED ON FEBRUARY 8th OF 2019.

MARK A. BRENCICK, LS 7226
LICENSE EXPIRES 12/31/2020

SURVEY LOCATION:
APN: 346-454-06
ST LOUIS TERRACE
LA JOLLA, CA 92037

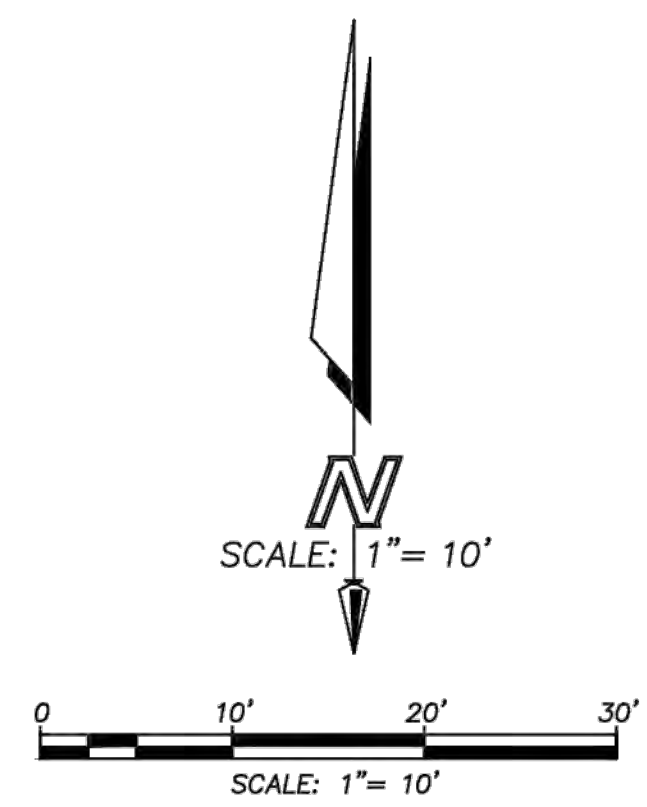
ABBREVIATIONS:
APN ASSESSORS PARCEL NUMBER
BLDG BUILDING
R/W RIGHT OF WAY
CONC CONCRETE
EL ELEVATION
MH MANHOLE
TC TOP OF CURB
SWR SEWER
C/O CLEAN OUT
ARV AIR RELEASE VALVE
FF FINISHED FLOOR
E CENTERLINE
EG EXISTING GRADE
PED PEDESTRIAN

BENCH MARK
DESCRIPTION: CITY OF SAN DIEGO BENCH MARK
LOCATION: NORTH CURB RETURN OF TORREY PINES ROAD AND VIKING WAY
ELEVATION: 101.766'
DATUM: MSL

EASEMENTS
NO TITLE REPORT
WAS PROVIDED



LEGEND	SYMBOL
BOUNDARY DATA	N 26°32'45" E 125.11'
PROPERTY BOUNDARY	---
CENTERLINE	---
LOT LINE	---
RIGHT OF WAY	---
CONTOUR	---
WALL	---
BLDG	---
ADJACENT BLDG	---
FENCE	---
METAL GATE	---
WATER METER & SERVICE	---
STREET SIGN	---
TELEPHONE BOX	---
UTIL PED	---
TREE	---
8" VC SEWER	---
4" CI WATER	---
BRICK PATIO	---
CONC. PATIO/WALKWAY	---
DRIVEWAY	---



PREPARED BY:

LNDMARK
Professional Engineering & Surveying
4050 Carmichael Avenue, Suite 200
San Diego, CA 92121 (619) 587-8070

CITY OF SAN DIEGO

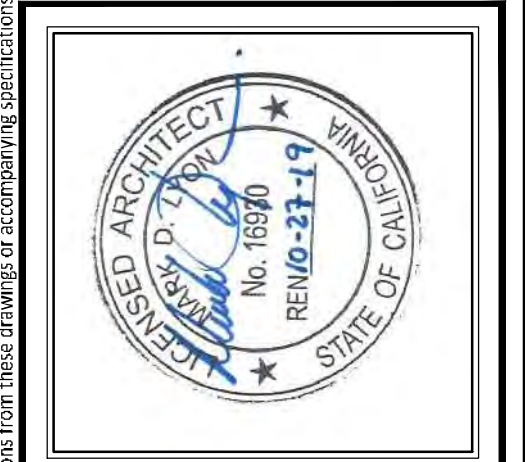
7914 ST. LOUIS TERRACE

TOPO EXHIBIT

SHEET NO. 1 OF 1

Dwg: P-10290-1 7914 St. Louis Terrace c exhibits 290-1 topo exhibit.dwg Plot dt: 2/14/2019 12:24:41 PM

ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858) 459-1171 INFO@MDLA.NET



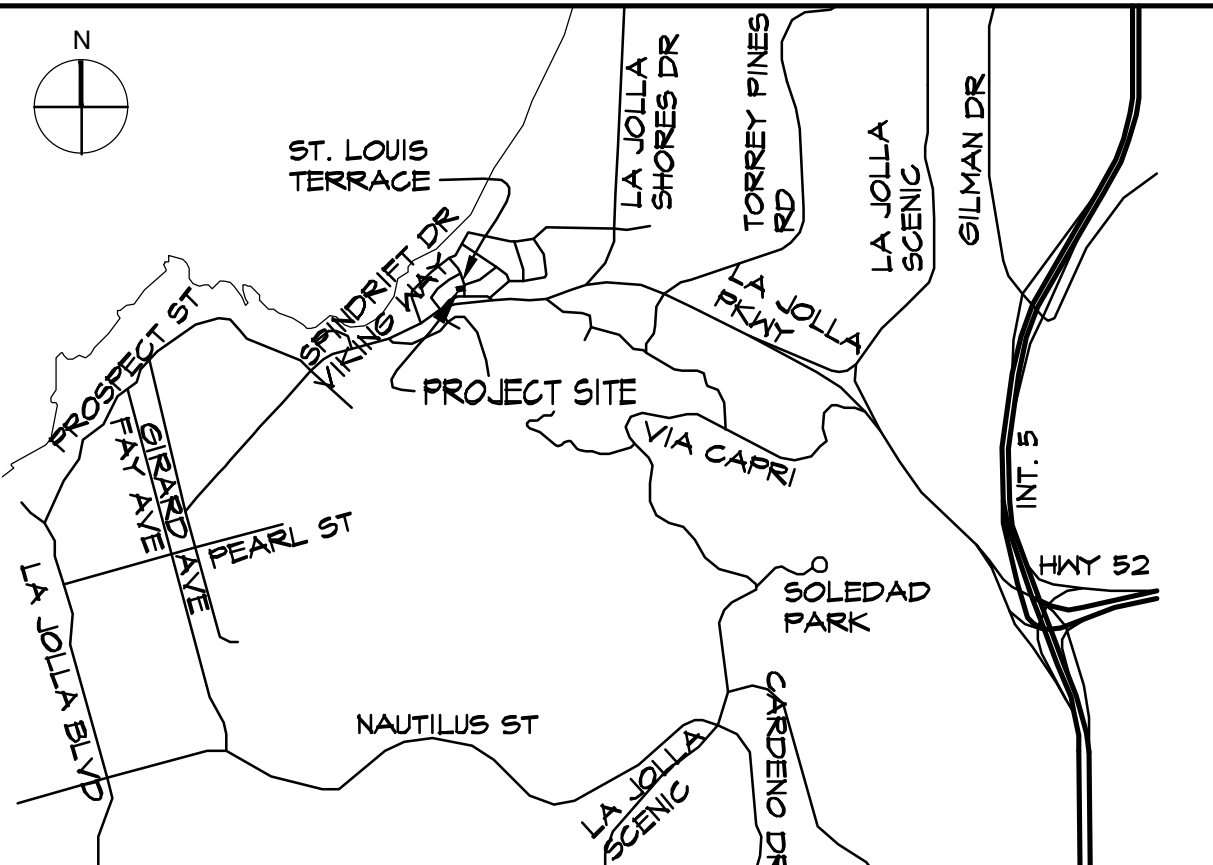
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RESIDENCE

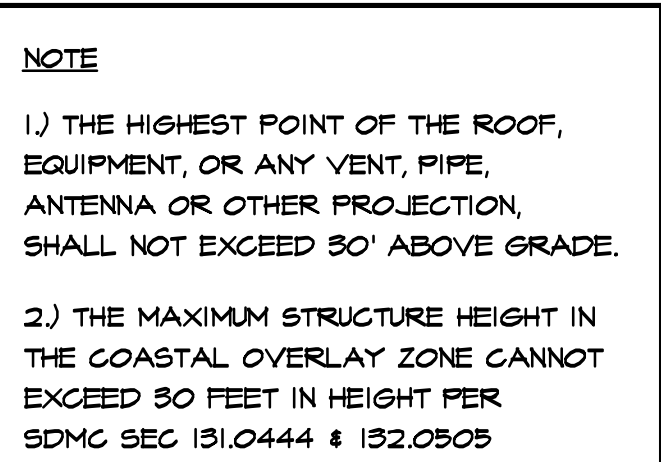
7914 ST. LOUIS TERRACE
LA JOLLA, CA 92037

REVISIONS:
SUBMITTAL DATE: 04/16/2019
PHASE: CONSTRUCTION DOCUMENTS
PROJECT NUMBER: 1832
REVIEWED BY: MDL
DRAWN BY: KLT / K.J.L
DATE: 04/15/2019
SHEET TITLE: TOPOGRAPHIC SURVEY
SHEET NO.: C.I.

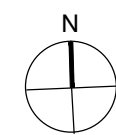
BUSH RESIDENCE

A CUSTOM RESIDENTIAL CONSTRUCTION DOCUMENTS PACKAGE

DEFERRED SUBMITTAL	BASIS FOR STRUCTURAL DESIGN	ELECTRICAL NOTES	VICINITY MAP	DETAILED SCOPE OF WORK																																				
<p>DEFERRED SUBMITTAL(S) SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS/ELEMENTS:</p> <p>1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL BY THE PROJECT ARCHITECT, AND NOT BY THE INDIVIDUAL SUB-CONTRACTOR / CONSULTANT.</p> <p>2. DEFERRED SUBMITTAL DOCUMENTS IN ADDITION TO THE SEAL OF THE RESPONSIBLE ENGINEER SHALL BEAR THE SHOP DRAWING APPROVAL STAMPS OF THE PROJECT ARCHITECT, ENGINEER OF RECORD, AND THE GENERAL CONTRACTOR ON ALL SHEETS OF PLANS AND COVER OF THE CALCULATIONS.</p> <p>3. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF THIRTY CALENDAR DAYS FOR THE INITIAL PLAN REVIEW TURN-AROUND.</p> <p>4. DEFERRED SUBMITTAL ITEMS SHALL NOT BE FABRICATED / INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.</p> <p>5. PROVIDE TWO COPIES OF DEFERRED SUBMITTAL DOCUMENTS FOR FINAL APPROVAL.</p>	<p>DESIGN LOADS: SEE STRUCTURAL PLANS SHEET SJA</p> <p>SEISMIC CRITERIA:</p> <table><thead><tr><th>S₁</th><th>S₂</th><th>F_a</th><th>F_v</th><th>S_{ms}</th><th>S_{ml}</th><th>S_{ms}</th><th>S_{ml}</th></tr></thead><tbody><tr><td>1.246</td><td>0.502</td><td>1.000</td><td>1.500</td><td>1.246</td><td>0.753</td><td>0.864</td><td>0.502</td></tr></tbody></table> <p>SITE SOIL CLASSIFICATION: D</p> <p>GEOTECHNICAL REPORT OF PRELIMINARY GEOTECHNICAL INVESTIGATION JOB NO. R-12204 PREPARED BY: GEOTECHNICAL EXPLORATION, INC., DATED: 24 MARCH 2014</p>	S ₁	S ₂	F _a	F _v	S _{ms}	S _{ml}	S _{ms}	S _{ml}	1.246	0.502	1.000	1.500	1.246	0.753	0.864	0.502	<p>1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA ELECTRICAL CODE.</p> <p>2. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING POLLUTION ORDINANCE.</p> <p>3. ALL INTERIOR LIGHTING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION STANDARDS.</p> <p>4. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH A BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.</p> <p>5. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WITH ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.</p> <p>6. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND CARBON MONOXIDE DETECTORS PER UL 2075. INSTALL CARBON MONOXIDE ALARMS AND DETECTORS PER CFC, R315, NFPA 720 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p> <p>7. CARBON MONOXIDE ALARMS SHALL NOT BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R315.11.</p> <p>8. ADDITIONAL SMOKE ALARMS SHALL BE PROVIDED AT THE TOP OF EACH STAIRWELL LANDING AND SHALL BE PROVIDED IN ALL HABITABLE SPACES EXCEPT KITCHENS.</p>		<p>RENOVATIONS OF AN EXISTING 210 SQ. FT., TWO-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED 400 SQ. FT. GARAGE AND SITE IMPROVEMENTS AND ADDITIONS CONSISTING OF:</p> <p>1ST FLOOR INTERIOR REMODEL OF 1241 SQ. FT.</p> <p>* PROPOSED 494 SQ. FT. 2ND FLOOR ADDITION PROPOSED 43 SQ. FT. 2ND FLOOR BALCONY 2ND FLOOR INTERIOR REMODEL OF 200 SQ. FT. * CONVERT 69 SQ. FT. BALCONY INTO LIVING AREA</p> <p>PROPOSED 342 SQ. FT. ROOF DECK AND 200 SQ. FT. OF EXTERIOR STAIRS</p> <p>SITE IMPROVEMENTS: NEW BBQ AREA, MISC. IMPROVEMENTS</p> <p>TOTAL SCOPE OF WORK AREA: 2346 SQ. FT.</p> <p>ASSESSABLE AREA: 364 SQ. FT.</p>																				
S ₁	S ₂	F _a	F _v	S _{ms}	S _{ml}	S _{ms}	S _{ml}																																	
1.246	0.502	1.000	1.500	1.246	0.753	0.864	0.502																																	
SPECIAL INSPECTION & OFF-SITE FABRICATIONS	CAL GREEN NOTES	MECHANICAL NOTES	PROJECT TEAM	PROJECT INFORMATION																																				
<p>SPECIAL INSPECTION: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <p>1. SEE STRUCTURAL PLANS SHEET SJA FOR "SPECIAL INSPECTION PROGRAM."</p> <p>A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.</p> <p>OFF-SITE FABRICATION: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>SEE STRUCTURAL PLANS SHEET SJA</p> <p>1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.</p> <p>2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p> <p>SUMMARY OF SPECIAL INSPECTION</p> <p>1. CONCRETE.</p> <p>2. BOLTS INSTALLED IN CONCRETE.</p> <p>3. CONCRETE MOMENT RESISTING SPACE FRAME.</p> <p>4. REINFORCING STEEL AND PRESTRESSING STEEL.</p> <p>5A. WELD TESTING DUCTILE MOMENT RESISTING STEEL FRAMES.</p> <p>5B. ALL STRUCTURAL WELDING INCLUDING REINFORCING STEEL.</p> <p>6. HIGH-STRENGTH BOLTING.</p> <p>7. STRUCTURAL MASONRY.</p> <p>8. REINFORCED CONCRETE.</p> <p>9. INSULATING CONCRETE FILL.</p> <p>10. SPRAY APPLIED FIREPROOFING.</p> <p>11. DEEP FOUNDATIONS (PILINGS, DRILLED PIERS & CAISSONS).</p> <p>12. SHOTCRETE.</p> <p>13A. VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT.</p> <p>13B. VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA.</p> <p>13C. PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES.</p> <p>13D. PROVIDE SOILS EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, OR GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE.</p> <p>14. SPECIAL CASES (DESCRIBE):</p> <p>15. OFF-SITE FABRICATION OF BUILDING COMPONENTS.</p> <p>16. OTHER STRUCTURAL INSPECTIONS AS REQUIRED BY DESIGNER.</p> <p>SPECIAL INSPECTION NOTES</p> <p>A. THE CONSTRUCTION INSPECTIONS LISTED ARE IN ADDITION TO THE CALLED INSPECTIONS REQUIRED BY CHAPTER 17 OF THE 2016 CALIFORNIA BUILDING CODE. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR THE CONSTRUCTION INSPECTIONS REQUIRED BY CHAPTER 17 OF THE 2016 CALIFORNIA BUILDING CODE. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR COVERED UNDER THE APPROVAL OF THE CITY INSPECTOR IS SUBJECT TO REMOVAL OR EXPOSURE.</p> <p>B. CONTINUOUS INSPECTION IS ALWAYS REQUIRED DURING THE PERFORMANCE OF THE WORK UNLESS OTHERWISE SPECIFIED.</p> <p>C. THE SPECIAL INSPECTORS MUST BE CERTIFIED BY THE LOCAL JURISDICTION TO PERFORM THE TYPES OF INSPECTION SPECIFIED.</p> <p>D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.</p> <p>E. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.</p> <p>F. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.</p> <p>G. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p> <p>H. FOR WELDED FULLY RESTRAINED CONNECTIONS BETWEEN PRIMARY MEMBERS OF ORDINARY MOMENT RESISTING FRAMES (CMRF), AND SPECIAL MOMENT RESISTING FRAMES (SMRF), NONDESTRUCTIVE TESTS PER APPROVED NATIONAL STANDARDS SHALL BE CONDUCTED. THE PERSON RESPONSIBLE FOR THE STRUCTURAL DESIGN SHALL ESTABLISH THE PROGRAM FOR THIS TEST TEST PROGRAM SHALL BE DEFINED ON THE PLANS AND SPECIFICATIONS. THE NON-DESTRUCTIVE TESTING PROGRAM REQUIREMENT AND METHOD SHALL BE NOTED IN THE SPECIAL INSPECTION PROGRAM.</p> <p>I. FOR WELDED, FULLY RESTRAINED CONNECTIONS BETWEEN PRIMARY MEMBERS OF ORDINARY MOMENT RESISTING FRAMES (CMRF), AND SPECIAL MOMENT RESISTING FRAMES (SMRF), WHICH ARE FABRICATED IN AN APPROVED FABRICATOR'S SHOP, NONDESTRUCTIVE TESTS SHALL BE CONDUCTED BY A SPECIAL INSPECTION AGENCY APPROVED BY THE CITY OF SAN DIEGO. THE TEST PROGRAM SHALL BE DEFINED ON THE PLANS AND SPECIFICATIONS. (See 1703 & 1705).</p> <p>J. THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO. DEVELOPMENT SERVICES, FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND EQUIPMENTS.</p> <p>K. A PROPERTY OWNER'S FINAL REPORT FORM FOR WORK REQUIRED TO HAVE SPECIAL INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.</p> <p>SPECIAL INSPECTION DIRECTORY: SELECTED BY OWNER</p> <p>INSPECTOR QUALIFICATIONS: COUNTY OF SAN DIEGO CERTIFIED ICC APPROVED INSPECTORS.</p> <p>INSPECTOR DUTIES: DUTIES TO BE PERFORMED IN ACCORDANCE WITH 2016 CALIFORNIA BUILDING CODE</p>	<p>CAL GREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE BUILDINGS. IT ALSO APPLIES TO ALL RESIDENTIAL ALTERATIONS AND ADDITIONS WHERE THE ALTERATION OR ADDITION INCREASES THE BUILDING'S CONDITIONAL AREA, VOLUME OR SIZE. THE REQUIREMENTS APPLY ONLY TO WITHIN THE SPECIFIC AREA OF THE ALTERATION OR ADDITION. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.</p> <p>5. PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.</p> <p>6. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BARE.</p> <p>7. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>8. A MINIMUM OF 50 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CECSSC SECTION 4.008 AND CITY ORDINANCE.</p> <p>9. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</p> <p>10. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.</p> <p>11. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>12. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT HEIGHTENED MFR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.</p> <p>13. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.</p> <p>14. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.</p> <p>15. Eighty percent of floor area receiving resilient flooring shall comply with one or more of the following:</p> <p>15.1. VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.</p> <p>15.2. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENWASHED CHILDREN 4 SCHOOL PROGRAM.</p> <p>15.3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORCORE PROGRAM.</p> <p>15.4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 03500).</p> <p>16. THE MOISTURE CONTENT OF THE BUILDING MATERIALS USED IN WALL, FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE, TEXT, LOCATION AND RESULTS ISSUED BY THE FRAMER, SUBCONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR.</p> <p>17. PER 2016 GREEN CODE SEC. 4.503.6.1 MECHANICAL EXHAUST FANS WITH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWINGS:</p> <p>17.1. FANS SHALL HAVE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.</p> <p>17.2. UNLESS FUNCTIONING IS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY EITHER A HUMIDITY OR TEMPERATURE AND HUMIDITY HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.</p> <p>18. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE EXPOSED WHEN FRAMING MEMBERS EXCEED 48% MOISTURE CONTENT.</p> <p>19. HARDWOOD FLOORING, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN.</p> <p>20. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, FLOORING, PARTICLE BOARD, ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.</p> <p>21. BEFORE FINAL INSPECTION A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER. CONTRACTOR SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF THE MAINTENANCE MANUAL.</p> <p>22. THE MANUAL SHALL INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWING:</p> <p>22.1. DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFECYCLE OF THE STRUCTURE.</p> <p>22.2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:</p> <p>22.2.1. EQUIPMENT AND APPLIANCES, INCLUDING WATER-MAINTAINING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.</p> <p>22.2.2. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.</p> <p>22.2.3. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.</p> <p>22.2.4. LANDSCAPE AND IRRIGATION SYSTEMS.</p> <p>22.3. WATER REUSE SYSTEMS.</p> <p>22.3.1. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.</p> <p>22.4. PUBLIC TRANSPORTATION AND/OR CARPOOL, AVAILABLE IN THE AREA.</p> <p>22.5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.</p> <p>22.6. INFORMATION ABOUT WATER-CONSERVATION/LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.</p> <p>22.7. INSTRUCTIONS FOR MAINTAINING DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM FOUNDATION.</p> <p>22.8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO: CALCULATING PAINTING SCHEDULE AROUND THE BUILDING, ETC.</p> <p>22.9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.</p> <p>22.10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.</p>	<p>1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO.</p> <p>2. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH MIXING VALVES PER CFC SEC. 120.0.</p> <p>3. PERMANENT VACUUM BREAKERS SHALL BE PROVIDED AT ALL HOSE BIBBS.</p> <p>4. FLOOR DRAINS OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM AND SUBJECT TO INFREQUENT USE SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS.</p> <p>5. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER ENERGY EFFICIENCY STANDARDS SEC. 118.</p> <p>6. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER ENERGY EFFICIENCY STANDARDS SEC. 116.</p> <p>7. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 118, 120, 124 AND CMC TABLE 6-2 AS APPLICABLE.</p> <p>8. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 112, 122 AS APPLICABLE.</p> <p>9. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 111, 118, 120, 124 AS APPLICABLE.</p> <p>10. SERVICE WATER HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 115.</p> <p>11. SWIMMING POOL AND SPA HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 114.</p> <p>12. SMOKE DETECTORS SHALL BE PROVIDED AT SUPPLY AIR DUCTS OF AIR MOVING SYSTEMS EXCEEDING 2000 CFM PER CFC SEC. 608.</p> <p>13. PERMANENT LADDER ACCESS TO ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH CMC SEC. 307.</p> <p>14. BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH CFC SEC. 701.0.</p> <p>15. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.</p> <p>16. CHEMICAL WASTE PIPING SHALL COMPLY WITH CFC SEC. 810.</p> <p>17. ALL STORAGE WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED LISTING AGENCY TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL PER CFC SEC. 408.1.</p> <p>18. CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT EXCEPT THOSE SPECIFIC ITEMS LISTED IN INFORMATION BULLETIN 103.</p> <p>19. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENTS DUE TO SEISMIC MOTION PER CFC SEC. 610.</p> <p>20. MATERIALS EXPOSED WITHIN A DUCT OR PLENUM SHALL COMPLY WITH CMC SEC. 801.3.</p> <p>21. HVAC EQUIPMENT AND WATER HEATERS SHALL COMPLY WITH CMC CHAP. 3.</p> <p>22. MEDIUM PRESSURE GAS PIPING SHALL BE LABELED EVERY FIVE FEET.</p> <p>23. MECHANICAL VENTILATION WHEN REQUIRED IN RESIDENTIAL BATHROOMS AND LAUNDRY ROOMS AS APPLICABLE PER CFC SEC. 1203.3, SHALL PROVIDE A MINIMUM OF FIVE AIR CHANGES PER HOUR AND BE ROUTED TO THE EXTERIOR.</p> <p>24. ALL WATER CLOSERS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 1.28 GALLONS PER FLUSH. TANK TYPE WATER CLOSERS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION OF TANK-TYPE TOILETS.</p> <p>25. URINALS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NO TO EXCEED 0.5 GALLONS PER FLUSH. SHOWER HEADS, SINGLE SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. MULTIPLE SHOWER HEADS WHEN SERVED BY A SINGLE VALVE SHALL HAVE A COMBINED FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE.</p> <p>26. FAUCETS, RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM RATE OF 1.2 GALLONS PER MINUTE AT 80 PSI AND A MINIMUM FLOW RATE OF NOT LESS THAN 0.2 GALLONS PER MINUTE AT 20 PSI.</p> <p>27. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE TO A MAXIMUM OF 2.2 GALLONS AT 80 PSI BUT MUST DEFAULT BACK TO THE 1.8 GALLONS PER MINUTE.</p> <p>28. FAUCET IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS MUST HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.</p> <p>29. WATERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS MUST NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.</p> <p>30. PER 2016 GREEN CODE SEC. 4.503.1.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DISBURSED GAS-FUELED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE.</p> <p>31. WOODSTOVES, PELLET STOVES AND FIREPLACES ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.</p> <p>32. STATE HEALTH AND SAFETY CODE SEC. 11921.4 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (PVC) FOR INTERIOR WATER SUPPLY PIPING.</p> <p>33. ALL PIPES AND PVC PIPING AND FITTINGS SHALL BE ENCASED WITHIN WALLS AND FLOORS COVERED WITH THE "X" TYPE OR OTHER SIMILAR ASSEMBLY THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.</p> <p>34. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.</p> <p>35. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CECSSC SEC. 4.503.1.</p> <p>36. PER 2016 CECSSC SEC. 4.503.2. PLUMBING FIXTURES (WATER CLOSURES AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPLC) AND CERTIFIED TO THE 2016 CECSSC.</p> <p>37. ATTIC/UNDERFLOOR INSULATION MUST COMPLY WITH SECTIONS 904, 908, AND 901 OF THE CALIFORNIA MECHANICAL CODE (CMC).</p> <p>38. PROVIDE A WATER-TIGHT PAN OF CORROSION RESISTANT MATERIAL BENEATH THE WATER HEATER WITH A MINIMUM 1/2" DIAMETER DRAIN LINE TO THE DRAIN FOR WATER HEATERS LOCATED IN THE ATTIC.</p> <p>39. ENERGY EFFICIENT APPLIANCES WILL BE USED.</p>	<p>ARCHITECT: MARK D. LYON, INC. 410 BIRD ROCK AVENUE LA JOLLA, CA 92037 PHONE #: (858) 484-1171</p> <p>TOPOGRAPHIC SURVEY/CIVIL ENGINEERING LANDMARK CONSULTING 4595 GENESSEE AVE., SUITE 200 SAN DIEGO, CA 92121 PHONE #: (619) 561-8070</p> <p>STRUCTURAL ENGINEER: NARAHN ENGINEERING 6040 GARDEN AVENUE, BLDG. B POWAY, CA 92064 PHONE #: (619) 435-4871</p> <p>T-24: SALHI ENGINEERING, INC. 1075 SCRIPPS POWAY PKWY., SUITE 351 SAN DIEGO, CA 92131 PHONE #: (619) 544-1222</p>	<p>PROJECT NAME: BUSH RESIDENCE OWNER NAME: MRS. NEIL BUSH & MRS. MARIA BUSH OWNER ADDRESS: 2830 CLIFFTRIDGE COURT LA JOLLA, CA 92037</p> <p>PROJECT ADDRESS: 7914 ST. LOUIS TERRACE LA JOLLA, CA 92037</p> <p>ZONE: LSPD-SF ASSESSORS PARCEL NUMBER: 346-454-06-00 MAP NUMBER: 1762 LOT NUMBER: 64</p> <p>LEGAL DESCRIPTION: LOT 64, LA JOLLA VISTA MAP # 1762 APN #: 346-454-06-00</p> <p>LOT SIZE: 4,104 SQ. FT. ACTUAL F.A.R.: 108 = 2,442 SQ. FT.</p> <p>VARIANCE ON PROPERTY: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/></p> <p>EASEMENT ON PROPERTY: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/></p> <p>HISTORIC: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/></p> <p>YEAR BUILT: 1930</p> <p>SETBACKS: FRONT: 11'-0" SIDE YARD: 3'-4" / 8'-5" REAR: 12'-0"</p> <p>EXISTING: 11'-0" PROPOSED: 3'-4" / 8'-5" 12'-0"</p>																																				
STRUCTURAL OBSERVATION	GENERAL NOTES	FIRE NOTES	SHEET INDEX	BUILDING DEPARTMENT INFORMATION																																				
<p>STRUCTURAL OBSERVATION YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <p>REFER TO SHEET SJA FOR "STRUCTURAL OBSERVATION PROGRAM."</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURE DESIGN OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURE DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>	<p>1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO.</p> <p>2. SHOULD THERE BE OMISSIONS, OR SHOULD DISCREPANCIES BE FOUND TO EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR ANY PARTS OF EITHER, OR SHOULD THE LANGUAGE OF ANY PART OF THE CONTRACT PROVE TO BE AMBIGUOUS OR DOUBTFUL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, WHO WILL DECIDE AS TO THE TRUE INTENT AND MEANING. SHOULD THE CONTRACTOR FAIL TO GIVE SUCH NOTIFICATION IN WRITING AND PROCEED WITH THE WORK SO AFFECTED, WITHOUT RECEIVING PROPER INSTRUCTIONS FROM THE ARCHITECT, HE SHALL DO SO AT HIS OWN RISK, AND HE SHALL REMOVE AND REPLACE THE WORK SO AS TO BE IN COMPLIANCE WITH THE ARCHITECT'S INSTRUCTIONS. THE COSTS OF REPLACING SAID WORK, AND OF ANY DAMAGES OR DEFECTS WHICH RESULT, SHALL BE PAID BY THE CONTRACTOR.</p> <p>3. WHERE THE WORDS "EQUAL", "EQUIVALENT", "SATISFACTORY", "DIRECTED", "DESIGNATED", "SELECTED", "AS REQUIRED", AND WORDS OF SIMILAR MEANINGS ARE USED, THE WRITTEN APPROVAL, SELECTION, SATISFACTION, DIRECTION, OR SIMILAR ACTION OF THE ARCHITECT IS REQUIRED.</p> <p>4. PROPOSITION D, THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</p>	<p>1. SURFACE APPARATUS: ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (NOT LESS THAN 50,000 LBS) AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (FIRE CODE SECT. 902.2).</p> <p>2. TURNING RADIUS: THE TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE 28 FEET OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 902.2.3).</p> <p>3. BRIDGES: WHEN A BRIDGE IS REQUIRED TO BE USED AS PART OF A FIRE APPARATUS ACCESS ROAD, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH NATIONALLY RECOGNIZED STANDARDS. (FIRE CODE SECT. 902.2.3) (ASHTO 15-B-44).</p> <p>4. GRADE: (SHOWN EXCEPT ON PLANS). THE GRADIENT FOR A FIRE APPARATUS ACCESS ROADWAY SHALL NOT EXCEED 30%. GRADES EXCEEDING 15% (GRADE OR DECLINE) SHALL NOT BE PERMITTED WITHOUT NOTIFICATION. MINIMUM MITIGATION SHALL BE THE INSTALLATION OF A SURFACE OF PORTLAND CEMENT CONCRETE (PCC) WITH A HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL TO ENHANCE TRACTION. THE ANGLE OF DEPARTURE AND ANGLE OF APPROACH OF A FIRE ACCESS ROADWAY SHALL NOT EXCEED 1 DEGREE OR 12% OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 902.2.3).</p> <p>5. SPARK ARRESTORS: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR STOVEPIPE ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES, SHALL HAVE AN APPROVED SPARK ARRESTOR OR STOVEPIPE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE, APPENDIX I-A, SECT. 1).</p> <p>6. VENT REQUIREMENTS: VENT SIZES AND VENT LOCATIONS PER C.F.C. NO ATTIC VENTILATION OPENINGS OR VENTILATION LOUVERS SHALL BE PERMITTED IN LOFTS, IN EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANGING AREAS IN STRUCTURES WITHIN THE MIDLAND/URBAN INTERFACE AREA. (FIRE CODE APPENDIX I-A 26-5.3).</p> <p>7. SMOKE DETECTORS: SMOKE DETECTORS ARE REQUIRED IN EACH EXISTING SLEEPING ROOM AND IN THE HALLWAY/AREA SERVING EACH SLEEPING AREA. BATTERY OPERATED DETECTORS ARE ACCEPTABLE FOR EXISTING CONSTRUCTION. (PER C.F.C.).</p> <p>8. 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INDIVIDUAL DRIVEWAY DIMENSIONS: FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 24 FEET, EXCEPT FOR A SINGLE FAMILY RESIDENTIAL DRIVEWAYS SERVING NO MORE THAN TWO SINGLE FAMILY DWELLINGS SHALL HAVE A MINIMUM OF 16 FEET OF UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET 6 INCHES. (FIRE CODE SECT. 902.2.2.1).</p>	<p>T.10 TITLE SHEET SP.1 SPECIFICATIONS SP.2 SPECIFICATIONS G.1 TOPOGRAPHIC SURVEY</p> <p>A.1 SITE PLAN A.2 STORMWATER REQUIREMENTS A.3 GARAGE AS-BUILT PLAN A.4 1ST FLOOR AS-BUILT PLAN & DEMOLITION PLAN A.5 2ND FLOOR AS-BUILT PLAN & DEMOLITION PLAN A.6 PROPOSED 1ST FLOOR PLAN A.7 PROPOSED 2ND FLOOR PLAN A.8 PROPOSED ROOF DECK PLAN A.9 REFLECTED CEILING PLANS A.10 ELEVATIONS A.11 ELEVATIONS A.12 BUILDING SECTIONS A.13 BUILDING SECTIONS A.14 SCHEDULES A.15 DETAIL SHEET A.16 DETAIL SHEET</p> <p>T-241 TITLE 24 ENERGY T-242 TITLE 24 ENERGY</p> <p>MEI.0 MECHANICAL & ELECTRICAL NOTES MEI.1 1ST FLOOR MECHANICAL AND PLUMBING PLAN MEI.2 2ND FLOOR MECHANICAL, ELECTRICAL AND PLUMBING PLAN MEI.3 ROOF DECK MECHANICAL, ELECTRICAL AND PLUMBING PLAN</p> <p>S.1 STRUCTURAL NOTES S.2 STRUCTURAL NOTES S.3 FOUNDATION PLAN S.4 LOWER FLOOR FRAMING PLAN S.5 UPPER FLOOR FRAMING / LOWER ROOF FRAMING PLAN S.6 UPPER ROOF FRAMING / ROOF DECK FRAMING PLAN S.7 STRUCTURAL DETAILS S.8 STRUCTURAL DETAILS S.9 STRUCTURAL DETAILS S.10 SIMPSON STRONG WALL S.11 SIMPSON STRONG WALL S.12 SIMPSON STRONG WALL</p>	<p>BUILDING CODE: CALIF. BUILDING CODE 2016, CALIF. RESIDENTIAL CODE 2016, FIRE CODE, PLUMBING CODE, MECHANICAL CODE, ELECTRICAL CODE, ENERGY CODE</p> <p>ALL CONSTRUCTION SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA PLUMBING CODE (CPLC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN CODE (CAL. GREEN), AND ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, ORDINANCES AND LAWS.</p> <p>OCCUPANCY TYPE: RS-U NUMBER OF STORIES: 2 CONSTRUCTION TYPE: TYPE VB SPRINKLERS: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> EXISTING PERMITS: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/></p> <p>PLANNING DEPARTMENT INFORMATION</p> <p>PARKING: PARKING REQUIRED: 2 PARKING PROVIDED: 2</p> <p>BUILDING HEIGHT: ZONE HEIGHT LIMITS: 24'-0" / 30'-0" PROP. 17' HEIGHT LIMIT AREA: NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> ACTUAL BUILDING HEIGHT: 30'-0" / 32'-0" NUMBER OF STORIES: 2</p> <table><thead><tr><th>BUILDING AREA</th><th>EXISTING</th><th>REMOVED</th><th>NEW</th><th>TOTAL</th><th>INCLUDED IN F.A.R.</th></tr></thead><tbody><tr><td>FIRST FLOOR AREA:</td><td>1,416</td><td>0</td><td>0</td><td>1,416</td><td>1,416</td></tr><tr><td>SECOND FLOOR AREA:</td><td>794</td><td>0</td><td>494</td><td>1,288</td><td>1,288</td></tr><tr><td>GARAGE AREA:</td><td>400</td><td>0</td><td>0</td><td>400</td><td>170</td></tr><tr><td>UNDERFLOOR AREA:</td><td>49</td><td>-</td><td>-</td><td>49</td><td>49</td></tr><tr><td>TOTAL GROSS SQUARE FOOTAGE:</td><td>2,659</td><td>0</td><td>494</td><td>3,153</td><td>2,442</td></tr></tbody></table> <p>ALLOWABLE F.A.R. CALCULATION PER SECTION 18.0446 (A)(4)(b) ACTUAL BUILDING F.A.R.: ACTUAL BUILDING SF. (2,442 SQ. FT.) / LOT SIZE (4,104 SQ. FT.) = 10% F.A.R.</p>	BUILDING AREA	EXISTING	REMOVED	NEW	TOTAL	INCLUDED IN F.A.R.	FIRST FLOOR AREA:	1,416	0	0	1,416	1,416	SECOND FLOOR AREA:	794	0	494	1,288	1,288	GARAGE AREA:	400	0	0	400	170	UNDERFLOOR AREA:	49	-	-	49	49	TOTAL GROSS SQUARE FOOTAGE:	2,659	0	494	3,153	2,442
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<p>STRUCTURAL OBSERVATION YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <p>REFER TO SHEET SJA FOR "STRUCTURAL OBSERVATION PROGRAM."</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURE DESIGN OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURE DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>	<p>1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO.</p> <p>2. SHOULD THERE BE OMISSIONS, OR SHOULD DISCREPANCIES BE FOUND TO EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR ANY PARTS OF EITHER, OR SHOULD THE LANGUAGE OF ANY PART OF THE CONTRACT PROVE TO BE AMBIGUOUS OR DOUBTFUL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, WHO WILL DECIDE AS TO THE TRUE INTENT AND MEANING. SHOULD THE CONTRACTOR FAIL TO GIVE SUCH NOTIFICATION IN WRITING AND PROCEED WITH THE WORK SO AFFECTED, WITHOUT RECEIVING PROPER INSTRUCTIONS FROM THE ARCHITECT, HE SHALL DO SO AT HIS OWN RISK, AND HE SHALL REMOVE AND REPLACE THE WORK SO AS TO BE IN COMPLIANCE WITH THE ARCHITECT'S INSTRUCTIONS. THE COSTS OF REPLACING SAID WORK, AND OF ANY DAMAGES OR DEFECTS WHICH RESULT, SHALL BE PAID BY THE CONTRACTOR.</p> <p>3. WHERE THE WORDS "EQUAL", "EQUIVALENT", "SATISFACTORY", "DIRECTED", "DESIGNATED", "SELECTED", "AS REQUIRED", AND WORDS OF SIMILAR MEANINGS ARE USED, THE WRITTEN APPROVAL, SELECTION, SATISFACTION, DIRECTION, OR SIMILAR ACTION OF THE ARCHITECT IS REQUIRED.</p> <p>4. PROPOSITION D, THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</p>	<p>1. SURFACE APPARATUS: ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (NOT LESS THAN 50,000 LBS) AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (FIRE CODE SECT. 902.2).</p> <p>2. TURNING RADIUS: THE TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE 28 FEET OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 902.2.3).</p> <p>3. BRIDGES: WHEN A BRIDGE IS REQUIRED TO BE USED AS PART OF A FIRE APPARATUS ACCESS ROAD, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH NATIONALLY RECOGNIZED STANDARDS. (FIRE CODE SECT. 902.2.3) (ASHTO 15-B-44).</p> <p>4. GRADE: (SHOWN EXCEPT ON PLANS). THE GRADIENT FOR A FIRE APPARATUS ACCESS ROADWAY SHALL NOT EXCEED 30%. GRADES EXCEEDING 15% (GRADE OR DECLINE) SHALL NOT BE PERMITTED WITHOUT NOTIFICATION. MINIMUM MITIGATION SHALL BE THE INSTALLATION OF A SURFACE OF PORTLAND CEMENT CONCRETE (PCC) WITH A HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL TO ENHANCE TRACTION. THE ANGLE OF DEPARTURE AND ANGLE OF APPROACH OF A FIRE ACCESS ROADWAY SHALL NOT EXCEED 1 DEGREE OR 12% OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 902.2.3).</p> <p>5. SPARK ARRESTORS: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR STOVEPIPE ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES, SHALL HAVE AN APPROVED SPARK ARRESTOR OR STOVEPIPE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE, APPENDIX I-A, SECT. 1).</p> <p>6. VENT REQUIREMENTS: VENT SIZES AND VENT LOCATIONS PER C.F.C. NO ATTIC VENTILATION OPENINGS OR VENTILATION LOUVERS SHALL BE PERMITTED IN LOFTS, IN EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANGING AREAS IN STRUCTURES WITHIN THE MIDLAND/URBAN INTERFACE AREA. (FIRE CODE APPENDIX I-A 26-5.3).</p> <p>7. SMOKE DETECTORS: SMOKE DETECTORS ARE REQUIRED IN EACH EXISTING SLEEPING ROOM AND IN THE HALLWAY/AREA SERVING EACH SLEEPING AREA. BATTERY OPERATED DETECTORS ARE ACCEPTABLE FOR EXISTING CONSTRUCTION. (PER C.F.C.).</p> <p>8. GLAZING MATERIALS: GLASS OR OTHER TRANSPARENT, TRANSLUCENT, OR OPAQUE GLAZING WHICH FACE A FIRE HAZARD AREA SHALL BE TEMPERED GLASS, MULTI-LAYERED GLASS PANELS OR OTHER EQUIVALENTS APPROVED BY THE BUILDING OFFICIAL.</p> <p>9. VINYL WINDOWS: GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, BE GLAZED WITH INSULATING GLASS, ANNEALED OR TEMPERED, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AIAA/NWMA 1011.5.2 STRUCTURAL REQUIREMENTS.</p> <p>10. SKYLIGHTS: SKYLIGHTS SHALL BE DUAL GLAZED OR TEMPERED GLASS AND SOLAR TUB</p>																																						



SCALE: 1/4"=1'-0"

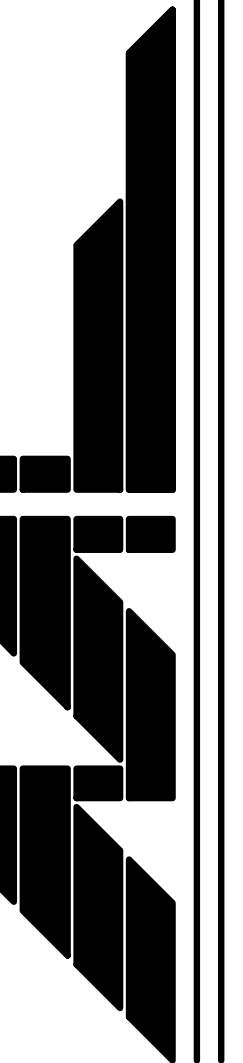


GUARDRAIL: GLASS GUARDRAIL TO BE SELECTED BY OWNER

A2.5



7914 ST. LOUIS TERRACE
LA JOLLA, CA 92037



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410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET